

Private Bag 1, Leeston | Telephone (03) 324 5839 | Fax (03) 324 3531 | Web Site www.selwyn.govt.nz

**THE BUILDING**

(refer to your Rates Account for details)

Site Address: 76 NOFFAT DRIVE

LINCOLN, 7608. Street /Road

Rapid Number:                     

(Applies to Rural Properties Only)

Legal description: Part Lot 1 Deposited Plan

17721

(This could include all or any of the following:- Lot, DP, Section, Block, or Township, etc.)

Valuation Roll Number: 24041-54900

Type of Building Work: Domestic Dwelling  
(Eg: Domestic Dwelling) Alterations/Additions

Project Information Memorandum No: R419563

1. Building Consent No: R419563

2. Building Consent Issued by (Name of Building Consent Authority):

SELWYN DISTRICT COUNCIL

**THE OWNER**

3. Owner's Name: R.T.R. & T.C. MUGFORD  
(Company or name of organisation)

4. Contact Person:                       
(If Owner is not an Individual)

5. Mailing Address: 76 NOFFAT DRIVE  
LINCOLN, 7608.

6. Street Address / Registered Office: as above

7. Phone Numbers: Mobile:                     

Daytime: (03) 3253405 After Hours: same

8. Fax:                     

9. Email:                     

10. Website:                     

11. The following evidence of ownership is attached to this application:

☒ Current Certificate of Title

☐ Current Sale and Purchase Agreement

**AGENT / APPLICANT**

(Contact Details MUST be in New Zealand)

12. Name of Agent:                     

13. Contact Person:                     

14. Mailing/Billing Address:                     

15. Street Address / Registered Office:                     

16. Phone Numbers: Mobile:                     

Daytime:                      After Hours:                     

17. Fax:                     

18. Email:                     

19. Website:                     

20. ☐ Authorisation from Owner Attached.  
(Authorisation from the owner confirming authority)

21. Note: The Agent will be the first point of contact for communications with the Building Consent Authority regarding this Application and will receive all correspondence including all invoices.

For Office Use Only

## PERSONNEL

22. All Building Work to be carried out under the above Building Consent was completed on: \_\_\_\_\_

23. The Licensed Building Practitioner's who carried out the building work are as follows:

(Please identify other tradespeople as appropriate)

Certificate Attached  
(Tick box)

Builder: <u>GARY F. PASCOE</u>	<input type="checkbox"/>	Phone: <u>322 7717</u>
Address: <u>57 KENNEDYS Bush Road</u>		Registration No: <u>-</u>
✓ Plumber: <u>M.T. WRIGHT LTD</u>	<input type="checkbox"/>	Phone: <u>021 336978</u>
Address: <u>38 HALSWELL JUNCTION RD.</u>		Registration No: <u>04685</u>
✓ Drainlayer: <u>MILNE DRAINLAYING</u>	<input checked="" type="checkbox"/>	Phone: <u>322 8017</u>
Address: <u><del>E. CONSTABLE PLACE</del> HALSWELL</u>		Registration No: <u>2404/5400</u>
✓ Electrician: <u>(STEVE MONOPOLI) EXCEL ELECTRICAL LTD</u>	<input checked="" type="checkbox"/>	Phone: <u>03-310-7343</u>
Address: _____		Registration No: <u>EB521</u>
Gasfitter: <u>MT. WRIGHT LTD</u>	<input type="checkbox"/>	Phone: <u>021 336978</u>
Address: <u>38 HALSWELL JUNCTION RD.</u>		Registration No: <u>04685</u>
✓ Other: <u>TEXTURE FX LTD + GREG INGLIS</u>	<input checked="" type="checkbox"/>	Phone: <u>3492200</u>
Address: <u>14 OAKWOOD MEWS PRESTON</u>		Registration No: <u>-</u>
Other: <u>COPELAND ROOFING - LES COPELAND</u>	<input type="checkbox"/>	Phone: <u>324 2098</u>
Address: <u>11 CRYER ST SOUTHBRIDGE</u>		Registration No: <u>-</u>
Other: _____	<input type="checkbox"/>	Phone: _____
Address: _____		Registration No: _____
Other: _____	<input type="checkbox"/>	Phone: _____
Address: _____		Registration No: _____
Other: _____	<input type="checkbox"/>	Phone: _____
Address: _____		Registration No: _____
Other: _____	<input type="checkbox"/>	Phone: _____
Address: _____		Registration No: _____

Photocopy and attach additional pages as required to provide a complete list of ALL sub-trades involved in the project.



COPY

## Code Compliance Certificate

### Section 43(3), Building Act 1991

#### Application

R J & T C MUGFORD  
76 MOFFAT DRIVE  
LINCOLN

No. R419563  
Issue date 11/09/07

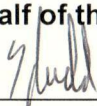
#### Project

Description	New (& prebuilt) House, Unit, Bach, Crib, Town House etc. Being Stage 1 of an intended 1 Stages DWELLING ALTERATION & ADDITION
Intended Life	Indefinite, but not less than 50 years
Intended Use	DWELLING ALTERATION & ADDITION
Estimated Value	\$80,000
Location	76 MOFFAT DRIVE, LINCOLN
Legal Description	PT LOT 1 DP 17721 LINCOLN TSHIP
Valuation No.	2404154900

This is a final Code Compliance Certificate issued in respect of all the building work under the above building consent.

Signed for and on behalf of the Council:

Name:



Date: 30.9.07



## 49

BTR, TC Mustang

R419563

BCA  
SIGNATORY

- 1 OCT 2007



10/9/2007

9/11/07  
TW

9/11/11 30/9/07

INSPECTOR:

**INTENDED USE:** (if changed from BC)

FURTHER INFORMATION REQUESTED

FURTHER INFORMATION REQUESTED

Note Recommendation that a Code Compliance Certificate be issued for this Building Consent - total recast of garage end - with rest of solid construction in place.

Refer L Plumber Statement Certificate, and 15 year Warranty. - Please advise when CCC issued. - Owner needs to be advised.

DATE	INITIALS	ADMINISTRATION	UNITS	TRAVEL	MILEAGE
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Reconciliation completed

✓ 5716.48

No further action as result of reconciliation

re query



# Certificate of Compliance for Domestic Electrical Work

No. D 714673

for prescribed electrical work that is carried out on electrical installations and that involves the placing or positioning or the replacing or repositioning of conductors (including fittings attached to those conductors).

No. of attachments

## CUSTOMER INFORMATION - PLEASE PRINT CLEARLY

Name of Customer ROB MUCFORD

Telephone 26 SOUTH BELT

Fax

Address of Installation AS ABOVE

Postal Address of Customer (if not as above)

## WORK DETAILS

☐ No. of lighting outlets☐ No. of ranges

Please tick (✓) as appropriate where work includes:

☐ No. of socket outlets☐ No. of water heaters☒ Mains☒ Main earth

Was any installation work carried out by a homeowner?

☐ Yes ☐ No☒ Switchboard☐ Electric lines

Description CHANGE MAINS TO UNDERGROUND

Use sketch if necessary

NEW SW/BOB. NEW METER BOX

## CERTIFICATION OF WORK

I certify that the above electrical work has been carried out in accordance with the requirements of the Electricity Act 1992 and Electricity Regulations 1997.

### ELECTRICAL WORKER DETAILS

Name

STEVE MURPHY

Registration No.

23521

Company

ELECTRICAL

Signature

[Signature]

Date

28-3-00

### CERTIFICATION OF ELECTRIC LINES

(to be completed where "Description of Work" includes "Electric Lines")

Name

Registration No.

Company

Signature

Date

ENTERED

### INSPECTION DETAILS Electrical work requiring inspection by a registered electrical inspector

☒ New mains☒ Switchboard☒ Earthing system☐ Installation work in hazardous areas

I certify that the inspection has been carried out in accordance with the requirements of the Electricity Regulations 1997.

Name

GA CHAPMAN

Registration No.

1853

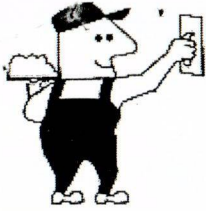
Signature

[Signature]

Date

28.3.20

CUSTOMER COPY - THIS IS AN IMPORTANT DOCUMENT AND SHOULD BE RETAINED



## Texture Fx Ltd

Greg Inglis  
14 Oakwood Mews  
Prebbleton 7604  
Christchurch  
03 3492200  
021 372373  
texturefx@gmail.com

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### PRODUCER / CONSTRUCTION STATEMENT

Job Number : 20449  
Site Address : 76 Moffat Drive, Lincoln, Christchurch  
Building Owner : Mugford Residence  
Builder :  
Licensed Plasterer : Texture Fx Ltd  
Systems Used : Masonry Render System, EPS 40 Plus - 20mm Battens,  
Substrates Used : Concrete Block, 40mm EPS,  
Textures Used : Classico Swirl,  
Colours Used : COLINS WICKET (R)  
Start Date : 08-Jul-2007  
End Date : 14-Aug-2007  
Clauses and Further Information : Mono Render System used on existing block. EPS40 used on Extension to dwelling.

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We the above firm have completed the above work in accordance with the New Zealand Building Code and the Rockcote Resene Limited Specifications.



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Signed by Texture Fx Ltd



## MANUFACTURERS GUARANTEE

Job Number : 20449  
Site Address : 76 Moffat Drive, Lincoln, Christchurch  
Building Owner : Mugford Residence  
Builder :  
Licensed Plasterer : Texture Fx Ltd  
Systems Used : Masonry Render System, EPS 40 Plus - 20mm Battens,  
Substrates Used : Concrete Block, 40mm EPS,  
Textures Used : Classico Swirl,  
Colours Used : COLINS WICKET (R)  
Start Date : 08-Jul-2007  
End Date : 14-Aug-2007  
Clauses and Further Information : Mono Render System used on existing block. EPS40 used on Extension to dwelling.

### Guarantee Periods :

Masonry Render System : - This system has a 15 Year Manufacturers Guarantee for product as per conditions below.  
EPS 40 Plus - 20mm Battens : - This system has a 15 Year Manufacturers Guarantee for product as per conditions below.

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The Manufacturer, Rockcote Resene Limited (herein after called "the Manufacturer") hereby guarantees:-

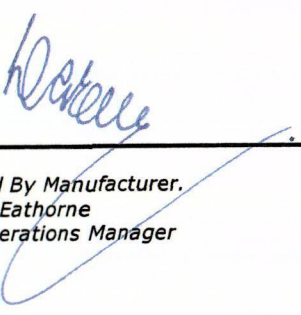
This guarantee is limited to necessary repairs arising from defects in the manufacture of any products manufactured by the manufacturer, affixed and applied in accordance with all specifications, installation directions, procedures and instructions established by the Manufacturer but does not include damage to or deterioration of the products caused by factors beyond the control of the Manufacturer. For example, but without limiting the foregoing factors damage or defects could be caused by:-

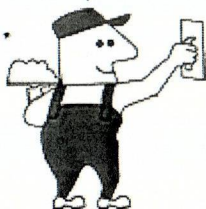
- Faulty Workmanship and/or materials by others.
- Damage caused by acts of God, for example earthquakes, flood, wind or storm damage.
- Damage caused by fire or unlawful acts.
- Damage caused by accidental or intentional impact.
- Damage caused by localised ground movement, including slips and subsidence.
- The manufacturer will not by virtue of this warranty be liable for any consequential, indirect or special damage or loss of any kind whatsoever.

### NOTE:

- The manufacturer accepts no Liability for damage caused to other surfaces products or property through water leakage or water penetration which occurs because of improper fixing of doors, windows or door and window flashings.
- This Guarantee extends to product only and does not include the making of any refunds or payments by the manufacturer.
- Please refer to Rockcote specifications which are to be read in conjunction with this Guarantee.
- This Guarantee shall meet the requirements of the current E2 including proposed changes to E2 AS1 & B2 Durability which complies with the New Zealand Building Code Performance B2.3
- The Guarantee is subject to maintenance requirements, if Vector 5 has been applied to balustrades/parapet area's, these areas are to be cleaned and maintained annually, over coated with Resene X-200 after the first two years and subsequently every five years there after .
- No liability is assumed or implied for project supervision or defects caused by improper installation of the system.

This Product is for application by Licensed Plasterers only. Product only applied in non-conformance with the product data sheet and installation manual or to non approved substrates will invalidate Rockcote's Guarantee.

  
Signed By Manufacturer.  
David Eathorne  
NZ Operations Manager



## Texture Fx Ltd

Greg Inglis  
14 Oakwood Mews  
Prebbleton 7604  
Christchurch  
03 3492200  
021 372373  
texturefx@gmail.com

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### LICENSED PLASTERER WARRANTY

Job Number : 20449  
Site Address : 76 Moffat Drive, Lincoln, Christchurch  
Building Owner : Mugford Residence  
Builder :  
Licensed Plasterer : Texture Fx Ltd  
Systems Used : Masonry Render System, EPS 40 Plus - 20mm Battens,  
Substrates Used : Concrete Block, 40mm EPS,  
Textures Used : Classico Swirl,  
Colours Used : COLINS WICKET (R)  
Start Date : 08-Jul-2007  
End Date : 14-Aug-2007  
Clauses and Further Information : Mono Render System used on existing block. EPS40 used on Extension to dwelling.

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The Licensed Plasterer warrants that defects in the work carried out by the Licensed Plasterer arising within five years of the Completion Date recorded above and caused by faulty workmanship in the application of the Rockcote Resene Products ("RRP") or as a result of RRP being applied other than in accordance with the manufacturer's or supplier's specifications will be made good by the Licensed Plasterer and without cost to the Purchaser.

- The warranty will only apply if the Purchaser has made full payment for the supply and application of the RRP and thereafter will extend to subsequent owners of the property.
- The warranty will only apply where the defect is a direct result of faulty workmanship in the application of the RRP.
- The liability of the licensed plasterer is limited to remedying the defect in the workmanship and the licensed plasterer will not by virtue of this warranty be liable for any other damage, loss, liability, expense or any other loss of any kind whatsoever.
- The warranty will not apply to any repair or maintenance work if any such repair or maintenance work is done other than under the supervision of and subject to the inspection and approval of the Licensed Plasterer or Rockcote Resene Limited.
- Any remedial work carried out under this warranty will not extend the term of this warranty.

Signed by Texture Fx Ltd



# INSPECTION NOTICE

Inspections are to be booked by the owner or builder.

Name: RJ & TC McFarland Consent No: R419563  
 Site Address/Rapid No: 76 Mett Drive Officer: [Signature]  
 Name: David Collins  
 Type of building work: Attic -> Allt -> L.D. -> Shell  
 On 10 / 9 / 2007 at 10 am/pm this site was inspected pursuant to the Building Act 2004 [Section 222/230] and the Local Government Act 1974. [Section 710]. The purpose of the inspection was:-

a	Siting & Founds	h	Bond Beam	o	Other
b	Slab	i	Blockfill	p	Resource Consent
c	Pre Wrap	j	Heating unit	q	Complaint/investigation
d	Post Wrap	k	Sanitary drainage	r	Compliance Schedule
e	Half height veneer	l	Stormwater drainage	s	WOF/ c/s audit
f	Preline/Plumbing	m	Pile/pole holes	t	Final Inspection <input checked="" type="checkbox"/> Pass <input type="checkbox"/> Fail
g	Post line bracing	n	Cladding	u	

BUILDING WORK MAY PROCEED ☒ MAY NOT PROCEED ☐ REINSPECTION YES ☒ NO ☐

## INSPECTION NOTES:

- Note - The complete exterior has been replastered and pointed with the garage end with a cavity system.
- Rest of the dwelling is solid block, this being replastered & pointed.
- All work done covered with a Produr Stretched Contract, stating work completed to Rockate Resene Limited specifically by Texture Fx Ltd. - Licensed Applicator by Rockate.
- All conditions of the Building Consent have now been met.

NOTE: A Code Compliance Certificate Application is required for 2004 Building Act Consents

Owner/Builder/Contractor confirms floor height is as recommended by Environment Canterbury ☐

## INSTRUCTIONS

All work inspected is in accordance with the Building Consent ☒

Satisfactory: Work may proceed when minor items above have been attended to ☐

Some work is not satisfactory or is incomplete, as detailed above, and rectification is required. ☐

A notice to fix will be issued ☐

Notice to: Contractor ☐ Owner ☒ Agent ☐ Occupier ☐ Signed: [Signature]

By: Telephone ☐ Fax ☐ Posting ☐ Left on Site ☒

ENTERED



ENTREPRENEUR



# INSPECTION NOTICE

Inspections are to be booked by the owner or builder.

Name: RT + TC Mugford. Consent No: R419563  
 Site Address/Rapid No: 76 Moffat Drive Officer: \_\_\_\_\_  
Lincoln Name: Geoff Stevenson

Type of building work: Alterations and Additions Domestic Dwelling  
 On 4 / 9 / 07 at \_\_\_\_\_ am / pm this site was inspected pursuant to the Building Act 2004 [Section 222/230] and the Local Government Act 2004 [Section 174]. The purpose of the inspection was:-

a	Siting & Founds	h	Bond Beam	o	Other
b	Slab	i	Blockfill	p	Resource Consent
c	Pre Wrap	j	Heating unit	q	Complaint/investigation
d	Post Wrap	k	Sanitary drainage	r	Compliance Schedule
e	Half height veneer	l	Stormwater drainage	s	WOF/ c/s audit
f	Preline/Plumbing	m	Pile/pole holes	t	<input checked="" type="checkbox"/> Final
g	Post line bracing	n	Cladding	u	Inspection <input type="checkbox"/> Pass <input checked="" type="checkbox"/> Fail

BUILDING WORK MAY PROCEED ☐ MAY NOT PROCEED ☐ RE-INSPECTION YES ☒ NO ☐

## INSPECTION NOTES:

Flashing required. at top corners. on back wall where spouting ends.  
Also on front wall where the old cladding system meets the new.  
Control joints in place.

**NOTE:** A Code Compliance Certificate Application is required for 2004 Building Act Consents

Owner/Builder/Contractor confirms floor height is as recommended by Environment Canterbury ☐

## INSTRUCTIONS

All work inspected is in accordance with the Building Consent ☐

Satisfactory: Work may proceed when minor items above have been attended to ☐

Some work is not satisfactory or is incomplete, as detailed above, and rectification is required. ☐

A notice to fix will be issued ☐

Notice to: Contractor ☐ Owner ☒ Agent ☐ Occupier ☐ Signed: \_\_\_\_\_  
 By: Telephone ☐ Fax ☐ Posting ☐ Left on Site ☒



ENTERED



# INSPECTION NOTICE

Inspections are to be booked by the owner or builder.

Name: R.J. & T.C. MUGFORD Consent No: B R419563  
 Site Address/Rapid No: 76 MOFFAT DR. LINCOLN Officer: \_\_\_\_\_  
 Name: DARYL

Type of building work: ALTERATION TO MAIN DWELLING  
 On 27 / 7 / 2007 at \_\_\_\_\_ am / pm this site was inspected pursuant to the Building Act 2004 [Section 222(230)] and the Local Government Act 1974. [Section 710]. The purpose of the inspection was:-

a	Siting & Foundations	h	Bond Beam	o	Other <u>Poly Fixing</u>
b	Slab	i	Blockfill	p	Resource Consent
c	Pre Wrap	j	Heating unit	q	Complaint/investigation
d	Post Wrap	k	Sanitary drainage	r	Compliance Schedule
e	Half height veneer	l	Stormwater drainage	s	WOF/ c/s audit
f	Preline/Plumbing	m	Pile/pole holes	t	Final Inspection
g	Post line bracing	n	Cladding	u	<input type="checkbox"/> Pass <input type="checkbox"/> Fail

BUILDING WORK MAY PROCEED ☒ MAY NOT PROCEED ☐ REINSPECTION YES ☐ NO ☒

## INSPECTION NOTES:

- 40mm POLY SHEETS NAILED @ 150% WITH 40mm PLASTIC WASHERS.
- ALL FLASHINGS TO HEADS JAMBS & SILLS IN PLACE WITH P.V.C COATERS IN THE INTERNAL CORNERS.
- SPANNER STRIPS (CAVITY CLOSURES) IN PLACE. ALL SHEETS CLUED @ JOINTS.
- SOLID BLOCKING FOR FIXING IN PLACE.
- EXPANSION JOINT YET TO BE PUT IN PLACE.
- SOME CLEARANCE TO ACHIEVE @ FINAL @ GROUND LEVEL - FRONT ENTRANCE.
- WALLS & COLUMNS, MONOLITHIC CLADDING IN PLACE & CAVITY CLOSURES TO BOTTOM. ± 50mm ABOVE FINISH FLOOR.

**NOTE:** A Code Compliance Certificate Application is required for 2004 Building Act Consents

Owner/Builder/Contractor confirms floor height is as recommended by Environment Canterbury ☐

## INSTRUCTIONS

All work inspected is in accordance with the Building Consent ☐

Satisfactory: Work may proceed when minor items above have been attended to ☒

Some work is not satisfactory or is incomplete, as detailed above, and rectification is required. ☐

A notice to fix will be issued ☐

Notice to: Contractor ☒ Owner ☐ Agent ☐ Occupier ☐ Signed: \_\_\_\_\_

By: \_\_\_\_\_ Telephone ☐ Fax ☐ Posting ☐ Left on Site ☐







Inspections are to be booked by the owner or builder.

Name: R.J. & T.C. MUGFORD Consent No: R419563  
 Site Address/Rapid No: 76 MOFFAT, DEV. LINCOLN Officer: \_\_\_\_\_  
 Name: Daryl  
 Type of building work: ALTERATION TO MAIN DWELLING  
 On 19 / 7 / 2007 at \_\_\_\_\_ am / pm this site was inspected pursuant to the Building Act 2004 [Section 222/230] and the Local Government Act 1974. [Section 710]. The purpose of the inspection was:-

a	Siting & Founds	h	Bond Beam	o	<input checked="" type="checkbox"/> Other <i>Cavity Battens</i>	
b	Slab	i	Blockfill	p	Resource Consent	
c	Pre Wrap	j	Heating unit	q	Complaint/investigation	
d	Post Wrap	k	Sanitary drainage	r	Compliance Schedule	
e	Half height veneer	l	Stormwater drainage	s	WOF/ c/s audit	
f	Preline/Plumbing	m	Pile/pole holes	t	Final	<input type="checkbox"/> Pass
g	Post line bracing	n	<input checked="" type="checkbox"/> Cladding	u	Inspection	<input type="checkbox"/> Fail

BUILDING WORK MAY PROCEED ☐ MAY NOT PROCEED ☐ REINSPECTION YES ☐ NO ☐

INSPECTION NOTES: RE CLADDING OF BRICKER

- WALLS:
- Heavy Duty BUILDING PAPER.
  - 40x20 POLYSTYRENE CAVITY BATTENS.
  - ± 100 X 40 X 20 DOWNS BATTENS ON SLOPE.
  - HEAD JAMB & SILL FLASHINGS IN PLACE!
  - Cavity Closure YES TO BE PUT IN PLACE.
  - ALL EXISTING PENETRATIONS TO BE SLEEVED & SEALED THROUGH CAVITY & WRAP.
  - H3-1 CAVITY BATTENS TO MAIN ENTRANCE COLUMNS & HEAVY DUTY BUILDING PAPER.

NOTE: A Code Compliance Certificate Application is required for 2004 Building Act Consents

Owner/Builder/Contractor confirms floor height is as recommended by Environment Canterbury ☐

## INSTRUCTIONS

All work inspected is in accordance with the Building Consent ☐

Satisfactory: Work may proceed when minor items above have been attended to ☒

Some work is not satisfactory or is incomplete, as detailed above, and rectification is required. ☐

A notice to fix will be issued ☐

Notice to: Contractor ☒ Owner ☒ Agent ☐ Occupier ☐ Signed: [Signature]

By: Telephone ☐ Fax ☐ Posting ☐ Left on Site ☐







# INSPECTION NOTICE

Inspections are to be booked by the owner or builder. A Code Compliance Certificate can only be issued following a satisfactory final inspection.

Name: RJ & TC Moffat Consent No: 2419563  
 Site Address/Rapid No: 36. Moffat Drive Officer: Dee Collins  
 Type of building work: Living Addition  
 On 21 / 2 / 2005 at 10 am/pm this site was inspected pursuant to the Building Act 1991 [Section 77(1)] and the local government Act 1974. [Section 74(1)]. The purpose of the inspection was:-

a	Siting	h	Bond Beam	o	Other
b	Foundation	i	Blockfill	p	Resource Consent
c	Slab	j	Heating unit	q	Complaint/investigation
d	Preline/Bracing	k	Sanitary drainage	r	Compliance Schedule
e	Plumbing	l	Stormwater drainage	s	WOF/ c/s audit
f	Post line bracing	m	Pile/pole holes	t	<input checked="" type="checkbox"/> CCC full <input type="checkbox"/> Yes
g	Half height veneer	n	Swimming pool/fencing	u	CCC partial <input checked="" type="checkbox"/> No

BUILDING WORK ☒ MAY PROCEED ☐ MAY NOT PROCEED ☒ REINSPECTION YES ☐ NO ☐

## INSPECTION NOTES:

*See below*  
 All work is set out on Inspection Sheet 16/5/2000 has been completed satisfactorily, except exterior plaster work.

The Council suggests that a Determination is applied for from the Department of Building & Housing in regard to the Council's decision to decline to issue a Code of Compliance Certificate on the grounds that the plaster work does not comply with the requirements of the Building Code.

Council will forward the appropriate Form as requested.

Note Decking is excluded from this building consent as area will now be covered by a new building addition.

Owner/Builder/Contractor confirms floor height is as recommended by Environment Canterbury ☐

## INSTRUCTIONS

All work inspected is in accordance with the Building Consent ☐

Satisfactory: Work may proceed when minor items above have been attended to ☐

Some work is not satisfactory or is incomplete, as detailed above, and rectification is required. ☒

A formal notice to rectify will be issued ☐

Notice to: Contractor ☐ Owner ☒ Agent ☐ Occupier ☐ Signed: ADW

By: Telephone ☐ Fax ☐ Posting ☐ Left on Site ☐





ENTERED  
DATE 1/25/00 BY [signature]





# NOTICE OF INSPECTION

Page I-2

Owners Name: Mugford R & T. Consent No. 2419563  
 Site Address: 76 South Belt. Officer: M. M. M. M. M.  
Lincoln Name: David

Type of Building: Dwelling alteration & addition

Advice to the Owner/Agent/Occupier/Contractor by  
☒ Direct Notification ☐ Leaving on site  
☐ Telephone contact ☒ Posting FAX

On 16/5/20 at 10:30 am/pm this site was inspected pursuant to the Building Act 1991 [Section 77(1)] and the Local Government Act 1974. [Section 710]

The purpose of the Inspection was: ☒ Structure ☒ Sanitary Plumbing ☒ Sanitary Drainage

- |  |  |  |
|--|--|--|
| <input type="checkbox"/> Siting              | <input type="checkbox"/> Bondbeam              | <input type="checkbox"/> Resource Consent  |
| <input type="checkbox"/> Foundation          | <input type="checkbox"/> Heating Unit          | <input type="checkbox"/> Complaint   |
| <input type="checkbox"/> Slab                | <input type="checkbox"/> Pile/Pole Holes       | <input type="checkbox"/> Compliance Schedule   |
| <input type="checkbox"/> Preline/Bracing     | <input type="checkbox"/> Swimming Pool         | <input type="checkbox"/> WOF Monitoring  |
| <input type="checkbox"/> Post Lining Bracing | <input checked="" type="checkbox"/> Stormwater | <input checked="" type="checkbox"/> Final  |
| <input type="checkbox"/> Half Height Veneer  | <input type="checkbox"/> Other (Specify)       | <input checked="" type="checkbox"/> CCC Issue - Yes <input checked="" type="checkbox"/> No <input checked="" type="checkbox"/> Partial |

BUILDING WORK: MAY PROCEED MAY NOT PROCEED REINSPECTION: YES ☒ NO ☐

INSPECTION NOTES:

Initial inspection: (Partial).

Internal inspection:

Plumbing: Bathrooms

Kitchen

Laundry

Extractor = Rangehood

H/W/C & seismic ties 2x

Tempering Joles 2x

Wet areas: Floor & Walls

**ENTERED**

Coiling check:

Insulation

Downlights & others:

External check:

External clad. Concrete Block

& Solid Plastering: (Hardie Backer)

Storm water discharge

Gullies & waste pipes & Gravel

Drives & paved areas:

Outstanding work and Rectification work:

① Stucco Plastering over Hardie backer: proposed

as per plan: Please complete, soon as possible

or treat hardie backer with paint sealant:

Owner/Builder/Contractor confirms floor height is as recommended by CRC ☐ **NEXT PAGE**

## INSTRUCTIONS:

All work inspected is in accordance with the Building Consent.

Some work is not satisfactory or is incomplete, as detailed above, and rectification is required.

A formal notice to rectify will be issued.

SIGNED: Contractor/Owner/Agent/Occupier: M. M. M. M. M.



[illegible]

ENTERED

1990





## NOTICE OF INSPECTION

Page 2:

Owners Name: Mugford R & TConsent No. RU19563Site Address: 710 South Belt:Officer: Moore, D.LincolnName: DavidType of Building: Dwelling alteration & addition:

Advice to the Owner/Agent/Occupier/Contractor by

☒ Direct Notification☐ Leaving on site☐ Telephone contact☐ PostingOn 16/5/20 at 10:30 am/pm this site was inspected pursuant to the Building Act 1991 [Section 77(1)] and the Local Government Act 1974. [Section 710]The purpose of the Inspection was: ☒ Structure ☒ Sanitary Plumbing ☒ Sanitary Drainage☐ Siting☐ Foundation☐ Slab☐ Preline/Bracing☐ Post Lining Bracing☐ Half Height Veneer☐ Bondbeam☐ Heating Unit N/A☐ Pile/Pole Holes☐ Swimming Pool☒ Stormwater☒ Other (Specify)☐ Resource Consent☐ Complaint☐ Compliance Schedule☐ WOF Monitoring☒ Final☒ CCC Issue - Yes ~~No~~ Partial ☒

BUILDING WORK: MAY PROCEED

MAY NOT PROCEED

REINSPECTION: YES ☒ NO ☐

INSPECTION NOTES:

Final inspection Partial:

① to protect inside insulation and wall linings. The paint will cover for temporary time of 2-3 months only. Please notify Council on your decision. ② Down lights to be clear of insulation sides and top of. ③ Gully trap allowing wastepipe through, large hole cut out, not as per req'd, hole same size as waste and sealed round. (Remove and replace). ④ Bathroom floor to be sealed of Super. (Tiled to be completed). ⑤ Stormwater discharge from garage roof. ⑥ Hot Water Cylinder lower floor bedroom requires submer ties to wall.

Please note: Solid fuel Heater to be installed in near future. (Spec's to be supplied) and inspection before (lightup). For any further enquiries please ring the Teeston Office.

David  
Some mineral window - Doors non (structural)

Owner/Builder/Contractor confirms floor height is as recommended by CRC ☐

## INSTRUCTIONS:

All work inspected is in accordance with the Building Consent ☒Some work is not satisfactory or is incomplete, as detailed above, and rectification is required ☒

A formal notice to rectify will be issued.

SIGNED: Contractor/Owner/Agent/Occupier: DM On behalf.

ENTERED



TAX: 17-244-2 MT. ROSE MILLS  
0252520

INVESTIGATION

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ENTERED



# NOTICE OF INSPECTION

 Owners Name: R D & T C Muford

 Consent No. B419563

 Site Address: 76 South Belt

 Officer: [Signature]
Lincoln

 Name: [Signature]

 Type of Building: Residential

Advice to the Owner/Agent/Occupier/Contractor by

☒ Direct Notification  
☐ Telephone contact

☐ Leaving on site  
☐ Posting

 On 7/6/15 at 1.15 am/pm this site was inspected pursuant to the Building Act 1991 [Section 77(1)] and the Local Government Act 1974. [Section 710]

 The purpose of the Inspection was: ☒ Structure ☐ Sanitary Plumbing ☐ Sanitary Drainage

☐ Siting  
☐ Foundation  
☐ Slab  
☐ Preline/Bracing  
☐ Post Lining Bracing  
☐ Half Height Veneer

☐ Bondbeam  
☒ Heating Unit  
☐ Pile/Pole Holes  
☐ Swimming Pool  
☐ Stormwater  
☐ Other (Specify)

☐ Resource Consent  
☐ Complaint  
☐ Compliance Schedule  
☐ WOF Monitoring  
☐ Final  
☐ CCC Issue - Yes No Partial

 BUILDING WORK: MAY PROCEED MAY NOT PROCEED REINSPECTION: YES NO

INSPECTION NOTES:

Solid Dual Bench  
inspection

All work is in accordance  
with the manufacturer  
Instructions.

OK to use  
[Signature]

 Owner/Builder/Contractor confirms floor height is as recommended by CRC ☐

## INSTRUCTIONS:

All work inspected is in accordance with the Building Consent.

~~Some work is not satisfactory or is incomplete, as detailed above, and rectification is required.~~
~~A formal notice to rectify will be issued.~~

 SIGNED: Contractor/Owner/Agent/Occupier: [Signature]

**ENTERED**



NOTICE OF INSPECTION

ENTERED



# NOTICE OF INSPECTION

 Owners Name: R.J. & T.C. MUGFORD

 Consent No. R419563

 Site Address: 76 STH BELT

 Officer: CLARKIN
LINCOLN

Name: \_\_\_\_\_

 Type of Building: ALTERATIONS & ADDITIONS TO THE DWELLING

Advice to the Owner/Agent/Occupier/Contractor by

☒ Direct Notification

☐ Leaving on site

☐ Telephone contact

☐ Posting

 On 07/3/2000 at 8-30 am/pm this site was inspected pursuant to the Building Act 1991 [Section 77(1)] and the Local Government Act 1974. [Section 710]

 The purpose of the Inspection was: ☒ Structure ☒ Sanitary Plumbing ☐ Sanitary Drainage

☐ Siting

☐ Foundation

☐ Slab

☒ Preline/Bracing

☐ Post Lining Bracing

☐ Half Height Veneer

☐ Bondbeam

☐ Heating Unit

☐ Pile/Pole Holes

☐ Swimming Pool

☐ Stormwater

☐ Other (Specify)

☐ Resource Consent

☐ Complaint

☐ Compliance Schedule

☐ WOF Monitoring

☐ Final

☐ CCC Issue - Yes No Partial

 BUILDING WORK: MAY PROCEED
MAY NOT PROCEED

REINSPECTION:

YES
NO

INSPECTION NOTES:

(2<sup>ND</sup> STAGE)
Plumbing
MOISTURE CONTENT 15%
BATTS PLACED IN WALLS MOST AREA.
\* 40<sup>mm</sup> POLYST TO BE FITTED TO EXTERIOR WALL FRAMING WHERE GIB-BOARD REMOVED AS DISCUSSED WITH BUILDER ON SITE.
CEILING. BATTS YET TO COMPLETE.
BOTTOM. PLATE BOLTS TO COMPLETE
6<sup>mm</sup> PLATES FOR BRACELINE SHEET TO POSITION AS DISCUSSED.
TAKEN PASSED FOR LINING

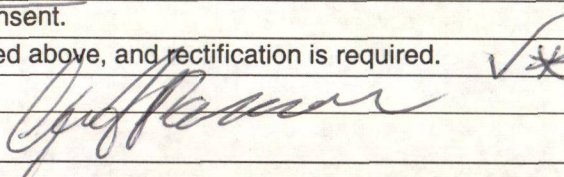
Owner/Builder/Contractor confirms floor height is as recommended by CRC

**ENTERED**
**INSTRUCTIONS:**

All work inspected is in accordance with the Building Consent.

Some work is not satisfactory or is incomplete, as detailed above, and rectification is required.

A formal notice to rectify will be issued.

 SIGNED: Contractor/Owner/Agent/Occupier:




# NOTICE OF INSPECTION

ENTERED



# NOTICE OF INSPECTION

 Owners Name: A.J.C. MUGFORD

 Consent No. R419563

 Site Address: 76 STH BEET

 Officer: B. CLARKIN
LINCOLN

Name: \_\_\_\_\_

 Type of Building: DWELLING ALTERATIONS.

 Advice to the Owner/Agent/Occupier/Contractor by  
☒ Direct Notification ☐ Leaving on site  
☐ Telephone contact ☐ Posting

 On 30/11/99 at 8-30 am/pm this site was inspected pursuant to the Building Act 1991 [Section 77(1)] and the Local Government Act 1974. [Section 710]

 The purpose of the Inspection was: ☒ Structure ☒ Sanitary Plumbing ☐ Sanitary Drainage

<input type="checkbox"/> Heating Unit	<input checked="" type="checkbox"/> Preline/Bracing	<input type="checkbox"/> Swimming Pool
<input type="checkbox"/> Siting	<input type="checkbox"/> Post Lining Bracing	<input type="checkbox"/> Pile/Pole Holes
<input type="checkbox"/> Foundation	<input type="checkbox"/> Stormwater	<input type="checkbox"/> Complaint
<input checked="" type="checkbox"/> Slab	<input type="checkbox"/> Final	<input type="checkbox"/> Other (Specify)
<input type="checkbox"/> Bondbeam	<input type="checkbox"/> Compliance Schedule	<input type="checkbox"/> Resource Consent
<input type="checkbox"/> Half Height Veneer	<input type="checkbox"/> WOF Monitoring	<input type="checkbox"/> CCC Issue - Yes No Partial

 BUILDING WORK: MAY PROCEED ~~MAY NOT PROCEED~~ REINSPECTION: ~~YES~~ NO

INSPECTION NOTES:

Patio / COURT YARD  
D/C UNDER SLAB AREA  
D/10 FLOOR STARTER IN POSITION  
D/12 VERTICAL BULK STARTERS IN PLACE  
668 MESH IN PLACE  
PASSED FOR CONCRETE PLACE MENT  
NOTE: BUILDING PAPER BEHIND HARDIBACKER.  
PRELINE  
MOISTURE 16% to 17%  
 \* BATS TO PLACE IN WALLS & CEILING  
 \* 6KW CONNECTIONS STUDS/BOTTOM PLATES TO COMPLETE  
ALL METAL BRACKETS & BOTTOM PLATE  
BOLTS IN POSITION  
PLUMBING CYLINDER / TEMP. CHECK & FILL  
 \* THEN PASSED TO LINE.

ENTERED

 Owner/Builder/Contractor confirms floor height is as recommended by CRC ☐

## INSTRUCTIONS:

All work inspected is in accordance with the Building Consent.

Some work is not satisfactory or is incomplete, as detailed above, and rectification is required.

Formal notice to rectify will be issued.

 SIGNED: Contractor/Owner/Agent/Occupier: [Signature]



NOTICE OF INSPECTION

ENTERED



# NOTICE OF INSPECTION

 Owners Name: RJ & TC MUGFORD

 Consent No. R419563

 Site Address: 76 STH BEET

 Officer: R. WARKIN
LINCOLN

Name: \_\_\_\_\_

 Type of Building: DWELLING ALTERATIONS & ADDITIONS

 Advice to the Owner/Agent/Occupier/Contractor by  
☒ Direct Notification ☐ Leaving on site  
☐ Telephone contact ☐ Posting

 On 04/10/99 at 3-30 am/pm this site was inspected pursuant to the Building Act 1991 [Section 77(1)] and the Local Government Act 1974. [Section 710]

 The purpose of the Inspection was: ☒ Structure ☒ Sanitary Plumbing ☐ Sanitary Drainage

<input type="checkbox"/> Heating Unit	<input type="checkbox"/> Prelim/Bracing	<input type="checkbox"/> Swimming Pool
<input type="checkbox"/> Siting	<input type="checkbox"/> Post Lining Bracing	<input type="checkbox"/> Pile/Pole Holes
<input type="checkbox"/> Foundation	<input type="checkbox"/> Stormwater	<input type="checkbox"/> Complaint
<input checked="" type="checkbox"/> Slab	<input type="checkbox"/> Final	<input type="checkbox"/> Other (Specify)
<input type="checkbox"/> Bondbeam	<input type="checkbox"/> Compliance Schedule	<input type="checkbox"/> Resource Consent
<input type="checkbox"/> Half Height Veneer	<input type="checkbox"/> WOF Monitoring	<input type="checkbox"/> CCC Issue - Yes No Partial

 BUILDING WORK: MAY PROCEED MAY NOT PROCEED REINSPECTION: YES NO

INSPECTION NOTES:

D/C under SLAB.

D/10 FLOOR STARTERS AT  
WASTE PILES LAGGED

668 mm FULL SLAB AREA

(EXISTING FOUNDATION)

FLOOR STARTERS AT 600<sup>cc</sup> INTO NEW  
ADDITION SLAB WITH 1/12 HORIZONTAL ROD  
ON TOP OF THESE STARTERS 100<sup>mm</sup> OUT FROM  
FOUNDATION

PRODUCER STATEMENT FOR FOUNDATION  
FOR COUNCIL AS DISCUSSED (WAS BOOKED RE-CLANCE)  
NOTE FOUNDATION (PART EXPOSED)

2/16 RODS.

R6 STARTERS AT 600<sup>cc</sup>  
D/10 FLOOR STARTERS AT 600<sup>cc</sup>

 Owner/Builder/Contractor confirms floor height is as recommended by CRC ☐

## INSTRUCTIONS:

All work inspected is in accordance with the Building Consent.

Some work is not satisfactory or is incomplete, as detailed above, and rectification is required.

A formal notice to rectify will be issued.

 SIGNED: Contractor/Owner/Agent/Occupier:

*[Handwritten signature]*



NOTICE OF INSPECTION

ENTERED





Consent No. A419563

Officer: C. GARKIN

Name: \_\_\_\_\_

Advice to the Owner/Agent/Occupier/Contractor by

<input type="checkbox"/>	Leaving on site
<input type="checkbox"/>	Posting

The purpose of the Inspection was: ☒ Structure ☐ Sanitary Plumbing ☐ Sanitary Drainage

<input type="checkbox"/>	Swimming Pool		
<input type="checkbox"/>	Pile/Pole Holes		
<input type="checkbox"/>	Complaint		
<input type="checkbox"/>	Other (Specify)		
<input type="checkbox"/>	Resource Consent		
<input type="checkbox"/>	CCC Issue - Yes	No	Partial

INSPECTION NOTES: STAGE 2

PARIO 2/16 ROTS R6 STARTUP AT 600<sup>cc</sup>  
\* BLK. STARTERS D/12. AT 800<sup>cc</sup> YES  
TO POSITION  
\* D/10 ROTS AT 600<sup>cc</sup> TO POSITION  
668 MESH FOR PARIO OVER D/C.  
NOTE (NOT ROOTED)

Lounge & Entry.

R/b. 3/12 Rods Being over 600<sup>mm</sup> TN HEIGHT  
STIRRUPS AT 600<sup>mm</sup> J.  
2/16 Rods R6 STIRRUPS Along  
main wall  
NOTE TO BE Timber Sub-Floor Etc.  
(ASSET) TO CONTINUE

Owner/Builder/Contractor confirms floor height is as recommended by CRC

**INSTRUCTIONS:**

All work inspected is in accordance with the Building Consent.

~~Some work is not satisfactory or is incomplete, as detailed above, and rectification is required.~~

A formal notice to rectify will be issued.

SIGNED: Contractor/Owner/Agent/Occupier:



# NOTICE OF INSPECTION

 Owners Name: R.J. & T.C. MUGFORD

 Consent No. R419563

 Site Address: 76 8TH BELT  
LINCOLN

 Officer: B. GARRIN  
 Name: \_\_\_\_\_

 Type of Building: ADDITION TO THE DWELLING

Advice to the Owner/Agent/Occupier/Contractor by



Direct Notification

☐ Telephone contact


Leaving on site

☐ Posting

 On 29/10/99 at 8-30 am/pm this site was inspected pursuant to the Building Act 1991 [Section 77(1)] and the Local Government Act 1974. [Section 710]

 The purpose of the Inspection was: ☐ Structure ☐ Sanitary Plumbing ☒ Sanitary Drainage

- ☐ Heating Unit
- ☐ Siting
- ☐ Foundation
- ☐ Slab
- ☐ Bondbeam
- ☐ Half Height Veneer

- ☐ Preline/Bracing
- ☐ Post Lining Bracing
- ☒ Stormwater
- ☐ Final
- ☐ Compliance Schedule
- ☐ WOF Monitoring

- ☐ Swimming Pool
- ☐ Pile/Pole Holes
- ☐ Complaint
- ☐ Other (Specify)
- ☐ Resource Consent
- ☐ CCC Issue - Yes No Partial

 BUILDING WORK: MAY PROCEED MAY NOT PROCEED REINSPECTION: YES NO

INSPECTION NOTES:

DRAINS ON CRACKED METAL  
GULLY DISHES TO PLASTER  
PAVED TO BACK FILL

ENTERED

 Owner/Builder/Contractor confirms floor height is as recommended by CRC ☐

## INSTRUCTIONS:

 All work inspected is in accordance with the Building Consent. ☒

Some work is not satisfactory or is incomplete, as detailed above, and rectification is required.

A formal notice to rectify will be issued.

SIGNED: Contractor/Owner/Agent/Occupier: \_\_\_\_\_



# NOTICE OF INSPECTION

 Owners Name: A. J. & T. C. MUGFORD

 Consent No. R419563.

 Site Address: 76 SOUTH BELT  
LINCOLN.

 Officer: CHARKIN  
 Name: \_\_\_\_\_

 Type of Building: ALTERATIONS TO DWELLING.

Advice to the Owner/Agent/Occupier/Contractor by

☒ Direct Notification  
☐ Telephone contact

☐ Leaving on site  
☐ Posting

 On 13/4/2000 at 9-30 am/pm this site was inspected pursuant to the Building Act 1991 [Section 77(1)] and the Local Government Act 1974. [Section 710]

 The purpose of the Inspection was: ☒ Structure ☐ Sanitary Plumbing ☐ Sanitary Drainage

☐ Siting  
☐ Foundation  
☐ Slab  
☐ Preline/Bracing  
☐ Post Lining Bracing  
☒ Half Height Veneer

☐ Bondbeam  
☐ Heating Unit  
☐ Pile/Pole Holes  
☐ Swimming Pool  
☐ Stormwater  
☐ Other (Specify)

☐ Resource Consent  
☐ Complaint  
☐ Compliance Schedule  
☐ WOF Monitoring  
☐ Final  
☐ CCC Issue - Yes No Partial

 BUILDING WORK: MAY PROCEED ~~MAY NOT PROCEED~~ REINSPECTION: ~~YES~~ NO

INSPECTION NOTES:

Building Paper Secure

MACTHOLD AROUND EXTERIOR JOINERY  
AS DISCUSSED WITH CONTRACTOR ON SITE.

CAVITY 100mm \* PART TO COMPLETE

Block Brick TIES & SCREWS IN POSITION

PASS TO CONTINUE

ENTERED

 Owner/Builder/Contractor confirms floor height is as recommended by CRC ☐

## INSTRUCTIONS:

All work inspected is in accordance with the Building Consent.

Some work is not satisfactory or is incomplete, as detailed above, and rectification is required. \*✓

A formal notice to rectify will be issued.

 SIGNED: Contractor/Owner/Agent/Occupier:

*[Signature]*



NOTICE OF INTENT TO SUE

ENTERED



# NOTICE OF INSPECTION

Owners Name: MUGGERD

Consent No. 1419563

Site Address: 76 STH BEIT

Officer: CHAMKIN

LINCOLN

Name: \_\_\_\_\_

Type of Building: ALTERATION TO DWELLING

Advice to the Owner/Agent/Occupier/Contractor by

☒ Direct Notification

☐ Leaving on site

☐ Telephone contact

☐ Posting

On 22/3/2008 at 8:45 am/pm this site was inspected pursuant to the Building Act 1991 [Section 77(1)] and the Local Government Act 1974. [Section 710]

The purpose of the Inspection was: ☒ Structure ☒ Sanitary Plumbing ☐ Sanitary Drainage

☐ Siting

☐ Foundation

☐ Slab

☐ Preline/Bracing

☒ Post Lining Bracing

☐ Half Height Veneer

☐ Bondbeam

☐ Heating Unit

☐ Pile/Pole Holes

☐ Swimming Pool

☐ Stormwater

☐ Other (Specify)

☐ Resource Consent

☐ Complaint

☐ Compliance Schedule

☐ WOF Monitoring

☐ Final

☐ CCC Issue - Yes No Partial

BUILDING WORK: MAY PROCEED ~~MAY NOT PROCEED~~ REINSPECTION: ~~YES~~ NO

INSPECTION NOTES:

COMPLETE GIB NAILING AS DISCUSSED)  
THEN PASSED TO PLASTER

NOTE

Cylinder & Temp Valve yet  
TO INSTALL

**ENTERED**

Owner/Builder/Contractor confirms floor height is as recommended by CRC ☐

## INSTRUCTIONS:

All work inspected is in accordance with the Building Consent.

Some work is not satisfactory or is incomplete, as detailed above, and rectification is required. ✓

A formal notice to rectify will be issued.

SIGNED: Contractor/Owner/Agent/Occupier:

J.S. Palmer



ENTERED





ROBERT STREET

KILDARE TERRACE

LEINSTER TERRACE

EDWARD STREET

SOUTH BELT

2404154900

THE MEWS

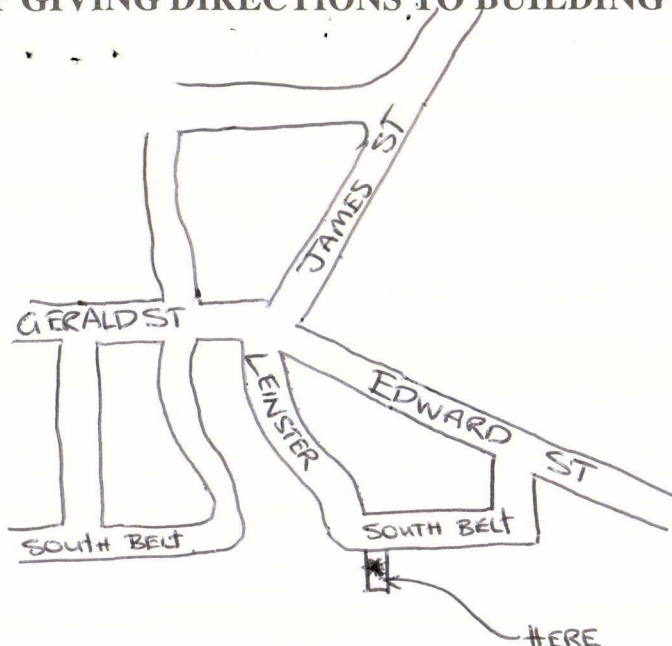
MILLSTREAM DRIVE







# LOCATION MAP GIVING DIRECTIONS TO BUILDING SITE



LINCOLN.

## FOR OFFICE USE ONLY

Owners Name RJ + TC Muggard. Consent No R419563.  
 Site Address 76 South Belt, Lincoln Valuation No 24041/549/00  
 Type of Building Work Drwg Addition. Officer DJC.

## FEES (Incl GST)

		Receipt No.	Date
Building Consent/PIM deposit	<u>100.00</u>		<u>30/3/99</u>
Building Research Levy	<u>80.00</u>		<u>2</u>
Building Industry Authority Levy	<u>52.00</u>		<u>1</u>
Fees paid for issue of Consent			

## REFERRALS

	Signature	Date In	Date Out
Environmental Health Officer	<u>[Signature]</u>	<u>31.3.99</u>	<u>ok when PH &amp; PT nominated.</u>
Engineering Consultant			
Fire Consultant			
Building Officer	<u>[Signature]</u>	<u>3/4/99</u>	

## RESOURCE CONSENTS

Selwyn District Council	<u>Selwyn Fuel Heater</u>	<u>3/4/99</u>	<u>TRUSS CERT REQ.</u> <input checked="" type="checkbox"/>	Approved
Canterbury Regional Council	<u>DATED:</u> <u>[Signature]</u> <u>3/4/99</u>	<u>RECEIVED:</u> <input type="checkbox"/>		

## CODE COMPLIANCE CERTIFICATE

APPROVAL FOR ISSUE \_\_\_\_\_ Signature R419563



CONDITIONS

✓  
C1, C4, C5, C6, C7, C8, C9, C10, C11, C14, C15, C33, C34, C35, C36, C37, C38, C39, C41,  
Require Solid Fuel details before final inspection.  
is backed.  
C12

SITE INSPECTION / NOTES / NOTICE TO RECTIFY



**Building Consent**
**R419563**
**Section 35, Building Act 1991**
**amended 29/03/07.**
**Application**

 R J & T C MUGFORD  
 76 MOFFAT DRIVE  
 LINCOLN

No.	R419563
Issue date	13/09/99
Application date	30/03/99
Overseer	Robert Coultas - Retired Code

**Project**

Description	New (& prebuilt) House, Unit, Bach, Crib, Town House etc. Being Stage 1 of an intended 1 Stages DWELLING ALTERATION & ADDITION
Intended Life	Indefinite, but not less than 50 years
Intended Use	DWELLING ALTERATION & ADDITION
Estimated Value	\$80,000
Location	76 MOFFAT DRIVE, LINCOLN
Legal Description	PT LOT 1 DP 17721 LINCOLN TSHIP
Valuation No.	2404154900

**COUNCIL CHARGES**

This consent will be issued when the invoiced costs are paid in full. Where any work fails to meet required standards a re-inspection of that work may be required. Costs associated with that re-inspection will be invoiced separately on a time and cost basis.

This building consent is a consent under the Building Act 1991 to undertake building work in accordance with the attached plans and specifications so as to comply with the provisions of the building code. It is not a consent under the Resource Management Act and does not affect any duty or responsibility under any other Act nor permit any breach of any other Act.

**This amendment issued 29/03/07 covers the removal of the existing exterior Stucco cladding and the re-cladding with EIFS to the exterior of the dwelling.**

**Signed for and on behalf of the Council:**
**Name:**

**Date:**

11/4/07.



### INFORMATION TO APPLICANT/OWNER

1. PLEASE NOTE: In terms of the Building Act you MUST BY LAW give:
  - (a) At least 2 working days notice of the intended commencement of construction.
  - (b) Advise that an inspection is required at least one working day (24 hours) before the inspection is to be carried out and prior to 4.00pm that day.
2. ALL inspections are to be booked through the Leeston Service Centre of Selwyn District Council. Ph. 324 8080 Extn. 848 (Christchurch calling area) or 318 8338 Extn. 848 (Darfield calling area).
3. The complete set of Building plans and specifications as approved for the issue of this consent (stamped) **MUST** be on site at ALL times when inspections are being carried out.
4. This Building Consent is issued subject to any condition or requirement set out in the associated Project Information Memorandum.
5. This Building Consent shall lapse and be of no effect if the building work concerned has not been commenced within six calendar months after the date of issue of the consent.
6. Builders and applicants for building consents are advised that it is necessary to provide construction workers on site with readily accessible toilet facilities. Failure to meet this request will result in Council taking action under the Health Act against any person identified as responsible for creating insanitary conditions.
7. **NOTE:** These should not necessarily be taken as individual inspections and may be requested in any combination as they are made ready.

This building consent is issued subject to the conditions specified in the attached page(s) headed Conditions of Building Consent.

Selwyn District Council Officers will carry out the following inspections:

- 24/11
- 10/9/17
- C4 Excavation for foundations.
  - C5 Reinforcing steel in foundation before concrete is poured.
  - C6 DPC/mesh/waste pipes to floor slab before concrete is poured.
  - C16 Covering up of any subfloor insulation, fixings and bracing (may require subfloor access point).
  - C7 Closing in of any plumbing pipe work. **NOTE: A weathertight exterior is required before a preline inspection occurs**
  - C8 Preline moisture test and structural framing check. **NOTE: A weathertight exterior is required before a preline inspection occurs**
  - C9 Closing in of any bracing elements required for compliance with NZBC Clause B1. **NOTE: A weathertight exterior is required before a preline inspection occurs**
  - C10 Covering up of any insulation. **NOTE: A weathertight exterior is required before a preline inspection occurs**
  - 22/3 C11 Gib bracing panel nailing check before stopping work is carried out.
  - 27/10 C14 Testing of sanitary sewer and stormwater drains, including effluent disposal systems.



- C19 Spouting and stormwater disposal.
- C33 Before Installation of inbuilt (fire box, mantle and chimney).
- C34 Before first firing (flue clearances, hearth and fire place fixing down).
- C35 Temperature of hot water for compliance with the Building Code (tempering valve).
- C36 Safety barriers in accordance with the Building Code.
- C37 Reinspection to confirm remediation of non-complying work as considered necessary by the Building Inspector.
- C38 Inspections as required for variations to the contract.
- C39 Final inspection for issue of the Code Compliance Certificate.

**Note:**

A solid fuel heater has been indicated on your plans, however, to date we have not received any specifications for one. The Council will need these specifications prior to issue of the Code Compliance Certificate, otherwise a further building consent will be required.

**Extra Inspections because of amendment to Building Consent as follows:-**

C13a


**POLYSTYRENE CLADDING SYSTEM - The exterior plaster system will require inspections at the following stages-**

- 
- a) Battens fixed in place to check drained cavity.

**If any of these inspections are not carried out Council may not be able to be satisfied on reasonable grounds in order to issue Code of Compliance Certificate.**

C13b

**POLYSTYRENE CLADDING SYSTEM - The exterior plaster system will require inspections at the following stages-**

- 
- b) Fixing and flashing in place before plaster system is commenced.

**If any of these inspections are not carried out Council may not be able to be satisfied on reasonable grounds in order to issue Code of Compliance Certificate.**

**Note:-**

A Construction Statement confirming the exterior plaster cladding system has been completed in accordance with the manufacturers specifications or where solid plastering has been used NZS4251, this should be supplied to the owner to submit with their documentation for Code Compliance Certificate application.

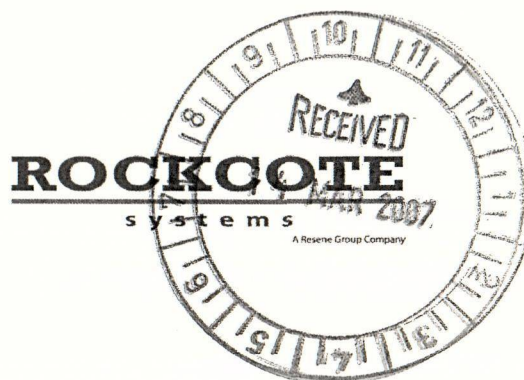


**NOTE**

1. THE ISSUE OF THIS BUILDING CONSENT DOES NOT:
  - (A) RELIEVE THE OWNER OF THE BUILDING, OR PROPOSED BUILDING, TO WHICH THE BUILDING CONSENT RELATES OF ANY DUTY OR RESPONSIBILITY UNDER ANY OTHER ACT RELATING TO OR AFFECTING THE BUILDING OR PROPOSED BUILDING; OR
  - (B) PERMIT THE CONSTRUCTION, ALTERATION, DEMOLITION OR REMOVAL OF THE BUILDING IF THAT CONSTRUCTION, ALTERATION, DEMOLITION OR REMOVAL WOULD BE IN BREACH OF ANY OTHER ACT.
2. INCLUDED WITH YOUR BUILDING CONSENT YOU WILL FIND A FORM HEADED "ADVICE OF COMPLETION OF BUILDING WORK". IT IS IMPORTANT THAT ON COMPLETION OF ALL WORK, THIS IS COMPLETED AND RETURNED.



R419563.



Mr & Mrs Mugford  
76 Moffat Drive  
Lincoln  
Christchurch

Dear Mr & Mrs Mugford,

Thankyou for allowing me access to your residence to review the traditional solid plaster exterior cladding with a view to provide a solution that will give you a solution for the local authority to consider in regards to issuing your code of compliance certificate.

As discussed all documents listed are to be forwarded to the Selwyn district Council,  
attn – Vanessa Brown.

Documents include;

- Rockcote RenderSpec – technical specification for the installation of the EPS40plus cavity render system
- Rockcote Technical Drawings – technical / detail drawings.

We discussed at length the solution and the reasons why this was suggested.

- The exterior cladding is not provided on a constructed cavity which is required under todays building code for your type of dwelling.
- No visual flashings to the jamb or sill of the aluminium joinery.
- Inadequate ground level clearances.
- Inadequate plaster cover under parapet caps.

The proposed Rockcote System will allow correct cavity based construction, without compromising the style and design which was originally intended.

NOTE: care must be taken when removing the original solid plaster to minimize internal damage to finished linings.

If you have any questions or need further guidance please feel free to call me direct on 021 674 875.

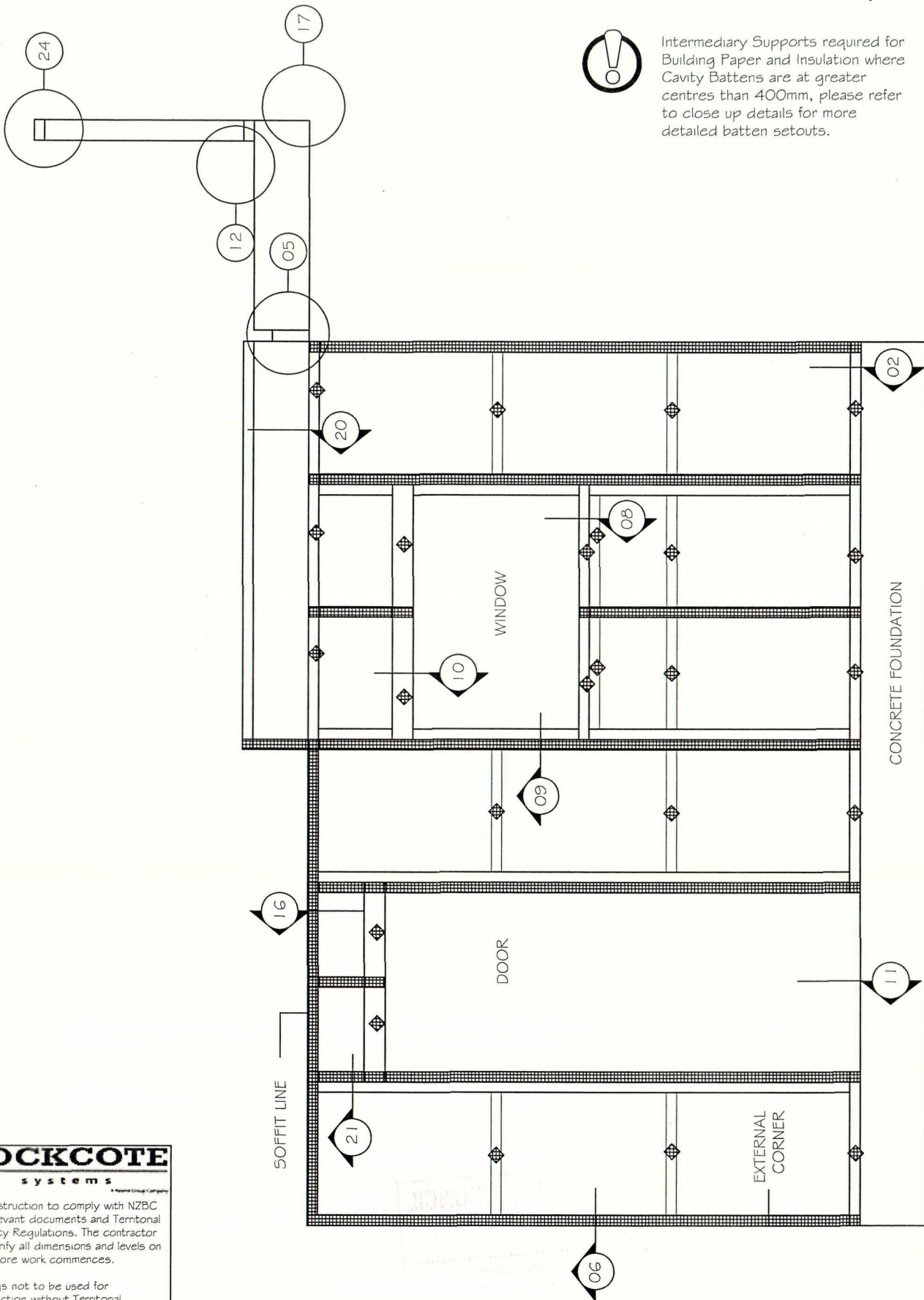
Yours Faithfully

Mike Olds  
General Manager  
Rockcote Resene Ltd

BUILDING PAPER AS PER ORIGINAL CONSISTENT WILL  
BE PUT BACK ON.

**PLEASE NOTE**  
This set of plans **MUST** be  
available on site when  
inspections are carried out.





# **ROCKCOTE** systems

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Filename

EPS40Cavity\_01.dwg

Drawn By

Mark Fleweller

Drawing Name

Batten Layout

**EPS40 CAVITY PLUS DRY ZONE**  
RENDER SYSTEM

Date

25 June 2005

Sheet

01

**SELWYN DISTRICT COUNCIL**

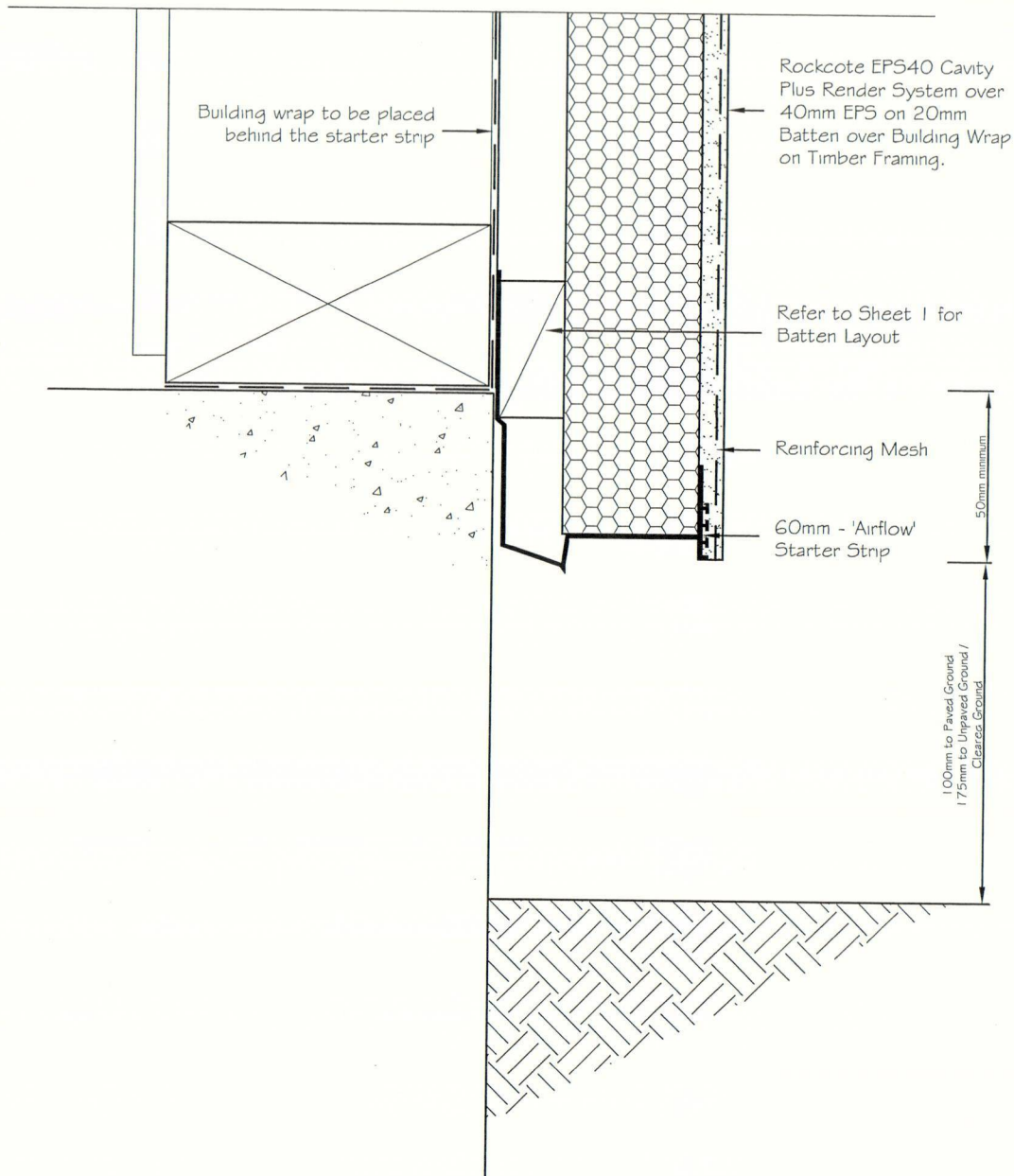
**26 MAR 2007**

**CONSENT DOCUMENT**

**PLEASE NOTE**

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Rockcote Starter Strip is fixed using masonry anchors to Foundation Walls if unable to nail through to the bottom plate.

Rockcote Cladding must extend a minimum of 50mm past the bottom plate.

The distance from the top of the floor slab to cleared ground must be a minimum of 225mm, to a paved surface this must be a minimum of 150mm. Refer to NZBC E2/AS1 (3rd Edition June 2004) Paragraph 9.1.3 or NZS 3604:1999 Fig 7.10.

Drain Holes in the Starter Strip are sufficient to achieve ventilation openings of 1000mm<sup>2</sup>

## ROCKCOTE systems

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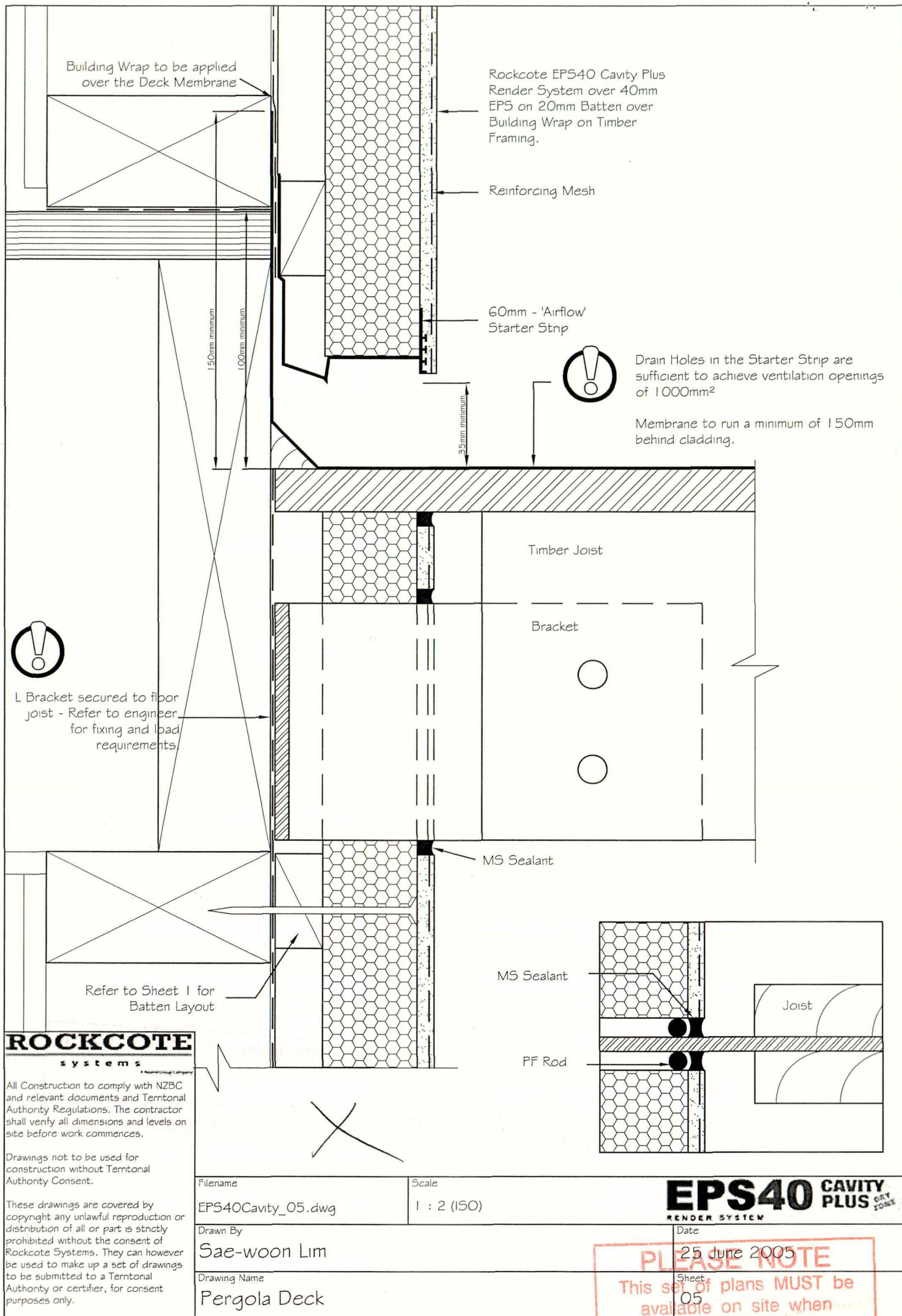
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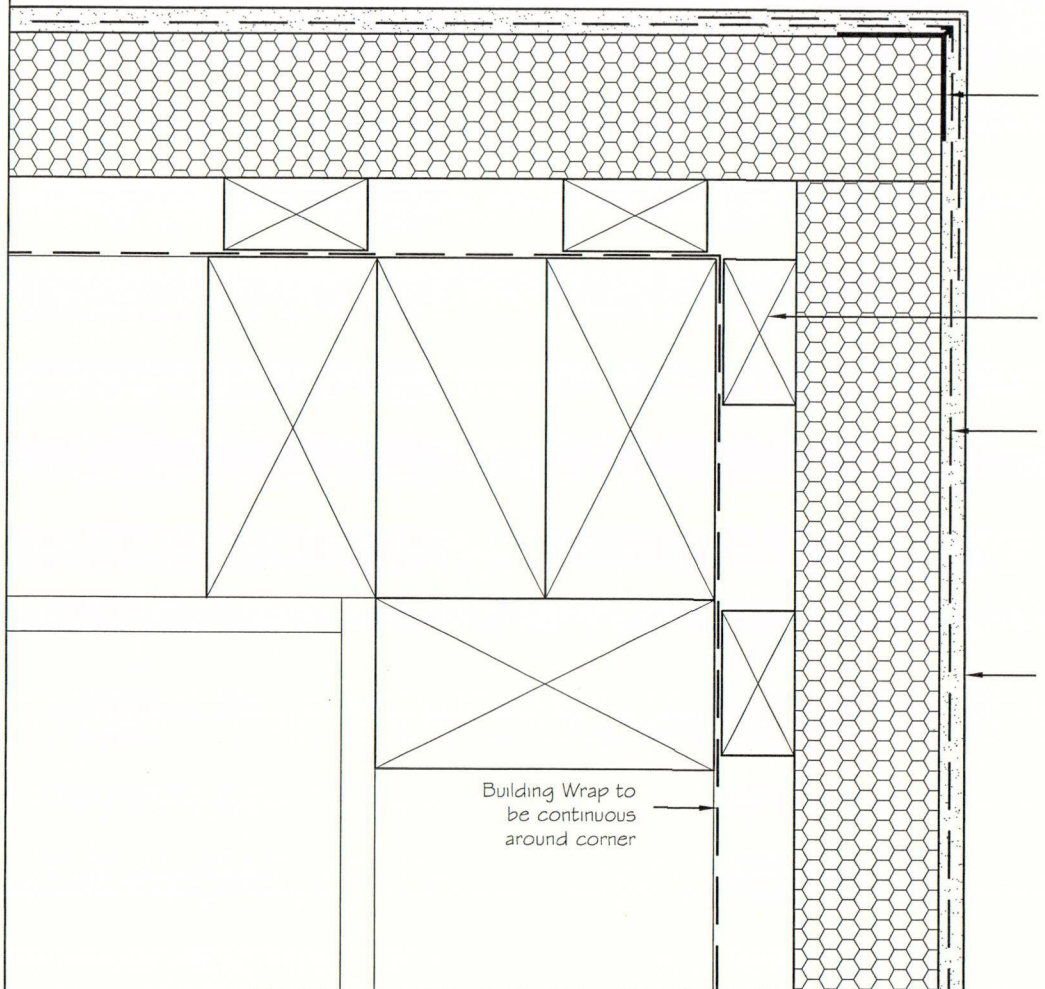


Filename	EPS40Cavity_02.dwg	Scale	1 : 2 (ISO)	<b>EPS40 CAVITY PLUS</b> RENDER SYSTEM
Drawn By	Sae-woon Lim	Date	25 June 2005	
Drawing Name	Standard Foundation Detail	Sheet	02	









Rockcote Corner Flashing,  
Additional Reinforcing sticky  
mesh to be carried around 75mm  
on all external corners.

Refer to Sheet 1 for  
Batten Layout

Reinforcing Mesh

Rockcote EPS40 Cavity Plus  
Render System over 40mm  
EPS on 20mm Batten over  
Building Wrap on Timber  
Framing.

Building Wrap to  
be continuous  
around corner

## ROCKCOTE

systems

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and relevant documents and Territorial  
Authority Regulations. The contractor  
shall verify all dimensions and levels on  
site before work commences.

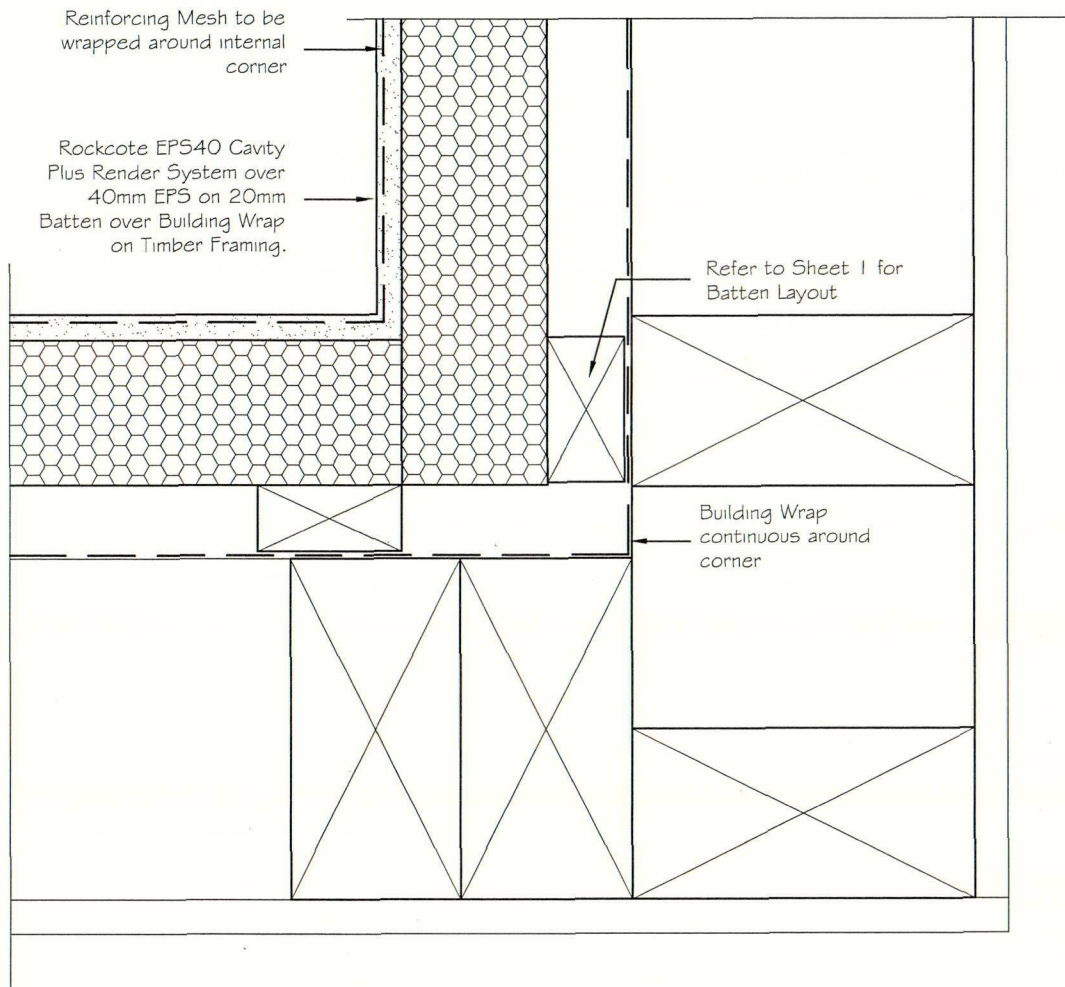
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Filename	EPS40Cavity_06.dwg	Scale	1 : 2 (ISO)	<b>EPS40</b> CAVITY PLUS RENDER SYSTEM
Drawn By	Sae-woon Lim	Date	25 June 2005	
Drawing Name	External Corner	Sheet	06	





## ROCKCOTE systems

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Filename  
EPS40Cavity\_07.dwg

Scale  
1 : 2 (ISO)

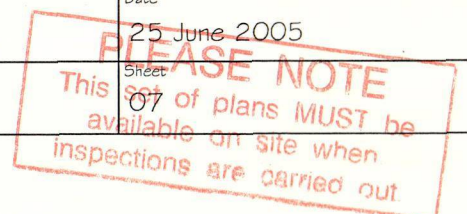
Drawn By  
Sae-woon Lim

Drawing Name  
Internal Corner

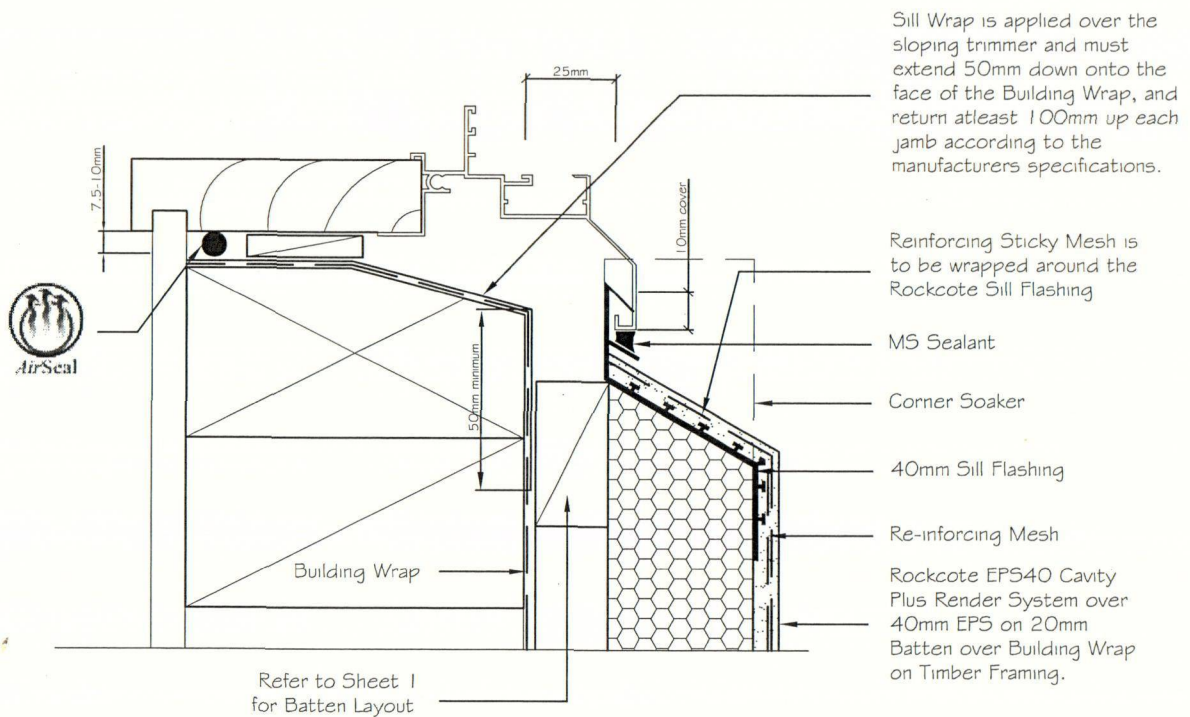
**EPS40** CAVITY PLUS  
RENDER SYSTEM

Date  
25 June 2005

Sheet  
07







Allow a 25mm Gap between the back of the joinery and external facing timber framing to allow the sill flashing to fit.

A sloped Sill Trimmer is required when the glazing pocket of the window/door frame is located back past the line of the wall frame.

## ROCKCOTE systems

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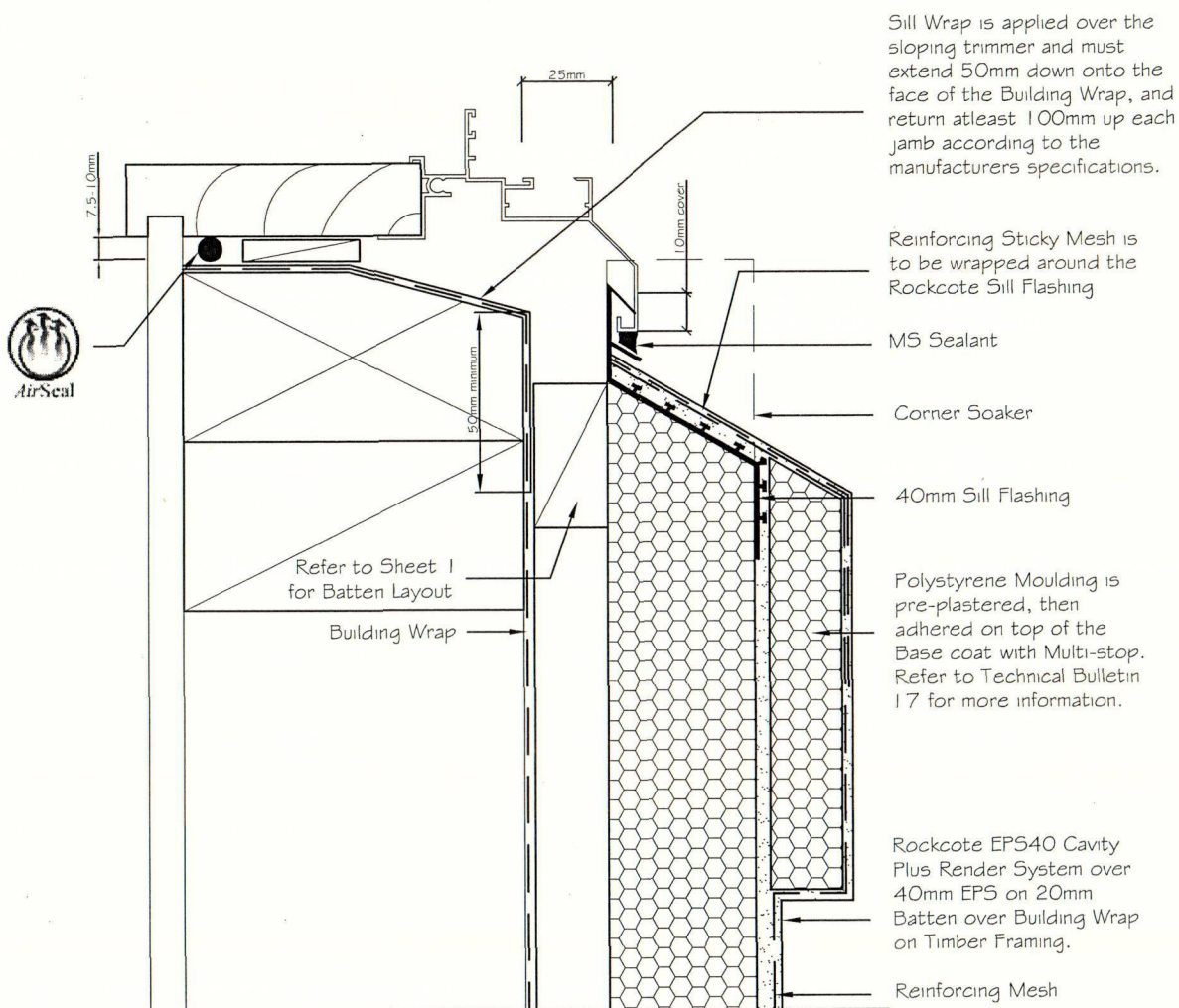


Air Seal please refer to Rockcote Technical Bulletin 09 for more information on Air Sealing Technology.



Filename	EPS40Cavity_08.dwg	Scale	1 : 2 (ISO)	<b>EPS40 CAVITY PLUS</b> <small>RENDER SYSTEM DRY ZONE</small>
Drawn By	Sae-woon Lim	Date	25 June 2005	
Drawing Name	Standard Recessed Window Sill	Sheet	08	





Allow a 25mm Gap between the back of the joinery and external facing timber framing to allow the sill flashing to fit.

A sloped Sill Trimmer is required when the glazing pocket of the window/door frame is located back past the line of the wall frame.

## ROCKCOTE systems

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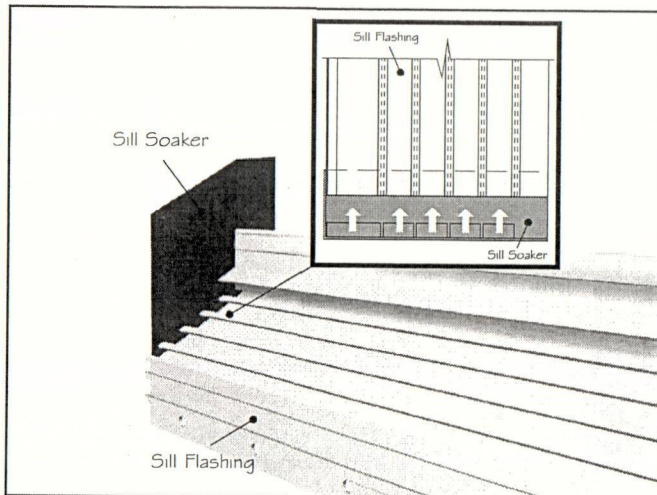


Air Seal please refer to Rockcote Technical Bulletin 09 for more information on Air Sealing Technology.

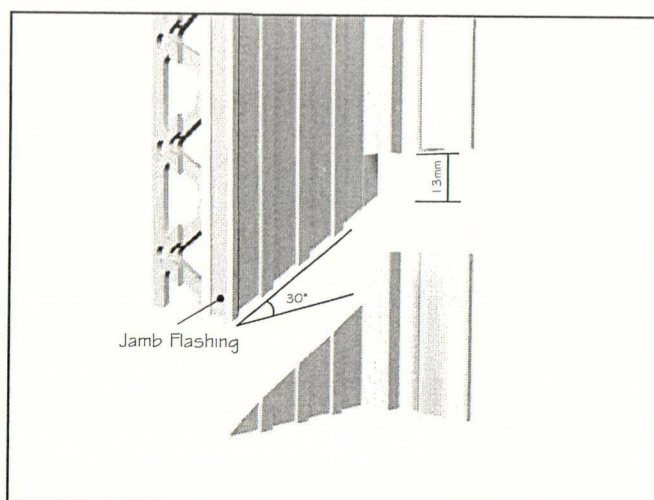
Filename	Scale	<b>EPS40 CAVITY PLUS</b> RENDER SYSTEM DRY ZONE
EPS40Cavity_08A.dwg	1 : 2 (ISO)	
Drawn By	Date	
Sae-woon Lim	25 June 2005	
Drawing Name	Sheet	
Standard Recessed Window Sill - Moulding	08A	

**PLEASE NOTE**  
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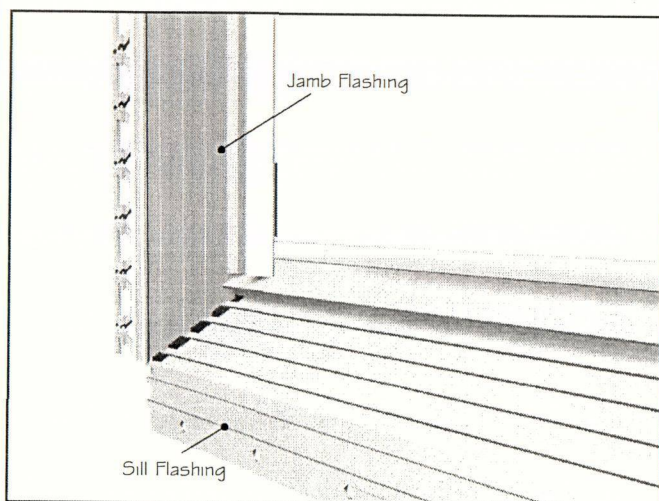




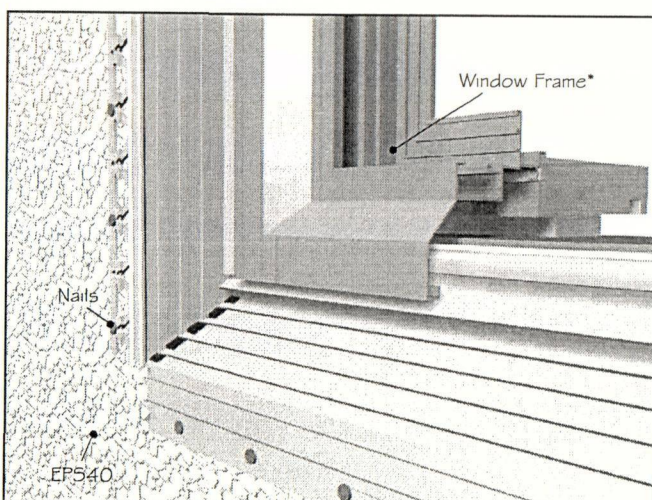
- ① Lock in the Sill Soaker on the ends of the 40mm Sill Flashing and trim them off to the depth of cladding.



- ② With the 40mm Jamb Flashing, trim the bottom end as shown in the diagram.  
NOTE: The angle of cut should be identical to the angle of Sill Flashing (usually 30 degrees).



- ③ Place the Jamb Flashing on top of Sill Soaker and Sill Flashing as shown above.



- ④ The end result before plastering, should look like this.

## ROCKCOTE systems

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\*Indicates: components NOT supplied by Rockcote Systems

Filename	Sill_Soaker_install.ai	<b>EPS40</b> CAVITY PLUS RENDER SYSTEM DRY ZONE
Drawn By	Sae-woon Lim	
Drawing Name	Window Sill/Jamb corner soaker Installation	Date
		25 June 2005
		Sheet
		08B







7.5-10mm

Sill Wrap is returned up at least 100mm up each jamb according to the manufacturer's specifications.

25mm

10mm cover

Corner Soaker

MS Silaflex Sealant applied to the gap (recommended to be between 4-8mm) between the window flange and Flashing.

Reinforcing Sticky Mesh is to be wrapped around the Rockcote Side Flashing.

Reinforcing Mesh

Rockcote EPS40 Cavity Plus Render System over 40mm EPS on 20mm Batten over Building Wrap on Timber Framing.

Building Wrap

Refer to Sheet 1 for Batten Layout



Allow a 25mm Gap between the back of the joinery and external facing timber framing to allow the Jamb flashing to fit.



## ROCKCOTE systems

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Air Seal please refer to Rockcote Technical Bulletin 09 for more information on Air Sealing Technology.

SELWYN DISTRICT COUNCIL  
27 MAR 2007  
CONSENT DOCUMENT

Filename	Scale	<b>EPS40 CAVITY PLUS</b> RENDER SYSTEM
EPS40Cavity_09A.dwg	1 : 2 (ISO)	Date 25 June 2005
Drawn By		Sheet
Sae-woon Lim		09
Drawing Name	Standard Recessed Window Jamb	

**PLEASE NOTE**  
This set of plans MUST be available on site when inspections are carried out.





AirSeal

7.5-10mm

Sill Wrap is returned up at least 100mm up each jamb according to the manufacturer's specifications.

Building Wrap

Refer to Sheet 1 for Batten Layout

Reinforcing Mesh

Rockcote EPS40 Cavity Plus Render System over 40mm EPS on 20mm Batten over Building Wrap on Timber Framing.

Polystyrene Moulding is pre-plastered, then adhered on top of the Base coat with Multi-stop.

10mm cover

Corner Soaker

MS Silaflex Sealant applied to the gap (recommended to be between 4-8mm) between the window flange and Flashing.

Reinforcing Sticky Mesh is to be wrapped around the Rockcote Side Flashing.



Allow a 25mm Gap between the back of the joinery and external facing timber framing to allow the Jamb flashing to fit.

X

## ROCKCOTE systems

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Filename

EPS40Cavity\_09A.dwg

Scale

1 : 2 (ISO)

Drawn By

Sae-woon Lim

Drawing Name

Standard Recessed Window Jamb - Moulding

**EPS40 CAVITY PLUS**  
RENDER SYSTEM

Date

25 June 2005

Sheet

09A



Rockcote EPS40 Cavity  
Plus Render System over  
40mm EPS on 20mm  
Batten over Building Wrap  
on Timber Framing

Reinforcing Mesh

Rockcote 'Airflo'  
Head Flashing

Corner Soaker

Aluminium Flashing to extend (35mm  
minimum) up behind Cavity Battens and  
Starter Strip and over the top of the  
building Wrap, NOTE: It is imperative  
that the head flashing upstand has  
been taped to the building Wrap so  
that fixing holes have been covered  
(refer to WANZ).

Refer to Sheet 1 for  
Batten Layout

Building Wrap

Head Flashing to be  
taped to building  
paper covering fixings  
of flashing.



25mm



Metal Flashing (or PVC Flashing if in  
corrosive areas) shown is to be  
supplied by the main contractor. these  
will need to be specifically designed to  
suit each application. All head flashings  
to be powder coated to colour match  
joinery. All Flashings are to meet the  
durability requirements of Section 4 of  
NZS 3604:1999

Drain Holes in the Head flashing are  
sufficient to achieve ventilation  
openings of 1000mm<sup>2</sup>

## ROCKCOTE systems

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Air Seal please refer to  
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for more information on Air  
Sealing Technology.

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*[Signature]*

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Filename  
EPS40Cavity\_10.dwg

Scale  
1 : 2 (ISO)

Drawn By  
Sae-woon Lim

Drawing Name  
Standard Recessed Window Head

**EPS40 CAVITY PLUS**  
RENDER SYSTEM

Date  
25 June 2005

**PLEASE NOTE**  
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available on site when  
inspections are carried out



Rockcote EPS40 Cavity  
Plus Render System over  
40mm EPS on 20mm  
Batten over Building Wrap  
on Timber Framing

Polystyrene Moulding is  
pre-plastered, then adhered  
on top of the Base coat with  
Multi-stop.

Reinforcing Mesh

Rockcote 'Airflo'  
Head Flashing

Corner Soaker

Aluminium Flashing to extend (35mm  
minimum) up behind Cavity Battens and  
Starter Strip and over the top of the  
building Wrap, NOTE: It is imperative  
that the head flashing upstand has  
been taped to the building Wrap so  
that fixing holes have been covered  
(refer to WANZ).

Refer to Sheet 1 for  
Batten Layout

Building Wrap

Head Flashing to be  
taped to building  
paper covering fixings  
of flashing.



Metal Flashing (or PVC Flashing if in  
corrosive areas) shown is to be  
supplied by the main contractor, these  
will need to be specifically designed to  
suit each application. All head flashings  
to be powder coated to colour match  
joinery. All Flashings are to meet the  
durability requirements of Section 4 of  
NZS 3604:1999

Drain Holes in the Head flashing are  
sufficient to achieve ventilation  
openings of 1000mm<sup>2</sup>

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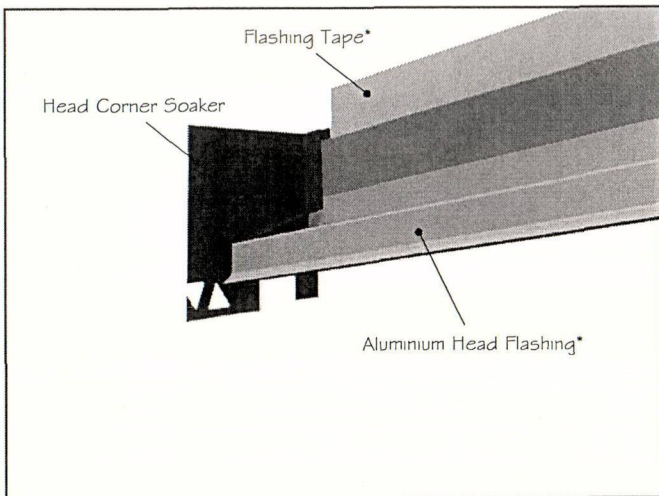
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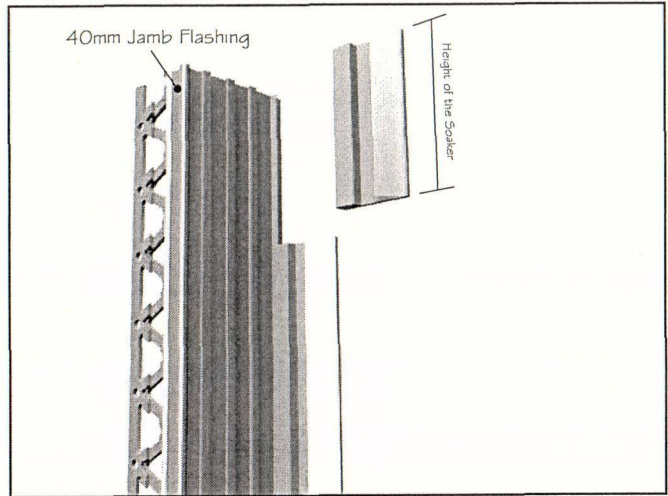
Air Seal please refer to  
Rockcote Technical Bulletin 09  
for more information on Air  
Sealing Technology.

Filename	EPS40Cavity_10A.dwg	Scale	1 : 2 (ISO)	<b>EPS40 CAVITY PLUS</b> RENDER SYSTEM
Drawn By	Sae-woon Lim	Date	25 June 2005	
Drawing Name	Standard Recessed Window Head - moulding	Sheet	10A	

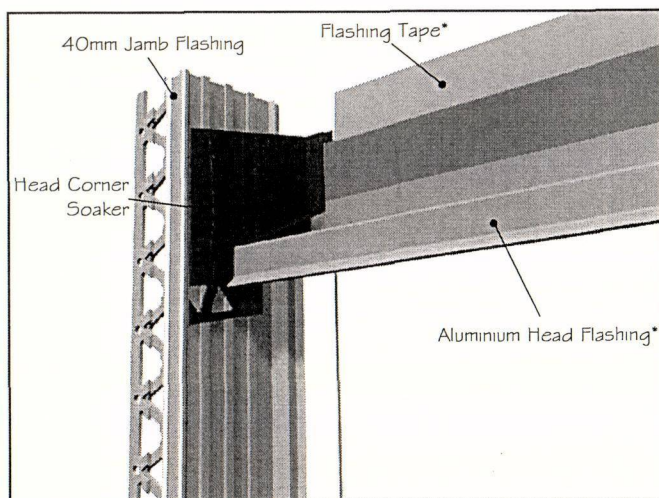




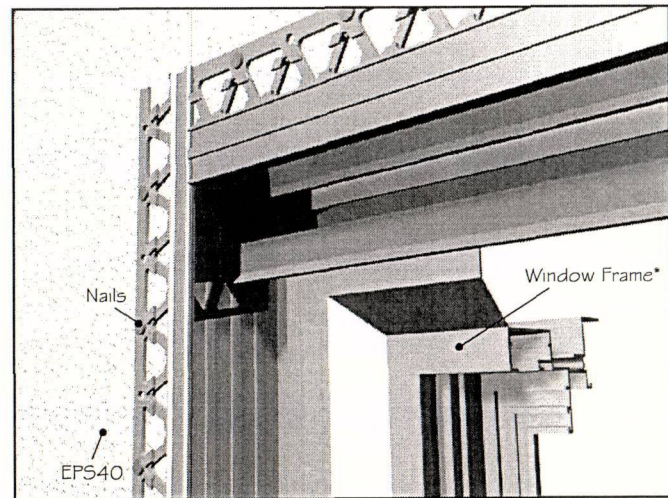
- ① Lock in the Head Corner Soaker on the ends of the Aluminium Head Flashing and trim them off to the depth of cladding. Make sure that the Aluminium Flashing is taped at the top at this stage.



- ② With the 40mm Jamb Flashing, trim the top end as shown in the diagram.



- ③ Place the Jamb Flashing underneath the Head Soaker as shown above.



- ④ The end result before plastering, should look like this.

## ROCKCOTE systems

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\*indicates: components NOT supplied by Rockcote Systems

Filename

Head\_soaker\_install.ai

Drawn By

Sae-woon Lim

Drawing Name

Window Head/Jamb corner Soaker installation

**EPS40 CAVITY PLUS**  
RENDER SYSTEM

Date

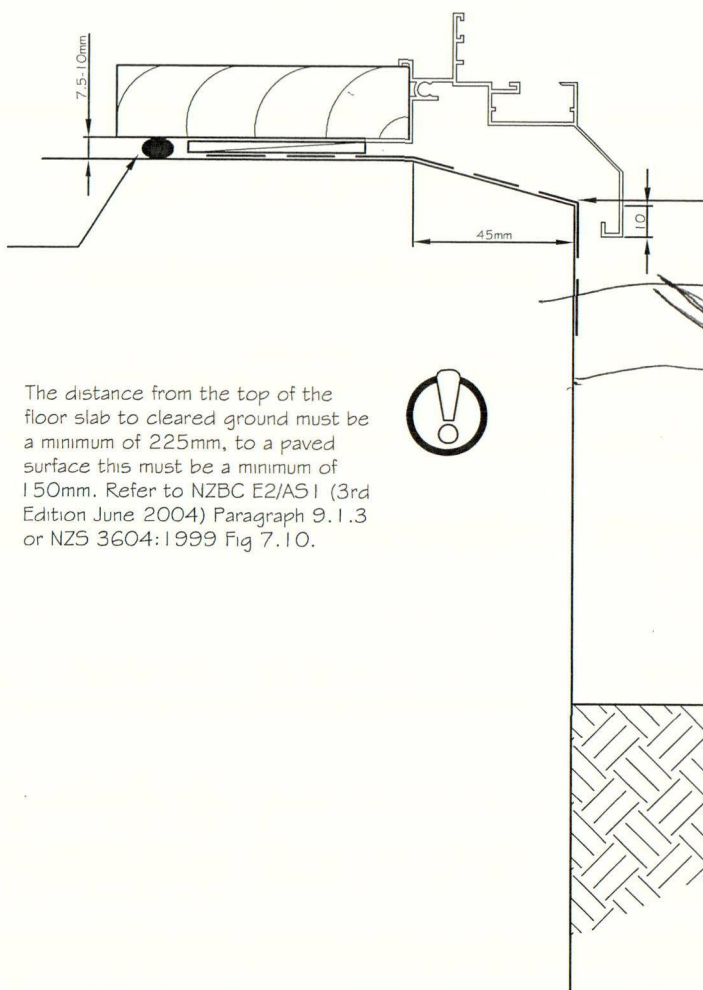
25 June 2005

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The distance from the top of the floor slab to cleared ground must be a minimum of 225mm, to a paved surface this must be a minimum of 150mm. Refer to NZBC E2/AS1 (3rd Edition June 2004) Paragraph 9.1.3 or NZS 3604:1999 Fig 7.10.

Slab edge to be sealed using a water proof membrane by Main Contractor prior to installation of joinery (a sill wrap can be used). If plastering is to continue over the foundation wall then EIFS tape should be applied over the sill membrane, so this area can be plastered.

## ROCKCOTE systems

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SELWYN DISTRICT COUNCIL

*[Signature]*

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CONSENT DOCUMENT

Filename	Scale	<b>EPS40 CAVITY PLUS</b> <small>RENDER SYSTEM</small>	
EPS40Cavity_11.dwg	1 : 2 (ISO)		
Drawn By	Date		
Sae-woon Lim	25 June 2005		
Drawing Name	Sheet		
Concrete Door Sill	11		

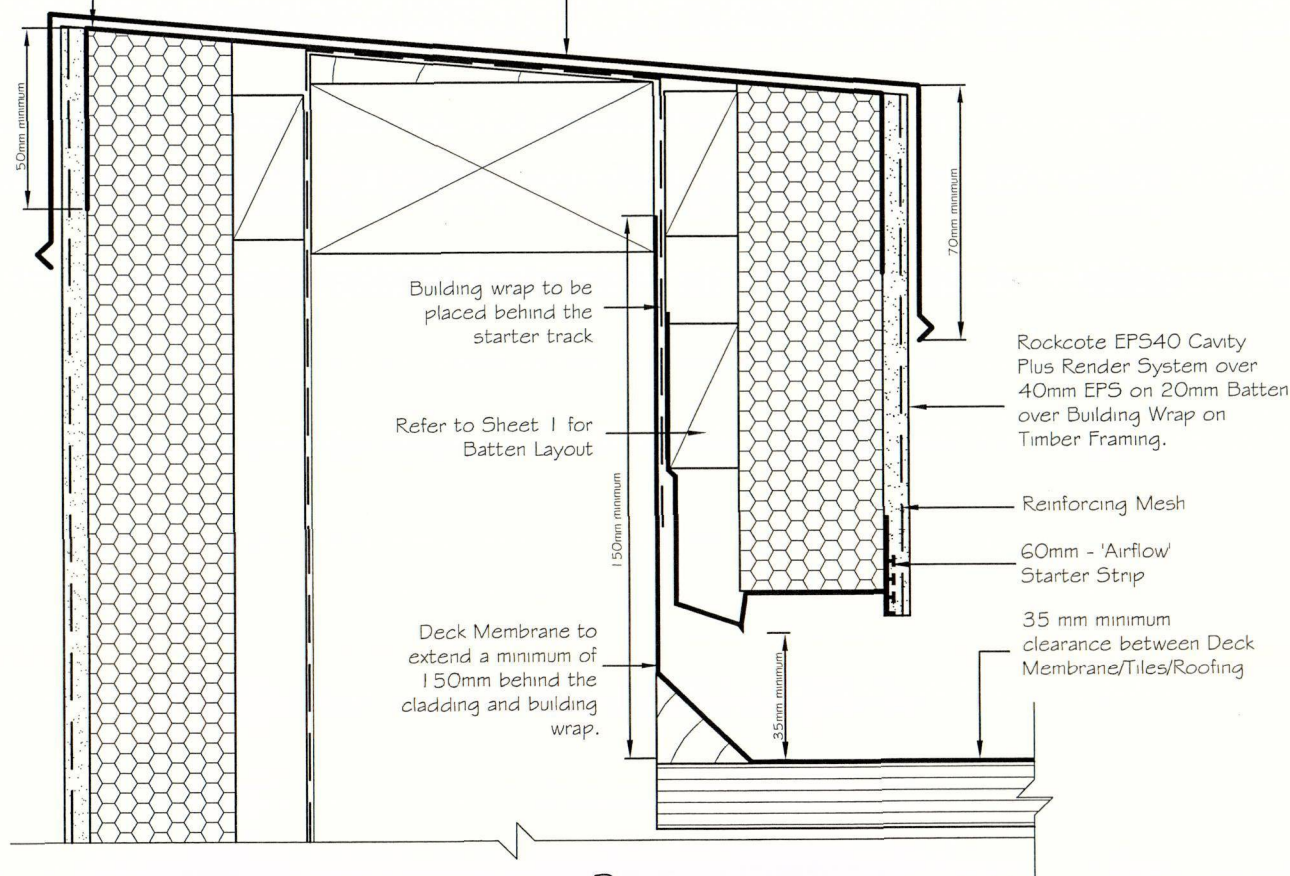




All Parapets to be wrapped using EIFS Tape. This is to be carried a minimum of 50mm down either side of the parapet over Styrene.



Metal Capping to be installed on an angle of no less than 5 degrees. This is to be preferably sloped to the inside of the Parapet. The capping is to be installed AFTER all plasterwork has been completed. The parapet must be fixed through the sides of the capping. The parapet Flashing must extend a minimum of 70mm down either side of the Parapet. All Flashings are to meet the durability requirements of Section 4 of NZS 3604:1999



Deck Membrane over decking Roof / deck clearance 35mm minimum clearance from base of cladding to decking membrane / tiles

Drain Holes in the Starter Strip are sufficient to achieve ventilation openings of 1000mm<sup>2</sup>

## ROCKCOTE systems

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Filename  
EPS40Cavity\_12.dwg

Scale  
1 : 2 (ISO)

Drawn By  
Sae-woon Lim

Drawing Name  
Parapet to Deck

**EPS40 CAVITY PLUS**  
RENDER SYSTEM

Date  
25 June 2005

**SELWYN DISTRICT COUNCIL**  
27 MAR 2007  
CONSENT DOCUMENT

**PLEASE NOTE**  
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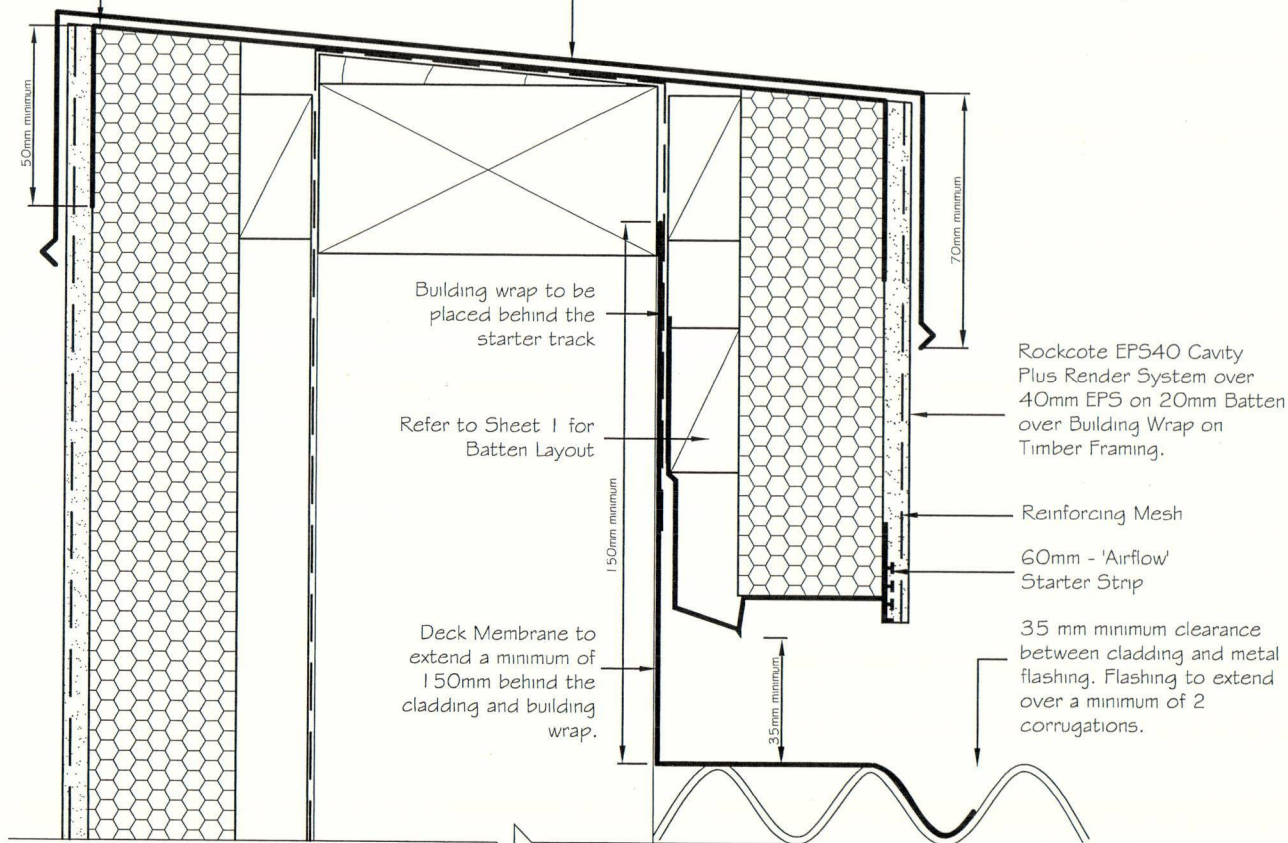




All Parapets to be wrapped using EIFS Tape. This is to be carried a minimum of 50mm down either side of the parapet over Styrene.



Metal Capping to be installed on an angle of no less than 5 degrees. This is to be preferably sloped to the inside of the Parapet. The capping is to be installed AFTER all plasterwork has been completed. The parapet must be fixed through the sides of the capping. The parapet Flashing must extend a minimum of 70mm down either side of the Parapet. All Flashings are to meet the durability requirements of Section 4 of NZS 3604:1999



Deck Membrane over decking Roof / deck clearance 35mm minimum clearance from base of cladding to decking membrane / tiles

Drain Holes in the Starter Strip are sufficient to achieve ventilation openings of 1000mm<sup>2</sup>

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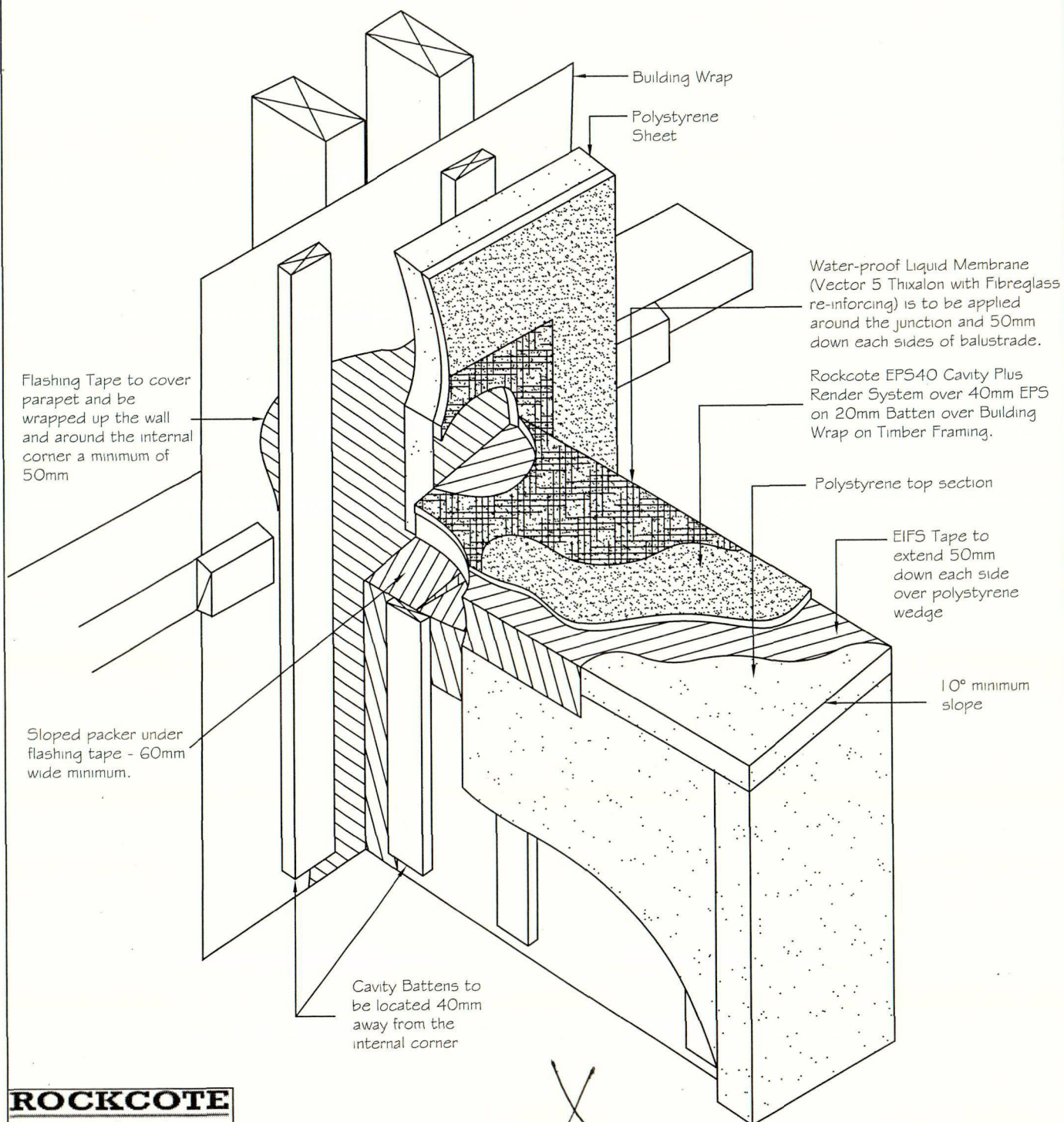
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Filename	EPS40Cavity_13.dwg	Scale	1 : 2 (ISO)	<b>EPS40 CAVITY PLUS</b> <small>RENDER SYSTEM</small>
Drawn By	Sae-woon Lim	Date	25 June 2005	
Drawing Name	Parapet to Roof	Sheet	13	





## ROCKCOTE systems

All Construction to comply with NZBC and relevant documents and Territorial Authority Regulations. The contractor shall verify all dimensions and levels on site before work commences.

Drawings not to be used for construction without Territorial Authority Consent.

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All Plastered Balustrade must be finished with re-inforced liquid membrane cladding system.  
ie. Rockcote Vector 5

Filename

EPS40Cavity\_14.dwg

Scale

1 : 2 (ISO)

Drawn By

Sae-woon Lim

Drawing Name

Plastered Balustrade to Wall Junction

**EPS40 CAVITY PLUS**  
RENDER SYSTEM

Date

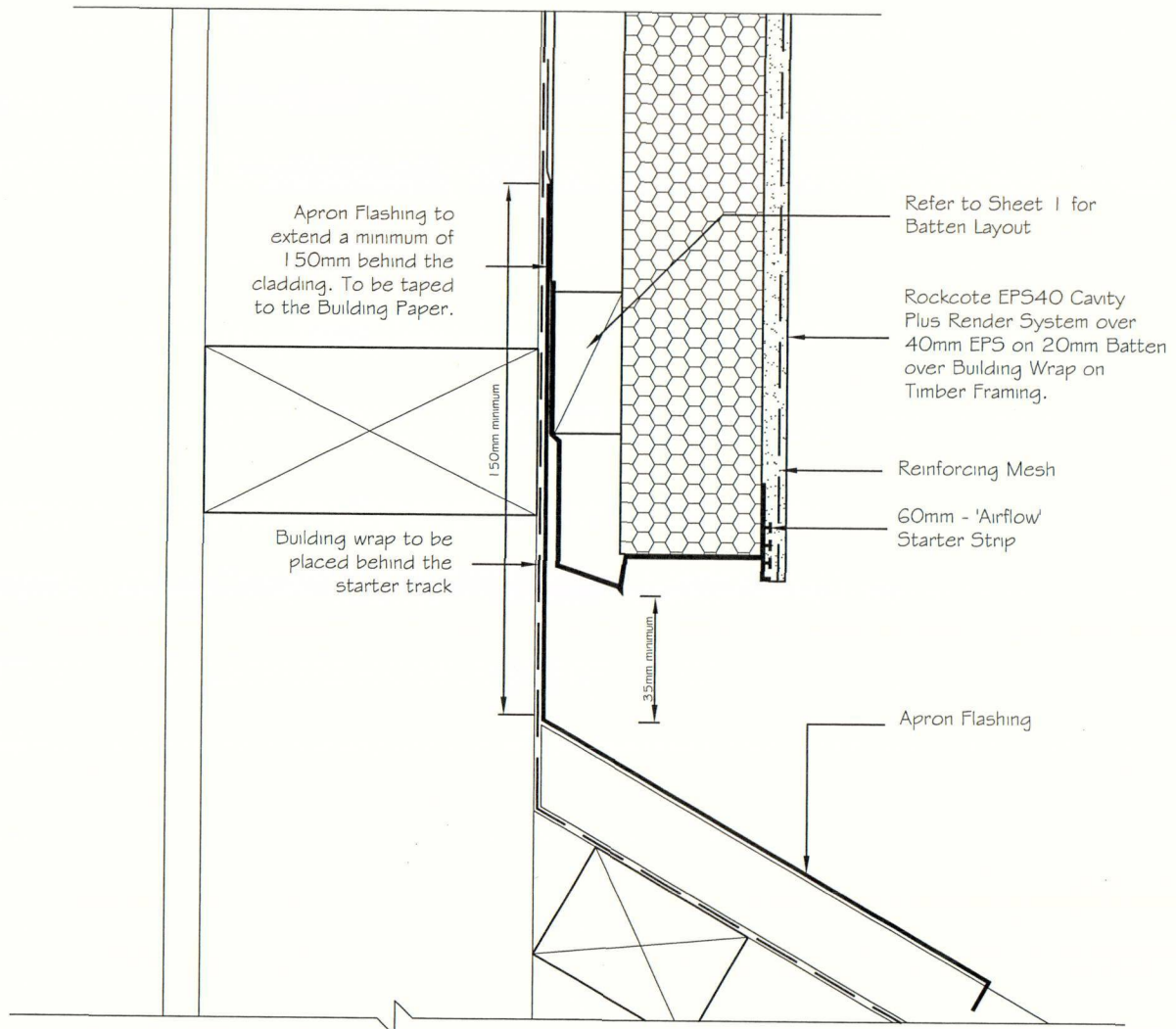
25 June 2005

Sheet

14

**PLEASE NOTE**  
This set of plans MUST be available on site when inspections are carried out





Drain Holes in the Starter Strip are sufficient to achieve ventilation openings of 1000mm<sup>2</sup>

## ROCKCOTE

systems

All Construction to comply with NZBC and relevant documents and Territorial Authority Regulations. The contractor shall verify all dimensions and levels on site before work commences.

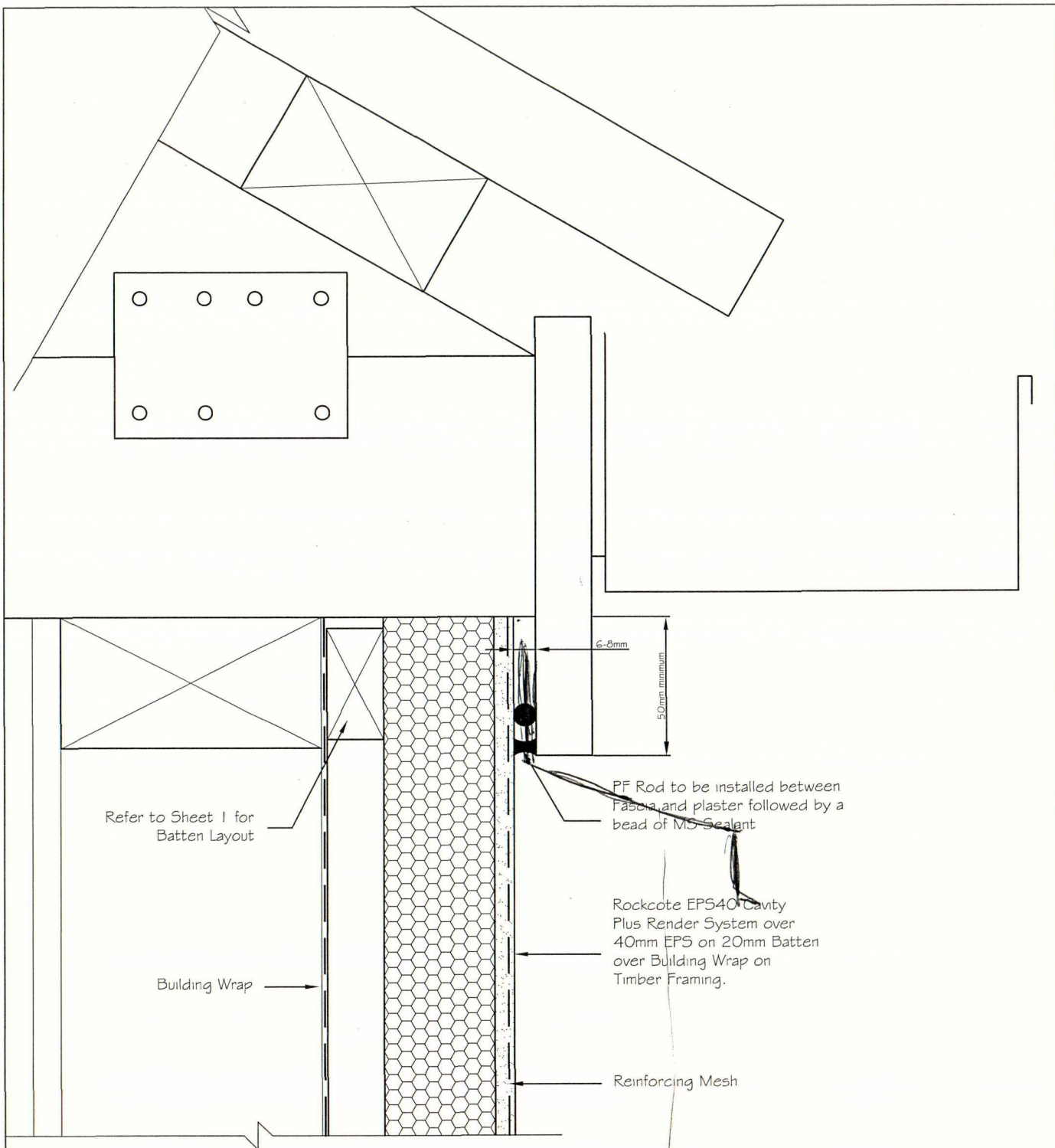
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Filename	Scale	<b>EPS40 CAVITY PLUS</b> <small>RENDER SYSTEM</small>	
EPS40Cavity_15.dwg	1 : 2 (ISO)		
Drawn By	Date		
Sae-woon Lim	25 June 2005		
Drawing Name	Sheet		
Wall to Roof (Apron)	15		





## ROCKCOTE systems

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Filename  
EPS40Cavity\_19.dwg

Scale  
1 : 2 (ISO)

Drawn By  
Sae-woon Lim

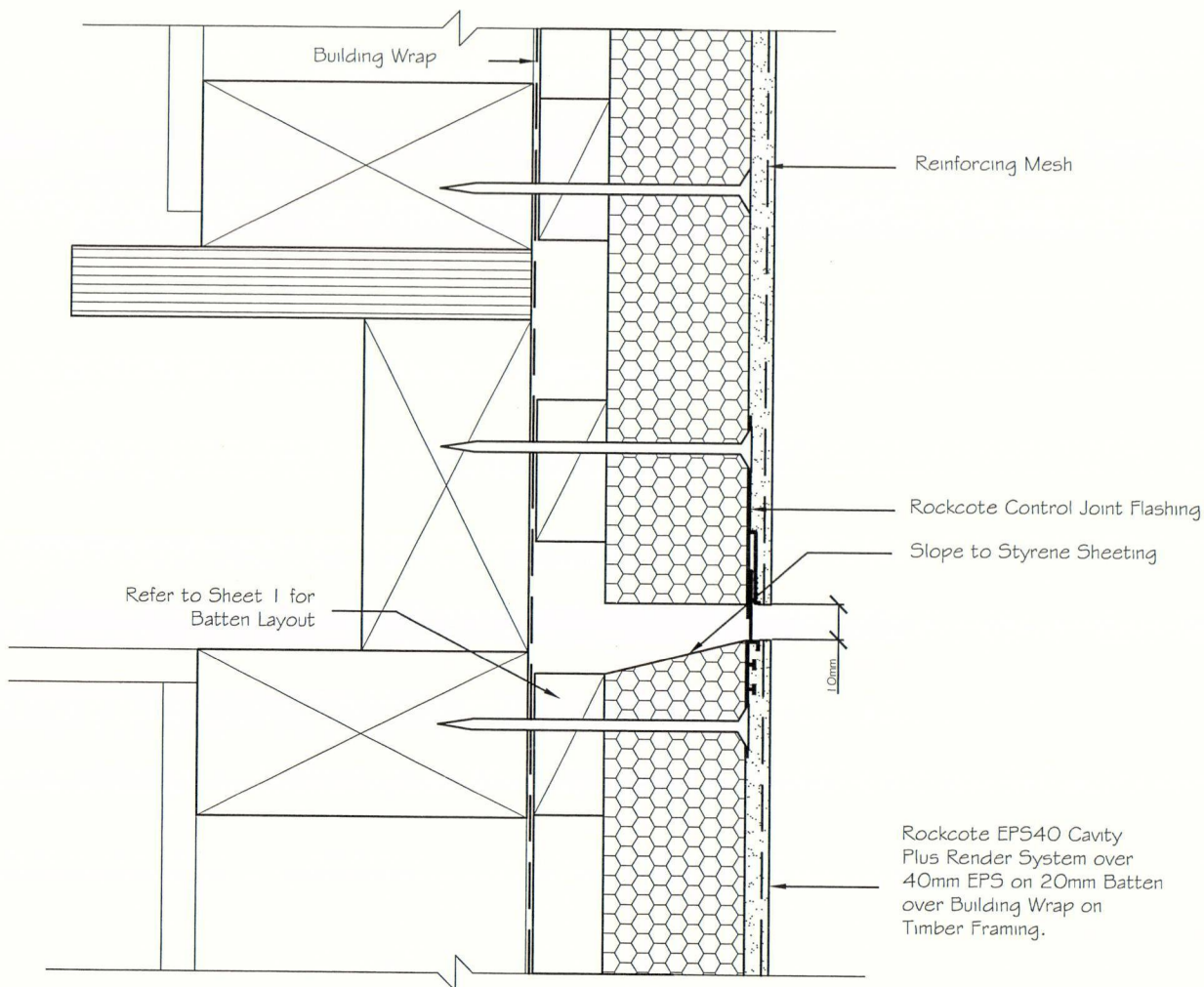
Drawing Name  
Flush Eaves

**EPS40 CAVITY PLUS**  
RENDER SYSTEM

Date  
25 June 2005

**PLEASE NOTE**  
This set of plans MUST be available on site when inspections are carried out





X



uPVC Control Joint flashings must be nailed into the Timber Frames.

All Control Joint spacings and setouts are the responsibility of the Designer, for suggested locations refer to Technical Bulletin 11. Where Control Joints meet, then Protecto Tape is to be installed behind ALL junctions refer to Technical Bulletin 25 for more details.

All Construction to comply with NZBC and relevant documents and Territorial Authority Regulations. The contractor shall verify all dimensions and levels on site before work commences.

Drawings not to be used for construction without Territorial Authority Consent.

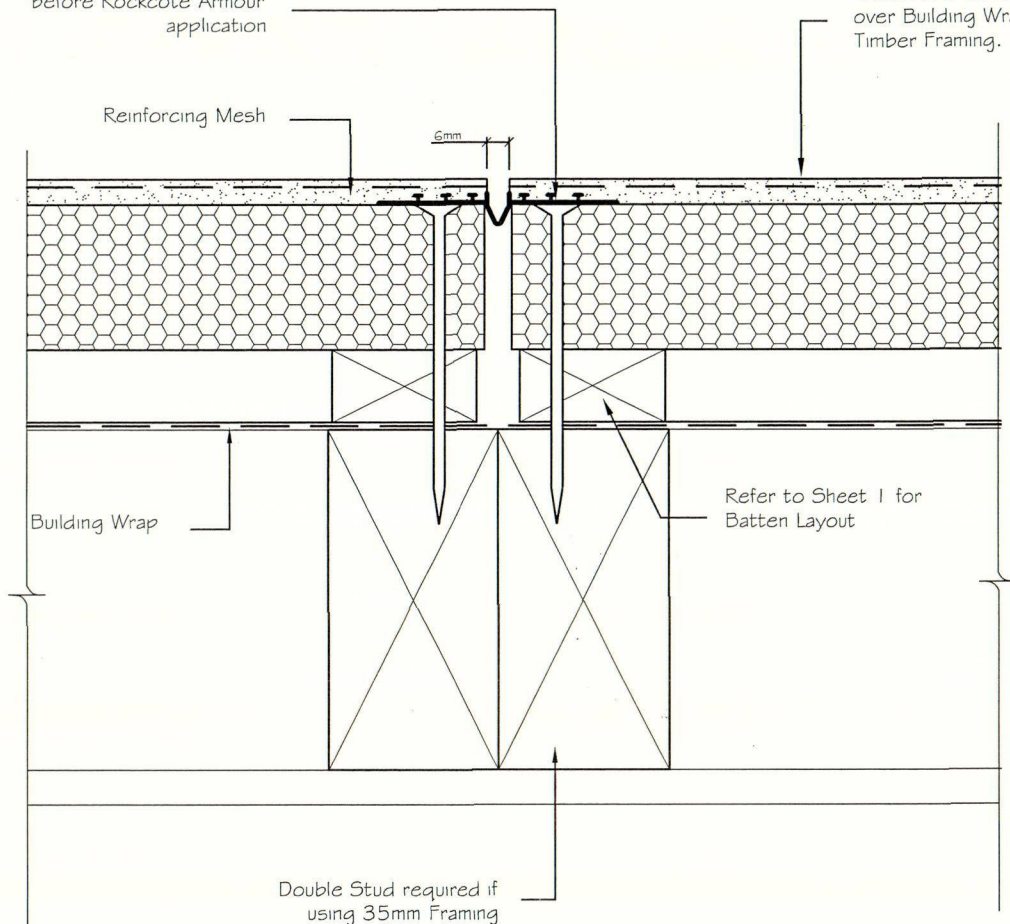
These drawings are covered by copyright any unlawful reproduction or distribution of all or part is strictly prohibited without the consent of Rockcote Systems. They can however be used to make up a set of drawings to be submitted to a Territorial Authority or certifier, for consent purposes only.

Filename	Scale		
EPS40Cavity_20.dwg	1 : 2 (ISO)		
Drawn By	Date		
Sae-woon Lim	25 June 2005		
Drawing Name	Sheet		
Horizontal Control Joint	20		



Rockcote Control Joint Flashing  
Tearout strip must be removed  
before Rockcote Armour  
application

Rockcote EPS40 Cavity  
Plus Render System over  
40mm EPS on 20mm Batten  
over Building Wrap on  
Timber Framing.



All Control Joint spacings and setouts are the responsibility of the Designer, for suggested locations refer to Technical Bulletin 11. Where Control Joints meet, then Protecto Tape is to be installed behind ALL junctions refer to Technical Bulletin 25 for more details.

## ROCKCOTE systems

All Construction to comply with NZBC and relevant documents and Territorial Authority Regulations. The contractor shall verify all dimensions and levels on site before work commences.

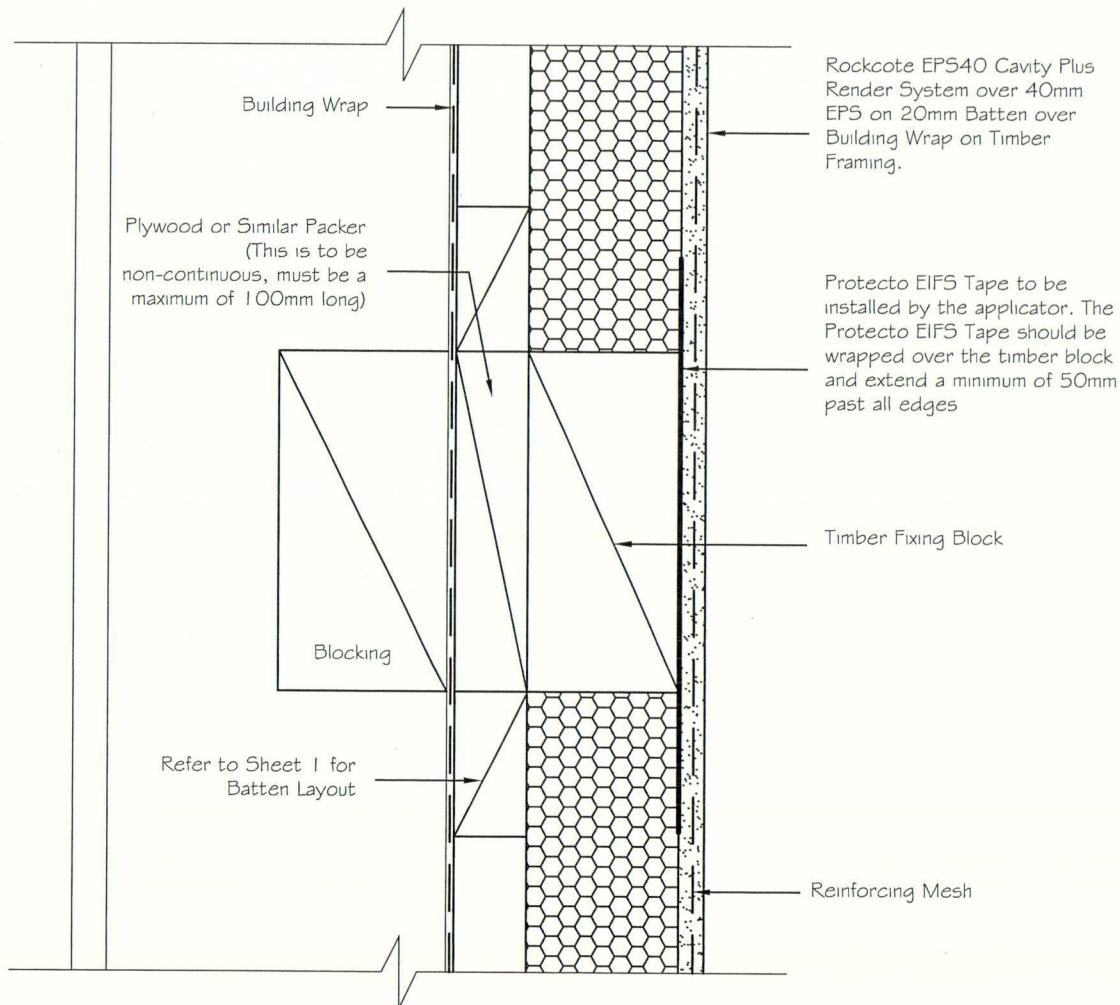
Drawings not to be used for construction without Territorial Authority Consent.

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Filename	Scale	<b>EPS40 CAVITY PLUS</b> RENDER SYSTEM
EPS40Cavity_21.dwg	1 : 2 (ISO)	Date 25 June 2005
Drawn By	Sae-woon Lim	Sheet 21
Drawing Name	Vertical Control Joint	<b>PLEASE NOTE</b> This set of plans MUST be available on site when inspections are carried out



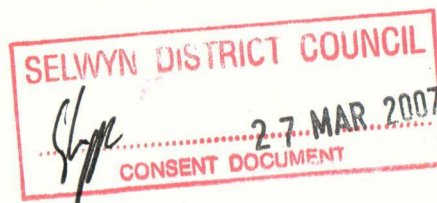


## ROCKCOTE systems

All Construction to comply with NZBC and relevant documents and Territorial Authority Regulations. The contractor shall verify all dimensions and levels on site before work commences.

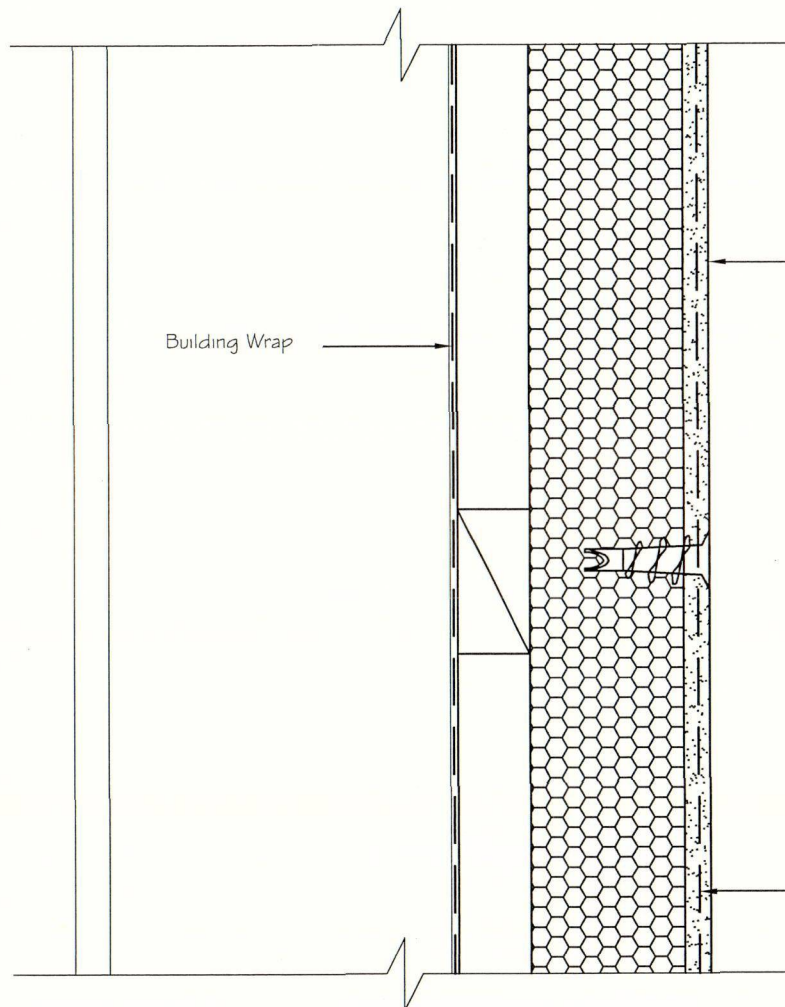
Drawings not to be used for construction without Territorial Authority Consent.

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Filename	EPS40Cavity_22.dwg	Scale	1 : 2 (ISO)	<b>EPS40 CAVITY PLUS</b> <small>RENDER SYSTEM</small>
Drawn By	Mark Flewellen	Date	25 June 2005	
Drawing Name	Heavyweight Fixing	Sheet	22	





Rockcote EPS40 Cavity Plus  
Render System over 40mm  
EPS on 20mm Batten over  
Building Wrap on Timber  
Framing.



For further information please Refer  
to Technical Bulletin 05. Zip-It  
Fastener only appropriate for  
weight no more than 1 kg.

Reinforcing Mesh

## ROCKCOTE

systems

All Construction to comply with NZBC  
and relevant documents and Territorial  
Authority Regulations. The contractor  
shall verify all dimensions and levels on  
site before work commences.

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Authority Consent.

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Rockcote Systems. They can however  
be used to make up a set of drawings  
to be submitted to a Territorial  
Authority or certifier, for consent  
purposes only.

Filename  
EPS40Cavity\_23.dwg

Scale  
1 : 2 (ISO)

Drawn By  
Mark Flewellen

Drawing Name  
Lightweight Fixing

SELWYN DISTRICT COUNCIL

27 MAR 2007

CONSENT DOCUMENT

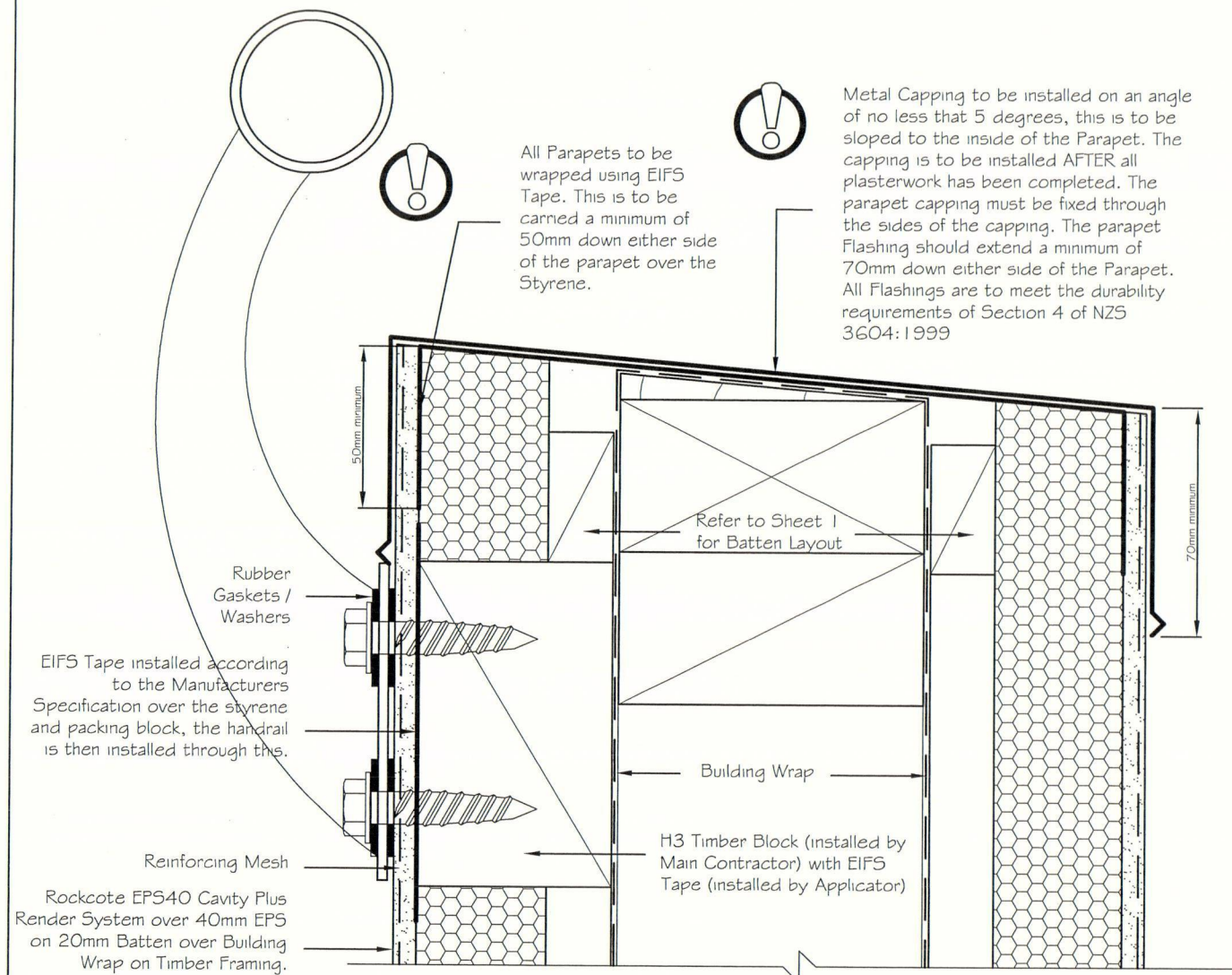
**EPS40** CAVITY PLUS  
RENDER SYSTEM

Date  
25 June 2005

Sheet  
23

**PLEASE NOTE**  
This set of plans MUST be  
available on site when  
inspections are carried out.





## ROCKCOTE

systems

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Filename  
EPS40Cavity\_24.dwg

Scale  
1 : 2 (ISO)

Drawn By  
Sae-woon Lim

Drawing Name  
Balcony Handrail

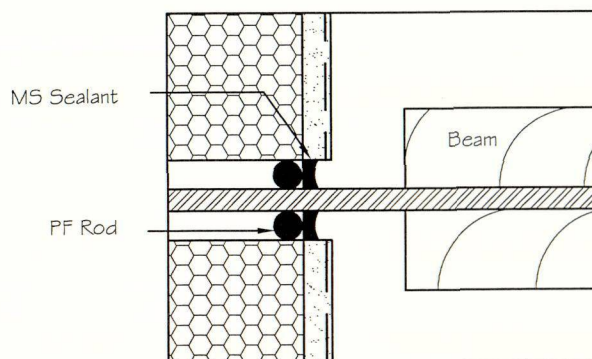
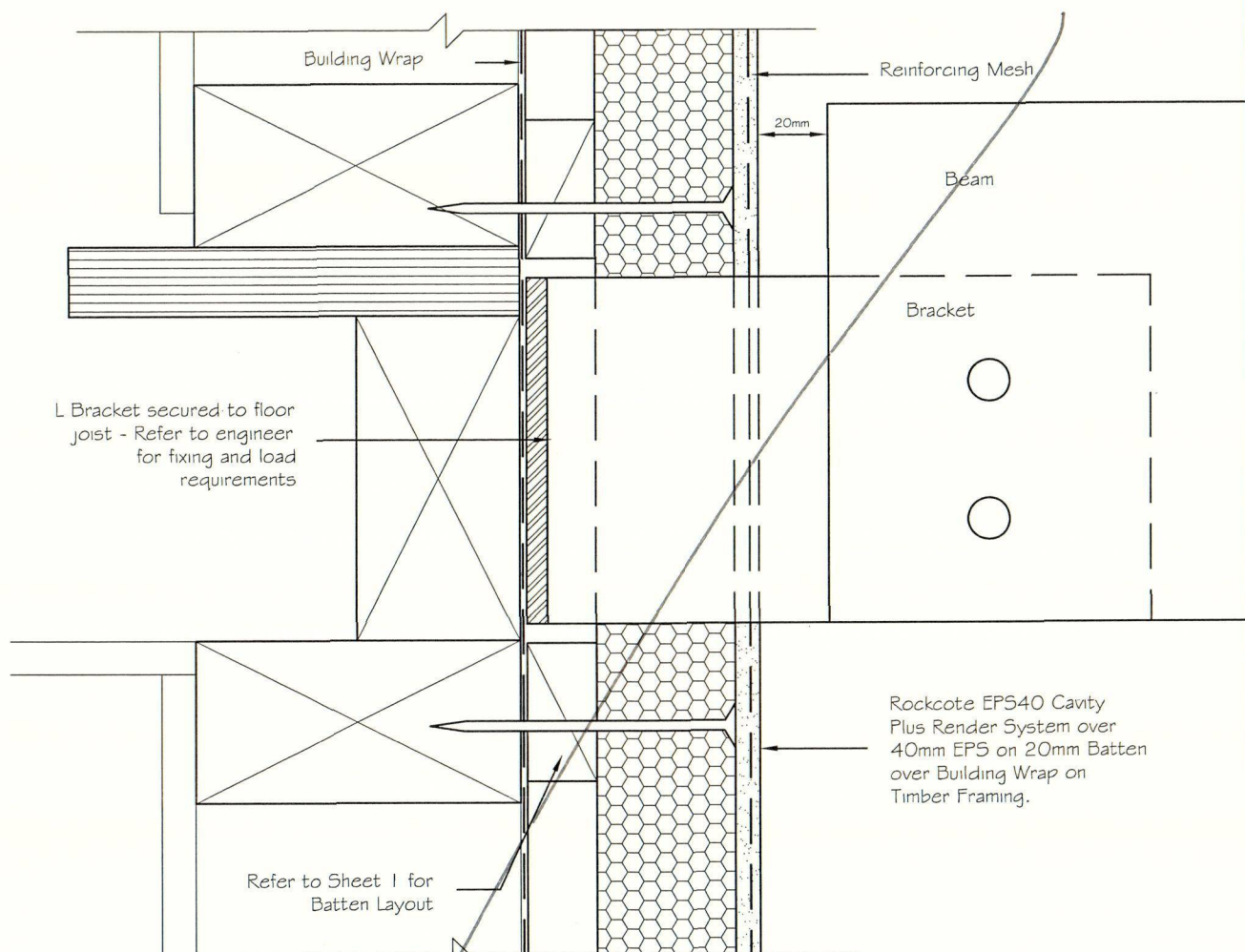
**EPS40 CAVITY PLUS**  
RENDER SYSTEM

Date  
25 June 2005

Sheet  
24

All Parapets to be wrapped using EIFS Tape. This is to be carried a minimum of 50mm down either side of the parapet.





## ROCKCOTE systems

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Filename  
EPS40Cavity\_25.dwg

Scale  
1 : 2 (ISO)

Drawn By  
Mark Flewellen

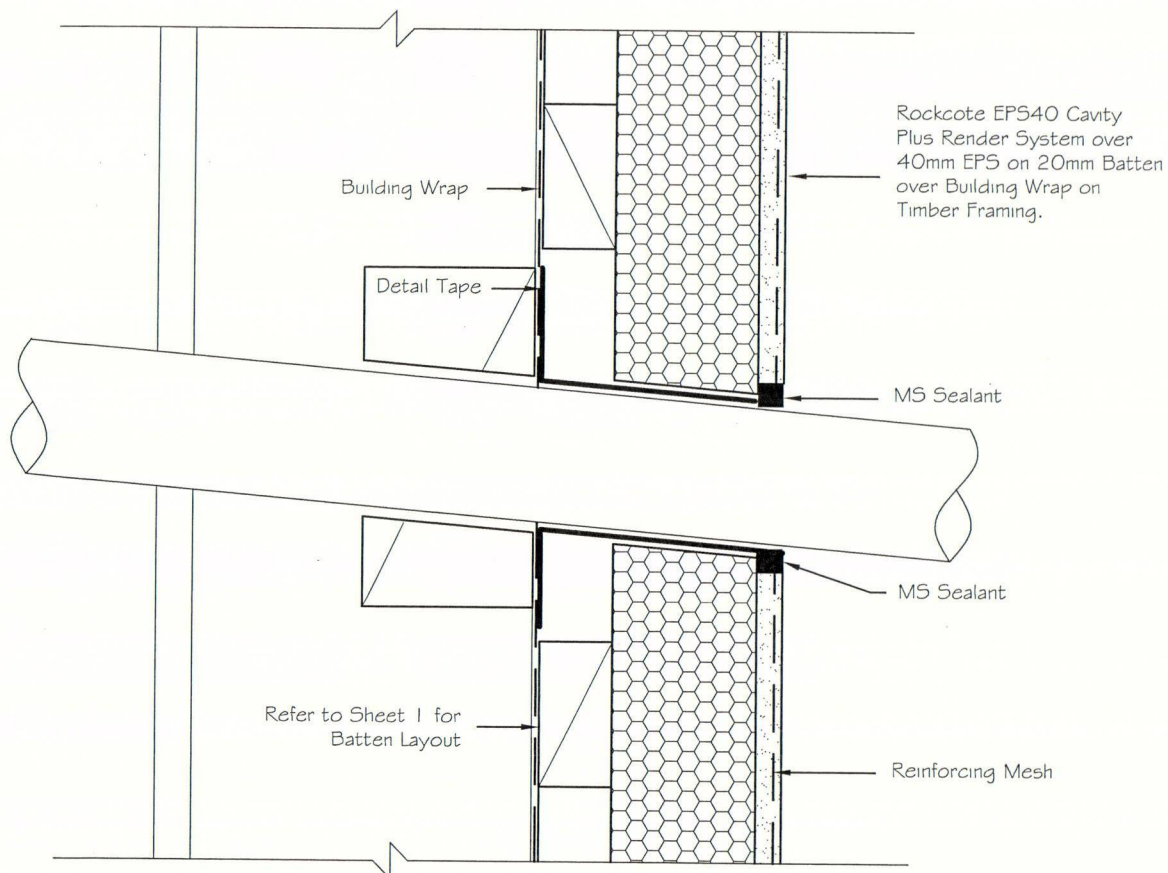
Drawing Name  
Pergola Penetration

**EPS40 CAVITY PLUS**  
DRY MIX  
RENDER SYSTEM

Date  
25 June 2005

**PLEASE NOTE**  
This set of plans **MUST** be available on site when inspections are carried out.





The responsibility for the penetration is the responsibility of the main contractor, where possible and practical use a flange.

It is important that there is adequate support for the penetration in the form of timber packing. The penetration should be angled slightly away from the cladding so any moisture is diverted away from the cladding.

## ROCKCOTE systems

All Construction to comply with NZBC and relevant documents and Territorial Authority Regulations. The contractor shall verify all dimensions and levels on site before work commences.

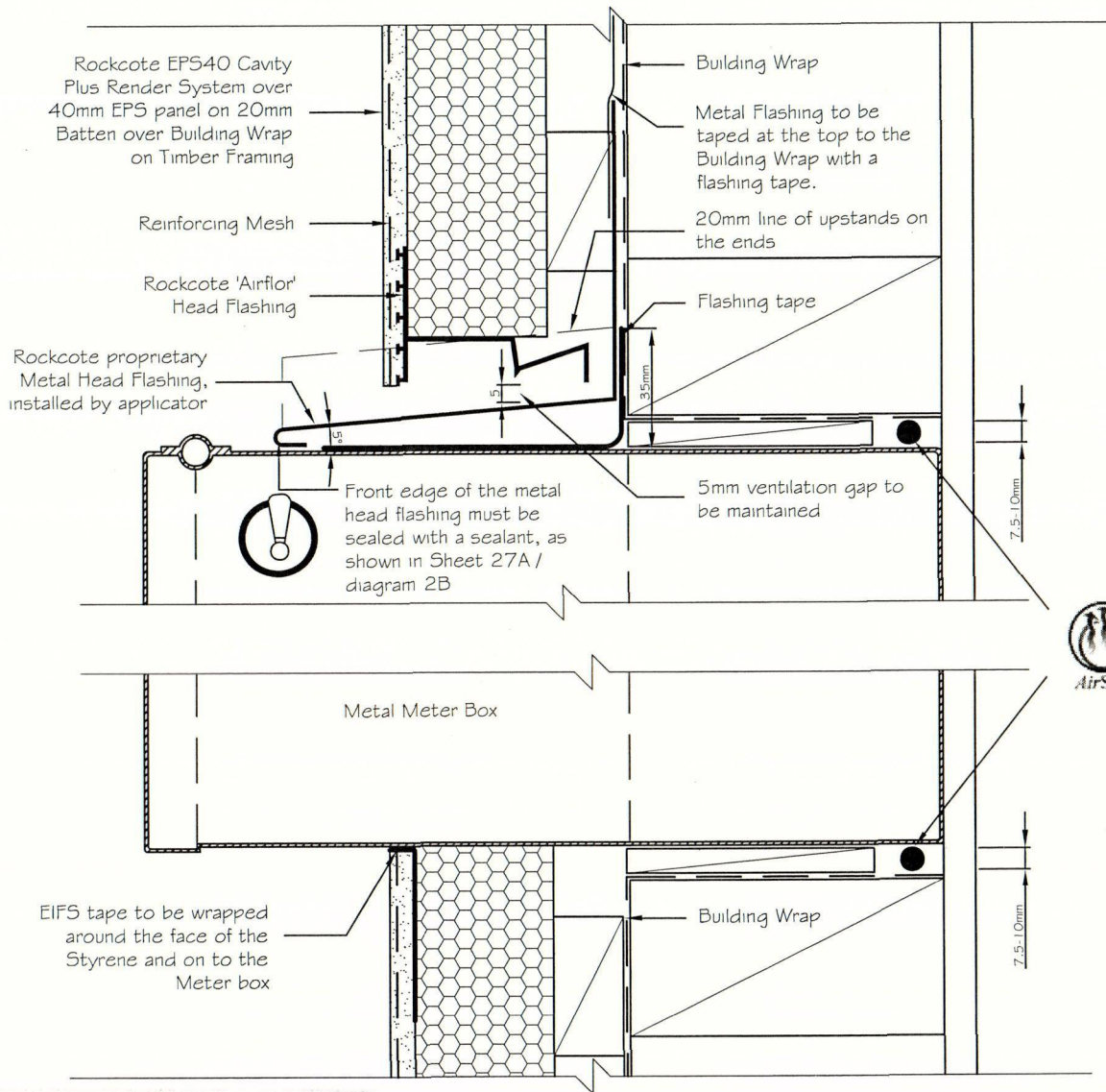
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Filename	EPS40Cavity_26.dwg	Scale	1 : 2 (ISO)	<b>EPS40 CAVITY PLUS</b> <small>RENDER SYSTEM ONLY ZONE</small>
Drawn By	Sae-woon Lim	Date	25 June 2005	
Drawing Name	Pipe Penetration	Sheet	26	





REMOVED FROM THE ORIGINAL DRAWING



EIFS tape must NOT be exposed to the UV sunlight.

# **ROCKCOTE** systems

All Construction to comply with NZBC and relevant documents and Territorial Authority Regulations. The contractor shall verify all dimensions and levels on site before work commences.

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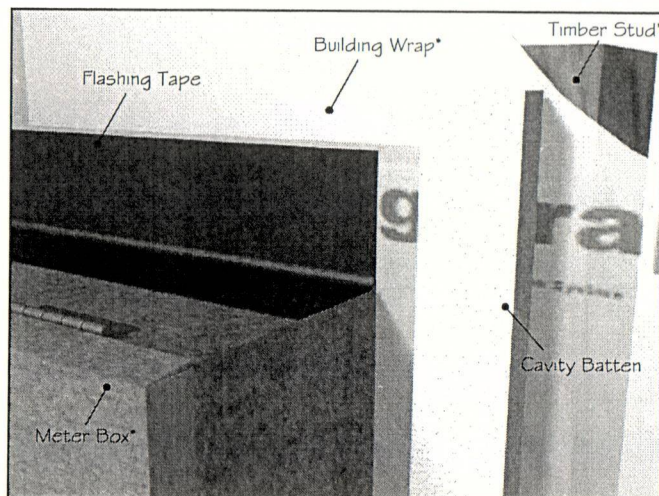
Air Seal please refer to Rockcote Technical Bulletin 09 for more information on Air Sealing Technology.

**SELWYN DISTRICT COUNCIL**  
**27 MAR 2007**  
**CONSENT DOCUMENT**

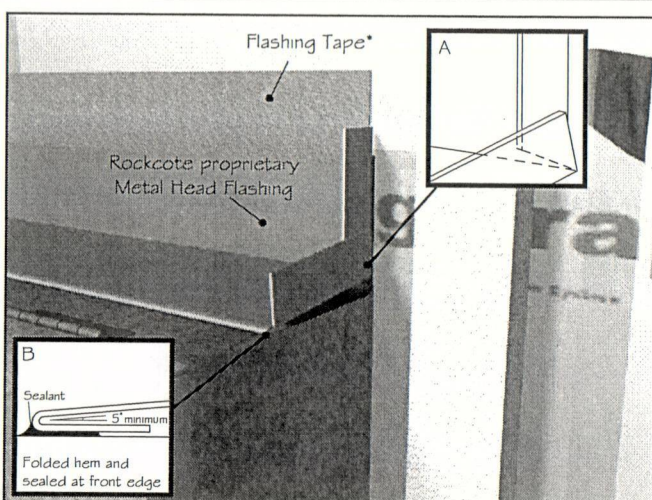
Filename EPS40cavity_27.dwg	Scale 1 : 2 (ISO)	<b>EPS40 CAVITY PLUS</b> RENDER SYSTEM
Drawn By Sae-woon Lim	Date 25 June 2005	
Drawing Name Meter Box Penetration	Sheet 27	

**PLEASE NOTE**  
This set of plans MUST be available on site when inspections are carried out

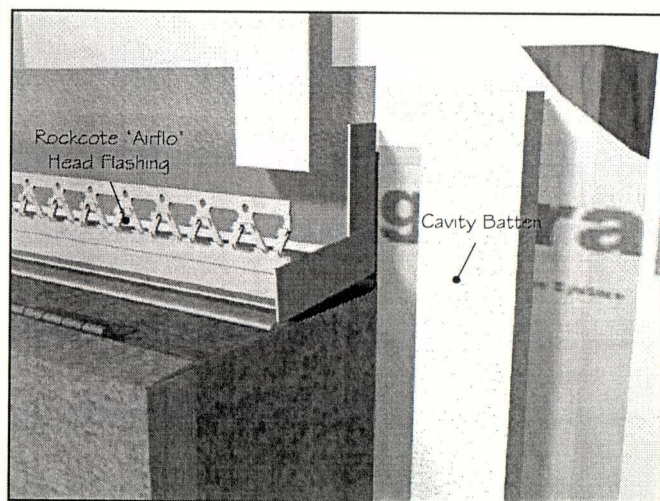




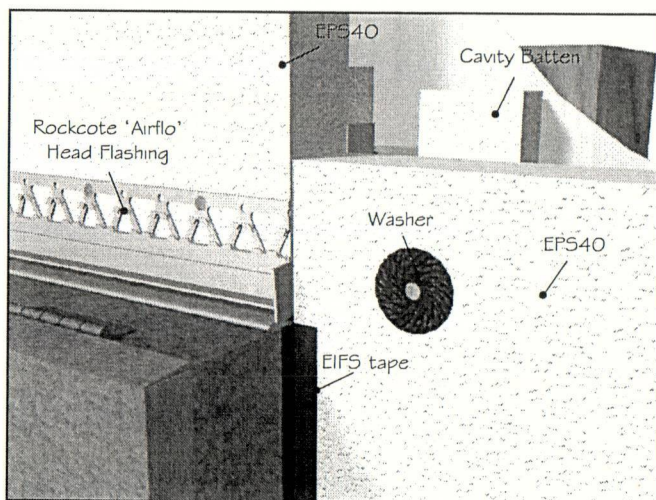
- ① Meter Box should penetrate into the Building Wrap as shown above.



- ② Metal Flashing is placed on top of the Meter Box and it is to be taped to the Building wrap at the top, and sealed on the front edge of the Meter Box.  
20mm stop ends are folded up as shown in diagram A.



- ③ Rockcote 'Airflo' Head Flashing is to be placed on top of the Metal flashing with a minimum of 5mm ventilation gap from the bottom of the PVC flashing to the top of the Metal Flashing.



- ④ EIFS tape must be wrapped around the sides and bottom of the Meter Box and on to the Styrene (EPS40). The returns of the EIFS tape must be at least 50mm on to the Styrene, and maximum of 7mm (or thickness of the plaster) on to the Meter Box. It should look like above (4) before plastering.

## ROCKCOTE systems

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Drawings not to be used for construction without Territorial Authority Consent.

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\*indicates: components NOT supplied by Rockcote Systems

Filename

EPS40\_MeterBox.ai

Drawn By

Sae-woon Lim

Drawing Name

Standard Meter Box Installation

Date

25 June 2005

Sheet

27A

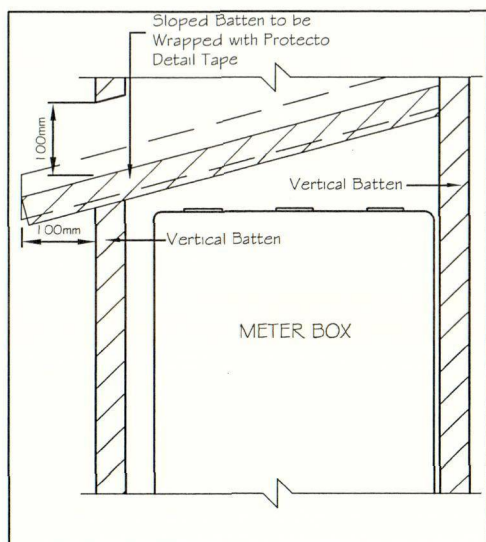
**EPS40 CAVITY PLUS**  
RENDER SYSTEM

Drain holes in the Starter Tracks are sufficient to achieve ventilation openings of 1000mm<sup>2</sup> per lineal metre.

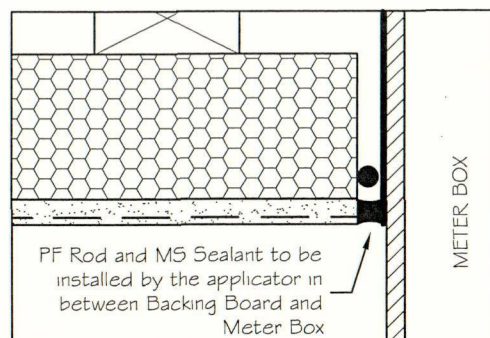
All EIFS tapes must not be directly exposed to the UV light.

SEWYK DISTRICT COUNCIL  
27 MAR 2007  
CONSENT DOCUMENT



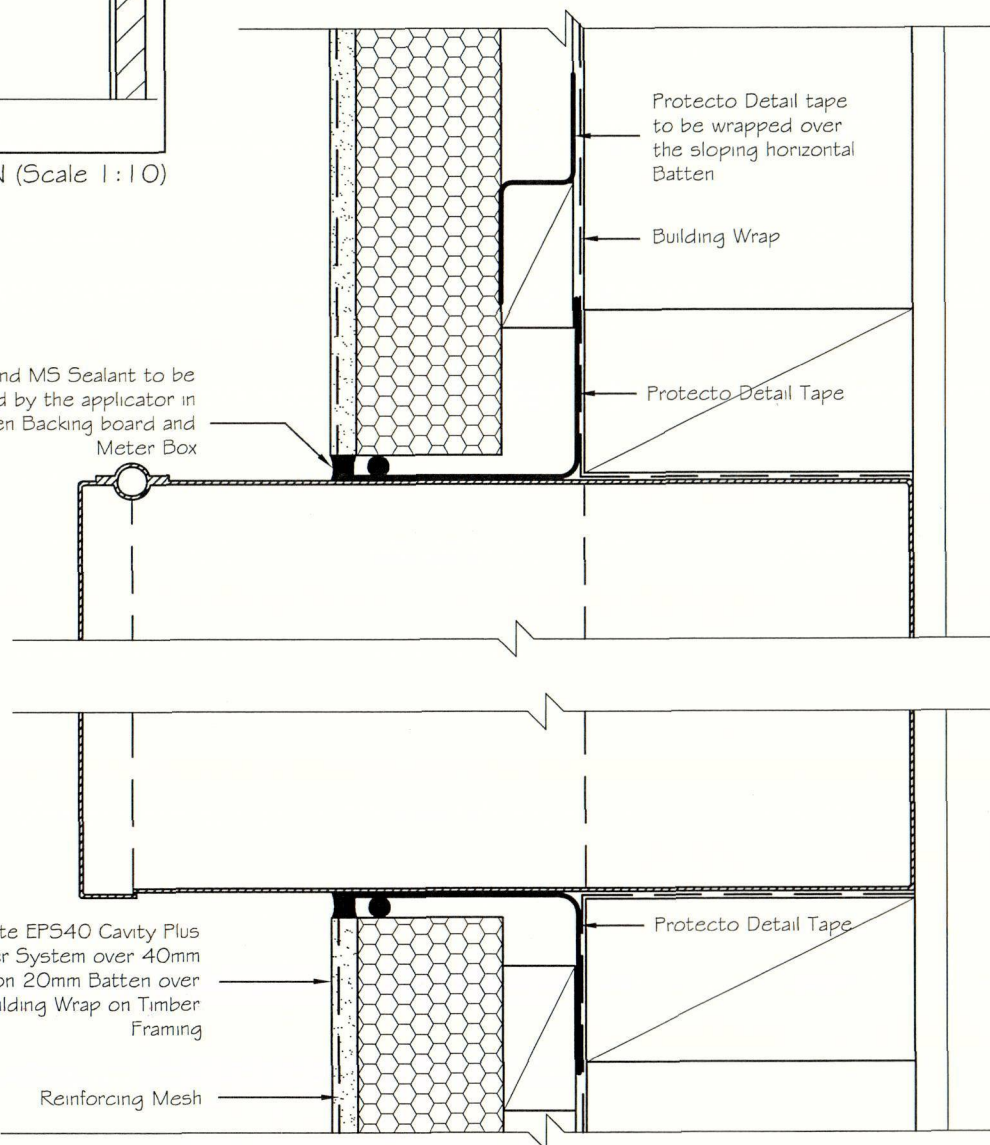


FRONT ELEVATION (Scale 1:10)



TOP VIEW (Looking down the side)

PF Rod and MS Sealant to be installed by the applicator in between Backing board and Meter Box



## ROCKCOTE

systems

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This detail is suitable for use in sheltered locations only.

Protecto Detail Tape must NOT be exposed to UV sunlight.

Filename	Scale	<b>EPS40 CAVITY PLUS</b> <small>RENDER SYSTEM</small> <b>DRY ZONE</b>
EP540Cavity_27B.dwg	1 : 2 (ISO)	
Drawn By	Date	<b>PLEASE NOTE</b> This set of plans MUST be available on site when inspections are carried out.
Sae-woon Lim	25 June 2005	
Drawing Name	Sheet	
Alternative Meter Box Penetration	27B	



Rockcote EPS40 Cavity Plus  
Render System over 40mm EPS  
on 20mm Batten over Building  
Wrap on Timber Framing.

Reinforcing Mesh

Rockcote 'Airflo'  
Head Flashing

Rockcote Corner  
Head Soaker

Aluminium Flashing to extend up behind  
Cavity Battens and Starter Strip and  
over the top of the building Wrap,  
NOTE: It is imperative that the head  
flashing upstand has been taped to  
the building Wrap so that fixing holes  
have been covered (refer to WANZ).

Refer to Sheet 1 for  
Batten Layout

Building Wrap

Head Flashing to be  
taped to building  
paper covering fixings  
of flashing.

35mm minimum

7.5-10mm

25mm



PLEASE NOTE THE WINDOW SETOUT IS TO BE CONSISTENT WITH SETOUTS FOR  
BRICK VENEER.

Metal Flashing (or PVC Flashing if in corrosive areas) shown is to be supplied by  
the main contractor. these will need to be specifically designed to suit each  
application. All head flashings to be powder coated to colour match joinery.  
Flashings are to meet the requirement of Section 4 of NZS 3604:1999. The  
Head Flashings must have stop ends formed a Minimum of 30mm and be sealed to  
the Brick Veneer.

Drain Holes in the Starter Strip are sufficient to achieve ventilation openings of  
1000mm<sup>2</sup>

## ROCKCOTE systems

All Construction to comply with NZBC  
and relevant documents and Territorial  
Authority Regulations. The contractor  
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site before work commences.

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Authority or certifier, for consent  
purposes only.



Air Seal please refer to  
Rockcote Technical Bulletin 09  
for more information on Air  
Sealing Technology.

Filename

EPS40Cavity\_28.dwg

Scale

1 : 2 (ISO)

Drawn By

Sae-woon Lim

Drawing Name

Window Head to Brick Junction

**EPS40 CAVITY PLUS**  
RENDER SYSTEM

Date

25 June 2005

Sheet

28



22 August 2006

Mr Mugford  
76 Moffat Drive  
Lincoln  
CHRISTCHURCH 7608

Dear Sir,

RE:- BUILDING CONSENT NUMBER R419563  
HOUSE ALTERATIONS

Further to our meeting this morning I can confirm that in order to resolve the plaster issues with the above stated building consent Council will accept an amendment to the consent in order to enable the issue to be resolved and a final Code Compliance Certificate to be issued on successful completion of the proposed work.

It is my understanding that you intend to carry out the following work under such an amendment:-

- 1) Extend out (square up) the 'Courtyard' area and change this space into a Bedroom.
- 2) Remove the plaster cladding which is the area of concern and replace this cladding with vertical corrugated profiled metal cladding.
- 3) Alter the timber deck to create a walkway along the front of the house and a lower deck level in front of the walkway.

As advised please provide three copies of the amended documentation to the Council for processing under the existing building consent reference number.

If you or your designer have any queries please do not hesitate to contact me.

Yours faithfully,



Vanessa Beavon  
Customer Services Officer Building Control







## Grandview (pictured right)

- ☛ Comfortably heats very large open plan living areas
- ☛ Maximum 28kw output\*
- ☛ Magnificent heat and superior burn with a mighty cast iron firebox and finned heat exchanger
- ☛ Clean Air friendly
- ☛ Available in Metallic Black paint with stylish gold and black louvres
- ☛ Optional 3 Speed Fan for faster heat circulation and a Water Booster to link with your water cylinder to reduce power costs

\$	Grandview	Panorama	LE 7000
FIRE			
HEARTH			
FLUE			
INSTALLATION			
OPTIONS			
TOTAL			

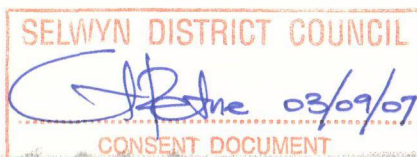
## Panorama

**PLEASE NOTE**  
This unit must be  
checked in the  
inspections are carried out.

- ☛ Stylish panoramic window design for a wider view of the flames
- ☛ Comfortably heats medium to large open plan areas
- ☛ Maximum 20kw output\*
- ☛ Superior heat from a fully lined cast iron firebox, finned heat exchanger and triple air combustion system
- ☛ Clean Air friendly
- ☛ Available in Matt Black (pictured) or Forest Green vitreous enamel
- ☛ Optional 3 Speed Fan for faster heat circulation and a Water Booster to link with your water cylinder to reduce power costs



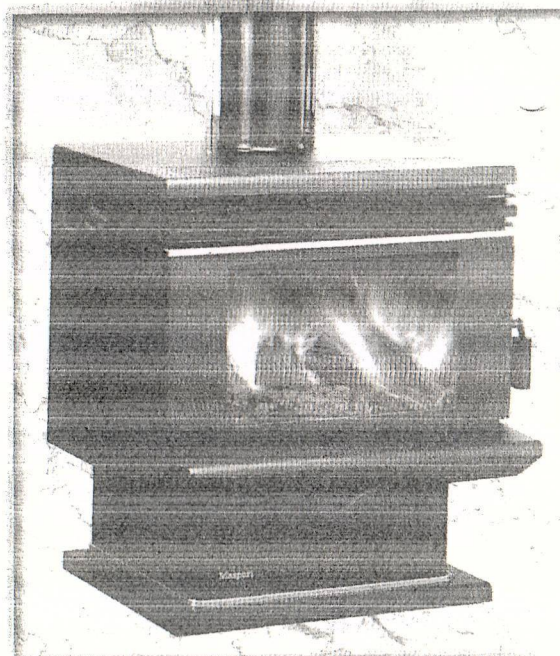
PANORAMA



R419563

## \* LE 7000

- ☛ Comfortably heats large sized rooms and open plan areas
- ☛ Maximum 24kw output\*
- ☛ Magnificent heat and superior burn with a mighty cast iron firebox and finned heat exchanger
- ☛ A fitted ash shelf reduces the hearth size requirement
- ☛ Clean Air friendly
- ☛ Available in Matt Black (pictured) enamel and also in Metallic Black paint
- ☛ Optional 3 Speed Fan for faster heat circulation and a Water Booster to link with your water cylinder to reduce power costs



LE 7000



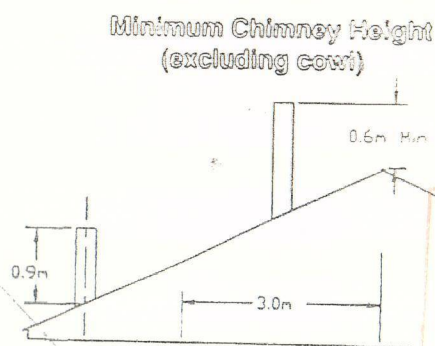
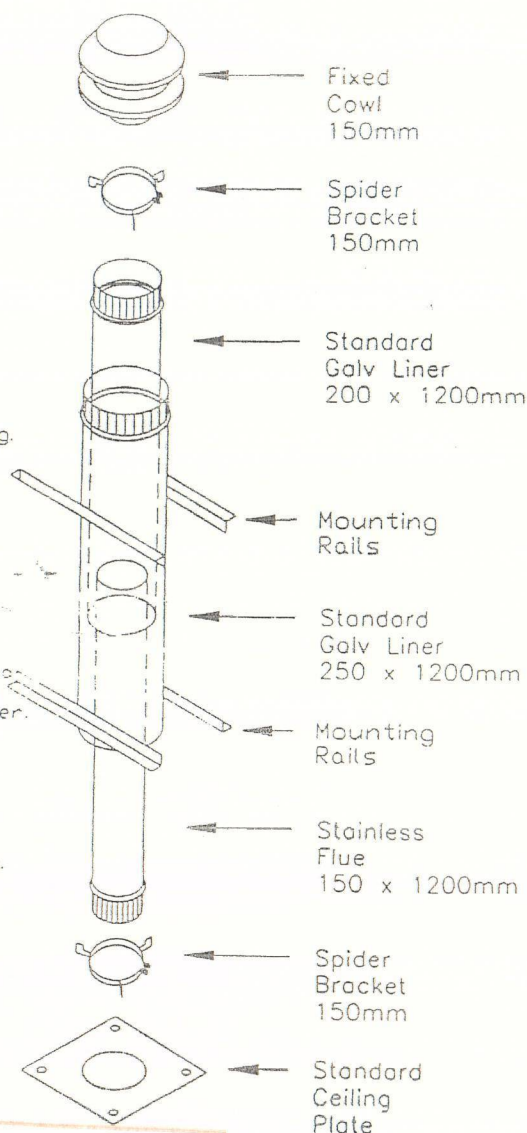
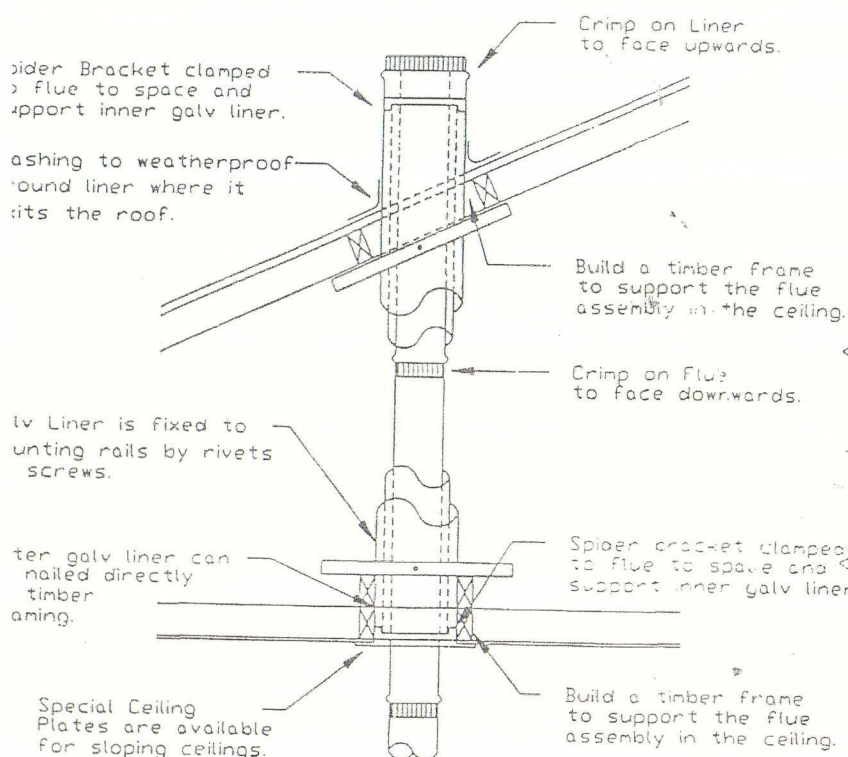
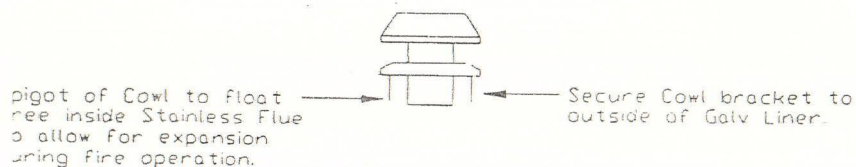
# #2003 150mm CEILING UP KIT DOUBLE SHIELDED

This Flue Kit must be installed by a suitably qualified tradesperson or a solid fuel heater installer. This Flue Kit complies with NZS 7401:1985 and NZS 7421: 1990

\* This Kit may require additional components to complete installation.

## Roof & Ceiling Installation

## Assembly List



Notes:

- ① Refer to your heater manufacturers recommendations for flue heights.
- ② Depending on local circumstances, taller chimneys may be required for satisfactory performance. Check with your local building authority.

R419563

SELWYN DISTRICT COUNCIL

## CONSENT DOCUMENT

29 AUG 2007



**Interim Code Compliance Certificate**
**R419563**
**Section 43(3), Building Act 1991**
**APPLICANT**

R J &amp; T C MUGFORD

76 SOUTH BELT MOFFAT DRIVE .

LINCOLN

CANTERBURY

Issue date

16/05/00

**Project**

Description	New Construction
	Being Stage 1 of an intended 1 Stages
	DWELLING ALTERATION & ADDITION
Intended Life	Indefinite, but not less than 50 years
Intended Use	DWELLING ALTERATION & ADDITION
Estimated Value	\$80,000
Location	76 SOUTH BELT, LINCOLN
Legal Description	PT LOT 1 DP 17721 LINCOLN TSHIP
Valuation No.	2404154900

The costs of issuing this interim Code Compliance Certificate and any subsequent final inspection, where carried out, will be invoiced separately.

This is an interim code compliance certificate in respect of part only, as specified in the following particulars, of the building work under the above building consent.

Further building work is required to be completed as detailed in the most recent building inspection site sheet. When all works are completed the building owner is required to notify the Territorial Authority where a further final inspection may be required to ensure compliance. When all building works approved under the above building consent comply, a full Code Compliance Certificate will be issued.

**Signed for and on behalf of the Council:**

Name:



**Date: May 16, 2000**





COMPUTER FREEHOLD REGISTER  
UNDER LAND TRANSFER ACT 1952



  
R. W. Muir  
Registrar-General  
of Land

Search Copy

Identifier **CB6B/1269**  
Land Registration District **Canterbury**  
Date Issued 31 August 1966

Prior References  
CB637/46

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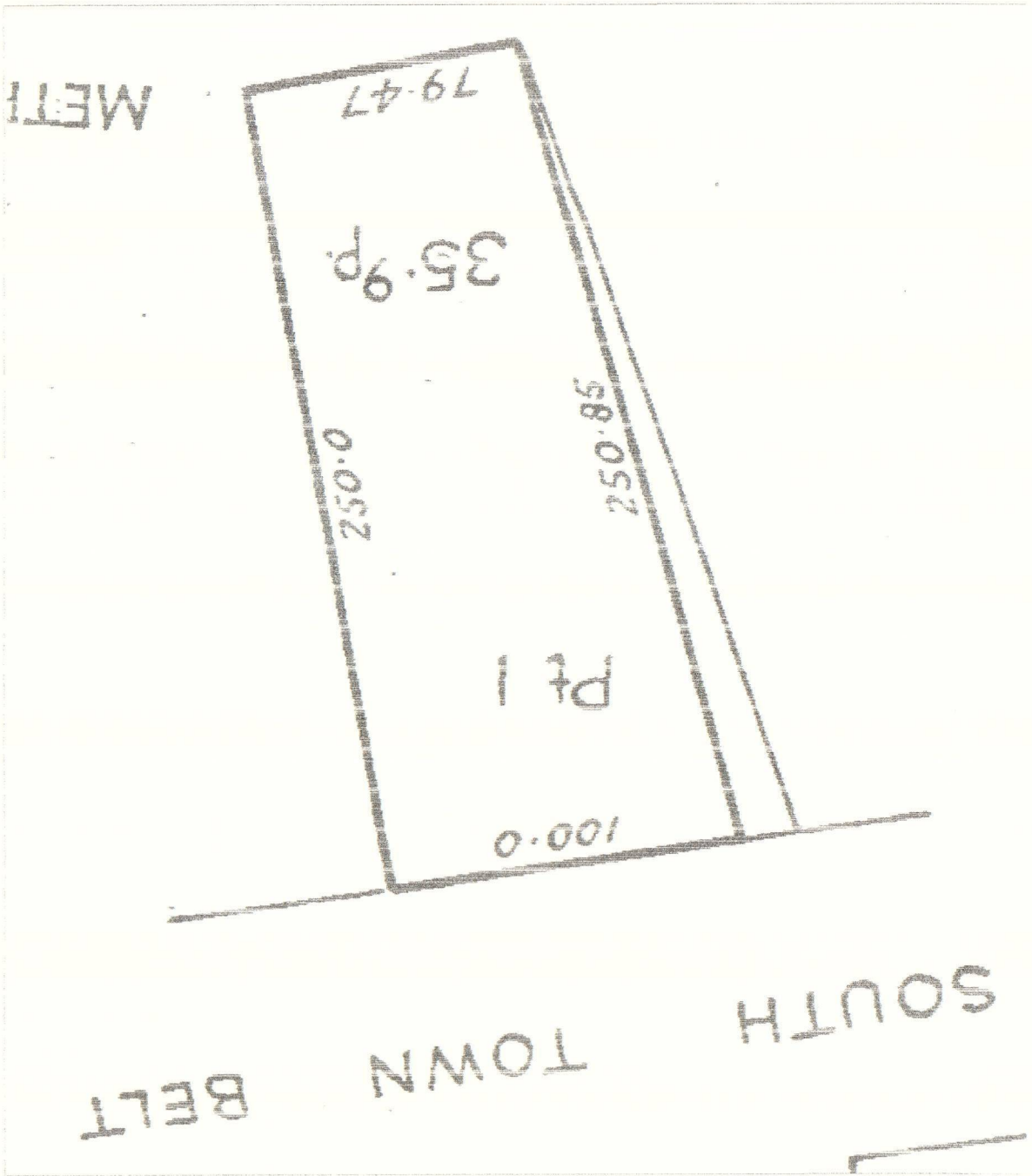
Estate Fee Simple  
Area 908 square metres more or less  
Legal Description Pan Lot 1 Deposited Plan 17721  
Proprietors  
Robert John Richard Mugford, Trudi Christine Mugford and Stuart Donald Watson

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Interests

Appurtenant hereto is a water easement contained in Deed of Easement 19098 (28 D 937)  
Fencing Provision in Transfer 691315 - 31.8.1966  
6078247.2 Mortgage to Bank of New Zealand - 14.7.2004 at 9:00 am





CB6B/1269

Identifier



## SPECIFIED SYSTEMS

24. The following specified systems are contained on the **compliance schedule** for the building and, in the opinion of the personnel who installed them, are capable of performing to the performance standards set out in the Building Consent: (List Specified Systems): (use additional pages if required)

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## SIGNATORY

25. ☐ I request that you issue a code compliance certificate for this work under Section 95 of the Building Act 2004.

26. The code compliance certificate should be sent to:-  
(unless otherwise advised the Code Compliance Certificate  
will be sent to the Agent/Applicant)

RJR & TC MUGFORD

76 MOFFAT DRIVE

LINCOLN 7608

27. Signed by or for and on behalf of the Applicant

*[Signature]*

28. Name of Person Signing:

Rob Mugford

29. Date:

10/9/2007

Note: if acting "for and on behalf", please read the following declaration before signing:- "I hereby declare that I am authorised to act as Agent / Applicant".

## ATTACHMENTS

30. The following documents are attached to this application:-

- ☒ Certificates from the personnel who carried out the work.

You are required to supply certificates from all of the Trades involved in your project, such certificates should include the following information:-

- ▶ Name, address, and contact phone numbers.
- ▶ Registration Number (where applicable).
- ▶ Building Consent number.
- ▶ Project site address, and scope of work.
- ▶ Name of the tradesperson who carried out the work.
- ▶ A statement confirming which NZ Building Code Clauses which the work complies with, and compliance with the Approved Building Consent Documents including any variations.
- ▶ The Certificate must be signed and dated by the tradesperson responsible for the work.

- ☒ Certificates that relate to the energy work (Electrical and Gasfitter).

- ☒ Evidence that specified systems are capable of performing to the performance standards set out in the Building Consent (Installers certification).

