

Inspector: M _____ File No. _____

Receipt No. 513401

Date Permit Issued 6 / 12 / 90

OWNER	
Name	R Bennett
Mailing Address	15A Ruahine St Tga

BUILDER	
Name	Skyline Caravages
Mailing Address	PO Box 688 Tauranga

PROPERTY ON WHICH BUILDING IS TO BE ERECTED/DEMOLISHED

SITE	
Street No.	15A
Street Name	Ruahine St
Town/District	Hawke
Riding	

LEGAL DESCRIPTION	
Valuation Roll No.	06673/6.500
Lot	3
D.P.	18720
Section	787
Block	
Survey District	

DESCRIPTION OF PROPOSED WORK AND MAIN PURPOSE OF USE

Garage. Carport.

FLOOR AREA		DWELLING UNITS	
Whole Sq. Metres	22	Number Erected	
ESTIMATED VALUES \$	Building	3300	
	Plumbing		
	Drainage		
	G.S.T.		
TOTAL		3300	-

NATURE OF PERMIT (TICK BOX)	
☐	NEW BUILDING — exclude domestic garages and domestic outbuildings
☐	FOUNDATIONS ONLY
☐	ALTERED, REPAIRED, EXTENDED, CONVERTED, RESITED — include installation of heating appliances
☐	NEW CONSTRUCTION OTHER THAN BUILDINGS — include demolitions
☒	DOMESTIC GARAGES AND DOMESTIC OUTBUILDINGS

FEES APPLICABLE

Building Permit	\$	Water Connection	\$	Receipt No. 513401
Street Damage Deposit	\$		\$	
Building Research Levy	\$		\$	Date of Payment 3 / 12 / 90
Plumbing	\$		\$	
Drainage	\$		\$	Authorised Officer [Signature]
Sewer Connection	\$		\$	
Vehicle Crossing Levy	\$	G.S.T.	\$	
M.S. Plumbing	\$	TOTAL:	\$	

Special Conditions:

Date Inspected

REMARKS (e.g. stage reached with work)

9-8-91.

Owner verifies siting is ok. He is to conform with T. Planning reduction of boundary to 1.6m from Lm.

Date Inspected

20-4-93

Completed OK (new buses)

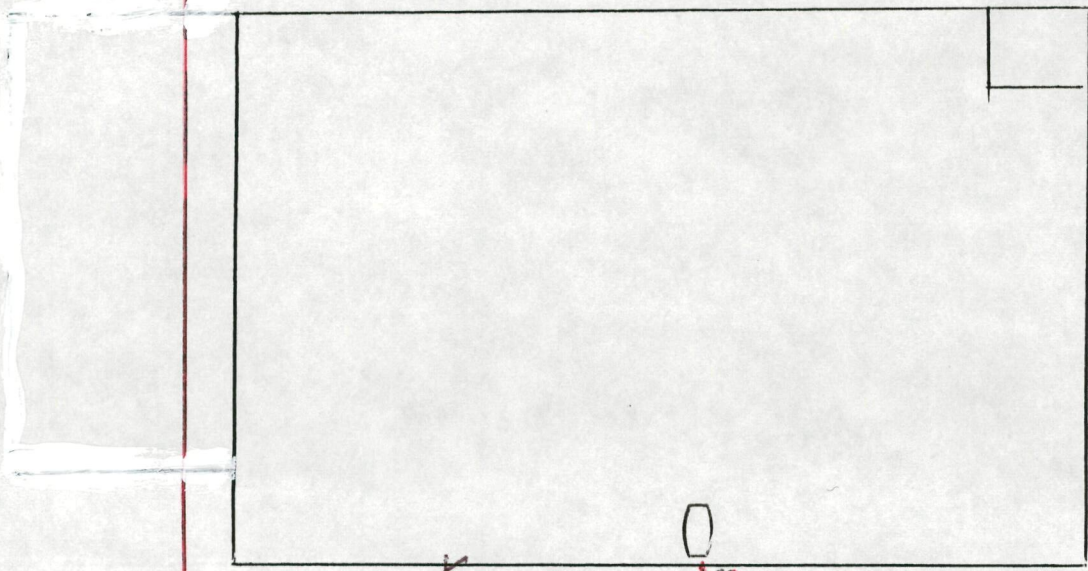
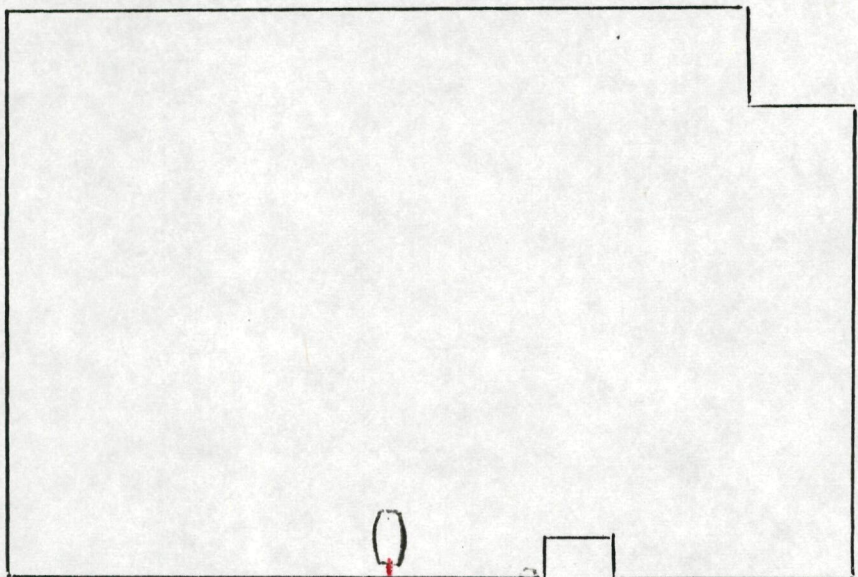
COMPLETED (Signature)



Date 20 / 4 / 93

SKYLINE GARAGES
53 15TH AVENUE
P.O. BOX 688 TAURANGA
PH. 782-339 BUS., 25-080 A/H.

TAURANGA DISTRICT
COUNCIL
APPROVED PERMIT
PLANS



6.0
Proposed 6m x 3.6
SINGLE GARAGE. 3.6.

Note: All dimensions to be in metres

0 1 2 3 4 5 6 7 8 9 10 11 12 13 14 15 Graphic Scale

Symbols	CITY OF TAURANGA	Scale 1:100
Stormwater: [Show green]	DRAINAGE BLOCK PLAN OF:	Building Plan Number
San Sewer: [Show red]	House No: <u>15</u> Street: <u>RUAHINE</u> Lot No: <u>3</u> D.P.[S.] <u>18720</u>	<u>6775</u>
Water: 	Sewer Inspected: <u>B M</u> Date: <u>23/2/89</u> Plotted: _____ Date: _____	Sheet No _____
	<u>B M.</u> <u>4/11/89</u>	

GALVANIZED-GARAGE (SKYWAY)

FOUNDATIONS:	75mm thick concrete slab with reinforced footing, or continuous ring wall, or 200 x 200 concrete piles @ 1200 max. centres under studs.
DAMPCOURSE:	2 ply d.p.c. under all plates.
FRAMING:	All timber is boric treated machine gauged Pinus Radiata. All framing is housed, i.e. studs checked into plates and nogs checked into studs. 100 x 50 studs @ 600 centres, top and bottom plates and nogs are all 100 x 50.
WALL BRACES:	Galvanised steel angle braces.
ROOF TRUSSES:	Design series: Gang nail - 12032A Pryda - A2579, 12.5° pitch. Trusses up to 6m long spaced @ 2400 centres (Max.) Trusses over 6m long spaced @ 1800 centres (Max.)
PURLINS:	100 x 50 on edge @ 750 centres.
TRUSS STIFFENERS:	100 x 50 on edge, up to 6m Garage width — 1 Row, over 6m Garage width — 2 rows
SIDE ENTRY DOOR BEAM:	2 x 150 x 50 spiked together.
DRAGON TIES:	75 x 50 on flat @ 45° angle over top — plates at each corner up to 7.2m garage length, over 7.2m length additional dragon ties at either side of centre truss.
SPOUTING:	.55 (24 GA) Galv. gutters fixed to two sides of building.
DOWNPIPES:	.40 (26 GA) 65 x 50 galv. steel, 1 off per gutter.
RIDGING:	.40 (26 GA) Galv. steel.
ROOFING:	.40 (26 GA) Galv. steel long run roofing 'SKYRIB' profile.
DOORS:	Side Door — Timber frame, galv. steel clad each side. Main Doors — .40 (26 GA) Galv. steel overdoors or Galv. steel roller doors.
EXTERIOR SHEATHING:	.40 (26 GA) Galv. steel weatherboards, 113mm profile.

COLOUR-GARAGE (SKYLINE)

NOTE:	Galv. Steel components referred to below in spouting to ext. sheathing are made of Galv. Steel with baked on silicone polyester paint, known as 'COLOR STEEL' or 'COLOR COTE' (Trade Terms)
FOUNDATIONS:	75mm thick concrete slab with reinforced footings, or continuous ring wall, or 200 x 200 concrete piles @ 1200 max. centres under studs.
DAMPCOURSE:	2 ply d.p.c. under all plates.
FRAMING:	All timber is boric treated machine gauged Pinus Radiata. All framing is housed, i.e. studs checked into plates and nogs checked into studs. 100 x 50 studs @ 600 centres, top & bottom plates and nogs are all 100 x 50.
WALL BRACES:	Galvanised steel angle braces.
ROOF TRUSSES:	Design series: Gang nail — 8499A Pryda - A2579, 12.5° pitch. Trusses up to 6m long spaced @ 2400 centres (Max.) Trusses over 6m long spaced @ 1800 centres (Max.)
PURLINS:	100 x 50 on edge @ 750 centres.
TRUSS STIFFENERS:	100 x 50 on edge up to 6m garage width — 1 row over 6m garage width — 2 rows.
SIDE ENTRY DOOR BEAM:	2 x 150 x 50 spiked together.
DRAGON TIES:	75 x 50 on flat @ 45° angle over topplates at each corner up to 7.2m garage length, over 7.2m length additional dragon ties at either side of centre truss.
SPOUTING:	.55 (24 GA) Galv. gutters fixed to two sides of building.
DOWNPIPES:	.40 (26 GA) 65 x 50 Galv. steel, 1 off per gutter.
RIDGING:	.40 (26 GA) Galv. steel, LEAD EDGED.
ROOFING:	.40 (26 GA) Galv. steel long run roofing 'SKYRIB' profile.
DOORS:	Side Door — Timber frame, Galv. steel clad each side. Main Doors — .40 (26 GA) Galv. steel overdoors or Galv. steel roller doors.
EXTERIOR SHEATHING:	.40 (26 GA) Galv. steel weatherboards, 155mm profile.

HARDIPLANK-GARAGE

FOUNDATIONS:	75mm thick concrete slab with reinforced footings, or continuous ring wall, or 200 x 200 concrete piles @ 1200 max. centres under studs.
DAMPCOURSE:	2 ply d.p.c. under all plates.
FRAMING:	All timber is boric treated machine gauged Pinus Radiata. All framing is housed, i.e. studs checked into plates and nogs checked into studs. 100 x 50 studs @ 600 centres, top and bottom plates and nogs are all 100 x 50.
WALL BRACES:	Galvanised steel angle braces.
ROOF TRUSSES:	Design series: Gang nail — 3143A 12.5° pitch. Trusses up to 6m long spaced @ 2400 centres (Max.) Trusses over 6m long spaced @ 1800 centres (Max.)
PURLINS:	100 x 50 on edge @ 750 centres.
TRUSS STIFFENERS:	100 x 50 on edge, up to 6m garage width — 1 row over 6m garage width — 2 rows.
SIDE ENTRY DOOR BEAM:	2 x 150 x 50 spiked together.
DRAGON TIES:	100 x 50 on flat @ 45° angle over topplates at each corner up to 7.2m garage length, over 7.2m length additional dragon ties at either side of centre truss.
SPOUTING:	.55 (24 GA) Galv. gutters fixed to two sides of building.
DOWNPIPES:	.40 (26 GA) 65 x 50 Galv. steel, 1 off per gutter.
RIDGING:	.40 (26 GA) Galv. steel, LEAD EDGED.
ROOFING:	.40 (26 GA) Galv. steel long run roofing 'SKYRIB' profile.
DOORS:	Side Door — Timber frame, Galv. steel clad each side. Main Doors — .40 (26 GA) Galv. steel doors or Galv. steel roller doors.
EXTERIOR SHEATHING:	HARDIPLANK' 235mm Smooth finish weatherboard (effective cover — 205mm)
BUILDING PAPER:	Breather type paper on all walls behind weatherboards and under roofing.

TAURANGA DISTRICT
COUNCIL
APPROVED PERMIT
PLANS

FOR: MR. R. Bennett.
AT: ISA Rahmei St.
TAURANGA.

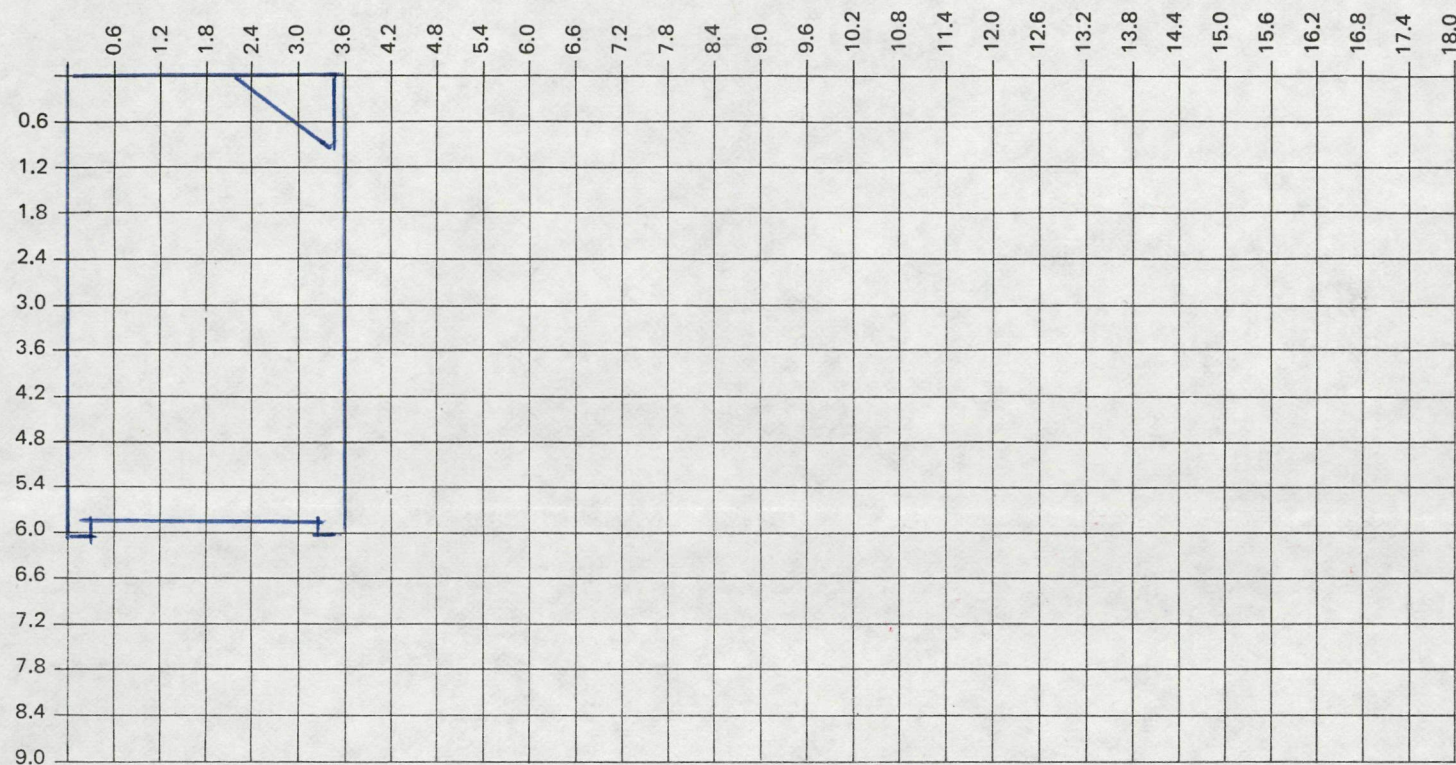
SKYLINE

DISTRIBUTOR:
SKYLINE GARAGES
53 15TH AVENUE
P.O. BOX 688 TAURANGA
PH. 782-339 BUS., 25-080 A/H.

SPECIFICATIONS

DATE:
24-11-90
SCALE:

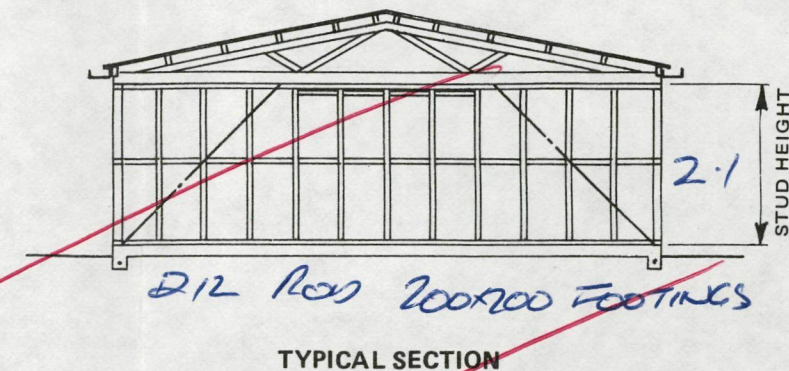
SHEET
2



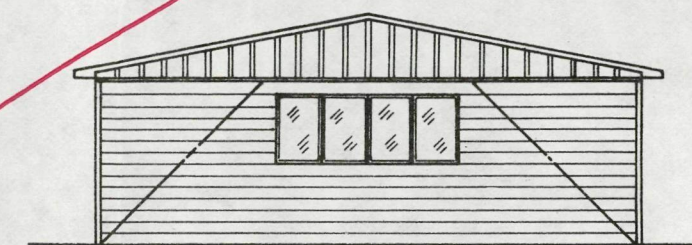
FLOORPLAN

NOTE:
CONTRACTORS MUST VERIFY
ALL DIMENSIONS BEFORE
COMMENCING ANY WORK

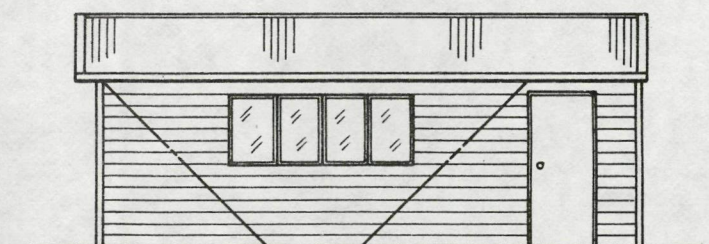
TAURANGA DISTRICT COUNCIL
Plans and specifications approved subject to all work
being carried out in accordance with the District
Council Bylaws and Planning Ordinances.
..... Building Officer
24-11-90
Date
IMPORTANT - 12 HOURS NOTICE MUST BE GIVEN TO
THE PLANNING & ENVIRONMENT RECEPTION OFFICE
BEFORE POURING CONCRETE FOUNDATIONS - BOND
BEAMS - SUSPENDED TERRACE SLABS - CONCRETE
FLOORS INSULATION - PRELINE COMPLETION.



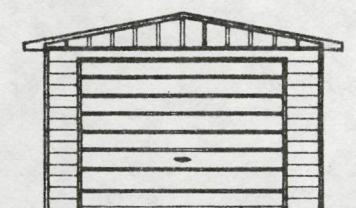
TYPICAL SECTION



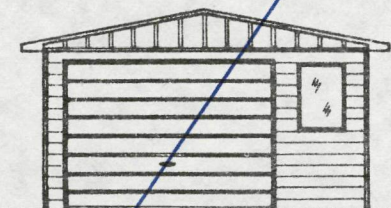
TYPICAL REAR VIEW



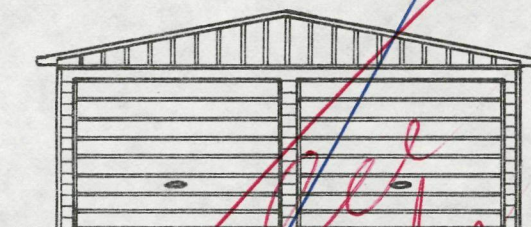
TYPICAL SIDE VIEW



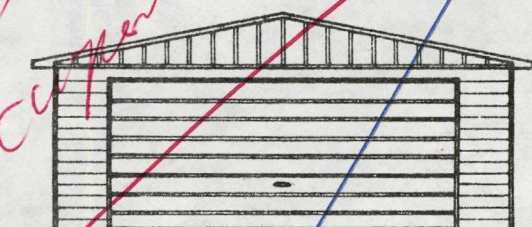
SINGLE



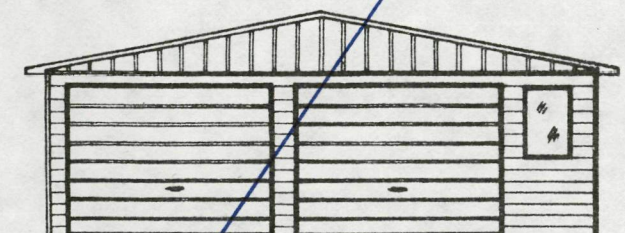
SINGLE WORKSHOP



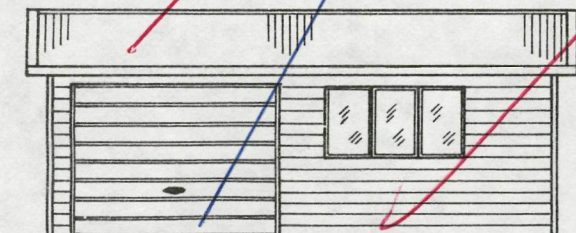
DOUBLE



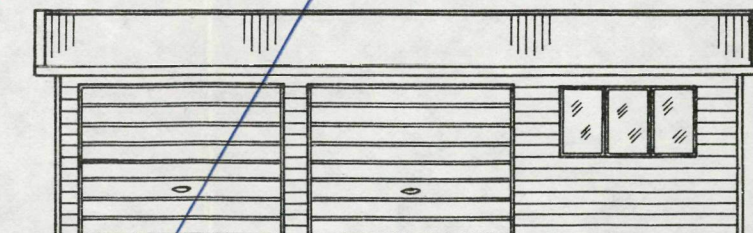
DOUBLE (4.5m DOOR)



DOUBLE WORKSHOP



ONE DOOR SIDE ENTRY



TWO DOOR SIDE ENTRY



ELEVATIONS

FOR: Mr R. Bennett.
AT: 15A Ruckwiese Rd
Tauranga.



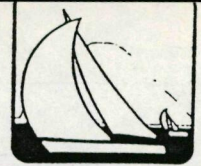
DISTRIBUTOR:

SKYLINE GARAGES
53 15TH AVENUE
P.O. BOX 688 TAURANGA
PH. 782-339 BUS., 25-080 A/H.

DATE: 24-11-90
SCALE: 1 : 100

SHEET
1

CONSTRUCTION CONSENT APPLICATION FORM



Permit Sought (✓ box)

- ☐ Building
 ☐ Plumbing
 ☐ Drainage
☐ Demolition
 ☐ Solid Fuel Heater Installation

RECEIVED

26 NOV 1990

TAURANGA
DISTRICT COUNCIL

SITE DESCRIPTION <i>85590-15^A-1</i>		ESTIMATED VALUES	
Street Address: <i>15A Rucknē ST TAURANGA</i>		Estimated Values of Work including GST:	
Lot: <i>3</i> DP: <i>18720</i>		Building	<i>3300-00</i>
Valuation Roll No: <i>06673/64500/A</i>		Plumbing	<i>/</i> Labour <i>/</i>
Land Area <i>.....</i> m ²		Drainage	<i>/</i> Labour <i>/</i>
		TOTAL \$ <i>3300-00</i>	
OWNER		BUILDER	
Name: <i>R BENNETT</i>		Name: <i>SKYLINE CARAGES</i>	
Address: <i>15A Rucknē ST TAURANGA</i>		Address: <i>PO Box 688 TAURANGA</i>	
Phone: <i>.....</i> Signature: <i>.....</i>		Phone: <i>782339</i> Signature: <i>D'Dough</i>	
PLUMBER		DRAINLAYER	
Name: <i>/</i> Reg No: <i>/</i>		Name: <i>/</i> Reg No: <i>/</i>	
Address: <i>/</i>		Address: <i>/</i>	
Phone: <i>/</i> Signature: <i>/</i>		Phone: <i>/</i> Signature: <i>/</i>	

FOR OFFICE USE ONLY

Checked and Approved By:					
Officer	Initial	Date		Permit No:	Fee
Vetting Officer			Building	<i>04731</i>	<i>6-12-90</i> <i>83-00</i>
Planning Officer	<i>KZ</i>	<i>27/4/90</i>	Plumbing & Drainage <i>N/A</i>		
Building Officer	<i>SB</i>	<i>26/11</i>	Building Research Levy		
☐ Plumbing and Drainage Officer	<i>M.</i>	<i>27-11-90</i>	Footpath Levy		
☐ Structural Eng.			Vehicle Crossing		
☐ Services Eng.			Water Connection		
			Proportion Water Rate		
			Sewer Connection		
			Stormwater Connection		
			Development Levy		
RECEIPT <i>513401</i>			DATE <i>3/12/90</i> TOTAL <i>\$83-00</i>		

Permit extended to 3/12/91
W. P. [Signature]
Brother [Signature]

Application Form continues overleaf

INV: C 11231

30-11-90.

BUILDING / DEMOLITION DETAILS

DESCRIPTION OF PROPOSED WORK AND MAIN PURPOSE OF USE

Proposed Work: ERECT SINGLE GARAGE CARPORT.

Purpose for which each part of proposed building to be separately used or occupied:

..... STORAGE

New Ground Floor Area: m²

Gross Floor Area: 21.6 m²

NOTE: If a wetback is to be installed on a solid fuel heater a plumbing permit application must be completed.

PLUMBING AND DRAINAGE DETAILS

SPECIFICATION OF PLUMBING WORK TO BE CARRIED OUT

	W.C.	BATH	SHOWER	WHB	SINK	TUB	URINAL	H.W.C.	WETBACK	OTHER
INSTALL										
RENEW										no connection
SHIFT										
REMOVE										

SPECIFICATION OF DRAINAGE WORK TO BE CARRIED OUT

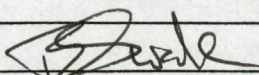
(Delete whichever is not applicable)

1. Construct new drain with septic tank and effluent disposal:
2. Construct new drain and connect to sewer:
3. Re-direct drains:
4. Extend drains:
5. Repair drains:
6. Construct stormwater drains and connect to services:
7. Construct stormwater drains and discharge to soak-holes.

FOR OFFICE USE ONLY

BUILDING PERMIT ENDORSEMENTS:

.....

Issue of Building Permit Approved By:  Date: 28/11/90

PLUMBING AND DRAINAGE ENDORSEMENTS:

.....

Issue of Plumbing and Drainage Permit Approved By: Date: / /

TO: MAINTENANCE SERVICES
C/- DEPARTMENT OF TECHNICAL SERVICE
TAURANGA DISTRICT COUNCIL
PRIVATE BAG, TAURANGA

Telephone: (075) 777-155
Fax: (075) 777-194

Applicant:

Name: _____

Address: _____

Phone: _____

Legal Description: _____

Prop File: _____

Property Address: _____

Services Required By: ____/____/____

Signed: _____/____/____
(Applicant) (Date)

FOR INSTALLATIONS OF NEW SERVICES:

If Non-Standard
Please State
Size Required

1. Construct Vehicle Crossing

Construct residential crossing ☐

Construct commercial/industrial crossing ☐

Select type of finish between footpath and boundary

☐ Concrete ☐ Asphalt ☐ Concrete Pavers

Distance from kerb to boundarym

2. Water Connection

Provide standard residential 20mm diam connection ☐

Provide non-standard connection ☐

3. Sewer Connection

Provide standard connection ☐

Provide a non-standard sewer connection ☐

4. Stormwater Connection

Provide standard residential 100m diam connection ☐

Provide non-standard or commercial connection ☐

FOR OFFICE USE ONLY

Approved	Code	Price
	89-200-001	
.....		
	89-400-001	
.....		
	42-110-306	
.....		
	89-800-001	
.....		
TOTAL \$		

5. Please show details of where crossing or connection is to be located in relation to boundary on panel below or attach separate A4 plan:

FOR REMOVAL OR DEMOLITION OF BUILDINGS:

Removed From:

Removed To:

Services to be Disconnected: ☐ Temporarily ☐ Permanently

☐ Water ☐ Sewer ☐ Stormwater (where connected to services) ☐ Gas FEE: \$.....

Services to be Disconnected by: ____/____/____

For disconnection of power, gas and telephone please approach the appropriate local supply authority.

		If Non-Standard Please State Size Required	FOR OFFICE USE ONLY		
			Approved	Code	Price
1. <u>Construct Vehicle Crossing</u>					
Construct standard residential crossing	☐				
Construct non-standard residential crossing	☐				
2. <u>Water Connection</u>					
Provide standard residential 20mm diam connection	☐				
Provide non-standard connection	☐				
3. <u>Sewer Connection</u>					
Provide a non-standard sewer connection	☐				
4. <u>Stormwater Connection</u>					
Provide standard residential 100mm diam connection	☐				
Provide non-standard or commercial connection	☐				
			TOTAL \$		
5. Please show details of where crossing or connection is to be located in relation to boundary on panel below or attach separate A4 plan:					

FOR DEMOLITION OF BUILDINGS:

Please state services to be disconnected

	FOR OFFICE USE PRICE
☐ Water	
☐ Sewer	
☐ Stormwater (where connected to services)	
TOTAL \$	

For disconnection of power please approach the appropriate local power supply authority.

Applicant:

Name: _____
Address: _____
Phone: _____

Services Required By: ____/____/____

Signed: _____
(Applicant) (Date)

YOU MUST SUBMIT IN SUPPORT OF YOUR APPLICATION

Please tick where information provided, state N/A where not applicable.
An incomplete application will be returned.

		CHECK	
		Yours	Office
1.	2 SETS OF SPECIFICATIONS	☐	☐
2.	2 FULL SITE PLANS : SCALE 1:100 SHOWING:	☐	☐
	(a) Position of the building(s) in relation to the <u>boundaries</u> of the full site and existing building(s) located on the site.	☐	☐
	Note: Both existing and proposed buildings are to be <u>clearly</u> defined.	☐	☐
	(b) Site levels relative to permanent street levels.	☐	☐
	(c) Crossings/Driveways marked on all site plans - proposed, existing, gradients. Note normally one crossing per site only.	☐	☐
	(d) Off street parking, loading, access and manoeuvring areas.	☐	☐
3.	2 SETS OF CONSTRUCTIONAL DRAWINGS: SCALE 1:100 or 1:50 SHOWING:	☐	☐
	(a) Elevations (site levels relative to floor levels)	☐	☐
	(b) Sectional elevations	☐	☐
	(c) Plans of all floors describing the function of each room showing all doors, windows and ventilation, fireplaces and chimneys. BUT for additions and alterations, the existing shall be shown separately and alongside the "proposed", to the same scale for comparison.	☐	☐
	(d) Foundation details.	☐	☐
	(e) Structural details, showing engineering calculations where required.	☐	☐
	(f) Bracing calculations (3604)	☐	☐
4.	(a) Have plumber and drainlayer signed application form.	☐	☐
	(b) All existing SEWERS, sewer connections shown and clearly labelled.	☐	☐
	(c) All existing STORMWATER drains and connections shown and clearly labelled.	☐	☐
	(d) Proposed sewer and stormwater drains shown clearly and labelled accordingly.	☐	☐
	(e) All existing and proposed sanitary fittings.	☐	☐
	(f) Sufficient detail to establish the adequacy of light and ventilation natural and artificial to every kitchen, food-room, laundry, bathroom, water closet, shower, urinal and isolation compartment including sizes of windows, ventilating skylights, ventilating shafts and capacities of fans.	☐	☐
5.	SOLID FUEL HEATERS	☐	☐
	(a) Manufactuerers installation specifications.	☐	☐

A RECEIPT FOR PERMIT FEES DOES NOT MEAN THE PERMIT IS APPROVED FOR IS