

Wanganui District Council

28 JUN 2007

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07/0922

BUILDING CONSENT APPLICATION

Section 32 or Section 45, Building Act 2004

1. APPLICATION TYPE

- ☐ Project Information Memorandum and/or
☒ Building Consent or
☐ Alteration to Existing Building Consent
(Please tick appropriate box)

Consent No.
Building Consent/PIM No.

07/0922

2. THE BUILDING

Street Address:	3A OAKLAND Avenue		
	Town:	WANGANUI	
Legal Description:	Lot: 1	DP:	68704
WDC Property No:			
Number of Levels:	2	Level/Unit Number:	
Floor Area - Existing:	200 m ²	New:	36 m ² Total: 236 m ²
Current lawfully established Use:	House	Year first constructed:	1998
		(if applicable/or approx. year)	

3. THE OWNER

Name/Company:	DOUG & BRENDA LACY
Contact Person:	DOUG LACY
Mailing Address:	3A OAKLAND AVE WANGANUI
Street Address:	
Registered Office:	
Phone (Daytime):	3450 735
Mobile:	0274 423 071
Facsimile Number:	
Email address:	
Website:	

4. THE AGENT

Name of Agent:	T. GUDSELL
Contact Person:	Trevor Gudsell
Mailing Address:	2 BURTS RD WANGANUI
Street Address:	
Registered Office:	
Phone (Daytime):	
Mobile:	0274 83 8055
Facsimile Number:	
Email address:	
Website:	

5. EVIDENCE OF OWNERSHIP

The following evidence of ownership is attached to this application:

- ☐ Certificate of Title ☐ Lease Agreement ☐ Agreement for Sale and Purchase ☐ Other

Please give details for Other:

6. APPLICATION/SIGNATURE

Signature of Owner/Agent:

Date: 29-06-07

Consent Fees to be paid by (please circle one): Owner Builder Plumber Designer Agent

The information provided will be included in a Public Register of Consents issued which is available for public perusal under the Privacy Act 1993 section 54. This may result in receipt by the 'Owner' of trade advertising

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7. THE PROJECT

Description of Building Work:

Proposed Deck

Will the building work result in a change of use of the building?

YES

NO

(Please circle one) S.115 NZBA

If Yes, please provide details of the new use:

Intended life of the building if less than 50 years:

_____ years

List building consent numbers previously issued for this project (staged project):

Estimated value of building (including GST):

\$ 50,000

Code Compliance Certificate to be sent to:

DOUG LACY 3rd OAKLAND AVE

8. PROJECT INFORMATION MEMORANDUM

The following matters are involved in the project (please tick the appropriate project):

- ☐ Subdivision
- ☐ Alterations to land contours
- ☐ New or altered connections to public utilities
- ☐ New or altered locations and/or external dimensions of buildings
- ☐ New or altered access for vehicles
- ☐ Building work over or adjacent to any road or public place
- ☐ Disposal of stormwater and waste water
- ☐ Building work over existing drains or sewers or in close proximity to wells or water mains
- ☐ Other matters known to the applicant that may require authorisation from the Territorial Authority as listed:

9. SUPPORTING DOCUMENTATION

The following **plans and specifications** are attached to this application (All plans and specifications must meet the minimum requirements set out in the regulations or as required by the building consent authority):

[Please schedule pages/documents supplied:]

The following **documents** are attached to this application (please tick those that are applicable):

2 copies of all documentation required – (3 required if for NZFS-DRU)

- | | |
|---|---|
| ☒ Plans and Specifications (as above) | ☐ Certificate attached to Project Information Memorandum |
| ☐ Project Information Memorandum | ☒ Details/Calculations |
| ☐ Producer Statements | ☐ Fire Design Analysis |
| ☐ Truss Layout Plan | ☐ Development Contribution Notice |
| ☐ Copies of other Authorisations (specify): | |

☐ Other (please provide details):

Cont'd

10. BUILDING PRACTITIONERS INVOLVED IN THIS PROJECT (Continue on another sheet of paper if needed)

Designer:	Name: <u>BRYAN STEWART</u> Address: <u>16 TULLOCK STREET</u> <u>WANGANUI</u> Phone: <u>3453414</u> Mobile: _____ Fax: <u>3453414</u> Email: _____
Builder:	Name: <u>TREVOR GUDSELL</u> Address: <u>2 BURTIS RD</u> <u>WANGANUI</u> Phone: _____ Mobile: <u>0274838055</u> Fax: _____ Email: _____
Craftsman Plumber:	Name: _____ Licence No: _____ Address: _____ Phone: _____ Mobile: _____ Fax: _____ Email: _____
Registered Drainlayer:	Name: _____ Licence No: _____ Address: _____ Phone: _____ Mobile: _____ Fax: _____ Email: _____
Electrician:	Name: _____ Licence No: _____ Address: _____ Phone: _____ Mobile: _____ Fax: _____ Email: _____
Engineer:	Name: _____ Address: _____ Phone: _____ Mobile: _____ Fax: _____ Email: _____
Specialist Services (fire alarm, HVAC, lift etc.):	Name: _____ Address: _____ Phone: _____ Mobile: _____ Fax: _____ Email: _____
Other:	Name: _____ Address: _____ Phone: _____ Mobile: _____ Fax: _____ Email: _____

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11. THE BUILDING WORK WILL COMPLY WITH THE BUILDING CODE AS FOLLOWS:

NZBC CLAUSE	MEANS OF COMPLIANCE			PROPOSED INSPECTIONS		
Please circle as appropriate	Please circle or add means of compliance			Please circle as appropriate – see key below		
B1 Structure	B1/AS2 NZS4229	NZS 3604	NZS 4203	1	2	3
B2 Durability	B2/AS1 NZS 3604	NZS 3101	NZS 3602	1	2	3
C1-C2-C3-C4 Fire	C1/AS1 C4/AS1	C2/AS1	C3/AS1	1	2	3
D1 Access routes	D1/AS1	NZS 4121		1	2	3
D2 Mechanical installations for access	D2/AS1 EN/115	NZS 4322	EN/81	1	2	3
E1 Surface water	E1/AS1	AS/NZS 3500		1	2	3
E2 External moisture	E2/AS1	SPECIFIC DESIGN		1	2	3
E3 Internal moisture	E3/AS1			1	2	3
F1 Hazardous agents on site	F1/AS1			1	2	3
F2 Hazardous building materials	F2/AS1	NZS 4233		1	2	3
F3 Hazardous substances	F3/AS1			1	2	3
F4 Safety from falling	F4/AS1	FENCING OF SWIMMING POOLS ACT		1	2	3
F5 Construction and demolition hazards	F5/AS1			1	2	3
F6 Lighting for emergency	F6/AS1 AS/NZS 1668	NZS 4512	NZS 4515	1	2	3
F7 Warning systems	F7/AS1 AS/NZS 1668	NZS 4512	NZS 4515	1	2	3
F8 Signs	F8/AS1			1	2	3
G1 Personal hygiene	G1/AS1			1	2	3
G2 Laundering	G2/AS1			1	2	3
G3 Food preparation and prevention from contamination	G3/AS1			1	2	3
G4 Ventilation	G4/AS1			1	2	3
G5 Interior environment	G5/AS1			1	2	3

Key to proposed Inspections:

1. Council Building Control Officer
2. Approved Consultant e.g. Engineer
3. Other – Please specify below:

Please continue for balance of compliance checklist

Important

The Building Act requires the applicant to state, for each relevant building code clause, what the means of compliance is. Alternative solutions may also be proposed, and must be accompanied with documentation demonstrating compliance. Please refer to Alternative Solution box over page and provide additional information. Refer to guidance notes on separate sheet for typical scenarios.

G6 Airborne and impact sound	G6/AS1			1	2	3
G7 Natural light	G7/AS1			1	2	3
G8 Artificial light	G8/AS1	NZS 6703		1	2	3
G9 Electricity	G9/AS1			1	2	3
G10 Piped services	G10/AS1	NZS 5261		1	2	3
G11 Gas as an energy source	G11/AS1			1	2	3
G12 Water supplies	G12/AS1	AS/NZS 3500.2	AS/NZS 3500.5	1	2	3
G13 Foul water	G13/AS1	AS/NZS 3500.2	BS 5572	1	2	3
G14 Industrial Liquid waste	G14/AS1			1	2	3
G15 Solid waste	G15/AS1			1	2	3
H1 Energy efficiency	H1/AS1	NZS4218	NZS 4243	1	2	3
	NZS 4214	ALF design manual				

12. WAIVER OR MODIFICATION REQUIRED

Alternative solution (please circle and detail below)	B1	B2	C1	C2	C3	C4	D1	D2
	E1	E2	E3	F1	F2	F3	F4	F5
	F6	F7	F8	G1	G2	G3	G4	G5
	G6	G7	G8	G9	G10	G11	G12	G13
	G14	G15	H1					

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13. COMPLIANCE SCHEDULE

Do not proceed further if:

- this is an application for a PIM only (Project Information Memorandum)
- this application is for Residential work Only (except for a cable car after 31 March 2008)

The following specified systems are new, existing, being altered, added to, or removed in the course of building work:

☐ There are no specified systems in the building	New	Existing	Altered	Added	Removed
Cable Car (including to individual dwelling) (to be implemented 31 Mar 08)	☐	☐	☐	☐	☐

Building Act 2004 (implemented 31 March 2005)

(listed below are the systems and features from the 'new' Act)

1. Automatic systems for fire suppression (for example, sprinkler systems)	☐	☐	☐	☐	☐
2. Automatic or manual emergency warning systems for fire or other dangers	☐	☐	☐	☐	☐
3. Electromagnetic or automatic doors or windows (for example, ones that close on fire alarm activation)	☐	☐	☐	☐	☐
4. Emergency lighting systems	☐	☐	☐	☐	☐
5. Escape route pressurisation systems	☐	☐	☐	☐	☐
6. Riser mains for Fire Service use	☐	☐	☐	☐	☐
7. Any automatic back-flow preventer connected to a potable water supply	☐	☐	☐	☐	☐
8. Lifts, escalators, travelators or other systems for moving people or goods within buildings	☐	☐	☐	☐	☐
9. Mechanical ventilation or air-conditioning systems	☐	☐	☐	☐	☐
10. Building maintenance units for providing access to the exterior and interior walls of buildings	☐	☐	☐	☐	☐
11. Laboratory fume cupboards	☐	☐	☐	☐	☐
12. Audio loops or other assistive listening systems	☐	☐	☐	☐	☐
13. Smoke control systems	☐	☐	☐	☐	☐
14. Emergency power systems for, or signs relating to, a system feature specified in any of clauses 1 to 13	☐	☐	☐	☐	☐
15. Means of escape with systems and features (1 to 6, 9 and 13)	☐	☐	☐	☐	☐
	☐	☐	☐	☐	☐

Please continue for Building Act 1991 (implemented 1 January 1993)

The following specified systems are existing, being altered, added to, or removed in the course of building work:

Existing	Altered	Added	Removed
☐	☐	☐	☐

Building Act 1991 (implemented 1 January 1993)

(listed below are the systems and features from the 'old' Act)

1. Automatic systems for fire suppression (for example, sprinkler systems)	☐	☐	☐	☐
2. Automatic or manual emergency warning systems for fire or other dangers	☐	☐	☐	☐
3. Emergency warning systems for fire or other dangers (eg. manual or automatic fire alarm)	☐	☐	☐	☐
4. Emergency Lighting	☐	☐	☐	☐
5. Escape route pressurization	☐	☐	☐	☐
6. Riser mains	☐	☐	☐	☐
7. Backflow preventers	☐	☐	☐	☐
8. Lifts (including escalators, passengers, service, goods)	☐	☐	☐	☐
9. Mechanical ventilation and air conditioning	☐	☐	☐	☐
10. Other mechanical, electrical, hydraulic or electronic systems	☐	☐	☐	☐
11. Building maintenance units	☐	☐	☐	☐
12. Signs (for items 1 to 11 above)	☐	☐	☐	☐
13. Means of escape	☐	☐	☐	☐
14. Safety barriers	☐	☐	☐	☐
15. Access and facilities for people with disabilities	☐	☐	☐	☐
16. Hosereels and/or fire extinguishers	☐	☐	☐	☐
17. Signs (for items 13 to 16 above)	☐	☐	☐	☐

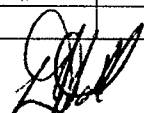
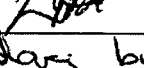
Address where compliance schedule will be held:

The maximum number of occupants that the building is designed for:

Amendments to a compliance schedules also require a Form 11— Application for amendment to Compliance Schedule

OFFICE USE ONLY

BCA		Fees (incl. GST)	\$
Date application received:		Building Consent Application (Prepaid)	
Receiving Officer:		Building Consent Issue	
Application Fee Receipt No:		PIM	
Date of Application Fee Rec:		Building Levy (DBH)	
Consent Fee Receipt No:		BRANZ Levy	
Date of Consent Fee Rec:		Stormwater Connection	
		Vehicle Crossing	
		Sewer Connection	
		Water Connection	
		- Fordell Connection (application charge)	
		Development Contribution Levy	
		NZFS Alternative Solution	
		Resource Consent	
		Relocation Bond	
		Certificate of Title	
		Other	
		Total:	\$

Processing							
Unit	Checks				Inspections No.	Approved	
	Initials	Date	Initials	Date		Initials	Date
Administration	OK	29/10/07	AKA	1/8/07			
Planning	Chal	6/7/07				Chal	3/8/07
Fire Design (referred to NZFS)							
Building	DBH	23/7/07				DBH	2/8/07
Drainage (Infrastructure)							
Water (Infrastructure)							
Fordell Water Scheme (Infrastructure)							
Structural							
Plumbing/Drainage	NLR						
Roading							
Health							
Dangerous Goods							
Approved for Issue of PIM/Building Consent 							
Approving Officer: 				Date: 7 AUG 2007			
Notes: 900 off boundary but under attention or affect. No F.R.R. required. DBH.							
Peer Reviewed 							
23 JUL 2007							

101 Guyton Street
P O Box 637, Wanganui 4500
Phone: (06) 349 0001
Fax: (06) 349 0536
Email: wdc@wanganui.govt.nz
Web: www.wanganui.govt.nz

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28 JUN 2007

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PRELODGE MENT VETTING: BUILDING CONSENT

Street Address: _____

Check Sheet – Housing/Housing Alterations

(Additional information will need to be supplied if a Resource Consent is required)

This is a preliminary vetting sheet only to establish if there is sufficient information of an acceptable quality before it is received for lodgement and processing. This is not a comprehensive list of requirements. This prelodgement form is designed to reduce processing time and save you on processing costs.

Plans are required to a suitable drafting standard.

Note: If you do not have the appropriate skills to prepare drawings, please engage a professional
2 copies of all documentation is required (3 if Res.Consent req'd)

REQUIREMENTS	Owner Supplied	Council Check	Council Recheck
	Date	Date	Date
	/ /	/ /	/ /
	Tick where applicable under Yes, No or Not applicable Y N N/A Y N N/A Y N N/A		
1. Building Consent Application form (1 copy) - fully filled in and signed	☒ ☐ ☐	☐ ☐ ☐	☐ ☐ ☐
2. Application fee	☐ ☐ ☐	☐ ☐ ☐	☐ ☐ ☐
3. Copy of Certificate of Title (1 copy)	☐ ☐ ☐	☐ ☐ ☐	☐ ☐ ☐
4. Site plan – to scale, fully dimensioned showing drainage, north point, street vehicle crossing, site coverage, distance to boundaries, levels	☒ ☐ ☐	☐ ☐ ☐	☐ ☐ ☐
5. Floor Plan – to scale, fully dimensioned, rooms named, windows/doors, bracing, fixtures, smoke detector positions	☒ ☐ ☐	☐ ☐ ☐	☐ ☐ ☐
6. Elevations – to scale. All sides to be shown, windows/door, heights, materials, daylight plane, ground contours (before and after)	☒ ☐ ☐	☐ ☐ ☐	☐ ☐ ☐
7. Cross Sections – through key building points; heights, materials, timber treatment/grades	☒ ☐ ☐	☐ ☐ ☐	☐ ☐ ☐
8. Drainage long sections – crown of road, stormwater (septic tank design), depths, cover	☒ ☐ ☐	☐ ☐ ☐	☐ ☐ ☐
9. Specific details – weathering, window/door details, flashings, parapet, deck, junctions, cavity?, foundations etc.	☒ ☐ ☐	☐ ☐ ☐	☐ ☐ ☐
10. Bracing Schedule – walls and roof (subfloor when required)	☒ ☐ ☐	☐ ☐ ☐	☐ ☐ ☐
11. Roof truss layout/design certificate – fixings	☒ ☐ ☒	☐ ☐ ☐	☐ ☐ ☐
12. Risk Matrix calculation sheet – weathertightness	☒ ☐ ☒	☐ ☐ ☐	☐ ☐ ☐
13. Specific Engineering Design – Engineers calculations (+ PS1) - Level of construction monitoring to be carried out by engineer	☒ ☐ ☒	☐ ☐ ☐	☐ ☐ ☐
14. Specification – comprehensive, references to Codes, Standards (Specific to project)	☒ ☐ ☐	☐ ☐ ☐	☐ ☐ ☐
15. Manufacturers specification for woodburners, sewerage pumps, specialized processes etc.	☒ ☐ ☐	☐ ☐ ☐	☐ ☐ ☐

Plans OK to accept for processing

☐

Notes:

Officer: _____

Dated: _____

PTO for Commercial/Industrial

Check Sheet – Commercial/Industrial (in addition to the previous page)

Commercial and Industrial buildings are often extremely complex projects.

This is a preliminary vetting sheet only to establish if there is sufficient information of an acceptable quality before it is received for lodgment and processing. This is not a comprehensive list of requirements. This prelodgement form is designed to reduce processing time and save you on processing costs.

**Note: If you do not have the appropriate skills to prepare drawings, please engage a professional
2 copies of all documentation is required**

REQUIREMENTS	Owner Supplied			Council Check			Council Recheck		
	Date			Date			Date		
	/ /			/ /			/ /		
Tick where applicable under Yes, No or Not applicable									
	Y	N	N/A	Y	N	N/A	Y	N	N/A
A. Fire Design Analysis - (3 copies required for NZFS-DRU if alternative solution)	☐	☐	☒	☐	☐	☐	☐	☐	☐
B. Toilet Calculation (G.1.) Separate facilities?, unisex?, accessibility	☐	☐	☒	☐	☐	☐	☐	☐	☐
C. Access and Facilities for people with disabilities toilets, ramps, counters.	☐	☐	☒	☐	☐	☐	☐	☐	☐
D. If Change of Use refer to additional requirements (see section 114, 115)	☐	☐	☒	☐	☐	☐	☐	☐	☐
E. Specialist Services Details f/alarm, auto doors, lift, e/lighting, lighting, H.1. energy efficiency, HVAC, signs, (health, dangerous goods)	☐	☐	☒	☐	☐	☐	☐	☐	☐
F. Compliance Schedule Details - fill in application form also	☒	☐	☐	☐	☐	☐	☐	☐	☐
G. Specialist Engineering (PS1, PS2) portal frames, precast concrete, blockwork, specific details	☐	☐	☒	☐	☐	☐	☐	☐	☐
H. Carparking calculations for numbers, commercial vehicle crossing, accessible carpark, drainage, loading bay.	☐	☐	☒	☐	☐	☐	☐	☐	☐
I. Requirement for Certificate for Public Use (see 363) - staging, use of building before CCC	☐	☐	☒	☐	☐	☐	☐	☐	☐
J. Stormwater Design, E1 calculations, for yards and buildings etc.	☐	☐	☒	☐	☐	☐	☐	☐	☐
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Wanganui District Council

PO Box 837 Wanganui

Phone (06) 349 0001

Visit our Web Site www.wanganui.govt.nz

OFFICIAL RECEIPT

GST Reg No 61-668-324

29/06/2007

Receipt No 221845

To T-Gudsell

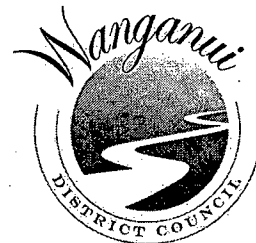
Type	Reference	Amount
GL Receipt	NOGPRECONSENT	\$550.00
3A Oakland Ave - new deck		
Total:		\$550.00

Amounts Tendered

Cheque	\$550.00
Total	\$550.00
Rounding	\$0.00
Change	\$0.00

Printed 29/06/2007 9:18:27 am

101 Guyton Street
P O Box 637, Wanganui
Phone: (06) 349 0001
Fax: (06) 349 0000
Email: wdc@wanganui.govt.nz
Web: www.wanganui.govt.nz



PREPAID - TAX INVOICE

GST Number 51-668-324

Payers Name:

T. Gudsell.

For Building Consent:

Reference No:

Date: 29/6/07

YOUR APPLICATION WILL NOT BE PROCESSED UNLESS THE FEE IS PAID

Location of project

Description of project

3a Oakland Ave

New Deck

Reference

Details

Amount (Incl GST)

1. Building Consent Project Type – application fee (see over) 2B \$ 200 —

2. Resource Consent - deposit

• Land use - Non-Notified

\$ 350 —

• Subdivision - Notified

\$

3. Other - Aerial photographs @ \$5.00 each

\$

- Plan Searches @ \$5.00 each

\$

- Rural Rapid Numbers (New) @ \$40.00 each

\$

- Large Plan photocopying A2 @ \$4.00 each,

\$

A0 – A1 @ \$6.00 each.

\$

Total application fee/deposit

\$ 550 —

20

WHEN PAID THIS FORM WILL BE PART OF YOUR CONSENT APPLICATION AND MUST BE ATTACHED TO THE
CONSENT APPLICATION BEFORE IT WILL BE PROCESSED.

PLEASE RETURN TO CUSTOMER SERVICES



BUILDING CONSENT FEES – ESTIMATED COSTS

Effective from 20 June 2006

There are two fees to be Paid:

1. An Application Fee when the plans are submitted
(The Application Fee covers the administration costs and initial assessment of the plans).
2. A Consent Issue Fee when the consent is uplifted.
(The Consent Issue Fee is estimated to cover the balance of the charges, which may vary in total, depending upon the quality of the plans submitted and the number of inspections required). The Consent Issue Fee as shown is an estimate, and all figures include GST.

Please note: s.217 of the Building Act 2004 requires Council to make all the Building Consent information available to the public, as official information.

PROJECT TYPE	APPLICATION FEE	CONSENT ISSUE
PIM Project Information Memorandum	\$105 +	At cost
SIGNS Signage (temporary signs are \$35 only)	\$40 +	At cost
PDonly Stormwater Separation	\$40 +	At cost
1H Inbuilt Solid Fuel Heaters (total payable on application)*	\$235 +	NIL
2H Free Standing Solid Fuel Heaters (total payable on application)*	\$180 +	NIL
1A Ancillary Building Work (requiring only 1 inspection)- (valve vented cylinders \$100 full fee)	\$80 +	\$105
1AD Demolition (total payable on application)	\$200 +	NIL
1S Solar Hot Water Heating Installation (requiring only 1 inspection)	\$200 +	NIL
2A Minor Building Work (requiring only 2 inspections), e.g. Pergolas, Carports	\$100 +	\$150
3A Fire Reinstatement	\$100 +	\$150
1B Minor Building Work accessory to the main building, e.g.: unserviced outbuildings, garages	\$100 +	\$190
2B Minor Building Work other than 1B up to \$20,000 limit in value. e.g.: serviced outbuildings, sleepouts, alterations, additions, relocated buildings	\$200 +	\$350
1C Additions/Alterations to private residential dwellings where the value of the work is between \$20,000 - \$50,000	\$300 +	\$450
2C Additions/Alterations to private residential dwellings where the value of the work is over \$50,000	\$400 +	\$645
3C New Residential dwellings where the value of the work is under \$100,000	\$500 +	\$420
4C New private residential dwellings where the value of the work is between \$100,000 - \$200,000	\$600 +	\$545
5C New residential dwellings where the value of the work is over \$200,000	\$700 +	\$900
1D Additions/Alterations to (other than residential) buildings where the value of the work is between \$20,000 - \$50,000	\$300 +	\$495
2D Additions/Alterations to (other than residential) buildings where the value of the work is between \$50,000 - \$100,000	\$400 +	\$510
3D Additions/Alterations to (other than residential) buildings where the value of the work is over \$100,000	\$500 +	\$900
4D New (other than residential) buildings where the value of the work is under \$200,000	\$600 +	\$600
1E New (other than residential) buildings where the value of the work is between \$200,000 - \$500,000	\$900 +	\$1300
2E New (other than residential) buildings where the value of the work is between \$500,000 - \$1,000,000	\$1100 +	At cost
3E New (other than residential) buildings where the value of the work is over \$1,000,000	\$1340 +	At cost
1F Farm buildings	\$60 +	\$220

*Rural consents for solid fuel heaters will continue to incur an application fee as above plus a Consent Issue Fee which will be assessed on estimated travel and inspection times. If a second hand heater is to be installed but no manufacturers specifications are supplied, then additional charges will result if we have to search for the material. Alternatively the heater will have to be installed to conform with AS/NZS 2918: 2001.

Other Charges please refer over

FILE NOTE:
ASSESSMENT OF BUILDING CONSENT

Applicants Name	Doug & Brenda Lacy
Activity/Use	3A Oakland Avenue ↗
Date	6/7/07
BC#	0710922
Address	Proposed Deck ↙
Subject	Activities in Residential zones

THIS NOTE RECORDS THE INITIAL ASSESSMENT MADE OF THE CONSENT APPLICATION. IT ASSESSES WHETHER THE APPLICATION INCLUDES ALL OF THE INFORMATION REQUIRED TO PROCESS THE RESOURCE CONSENT FURTHER.

Zone:	Residential	
Road Classification:	Local	
Site Area:	780m² 477m ²	
Site Coverage:	40% $149.66 \div 477 \times 100 =$	31.4% ✓
Maximum Height:	10 metres ✓	3.7m ✓
Structures (Height Recession Plane):	Front Boundary ✓	± 10m away
	Side Boundary X	Cuts through on stn boundary.
	Side Boundary ✓	temporary.
	Rear Boundary ✓	± 3m from rear.
	(plus exemptions) X	over 3.5m in height → 3.7m.
Multi Unit Development (detached):	Height recession plane applies from a notational boundary	N/A
Accessory Building	Garage or accessory building located in front of principal building	N/A
Conjoined multi unit developments and residential care facilities	D= L = 3H/10 i. Site amenity 30m ² ii. Upper story units iii. Storage space	N/A

Noise:		N/A
Light:		
Advertising		
Access:	Minimum 1 access to be provided 3.5 metres maximum	
Parking:	1 per dwelling unit	No change.
Easements		N/A - no change to footprint.
Development Contribution	The value of 20m ² of land for each additional household unit created	N/A.

Decision and any other matters not contained in table above including further information for building consent purposes:

*Resource consent required for breach of
height recession plane.*

Chittchitgne 6/7/07.

Further Information Received? Yes/No
Decision:

Is resource consent required?
Letter sent out? Yes/No

Yes/No

Date:

File Number: 4/101/

Assessed as:

Restricted Discretionary Activity
Breaches:

Non-complying Activity
Breaches



TOTAL INSPECTION TIME REPORT

Building Consent Number BCon07/0922

Total Estimated Inspection Time	100
Total Actual Inspection Time	0
Inspection Time Difference	100
At BC Issue	Time to be charged.
At Completion	Positive amount = time to be credited Negative amount = time to be charged

Signed for and on behalf of the Wanganui District Council

105



24 July 2007

**Mr TJ Gudsell
2 Burtts Rd
WANGANUI 5001**

Dear Sir or Madam:

1st Request for further information on Application.

Project Number: BCon07/0922
Project Location: 3 A Oakland Ave WANGANUI 5001
Project Description: Construct a new Deck

The documentation supplied for the above project has been reviewed and raises the following comments:

1. **Please provide a detail of the extended height parapet to house wall junction / flashing. (D.Hall - Senior Building Control Officer)**
2. **Handrails are not recommended to be installed on the top of parapets. Side mounting is better--show method of water proofing.(D.Hall - Senior Building Control Office**
3. **Please confirm if there is an overflow to the internal gutter.(D.Hall - Senior Building Control Officer)**
4. **Supply span tables for the new Hyspan joists. (D.Hall - Senior Building Control Officer)**

We have placed this application on hold until we receive your advice regarding the above comments, and the issues raised have been resolved. To improve our service to you (and reduce cost) please itemise in an accompanying letter all amendments made and clearly highlight the amendments on the plans and specifications. If you have any queries please contact this office and quote Project Number BCon07/0922

Yours sincerely

Kim Glentworth
Customer Services Officer

BRYAN • STEWART • DESIGN

ARCHITECTURAL • RESIDENTIAL • COMMERCIAL • RESTORATION

31.7.07

WANGANUI DISTRICT COUNCIL

P.O. Box 657

Wanganui

APPROVED

07/0922

Consent No.

Re: E CON 07/0922; 3A OAKLAND AVE, WANGANUI:

ATTENTION: DAVE HALL

DEAR DAVE;

FURTHER TO YOUR LETTER DATED 28 JULY 07, I CAN ADVISE THE FOLLOWING;

1. PLEASE FIND ENCLOSED FLASHING DETAIL AT PARADET WALL JUNCTION.
2. HANDRAIL IS INSTALLED ON TOP TO MATCH EXISTING HANDRAIL SYSTEM,
WATER PROOFING WILL BE SILICONE SEAL - PLANS PROVIDED.
3. THE INTERNAL GUTTER HAS AN OVERFLOW (EXISTING)
4. PLEASE FIND ENCLOSED SPAN TABLES FOR HIKERAN JOISTS.

THANKS DAVE, I TRUST THIS FURTHER INFORMATION WILL NOW ALLOW
BUILDING CONSENT TO BE ISSUED.

YOURS FAITHFULLY

BRYAN STEWART

Wanganui District Council

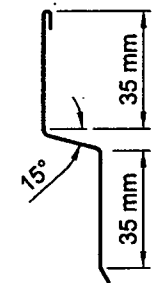
- 1 AUG 2007

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07/09/22

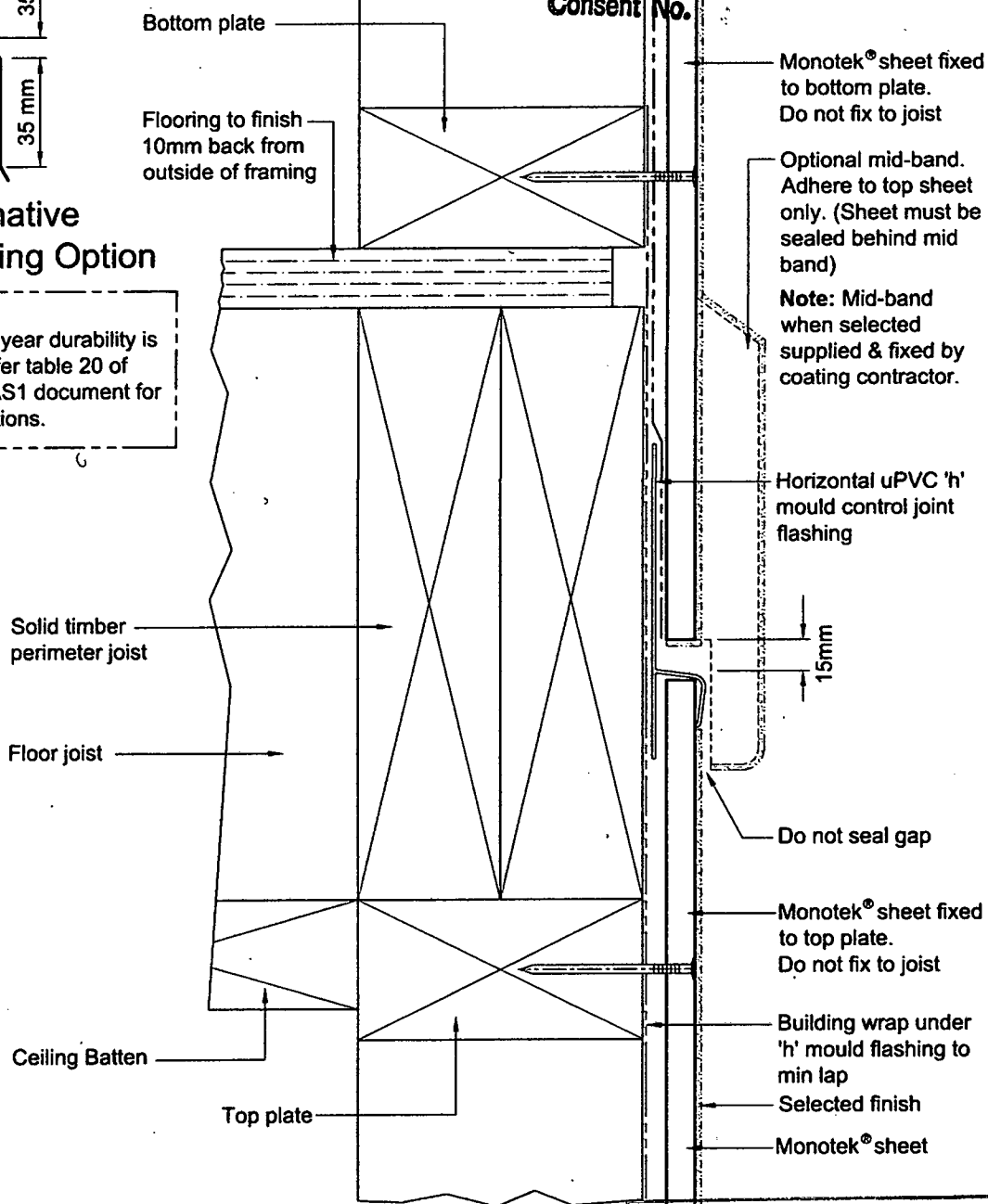
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Alternative Flashing Option

Note:

When a 50 year durability is required refer table 20 of NZBC E2/AS1 document for flashing options.



Wanganui District Council

- 1 AUG 2007

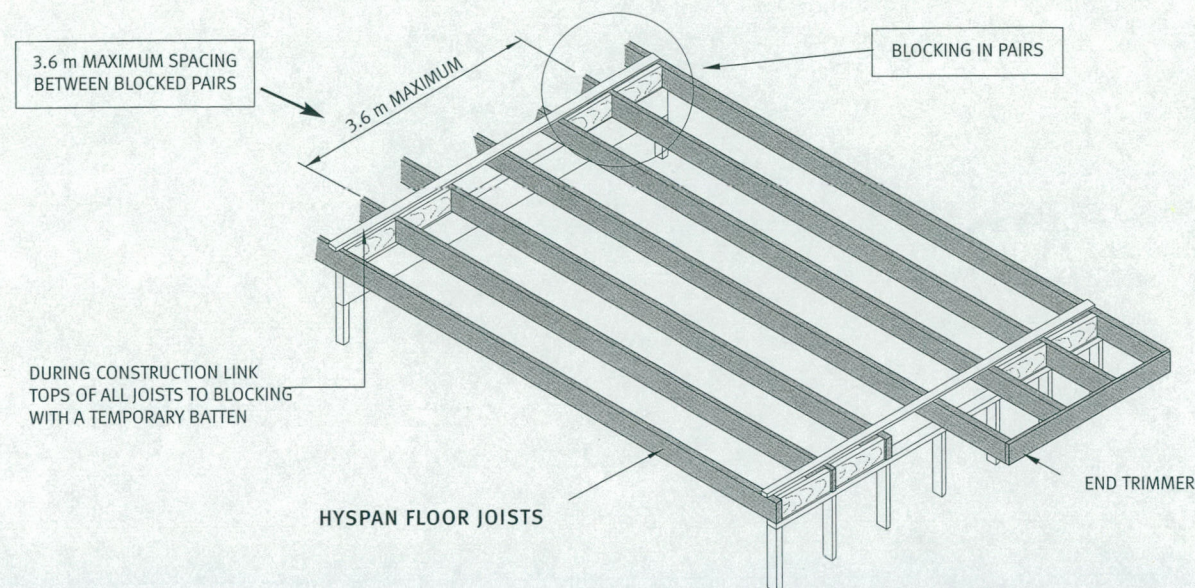
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FIGURE 14: DIRECT FIX HORIZONTAL CONTROL JOINT

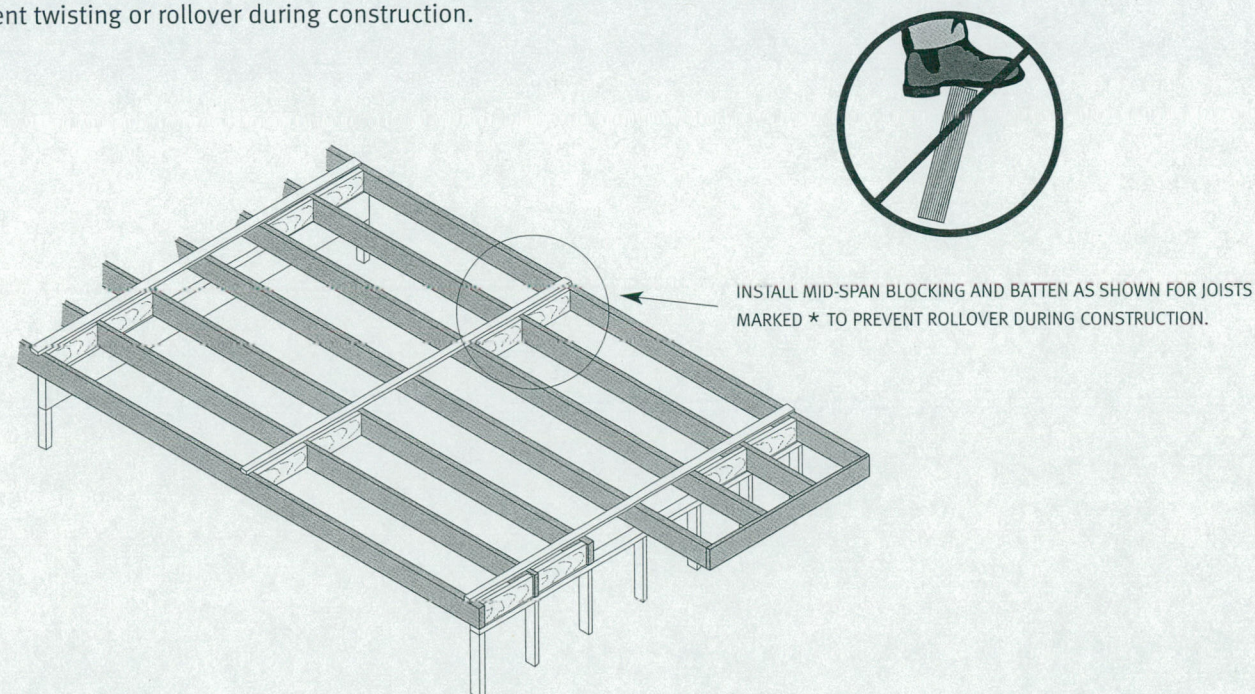
Floor Joists

BLOCKING OR LATERAL SUPPORT REQUIREMENTS

1. Joists should have intermittent blocking at supports as shown below. During construction provide a temporary batten connecting the top of the blocked joists to the other joists to prevent them rolling prior to flooring being fixed.



2. For joists marked with an * also provide mid-span blocking and a temporary batten as shown below in order to prevent twisting or rollover during construction.



NOTE: The above blocking and lateral support details are minimum requirements. Use of alternative blocking details given in NZS 3604 are also acceptable.

Floor Joists

Supporting Floor Loads only

Design Deflection Limits
D.L. L.L. Dynamic Criteria
SPAN/300 SPAN/360 2 mm/1kN
OR 12.5 mm OR 9 mm

HYSpan SECTION D x B (mm)	FLOOR JOISTS SPACINGS (mm)									
	300		400		450		480		600	
	SPAN	O/H	SPAN	O/H	SPAN	O/H	SPAN	O/H	SPAN	O/H
150 x 36	3.6	0.9	3.0	0.9	2.9	0.9	2.9	0.8	2.7	0.7
150 x 45	3.8	1.0	3.3	1.0	3.1	0.9	3.2	0.9	3.0	0.8
170 x 45	4.4	1.2	3.8	1.1	3.6	1.0	3.7	1.0	3.4	0.9
200 x 36*	4.7	1.3	4.3	1.2	4.0	1.1	4.1	1.1	3.8	1.0
200 x 45	5.0	1.4	4.6	1.2	4.4	1.2	4.4	1.2	4.1	1.1
240 x 45	5.7	1.7	5.3	1.5	5.1	1.5	5.1	1.4	4.8	1.3
300 x 45*	6.7	2.1	6.3	1.9	6.1	1.8	6.0	1.8	5.7	1.7
360 x 45*	7.6	2.4	7.2	2.3	7.0	2.2	6.9	2.2	6.5	2.0
400 x 45*	8.1	2.6	7.7	2.5	7.5	2.4	7.4	2.4	7.0	2.2
MAXIMUM CONTINUOUS SPAN AND OVERHANG 'O/H' (m)										
150 x 36	4.3	0.8	3.8	0.8	3.4	0.8	3.3	0.8	3.2	0.7
150 x 45	4.6	0.9	4.2	0.9	3.8	0.9	3.6	0.8	3.5	0.7
170 x 45	5.2	1.1	4.8	1.0	4.4	0.9	4.2	1.0	4.0	0.9
200 x 36*	5.5	1.2	5.1	1.1	4.9	1.0	4.7	1.0	4.5	0.9
200 x 45	5.8	1.3	5.4	1.2	5.3	1.1	5.1	1.1	4.9	1.0
240 x 45*	6.7	1.6	6.2	1.4	6.0	1.4	5.9	1.3	5.6	1.2
300 x 45*	7.8	2.0	7.3	1.8	7.1	1.7	7.0	1.7	6.6	1.6

Joists should be blocked at supports - see page 20 for details.

Joists marked with an * should be provided with mid-span blocking - see page 20.

Sub Floor Applications

Under normal conditions where adequate ventilation and clearance are provided Hyspan may be safely used for sub-floor applications without the likelihood of decay. (See the Durability statement on page 20).

Decks and Balconies

Overhanging floor joists or floor joists used for decks or balconies must be totally protected from wetting.

Design Criteria

The recommended maximum spans given for floor joists in the above table have been determined to meet serviceability criteria used for the preparation of single span floor joist tables in NZS 3604 and additional dynamic performance based criteria published in AS 1684.1 - 1999, Residential timber-framed construction, Part 1: Design criteria.

The dynamic performance based criteria given in AS 1684.1 limit the frequency of vibration of joists (limiting large spans) and the impact velocity of the floor (affecting small and medium spans).

Floor Rigidity

Hyspan floor joists designed to comply with the deflection limits specified have been found by the majority of users to provide sufficient dynamic rigidity. Some users however will have more demanding expectations and accordingly, it should be noted, that the above spans are maximum recommended spans. Those specifiers wishing to ensure higher rigidity can adopt one or more of the following measures,

- Use a deeper floor joist.
- Reduce the joist spacing.
- Use structural plywood flooring fixed to the joists with elastomeric adhesive and well nailed.
- Use a more rigid or thicker flooring.
- Fix crossing battens to the underside of the joists - even one batten mid-span or a series of crossing battens, as ceiling battens, will improve load sharing and hence floor rigidity.
- For further advice, telephone our enquiries number at the rear of this brochure.

It should be noted that floor performance tends to improve with the installation of ceilings, partition walls, floor coverings and furniture.

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07/09/22

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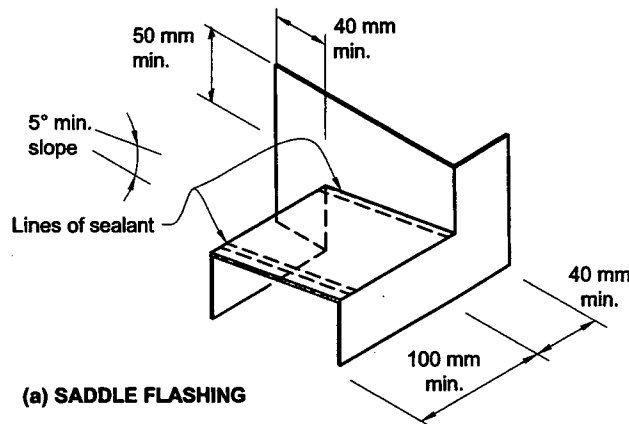
Wanganui District Council

- 1 AUG 2007

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Figure 13: General corner junction of parapet and enclosed balustrade to wall
 Paragraphs 6.4.1, 7.4.2, 7.4.4.1, 7.4.4.2 and 9.9.10.1, Figures 11, 117 and 129

NOTE: (1) Refer Figure 12 (b) for *flexible flashing tape over packer*.
 (2) Refer Figure 11 for plan section.
 (3) Separation layer between sloped *capping* packer and metal *capping* omitted for clarity.



Wanganui District Council

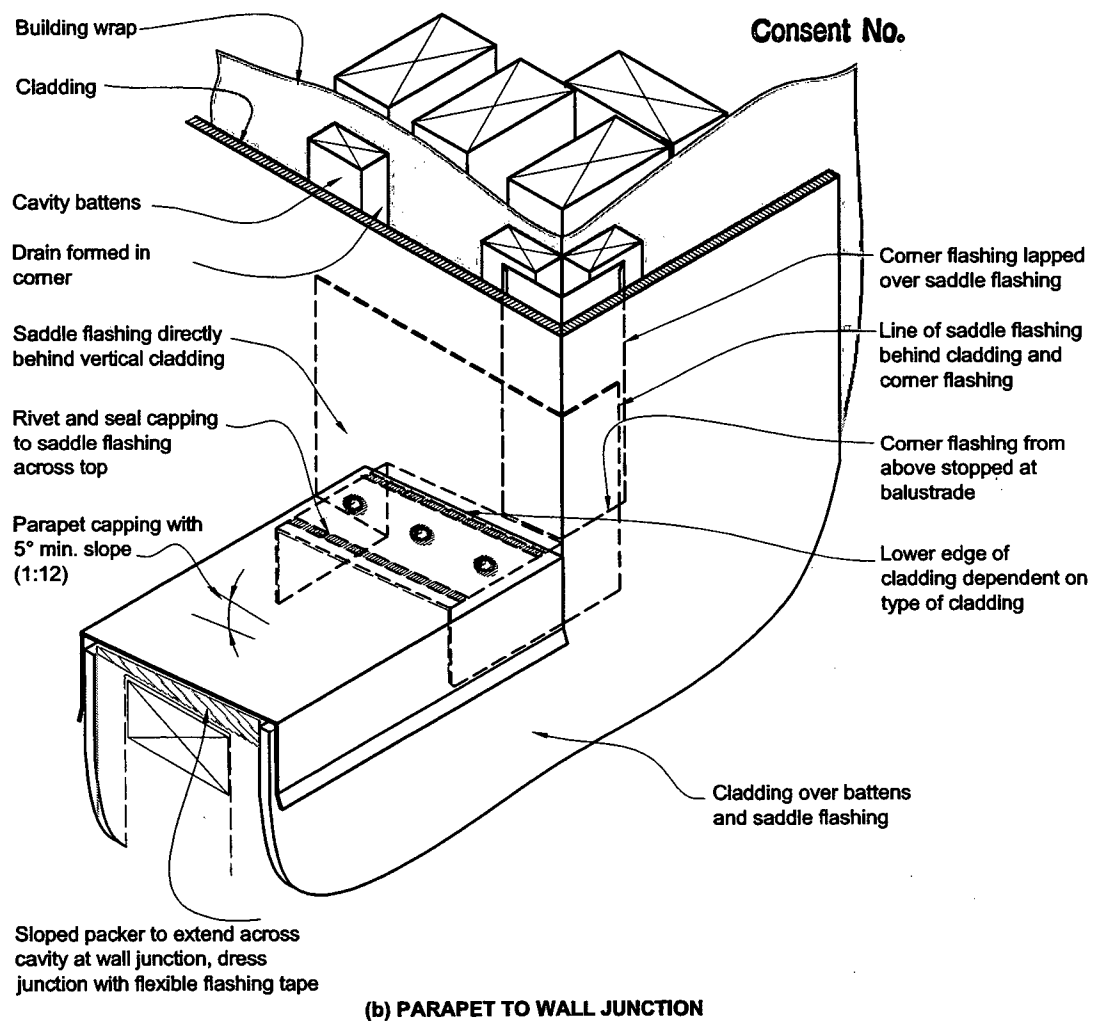
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07 / 09 22

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01/09/22

Consent No.

Wanganui District Council

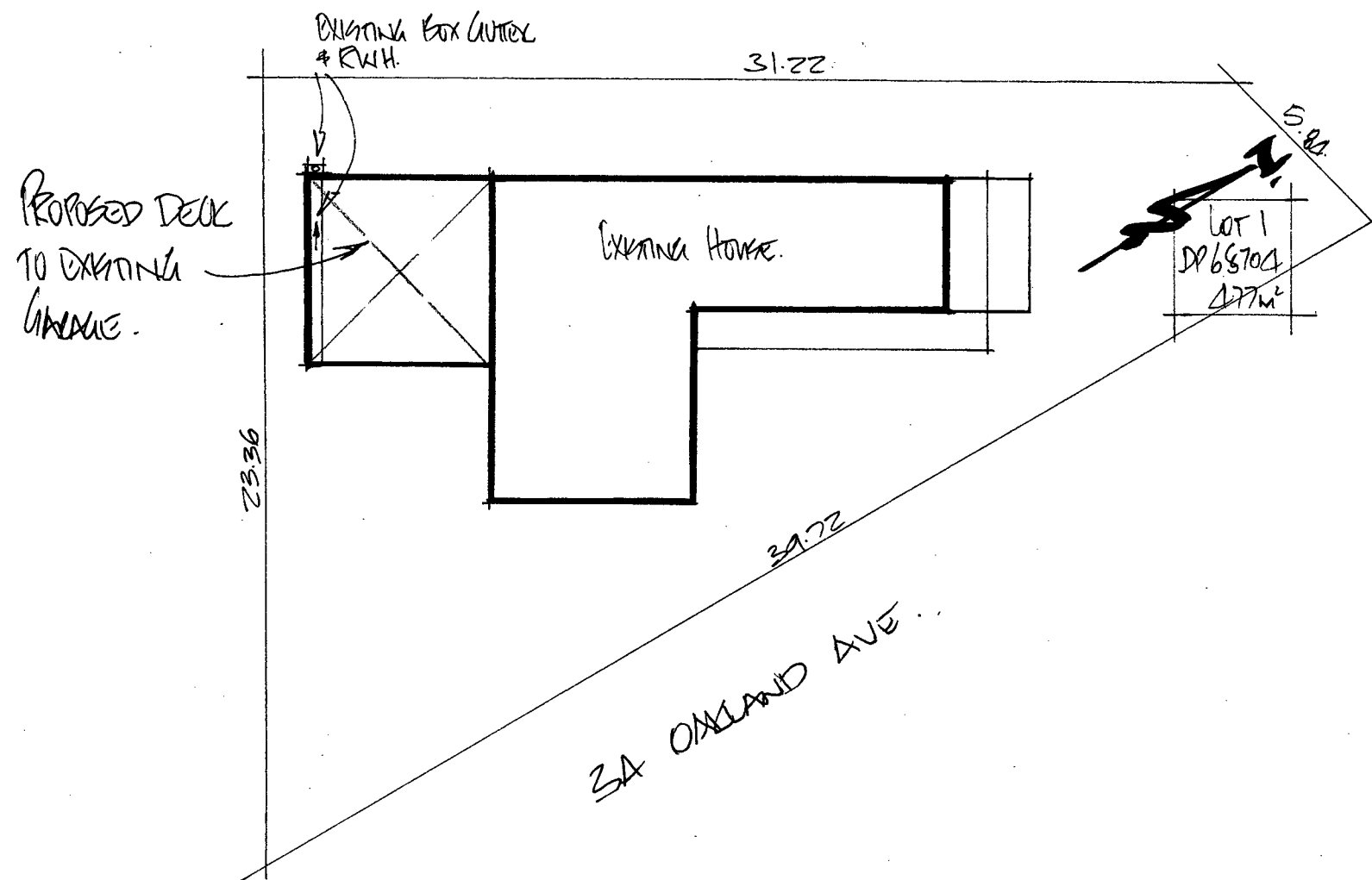
28 JUN 2007

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LACEY HOUSE

3A OAKLAND AVE WANGANUI: PROPOSED DECK TO EXISTING GARAGE

APPROVED BY } *[Signature]*
NEIGHBOURS } *[Signature]*



SITE PLAN
 SCALE 1:200

APPROVED
07 / 09 22
 Consent No.

Wanganui District Council
 28 JUN 2007
RECEIVED

Note:
 CONTRACTOR MUST CONFIRM AND
 VERIFY ALL DIMENSIONS ON
 SITE.

SHEET NUMBER 1.

BRAND STONACE DESIGN ©
 16 TULLOCH ST WANGANUI
 PHONE FAX 06 3453042
 JOB NO 07-1453 28-6-07

APPROVED

07/0922

NOTE: Consent No.

ALL WORK IS TO CONFORM WITH THE N.Z. BUILDING CODE AND LOCAL BODY BY-LAWS. ALL CONSTRUCTION IS TO CONFORM WITH NZS 3604 1999, WITH ALL MATERIALS BEING OF THE BEST QUALITY AVAILABLE AND WORKMANSHIP OF THE HIGHEST TRADE PRACTICE. ALL RETAIN & FINISHING IS TO MATCH EXISTING OR AS DIRECTED BY THE OWNERS. CONFIRM ALL ELECTRICAL & RECREATION REQUIREMENTS WITH THE OWNERS. DIRECT ALL ENQUIRIES TO THE OWNERS.

Wanganui District Council

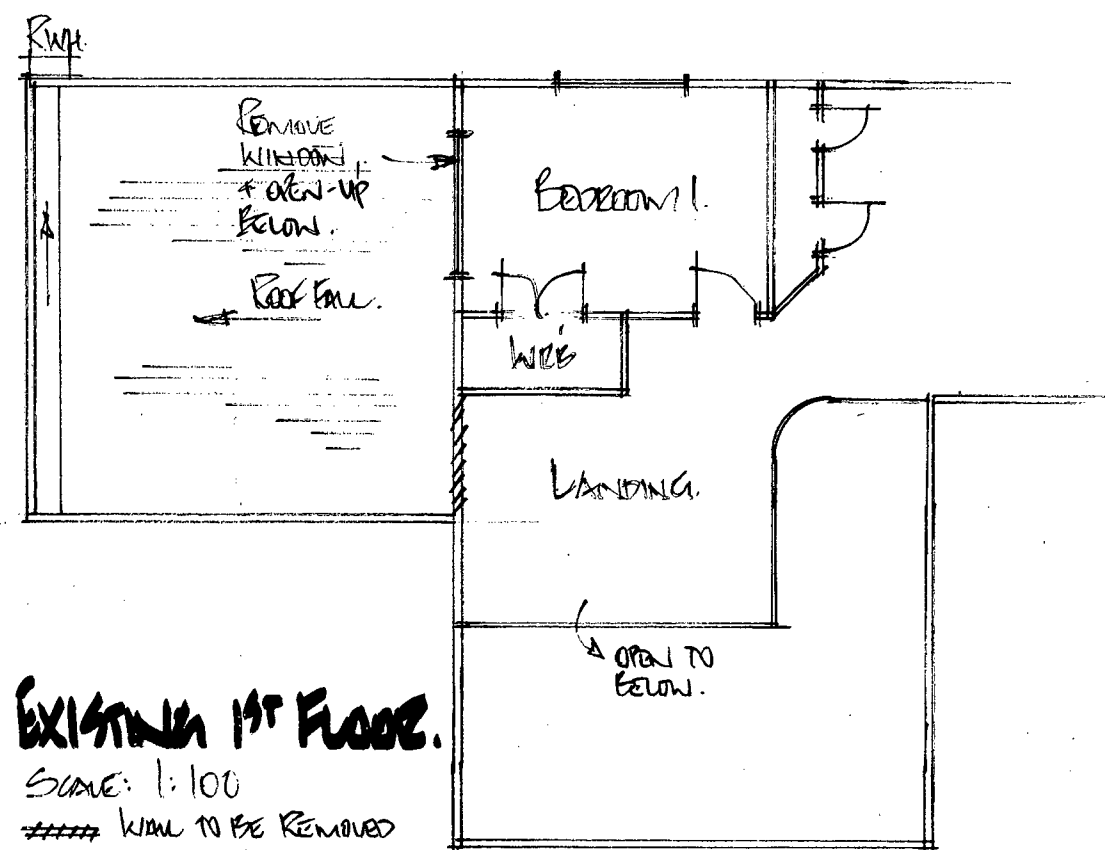
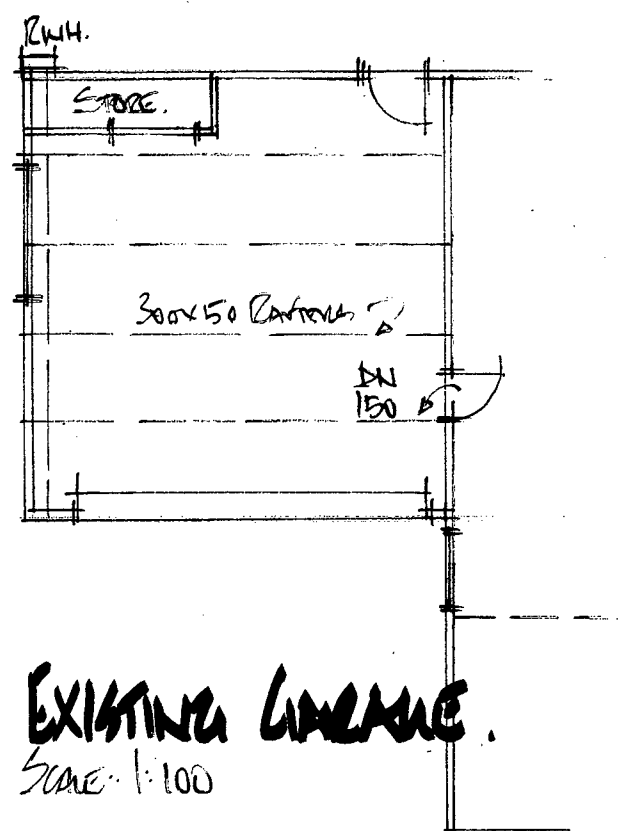
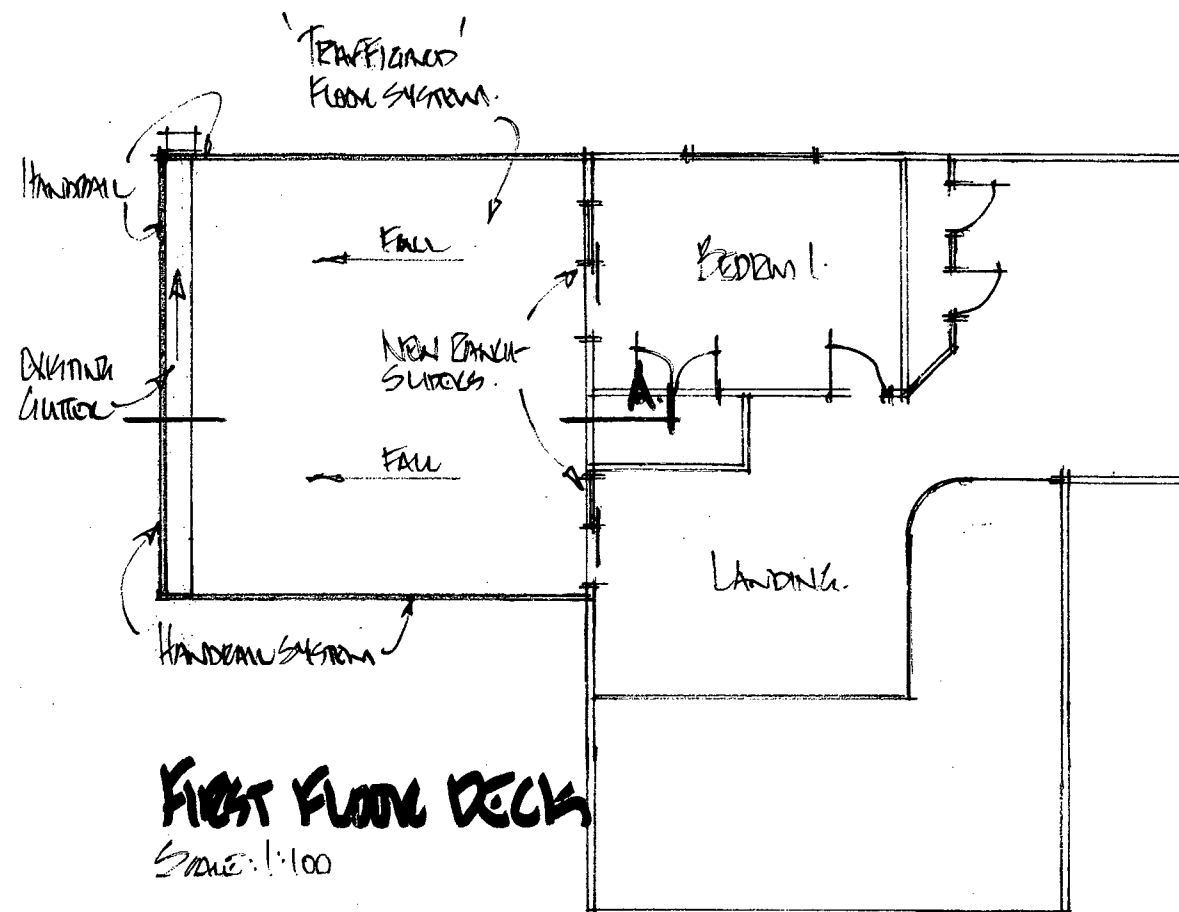
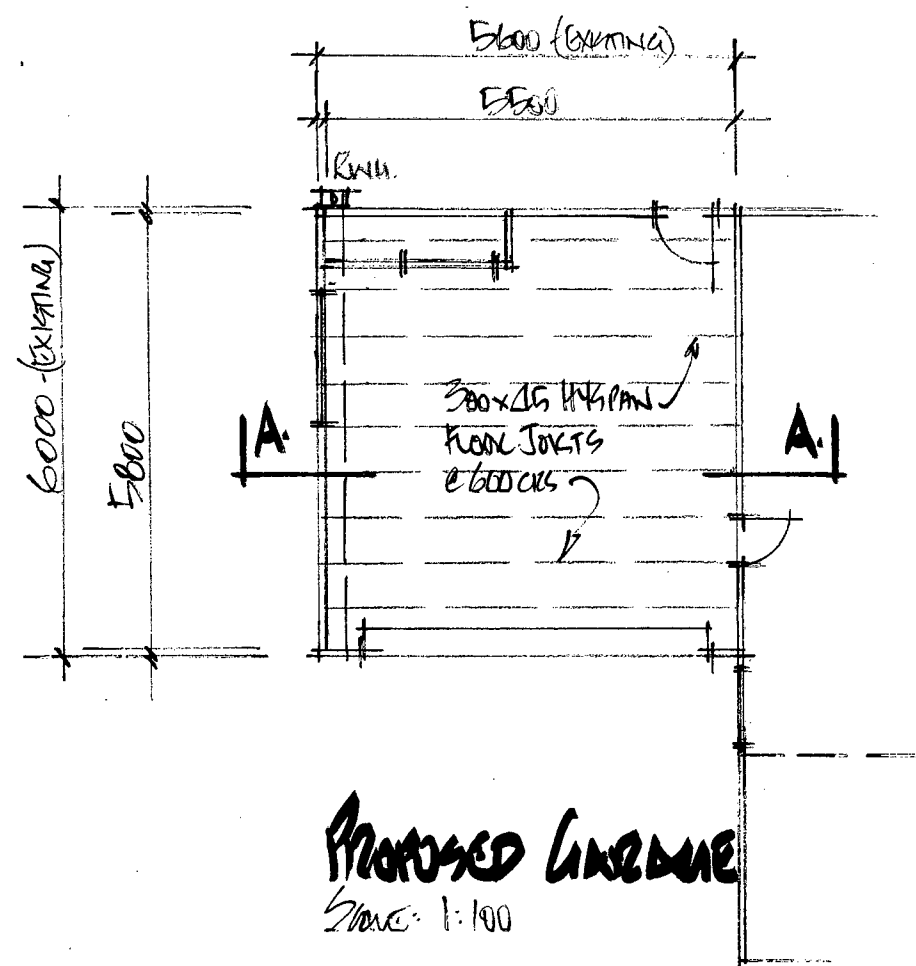
28 JUN 2007

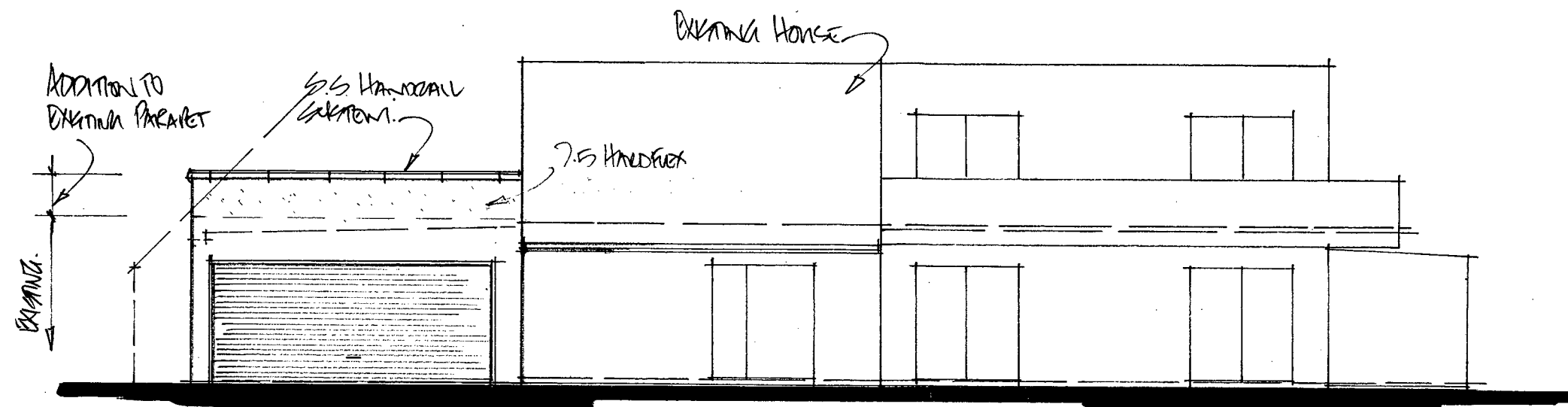
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NOTE: CONTRACTOR MUST CONFIRM & VERIFY ALL DIMENSIONS ON SITE.

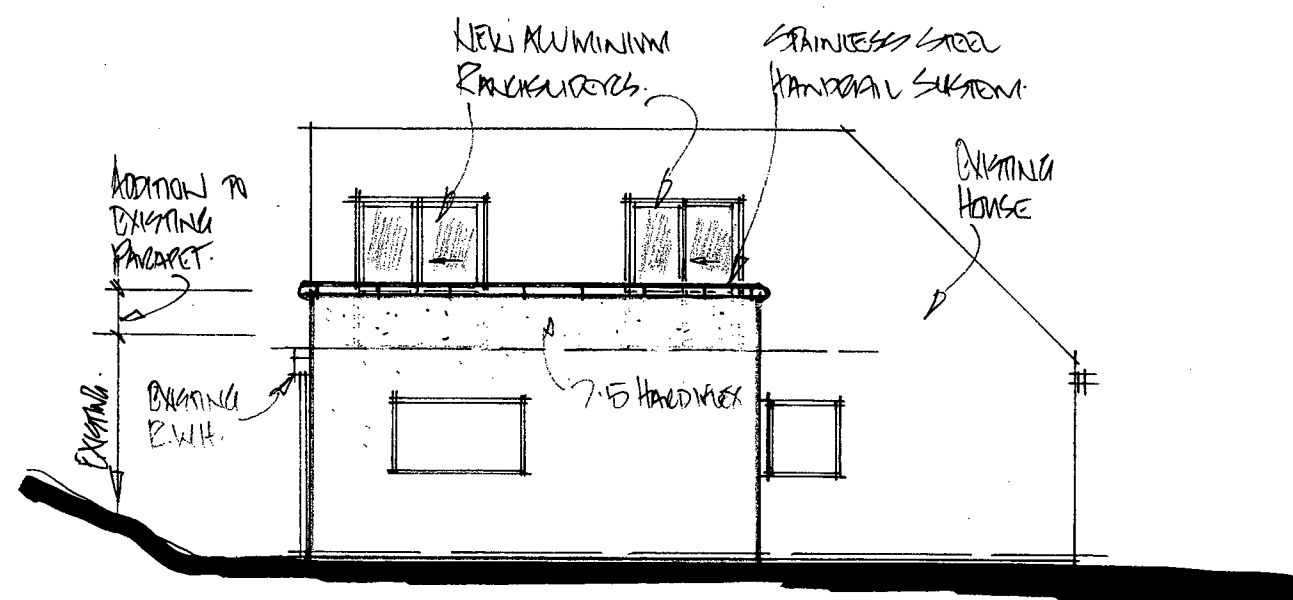
SHEET NUMBER 2.

BEVAN SHAW DESIGN ©
16 TULLOCH ST WANGANUI
PHONE FAX 06 3453414
JOB NO 07-1953 28-6-07





SOUTH EAST ELEVATION:
SCALE: 1:100



SOUTH WEST ELEVATION:
SCALE: 1:100

NOTE:

ALL WORK IS TO COMPLY WITH THE N.Z.
BUILDING CODE & LOCAL BODY BY-LAWS.
ALL CONSTRUCTION IS TO COMPLY WITH NZS
3603 1999

APPROVED

07/0922

Consent No.

Wanganui District Council
28 JUN 2007
RECEIVED

NOTE:

CONTRACTOR MUST CONFIRM
*VERIFY ALL DIMENSIONS ON
SITE.

SHEET NUMBER 3.

EVAN SNOOK DESIGN ©

16 TILLOCH ST WANGANUI

PHONE FAX 06 345 3811

JOB NO 07:1953 28.6.07

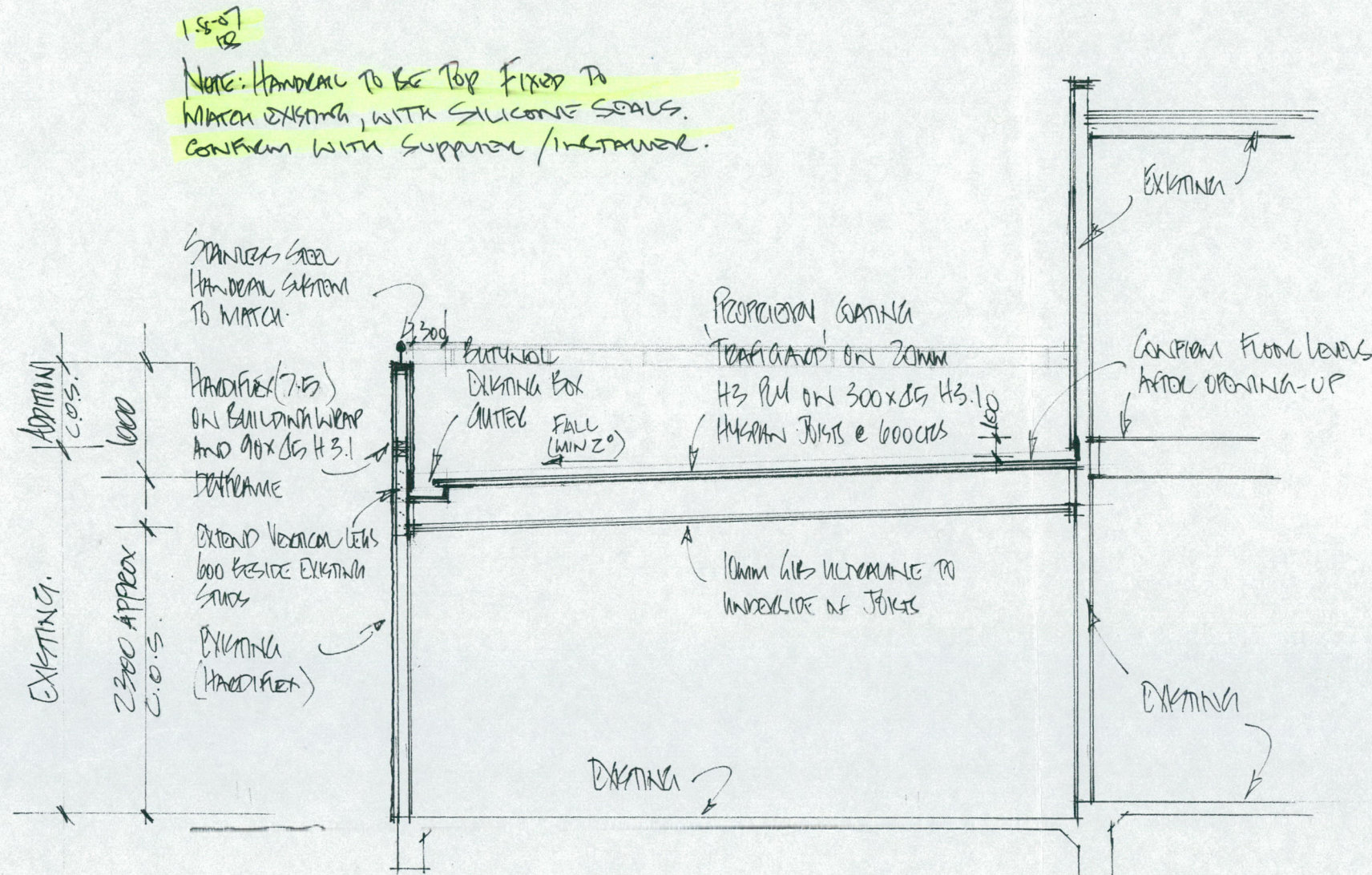
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07/0922

Consent No.

Note:

All work is to comply with the N.Z. Building Code and local Body By-Laws. All construction is to comply with NZS 3604 1999 with all materials being of the best quality available, and all workmanship of the highest trade practice. 'Trafficated' flooring is to be laid strictly in accordance with the manufacturers specifications. Direct all enquiries to the owners. Confirm all electrical & decoration requirements with the owners.



SECTION A:A.
Scale: 1:50

Wanganui District Council

28 JUN 2007

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Note:

CONTRACTOR MUST CONFIRM AND VERIFY ALL DIMENSIONS ON SITE.

SHEET NUMBER 4.

BRYAN STEWART DESIGN ©

16 TULLOCH ST WANGANUI

PHONE FAX 06 3453414

JOB NO 07:1953 28.6.07

Specifier: Ian Pearson

APPROVED

07/09/22

Consent No.

MEMBER SIZE OPTIONS

1) Member Description

Floor joist - Supporting floor loads only

2) Design Inputs

Span	5.5 m - single
Joist spacing	600 mm
Serviceability criteria	AS 1684.1-1999
Floor dead load	40 kg/m ²
Floor live load	2.0 kPa/1.8 kN

Member Size & grade	Maximum span (m)	Installation requirements
300 x 45 hySPAN	5.6	Provide at least 30 mm bearing at end supports (floor loads only) For joists supporting load bearing walls at supports refer published literature use floor joist calculator Provide intermittent blocking along lines of support - see Detail H4
300 x 63 hySPAN	6.0	Provide at least 30 mm bearing at end supports (floor loads only) For joists supporting load bearing walls at supports refer published literature use floor joist calculator Provide intermittent blocking along lines of support - see Detail H4

---End of output---

Wanganui District Council

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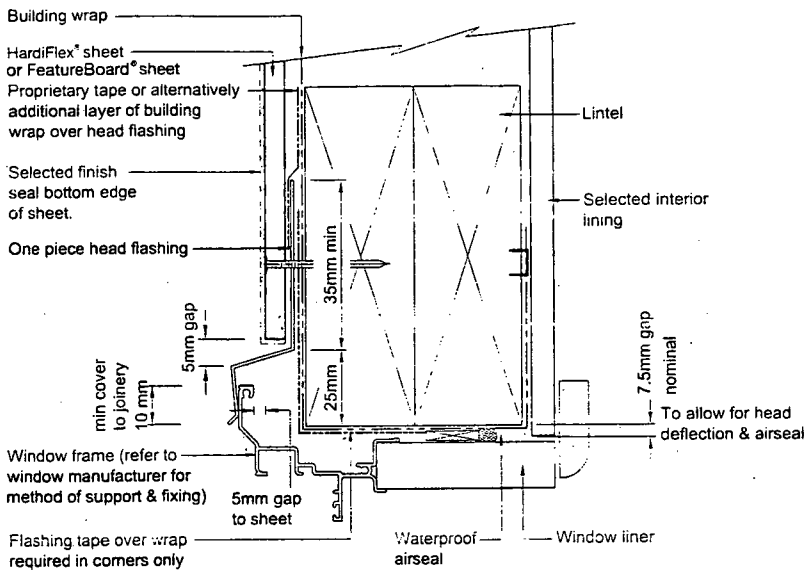


FIGURE 13: DIRECT FIX WINDOW HEAD

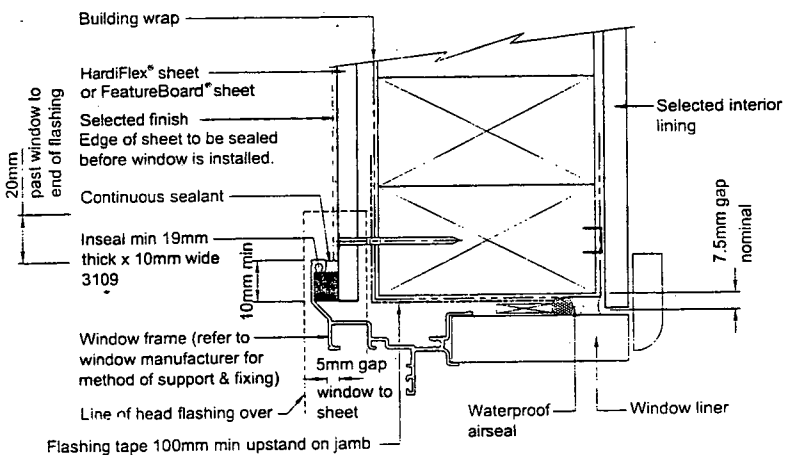
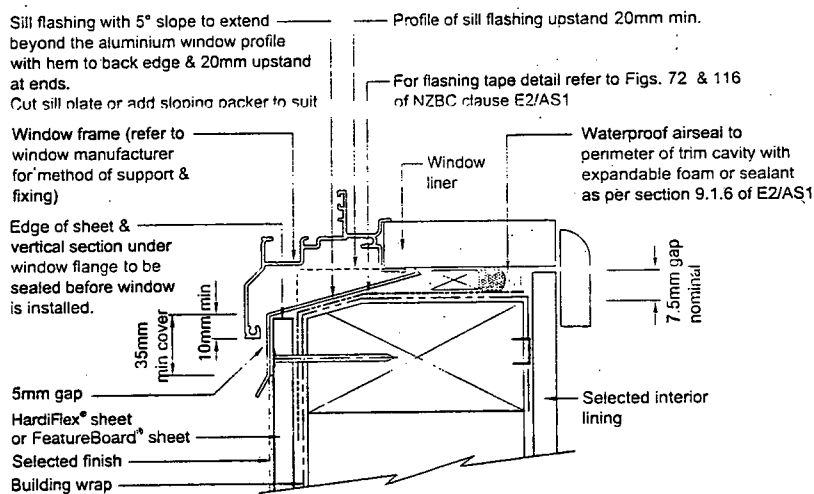


FIGURE 14: DIRECT FIX WINDOW JAMB



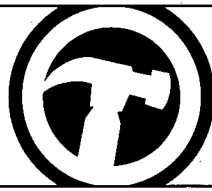
Note:
Sill flashing tray to have a min 10mm upstand at each end

General notes for materials section

1. Flashing materials must be selected based on environmental exposure, refer to NZS 3604 and table 20 of NZBC clause 'E2/AS1'.
2. Building wrap must comply with acceptable solution NZBC clause 'E2/AS1' and NZS 3604.
3. Flashing tape must have proven compatibility with the selected building wrap and other materials with which it comes into contact as per table 21 of NZBC clause 'E2/AS1'.

(Refer to the manufacturer or supplier for technical information on these materials.)

FIGURE 12: DIRECT FIX WINDOW SILL



1. The building consent

Building consent no.

07/0922

Description of work

Deck Extension

Address

3A OAKLAND AVE

2. Property owner details

Owner details



Have not changed since the
building consent was lodged
Proceed to "Applicant details"



Have changed since the building
consent was lodged

Name

DOUG & Brenda LACY

Contact person

(If owner is a corporation,
partnership or trust)

DOUG LACY

Postal address

3A OAKLAND AVE

Contact numbers

Phone

Mobile

Fax

Email

Evidence of ownership
attached

(Only required if ownership has
changed)



Certificate of Title (copy)



Lease agreement



Sale and purchase agreement



Other document showing full name of legal
owner(s), such as a rate instalment notice

3. Applicant details

I am the



Property owner



Lessee

Provide details below



Agent

Authorised by owner / lessee
Provide details below

Name

Postal address

Contact numbers

Phone

Mobile

Fax

Email

4. Attachments

The following documents are attached to this application:



Certificates from the personnel who carried out the work



Certificates that relate to the energy work



Evidence that specified systems are capable of performing to the performance standards set out in the building
consent

5. Key building practitioners

Designer	Name / Registration no.		
	Contact details Address		
	Phone / Email		
Builder	Name / Registration no.		
	Contact details Address		
	Phone / Email		
Drainlayer	Name / Registration no.		
	Contact details Address		
	Phone / Email		
Plumber	Name / Registration no.		
	Contact details Address		
	Phone / Email		
Gasfitter	Name / Registration no.		
	Contact details Address		
	Phone / Email		
Electrician	Name / Registration no.		
	Contact details Address		
	Phone / Email		
Other	Name / Registration no.		
	Contact details Address		
	Phone / Email		

6. Application

Date building work completed

I request that you issue a code compliance certificate for the work under section 95 of the Building Act 2004. I understand that the code compliance certificate will be sent to the property owner.

RAY M McCulloch 7/15/09
Signature Date

RAY M McCulloch
Name (print clearly)

OFFICE USE ONLY

Date received		Application #		Document #		Project #	
Property ID		Legal ID		Receipt #		Amount Paid	\$

Code Compliance Assessment Checklist

Building Consent No # BC 7/0927

	ITEM	YES	NO	N/A	COMMENTS
1	Work complies with approved BC documentation - Sec 94 (1)	✓			
2	All the required inspections have been completed	✓			
3	BC conditions have been fulfilled	✓			
4	PIM requirements have been complied with	✓			
5	Damage deposit is released			✓	
6	Development contributions have been paid (Sec 94 (4))			✓	
7	All documents have BC number on them	✓			
8	Sec 75-77 registered if applicable			✓	
9	Sec 72-74 registered on title if applicable			✓	
10	Energy work certificates have been provided (if required) sec 94 (3)			✓	
11	All inspection fees have been	✓			
12	Specified systems are capable of performing in accordance with performance standards (sec 94 (1B))				
13	Is a compliance schedule required or requires amending (sec 100(2))		✓		
14	Has there been a change of ownership (sec 364)		✓		
15	Any warnings or bans applied (sec 94 (2))		✓		
16	Has the TA received any certificates issued by licensed building practitioners that relate to restricted work (sec 88 (10 and (2) nb: The restricted building work and LBP provisions do not come into effect until 30/11/2009			✓	
17	Check the TA has been advised by a LBP that building work carried out under a building consent does not comply with that consent			✓	
18	Any amendments have been issued and whether documentation associated with these have been properly completed			✓	
19	Any outstanding documentation still to be collected such as	✓			Fibreglass deck coating & monotek ceiling
20	Photographs of elevations		✓		
21	Fire doors		✓		
22	Backflow		✓		
23	Lifts (electrical and installation)		✓		
24	Mechanical ventilation		✓		
25	List of consultants		✓		

Producer Statements:

A Producer Statement requires the following as a minimum requirement to be accepted by the Wanganui District Council:

- A written statement
- Header with 'Producer Statement'
- Who is issuing the Producer statement (suitably qualified and author of Producer statements)
- The Producer Statement must be addressed for the attention of the Wanganui District Council
- The applicable Building Consent number must be recorded
- Who has completed or designed the work identified (qualifications to undertake the work)
- The product name and specifications for application of product used
- What parts/clauses of the Building Code the work relates to
- Full legal description of the site where the work will be undertaken
- Clearly identifying what part of the Building Consent is covered by the Producer Statement
- Provide the sum of provisional indemnity insurance held

The author's name and signature:

- Qualifications
- Address
- Registration number
- Membership of professional organization
- Date the producer statement was produced

All information and documentation is present and correct, a Code Compliance Certificate can be issued.

Name: Dave Hall

Signature: [Signature]

Date: 7/5/09



Inspection Checksheet

Nº 0039

Description: Deck.

Consent No: 7/0922 Date: 7/5/09 Inspector: DHoll

Address: 3rd Oakland Ave.

Recheck ☐ Yes ☒ No Complies ☒ Yes ☐ No

Description	OK	N/A	Comments
Producer Statements for texture coating and fibreglass deck coating.			
Handrail/capping all good.			
Scupper to RWH all good.			
Completed!			
Comments			

ENTERED



Framing & Pre-Line Inspection

Nº FPL 01180

Address			
3A OAKLAND AVE.			
Consent No	Date	Inspector	
07/0922	25/9/07	PA	
Framing	Comments		
Wind zone/Corrosion zone	☒ OK ☐ N/A	Low.	
DPC	☐ OK ☐ N/A		
Stud size, spacing & treatment	☒ OK ☐ N/A		
Framing Straight	☒ OK ☐ N/A		
Lintel/Beam size, treatment & Fixing	☒ OK ☐ N/A		
Top plate fixings	☐ OK ☒ N/A		
Rafter size, treatment & spacing	☐ OK ☒ N/A		
Valley sizes/Internal gutter sizes	☒ OK ☐ N/A		
Truss Layout	☐ OK ☒ N/A		
Truss Fixing	☐ OK ☒ N/A		
Truss Plan	☐ OK ☒ N/A		
Roof Bracing	☐ OK ☒ N/A		
Purlin Fixings	☐ OK ☒ N/A		
Floor joist size, treatment & spacing	☒ OK ☐ N/A		
Structural Steel	☐ OK ☒ N/A		
Structural Brackets	☒ OK ☐ N/A		
Services Accommodation	☐ OK ☐ N/A		
Decks-beams, posts, joists & decking	☒ OK ☐ N/A		
Subfloor Bracing - Types & Location	☐ OK ☒ N/A		
Fixings (durability)	☒ OK		
Comments			
Re Check			Compliance
NO			YES
Pre-line			Comments
Framing	☐ OK ☐ N/A		
Wind/Corrosion zone	☐ OK ☐ N/A		
Timber	☐ OK ☐ N/A		
Moisture Content			
Wall Bracings	☐ OK ☐ N/A		
Is modified Bracing schedule Required?	☐ YES ☐ NO		
Insulation	☐ OK ☐ N/A		
Ceilings	☐ OK ☐ N/A		
Roof Framing	☐ OK ☐ N/A		
2nd Storey Floor Framing	☐ OK ☐ N/A		
External Window Joinery	☐ OK ☐ N/A		
Fire Separations	☐ OK ☐ N/A		
Ventilation	☐ OK ☐ N/A		
Comments			