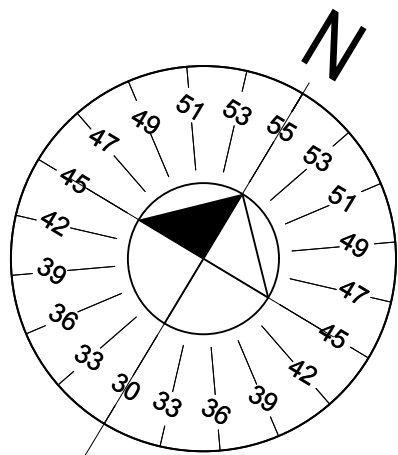


Approved Building Consent Documents

Please Note: A copy of the stamped approved documents must be available on site for all inspections.

INSPECTION BOOKING TIMEFRAMES		
Telephone 03 347 2839		
Call received	<i>Before 3pm inspection will be done</i>	<i>After 3pm inspection will be done</i>
Monday	Wednesday	Thursday
Tuesday	Thursday	Friday
Wednesday	Friday	Monday
Thursday	Monday	Tuesday
Friday	Tuesday	Wednesday



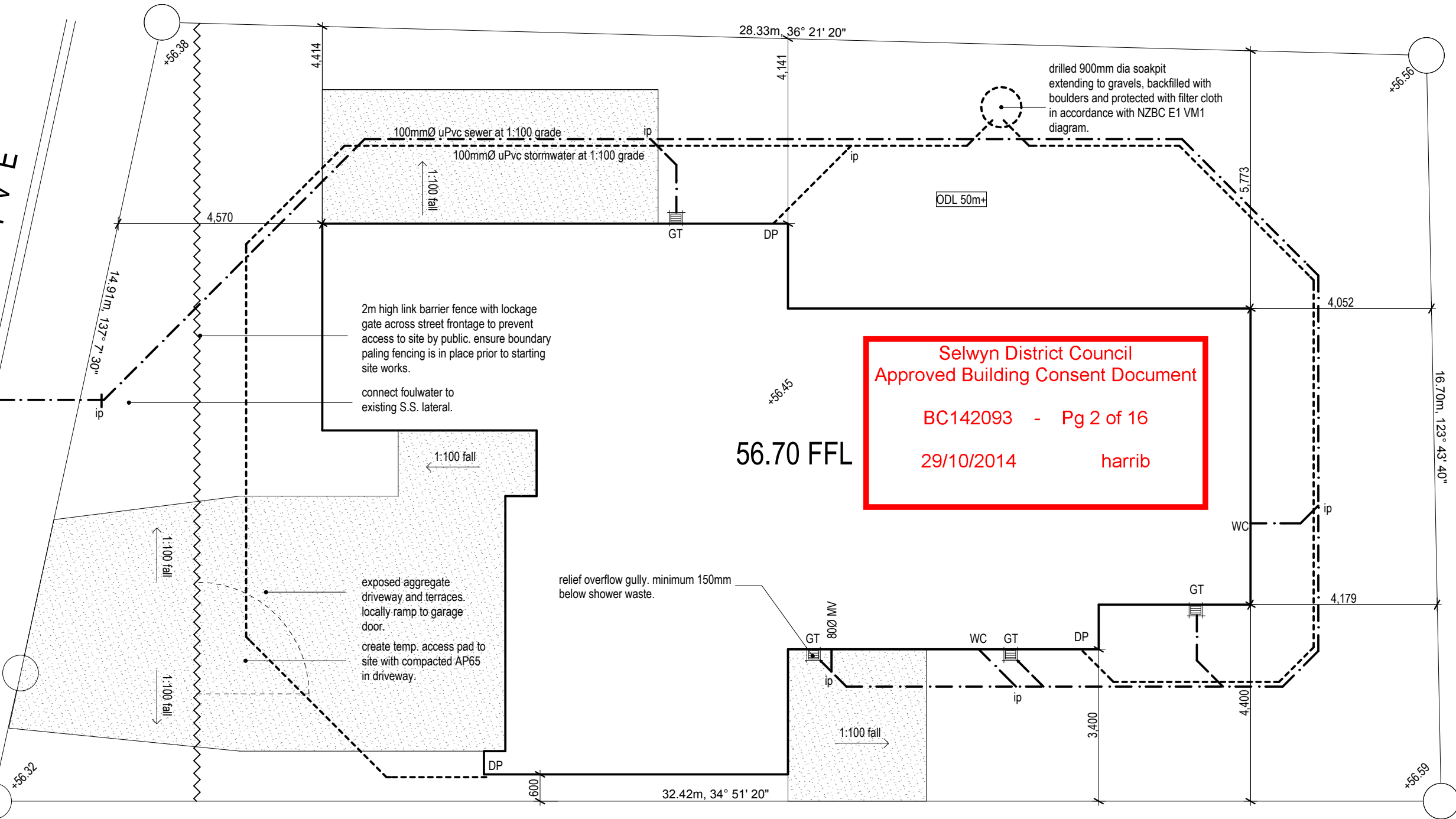
LOT 98
DP 470120

STG 3 Stonebrook
Rolleston

building area: 171.90 m²
site area: 519m²
site coverage: 33%

58 QUARTZ DRIVE

new 4.5m crossing
cut drop crossing prior to starting
site works.



Planning Approved

SITE LEVELS

ground levels as shown on Aurecon Plan and are provisional to be confirmed BY SURVEYOR upon completion of site works, prior to building commencement.

Reg. Surveyor to confirm ground and floor levels on setout prior to pouring of concrete.

UNDERGROUND SERVICE NOTES

all foulwater and stormwater drains shall be 100mm dia uPVC laid to fall minimum 1:100 to reticulated network utility service laterals.

position of laterals shown are provisional and shall be confirmed by drainage contractor.

co-ordinate for multiple underground services installation where practical.

drainage laterals shown are post EQ events and are expected to be in operational condition.

water supply shall be 25mm main, plumber to arrange trenching and connections to network mains

dwelling power supply shall be single phase underground. electrical contractor to arrange trenching and connections to network mains.

all trenches shall be open a maximum of 48hrs and be clear of engineered raft. main contractor shall confirm with the foundation engineer prior to any trenches being opened.

it is the main contractors responsibility to maintain silt control during any excavations including trenching.

SILT CONTROL GENERALLY
the main contractor is responsible for installing and maintaining silt control systems at all times.

protect any existing driveway surfaces until ready to reform.

create stabilized access pad with AP65 basecourse and restrict site access to this area.

cover any stockpile of soil with weather protection when not immediately removed from site.

take care not to disturb existing ground and vegetation unless specifically necessary.

Site & Services Plan

1:100

back2backarchitecturaltd

Unit 7 Bishopdale Courts
Christchurch.
ph 357 9241
email : bk2bk@tra.co.nz

Licensed Building Designers
Professional Member ADNZ inc

GRAPHITE
DEVELOPMENTS LTD
New Townhouse

Lot 98 DP470120 Stonebrook
Rolleston

Drawing Issue

01/09/2014 preliminary consent drawings
10/09/2014 Consent application drawings
28/10/2014 RFI issue

A-01

15

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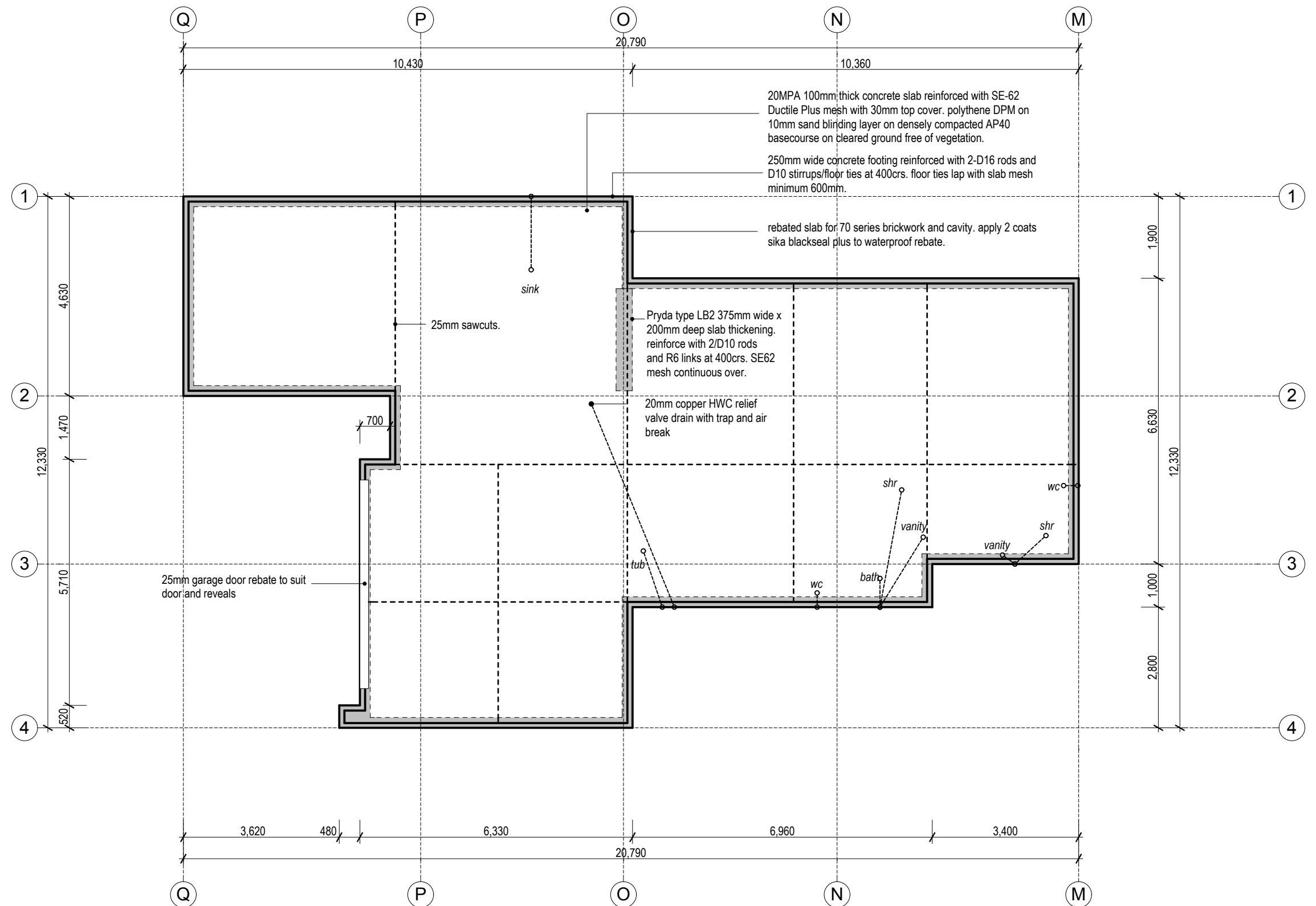
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FOUNDATION AND SLAB NOTES

main contractor to co-ordinate all inspections by engineer and ensure all certificates are provided to BCA in accordance with engineers inspection schedule and conditions of consent.

services shown in slab shall be minimum 40mm dia and set to fall 1:40min grade. tub waste shall fall at 1:30min grade. WC waste shall be 100mm dia and fall 1:60min

all wastes and other services in slab must be sleeved to provide for movement with flexible connections.

note position of relief gully trap on underground services plan. ensure overflow point is set below shower waste in accordance with NZBC.

foundation setout shall be using dimensions located on dimensioned floor plan, which provide overall dimensions and rebate positions.

positions of wastes are provisional and shall be confirmed by plumber following reference to fitting specification and joiner shop drawings.

|water supply shall have accessible isolation valve at inlet point.

any waste which has a combined length of 3.5m or more shall have an air admittance valve installed at fixture trap.

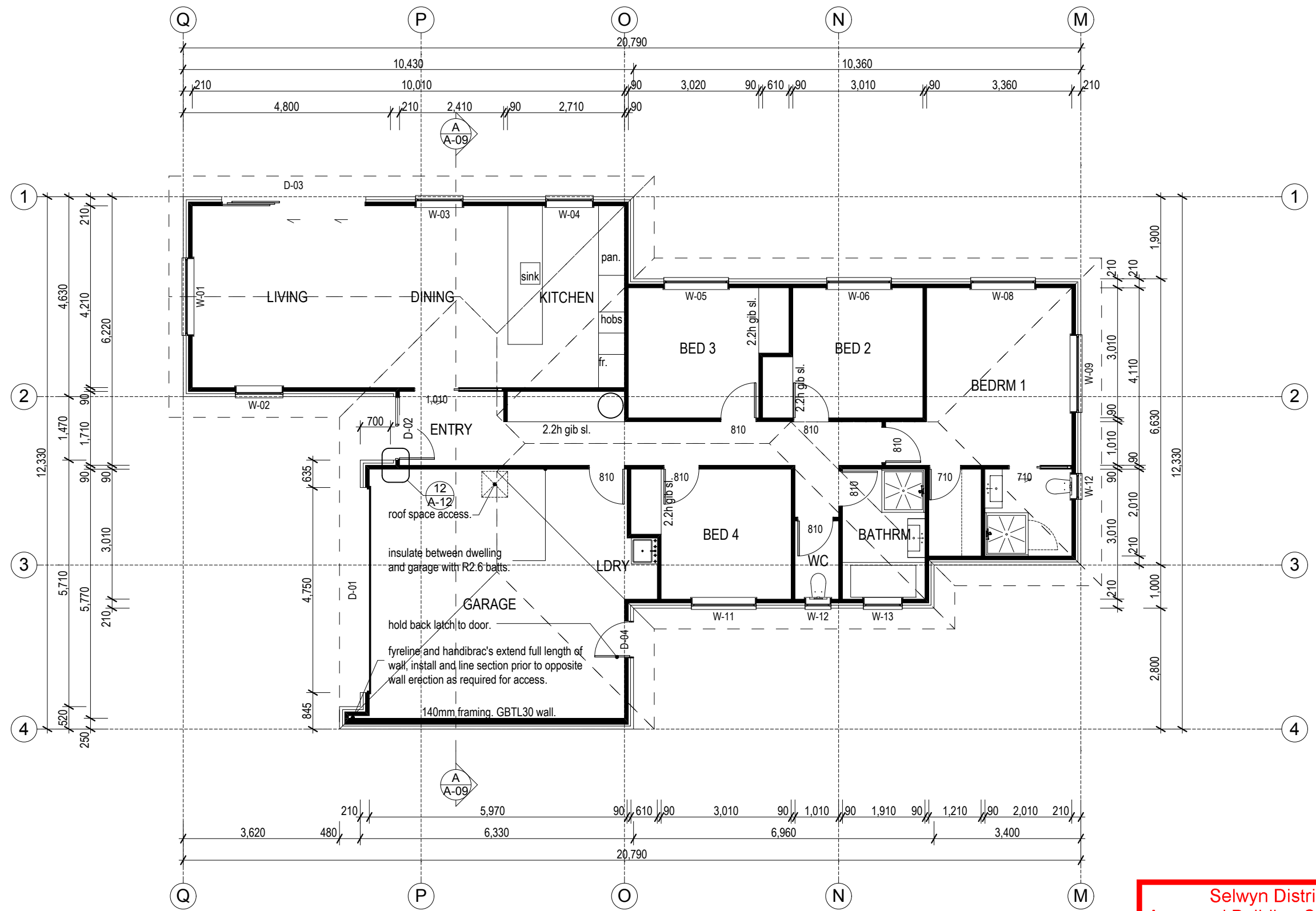
ensure that excavated footings are adequately founded and excavations should be undertaken by a digger fitted with a smooth edge bucket. The base should be tidily trimmed by hand, lightly compacted with a plate compactor and immediately covered with a concrete tidy slab or 100mm of compacted granular hardfill.

A suitably qualified person should be retained to verify that adequate founding depth has been achieved.

If there are significant soft layers beneath a sub-excavation, the softer material will have to be excavated and backfilled with 10MPa concrete or compacted hardfill, refer recommendations contained in Aurecon Geotech report project reference 224926, document ID Lot 98, clause 4.1, 4.2 and 4.3.

Services in Slab

1:100



GENERAL NOTES
 main contractor to obtain and refer to shop drawings for details on kitchen and laundry joinery. co-ordinate sub trades to same.

contract plumber to ensure water supply is supplied to kitchen fridge position.

INTERIOR DOORS
 interior hinged doors shall be flush panel hollow core MDF in MDF grooved reveals for paint finish, 1980mm high. supply and install brushed alloy wall mounted door stops, refer specification for door hardware selections.

GARAGE DOORS
 provide 25mm recess at sills and allow for sectional panel doors complete with auto openers and remotes. trim opening with H3.2 radiata reveals for paint finish.

WARDROBE DOORS
 10mm gib infill PC alloy sliders 2.4m high directly mounted to gibbed openings, no jambs.

CUPBOARD SHELIVING
 18mm melteca arctic white shelving generally.

Hall cupboard: 4 levels of slotted, adjustable shelving.

Wardrobes: 1 level of solid fixed shelf at 1.8m high, single PC white hanging rail.

Kitchen, refer shop drawing by joiner.

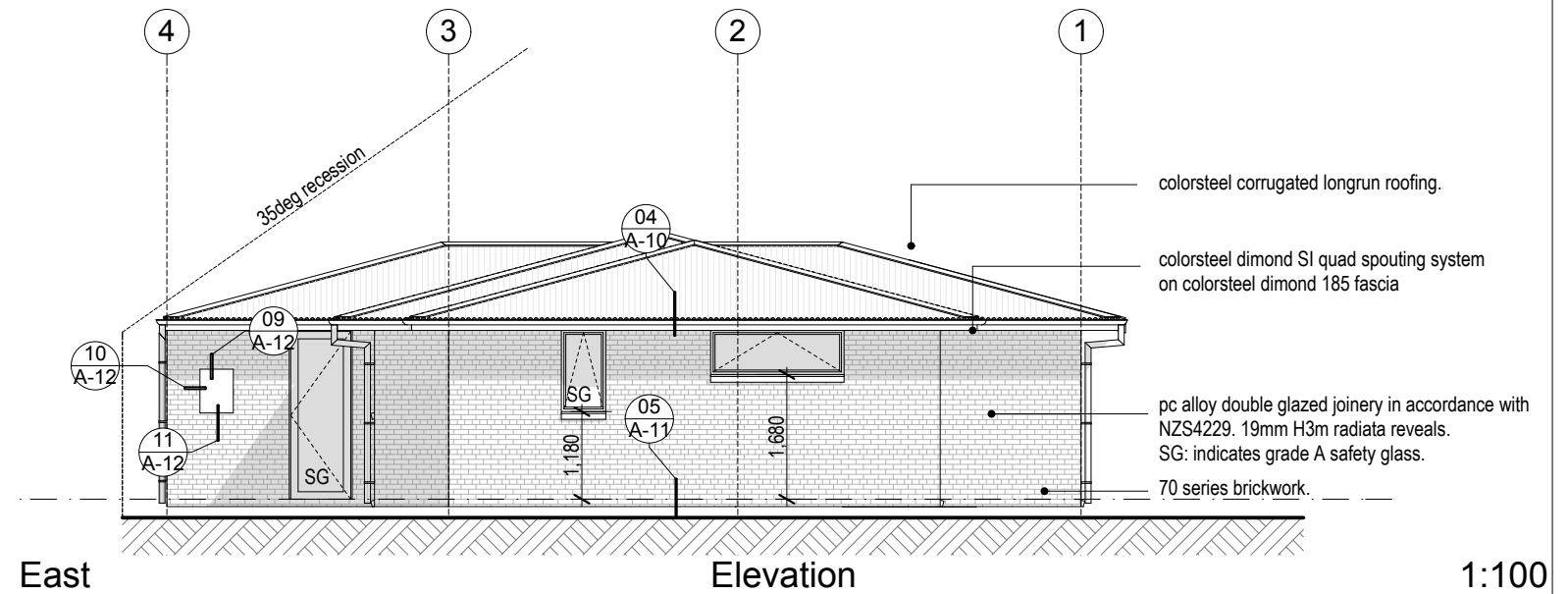
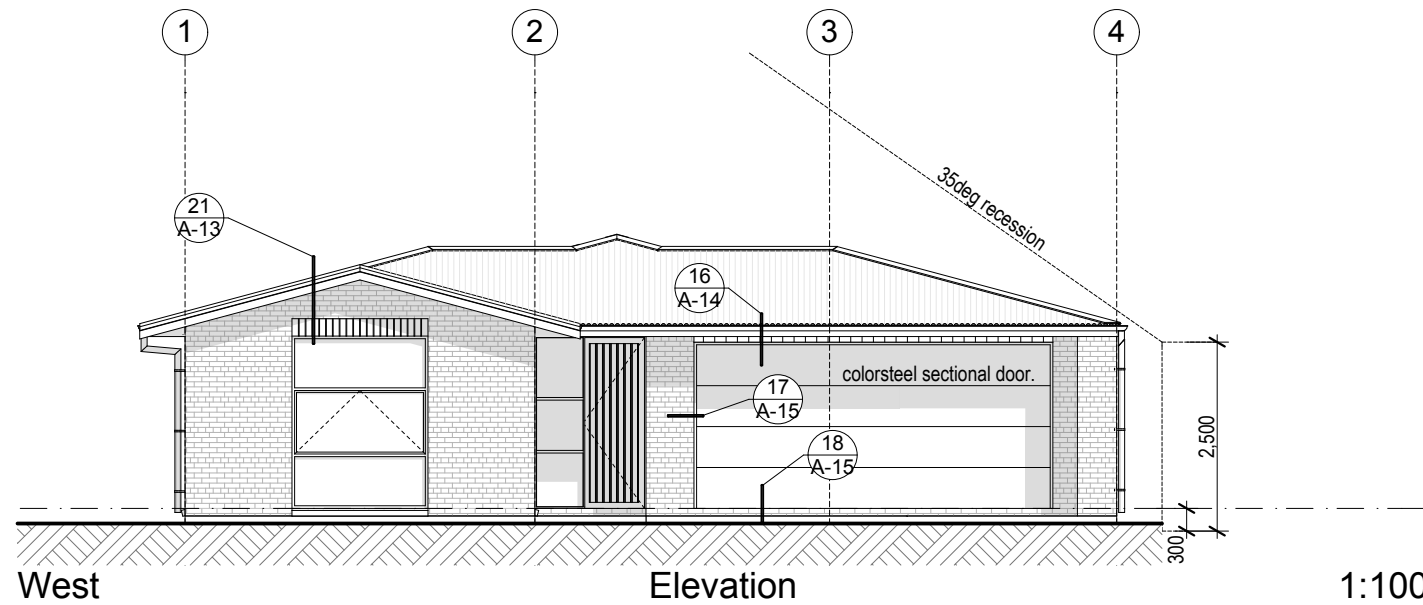
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Dimensioned Floor Plan

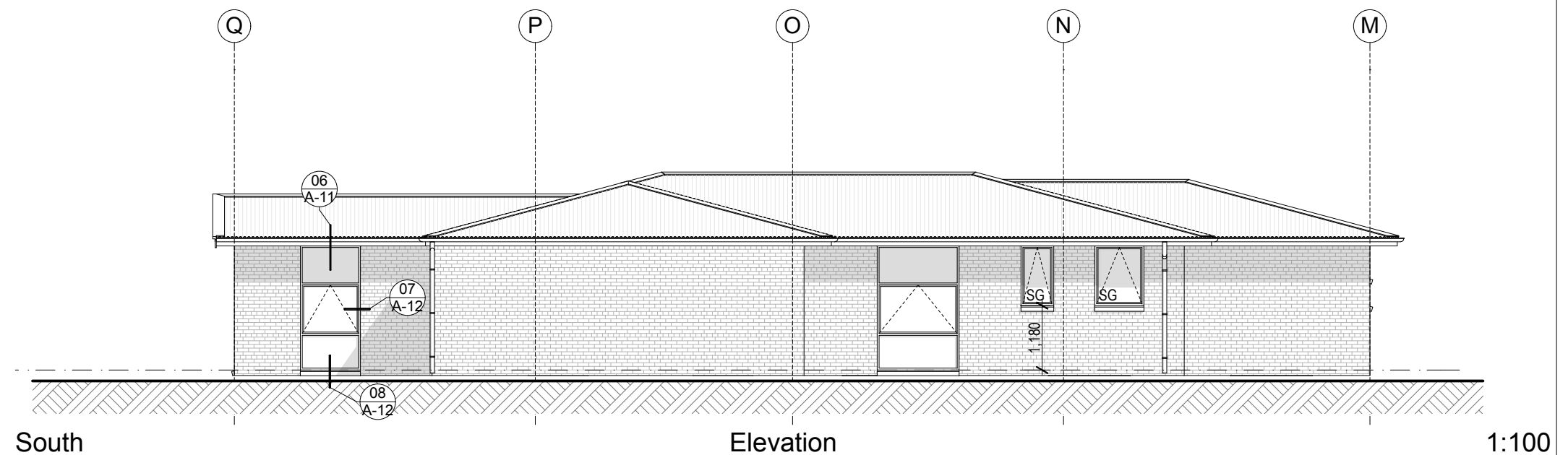
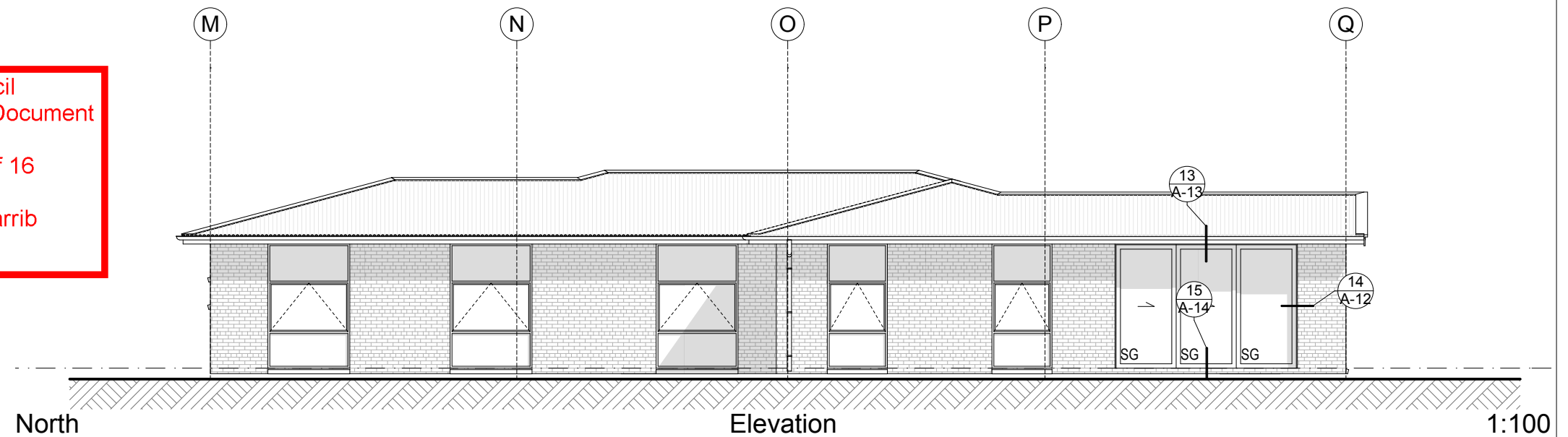
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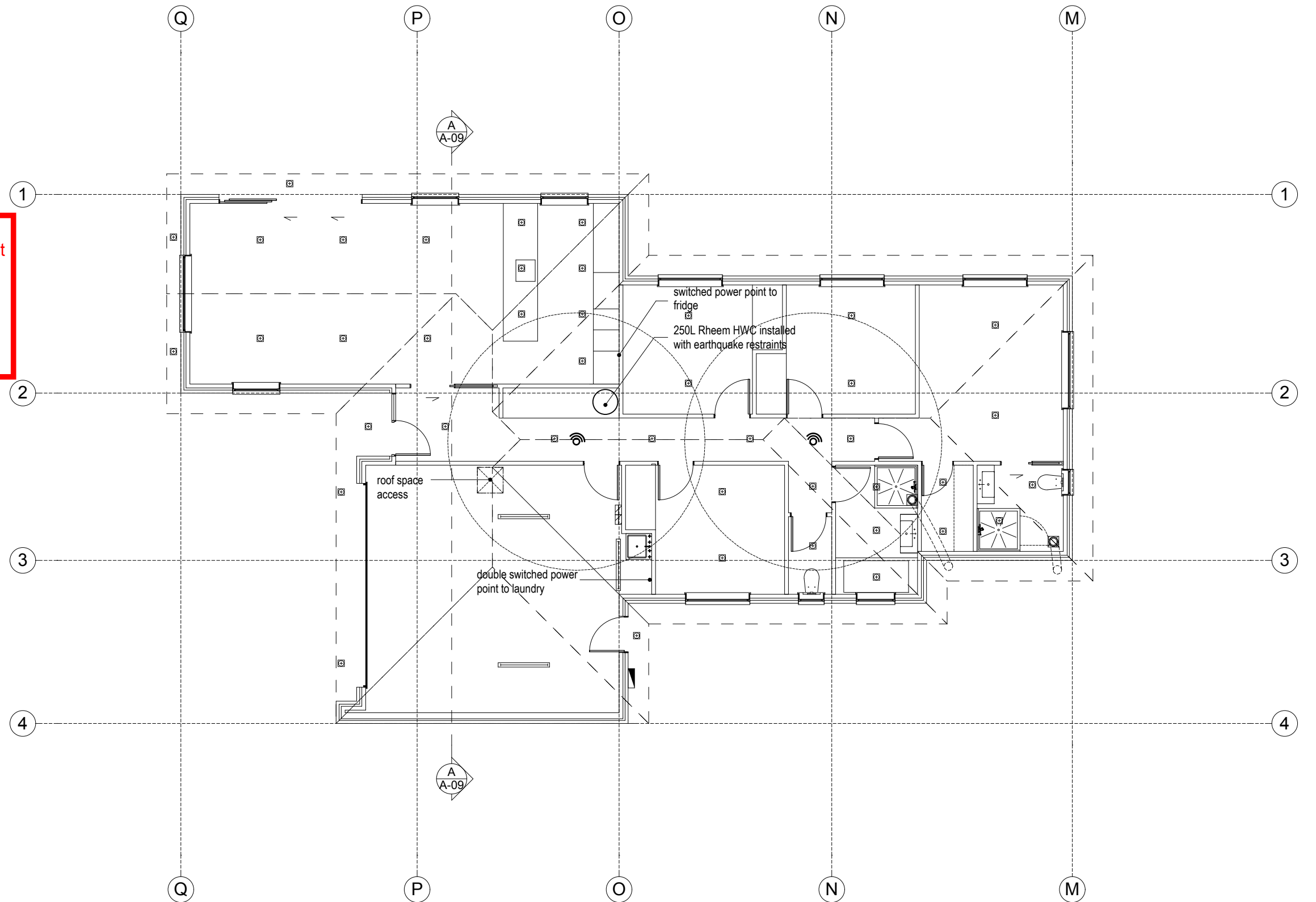
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ELECTRICAL NOTES

- manrose 125mm ceiling fan exhaust through soffit.
- wall mounted exterior halogen light fitting
- CA rated halogen or LED light fitting suitable for abutment fitting to insulation (135degC).
- flush mount distribution board
- flush mount meterbox.
- fluorescent light fitting.

- ceiling mounted smoke alarm equipped with hush button and test circuit.
- wiring for kitchen appliances, hwc, powerpoint and security not shown.
- provide power point within 300mm for fridge and laundry appliances

contract electrician to obtain and REFER to joinery shop drawings to confirm location of appliances, joinery lighting and power points positions in kitchen and laundry.

power point positions to be distributed by arrangement with owner unless specifically noted. average 1 double point per room.

HWC storage temp set to 60degC min. Delivery temp at any fixture shall be reduced to 55degC max via temp reducing valve.

Electrical Plan

1:100

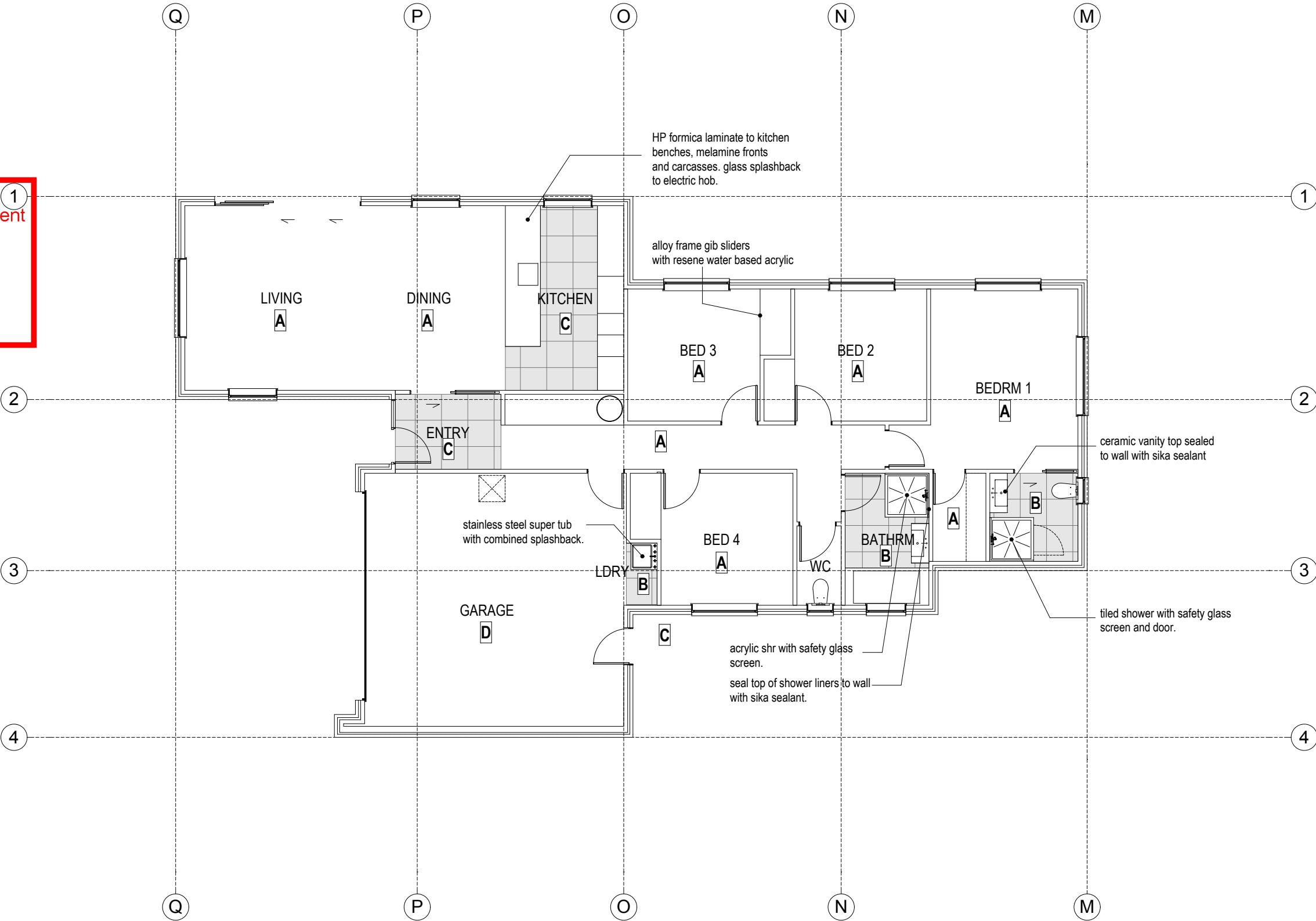
Drawing Issue

01/09/2014	preliminary consent drawings
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Selwyn District Council
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FINISHING SCHEDULE AND NOTES

A
CEILING:
10mm GIB standard, resene 3 coat spacecoat flat finish
WALL:
10mm GIB standard, resene 3 coat spacecoat low sheen finish.
60mm radiata bevel skirting with lustacryl semi gloss finish.
FLOOR:
selected carpet on 11mm underlay.

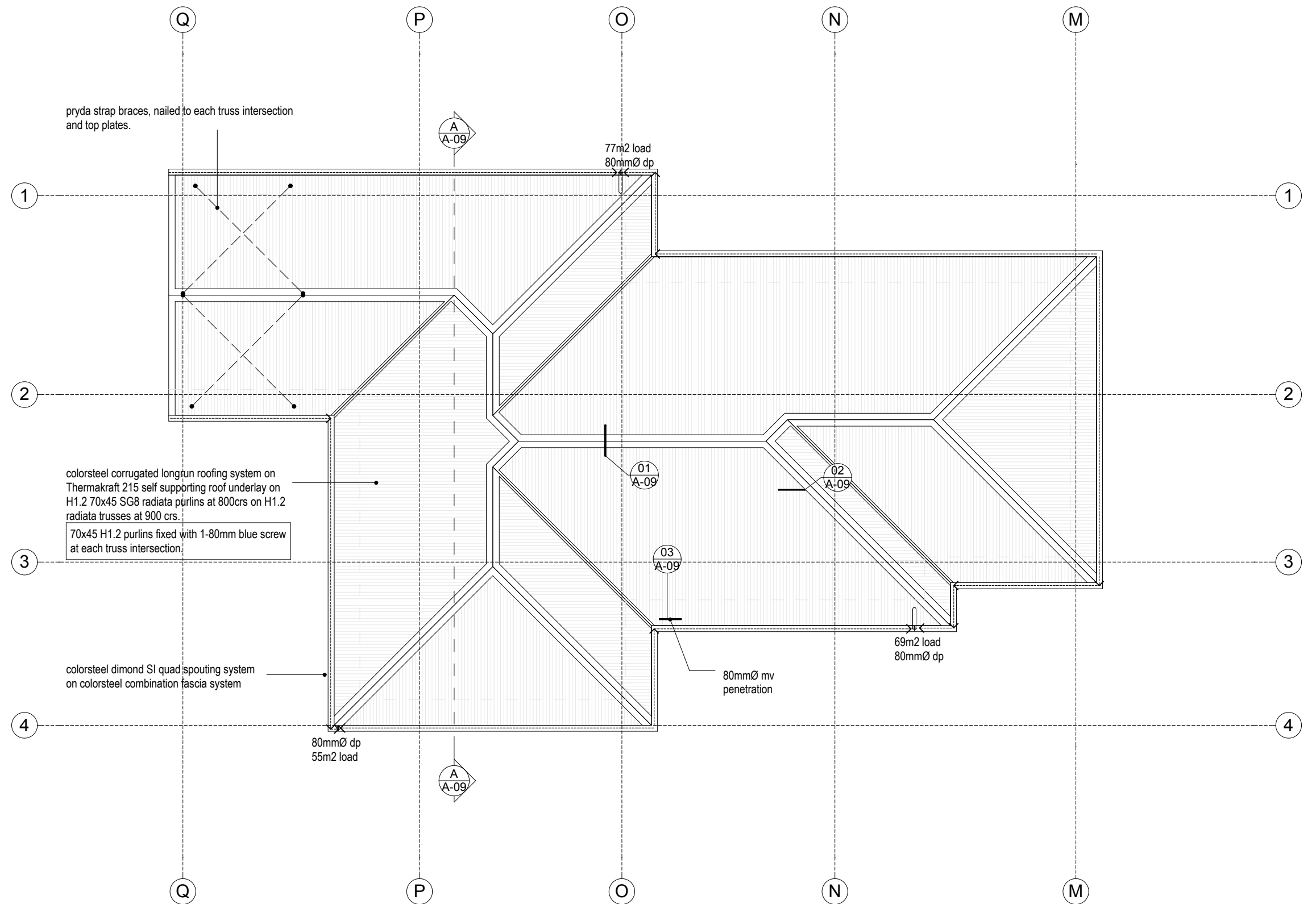
B
CEILING:
10mm GIB aqualine, with 3 coat resene lustacryl semigloss paint system
WALL:
10mm GIB aqualine, with 3 coat resene lustacryl semigloss paint system. 10mm selected skirting tile with alloy trim.
FLOOR:
10mm selected tile surface with 2mm joints on concrete substrate.

C
CEILING:
refer type A
WALL:
refer type A
FLOOR:
10mm selected tile surface with 2mm joints on concrete substrate.

D
CEILING:
refer type A
WALL:
refer type A
FLOOR:
machine float concrete finish.

Finishes Plan

1:100



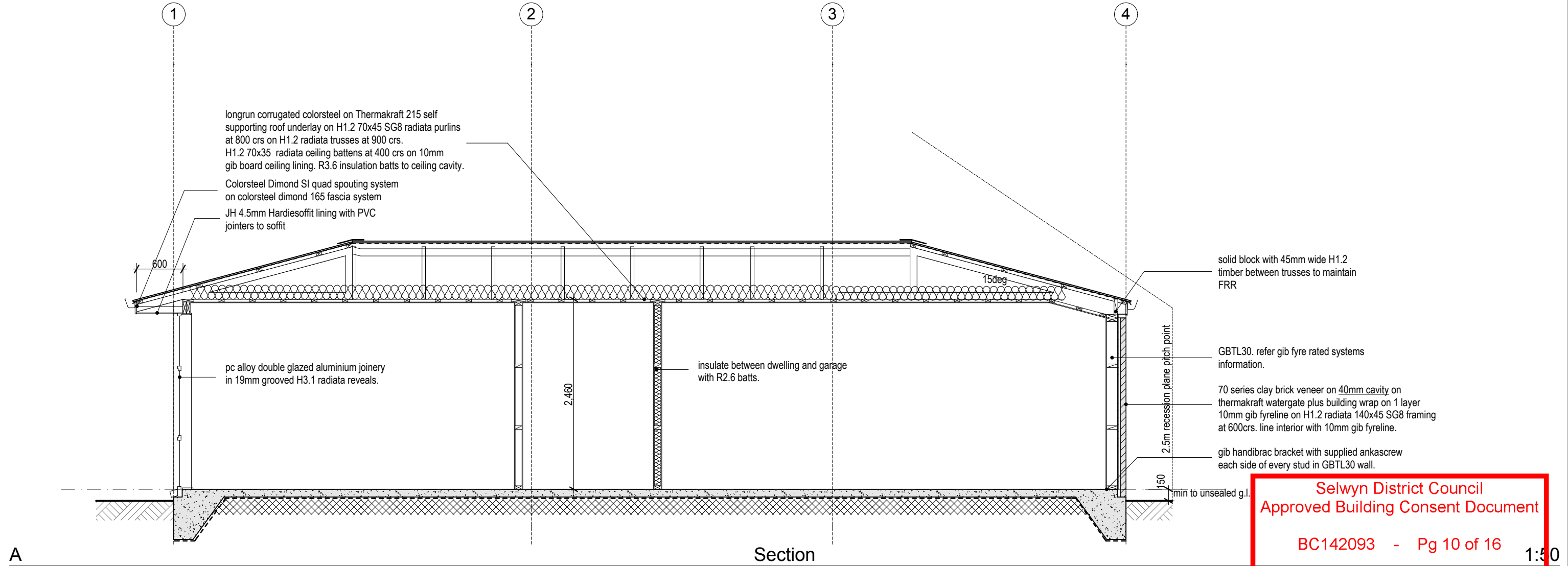
ROOF CLADDING NOTES:

all fixings shall be in accordance with NZ roofing code of practice and color matched to roofing.

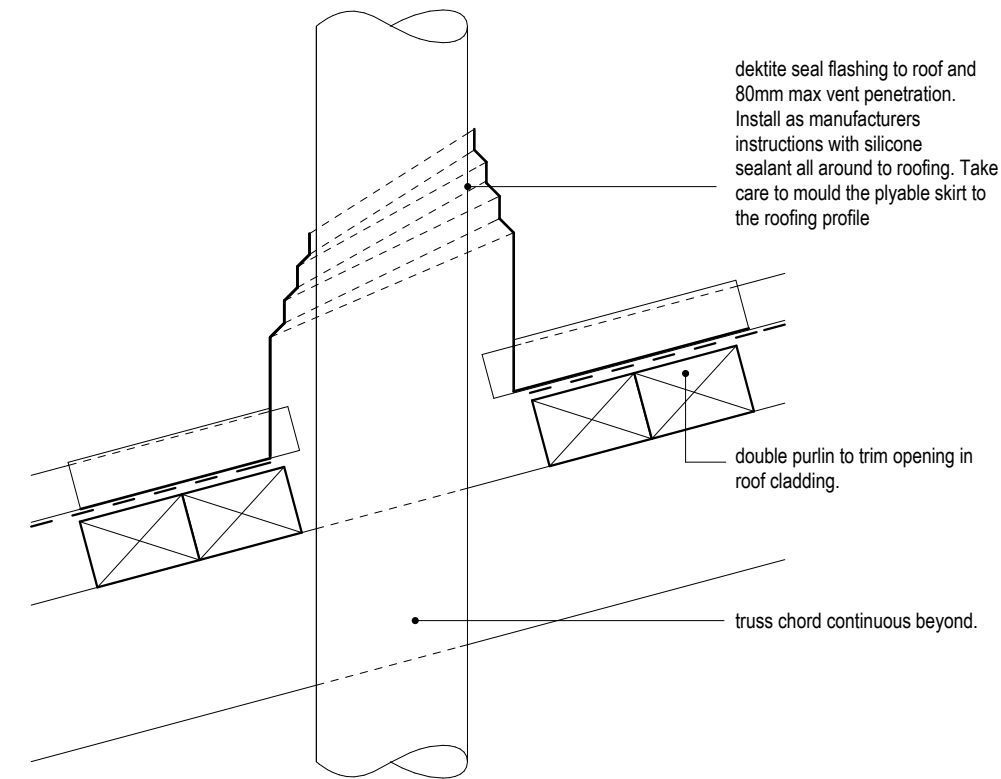
any ridge or flashing exceeding 6.0m in length shall have a correctly formed expansion/contraction joint to allow for movement. refer NZ roofing COP for instructions.

Roof Plan

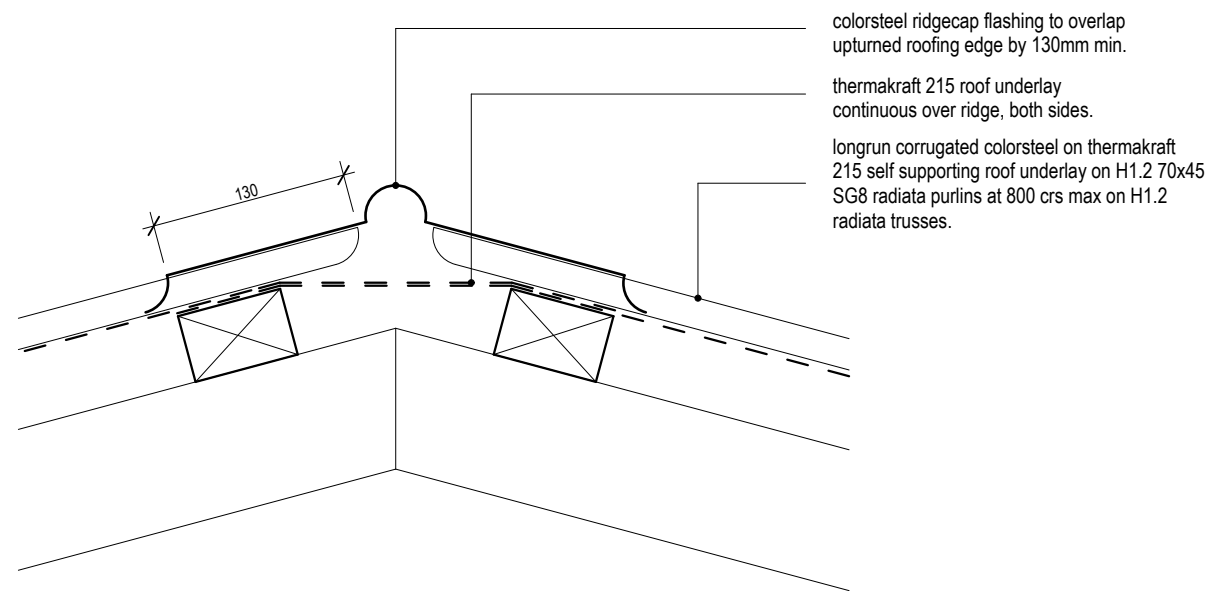
Drawing Issue



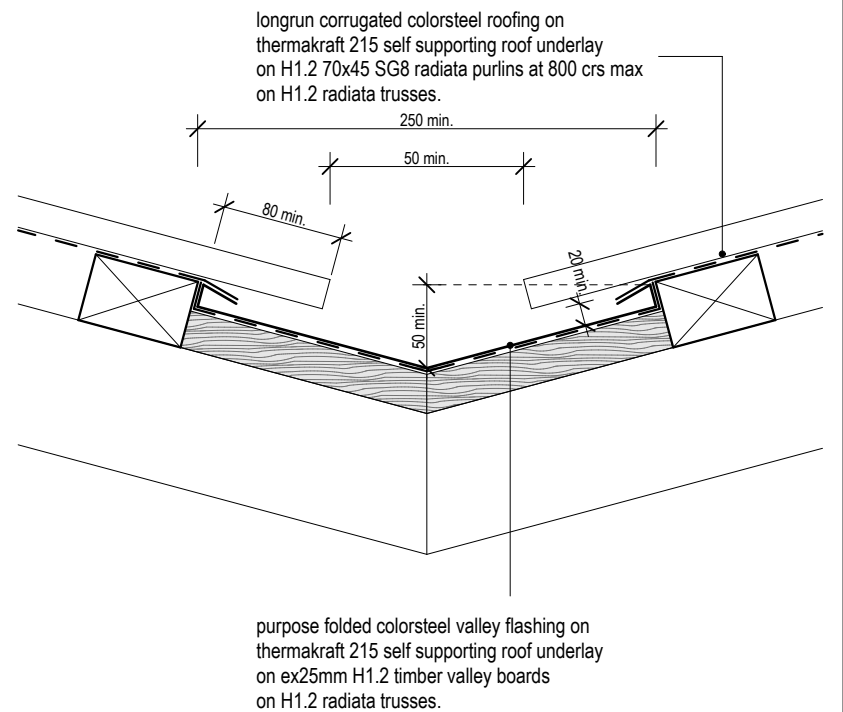
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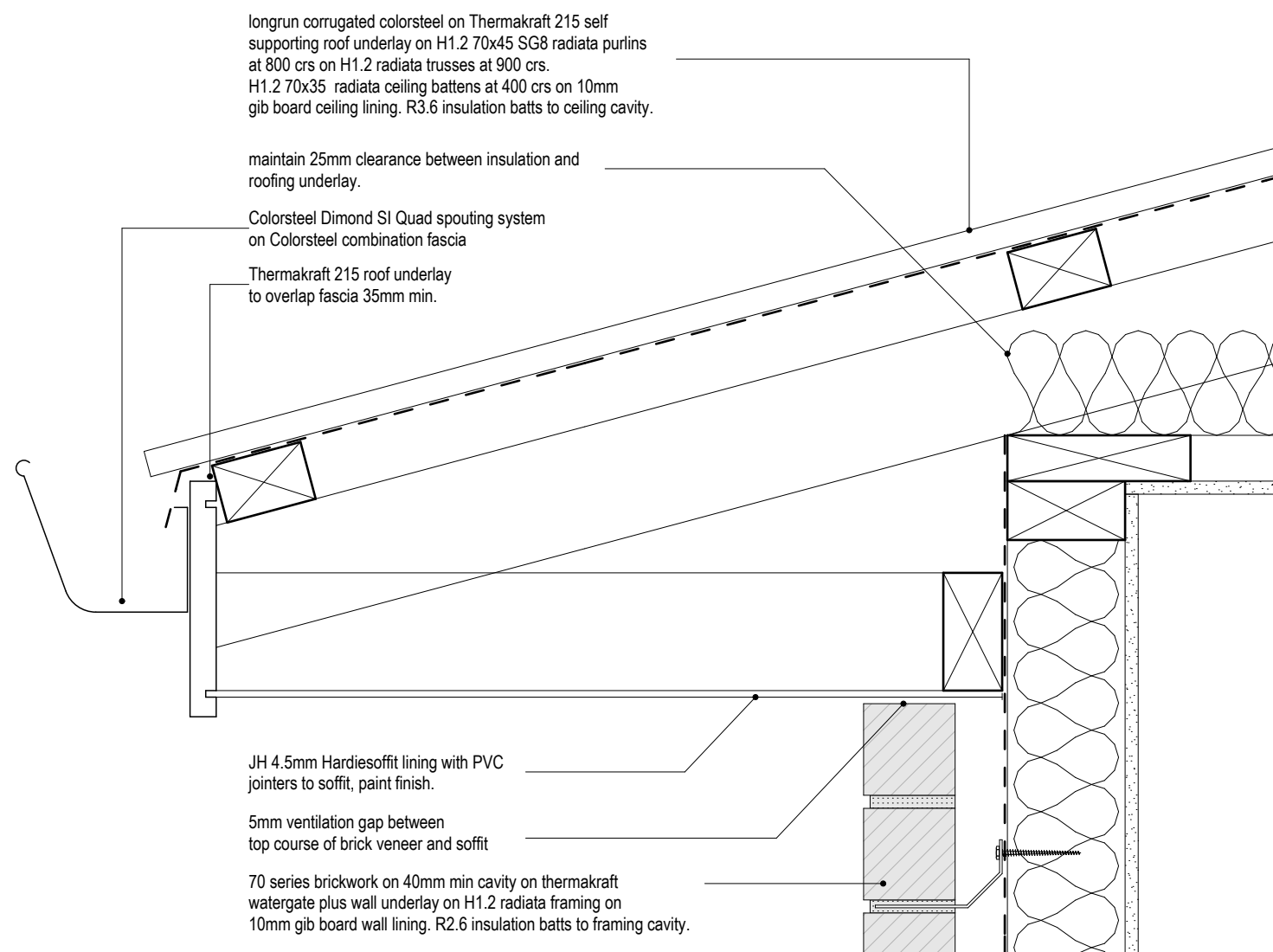
03 Roof Penetration Detail



1:5 01 Typical Ridge Detail

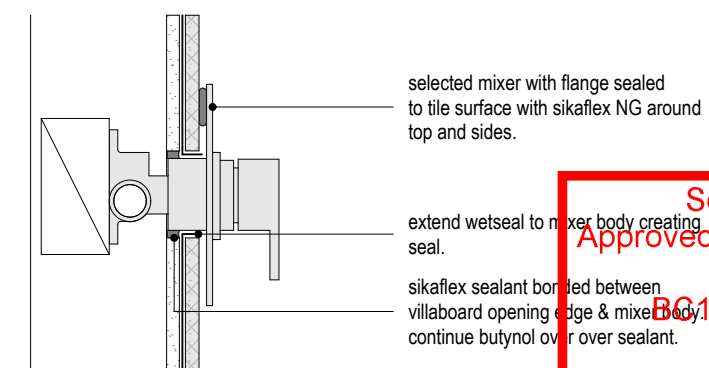
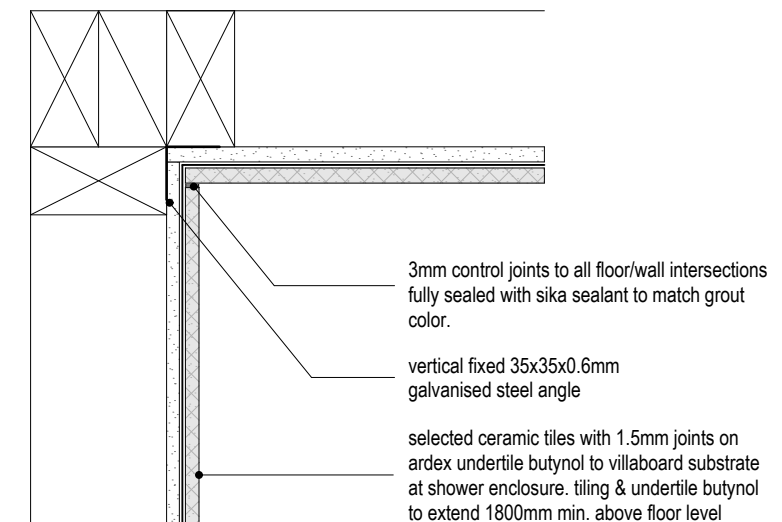


1:5 02 Typical Valley Gutter



Brick soffit Intersection

1:5



selected ceramic tiles with 1.5mm joints on wetseal liquid membrane on villaboard substrate to entire enclosure (extend to 2.3m min).

alloy waste discharging into puddle flange. extend and dress wetseal fully into puddle flange. cement form 1:40 fall to concrete floor. apply wetseal complete with fibreglass mat to form rigid waterproof base. apply selected ceramic tiles with compatible adhesive.

sika sealant between bottom of villaboard and concrete floor.

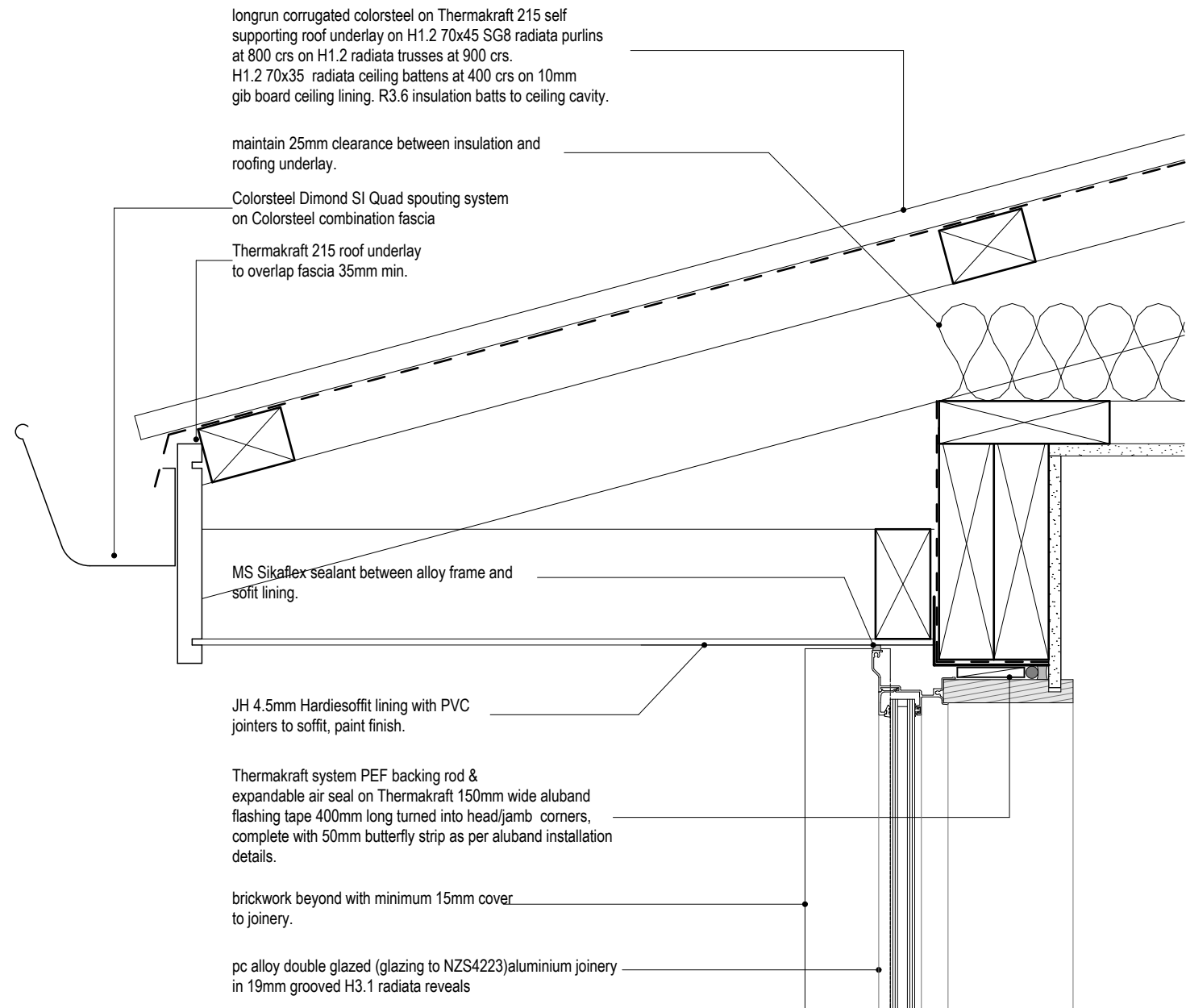
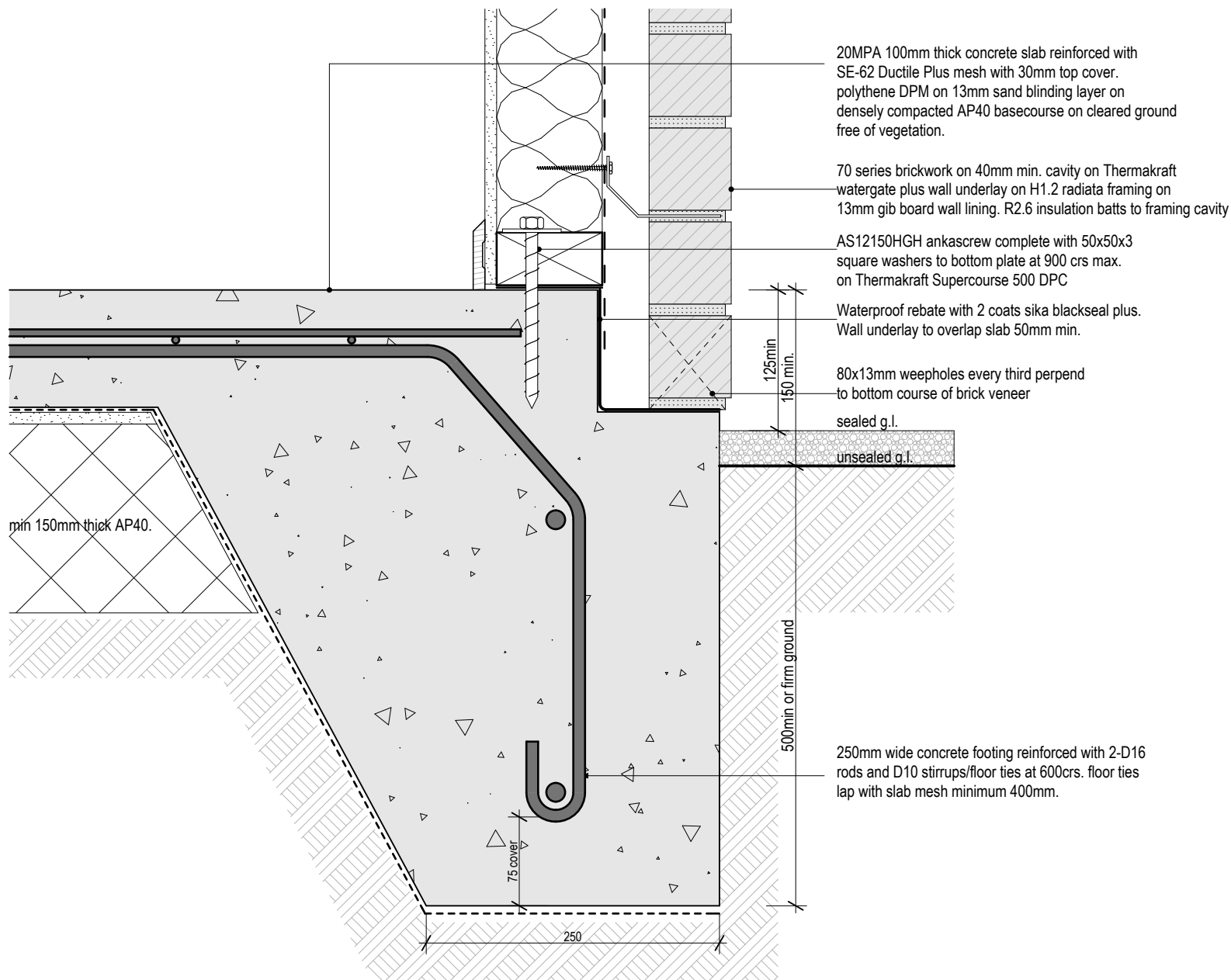
3mm control joints to all floor/wall intersections fully sealed with sika sealant to match grout color.

toughened safety glass door to NZS4223 on stainless hardware. provide flexible silicone drip deflector to base of door.

Tiled Shower Detail

1:5

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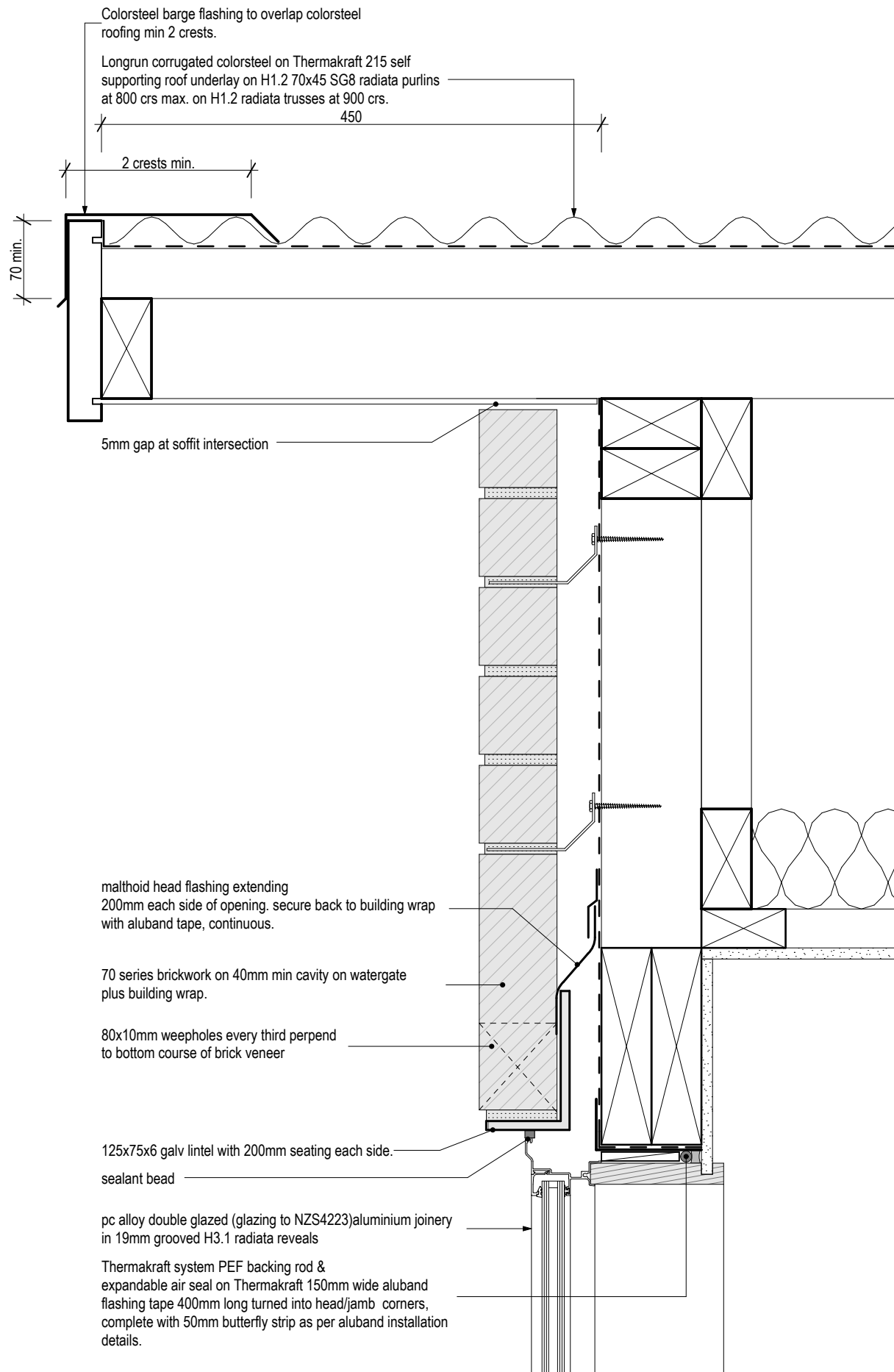
05

Brick Cladding Base

1:5 06

Typical Window Head

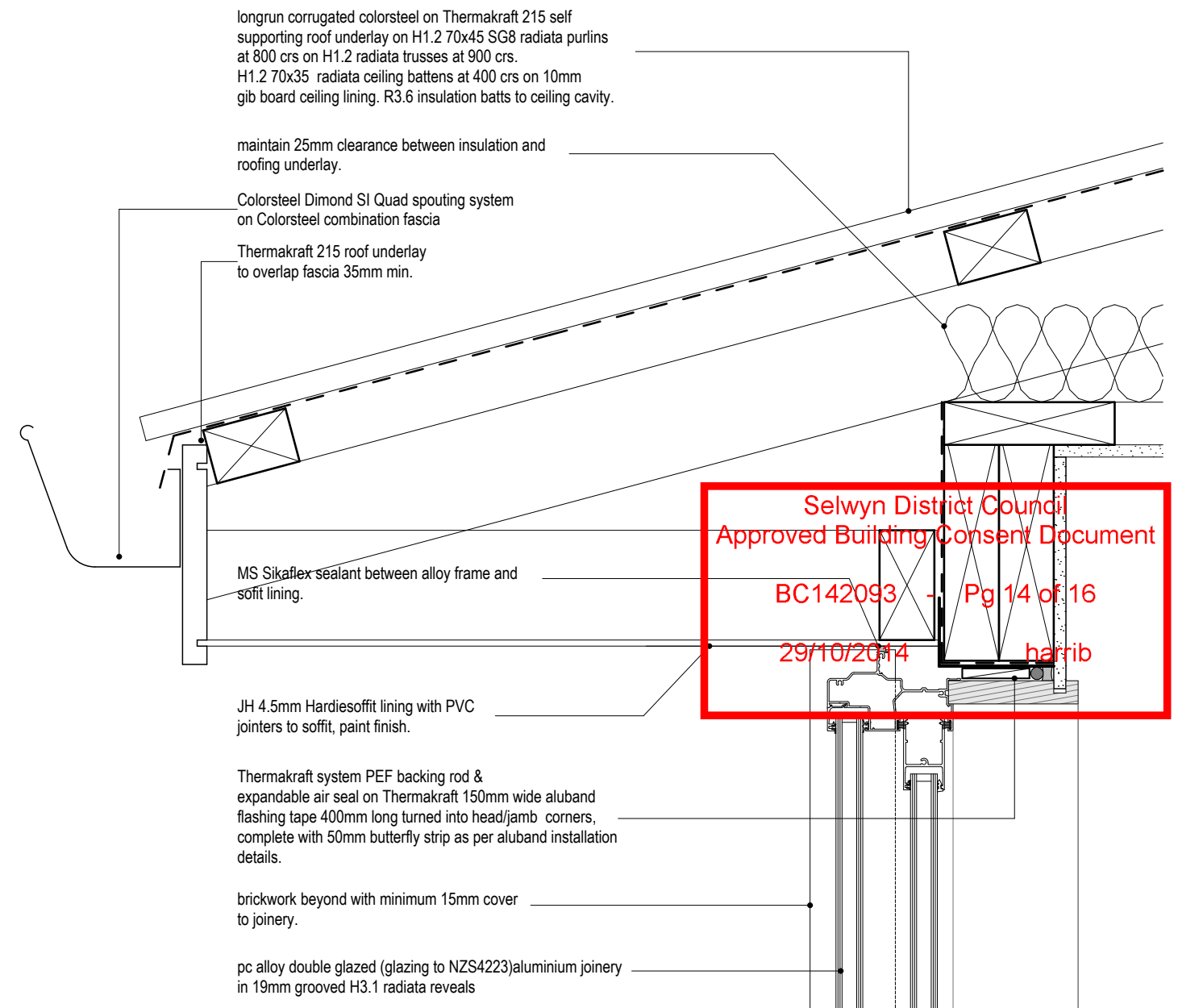
1:5



21

Gable End Detail

1:5



13

Typical Door Head

1:5

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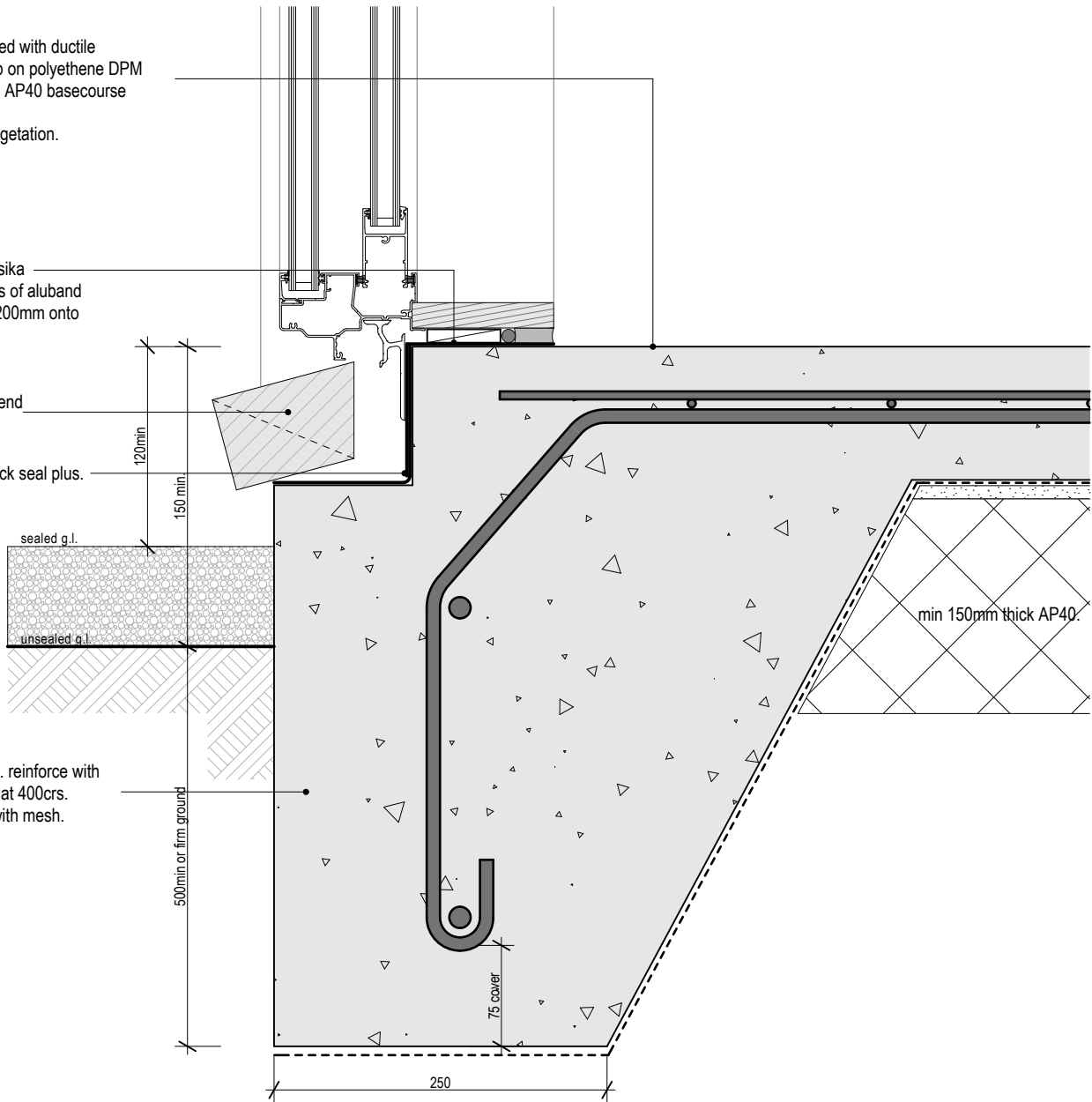
100mm 20MPA concrete slab reinforced with ductile SE62 mesh with 30mm top cover. slab on polyethene DPM on 13mm sand blinding on compacted AP40 basecourse minimum depth 150mm. basecourse on clear ground free of vegetation.

waterproof door opening with 2 coats sika blackseal plus. note 400mm long strips of aluband flashing tape to opening corners (lap 200mm onto blackseal).

80x13mm weepholes every third perpend to bottom course of brick veneer

waterproof rebate with 2 coats sikablack seal plus.

20MPA concrete perimeter foundation. reinforce with 2-D16 rods and D10 stirrups/floor ties at 400crs. extend ties into slab and lap 600mm with mesh.



15 Typical Door Sill

1:5 16

longrun corrugated colorsteel on Thermakraft 215 self supporting roof underlay on H1.2 70x45 SG8 radiata purlins at 800 crs on H1.2 radiata trusses at 900 crs. H1.2 70x35 radiata ceiling battens at 400 crs on 10mm gib board ceiling lining. R3.6 insulation batts to ceiling cavity.

Sika sealant bead to 5mm space between panel and soffit.

JH 12mm axon panel on 20mm drained H3.1 cavity battens on thermakraft watergate plus (air barrier).

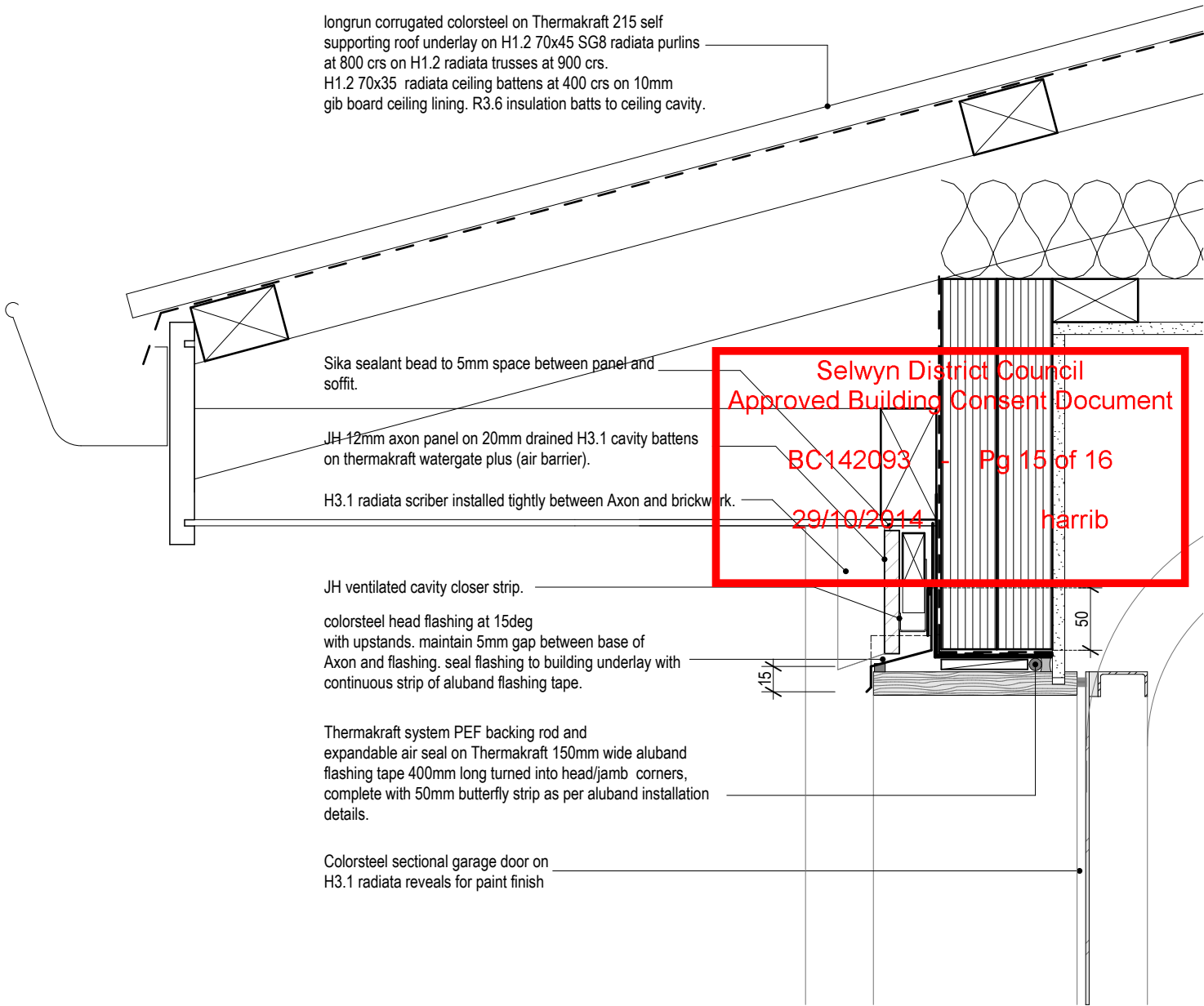
H3.1 radiata scribe installed tightly between Axon and brickwork.

JH ventilated cavity closer strip.

colorsteel head flashing at 15deg with upstands. maintain 5mm gap between base of Axon and flashing. seal flashing to building underlay with continuous strip of aluband flashing tape.

Thermakraft system PEF backing rod and expandable air seal on Thermakraft 150mm wide aluband flashing tape 400mm long turned into head/jamb corners, complete with 50mm butterfly strip as per aluband installation details.

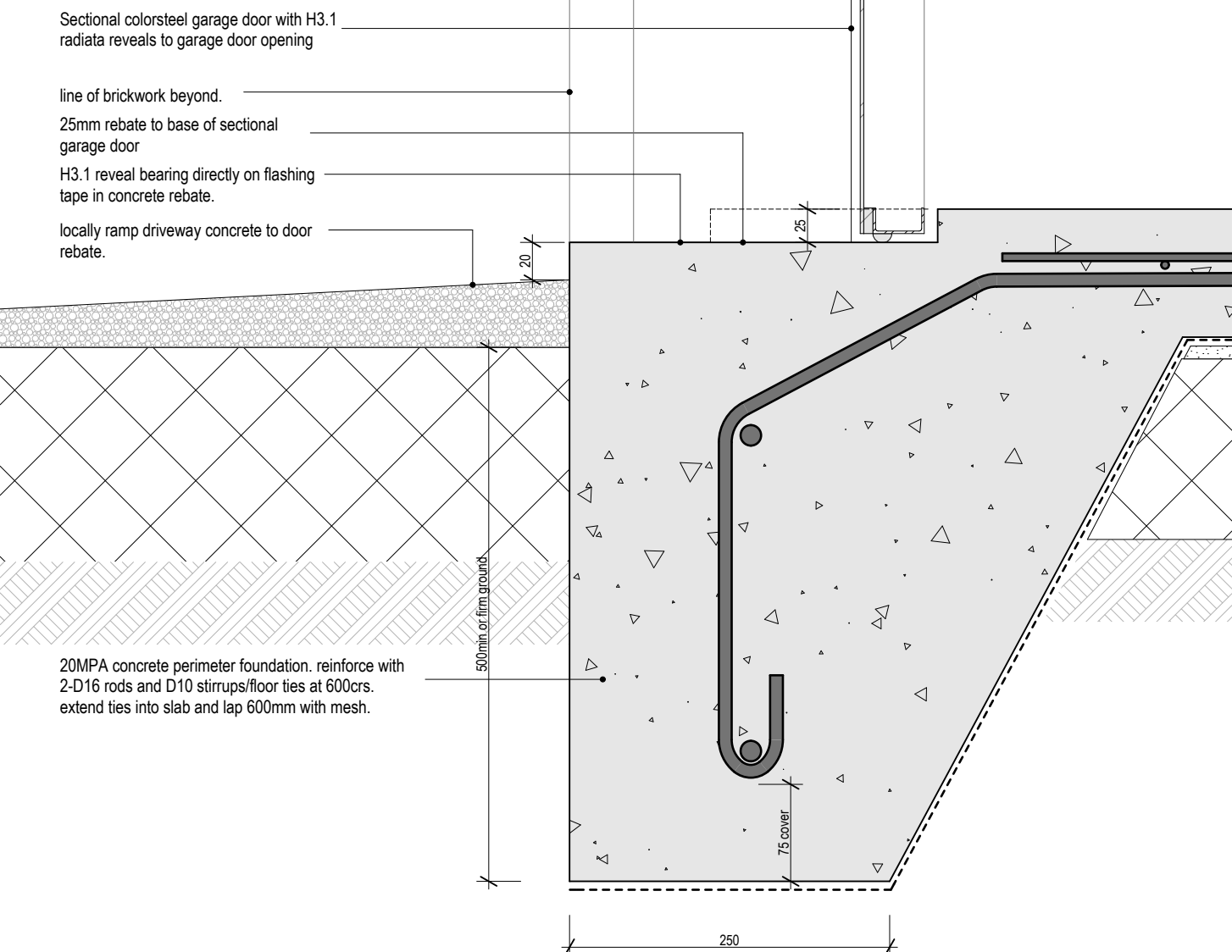
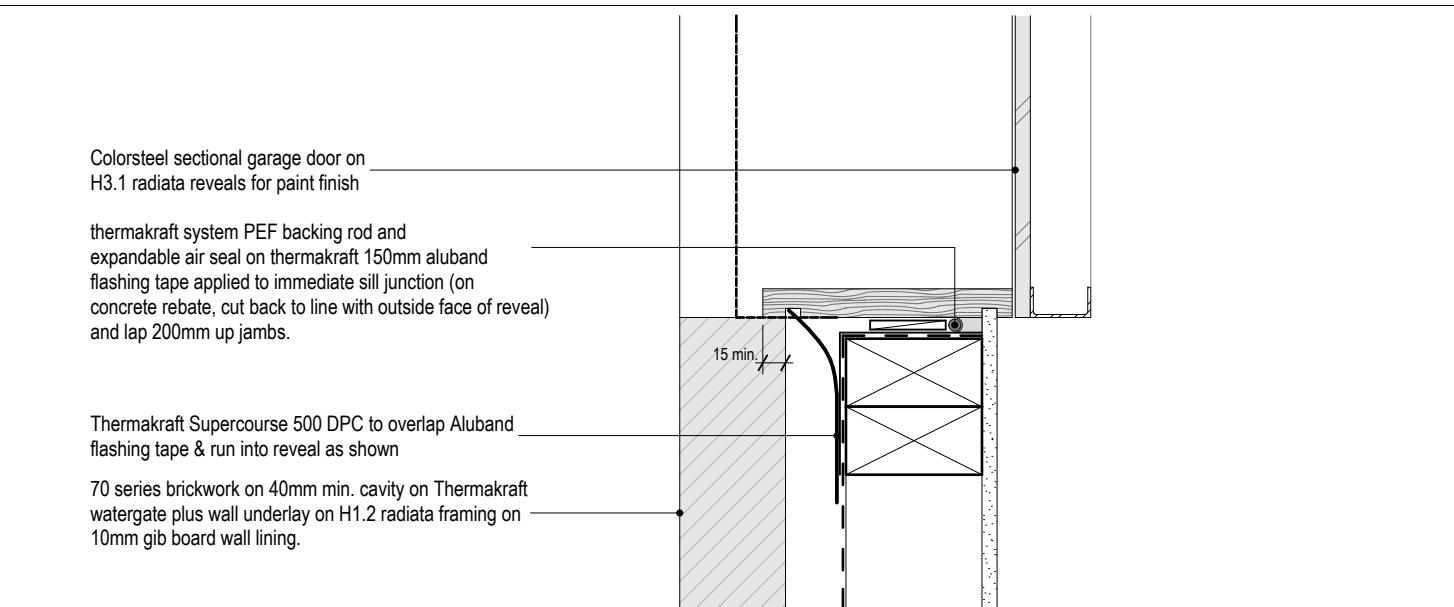
Colorsteel sectional garage door on H3.1 radiata reveals for paint finish



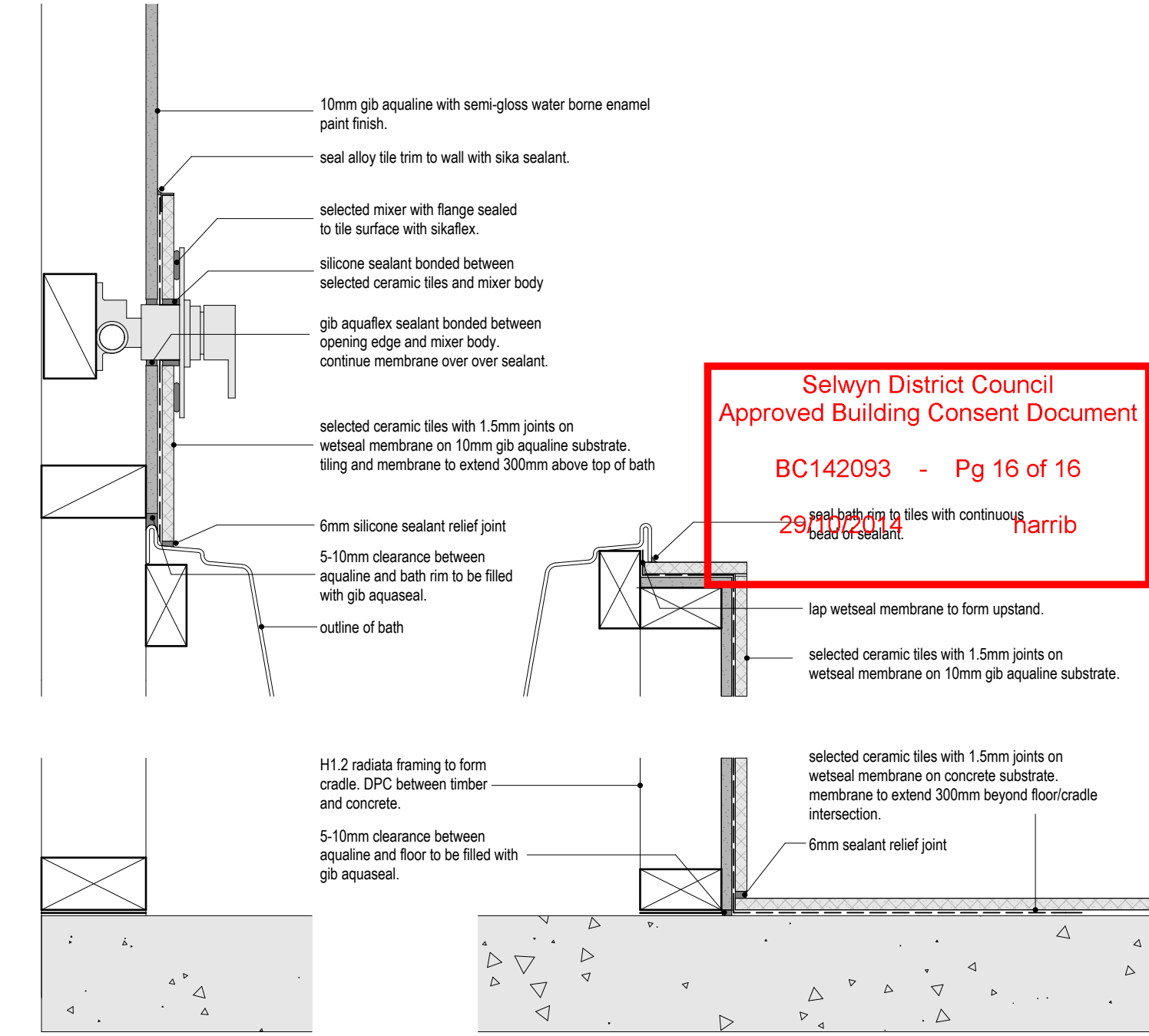
Garage Door Head

1:5

Garage Door Jamb



Garage Door Sill



Bath to Wall Intersection

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29/10/2014 harrib