

Inspector: M _____ File No. _____

Receipt No. 572857 INV-610412

Date Permit Issued 18 / 4 / 91

OWNER

Name MJ BROOMHALL

Mailing Address 15B RUAHINE ST
TAURANGA

BUILDER

Name RN FORRESTER

Mailing Address 15B RUAHINE ST
TAURANGA

PROPERTY ON WHICH BUILDING IS TO BE ERECTED/DEMOLISHED

SITE

Street No. 15B

Street Name RUAHINE ST

Town/District HAKIRINI

Riding _____

LEGAL DESCRIPTION

Valuation Roll No. 06673/64500/B

Lot 3 D.P. 5 18720

Section 786 Block _____

Survey District _____

DESCRIPTION OF PROPOSED WORK AND MAIN PURPOSE OF USE

INSTALL STAIRWELL INTO DWELLING

FLOOR AREA

DWELLING UNITS

Whole Sq. Metres _____

Number Erected _____

ESTIMATED
VALUES
\$

Building
Plumbing
Drainage
G.S.T.
TOTAL

5,000 00
5,000 00

NATURE OF PERMIT (TICK BOX)

- ☐ NEW BUILDING
— exclude domestic garages and domestic outbuildings
- ☐ FOUNDATIONS ONLY
- ☐ ALTERED, REPAIRED, EXTENDED, CONVERTED, RESITED
— include installation of heating appliances
- ☒ NEW CONSTRUCTION
OTHER THAN BUILDINGS — include demolitions
- ☐ DOMESTIC GARAGES
AND DOMESTIC OUTBUILDINGS

FEES APPLICABLE

Building Permit	\$	Water Connection	\$
Street Damage Deposit	\$		\$
Building Research Levy	\$		\$
Plumbing	\$		\$
Drainage	\$		\$
Sewer Connection	\$		\$
Vehicle Crossing Levy	\$	G.S.T.	\$
M.S. Plumbing	\$	TOTAL:	\$

Receipt No. 572857

Date of Payment 18 / 4 / 91

Authorised Officer *[Signature]*

Special Conditions: _____

Date Inspected

REMARKS (e.g. stage reached with work)

26-4-91

Footings + slab OK to pour.

30-4-91

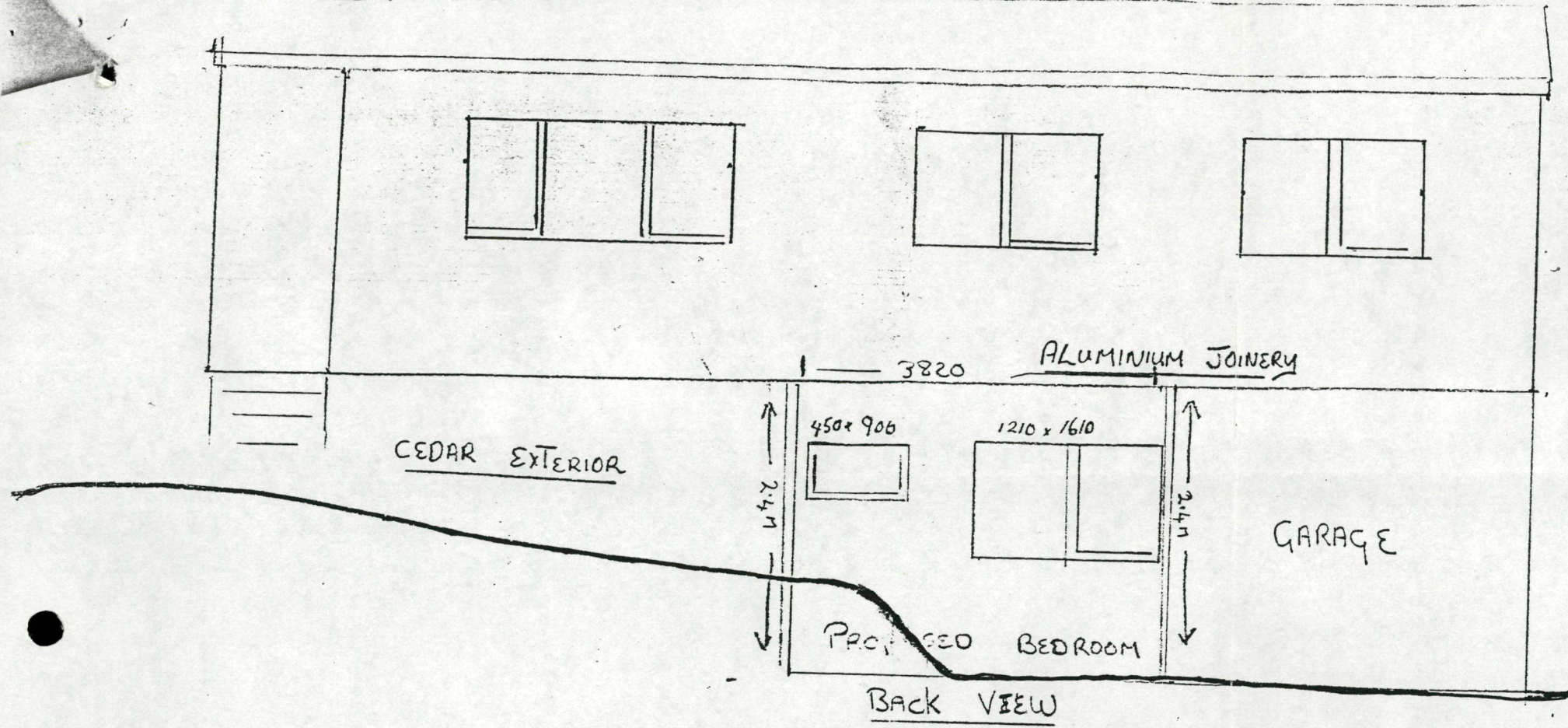
Bond beams :- all okay to pour.

COMPLY WITH
ENDORSEMENTS
THE APPROVED PLAN.

20-4-93

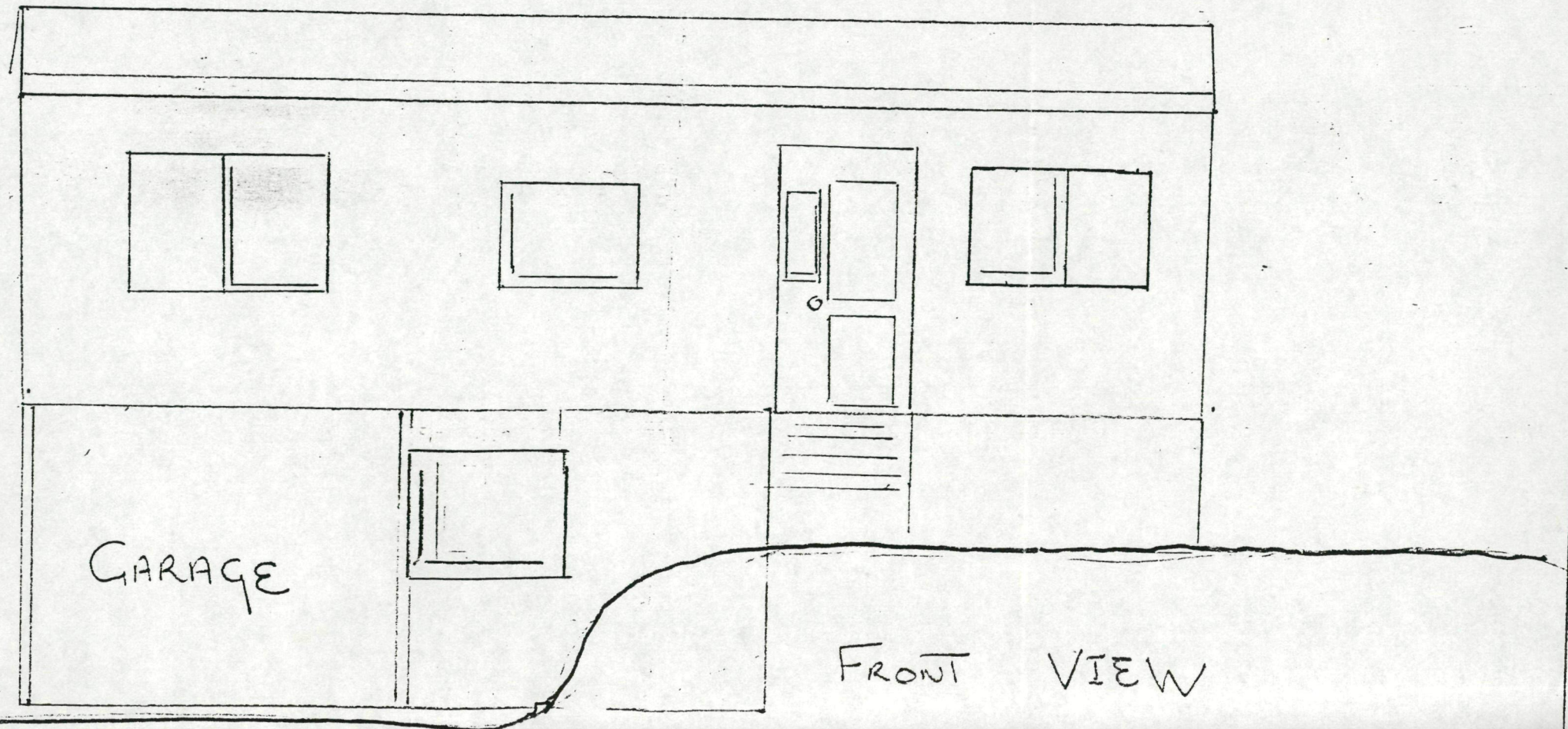
Basement lined out but stairway not yet trimmed ~~off~~ ~~on~~
or fitted in owing to lack of funds however hope to complete
end of 93.

COMPLETED (Signature) _____ Date ____/____/____



ELEVATIONS

TAURANGA DISTRICT
COUNCIL
APPROVED PERMIT
PLANS



100x40 FRAMING
AT 600 CRS

CEORR
EXTERIOR

BACK WALL BUILDING BLOCKS (2) HIGH
100x40 FRAMING 600 CRS
BATT'S WALLS & CEILING
200x400 SOLID TIMBER BRACING
PINEV SHEETS

100x40
FRAMING

2-4

9.5 mm
GIBBOARD
INSULATION

ALUMINIUM JOINERY

WALL TO RETAIN SOIL

BUILDING BLOCKS
200x400 SIX HIGH
REINFORCING TO STD

CONCRETE FLOOR
100mm
DPC under slab.

200x300 FOOTING
POLYTHENE 250 MICRONS
REINFORCING 12M

TYPICAL SECTION
SCALE 1:50

See attached detail
from NRS 4229. 1980
[Signature]

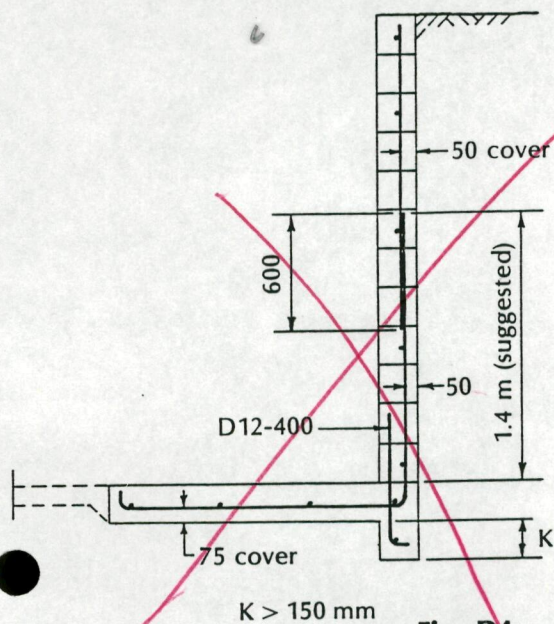


Fig. D4
REINFORCEMENT DETAILS FOR 200 mm
TYPE I WALLS

Note—

- (1) Transverse footing reinforcing to match vertical reinforcing in walls, which is obtained from wall design tables D1 or D2.
- (2) Longitudinal footing reinforcing: D16-300 min.
- (3) Bond beam reinforcing:
 - Wall height up to 1.8 m; D12-600
 - Wall height from 1.8 m to 2.4 m; D16-600
- (4) Control joints at 6-8 m max.

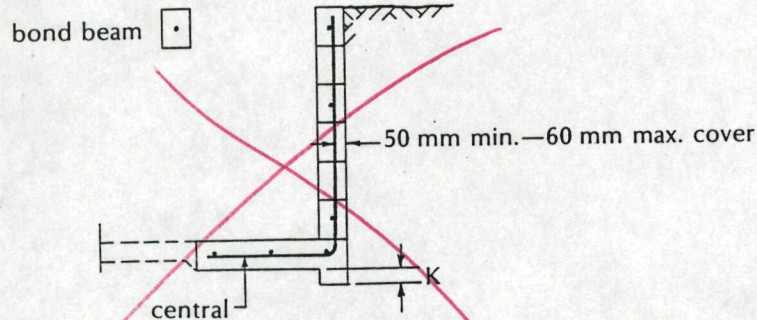
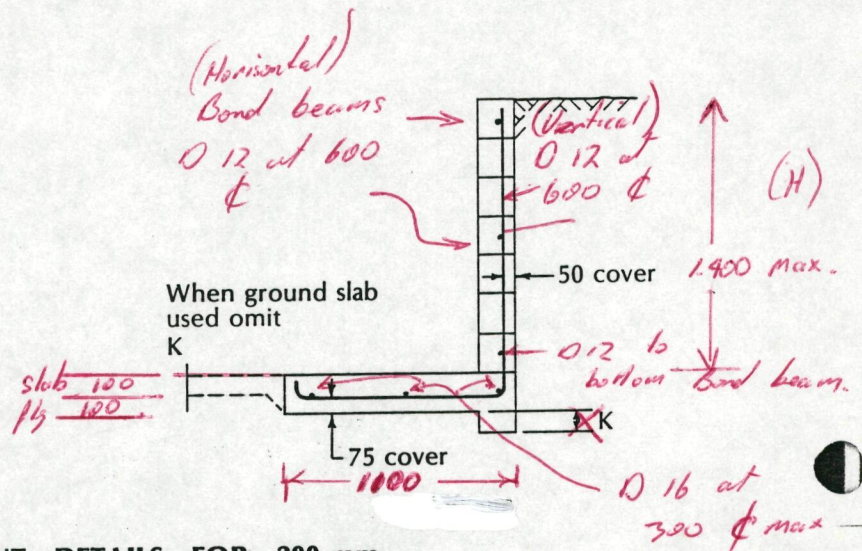


Fig. D5
REINFORCEMENT DETAILS FOR 150 mm
TYPE I WALLS

Note—

- (1) Transverse footing reinforcing to match vertical reinforcing in walls, which is obtained from wall design tables D3 or D4.
- (2) Longitudinal footing reinforcing: D12-300 max.
- (3) Bond beam reinforcing: D12-600
- (4) Control joints at 6-8 m max.

Table D1
DIMENSIONS AND REINFORCEMENT OF RETAINING WALLS—WALL TYPE I, 200 SERIES
MASONRY

(a) 2.5 kPa surcharge (domestic vehicle parking or loading from upper storeys)

Soil type	Reinforcement																	
	D10/600			D12/600			D12/400			D16/600			D16/400			D12/200		
	H	L	K	H	L	K	H	L	K	H	L	K	H	L	K	H	L	K
1	1300	750	80	1400	800	80	1600	950	80	1700	1000	100	1900	1150	180	2000	1250	225
2	1200	500	80	1300	800	80	1500	950	80	1600	1000	80	1800	1150	160	1900	1250	200
3	1400	700	80	1500	750	80	1700	850	80	1800	950	80	2100	1100	100	2100	1100	100
4	1300	650	80	1500	800	80	1700	900	80	1700	900	80	2000	1100	80	2000	1100	80
5	1000	950	80	1100	1050	100	1300	1250	225	1400	1400	275	1600	1650	400	1600	1650	400
6	1000	900	80	1200	1100	80	1300	1200	80	1400	1350	130	1600	1550	240	1700	1700	280
7	1400	700	80	1500	750	100	1700	850	180	1800	950	210	2100	1100	325	2100	1100	325

(b) No surcharge

Soil type	Reinforcement																	
	D10/600			D12/600			D12/400			D16/600			D16/400			D12/200		
	H	L	K	H	L	K	H	L	K	H	L	K	H	L	K	H	L	K
1	1400	700	80	1500	750	80	1800	950	150	1800	950	150	2000	1100	225	2100	1200	260
2	1300	700	80	1500	800	80	1700	950	125	1700	950	125	1900	1100	200	2000	1200	250
3	1500	650	80	1700	750	80	1900	850	80	2000	950	80	2200	1050	80	2300	1100	100
4	1400	650	80	1600	750	80	1800	900	80	1900	950	80	2100	1050	80	2200	1150	100
5	1100	900	80	1300	1150	125	1400	1300	125	1500	1350	250	1600	1550	300	1700	1700	350
6	1100	900	80	1300	1150	80	1400	1250	80	1500	1300	125	1600	1500	180	1700	1650	225
7	1500	650	80	1700	750	80	1900	850	150	2000	950	150	2200	1050	225	2300	1100	260

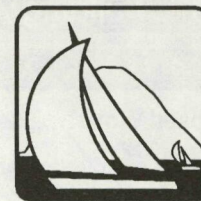
Where H is maximum height rounded to nearest 100 mm

L is width of footing to nearest 50 mm

K is depth of key (mm)



Construction Consent Application Form



TAURANGA
DISTRICT COUNCIL

Permit Sought for: (✓ appropriate box)

☒ Building

☐ Plumbing

☒ Drainage

☐ Demolition

☐ Removal

☐ Solid Fuel Heater Installation

RECEIVED

APR 1991

Prop File: P5590-15-1

Site Description

Street Address: 150 RUAHINE STREET
TAURANGA
Lot: 3 DP: 518720 CT 208/1233
Valuation Roll No: 06673/64500/B. CD8
Lot Area: 786 m²
Residential A 1179602

Estimated Values

Estimated Values of Work including GST:

Building \$5000
Plumbing - Labour -
Drainage - Labour -

TOTAL \$ 5,000 \$ -

Owner

Name: M.J. Broomhall
Postal Address: 150 RUAHINE STREET
TAURANGA
Phone: 440500 Signature: M.J. Broomhall

Builder

Name: R.N. FORRESTER
Postal Address: 150 RUAHINE ST
TAURANGA
Phone: 440500 Signature: R.N. Forrester

Plumber

Name: Reg No:
Postal Address:
Phone: Signature:

Drainlayer

Name: Reg No:
Postal Address:
Phone: Signature:

Form continues over leaf

Checked and Approved by:

Officer	Initial	Date
Vetting Officer	MT	3-4-91
C.P.U. Clerk	BAP	4-4-91
Planning Officer	N/A	9.7
Building Officer	MT	8-5-91
☐ Plumbing & Drainage Officer	MT	8.4.91
☐ Structural Eng.		
☐ Services Eng.		

Bond required? YES / NO

Notes:

For Office use Only

Building
Plumbing
Drainage
Building Research Levy
Footpath Levy
Vehicle Crossing
Water Connection
Proportion Water Rate
Sewer Connection
Stormwater Connection
Development Levy

Permit No:	Date	Fee
504886	18-4-91	109.00

Invoice C10412 Date 9-4-91
Receipt 572857 Date 18-4-91 Total \$ 109.00

1) Building / Removal / Demolition Details

Description of proposed work and main purpose of use

Proposed Work: Putting stairwell through lounge to Basement
to Bedroom's in Basement space

Purpose for which each part of proposed building to be separately used or occupied (describing separately each part of intended use or occupation for a separate purpose, i.e. dwelling, carport, office, commercial use etc):

Total Floor Area: 22 m²

For Office use Only

Building Permit Endorsements:

Issue of Building Permit Approved By:

Date:

8-5-81

2) Plumbing and Drainage Details

Specification of Plumbing work to be carried out: (Show numbers of each type)

	W.C.	Bath	Shower	Basins	Sink	Tub	Urinal	H.W.C.	Wetback	Other
Install										
Renew										
Shift										
Remove										

Specification of Drainage work to be carried out: (Delete whichever is not applicable)

1 Construct new drain with septic tank and effluent disposal:

2 Construct new drain and connect to sewer:

3 Re-direct drains:

4 Extend drains:

5 Repair drains:

6 Construct stormwater drains and connect to services:

7 Construct stormwater drains and discharge to soak-holes.

3) Solid Fuel Heaters

1 Type of heater to be installed:

2 If a wetback is to be installed on a solid fuel heater a plumbing application must be completed.

3 Note wetback on above plumbing details.

For Office use Only

Plumbing and Drainage Permit Endorsements:

Issue of Plumbing and Drainage Permit Approved By:

Date:

To: Maintenance Services

Tauranga District Council, Private Bag, Tauranga. Telephone: (075) 777-155 • Fax: (075) 777-194

Prop File: _____

Applicant:

Name:

Property Address:

Postal Address:

Date Services Required by:

..... Phone:

Legal Description:

Signed: / /
(Applicant) (Date)**For Installation of New Services****1 Construct Vehicle Crossing**Construct residential crossing ☐Construct commercial / industrial crossing ☐

Select type of finish between footpath & boundary

☐ Concrete ☐ Asphalt ☐ Concrete Pavers

Distance from kerb to boundary m

2 Water ConnectionProvide standard residential 20mm dia. connection ☐Provide non-standard connection ☐**3 Sewer Connection**Provide standard connection ☐Provide a non-standard sewer connection ☐**4 Stormwater Connection**Provide standard residential 100mm dia. connection ☐Provide non-standard or commercial connection ☐**5** Please show details below, of where crossing or connection is to be located in relation to boundary below, or attach an A4 size plan:If Non-standard
Please state
size required**For Office use Only**

Approved	Code	Price
	89-200-001	
		
	89-400-001	
		
	42-110-306	
		
	89-800-001	
		
	Total \$	

Receipt No: Date:

For Removal or Demolition of Buildings

Removed from:

Removed To:

Services to be Disconnected: ☐ Temporarily ☐ Permanently☐ Water ☐ Sewer ☐ Stormwater (where connected to services) ☐ Gas FEE: \$

Date Services to be Disconnected by:

For disconnection of Power, Gas and Telephone please approach the appropriate local supply authority**DO NOT DESTROY.** This form is to be circulated to appropriate Service Departments on completion of work to update records.

You must submit in support of your application

Please tick where information provided, state N/A where not applicable. An incomplete application form will be returned.

1) Two Sets of Specifications

2) Two Full Site Plans : Scale 1:100 showing:

- (a) Position of the building(s) in relation to the **boundaries** of the full site and existing building(s) located on the site.

Note: Both existing and proposed buildings are to be **clearly** defined.

- (b) Site levels relative to permanent street levels.
- (c) Crossings/Driveways marked on all site plans – proposed, existing, gradients. Note normally one crossing per site only. Show type of finish and distance from kerb to boundary.
- (d) Off street parking, loading, access and manoeuvring areas.

3) Two Sets of Construction Drawings: Scale 1:100 or 1:50 showing:

- (a) Elevations (site levels relative to floor levels).
- (b) Section elevations.
- (c) Plans of all floors describing the function of each room showing all doors, windows and ventilation, fireplaces and chimneys. **But** for additions and alterations, the existing shall be shown separately and alongside the "proposed", to the same scale for comparison..
- (d) Foundation details.
- (e) Structural details, showing engineering calculations and signature where required.
- (f) Bracing calculations (3604)

4) Two Sets of Plumbing and Drainage Plans:

- (a) Have Plumber and Drainlayer signed application form.
- (b) All existing SEWERS, sewer connections shown and clearly labelled.
- (c) All existing STORMWATER drains and connections shown and clearly labelled.
- (d) Proposed sewer and stormwater drains shown clearly and labelled accordingly.
- (e) All existing and proposed sanitary fittings.
- (f) Sufficient detail to establish the adequacy of light and ventilation natural and artificial to every kitchen, food-room, laundry, bathroom, water-closet, shower, urinal and isolation compartment including sizes of windows, ventilating skylights, ventilating shafts and capacities of fans.

5) Solid Fuel Heaters (Application only required together with:)

- (a) Manufacturers installation specifications.

6) Important Note

A processing fee of \$60 or 30% of the permit fee, whichever is the greater, will be charged on all permit applications that are:

- (i) Not uplifted within 30 days of the notice of fees due being sent; or
- (ii) Awaiting extra documentation after 21 days of the request for further information being sent.

CHECK

Yours

Office

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A receipt for Permit Fees does not mean the Permit is approved for issue.