

APPLICATION FOR BUILDING PERMIT

Wanganui City Council

Date 21/03/89

THE CITY ENGINEER,
DEAR SIR

4062287

I hereby apply for a Building Permit to erect/demolish TWO DWELLING UNITS & GARAGES

according to site plan and detailed plans, elevation, cross sections and specifications of building deposited herewith in duplicate.

OWNER	
Name	ACE BUILDING CONTRACTORS
Address	P.O. Box 884 WANGANUI
Phone	46723

BUILDER	
Name	As Owner
Mailing Address	
Plumber	D. ANDERSON
Mailing Address	

PROPERTY ON WHICH BUILDING IS TO BE ERECTED / DEMOLISHED.

SITE	
Street No	6 B, C
Street Name	NIKAU St
Town / District	WANGANUI

LEGAL DESCRIPTION	
Valuation Roll No	11/279
Lot	3
D.P.	22759
Section	
Block	
Survey District	

DESCRIPTION OF PROPOSED WORK AND MAIN PURPOSE OF USE

ERECT TWO DWELLING UNITS & ATTACHED GARAGES

FLOOR AREA	DWELLING UNITS
Whole Sq. Meters	Number Erected
156	TWO

ESTIMATED VALUES	
Building	126 000 00
Plumb & Drain (Labour)	4 000 00
TOTAL	130 000 00

NATURE OF PERMIT (TICK BOX)	
☒	NEW BUILDING -including dwelling added, exclude domestic garages
☐	FOUNDATIONS ONLY
☐	ALTER, REPAIRED, EXTENDED. -include conversions & resited buildings
☐	NEW CONSTRUCTION
☐	OTHER THAN BUILDINGS - include demolitions
☐	DOMESTIC GARAGES & DOMESTIC OUTBUILDINGS - sheds, etc

FEES APPLICABLE

BUILDING PERMIT.....	\$ 350 - 00
PLUMBING PERMIT (Nº 6230).....	\$ 245 - 00
DEVELOPMENT LEVY.....	\$ 332 - 00
PREPAID CROSSING NOT REQ.....	\$ - -
PREPAID SEWER CONNECTION.....	\$ - -
PREPAID WATER CONNECTION.....	\$ AT COST
STORMWATER CONNECTION.....	\$ AT COST
BUILDERS DEPOSIT NOT REQ.....	\$ - -
TOTAL COUNCIL FEES.....	\$ 130 - 00
BUILDING RESEARCH.....	\$ 130 - 00
TOTAL FEES	\$ 1057 - 00

RCPT	049611
RCPT	049611
PWR	4702
PWR	
PWR	
PWR	
RCPT	
RCPT	

COMMERCIAL BUILDINGS

IF VALUED AT MORE THAN \$60,000
Estimated Commencing Date.....
" Completion ".....
Building Project Authority Nº.....
PRODOMINANT ACTIVITY OF OWNER:
APPLICANTS SIGNATURE:

PERMIT MAY BE ISSUED SUBJECT TO THE FOLLOWING CONDITIONS:

That accessway be formed and sealed to the satisfaction of the W.C.C.

BUILDING PERMIT APPLICATION CHECK SHEET

Notes : _____

DATE	DEPARTMENT		REMARKS
21/3 02/04	Town Planning	Refer Attached Check Sheet _____ Approved: _____ Date 4-4-89	
22/3	Building Inspector	Values on Application _____ Ground Levels & Foundations _____ Materials _____ Construction _____ Bracing (3604) _____ Heating Appliances _____ Public & Commercial Buildings _____ Access for Handicapped _____ Chapter 5 Egress etc (Check Sheet Yes/No) _____ Approved: _____ Date 10/4/89	
	Drainage Engineer	SS Connection & Fee <u>SS existing no charge</u> Approved: <u>PCLen</u> Date <u>30/3/89</u> SW Connection & Fee <u>SW @ existing no charge</u> Approved: <u>PCLen</u> Date <u>30/3/89</u>	
30/03	Water Engineer	Water Connection & Fee <u>25mm @ COST</u> Approved: _____ Date <u>3/4/89</u>	
	Structural Engineer	Structural Drawings & Calculations _____ Approved: _____ Date _____	
3/4 10/4	Health Department	Value _____ Plumbing & Drainage Requirements _____ SW Requirements _____ General Requirements _____ Health & Food Regulations etc _____ Dangerous Goods Requirements _____ Approved: _____ Date <u>11-4-89</u>	

GENERAL REMARKS

TOWN PLANNING Development levy assessed on
Valuation of P11,500

P. 11.59.

BUILDING INSPECTOR Please provide the following

- ✓ 1/ Truss design certificate
- ✓ 2/ That a Vapour Barrier will be placed under floor slab (Type etc).
- ✓ 3/ Indicate on plan that wall between garage/lounge will be insulated if external walls around garage are not done.
- ✓ 4/ Include in specifications that power/telephone will be placed underground.

28/3/89

DRAINAGE ENGINEER

Depth at boundary is excessively deep. Please come in to discuss.

P Chen
30/3/89

WATER ENGINEER

Show position of water connection required to service this development, state size. The connection must also service the front units.

M

STRUCTURAL ENGINEER

HEALTH DEPARTMENT Please provide cleaning eye access to tubs/water on lift/well/Vat head of waste.
Please provide details in specification relating to type of water cylinder, capacity of same, & method of installation.
Return for permit with further information. Tender value of work appears to be too low.

LS 3/4/89

BUILDING PERMIT CHECK LIST

P15

Property Reference:

6 Nikau Street

Type of Building:

2 units & garages

Net Site Area

694m²

Zoning

RA

Reserves

	REQUIREMENTS	REQUIRED	PROVIDED	O.K.	REQUIRED	PROVIDED	O.K.
1.	Coverage				35% = 243m ²	Prop. 163.92. Envst. 74.63 238.55m ²	✓
2.	Density				1/80m ² = 9	Prop: 6 Envst: 2/8	✓
3.	Height				10m	3.6m	✓
4.	Front yard (including beautification)				9m X 9m Δ		✓
5.	Side yards				$\frac{13.2 + 10.8}{10}$ = 2.4m	3.5m	✓
6.	Rear yards				$\frac{13.2 + 10.8}{10}$ = 2.4m	3m	✓
7.	Outdoor living space						✓
8.	Storage area						✓
9.	Service area						✓
10.	Car spaces				To be formed & sealed.		✓
11.	Vehicular access						✓
12.	Loading Bay/Crossings/ Distance from intersection						✓
13.	Trees/Historic Places						✓
14.	Proposed road/service lane						✓
15.	Road widening & BLR						✓
16.	Easements/Site Dimensions						✓
17.	Floor area ratio						✓
18.	View Protection Plane						✓
19.	Sunlight Protection Plane						✓
20.	Services				Underground		✓

Design Approval Required Yes/No

Date:.....

Dispensation Required in Respect of Nos:.....

Dispensation Approved/Declined

S P E C I F I C A T I O N

for

Two Units

6 Nikau Street

WANGANUI

for

OAKRIDGE HOMES

I N D E X

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SCOPE

1-1

1-1-01 SITE

The site is situated at 6 Nikau Street Wanganui. The position of the building relative to the site is shown on the site plan, sheet 1.

1-1-02 SCOPE

The scope of the work materials and labour necessary for the additions and alterations as indicated on the drawings and specified herein. to complete the two units.

The approximate new floor area is: 156.2 M².

1-1-03 DRAWINGS

This specification shall be read in conjunction with the drawings, No 326/2 sheets 1 to 2. This Preliminary and General shall apply equally to all trades and sections.

1-1-04 SETTING OUT

The contractor shall accurately set out the work as shown on the drawings and shall be held responsible for any errors in setting out.

1.0.01 DIMENSIONS

Except where the reading of the drawings and specification are clearly to the contrary, all dimensions shall be deemed to be defined by the bare surfaces of the concrete or the timberwork. Check all dimensions on site.

1.0.02 ALTERNATIVES

Where any item mentioned by a trade name or by any other specific reference, it shall be deemed to mean the type of article or material so mentioned, or any other approved by the Architect as equal thereto in price, quality, finish and durability and equally serviceable for the purpose intended.

1.0.03 PROPRIETARY PROCESSES

If any proprietary process is used, the Contractor shall follow the proprietor's instructions as closely as possible.

1.0.04 TRADE SECTIONS

Reasonable care has been taken to classify under trades, but it is up to all trades to make themselves conversant with any and all clauses which may affect their work.

1.0.05 OTHER TRADES

Each trade shall take steps to prevent damage or disfigurement of the work by other trades and will be responsible for the cost of repairing same.

1.0.06 ENCLOSURES

No part of the building under construction shall be used to store any materials other than those used on same.

1.0.07 PROTECTION OF WORKS AND MATERIALS

All works and materials shall be protected from inclement weather, careless handling and the like. Damage due to lack of care shall be replaced at the Contractor's expense.

1.0.08 NOTICES, FEES ETC.

The Contractor shall obtain all Local Body Permits, approvals etc, and pay all fees for such approvals.

1.0.09 MATERIALS AND WORKMANSHIP

All materials shall be the best of their respective kinds and work shall be carried out according to best trade practice.

1.0.10 STANDARD SPECIFICATIONS

New Zealand or any standard specifications referred to in any section of this specification shall be the latest issue of such specifications and all subsequent amendments up to the time of the commencement of the work.

1.0.11 SCAFFOLDING AND SHORING

Provide and erect all necessary scaffolding and shoring in accordance with the Construction Act 1959 and to the satisfaction of the Architect and/or Local Authority.

1.0.12 CLEANING DOWN AND COMPLETION

The Contractor shall at frequent intervals remove from the building and site all rubbish and litter.

On completion the building shall be left clean, tidy and ready for immediate occupation.

1.0.13 INSURANCE

The Contractor shall insure all plant, materials and buildings on the site for the duration of the work against loss or damage by fire at the full value of work done.

1.0.14 EXTRAS

Extras must be authorised in writing under the hand of the Architect and the cost of the extra work must be agreed upon before proceeding.

1.0.15 FINAL INSPECTION

Upon completion the Architect shall inspect the Residence with the owner and prepare a maintenance list which must be completed prior to final payment.

1.0.16 PAYMENT

In the absence of any other agreement the owner must make complete and final payment prior to receiving a key and shall not enter the residence without the Contractor's agreement prior to receiving this key.

1.0.17 POWER & TELEPHONE

All power & telephone supply shall be placed underground.

EXCAVATION GENERAL

4-0

4-0-01 SITE PREPARATION

Areas to be occupied by the building shall be stripped of all vegetation. Excavated material is to be distributed on site as directed.

4-0-02 FOUNDATIONS

Excavate for foundations, dimensions shown on the drawings.

Provide shoring as necessary to prevent sand falling into excavation prior to the placement of concrete.

Take all excavation out level to ensure firm bearing to concrete surfaces.

4-0-03 SERVICES

The Contractor shall co-operate where necessary to ensure that all excavations for services are protected while open.

All trenches for services shall be backfilled as below.

4-0-04 BACKFILLING

Back filling to foundations shall be clean earth placed in layers not exceeding 150 mm and well rammed. The top 150 mm min areas to be grassed shall be topsoil.

Beneath floor slabs, filling shall be clean, dry sand well compacted. The last 150 mm of fill below floor slabs shall be clean river run metal.

CONCRETE

6-1

6-1-01 SCOPE

This section includes the provision of all reinforced concrete work to foundations, floors, surrounds to drains and sumps and the polythene damp proof course.

6-1-02 FLOOR FINISH

The slab shall be levelled by raking to a level slightly above the finished floor level and compacted thoroughly by vibrating screed board.

Power floating shall not commence until after the floor slab is sufficiently hard to bear the operator's weight without leaving indentations, and should be delayed as long as possible, consistent with obtaining the required finish. Power float to remove all imperfections, bumps and hollows in the surface, and to produce a smooth dense finish without excessive cement paste being worked to the top. No crazing should be evident in the finished surface after curing. Keep slab continuously damp for 7 days following pouring and thereafter hose down once per day for the next 21 days.

6-1-03 CONCRETE FOR DRAINAGE WORK

Co-operate with the plumber and drainlayer in casting in pipes, drains and fittings. Where drains and wastes are shown to be encased in concrete surrounds, provide concrete beds to the correct gradients and cast sides and tops of surrounds after the pipes have been laid and tested. Ensure that pipes and wrappings are not damaged or displaced.

6-1-04 FOUNDATIONS

Place concrete to 130 foundation walls, ensuring complete compaction.

Take care when placing concrete not to displace reinforcing steel.

REINFORCING

10-1

10-1-01 SCOPE

This section covers the placing of steel reinforcement to garage slab, slab edge thickening and retaining walls as described below and as indicated on the drawings.

10-1-02 SLAB

Garage slab shall be reinforced with 666 HRC mesh. Mesh is to carry to the edges of all slabs and lap with starters.

10-1-03 EDGE THICKENING

Edge thickening to sizes as shown on the drawings shall be reinforced with one D10 bar to top and one D12 bar to bottom of footing.

Ties shall consist of R10 bars at 1200 cns.

17-0-01 SCOPE

Provide all plates, fixings, brackets, bolts etc required for the completion of the work and not expressly described in other sections.

17-0-02 MATERIALS

All iron and steelwork permanently exposed to the weather shall be hot dipped galvanized.

All other metals shall be of the type and grade suitable for the purpose intended.

All bolts passing through poles shall be protected by a liberal coating of General Purpose Grease.

17-0-03 NAIL PLATES

Where required members shall be fixed with Pryde nail plates, Trip-L-Grips, angle bracing etc.

Supply all metal fixings required and fix accordingly as is good trade practice.

17-0-04 PROPRIETARY FIXINGS

Where recommended by the Engineer or where shown on the drawings supply and fix proprietary pole fixings to Manufacturer's instructions and as detailed on the drawings.

17-0-05 POST FIXINGS

Top and bottom fixings to all posts shall comply with clause 7.1 of NZS 3604.

CARPENTRY - GENERAL

20-0

20-0-01 STANDARDS

The provisions of NZS 3604 and all subsequent amendments shall be deemed to be part of this specification.

20-0-02 TIMBER USES

Timber which is to be permanently incorporated in the building shall not be used as scaffolding, boxing or for any other temporary purpose.

20-0-03 STACKING

All timber on arrival to the site shall be protected from the weather and damage during the currency of the contract.

20-0-04 SPACING

Timber throughout shall be spaced regularly at centres as shown on the drawings, or where no indication is given such centres shall not exceed 600 mm.

20-0-05 FABRICATION AND ERECTION

To the extent that they are applicable Department of Labour Safety in Construction Publications shall apply.

The work shall be carried out in accordance with best trade practice, executed by competent craftsmen using equipment, materials, and processes that are adequate for the purpose.

At all points of attachment all timbers shall be secured as per NZS 3604.

Finishing nails and brads shall be neatly punched below the surface.

All screws shall be predrilled to prevent splitting.

20-0-06 VERMIN STOPS

Plates and stops are to be inserted where necessary to prevent access of vermin, into and about the structure.

20-0-07 NAILS ETC

Nails, brads, screws and bolts shall be generally of steel, except where liable to corrosion or inserted in Totara or Redwood in which case they shall be galvanised.

Screws exposed to the weather shall be solid brass.

20-0-08 PRIMING

Prime with red lead primer all exterior finishing timbers required to be painted, on all faces, before fixing.

20-0-09 TREATMENT

All timber shall be pressure treated in accordance with the provisions of the Timber Preservation Regulations 1955.

20-0-10 FINISH

All finishing timbers are to be dressed and sanded to a smooth finish. Arrises, rough or uneven patches, hammer marks and all other surface defects are to be removed before painting.

20-0-11 DAMP PROOF COURSE

Damp proof course consisting of 2 ply bituminised felt fabric is to be used to separate all timbers from supporting concrete. It shall be placed in widths not less than the super-imposed timbers and neatly cut over fixings.

20-0-12 WORK FOR OTHER TRADES

Wait on all trades, cut or bore timber as they may require, provide and fix all blocks, supports, dwangs, etc. for all fittings shown or specified.

20-0-13 INSULATION

Provide insulation, as shown on the drawings, to all external walls, ceilings, and floors.

CARPENTRY - WALL FRAMING

20-3

20-3-01 BOTTOM PLATES

Bottom plates shall be 100 x 50 well fixed to slabs in long lengths to NZS 3604.

20-3-02 TOP PLATES

Top plates shall be in long lengths. Connecting points are to be arranged to occur over solid bearing, or extra stud inserted to give solid bearing. All bearing walls shall have 100 x 75 top plates, or shall comply with NZS 3604.

20-3-03 STUDS

Studs shall be in full lengths with ends cut square and shall be firmly attached to plates. Every stud beneath a truss shall be wired to both top and bottom plates with 8 g. galv. wire ties, or fixed with Z-nails where approved.

Studs shall be at 600 crs.

20-3-04 LINTELS

Lintels shall be as indicated on the drawings or as fig.50 of NZS 3604.

20-3-05 BEAMS

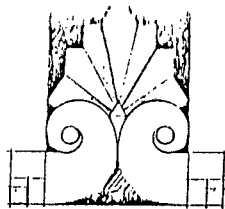
Beams shall be to sizes as shown on the drawings. All beams shall have 100 x 50 min. bearing and be well secured to framing.

20-3-06 TREATMENT

Framing timber shall be treated to T.P.A. Regulations CB treatment.

20-3-07 NOGGINGS

Noggings shall be fixed at 800 mm crs maximum.



ARCHITECTS

CONDER · MCCLEAN · SOUTHCOMBE LTD.

33 RIDGWAY STREET · TELEPHONE (064) 58112 · FAX (064) 58011 · PO BOX 886 · WANGANUI

B R A C I N G T O N Z S S 3 6 0 4 1 9 7 8

NAME: OAKRIDGE HOMES ADDRESS: 6 Nikau Street Wanganui

STOREY: (single or Uppermost)
~~(Lower of two or middle of three)~~
~~(Lower of three)~~

ROOF TYPE: (Light/~~Heavy~~)

ROOF PITCH: (0° - 25° / ~~25° - 45°~~)

WIND AREA: (High/~~Medium~~/~~Low~~) W = 80 B.U.'s/m

EARTHQUAKE ZONE: (A/~~B/C~~) E = 4 B.U.'s/m²

ROOF OR BUILDING LENGTH BL = 13.2 m.

ROOF OR BUILDING WIDTH BW = 6.4 m.

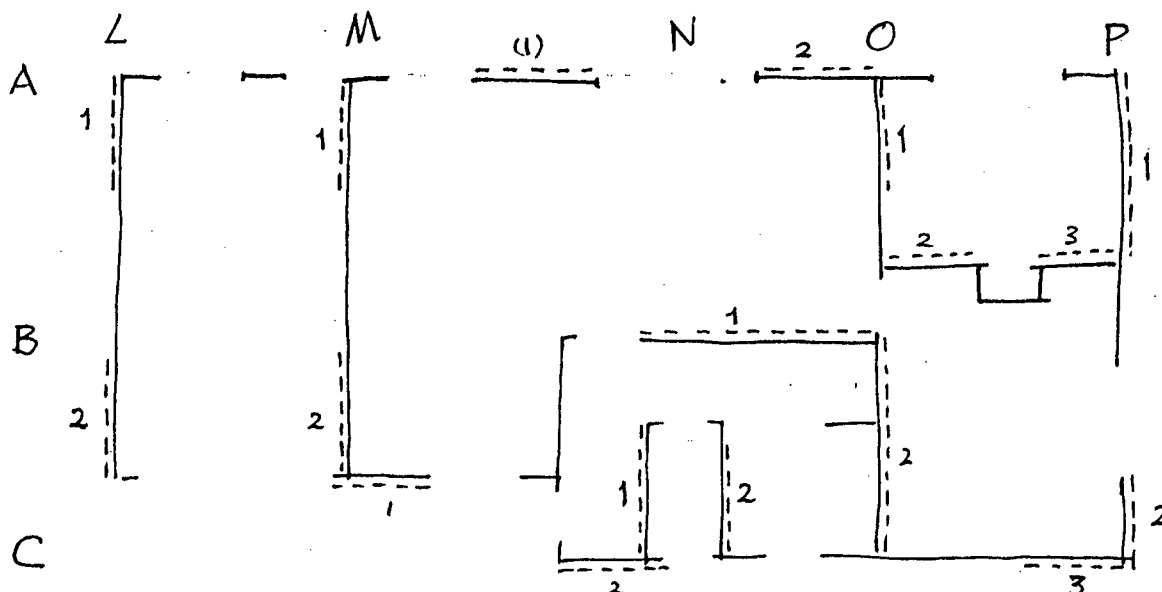
GROSS ROOF OR BUILDING PLAN AREA GPA = 78.1 m².

EARTHQUAKE: B.U.'s ALONG AND ACROSS E x GPA = 4x78.1 = 312.4 B.U.'s

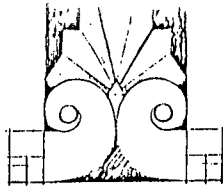
WIND: B.U.'s ALONG W x BW = 80x6.4 = 512 B.U.'s

WIND: B.U.'s ACROSS W x BL = 80x13.2 = 1056 B.U.'s

SKETCH PLAN (external and internal walls):



ARCHITECTS



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	Wall Line		Wall	Bracing Elements Provided			
	Label		Label No	Type	Rating B+U/M	Length M	Bu's Provided
	L		1	1	42	2.4	100
			2	1	42	2.4	100
	M		1	1	42	2.4	100
			2	1	42	2.4	100
	N		1	2	62	2.0	124
			2	2	62	2.0	124
	O		1	2	62	2.0	124
			2	2	62	2.0	124
	P		1	1	42	2.4	100
			2	2	42	1.5	63
BuS required		1056					1059
	A		1	1	42	1.6	67
			2	1	42	2.0	84
	B		1	12	35	3.0	105
			2	2	62	1.2	74
			3	2	62	1.0	62
	C		1	1	42	1.2	50
			2	1	42	1.4	59
			3	1	42	2.0	84
			512				

CARPENTRY ROOF FRAMING

20-4

20-4-01 TRUSSES

To new 100 x 75 top plate fix 'Lumberlok' roof trusses at 1200 cns Trusses and fixings shall comply with NZS 3603 and 3604.

Trusses shall be fixed to top plate with minimum of one Z-nail.

Bracing shall comply with NZS 3604.

20-4-02 PURLINS

Purlins shall be 100 x 50 at 750 max. cns to take roofing iron.

Provide netting and building paper.

CARPENTRY EXTERIOR SHEATHINGS

20-5

20-5-01 MATERIALS

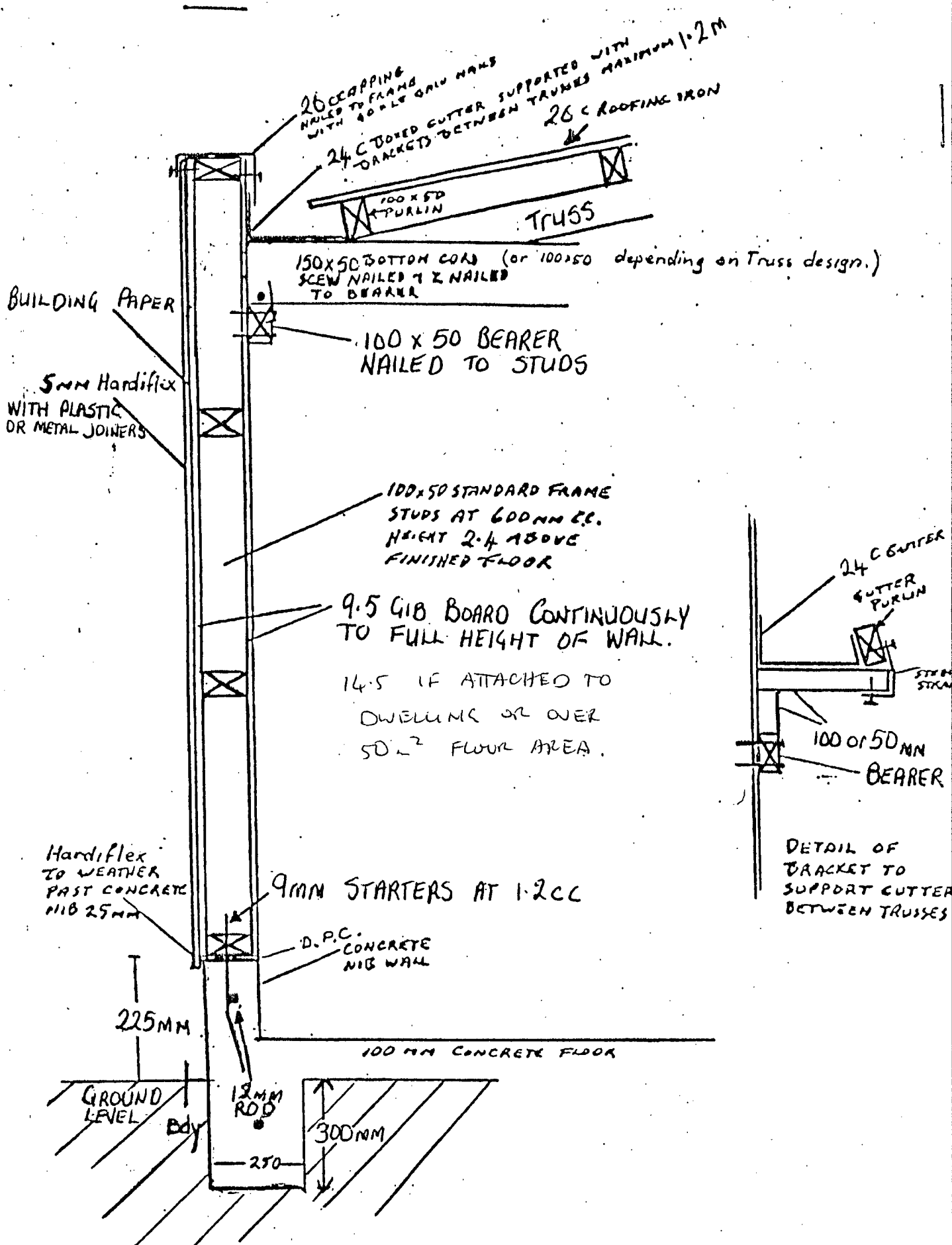
Exterior sheathings shall consist of 245 mm x 7.5 mm Hardies wood-grain Hardiplank. Supply and fix using purpose made accessories all according to the Manufacturer's instructions.

20-5-02 SOFFITS

Provide 6.4 mm flat asbestos cement for soffits as required.

20-5-03 GARAGE BOUNDARY WALL

To garage wall on boundary provide fire rated linings and soffit as per detail attached. Sheath both sides of boundary framing with 14.5 Firestop prior to fixing wall plate rafters etc.



DETAILS OF ASBESTOS BOUNDARY WALL

CARPENTRY INTERIOR LININGS

20-6-01 WALL LININGS

Wall linings generally shall be 9.5 mm Gib board fixed with galv. clouts.

20-6-02 CEILINGS

Ceilings shall be pre-finished 12.5 softboard tiles and or sheet.

Fix to 50 x 40 battens at 400 centres.

20-6-03 LAMIWALL

Allow for three sheets of 4.5 mm lamiwall or formica wall board to line shower. Allow for fixing with wall board adhesive with pvc jointers.

20-6-04 JOINERY

Fix joinery items as supplied by joiner.

29-1-01 PRELIMINARY

This Preliminary section of this specification applies equally to this trade and this section of the work.

Roofing shall be supplied and fixed by the Contractor.

29-1-02 GALVANISED IRON

Cover the whole of the roof with 26 g. long run corrugated galvanised iron fixed with gal. leadhead nails to manufacturer's recommendations.

29-1-03 FIXING

Fix with lead head galv. nails true to line at every purlin and on every third corrugation.

29-1-04 FLASHING

Roof flashings shall be 26 g. plain galvanised iron purpose made flashings with 150 mm cover to roof and 100 to walls - see details.

Solder all flashings as required.

29-1-05 ACCESSORIES

Provide and fix pvc gutters, downpipes and other accessories as required.

PLUMBING

31-0

31-0-01 PRELIMINARY

Plumbing work shall be carried out by competent tradesmen in accordance with the requirements of the NZ Plumbing and Drainage Regulations 1978.

Preliminary and General section applies equally to this section of the work.

Plumbing materials and sanitary ware shall be as scheduled below.

31-0-02 ROOFING ACCESSORIES

Fix pvc gutters, down pipes, galv. iron flashings and other roofing accessories to roofing. Ensure that the roof is completely waterproof upon completion.

31-0-03 CONNECTION TO MAINS

All work in connection with the opening up of roads and/or footpaths and making good, and coupling up to mains shall be carried out to the satisfaction of the Local Authority.

Pay all charges in connection therewith.

31-0-04 PIPES AND FITTINGS

All salt glazed pipes and fittings shall be in conformity with the requirements of NZSS 365.

Sewer pipes shall be salt glazed ware 'Class A'.

Stormwater pipes shall be salt glazed 'Class B', or their equivalent.

31-0-05 DOWN PIPES

At foot of down pipes provide bend into stormwater drain. Gutters and downpipes shall be pvc.

Hot Water Cylinder.

Provide electric mains pressure HWC, 135^l.

31-0-06 TAPS AND VALVES

All taps and stopcocks shall be chosen by the owner. Mark taps 'Hot' and 'Cold' to indicate the service. Shower is to be fitted with 'Topliss' or equal approved mixing valve, and swivel head shower rose.

All taps shall be chosen by the owner.

31-0-07 HOSE TAPS

Allow for brass hose taps in positions shown on the drawings.

31-0-08 WASTES

All wastes shall be in p.v.c. discharging to the gulley traps or to soil stack as shown. All bends shall be in fittings manufactured for the purpose.

31-0-09 WATER CLOSETS

Water closet shall be plain white complying with NZS 493.

31-0-10 WASH HAND BASIN

To bathrooms take delivery of and fix formica topped vanities with Noel basins. Supply wastes and taps and connect to hot and cold water system.

31-0-11 SHOWER

Fix mixing valve of an approved type with c.p. shower rose over bath.

31-0-12 BATH

To bathroom connect to Noel standard bath complete with waste, plug, chain, hot and cold taps.

31-0-13 TUB

Install s.s. pressed tub complete with hot and cold taps, waste, plug and chain.

Also fix stopcocks marked hot and cold for automatic washing

DRAINAGE

32-0

32-0-00 PRELIMINARIES

Preliminary and General section of this specification applies equally to this section of the work.

32-0-01 DRAINAGE

Excavate for drain trenches to alignment as shown on the drawings, true to line and to even gradients at sufficient depths to ensure a minimum of 500 cover to pipes.

Back-fill with excavated material well consolidated, the top 150 shall consist of topsoil.

32-0-02 PIPES AND FITTINGS

All salt glazed pipes and fittings shall be in conformity with the requirements of NZSS 365.

Sewer pipes shall be salt glazed ware 'Class A'.

Stormwater pipes shall be salt glazed 'Class B', or their equivalent.

32-0-03 TRAPS

In the positions indicated on the drawings, set salt-glazed gulley traps on concrete base and connect to drains. Provide pvc D surround with pvc iron grate.

32-0-04 DOWN PIPES

At foot of down pipes provide bend into stormwater drain. Gutters and downpipes shall be pvc.

32-0-05 TESTING

On completion the whole drainage system shall be tested to the satisfaction of the Local Body.



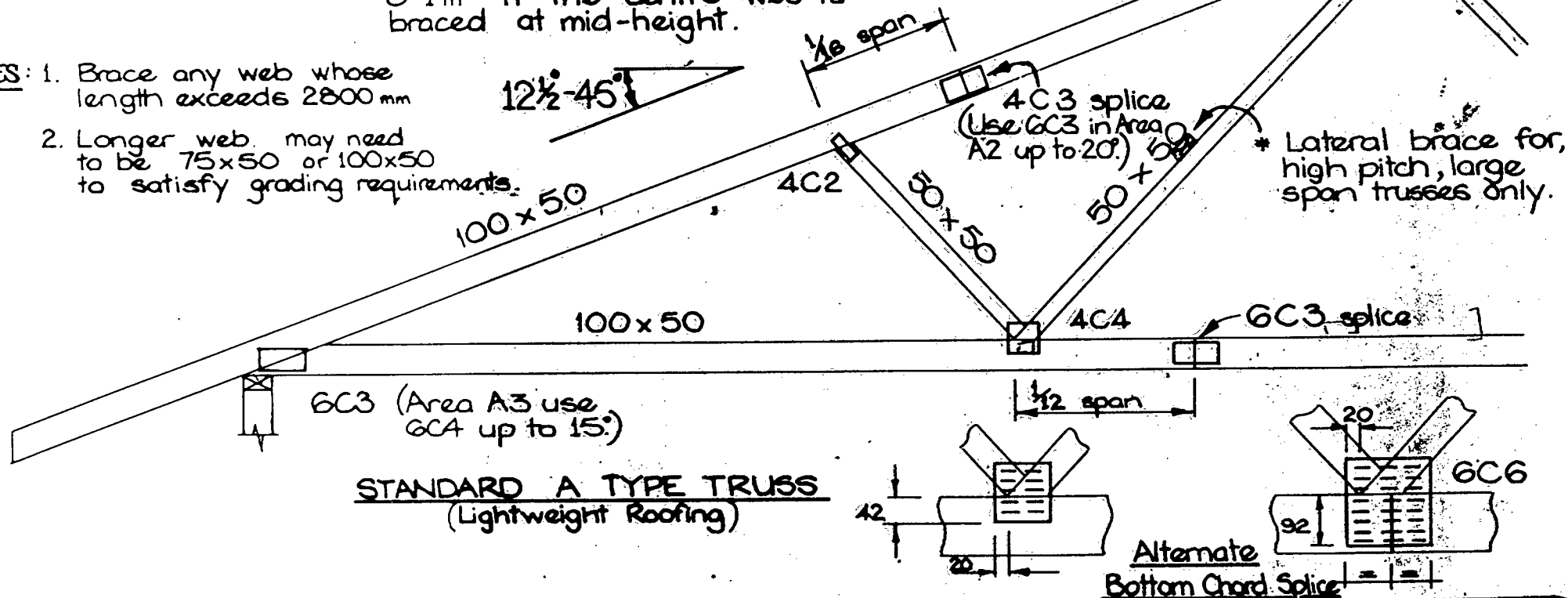
BENCHMARK BUILDING SYSTEM TRAINED

MAXIMUM SPANS			
12½-32½°	32½-35°	35-40°	40-45°
8.100	*7.600	*6.500	*5.600

* The maximum span for pitches over 32½° may be increased to 8.1m if the centre web is braced at mid-height.

NOTES: 1. Brace any web whose length exceeds 2800 mm

2. Longer web may need to be 75x50 or 100x50 to satisfy grading requirements.



pryda®

A.R. Turner & Co. (N.Z.) Ltd.

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NAPIER, NEW ZEALAND
Telephone 436 011

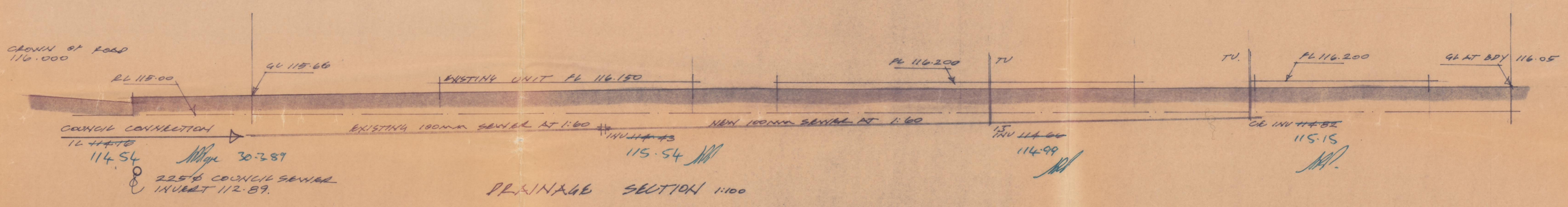
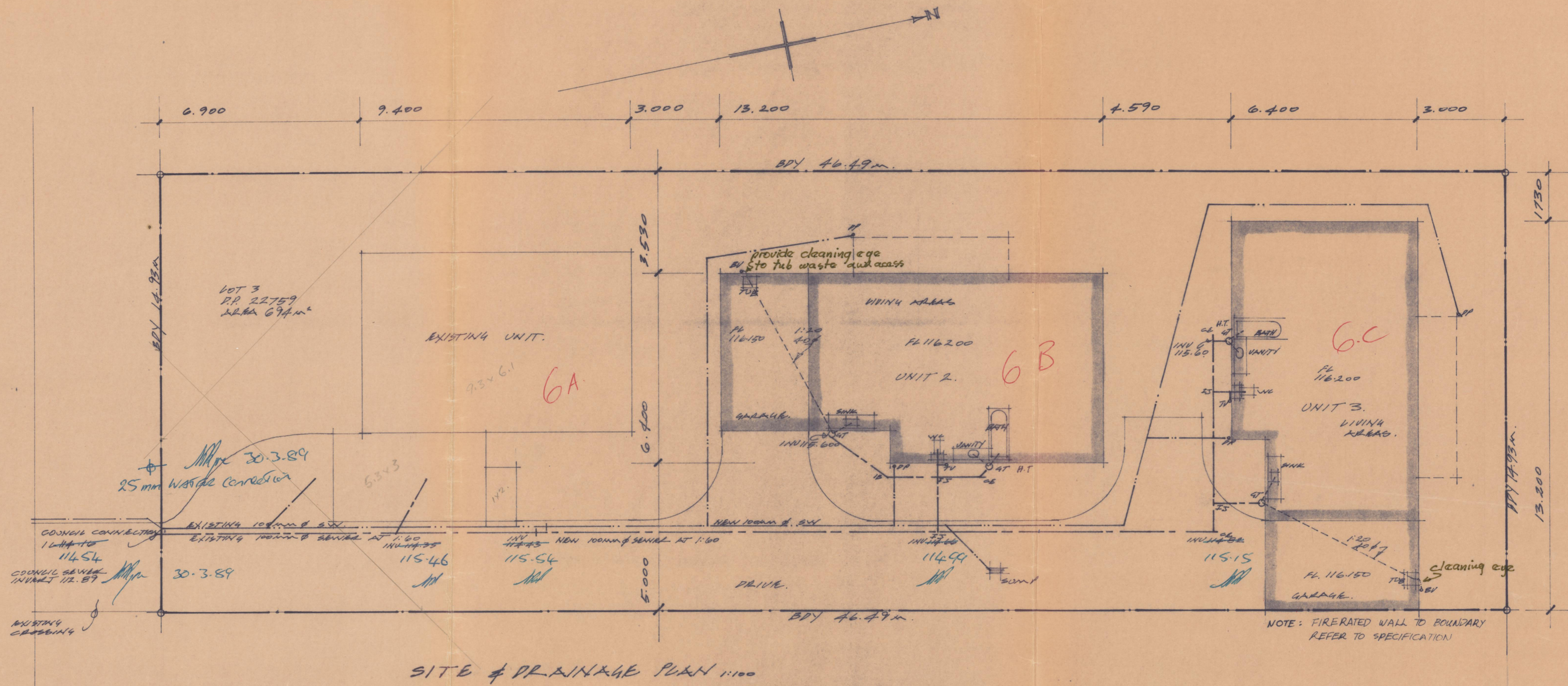
22-28 EILEEN ROAD, CLAYTON SH
MELBOURNE 3169 AUSTRALIA
Telephone 5474574

DESIGNED BY
G.J. COOPER
(B.E., MIPENZ, R.E.G.)
A.R. TURNER & Co.
NIVEN STREET, ONEKAWA,
NAPIER, NEW ZEALAND.
DRAWN - BAW
CHECKED -

TRUSS DATA	
EXPOSURE	- AREA ALL
(SEE PRYDA ENGINEERING DATA)	
SPACING	- 800 mm
TIMBER	- DE/RP
GRADE	- N°1 framing
MOISTURE	- green
ROOF MATERIAL	- light weight
CEILING MATERIAL	- up to 100 Pa
TOP BATTENS	- AT 900 mm (max)
BOTTOM BATTENS	- 600 mm (max)

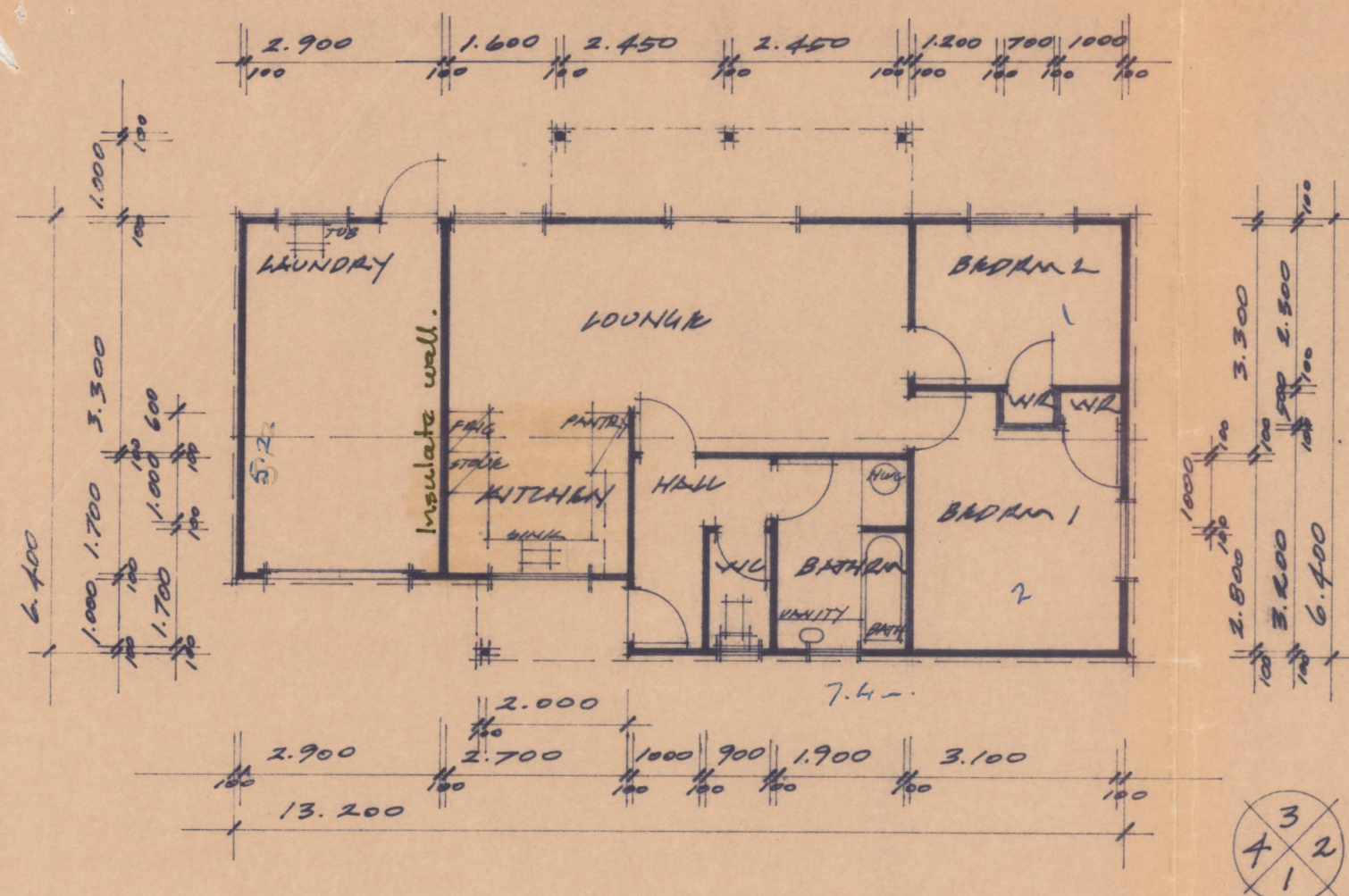
STANDARD A TYPE TRUSS	
TRUSS REFERENCE	- SC-AL 1
PITCH	- 12½° - 45°
MATERIAL	- light weight
SCALE	-
ISSUED	- June 1982



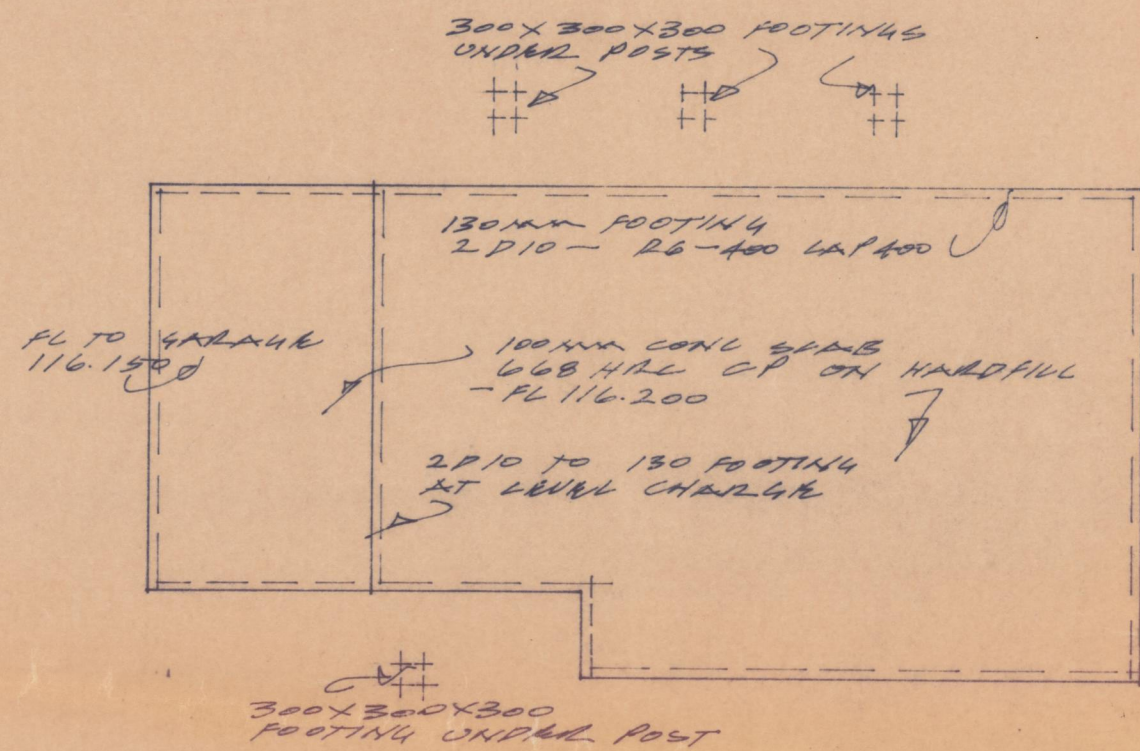


NEW UNITS
6 NIKAU STREET

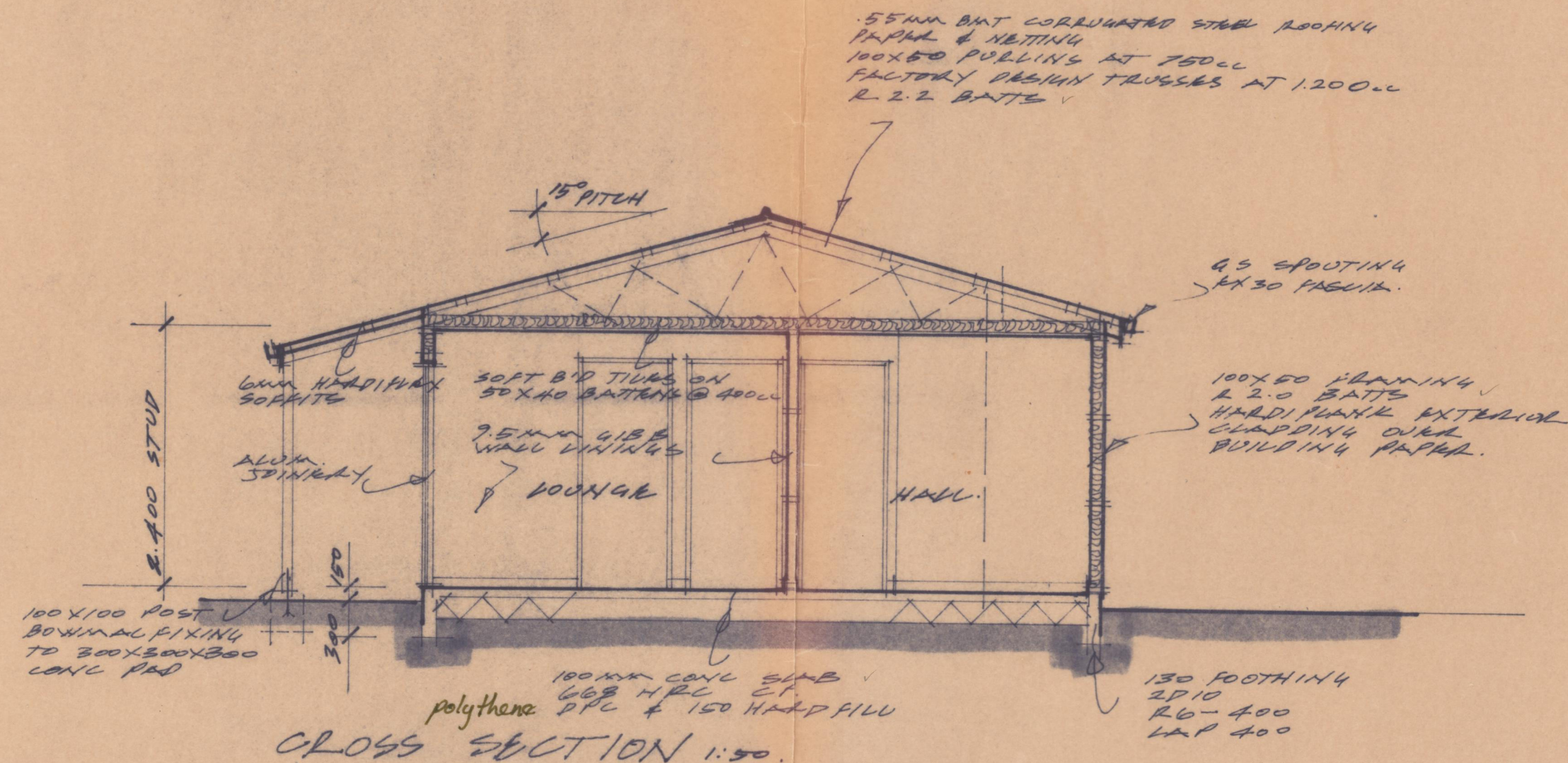




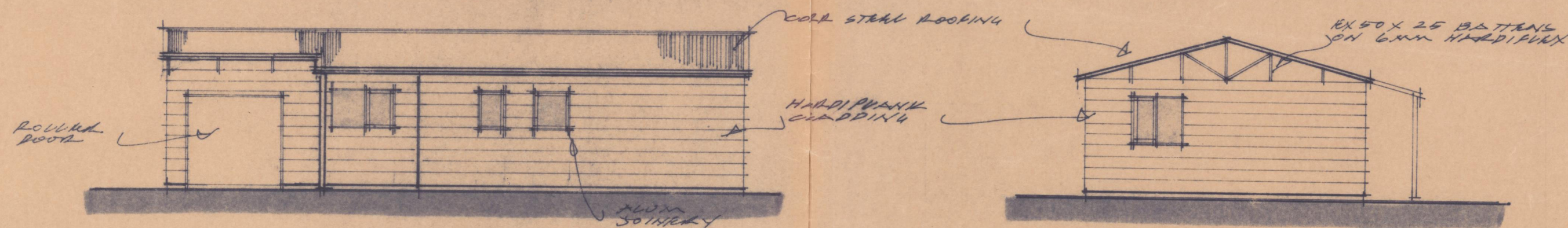
PLAN 1:100 (UNIT 2)
UNIT 3 HANDED.



FOUNDATION PLAN 1:100

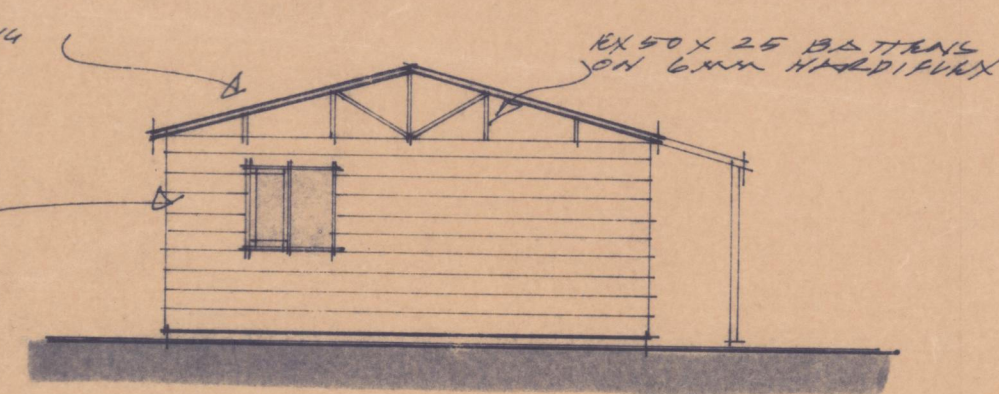


CROSS SECTION 1:50

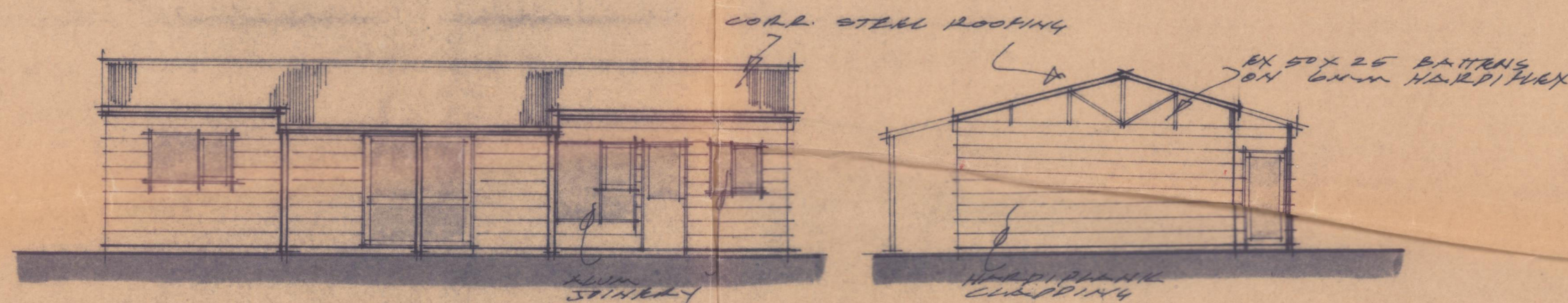


ELEVATION ONE 1:100

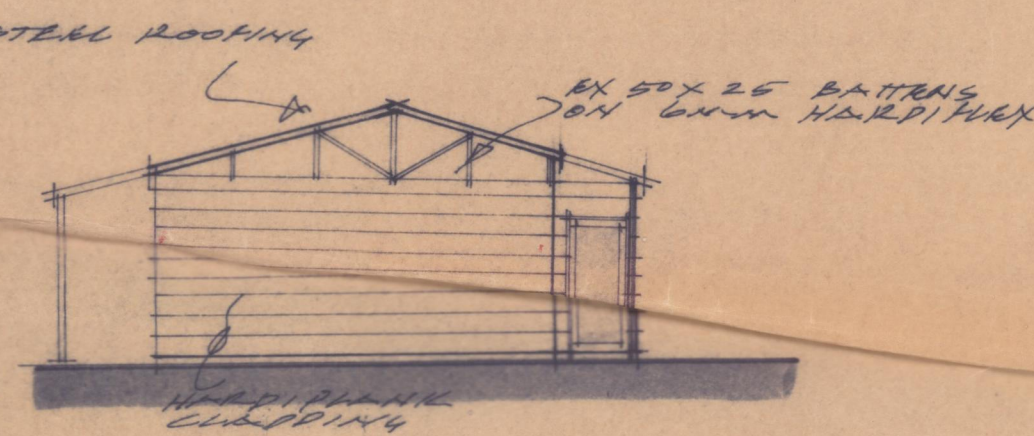
NOTE: UNIT THREE HANDED
- REFER TO BRACING SCHEDULE
IN SPECIFICATION.



ELEVATION TWO 1:100



ELEVATION THREE 1:100



ELEVATION FOUR 1:100

NEW UNITS
6 NIKAU STREET

WORKS RECORD

P.W.R. No.

4762

Building Permit No.

Building Permit Date

Lot No.

D.P. No.

Owner

S. Payne

NORTH POINT

AS BUILT WATER CONNECTION DIAGRAM

BOUNDARY

HOUSE NO.

6
Bac

BOUNDARY

FENCE SW

9m

TOBY

K. & C.

TOBY

Nikau

Street,

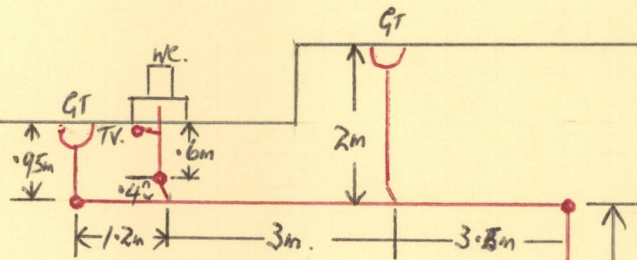
TO

TO

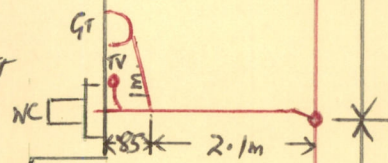
PERMIT FOR SANITARY PLUMBING OR DRAINAGE WORK

[illegible]

6C NIKAU STREET.



6B NIKAU STREET



9.6m

9.5m

6A NIKAU STREET.

9m

NIKAU STREET.

Inspector: M

File No.

Receipt No. 049611

Date Permit Issued 12 / 4 / 89

OWNER

Name ACE BUILDING CONTRACTORS

Mailing Address PO BOX 884

WANGANUI

BUILDER

Name AS OWNER

Mailing Address

PROPERTY ON WHICH BUILDING IS TO BE ERECTED/DEMOLISHED

SITE

Street No. 6 B,C

Street Name NIKAU STREET

Town/District WANGANUI

Riding

LEGAL DESCRIPTION

Valuation Roll No. 11/279

Lot 3 D.P. 22759

Section Block

Survey District

DESCRIPTION OF PROPOSED WORK AND MAIN PURPOSE OF USE

ERECT TWO DWELLING UNITS AND ATTACHED GARAGES

FLOOR AREA		DWELLING UNITS	
Whole Sq. Metres	156	Number Erected	TWO

ESTIMATED VALUES \$	Building	126,000
	Plumbing	
	Drainage	4,000
	G.S.T.	
	TOTAL	130,000

NATURE OF PERMIT (TICK BOX)

☒ NEW BUILDING
- exclude domestic garages and domestic outbuildings

☐ FOUNDATIONS ONLY

☐ ALTERED, REPAIRED, EXTENDED, CONVERTED, RESITED
- include installation of heating appliances

☐ NEW CONSTRUCTION
OTHER THAN BUILDINGS - include demolitions

☐ DOMESTIC GARAGES
AND DOMESTIC OUTBUILDINGS

FEES APPLICABLE

Building Permit	\$ 350	Water Connection	\$	Receipt No.		
Street Damage Deposit	\$		\$		Date of Payment / /	
Building Research Levy	\$ 130		\$			Authorised Officer
Plumbing	\$ 245		\$		DIRECTOR OF WORKS & SERVICES	
Drainage	\$		\$			
Sewer Connection	\$		\$			
Vehicle Crossing Levy	\$		\$			
M.S. Plumbing	\$	G.S.T.	\$			
		TOTAL:	\$			

Special Conditions:

THAT THE ACCESSWAY BE FORMED AND SEALED TO THE SATISFACTION OF THE W.C.C.

CHIEF BUILDING INSPECTOR

Date Inspected	REMARKS (e.g. stage reached, with work)
13.4.89	Measured building (one only) to pegs on site (old) found correct. Foundation ready for pouring
17.4.89	Framing being erected

Date Inspected

27-4-89

Roof is now on

16-5-89

Interior being lined.

6-6-89

Unit 3 slop rooled.

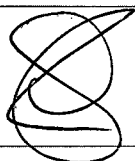
20-7-89

No plaster work on unit 3. unit 2 almost complete.

10-8-89

Unit 3 complete + site works

COMPLETED (Signature)



Date

30 14 1991

VALUATION ROLL No.				LEGAL DESCRIPTION				2315 A-18833 B-18808 6 NIKAU STREET C-18809			
11/279				LOT 3 D.P. 22759							
DRAINAGE & PLUMBING PERMITS				BUILDING PERMITS				Existing Use			
Permit No.		Date		Permit No.		Date		Nature of Work		Designation	
				1438		25.3.29		FOWLHOUSE			
				4873		15-1-54		GARAGE & WORKSHOP		Zoning	
6211		29.3.89		G062258		4.4.89		ERECT A DWL & CARPORT		Undersize Section	
6230				G062287		12.4.89		ER 2 UNITS & GARAGES		Building Line Restriction	
										Proposed Street	
										Proposed Service Lane	
										Proposed Access Way	
Dangerous Goods Licence				Fill Points				Housing File No.			
Underground Tank		Type		Capacity gals		Water Connection		Reg. No.		Amt. Paid.	
								4762		AT COST	
Water Meter				Water Bore				Reg. No.		Amt. Pd.	
								4747		\$825	
Pool		Filtered		Back Flow Preventer				Reg. No.		Amt. Pd.	
		Unfiltered						4747		AT COST	
Heating		Gas		Oil-fired		Coal-Wood		Electric		Other	
								Kerb Crossing		Reg. No.	
										Amt. Pd.	
										4747	
										\$640	
										Conditional Use Specified Departure Reference Date Dispensations	