



## CODE COMPLIANCE CERTIFICATE APPLICATION

SECTION 92 BUILDING ACT 2004

R419563

Private Bag 1, Leeston | Telephone (03) 324 5839 | Fax (03) 324 3531 | Web Site [www.selwyn.govt.nz](http://www.selwyn.govt.nz)

### THE BUILDING

(refer to your Rates Account for details)

Site Address: 76 NOFFAT DRIVE  
LINCOLN, 7608. Street /Road

Rapid Number: \_\_\_\_\_  
(Applies to Rural Properties Only)

Legal description: Part Lot 1 Deposited Plan  
17121

(This could include all or any of the following:- Lot, DP, Section, Block, or Township, etc.)

Valuation Roll Number: 24041-54900

Type of Building Work: Domestic Dwelling  
(Eg: Domestic Dwelling) Alterations/Additions

Project Information Memorandum No: R419563

1. Building Consent No: R419563

2. Building Consent Issued by (Name of Building Consent Authority):

SELWYN DISTRICT COUNCIL

### THE OWNER

3. Owner's Name: RJR & T C MUGFORD.  
(Company or name of organisation)

4. Contact Person: \_\_\_\_\_  
(If Owner is not an Individual)

5. Mailing Address: 76 NOFFAT DRIVE  
LINCOLN, 7608.

6. Street Address / Registered Office: as above.

7. Phone Numbers: \_\_\_\_\_ Mobile: \_\_\_\_\_  
Daytime: (03)3253405 After Hours: same.

8. Fax: \_\_\_\_\_

9. Email: \_\_\_\_\_

10. Website: \_\_\_\_\_

11. The following evidence of ownership is attached to this application:

Current Certificate of Title  
 Current Sale and Purchase Agreement

### AGENT / APPLICANT

(Contact Details MUST be in New Zealand)

12. Name of Agent: \_\_\_\_\_

13. Contact Person: \_\_\_\_\_

14. Mailing/Billing Address: \_\_\_\_\_

15. Street Address / Registered Office: \_\_\_\_\_

16. Phone Numbers: \_\_\_\_\_ Mobile: \_\_\_\_\_

Daytime: \_\_\_\_\_ After Hours: \_\_\_\_\_

17. Fax: \_\_\_\_\_

18. Email: \_\_\_\_\_

19. Website: \_\_\_\_\_

20.  Authorisation from Owner Attached.  
(Authorisation from the owner confirming authority)

21. Note: The Agent will be the first point of contact for communications with the Building Consent Authority regarding this Application and will receive all correspondence including all invoices.

For Office Use Only

## PERSONNEL

22. All Building Work to be carried out under the above Building Consent was completed on: \_\_\_\_\_

23. The Licensed Building Practitioner's who carried out the building work are as follows:  
(Please identify other tradespeople as appropriate)

Certificate Attached  
(Tick box)

Builder: GARY F. PASCOE

Address: 57 KENNEVYS BUSH ROAD

Phone: 3227717

Registration No:       

✓ Plumber: M.T. WRIGHT LTD

Address: 38 HALSWELL JUNCTION RD.

Phone: 021 336978

04685

Registration No:       

✓ Drainlayer: JIM MILNE DRAINLAVING

Address: 21 CONSTABLE PERCE HALSWELL

Phone: 3228017

Registration No: 240415400

07088

✓ Electrician: (STEVE MONOPOLY) EXEL ELECTRICAL LTD

Address: \_\_\_\_\_

Registration No: EB521

Gasfitter: M.T. WRIGHT LTD

Address: 38 HALSWELL JUNCTION RD.

Phone: 021 336978

Registration No: 04685

3492200

✓ Other: TEXTURE FX LTD + GREG INGLIS.

Address: 14 OAKWOOD MEWS PRESTON

Phone: 021 372373

Registration No:       

Other: COPELAND ROOFING - KEN COPELAND

Address: 11 CRYER ST SOUTH BRIDGE

Phone: 0274 319378

Registration No:       

Other: \_\_\_\_\_

Phone: \_\_\_\_\_

Address: \_\_\_\_\_

Registration No: \_\_\_\_\_

Other: \_\_\_\_\_

Phone: \_\_\_\_\_

Address: \_\_\_\_\_

Registration No: \_\_\_\_\_

Other: \_\_\_\_\_

Phone: \_\_\_\_\_

Address: \_\_\_\_\_

Registration No: \_\_\_\_\_

Other: \_\_\_\_\_

Phone: \_\_\_\_\_

Address: \_\_\_\_\_

Registration No: \_\_\_\_\_

Other: \_\_\_\_\_

Phone: \_\_\_\_\_

Address: \_\_\_\_\_

Registration No: \_\_\_\_\_

**COPY**

## Code Compliance Certificate

Section 43(3), Building Act 1991

### Application

R J & T C MUGFORD 76 MOFFAT DRIVE LINCOLN	No.	R419563
	Issue date	11/09/07

### Project

Description	New (& prebuilt) House, Unit, Bach, Crib, Town House etc.
	Being Stage 1 of an intended 1 Stages
	DWELLING ALTERATION & ADDITION
Intended Life	Indefinite, but not less than 50 years
Intended Use	DWELLING ALTERATION & ADDITION
Estimated Value	\$80,000
Location	76 MOFFAT DRIVE, LINCOLN
Legal Description	PT LOT 1 DP 17721 LINCOLN TSHIP
Valuation No.	2404154900

This is a final Code Compliance Certificate issued in respect of all the building work under the above building consent.

Signed for and on behalf of the Council:

Name:



Date: 30.9.07



# Certificate of Compliance for Domestic Electrical Work

No. D

714673

for prescribed electrical work that is carried out on electrical installations and that involves the placing or positioning or the replacing or repositioning of conductors (including fittings attached to those conductors).

No. of attachments

## CUSTOMER INFORMATION - PLEASE PRINT CLEARLY

Name of Customer

Rob MULFORD

Telephone

26 SOUTH BELL

Fax

Address of Installation

AS ABOVE

Postal Address of Customer (if not as above)

## WORK DETAILS

 No. of lighting outlets

 No. of ranges

Please tick (✓) as appropriate where work includes:

 No. of socket outlets

 No. of water heaters

 Main earth
Was any installation work carried out  
by a homeowner?
 Yes  No

 Switchboard

 Electric lines

Use sketch if necessary

Description Change mains to underground

New Switch - new meter box

## CERTIFICATION OF WORK

I certify that the above electrical work has been carried out in accordance with the requirements of the Electricity Act 1992 and Electricity Regulations 1997.

## ELECTRICAL WORKER DETAILS

Name

Steve Mongol

## CERTIFICATION OF ELECTRIC LINES

(to be completed where "Description of Work" includes "Electric Lines")

Name

Entered

Registration No.

63521

Registration No.

Entered

Company

Electrical

Company

Entered

Signature

Steve Mongol

Signature

Entered

Date

28-3-00

Date

Entered

## INSPECTION DETAILS

Electrical work requiring inspection by a registered electrical inspector

 New mains

 Switchboard

 Earthing system

 Installation work  
in hazardous areas

I certify that the inspection has been carried out in accordance with the requirements of the Electricity Regulations 1997.

Name

GA Chapman

Registration No.

I853

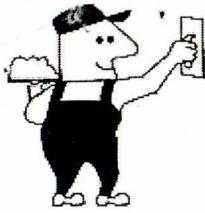
Signature

He

Date

28.3.20

**CUSTOMER COPY - THIS IS AN IMPORTANT DOCUMENT AND SHOULD BE RETAINED**



## Texture Fx Ltd

Greg Inglis  
14 Oakwood Mews  
Prebbleton 7604  
Christchurch  
03 3492200  
021 372373  
texturefx@gmail.com

### PRODUCER / CONSTRUCTION STATEMENT

Job Number : 20449  
Site Address : 76 Moffat Drive, Lincoln, Christchurch  
Building Owner : Mugford Residence  
Builder :  
Licensed Plasterer : Texture Fx Ltd  
Systems Used : Masonry Render System, EPS 40 Plus - 20mm Battens,  
Substrates Used : Concrete Block, 40mm EPS,  
Textures Used : Classico Swirl,  
Colours Used : COLINS WICKET (R)  
Start Date : 08-Jul-2007  
End Date : 14-Aug-2007  
Clauses and Further Information : Mono Render System used on existing block. EPS40 used on Extension to dwelling.

We the above firm have completed the above work in accordance with the New Zealand Building Code and the Rockcote Resene Limited Specifications.

Signed by Texture Fx Ltd

## MANUFACTURERS GUARANTEE

Job Number : 20449  
 Site Address : 76 Moffat Drive, Lincoln, Christchurch  
 Building Owner : Mugford Residence  
 Builder :  
 Licensed Plasterer : Texture Fx Ltd  
 Systems Used : Masonry Render System, EPS 40 Plus - 20mm Battens,  
 Substrates Used : Concrete Block, 40mm EPS,  
 Textures Used : Classico Swirl,  
 Colours Used : COLINS WICKET (R)  
 Start Date : 08-Jul-2007  
 End Date : 14-Aug-2007  
 Clauses and Further Information : Mono Render System used on existing block. EPS40 used on Extension to dwelling.

### Guarantee Periods :

Masonry Render System : - This system has a 15 Year Manufacturers Guarantee for product as per conditions below.  
 EPS 40 Plus - 20mm Battens : - This system has a 15 Year Manufacturers Guarantee for product as per conditions below.

The Manufacturer, Rockcote Resene Limited (herein after called "the Manufacturer") hereby guarantees:-

This guarantee is limited to necessary repairs arising from defects in the manufacture of any products manufactured by the manufacturer, affixed and applied in accordance with all specifications, installation directions, procedures and instructions established by the Manufacturer but does not include damage to or deterioration of the products caused by factors beyond the control of the Manufacturer. For example, but without limiting the foregoing factors damage or defects could be caused by:-

- Faulty Workmanship and/or materials by others.
- Damage caused by acts of God, for example earthquakes, flood, wind or storm damage.
- Damage caused by fire or unlawful acts.
- Damage caused by accidental or intentional impact.
- Damage caused by localised ground movement, including slips and subsidence.
- The manufacturer will not by virtue of this warranty be liable for any consequential, indirect or special damage or loss of any kind whatsoever.

### NOTE:

- The manufacturer accepts no Liability for damage caused to other surfaces products or property through water leakage or water penetration which occurs because of improper fixing of doors, windows or door and window flashings.
- This Guarantee extends to product only and does not include the making of any refunds or payments by the manufacturer.
- Please refer to Rockcote specifications which are to be read in conjunction with this Guarantee.
- This Guarantee shall meet the requirements of the current E2 including proposed changes to E2 AS1 & B2 Durability which complies with the New Zealand Building Code Performance B2.3
- The Guarantee is subject to maintenance requirements, if Vector 5 has been applied to balustrades/parapet area's, these areas are to be cleaned and maintained annually, over coated with Resene X-200 after the first two years and subsequently every five years there after .
- No liability is assumed or implied for project supervision or defects caused by improper installation of the system.

This Product is for application by Licensed Plasterers only. Product only applied in non-conformance with the product data sheet and installation manual or to non approved substrates will invalidate Rockcote's Guarantee.

*David Eathorne*  
 Signed By Manufacturer,  
 David Eathorne  
 NZ Operations Manager



## Texture Fx Ltd

Greg Inglis  
14 Oakwood Mews  
Prebbleton 7604  
Christchurch  
03 3492200  
021 372373  
texturefx@gmail.com

### LICENSED PLASTERER WARRANTY

Job Number : 20449  
Site Address : 76 Moffat Drive, Lincoln, Christchurch  
Building Owner : Mugford Residence  
Builder :  
Licensed Plasterer : Texture Fx Ltd  
Systems Used : Masonry Render System, EPS 40 Plus - 20mm Battens,  
Substrates Used : Concrete Block, 40mm EPS,  
Textures Used : Classico Swirl,  
Colours Used : COLINS WICKET (R)  
Start Date : 08-Jul-2007  
End Date : 14-Aug-2007  
Clauses and Further Information : Mono Render System used on existing block. EPS40 used on Extension to dwelling.

The Licensed Plasterer warrants that defects in the work carried out by the Licensed Plasterer arising within five years of the Completion Date recorded above and caused by faulty workmanship in the application of the Rockcote Resene Products ("RRP") or as a result of RRP being applied other than in accordance with the manufacturer's or supplier's specifications will be made good by the Licensed Plasterer and without cost to the Purchaser.

- The warranty will only apply if the Purchaser has made full payment for the supply and application of the RRP and thereafter will extend to subsequent owners of the property.
- The warranty will only apply where the defect is a direct result of faulty workmanship in the application of the RRP.
- The liability of the licensed plasterer is limited to remedying the defect in the workmanship and the licensed plasterer will not by virtue of this warranty be liable for any other damage, loss, liability, expense or any other loss of any kind whatsoever.
- The warranty will not apply to any repair or maintenance work if any such repair or maintenance work is done other than under the supervision of and subject to the inspection and approval of the Licensed Plasterer or Rockcote Resene Limited.
- Any remedial work carried out under this warranty will not extend the term of this warranty.

  
Signed by Texture Fx Ltd

# INSPECTION NOTICE

Inspections are to be booked by the owner or builder.

Name: RJ & TC Major Consent No: R419563  
 Site Address/Rapid No: 76 Mettak Drive, Lincoln Officer: Becky Collins  
 Type of building work: Attic to Attic - All ID Doherty Shell

On 10/9/2007 at am / pm this site was inspected pursuant to the Building Act 2004 [Section 222/230] and the Local Government Act 1974. [Section 710]. The purpose of the inspection was:

a	Siting & Founds	h	Bond Beam	o	Other
b	Slab	i	Blockfill	p	Resource Consent
c	Pre Wrap	j	Heating unit	q	Complaint/investigation
d	Post Wrap	k	Sanitary drainage	r	Compliance Schedule
e	Half height veneer	l	Stormwater drainage	s	WOF/ c/s audit
f	Preline/Plumbing	m	Pile/pole holes	t	<input checked="" type="checkbox"/> Final <input type="checkbox"/> Pass <input type="checkbox"/> Inspection <input type="checkbox"/> Fail
g	Post line bracing	n	Cladding	u	

BUILDING WORK  MAY PROCEED  MAY NOT PROCEED  REINSPECTION YES  NO

## INSPECTION NOTES:

- Note - The complete exterior has been replastered and painted with the garage end with a cavity system.
- Rest of the dwelling is solid block, this being replastered & painted.
- All walls above covered with a Predator Stabilised Contractor, stt wall completed to Rockcote Resene Limited specified by Texture Fix Ltd. - Licensed Applicati. by Rockcote.
- All cladding of the Building Consent house now been met

NOTE: A Code Compliance Certificate Application is required for 2004 Building Act Consents

Owner/Builder/Contractor confirms floor height is as recommended by Environment Canterbury

## INSTRUCTIONS

All work inspected is in accordance with the Building Consent

Satisfactory: Work may proceed when minor items above have been attended to

Some work is not satisfactory or is incomplete, as detailed above, and rectification is required.

A notice to fix will be issued

Notice to:	Contractor <input type="checkbox"/>	Owner <input checked="" type="checkbox"/>	Agent <input type="checkbox"/>	Occupier <input type="checkbox"/>	Signed: <u>Mark</u>
By:	Telephone <input type="checkbox"/>	Fax <input type="checkbox"/>	Posting <input type="checkbox"/>	Left on Site <input checked="" type="checkbox"/>	

ENTERED

EMERED

# INSPECTION NOTICE

Inspections are to be booked by the owner or builder.

 Name: RJ + TC Mugford. Consent No: R419563

 Site Address/Rapid No: 76 Moffat Drive Officer: \_\_\_\_\_  
Lincoln Name: Graff Stevenson

 Type of building work: Alterations and Additions. Domestic Cladding

 On 19/07 at am / pm this site was inspected pursuant to the Building Act 2004 [Section 222/230] and the Local Government Act 2004 [Section 174]. The purpose of the inspection was:-

a	Siting & Founds	h	Bond Beam	o	Other
b	Slab	i	Blockfill	p	Resource Consent
c	Pre Wrap	j	Heating unit	q	Complaint/investigation
d	Post Wrap	k	Sanitary drainage	r	Compliance Schedule
e	Half height veneer	l	Stormwater drainage	s	WOF/ c/s audit
f	Preline/Plumbing	m	Pile/pole holes	t	Final Inspection
g	Post line bracing	n	Cladding	u	<input checked="" type="checkbox"/> Pass <input checked="" type="checkbox"/> Fail

 BUILDING WORK  MAY PROCEED  MAY NOT PROCEED  RE-INSPECTION YES  NO 

## INSPECTION NOTES:

Flashing required. at top corners. on back wall where spouting ends.  
 Also on front wall where the old cladding system meets the new.  
 Control joints in place.

NOTE: A Code Compliance Certificate Application is required for 2004 Building Act Consents

 Owner/Builder/Contractor confirms floor height is as recommended by Environment Canterbury 

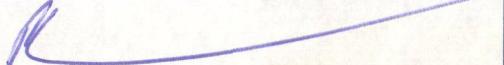
## INSTRUCTIONS

 All work inspected is in accordance with the Building Consent 

 Satisfactory: Work may proceed when minor items above have been attended to 

 Some work is not satisfactory or is incomplete, as detailed above, and rectification is required. 

 A notice to fix will be issued 

 Notice to: Contractor  Owner  Agent  Occupier  Signed:   
 By: Telephone  Fax  Posting  Left on Site

ENTREPRENEUR

# INSPECTION NOTICE

Inspections are to be booked by the owner or builder.

Name: R.J. & T.C. MUGFORD Consent No: 6 R419583  
 Site Address/Rapid No: 76 MOFFAT DRV. Officer: \_\_\_\_\_  
Lincoln Name: Darryl  
 Type of building work: ALTERATION to MAIN DWELLING  
 On 27/7/2007 at \_\_\_\_\_ am / pm this site was inspected pursuant to the  
 Building Act 2004 [Section 222/230] and the Local Government Act 1974. [Section 710]. The purpose of the inspection was:

a	Siting & Founds	h	Bond Beam	o	<input checked="" type="checkbox"/> Other	<u>Poly Fixing</u>
b	Slab	i	Blockfill	p	<input type="checkbox"/>	Resource Consent
c	Pre Wrap	j	Heating unit	q	<input type="checkbox"/>	Complaint/investigation
d	Post Wrap	k	Sanitary drainage	r	<input type="checkbox"/>	Compliance Schedule
e	Half height veneer	l	Stormwater drainage	s	<input type="checkbox"/>	WOF/ c/s audit
f	Preline/Plumbing	m	Pile/pole holes	t	<input type="checkbox"/> Final	<input type="checkbox"/> Pass
g	Post line bracing	n	Cladding	u	<input type="checkbox"/> Inspection	<input type="checkbox"/> Fail

 BUILDING WORK  MAY PROCEED  MAY NOT PROCEED  REINSPECTION YES  NO 

## INSPECTION NOTES:

- 40mm POLY SHEETS NEEDED @ 150% WITH 40mm PLASTIC WASHERS.
- ALL PLASTICINGS & HEADS JAMBS & SILLS IN PLACE WITH P.V.C GASKETS IN THE INTERNAL CORNERS.
- SPANNER STRIPS (CAVITY CLOSURES) IN PLACE. ALL SHEETS GLUED @ JOINTS.
- SOLID BLOCKING FOR FIXING IN PLACE.
- EXPANSION JOINT YET TO BE PUT IN PLACE.
- SOME CLEARANCE TO ACHIEVE @ FINAL GROUND LEVEL - FRONT ENTRANCE.
- WORKS @ COLUMNS, MONOLITHIC CHADING IN PLACE & CAVITY CLOSURES TO BOTTOM. - ± 50mm ABOVE FINISH FLOOR.

NOTE: A Code Compliance Certificate Application is required for 2004 Building Act Consents

 Owner/Builder/Contractor confirms floor height is as recommended by Environment Canterbury 

## INSTRUCTIONS

 All work inspected is in accordance with the Building Consent 

 Satisfactory: Work may proceed when minor items above have been attended to 

 Some work is not satisfactory or is incomplete, as detailed above, and rectification is required. 

 A notice to fix will be issued 

 Notice to: Contractor  Owner  Agent  Occupier  Signed: 

 By: Telephone  Fax  Posting  Left on Site

ENLARGED

# INSPECTION NOTICE

Inspections are to be booked by the owner or builder.

Name: R.J. & T.C. MUGFORD Consent No: R419563  
 Site Address/Rapid No: 76 MOFFAT, DEV. Officer: \_\_\_\_\_  
LINCOLN Name: Agrey

Type of building work: ALTERATION to MAIN Building

On 19/7/2007 at \_\_\_\_\_ am / pm this site was inspected pursuant to the Building Act 2004 [Section 222/230] and the Local Government Act 1974. [Section 710]. The purpose of the inspection was:-

a	Siting & Founds	h	Bond Beam	o	<input checked="" type="checkbox"/> Other <u>Cavity BATTENS</u>
b	Slab	i	Blockfill	p	<input type="checkbox"/> Resource Consent
c	Pre Wrap	j	Heating unit	q	<input type="checkbox"/> Complaint/investigation
d	Post Wrap	k	Sanitary drainage	r	<input type="checkbox"/> Compliance Schedule
e	Half height veneer	l	Stormwater drainage	s	<input type="checkbox"/> WOF/ c/s audit
f	Preline/Plumbing	m	Pile/pole holes	t	<input type="checkbox"/> Final Inspection
g	Post line bracing	n	<input checked="" type="checkbox"/> Cladding	u	<input type="checkbox"/> Pass <input type="checkbox"/> Fail

BUILDING WORK  MAY PROCEED  MAY NOT PROCEED  REINSPECTION YES  NO

INSPECTION NOTES: RE CLADDING OF BARRIER

WALLS

- Heavy Duty Building paper.
- 40x20 Polystyrene Cavity BATTENS.
- ± 100 x 40x20 Dovetail Battens on SLOPES
- Head Jamb & Sill Flashings in PLACE!

• Cavity closure yet to be put in place.

• All existing penetrations to be sealed & sealed through cavity & wrap.

• H3.1 Cavity BATTENS to main entrance columns & Heavy Duty Building paper.

NOTE: A Code Compliance Certificate Application is required for 2004 Building Act Consents

Owner/Builder/Contractor confirms floor height is as recommended by Environment Canterbury

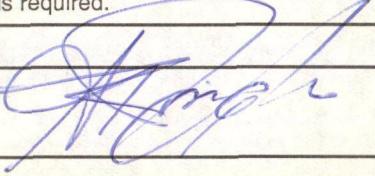
**INSTRUCTIONS**

All work inspected is in accordance with the Building Consent

Satisfactory: Work may proceed when minor items above have been attended to

Some work is not satisfactory or is incomplete, as detailed above, and rectification is required.

A notice to fix will be issued

Notice to:	Contractor <input checked="" type="checkbox"/>	Owner <input checked="" type="checkbox"/>	Agent <input type="checkbox"/>	Occupier <input type="checkbox"/>	Signed: 
By:	Telephone <input type="checkbox"/>	Fax <input type="checkbox"/>	Posting <input type="checkbox"/>	Left on Site <input type="checkbox"/>	

DEPARTMENT OF  
EDUCATION

# INSPECTION NOTICE

Inspections are to be booked by the owner or builder. A Code Compliance Certificate can only be issued following a satisfactory final inspection.

 Name: RJ & TC M. Ltd. Consent No: R419563  
 Site Address/Rapid No: 76. Moffat Drive Officer: Mark Collins

 Type of building work: Single Dwelling Attic. Add.

 On 21/2/2005 at pm this site was inspected pursuant to the Building Act 1991 [Section 77(1)] and the local government Act 1974. [Section 710]. The purpose of the inspection was:

a	Siting	h	Bond Beam	o	Other
b	Foundation	i	Blockfill	p	Resource Consent
c	Slab	j	Heating unit	q	Complaint/Investigation
d	Preline/Bracing	k	Sanitary drainage	r	Compliance Schedule
e	Plumbing	l	Stormwater drainage	s	WOF/ c/s audit
f	Post line bracing	m	Pile/pole holes	t	CCC full <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
g	Half height veneer	n	Swimming pool/fencing	u	CCC partial <input type="checkbox"/> No

 BUILDING WORK  MAY PROCEED  MAY NOT PROCEED  REINSPECTION  YES  NO 

## INSPECTION NOTES:

See below

All work is set out on an Inspection Sheet 16/5/2000 has been completed satisfactorily, except exterior plaster work.

The Council suggests that a 'Determination' is applied for from the Department of Building & Housing in regard to the Council's decision to decline to issue a Code F Compliance Certificate on the ground that the plaster work does not comply with the requirements of the Building Code.

Council will forward the appropriate form on request.

Not Declined is excluded from this building consent's area. Wall will be covered by a new building addition.

 Owner/Builder/Contractor confirms floor height is as recommended by Environment Canterbury 

## INSTRUCTIONS

All work inspected is in accordance with the Building Consent.

Satisfactory: Work may proceed when minor items above have been attended to.

Some work is not satisfactory or is incomplete, as detailed above, and rectification is required.

A formal notice to rectify will be issued.

**ENTERED**

 DATE 22/2 BY SD

Notice to:	Contractor <input type="checkbox"/>	Owner <input checked="" type="checkbox"/>	Agent <input type="checkbox"/>	Occupier <input type="checkbox"/>	Signed: <u>Mark Collins</u>
By:	Telephone <input type="checkbox"/>	Fax <input type="checkbox"/>	Posting <input type="checkbox"/>	Left on Site <input type="checkbox"/>	





# NOTICE OF INSPECTION

Page 1-2

Owners Name: Mugford Rel T. Consent No. 2419563  
 Site Address: 76 South Belt. Officer: Mr. all  
Lincoln Name: David  
 Type of Building: Dwelling alteration & addition

Advice to the Owner/Agent/Occupier/Contractor by  Direct Notification  Leaving on site  
 Telephone contact  Posting FAX

On 16/5/20 at 10:30 am/pm this site was inspected pursuant to the Building Act 1991 [Section 77(1)] and the Local Government Act 1974. [Section 710]

The purpose of the Inspection was:  Structure  Sanitary Plumbing  Sanitary Drainage

Siting  
 Foundation  
 Slab  
 Preline/Bracing  
 Post Lining Bracing  
 Half Height Veneer

Bondbeam  
 Heating Unit  
 Pile/Pole Holes  
 Swimming Pool  
 Stormwater  
 Other (Specify)

Resource Consent  
 Complaint  
 Compliance Schedule  
 WOF Monitoring  
 Final  
 CCC Issue - Yes  No  Partial

BUILDING WORK:  MAY PROCEED  MAY NOT PROCEED REINSPECTION:  YES  NO

INSPECTION NOTES:

Initial inspection: (Partial).

Internal inspection: Plumbing: Bathrooms, Kitchen, Laundry.

**ENTERED**

Extraction = Rangehood.  
HVAC: & seismic ties 2x.  
Tempering Valves: 2x.  
Wet areas: Walls & floors.

Ceilings check.

Insulation, Downlights & others:

External check:

External glid. concrete block.  
& solid Plastering: Hardie Backer.  
Storm water discharge.  
Gullies & waste pipes.  
Ground levels: & paved areas.

Outstanding work and Rectification work:

① Stucco Plastering over Hardie backer: proposed as per plan: Please complete, soon as possible or erect hardie backer with paint sealant.

Owner/Builder/Contractor confirms floor height is as recommended by CRC

**NEXT PAGE**

## INSTRUCTIONS:

All work inspected is in accordance with the Building Consent.

Some work is not satisfactory or is incomplete, as detailed above, and rectification is required.

A formal notice to rectify will be issued.

SIGNED: Contractor/Owner/Agent/Occupier: Mr. David

ЕНДЕРЕЦ



# NOTICE OF INSPECTION

Page 2:

Owners Name: Mugford R & TConsent No. RL119563Site Address: 760 South Bolt:  
LincolnOfficer: McAllType of Building: Dwelling alteration & additionName: David

Advice to the Owner/Agent/Occupier/Contractor by

Direct Notification     Leaving on site  
 Telephone contact     Posting

On 16/5/20 at 10.30 am/pm this site was inspected pursuant to the Building Act 1991 [Section 77(1)] and the Local Government Act 1974. [Section 710]

The purpose of the Inspection was:  Structure     Sanitary Plumbing     Sanitary Drainage

- Siting
- Foundation
- Slab
- Preline/Bracing
- Post Lining Bracing
- Half Height Veneer

- Bondbeam
- Heating Unit NITD
- Pile/Pole Holes
- Swimming Pool
- Stormwater
- Other (Specify)

- Resource Consent
- Complaint
- Compliance Schedule
- WOF Monitoring
- Final
- CCC Issue - Yes  No  Partial

BUILDING WORK:  MAY PROCEED     MAY NOT PROCEEDREINSPECTION:  YES  NO

INSPECTION NOTES:

Final inspection Partial:  
 1) To protect inside insulation and wall linings: The paint will cover for temporary time: of 2-3 months only. Please notify council on your decision. 2) Down lights to be clear of insulation sides and top of. 3) Gully trap allowing waste pipe through large hole cut out not as per spec required; hole same size as waste and sealed round. (Remove and replace). 4) Bathroom floor to be sealed or sealed. (Tiled to be completed). 5) Stormwater discharge from garage roof. 6) Hot water cylinder level floor bedroom requires some tie to wall.

Please note: Solid fuel heater to be installed in rear fireplace: (Spec's to be supplied). and inspection before flightup.  
 For any further enquiries please ring the Leeston Office.

7d David

Some minor window - doors non (structural)

Owner/Builder/Contractor confirms floor height is as recommended by CRC 

## INSTRUCTIONS:

All work inspected is in accordance with the Building Consent

Some work is not satisfactory or is incomplete as detailed above, and rectification is required.

A formal notice to rectify will be issued.

SIGNED: Contractor/Owner/Agent/Occupier:

DA On behalf

ENTERED

RECEIVED

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# NOTICE OF INSPECTION

 Owners Name: R D & Tc Muffers

 Consent No. 2419563

 Site Address: 76 South Belt  
Lincoln

 Officer: R. D. Muffers  
 Name: R. D. Muffers

 Type of Building: Residential

Advice to the Owner/Agent/Occupier/Contractor by

Direct Notification     Leaving on site  
 Telephone contact     Posting

 On 21/6/15 at 1.15 am/pm this site was inspected pursuant to the Building Act 1991 [Section 77(1)] and the Local Government Act 1974. [Section 710]

 The purpose of the Inspection was:  Structure     Sanitary Plumbing     Sanitary Drainage

Siting  
 Foundation  
 Slab  
 Preline/Bracing  
 Post Lining Bracing  
 Half Height Veneer

Bondbeam  
 Heating Unit  
 Pile/Pole Holes  
 Swimming Pool  
 Stormwater  
 Other (Specify)

Resource Consent  
 Complaint  
 Compliance Schedule  
 WOF Monitoring  
 Final  
 CCC Issue - Yes     No     Partial

 BUILDING WORK: MAY PROCEED    MAY NOT PROCEED    REINSPECTION: YES  NO

INSPECTION NOTES:

Solid Duct Vent  
inspected

All work is in accordance  
with the manufacturer's  
instructions.

Okay to use  
2015

 Owner/Builder/Contractor confirms floor height is as recommended by CRC 
**INSTRUCTIONS:**

All work inspected is in accordance with the Building Consent.

Some work is not satisfactory or is incomplete, as detailed above, and rectification is required.

A formal notice to rectify will be issued.

 SIGNED: Contractor/Owner/Agent/Occupier: R. D. Muffers

**ENTERED**

ОЗЕРКИ

# NOTICE OF INSPECTION

 Owners Name: R.J. STC MUGFORD

 Consent No. R419563

 Site Address: 76 5TH STREET  
LINCOLN

 Officer: GUARIN

Name: \_\_\_\_\_

 Type of Building: ALTERATIONS & ADDITIONS TO THE DWELLING

Advice to the Owner/Agent/Occupier/Contractor by

<input checked="" type="checkbox"/>	Direct Notification	<input type="checkbox"/>	Leaving on site
<input type="checkbox"/>	Telephone contact	<input type="checkbox"/>	Posting

 On 07/31/2000 at 8-30 am/pm this site was inspected pursuant to the Building Act 1991 [Section 77(1)] and the Local Government Act 1974. [Section 710]

 The purpose of the Inspection was:  Structure  Sanitary Plumbing  Sanitary Drainage

<input type="checkbox"/>	Siting	<input type="checkbox"/>	Bondbeam	<input type="checkbox"/>	Resource Consent
<input type="checkbox"/>	Foundation	<input type="checkbox"/>	Heating Unit	<input type="checkbox"/>	Complaint
<input type="checkbox"/>	Slab	<input type="checkbox"/>	Pile/Pole Holes	<input type="checkbox"/>	Compliance Schedule
<input checked="" type="checkbox"/>	Preline/Bracing	<input type="checkbox"/>	Swimming Pool	<input type="checkbox"/>	WOF Monitoring
<input type="checkbox"/>	Post Lining Bracing	<input type="checkbox"/>	Stormwater	<input type="checkbox"/>	Final
<input type="checkbox"/>	Half Height Veneer	<input type="checkbox"/>	Other (Specify)	<input type="checkbox"/>	CCC Issue - Yes No Partial

 BUILDING WORK: MAY PROCEED MAY NOT PROCEED

 REINSPECTION: YES NO

 INSPECTION NOTES: 2<sup>ND</sup> STAGE.
MOISTURE content 15%
BATS placed in walls most areas.

\* 40mm poly/ps to be fitted to exterior wall framing where GIB-board removed as discussed with builder on site.

Ceiling. Bats yet to complete.
Bottom. Little bats to complete

66 half panes for backline sheet to position as discussed.

Then passed for lining

 Owner/Builder/Contractor confirms floor height is as recommended by CRC 
**ENTERED**
**INSTRUCTIONS:**

All work inspected is in accordance with the Building Consent.

Some work is not satisfactory or is incomplete, as detailed above, and rectification is required.

A formal notice to rectify will be issued.

 SIGNED: Contractor/Owner/Agent/Occupier: John Rossiter

✓

СЕКРЕТИ

# NOTICE OF INSPECTION

 Owners Name: A.J.T.C. MUGFORD

 Consent No. A419563

 Site Address: 76 SWAN BECT  
LINCOLN

 Officer: P. GASKIN

Name: \_\_\_\_\_

 Type of Building: Dwelling alterations.

Advice to the Owner/Agent/Occupier/Contractor by

 Direct Notification  
 Telephone contact

 Leaving on site  
 Posting

 On 30/11/99 at 8-30 am/pm this site was inspected pursuant to the Building Act 1991 [Section 77(1)] and the Local Government Act 1974. [Section 710]

 The purpose of the Inspection was:  Structure  Sanitary Plumbing  Sanitary Drainage

Heating Unit
Siting
Foundation
<input checked="" type="checkbox"/> Slab
Bondbeam
Half Height Veneer

<input checked="" type="checkbox"/> Preline/Bracing
<input checked="" type="checkbox"/> Post Lining Bracing
<input checked="" type="checkbox"/> Stormwater
<input checked="" type="checkbox"/> Final
<input checked="" type="checkbox"/> Compliance Schedule
<input checked="" type="checkbox"/> WOF Monitoring

<input checked="" type="checkbox"/> Swimming Pool
<input checked="" type="checkbox"/> Pile/Pole Holes
<input checked="" type="checkbox"/> Complaint
<input checked="" type="checkbox"/> Other (Specify)
<input checked="" type="checkbox"/> Resource Consent
CCC Issue - Yes   No   Partial

 BUILDING WORK: MAY PROCEED MAY NOT PROCEED REINSPECTION: YES NO

INSPECTION NOTES:

*Patio / Court yard)*

*DPC under slab area*

*D/10 floor STARTER in position*

*D/12 vertical B.C. STARTERS in place*

*668 mesh in place*

*Passed for concrete placement*

*NOTE. Building Paper behind hardbacker.*

*PRELINE*

*moisture 16% to 17%*

*\* Batts to back in walls & ceiling*

*\* 6kw. connections studs/bottom plates to complete*

*All metal Brackets & bottom plate*

*Brackets in position*

*Plumbing cylinder / tank. Check it twice*

*\* Then passed to leave*

**ENTERED**

 Owner/Builder/Contractor confirms floor height is as recommended by CRC 
**INSTRUCTIONS:**

All work inspected is in accordance with the Building Consent.

Some work is not satisfactory or is incomplete, as detailed above, and rectification is required.

Formal notice to rectify will be issued.

*Passed*

SIGNED: Contractor/Owner/Agent/Occupier: \_\_\_\_\_

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ЕНДІД

# NOTICE OF INSPECTION

 Owners Name: R.J.T.C. MUGFORD

 Consent No. A419563

 Site Address: 76 STH Beck  
Lincoln

 Officer: G.CARKIN

Name: \_\_\_\_\_

 Type of Building: Dwelling ALTERATIONS & ADDITIONS

Advice to the Owner/Agent/Occupier/Contractor by

 Direct Notification  
 Telephone contact  Leaving on site  
 Posting

 On 06/10/99 at 3-30 am/pm this site was inspected pursuant to the Building Act 1991 [Section 77(1)] and the Local Government Act 1974. [Section 710]

 The purpose of the Inspection was:  Structure  Sanitary Plumbing  Sanitary Drainage

Heating Unit  
 Siting  
 Foundation  
 Slab  
 Bondbeam  
 Half Height Veneer

Preline/Bracing  
 Post Lining Bracing  
 Stormwater  
 Final  
 Compliance Schedule  
 WOF Monitoring

Swimming Pool  
 Pile/Pole Holes  
 Complaint  
 Other (Specify)  
 Resource Consent  
 CCC Issue - Yes  No  Partial

 BUILDING WORK:  MAY PROCEED  MAY NOT PROCEED REINSPECTION:  YES  NO

INSPECTION NOTES:

DL under Sink.

3/10 Floor Starters at  
Waste pipes. (agger)

668 next Full Slab = Area

(Existing Foundation)

Floor Starters. At 600cc into new  
Addition slab with 1012 horizontal run  
on top of THESE starters 100mm out from  
Foundation

PRODUCER STATEMENT FOR FOUNDATION  
FOR COUNCIL AS DISCUSSED (was booked RELEASE)

NOTE

foundation (has exposed)

2/16. Ross.

16 Starters at 600cc  
3/10. Floor Starters at 600cc

Owner/Builder/Contractor confirms floor height is as recommended by CRC

**RECEIVED**

## INSTRUCTIONS:

All work inspected is in accordance with the Building Consent.

Some work is not satisfactory or is incomplete, as detailed above, and rectification is required.

A formal notice to rectify will be issued.

SIGNED: Contractor/Owner/Agent/Occupier: J. P. Packer

REF ID: A11294

# NOTICE OF INSPECTION

 Owners Name: R.J. & T.C. MUFFORD

 Consent No. R419563

 Site Address: 76 South Belt  
LINCOLN.

 Officer: C.GARKIN

Name: \_\_\_\_\_

 Type of Building: ADDITION TO THE DWELLING.

Advice to the Owner/Agent/Occupier/Contractor by

<input checked="" type="checkbox"/>	Direct Notification	<input type="checkbox"/>	Leaving on site
	Telephone contact	<input type="checkbox"/>	Posting

 On 26/11/99 at 11-30 am/pm this site was inspected pursuant to the Building Act 1991 [Section 77(1)] and the Local Government Act 1974. [Section 710]

 The purpose of the Inspection was:  Structure  Sanitary Plumbing  Sanitary Drainage

Heating Unit	Preline/Bracing	Swimming Pool
Siting	Post Lining Bracing	Pile/Pole Holes
<input checked="" type="checkbox"/> Foundation	Stormwater	Complaint
Slab	Final	Other (Specify)
Bondbeam	Compliance Schedule	Resource Consent
Half Height Veneer	WOF Monitoring	CCC Issue - Yes No Partial

 BUILDING WORK: MAY PROCEED MAY NOT PROCEED REINSPECTION: YES  NO

 INSPECTION NOTES: STAGE 2.

\* Patio 2/16 Rols R6 STIRRULS at 600cc  
 \* BLK. STARTERS D/12. AT 800cc per  
 \* 10 position  
 \* 2/10 floors at 600cc to position  
 \* 6x8 mesh for Patio over DPC  
 (note it was rooted)

Lounge & Entry.

R/6. 3/12 has been over 600 in height  
5 spacers at 600cc   
2/16 rols R6 STIRRULS along  
main wall  
note to be Timber Sub-Floor etc  
assess to continue

Owner/Builder/Contractor confirms floor height is as recommended by CRC

**INSTRUCTIONS:**

All work inspected is in accordance with the Building Consent.

Some work is not satisfactory or is incomplete, as detailed above, and rectification is required.

A formal notice to rectify will be issued.

SIGNED: Contractor/Owner/Agent/Occupier: J. G. Vascon

# NOTICE OF INSPECTION

 Owners Name: R.J. & T.C. MUGFORD

 Consent No. R419563

 Site Address: 76 SIXTH BELL  
LINCOLN.

 Officer: G. GALLIN

Name: \_\_\_\_\_

 Type of Building: ADDITION TO THE DWELLING.

Advice to the Owner/Agent/Occupier/Contractor by

Direct Notification  
 Telephone contact  Leaving on site  
 Posting

 On 27/10/99 at 8-30 am/pm this site was inspected pursuant to the Building Act 1991 [Section 77(1)] and the Local Government Act 1974. [Section 710]

 The purpose of the Inspection was:  Structure  Sanitary Plumbing  Sanitary Drainage

Heating Unit  
 Siting  
 Foundation  
 Slab  
 Bondbeam  
 Half Height Veneer

Preline/Bracing  
 Post Lining Bracing  
 Stormwater  
 Final  
 Compliance Schedule  
 WOF Monitoring

Swimming Pool  
 Pile/Pole Holes  
 Complaint  
 Other (Specify)  
 Resource Consent  
 CCC Issue - Yes No Partial

BUILDING WORK:

MAY PROCEED
MAY NOT PROCEED

REINSPECTION:

YES
NO

INSPECTION NOTES:

DRAINS ON CLOUTED METAL  
BUTT WELDED TO PLASTER  
PASSED TO BACK FLOOR

ENTERED  
 DATE

 Owner/Builder/Contractor confirms floor height is as recommended by CRC 
**INSTRUCTIONS:**

All work inspected is in accordance with the Building Consent.

Some work is not satisfactory or is incomplete, as detailed above, and rectification is required.

A formal notice to rectify will be issued.

SIGNED: Contractor/Owner/Agent/Occupier: \_\_\_\_\_

# NOTICE OF INSPECTION

Owners Name: R. J. & T. C. Mugford Consent No. R419563  
 Site Address: 76 Southgate  
Lincoln Officer: Markin  
 Name: \_\_\_\_\_

Type of Building: ALTERATIONS TO DWELLING

Advice to the Owner/Agent/Occupier/Contractor by  Direct Notification  Leaving on site  
 Telephone contact  Posting

On 13/14/2000 at 9:30 am/pm this site was inspected pursuant to the Building Act 1991 [Section 77(1)] and the Local Government Act 1974. [Section 710]

The purpose of the Inspection was:  Structure  Sanitary Plumbing  Sanitary Drainage

<input type="checkbox"/> Siting	<input type="checkbox"/> Bondbeam	<input type="checkbox"/> Resource Consent
<input type="checkbox"/> Foundation	<input type="checkbox"/> Heating Unit	<input type="checkbox"/> Complaint
<input type="checkbox"/> Slab	<input type="checkbox"/> Pile/Pole Holes	<input type="checkbox"/> Compliance Schedule
<input type="checkbox"/> Preline/Bracing	<input type="checkbox"/> Swimming Pool	<input type="checkbox"/> WOF Monitoring
<input type="checkbox"/> Post Lining Bracing	<input type="checkbox"/> Stormwater	<input type="checkbox"/> Final
<input checked="" type="checkbox"/> Half Height Veneer	<input type="checkbox"/> Other (Specify) _____	<input type="checkbox"/> CCC Issue - Yes <input type="checkbox"/> No <input type="checkbox"/> Partial

BUILDING WORK: MAY PROCEED  MAY NOT PROCEED  REINSPECTION: YES  NO

INSPECTION NOTES:

*Bonding later please*  
*MAINTAIN AROUND EXTERIOR JOINERY*  
*AS DISCUSSED WITH CONTRACTOR ON SITE*  
*\* PART TO COMPLETE*  
*Cavity 60mm*  
*Block brick ties & screws in position*

*Passed to continue*

**ENTERED**

Owner/Builder/Contractor confirms floor height is as recommended by CRC

## INSTRUCTIONS:

All work inspected is in accordance with the Building Consent.

Some work is not satisfactory or is incomplete, as detailed above, and rectification is required.

A formal notice to rectify will be issued.

SIGNED: Contractor/Owner/Agent/Occupier: R. J. & T. C. Mugford

SEARCHED

# NOTICE OF INSPECTION

 Owners Name: MUGFORD

 Consent No. A419563

 Site Address: 76 STK BKT

 Officer: Quinton
Lincoln

Name: \_\_\_\_\_

 Type of Building: ALTERATION TO DWELLING

Advice to the Owner/Agent/Occupier/Contractor by

Direct Notification  
 Telephone contact

Leaving on site  
 Posting

 On 22/3/2004 at 8:45 am/pm this site was inspected pursuant to the Building Act 1991 [Section 77(1)] and the Local Government Act 1974. [Section 710]

 The purpose of the Inspection was:  Structure  Sanitary Plumbing  Sanitary Drainage

Siting  
 Foundation  
 Slab  
 Preline/Bracing  
 Post Lining Bracing  
 Half Height Veneer

Bondbeam  
 Heating Unit  
 Pile/Pole Holes  
 Swimming Pool  
 Stormwater  
 Other (Specify)

Resource Consent  
 Complaint  
 Compliance Schedule  
 WOF Monitoring  
 Final  
 CCC Issue - Yes  No  Partial

 BUILDING WORK: MAY PROCEED MAY NOT PROCEED REINSPECTION: YES  NO

INSPECTION NOTES:

concrete G3 noting as discussed  
then passed to plaster

NOTE

Cylinder & stem have yet  
to install

**ENTERED**

 Owner/Builder/Contractor confirms floor height is as recommended by CRC 
**INSTRUCTIONS:**

All work inspected is in accordance with the Building Consent.

 Some work is not satisfactory or is incomplete, as detailed above, and rectification is required. 

A formal notice to rectify will be issued.

 SIGNED:  Contractor/Owner/Agent/Occupier

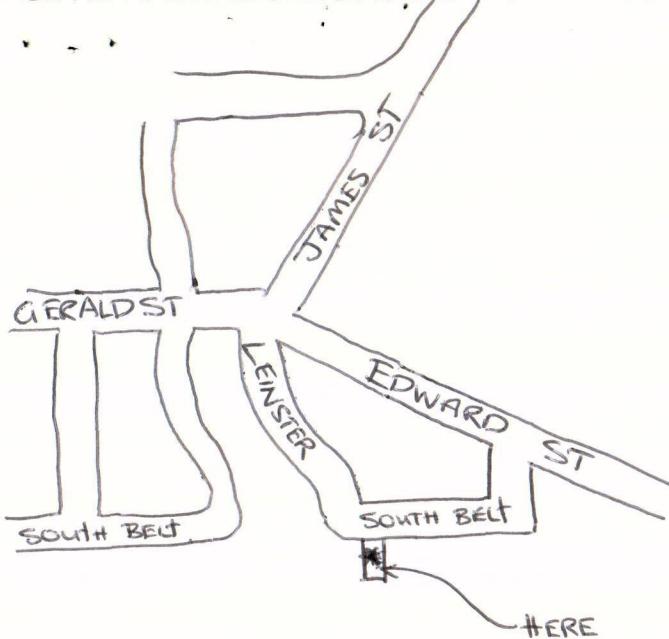
*J.S. Paton*

ENTERED





# LOCATION MAP GIVING DIRECTIONS TO BUILDING SITE



LINCOLN.

## FOR OFFICE USE ONLY

Owners Name RJ + TC Mugford. Consent No RJ19563.  
 Site Address 76 South Belt, Lincoln Valuation No 24001549100  
 Type of Building Work Drug Addition. Officer DJC.

## FEES (Incl GST)

	Receipt No.	Date
Building Consent/PIM deposit	<u>100.00</u>	<u>30/3/99</u>
Building Research Levy	<u>80.00</u>	
Building Industry Authority Levy	<u>52.00</u>	
Fees paid for issue of Consent		

## REFERRALS

	Signature	Date In	Date Out
Environmental Health Officer	<u>Shanninney</u>	<u>31.3.99</u>	<u>OK when PHL &amp; PI nominated.</u>
Engineering Consultant			
Fire Consultant			
Building Officer			

## RESOURCE CONSENTS

Selwyn District Council	<b>TRUSS CERT REQ.</b> <input checked="" type="checkbox"/>	Approved
Canterbury Regional Council	<b>DATED:</b> <u>3/4/99</u>	
	<b>RECEIVED:</b> _____	<input type="checkbox"/>

## CODE COMPLIANCE CERTIFICATE

APPROVAL FOR ISSUE \_\_\_\_\_ Signature \_\_\_\_\_ RJ19563

## CONDITIONS

C<sub>1</sub> C<sub>4</sub> C<sub>5</sub> C<sub>7</sub> C<sub>16</sub> C<sub>7</sub> C<sub>8</sub> C<sub>9</sub> C<sub>10</sub> C<sub>11</sub> C<sub>14</sub> C<sub>15</sub>,  
C<sub>33</sub> C<sub>34</sub> C<sub>35</sub> C<sub>36</sub>, C<sub>37</sub>, C<sub>38</sub>, C<sub>39</sub> C<sub>41</sub>,  
Require Sp. I. Fuel details before final inspection.  
is backed.

C<sub>12</sub>

## SITE INSPECTION / NOTES / NOTICE TO RECTIFY



HIGH STREET, LEESTON  
PRIVATE BAG 1, LEESTON  
PH: (03) 324-8080 FAX: (03) 324-3531

REF No.....

## Building Consent

**R419563**

**Section 35, Building Act 1991**

**amended 29/03/07.**

### Application

R J & T C MUGFORD 76 MOFFAT DRIVE LINCOLN	No.	R419563
	Issue date	13/09/99
	Application date	30/03/99
	Overseer	Robert Coulter - Retired Code

### Project

Description	New (& prebuilt) House, Unit, Bach, Crib, Town House etc. Being Stage 1 of an intended 1 Stages DWELLING ALTERATION & ADDITION
Intended Life	Indefinite, but not less than 50 years
Intended Use	DWELLING ALTERATION & ADDITION
Estimated Value	\$80,000
Location	76 MOFFAT DRIVE, LINCOLN
Legal Description	PT LOT 1 DP 17721 LINCOLN TSHIP
Valuation No.	2404154900

### COUNCIL CHARGES

This consent will be issued when the invoiced costs are paid in full. Where any work fails to meet required standards a re-inspection of that work may be required. Costs associated with that re-inspection will be invoiced separately on a time and cost basis.

This building consent is a consent under the Building Act 1991 to undertake building work in accordance with the attached plans and specifications so as to comply with the provisions of the building code. It is not a consent under the Resource Management Act and does not affect any duty or responsibility under any other Act nor permit any breach of any other Act.

**This amendment issued 29/03/07 covers the removal of the existing exterior Stucco cladding and the re-cladding with EIFS to the exterior of the dwelling.**

**Signed for and on behalf of the Council:**

**Name:**

**Date:**

**11/4/07.**

## INFORMATION TO APPLICANT/OWNER

1. **PLEASE NOTE:** In terms of the Building Act you MUST BY LAW give:
  - (a) At least 2 working days notice of the intended commencement of construction.
  - (b) Advise that an inspection is required at least one working day (24 hours) before the inspection is to be carried out and prior to 4.00pm that day.
2. ALL inspections are to be booked through the Leeston Service Centre of Selwyn District Council. Ph. 324 8080 Extn. 848 (Christchurch calling area) or 318 8338 Extn. 848 (Darfield calling area).
3. The complete set of Building plans and specifications as approved for the issue of this consent (stamped) **MUST** be on site at ALL times when inspections are being carried out.
4. This Building Consent is issued subject to any condition or requirement set out in the associated Project Information Memorandum.
5. This Building Consent shall lapse and be of no effect if the building work concerned has not been commenced within six calendar months after the date of issue of the consent.
6. Builders and applicants for building consents are advised that it is necessary to provide construction workers on site with readily accessible toilet facilities. Failure to meet this request will result in Council taking action under the Health Act against any person identified as responsible for creating insanitary conditions.
7. **NOTE:** These should not necessarily be taken as individual inspections and may be requested in any combination as they are made ready.

This building consent is issued subject to the conditions specified in the attached page(s) headed Conditions of Building Consent.

Selwyn District Council Officers will carry out the following inspections:

26/1 C4 Excavation for foundations.

10/91 C5 Reinforcing steel in foundation before concrete is poured.

10/91 C6 DPC/mesh/waste pipes to floor slab before concrete is poured.

C16 Covering up of any subfloor insulation, fixings and bracing (may require subfloor access point).

C7 Closing in of any plumbing pipe work. **NOTE: A weathertight exterior is required before a preline inspection occurs**

C8 Preline moisture test and structural framing check. **NOTE: A weathertight exterior is required before a preline inspection occurs**

C9 Closing in of any bracing elements required for compliance with NZBC Clause B1. **NOTE: A weathertight exterior is required before a preline inspection occurs**

C10 Covering up of any insulation. **NOTE: A weathertight exterior is required before a preline inspection occurs**

22/1 C11 Gib bracing panel nailing check before stopping work is carried out.

27/1 C14 Testing of sanitary sewer and stormwater drains, including effluent disposal systems.

- C19 Spouting and stormwater disposal.
- C33 Before Installation of inbuilt (fire box, mantle and chimney).
- C34 Before first firing (flue clearances, hearth and fire place fixing down).
- C35 Temperature of hot water for compliance with the Building Code (tempering valve).
- C36 Safety barriers in accordance with the Building Code.
- C37 Reinspection to confirm remediation of non-complying work as considered necessary by the Building Inspector.
- C38 Inspections as required for variations to the contract.
- C39 Final inspection for issue of the Code Compliance Certificate.

**Note:**

A solid fuel heater has been indicated on your plans, however, to date we have not received any specifications for one. The Council will need these specifications prior to issue of the Code Compliance Certificate, otherwise a further building consent will be required.

**Extra Inspections because of amendment to Building Consent as follows:-**

C13a

**POLYSTYRENE CLADDING SYSTEM - The exterior plaster system will require inspections at the following stages-**

 a) Battens fixed in place to check drained cavity.

If any of these inspections are not carried out Council may not be able to be satisfied on reasonable grounds in order to issue Code of Compliance Certificate.

C13b

**POLYSTYRENE CLADDING SYSTEM - The exterior plaster system will require inspections at the following stages-**

 b) Fixing and flashing in place before plaster system is commenced.

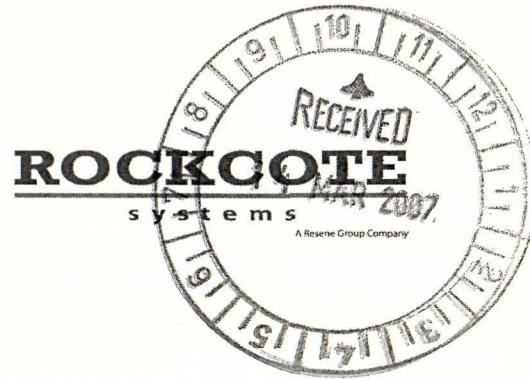
If any of these inspections are not carried out Council may not be able to be satisfied on reasonable grounds in order to issue Code of Compliance Certificate.

**Note:-**

A Construction Statement confirming the exterior plaster cladding system has been completed in accordance with the manufacturers specifications or where solid plastering has been used NZS4251, this should be supplied to the owner to submit with their documentation for Code Compliance Certificate application.

**NOTE**

- 1. THE ISSUE OF THIS BUILDING CONSENT DOES NOT:**
  - (A) RELIEVE THE OWNER OF THE BUILDING, OR PROPOSED BUILDING, TO WHICH THE BUILDING CONSENT RELATES OF ANY DUTY OR RESPONSIBILITY UNDER ANY OTHER ACT RELATING TO OR AFFECTING THE BUILDING OR PROPOSED BUILDING; OR**
  - (B) PERMIT THE CONSTRUCTION, ALTERATION, DEMOLITION OR REMOVAL OF THE BUILDING IF THAT CONSTRUCTION, ALTERATION, DEMOLITION OR REMOVAL WOULD BE IN BREACH OF ANY OTHER ACT.**
- 2. INCLUDED WITH YOUR BUILDING CONSENT YOU WILL FIND A FORM HEADED "ADVICE OF COMPLETION OF BUILDING WORK". IT IS IMPORTANT THAT ON COMPLETION OF ALL WORK, THIS IS COMPLETED AND RETURNED.**



Mr & Mrs Mugford  
76 Moffat Drive  
Lincoln  
Christchurch

Dear Mr & Mrs Mugford,

Thankyou for allowing me access to your residence to review the traditional solid plaster exterior cladding with a view to provide a solution that will give you a solution for the local authority to consider in regards to issuing your code of compliance certificate.

As discussed all documents listed are to be forwarded to the Selwyn district Council,  
attn – Vanessa Brown.

Documents include;

- Rockcote RenderSpec – technical specification for the installation of the EPS40plus cavity render system
- Rockcote Technical Drawings – technical / detail drawings.

We discussed at length the solution and the reasons why this was suggested.

- The exterior cladding is not provided on a constructed cavity which is required under todays building code for your type of dwelling.
- No visual flashings to the jamb or sill of the aluminium joinery.
- Inadequate ground level clearances.
- Inadequate plaster cover under parapet caps.

The proposed Rockcote System will allow correct cavity based construction, without compromising the style and design which was originally intended.

NOTE: care must be taken when removing the original solid plaster to minimize internal damage to finished linings.

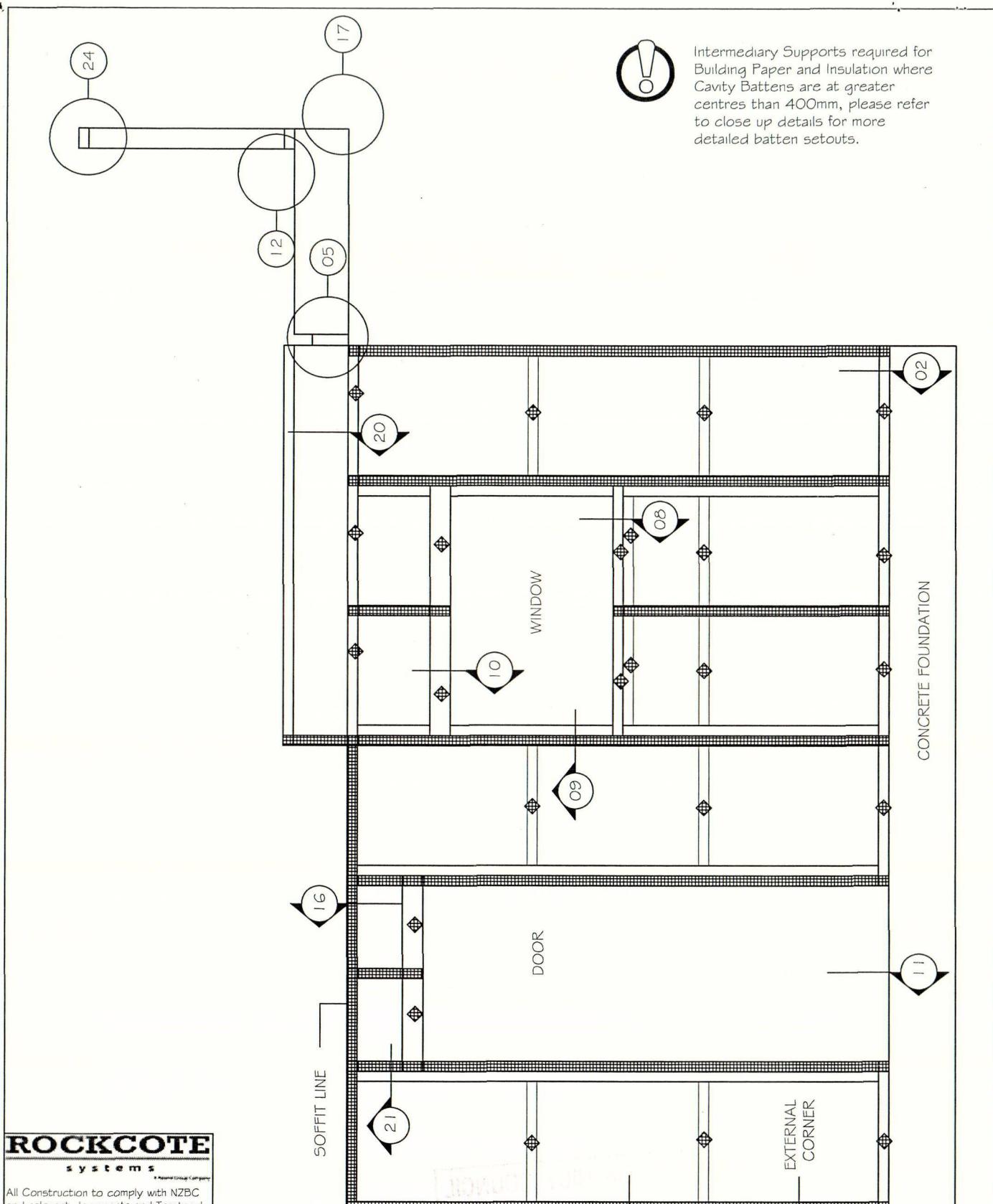
If you have any questions or need further guidance please feel free to call me direct on 021 674 875.

Yours Faithfully

Mike Olds  
General Manager  
Rockcote Resene Ltd

Building papered as per original consent will  
be put back on.

**PLEASE NOTE**  
This set of plans MUST be  
available on site when  
inspections are carried out.



**ROCKCOTE**  
systems

All Construction to comply with NZBC and relevant documents and Territorial Authority Regulations. The contractor shall verify all dimensions and levels on site before work commences.

Drawings not to be used for construction without Territorial Authority Consent.

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Filename  
EPS40Cavity\_01.dwg

Drawn By

Mark Flewellen

**SELWYN DISTRICT COUNCIL**

Drawing Name

Batten Layout

**26 MAR 2007**

**CONSENT DOCUMENT**

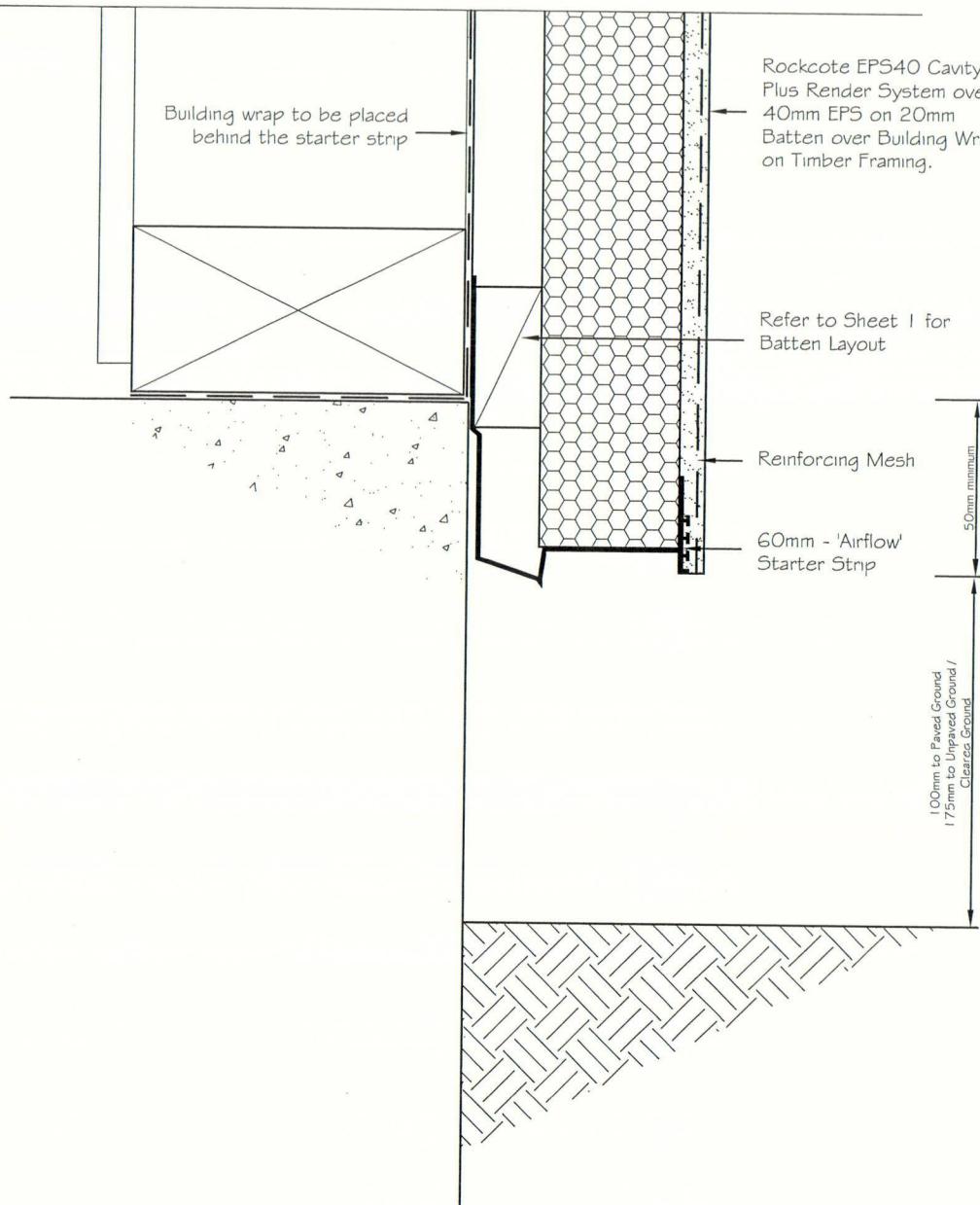
**EPS40 CAVITY PLUS**  
RENDER SYSTEM

Date

25 June 2005

Sheet

**PLEASE NOTE**  
This set of plans MUST be available on site when inspections are carried out.



Rockcote Starter Strip is fixed using masonry anchors to Foundation Walls if unable to nail through to the bottom plate.

Rockcote Cladding must extend a minimum of 50mm past the bottom plate.

The distance from the top of the floor slab to cleared ground must be a minimum of 225mm, to a paved surface this must be a minimum of 150mm. Refer to NZBC E2/AS1 (3rd Edition June 2004) Paragraph 9.1.3 or NZS 3604:1999 Fig 7.10.

Drain Holes in the Starter Strip are sufficient to achieve ventilation openings of 1000mm<sup>2</sup>

## ROCKCOTE

systems

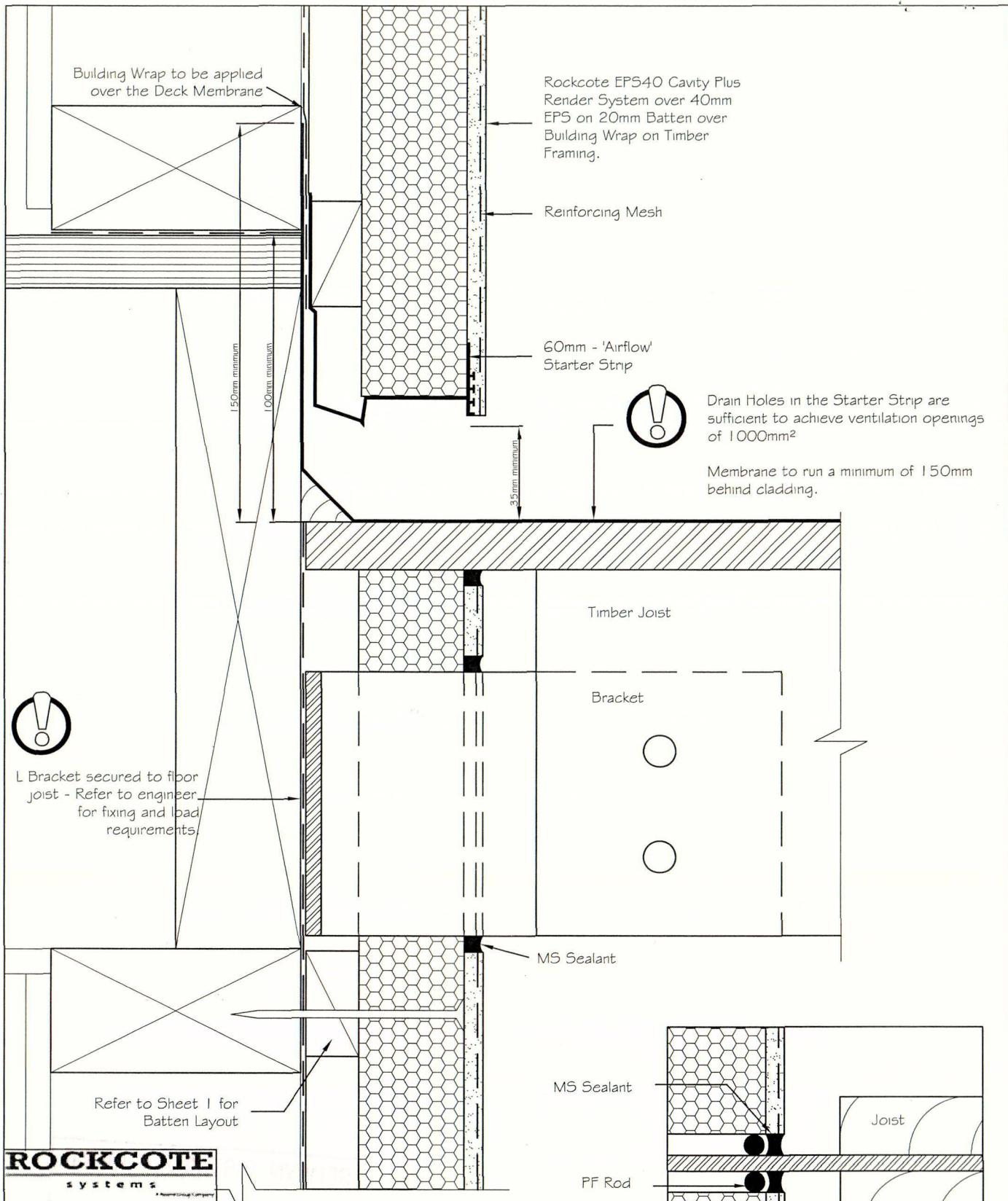
All Construction to comply with NZBC and relevant documents and Territorial Authority Regulations. The contractor shall verify all dimensions and levels on site before work commences.

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Filename	Scale	<b>EPS40 CAVITY PLUS</b> RENDER SYSTEM
EPS40Cavity_02.dwg	1 : 2 (ISO)	
Drawn By		Date
Sae-woon Lim		25 June 2005
Drawing Name		Sheet
Standard Foundation Detail		02



**ROCKCOTE**  
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Filename: EPS40Cavity\_05.dwg      Scale: 1 : 2 (ISO)

Drawn By:

Sae-woon Lim

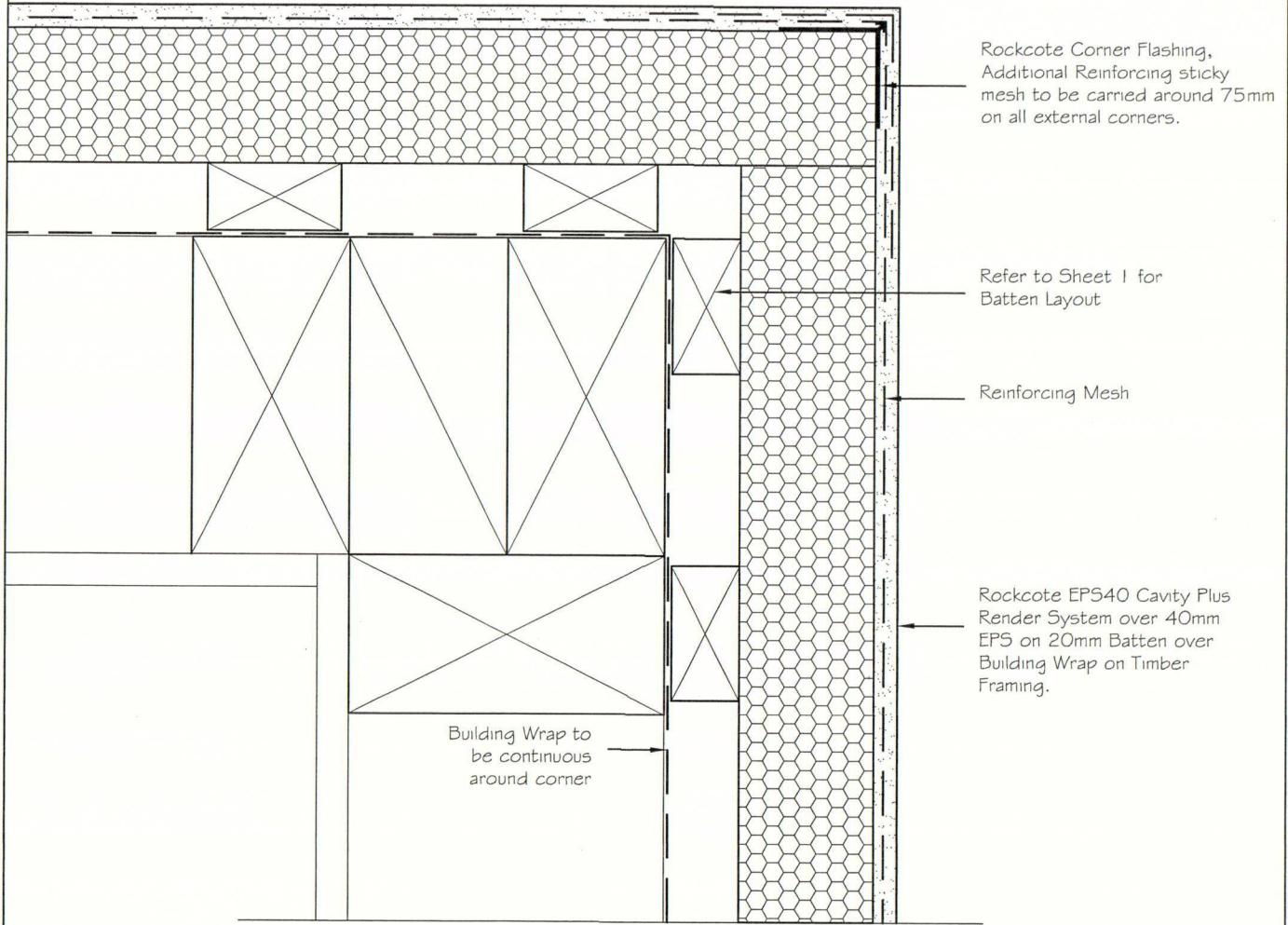
Drawing Name:  
Pergola Deck

**EPS40 CAVITY PLUS**  
RENDER SYSTEM

Date:

25 June 2005

**PLEASE NOTE**  
This set of plans MUST be  
available on site when  
inspections are carried out.



**ROCKCOTE**  
systems

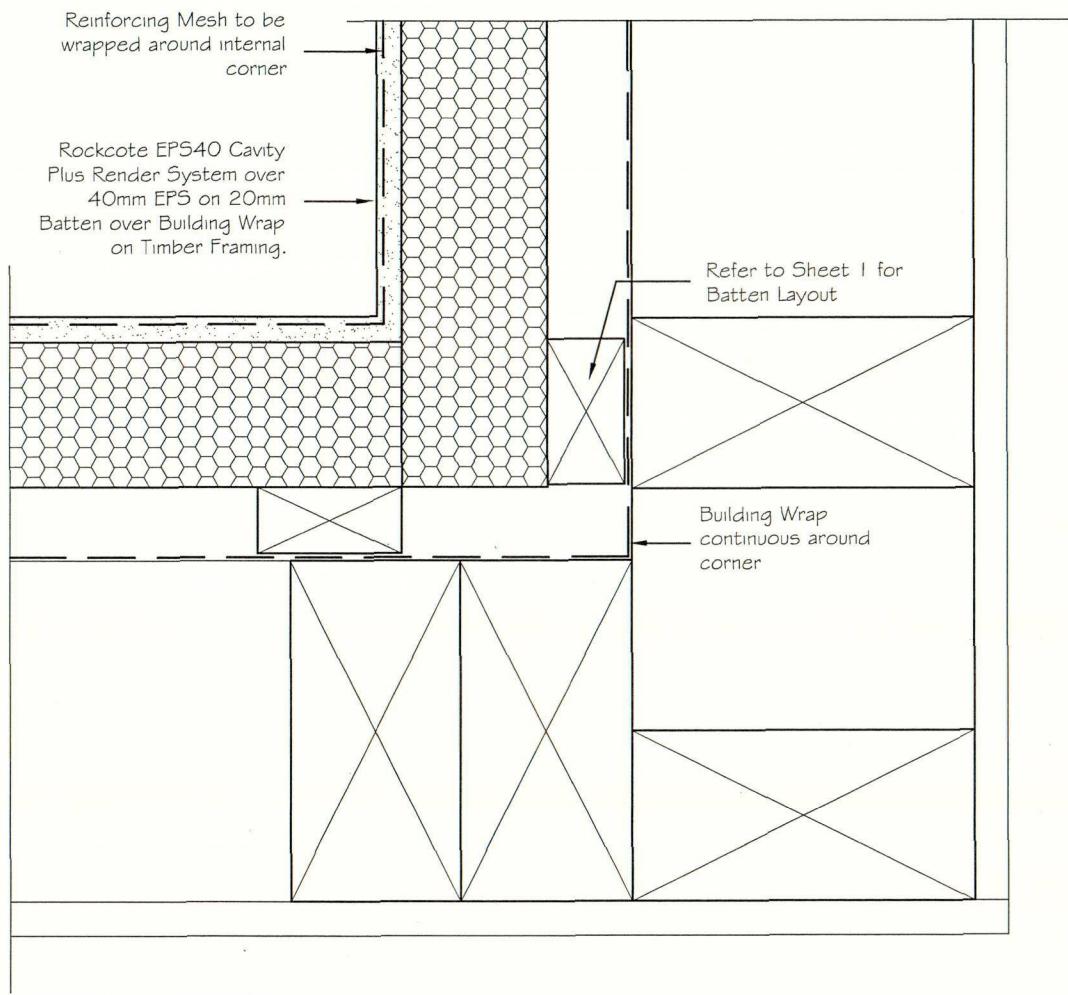
All Construction to comply with NZBC and relevant documents and Territorial Authority Regulations. The contractor shall verify all dimensions and levels on site before work commences.

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Filename	EPS40Cavity_06.dwg	Scale	1 : 2 (ISO)	<b>EPS40 CAVITY PLUS</b> RENDER SYSTEM
Drawn By	Sae-woon Lim			Date 25 June 2005
Drawing Name	External Corner			Sheet 06



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systems

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Drawings not to be used for construction without Territorial Authority Consent.

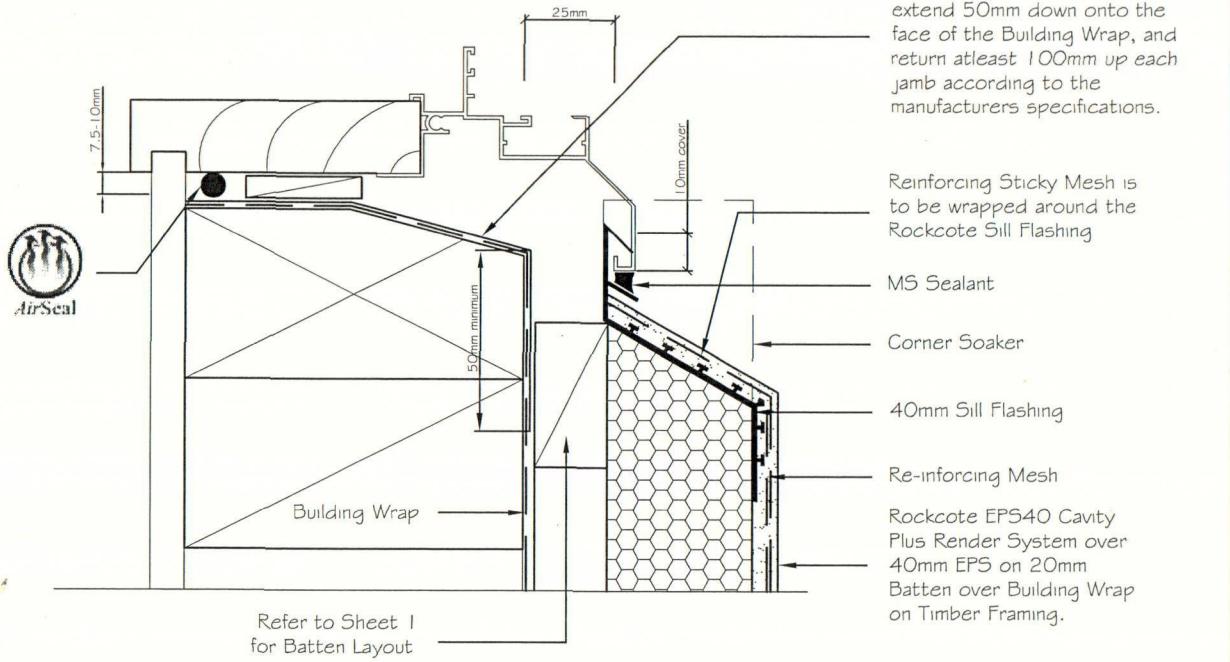
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**EPS40 CAVITY PLUS**  
RENDER SYSTEM

Filename	Scale	Date
EPS40Cavity_07.dwg	1 : 2 (ISO)	25 June 2005
Drawn By		Sheet
Sae-woon Lim		107

**PLEASE NOTE**  
This set of plans MUST be available on site when inspections are carried out



Allow a 25mm Gap between the back of the joinery and external facing timber framing to allow the sill flashing to fit.

A sloped Sill Trimmer is required when the glazing pocket of the window/door frame is located back past the line of the wall frame.

## ROCKCOTE

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All Construction to comply with NZBC and relevant documents and Territorial Authority Regulations. The contractor shall verify all dimensions and levels on site before work commences.

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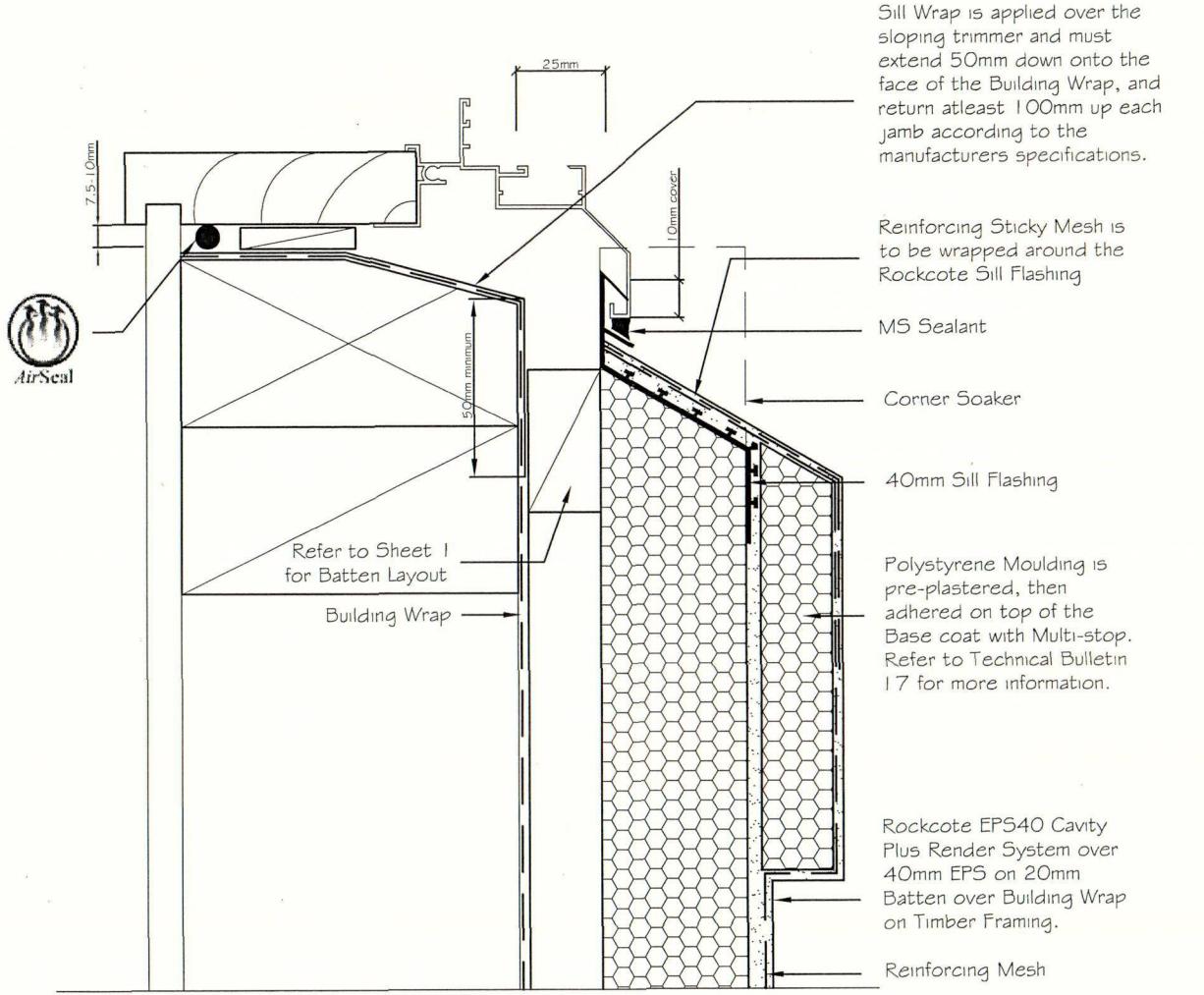
Air Seal please refer to Rockcote Technical Bulletin 09 for more information on Air Sealing Technology.

SELWYN DISTRICT COUNCIL

27 MAR 2007  
CONSENT DOCUMENT

**EPS40 CAVITY PLUS**  
RENDER SYSTEM

Filename	Scale	
EPS40Cavity_08.dwg	1 : 2 (ISO)	
Drawn By		Date
Sae-woon Lim		25 June 2005
Drawing Name		Sheet
Standard Recessed Window Sill		08



Allow a 25mm Gap between the back of the joinery and external facing timber framing to allow the sill flashing to fit.

A sloped Sill Trimmer is required when the glazing pocket of the window/door frame is located back past the line of the wall frame.

## ROCKCOTE

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All Construction to comply with NZBC and relevant documents and Territorial Authority Regulations. The contractor shall verify all dimensions and levels on site before work commences.

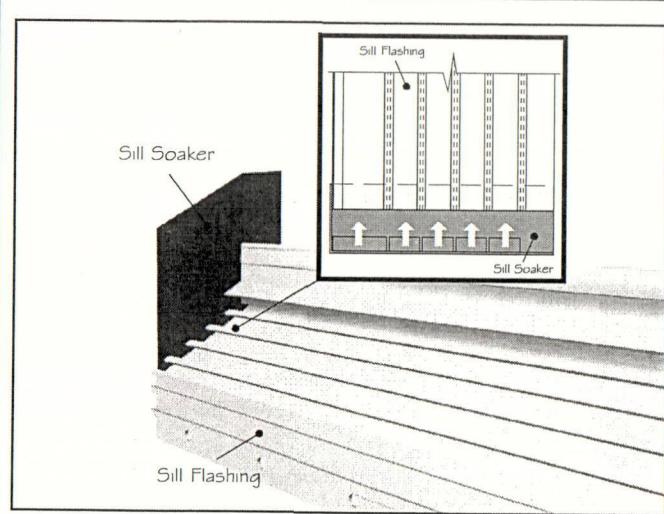
Drawings not to be used for construction without Territorial Authority Consent.

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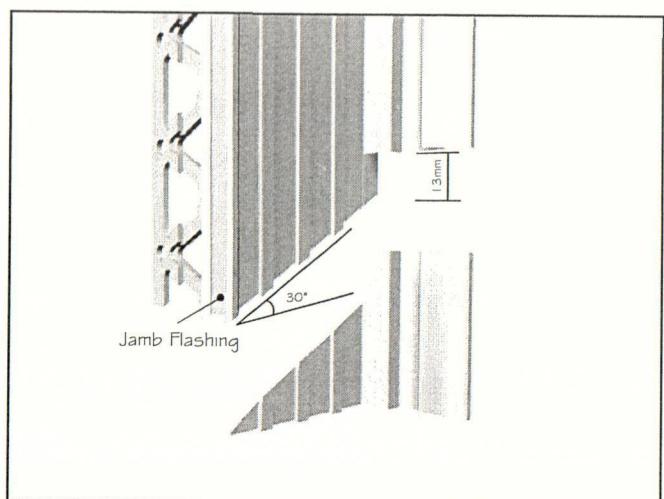


Air Seal please refer to Rockcote Technical Bulletin 09 for more information on Air Sealing Technology.

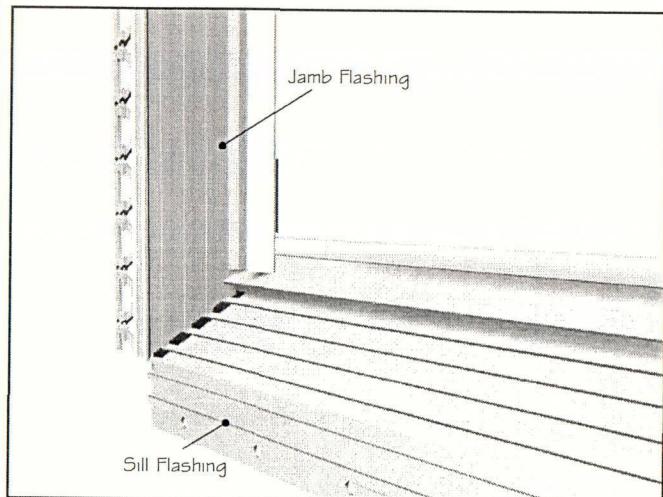
Filename	EPS40Cavity_08A.dwg	Scale	1 : 2 (ISO)	<b>EPS40 CAVITY PLUS</b> RENDER SYSTEM
Drawn By	Sae-woon Lim		Date	25 June 2005
Drawing Name	Standard Recessed Window Sill - Moulding		Sheet	08A PLEASE NOTE This set of plans MUST be available on site when inspections are carried out.



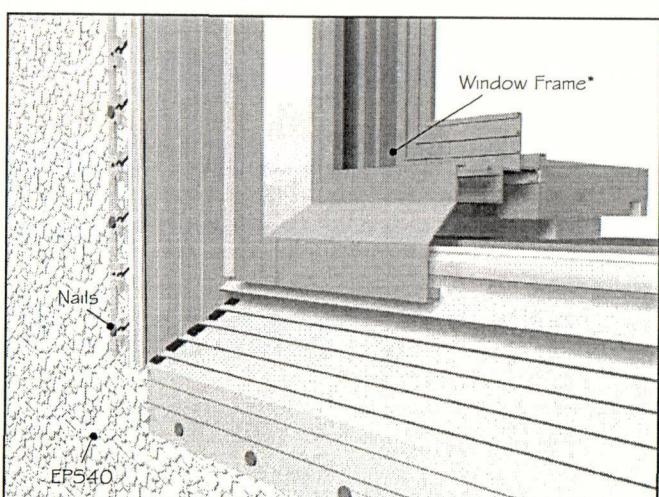
① Lock in the Sill Soaker on the ends of the 40mm Sill Flashing and trim them off to the depth of cladding.



② With the 40mm Jamb Flashing, trim the bottom end as shown in the diagram.  
NOTE: The angle of cut should be identical to the angle of Sill Flashing (usually 30 degrees).



③ Place the Jamb Flashing on top of Sill Soaker and Sill Flashing as shown above.



④ The end result before plastering, should look like this.

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systems

All Construction to comply with NZBC and relevant documents and Territorial Authority Regulations. The contractor shall verify all dimensions and levels on site before work commences.

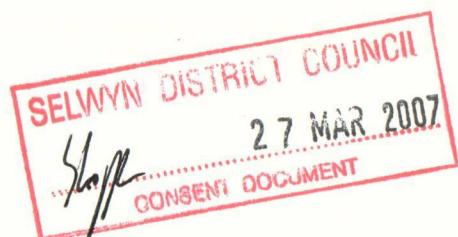
Drawings not to be used for construction without Territorial Authority Consent.

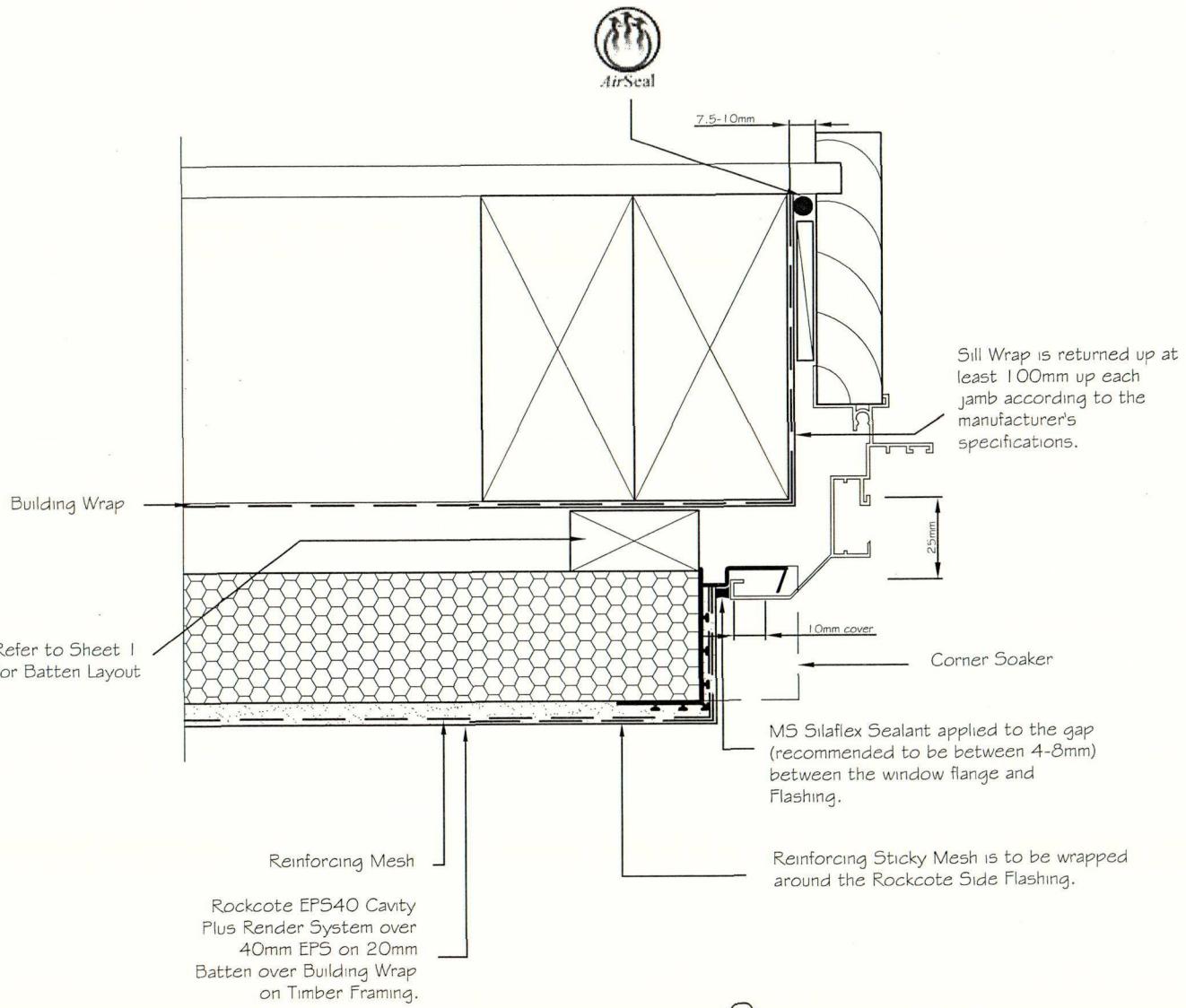
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\*indicates: components NOT supplied by Rockcote Systems

Filename	Sill_Soaker_install.ai	EPS40 CAVITY PLUS RENDER SYSTEM
Drawn By	Sae-woon Lim	Date 25 June 2005
Drawing Name	Window Sill/Jamb corner soaker Installation	Sheet 08B





Allow a 25mm Gap between the back of the joinery and external facing timber framing to allow the Jamb flashing to fit.

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All Construction to comply with NZBC and relevant documents and Territorial Authority Regulations. The contractor shall verify all dimensions and levels on site before work commences.



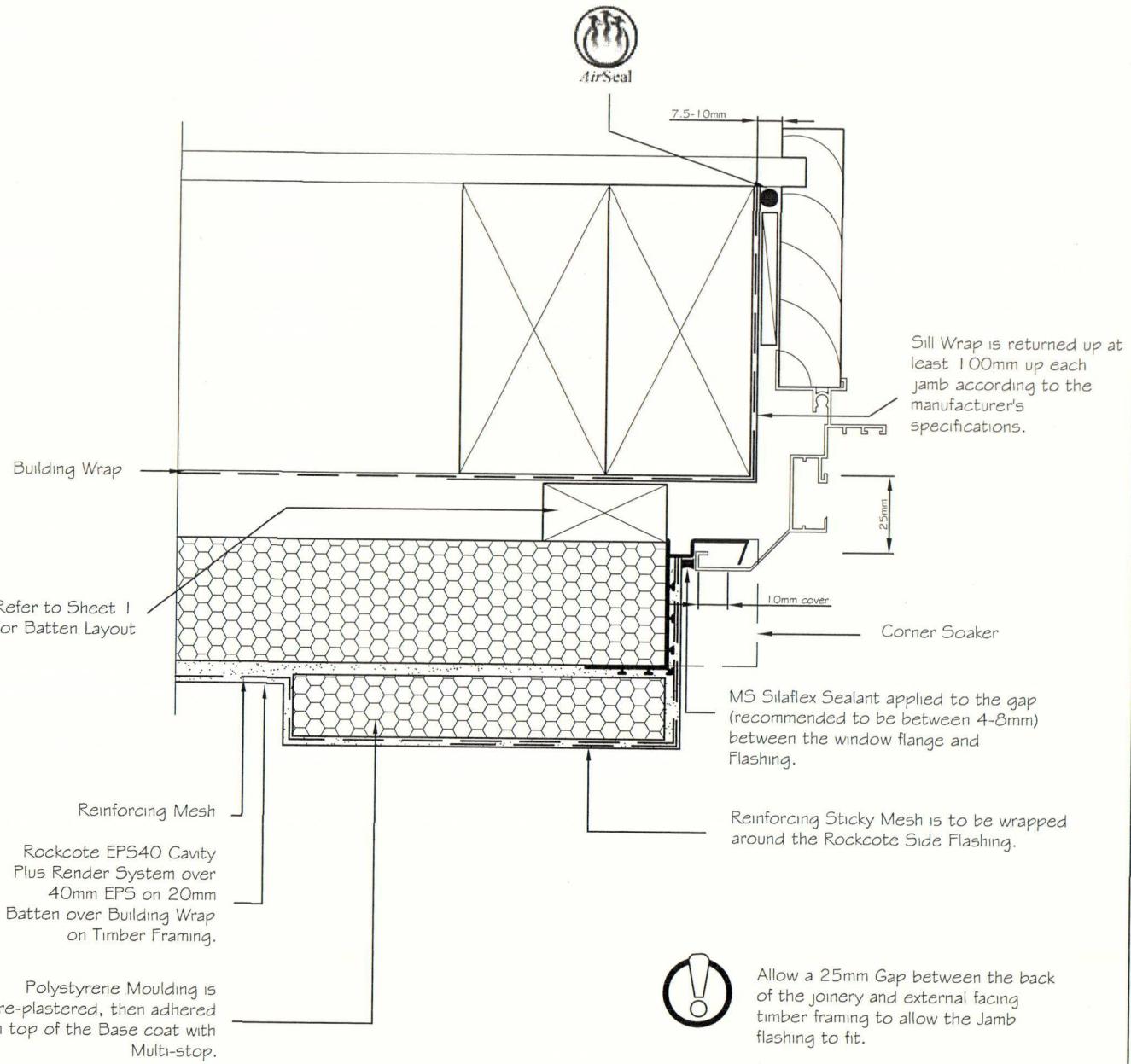
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Air Seal please refer to Rockcote Technical Bulletin 09 for more information on Air Sealing Technology.



Filename	Scale	EPS40 CAVITY PLUS RENDER SYSTEM
EPS40Cavity_09A.dwg	1 : 2 (ISO)	
Drawn By	Date	25 June 2005
Sae-woon Lim	Sheet	09
Drawing Name	PLEASE NOTE This set of plans MUST be available on site when inspections are carried out.	
Standard Recessed Window Jamb		



Allow a 25mm Gap between the back of the joinery and external facing timber framing to allow the Jamb flashing to fit.

## ROCKCOTE

systems

All Construction to comply with NZBC and relevant documents and Territorial Authority Regulations. The contractor shall verify all dimensions and levels on site before work commences.

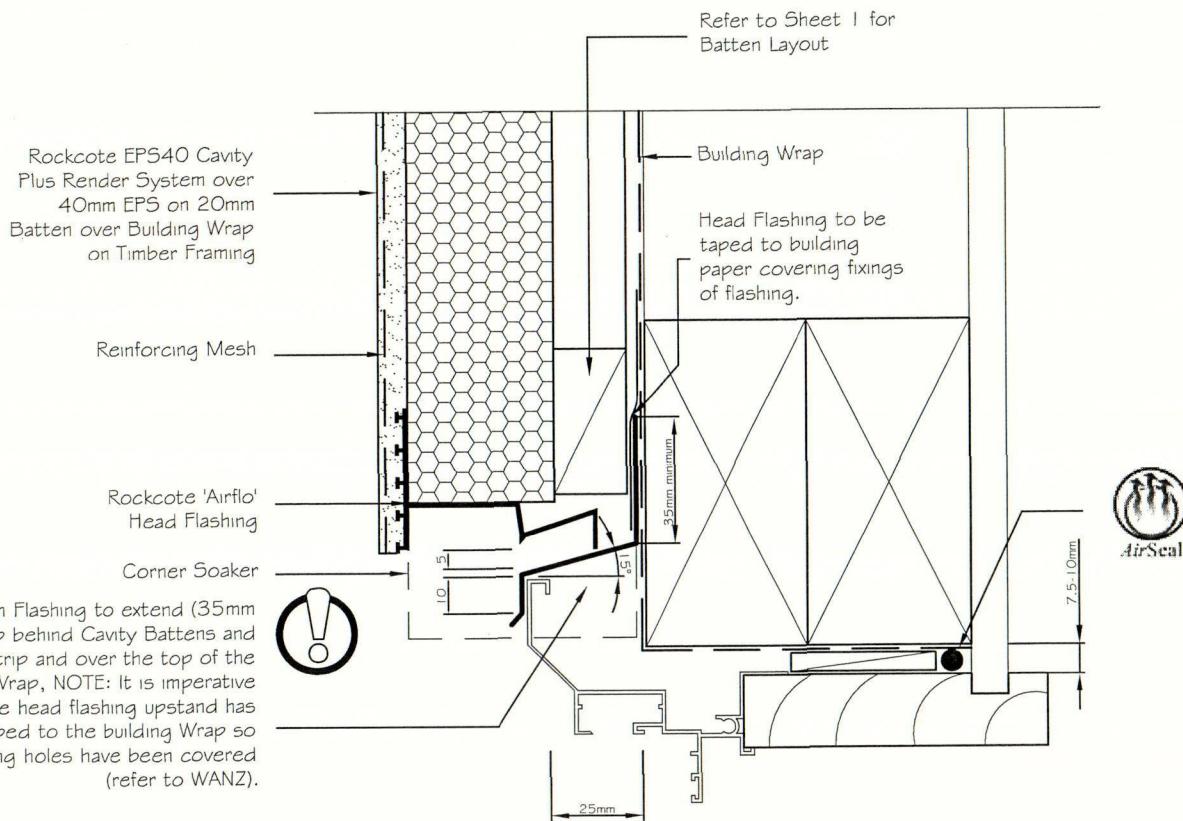
Drawings not to be used for construction without Territorial Authority Consent.

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Filename	Scale	<b>EPS40 CAVITY PLUS</b> RENDER SYSTEM
EPS40Cavity_09A.dwg	1 : 2 (ISO)	
Drawn By	Date	
Sae-woon Lim	25 June 2005	
Drawing Name	Sheet	
Standard Recessed Window Jamb - Moulding	09A	



Metal Flashing (or PVC Flashing if in corrosive areas) shown is to be supplied by the main contractor. These will need to be specifically designed to suit each application. All head flashings to be powder coated to colour match joinery. All Flashings are to meet the durability requirements of Section 4 of NZS 3604:1999

Drain Holes in the Head flashing are sufficient to achieve ventilation openings of 1000mm<sup>2</sup>

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systems

All Construction to comply with NZBC and relevant documents and Territorial Authority Regulations. The contractor shall verify all dimensions and levels on site before work commences.

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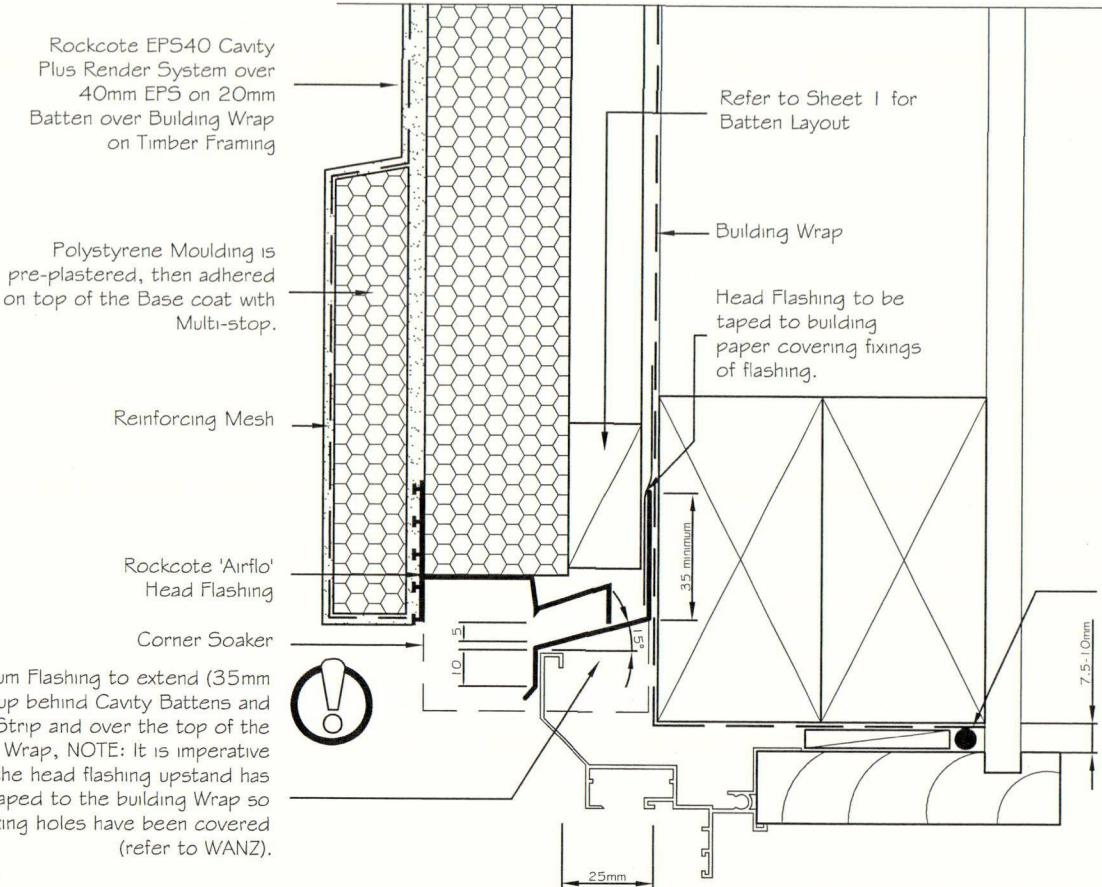
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Air Seal please refer to Rockcote Technical Bulletin 09 for more information on Air Sealing Technology.



Filename	Scale	EPS40 CAVITY PLUS RENDER SYSTEM
EPS40Cavity_10.dwg	1 : 2 (ISO)	Date
Drawn By	Sae-woon Lim	25 June 2005
Drawing Name	Standard Recessed Window Head	Sheet 10 PLEASE NOTE This set of plans MUST be available on site when inspections are carried out.



Metal Flashing (or PVC Flashing if in corrosive areas) shown is to be supplied by the main contractor. These will need to be specifically designed to suit each application. All head flashings to be powder coated to colour match joinery. All Flashings are to meet the durability requirements of Section 4 of NZS 3604: 1999

Drain Holes in the Head flashing are sufficient to achieve ventilation openings of 1000mm<sup>2</sup>

## ROCKCOTE systems

All Construction to comply with NZBC and relevant documents and Territorial Authority Regulations. The contractor shall verify all dimensions and levels on site before work commences.

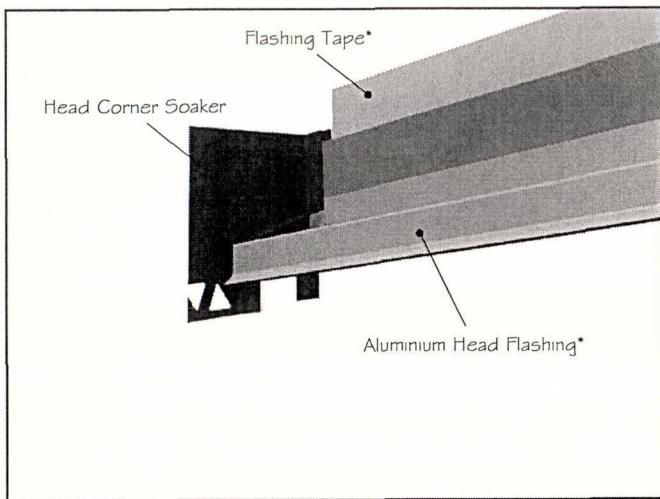
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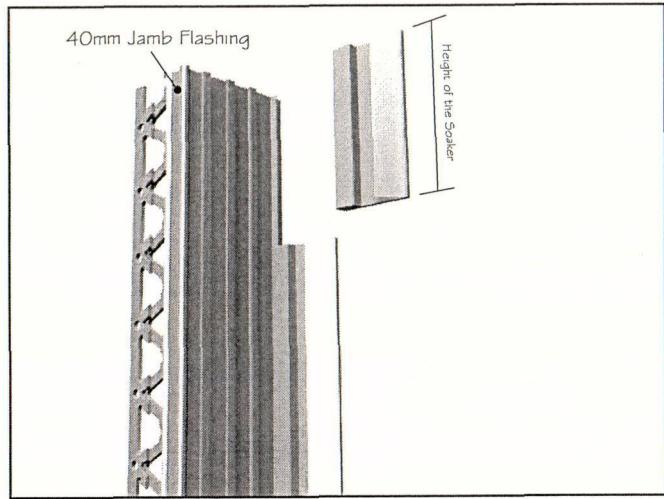


Air Seal please refer to Rockcote Technical Bulletin 09 for more information on Air Sealing Technology.

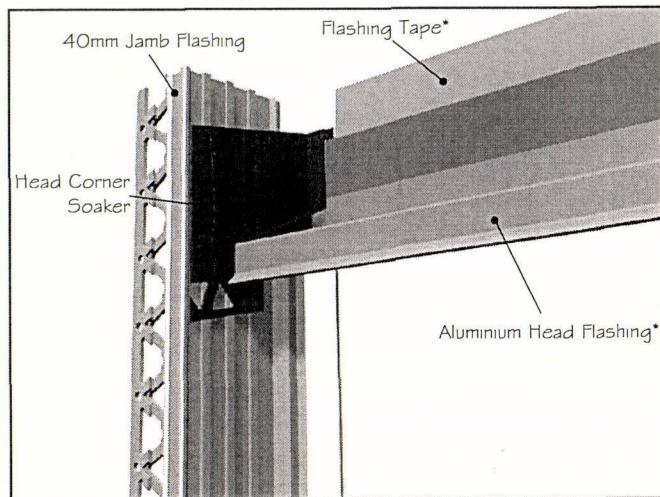
Filename	Scale	<b>EPS40 CAVITY PLUS</b> RENDER SYSTEM
EPS40Cavity_10A.dwg	1 : 2 (ISO)	
Drawn By	Date	
Sae-woon Lim	25 June 2005	
Drawing Name	Sheet	
Standard Recessed Window Head - moulding	10A	



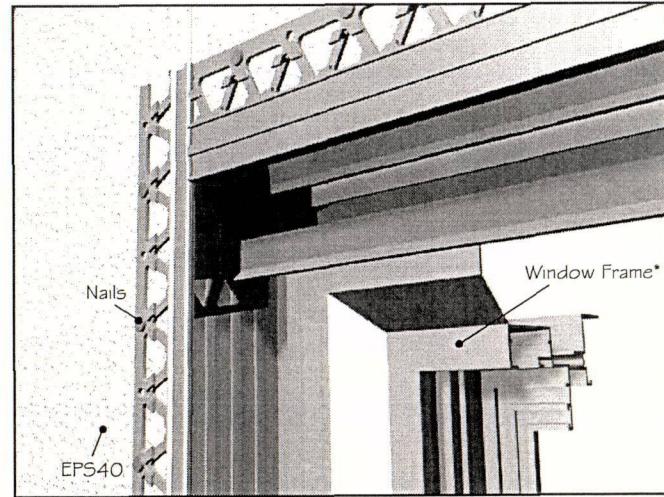
① Lock in the Head Corner Soaker on the ends of the Aluminium Head Flashing and trim them off to the depth of cladding. Make sure that the Aluminium Flashing is taped at the top at this stage.



② With the 40mm Jamb Flashing, trim the top end as shown in the diagram.



③ Place the Jamb Flashing underneath the Head Soaker as shown above.



④ The end result before plastering, should look like this.

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\*indicates: components NOT supplied by Rockcote Systems

Filename	Head_soaker_install.ai
----------	------------------------

Drawn By	Sae-woon Lim
----------	--------------

Drawing Name	Window Head/Jamb corner Soaker installation
--------------	---

**SELWYN DISTRICT COUNCIL**

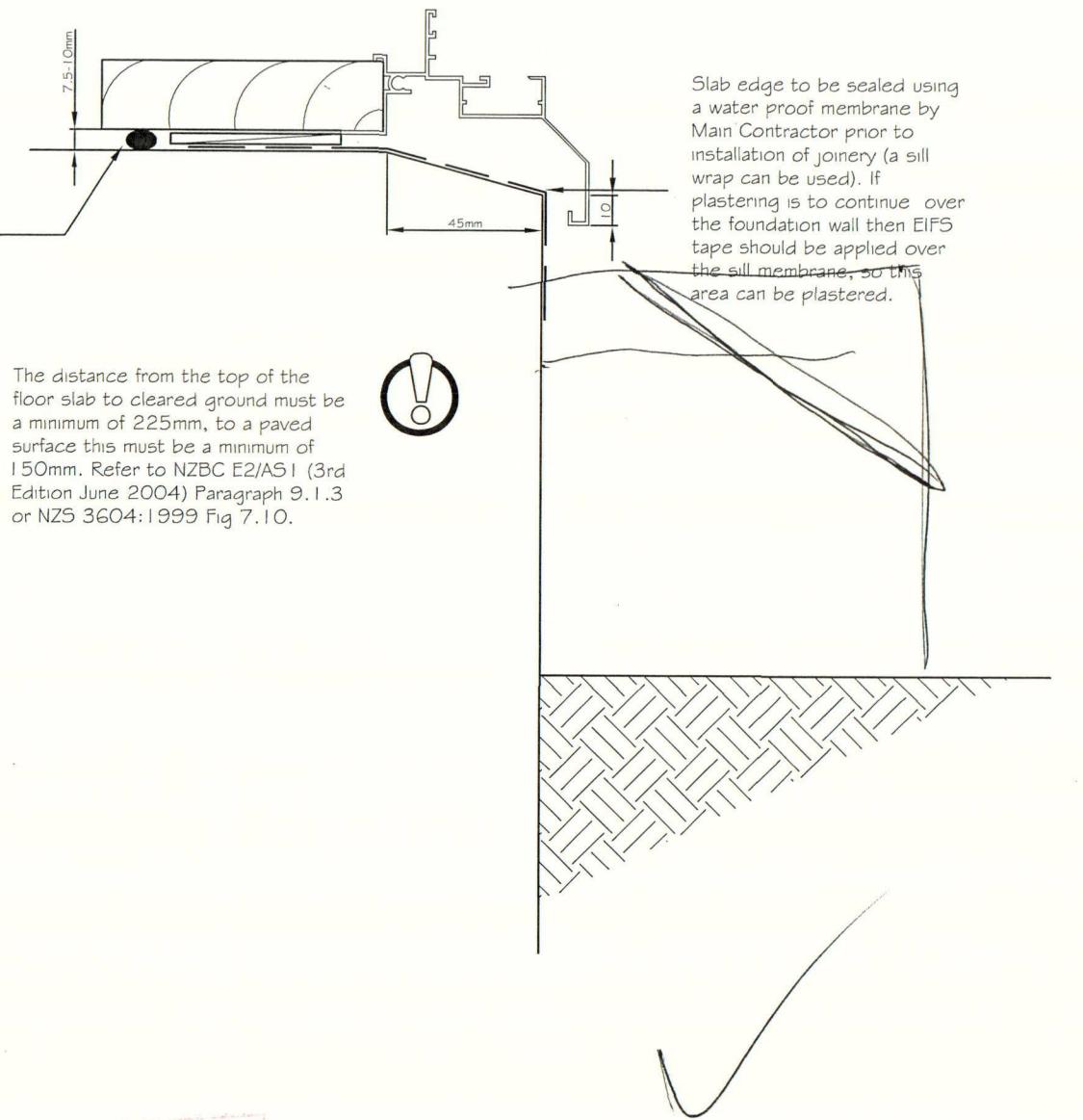
CONSENT DOCUMENT

**EPS40 CAVITY PLUS**  
RENDER SYSTEM

Date

25 June 2005

**PLEASE NOTE**  
This set of plans MUST be  
available on site when  
inspections are carried out.



The distance from the top of the floor slab to cleared ground must be a minimum of 225mm, to a paved surface this must be a minimum of 150mm. Refer to NZBC E2/AS1 (3rd Edition June 2004) Paragraph 9.1.3 or NZS 3604:1999 Fig 7.10.

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Air Seal please refer to Rockcote Technical Bulletin 09 for more information on Air Sealing Technology.

Filename	Scale
EPS40Cavity_11.dwg	1 : 2 (150)

Drawn By

Sae-woon Lim

Drawing Name

Concrete Door Sill

**SELWYN DISTRICT COUNCIL**

*[Signature]* 27 MAR 2007  
CONSENT DOCUMENT

**EPS40 CAVITY PLUS**  
RENDER SYSTEM

Date

25 June 2005

Sheet

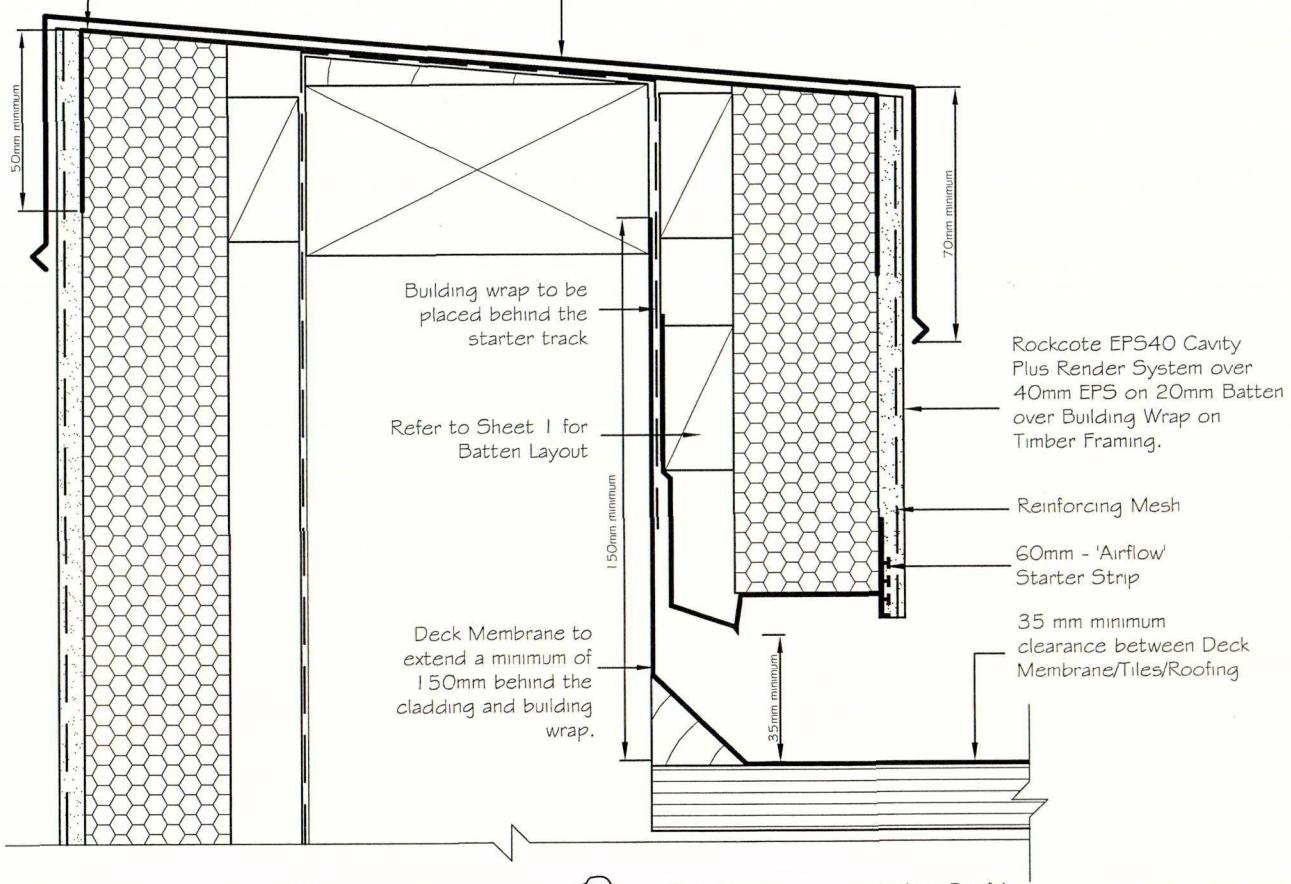
11



All Parapets to be wrapped using EIFS Tape. This is to be carried a minimum of 50mm down either side of the parapet over Styrene.



Metal Capping to be installed on an angle of no less than 5 degrees. This is to be preferably sloped to the inside of the Parapet. The capping is to be installed AFTER all plasterwork has been completed. The parapet must be fixed through the sides of the capping. The parapet Flashing must extend a minimum of 70mm down either side of the Parapet. All Flashings are to meet the durability requirements of Section 4 of Nzs 3604:1999



Deck Membrane over decking Roof / deck clearance 35mm minimum clearance from base of cladding to decking membrane / tiles

Drain Holes in the Starter Strip are sufficient to achieve ventilation openings of 1000mm<sup>2</sup>

**SELWYN DISTRICT COUNCIL**

27 MAR 2007

CONSENT DOCUMENT

**ROCKCOTE**  
systems

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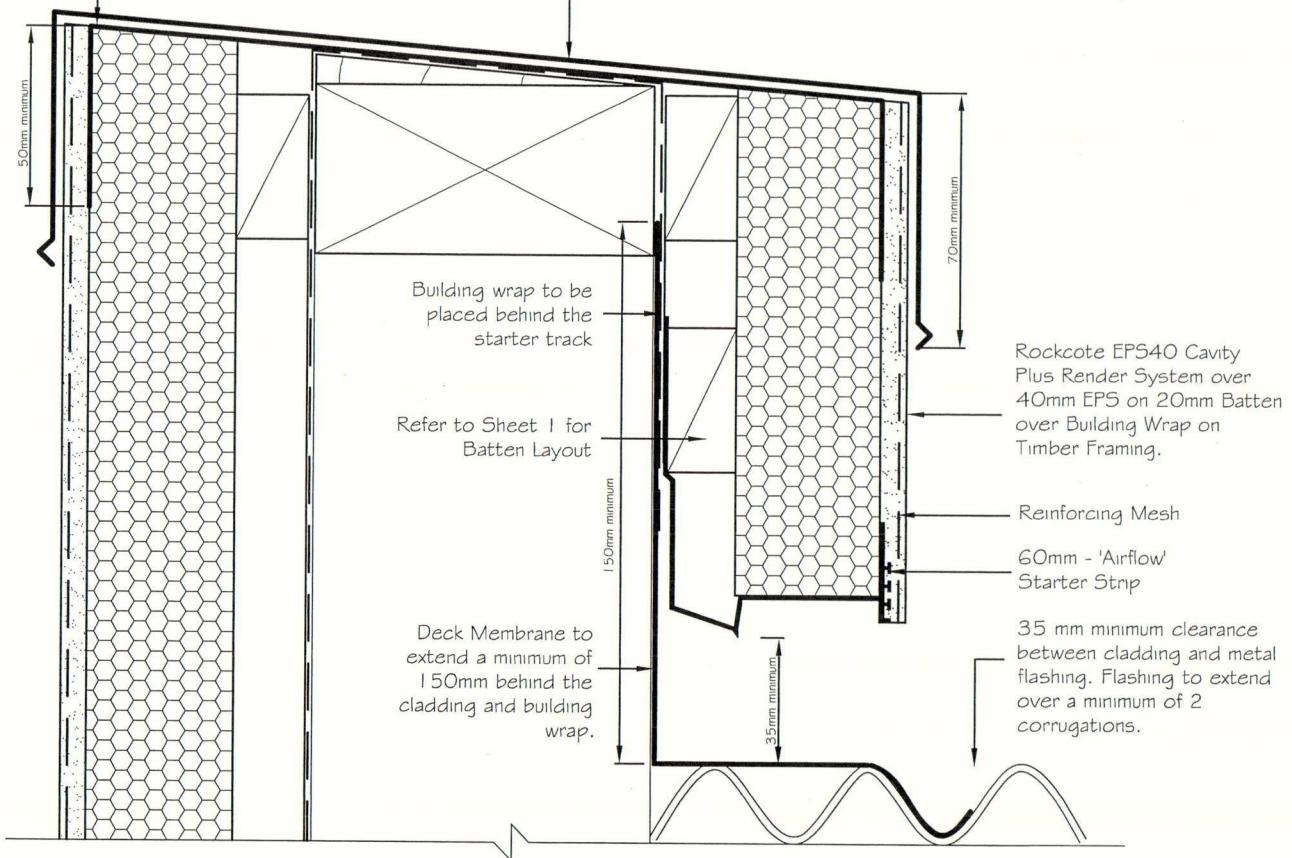
Filename	Scale	<b>EPS40 CAVITY PLUS</b> RENDER SYSTEM
EPS40Cavity_12.dwg	1 : 2 (ISO)	
Drawn By		Date
Sae-woon Lim		25 June 2005
Drawing Name	<b>PLEASE NOTE</b>	
Parapet to Deck	This set of plans MUST be available on site when inspections are carried out.	



All Parapets to be wrapped using EIFS Tape. This is to be carried a minimum of 50mm down either side of the parapet over Styrene.



Metal Capping to be installed on an angle of no less than 5 degrees. This is to be preferably sloped to the inside of the Parapet. The capping is to be installed AFTER all plasterwork has been completed. The parapet must be fixed through the sides of the capping. The parapet Flashing must extend a minimum of 70mm down either side of the Parapet. All Flashings are to meet the durability requirements of Section 4 of NZS 3604:1999



Deck Membrane over decking Roof / deck clearance 35mm minimum clearance from base of cladding to decking membrane / tiles

Drain Holes in the Starter Strip are sufficient to achieve ventilation openings of 1000mm<sup>2</sup>



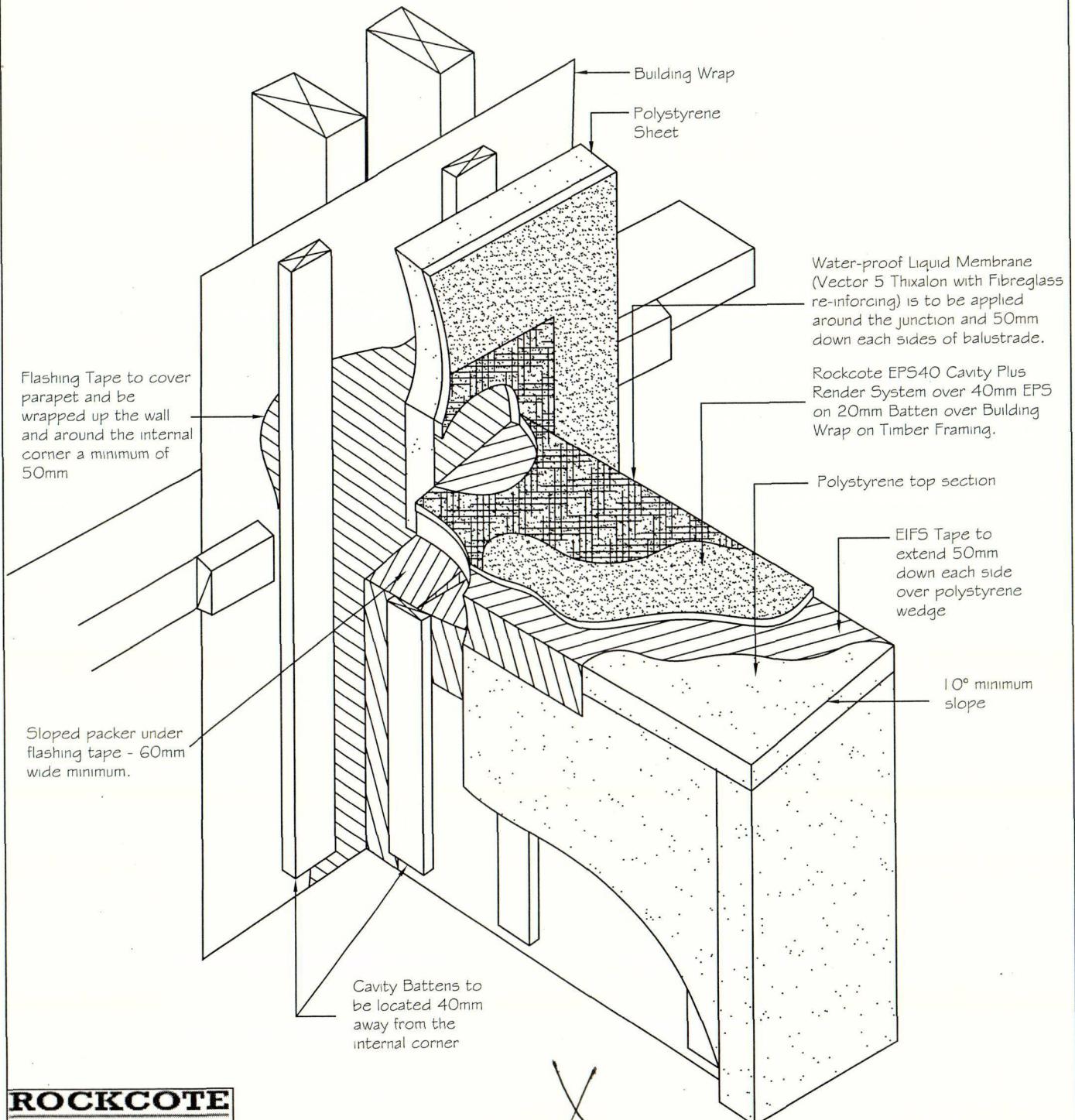
## ROCKCOTE systems

All Construction to comply with NZBC and relevant documents and Territorial Authority Regulations. The contractor shall verify all dimensions and levels on site before work commences.

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Filename	Scale	<b>EPS40 CAVITY PLUS</b> RENDER SYSTEM
EPS40Cavity_13.dwg	1 : 2 (ISO)	
Drawn By		Date
Sae-woon Lim		25 June 2005
Drawing Name		Sheet
Parapet to Roof		13



**ROCKCOTE**

systems

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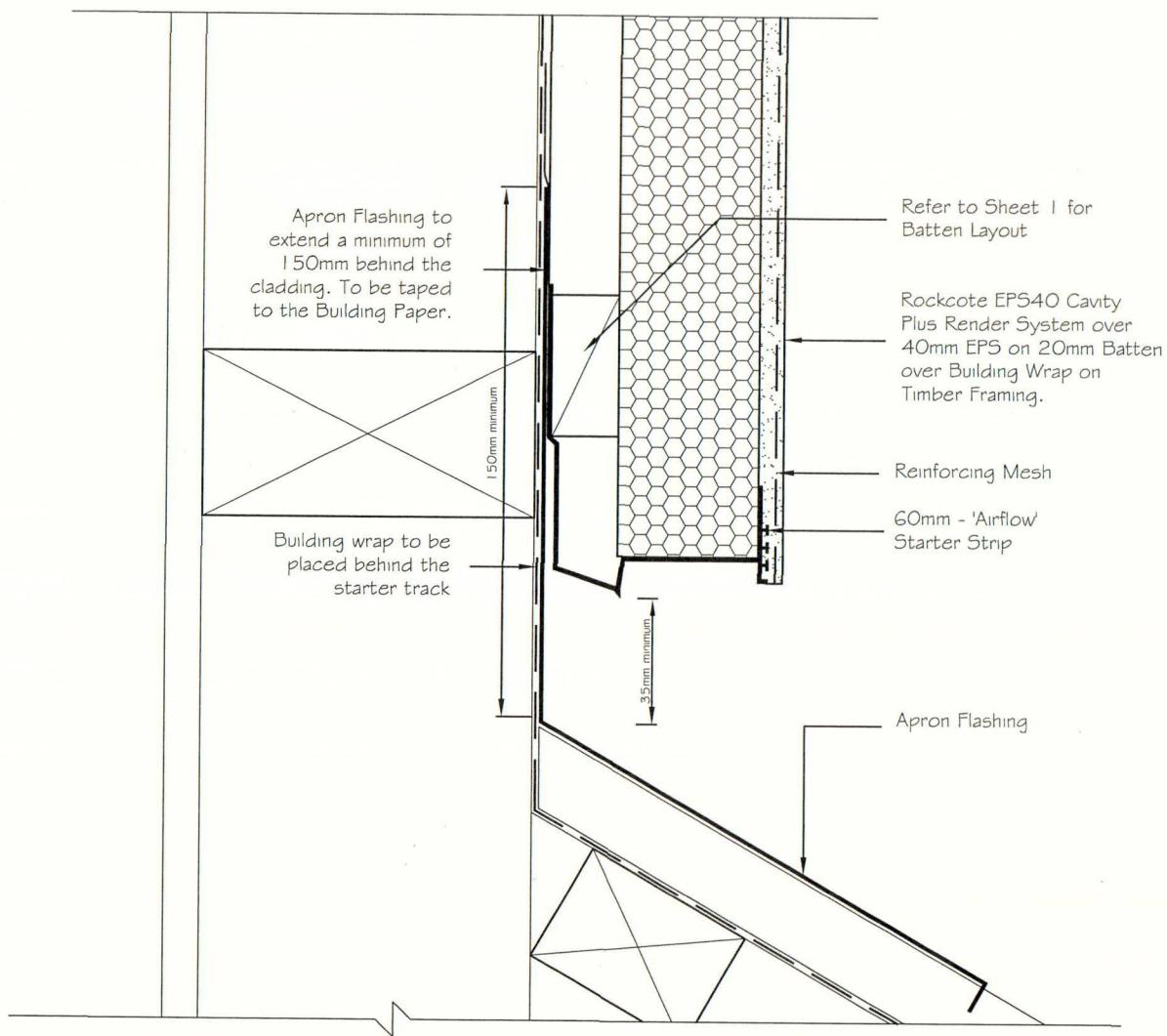
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All Plastered Balustrade must be finished with re-inforced liquid membrane cladding system, ie. Rockcote Vector 5

Filename	EPS40Cavity_14.dwg	Scale	1 : 2 (ISO)	<b>EPS40 CAVITY PLUS</b> RENDER SYSTEM
Drawn By	Sae-woon Lim			25 June 2005
Drawing Name	Plastered Balustrade to Wall Junction			<b>PLEASE NOTE</b> This set of plans MUST be available on site when Inspections are carried out



Drain Holes in the Starter Strip are sufficient to achieve ventilation openings of 1000mm<sup>2</sup>

## ROCKCOTE

systems

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SELWYN DISTRICT COUNCIL

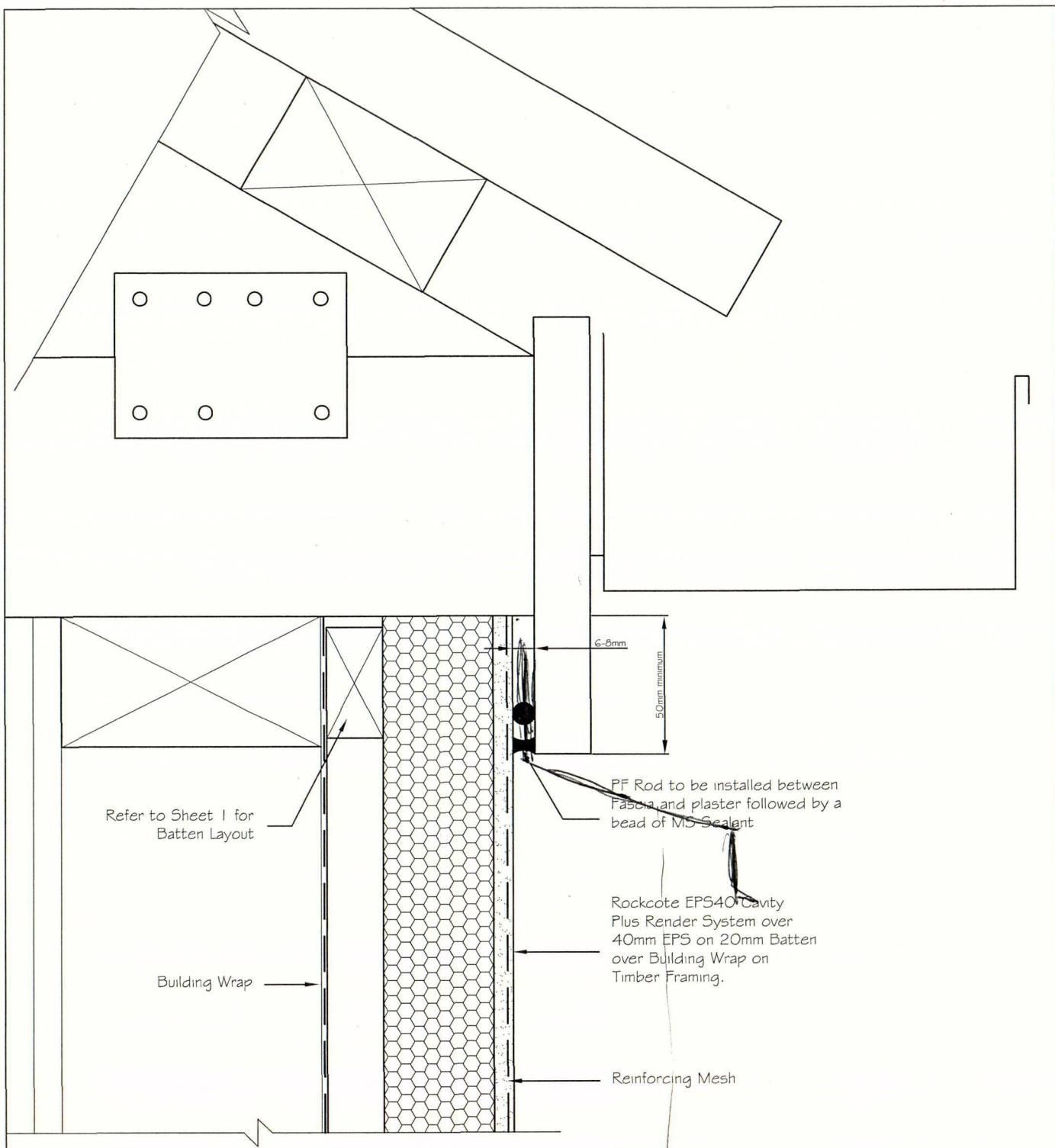
27 MAR 2007

CONSENT DOCUMENT

**EPS40 CAVITY PLUS**  
RENDER SYSTEM

DRY ZONE

Filename	Scale
EPS40Cavity_15.dwg	1 : 2 (ISO)
Drawn By	Date
Sae-woon Lim	25 June 2005
Drawing Name	Sheet
Wall to Roof (Apron)	15



**ROCKCOTE**  
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**EPS40 CAVITY PLUS**  
RENDER SYSTEM

Date

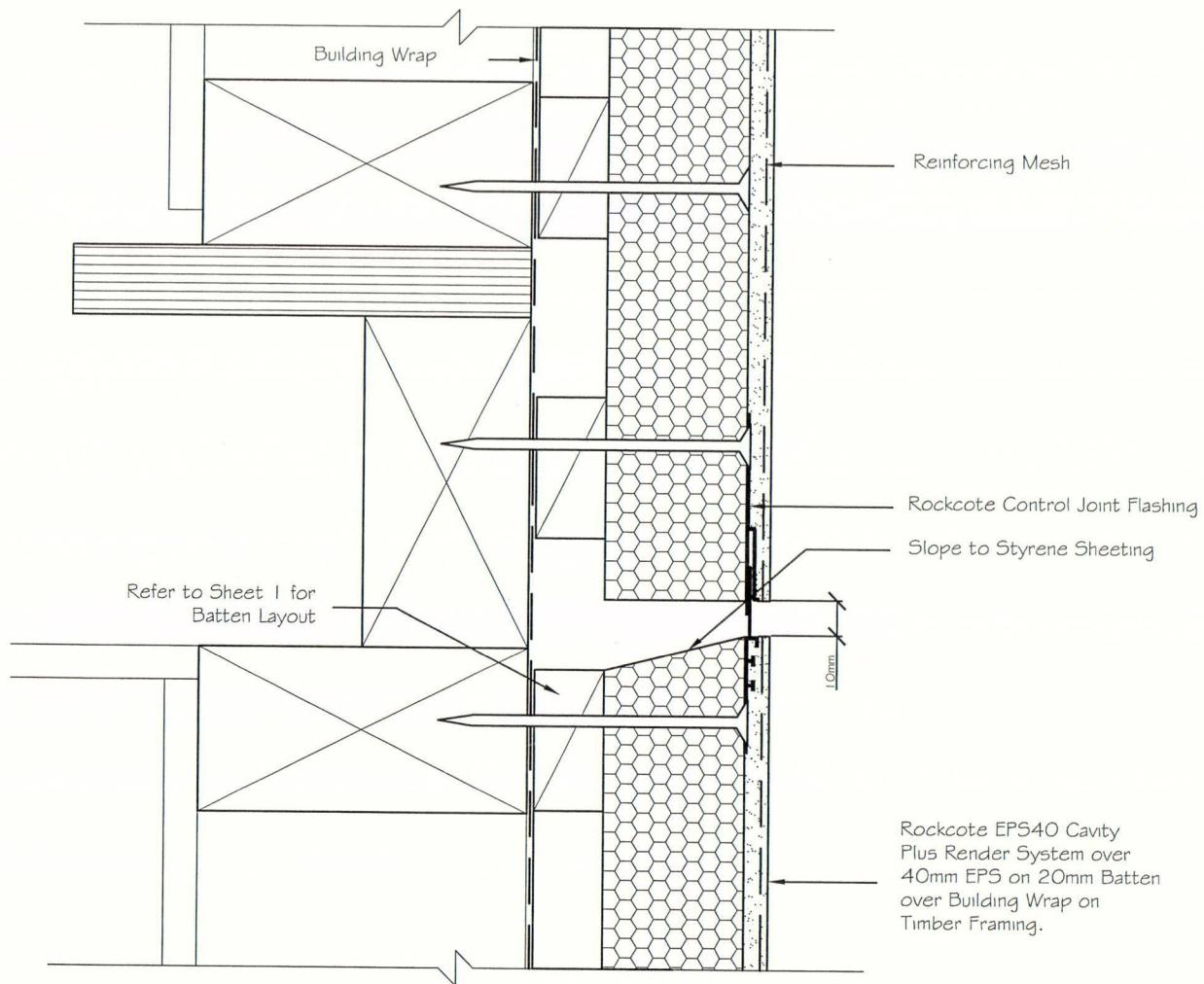
25 June 2005

**PLEASE NOTE**  
Sheet 19  
This set of plans MUST be available on site when Inspections are carried out

Filename: EPS40Cavity\_19.dwg      Scale: 1 : 2 (ISO)

Drawn By: Sae-woon Lim

Drawing Name: Flush Eaves



uPVC Control Joint flashings must be nailed into the Timber Frames.

All Control Joint spacings and setouts are the responsibility of the Designer, for suggested locations refer to Technical Bulletin 11. Where Control Joints meet, then Protecto Tape is to be installed behind ALL junctions refer to Technical Bulletin 25 for more details.

All Construction to comply with NZBC and relevant documents and Territorial Authority Regulations. The contractor shall verify all dimensions and levels on site before work commences.

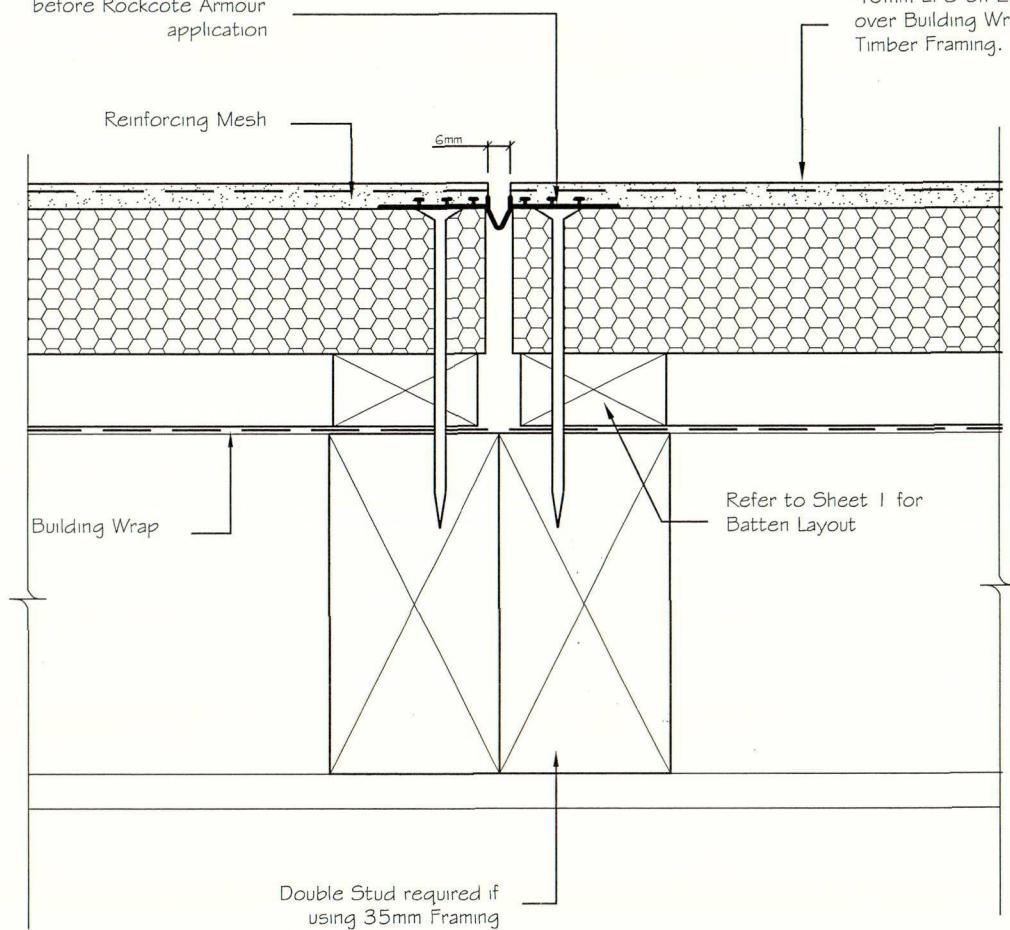
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Filename	Scale
EPS40Cavity_20.dwg	1 : 2 (ISO)
Drawn By	Date
Sae-woon Lim	25 June 2005
Drawing Name	Sheet
Horizontal Control Joint	20

Rockcote Control Joint Flashing  
Tearout strip must be removed  
before Rockcote Armour  
application

Rockcote EPS40 Cavity  
Plus Render System over  
40mm EPS on 20mm Batten  
over Building Wrap on  
Timber Framing.



All Control Joint spacings and setouts are the responsibility of the Designer, for suggested locations refer to Technical Bulletin 11. Where Control Joints meet, then Protecto Tape is to be installed behind ALL junctions refer to Technical Bulletin 25 for more details.

**ROCKCOTE**  
systems

All Construction to comply with NZBC and relevant documents and Territorial Authority Regulations. The contractor shall verify all dimensions and levels on site before work commences.

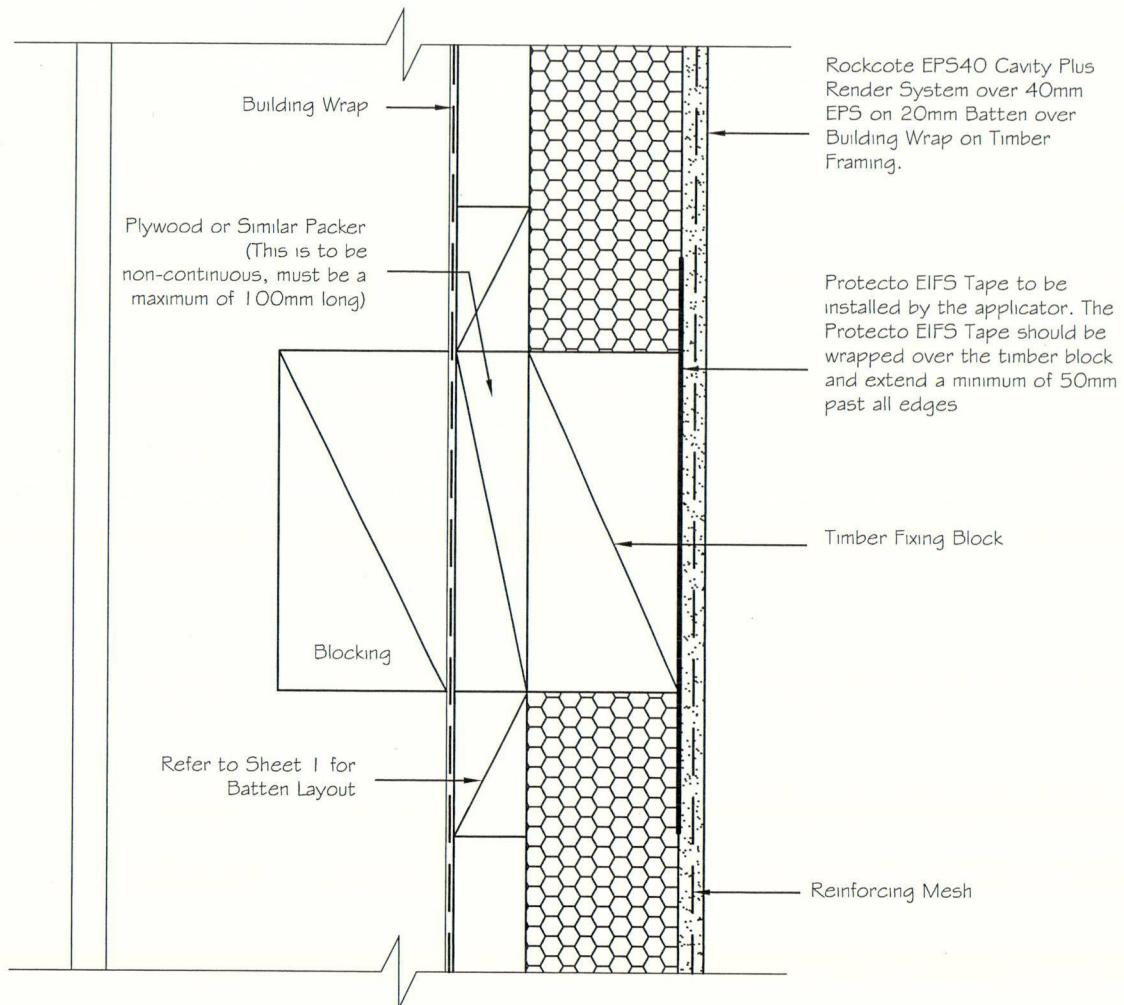
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**EPS40 CAVITY PLUS**  
RENDER SYSTEM

Filename	Scale
EPS40Cavity_21.dwg	1 : 2 (ISO)
Drawn By	
Sae-woon Lim	
Drawing Name	
Vertical Control Joint	<p>25 June 2005 <b>PLEASE NOTE</b> This set of plans MUST be available on site when inspections are carried out</p>



**ROCKCOTE**  
systems

All Construction to comply with NZBC and relevant documents and Territorial Authority Regulations. The contractor shall verify all dimensions and levels on site before work commences.

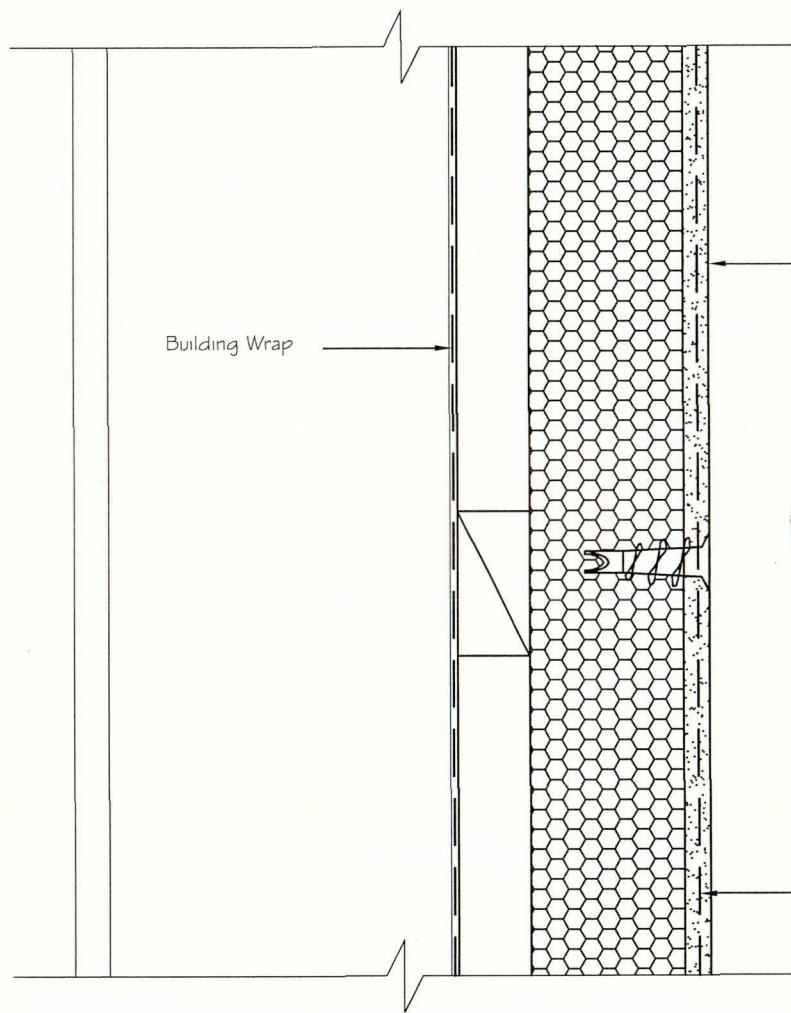
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**EPS40 CAVITY PLUS**  
RENDER SYSTEM

Filename	EPS40Cavity_22.dwg	Scale	1 : 2 (ISO)
Drawn By	Mark Flewellen	Date	25 June 2005
Drawing Name	Heavyweight Fixing	Sheet	22



Rockcote EPS40 Cavity Plus  
Render System over 40mm  
EPS on 20mm Batten over  
Building Wrap on Timber  
Framing.



For further information please Refer  
to Technical Bulletin 05. Zip-It  
Fastener only appropriate for  
weight no more than 1kg.

## ROCKCOTE systems

All Construction to comply with NZBC  
and relevant documents and Territorial  
Authority Regulations. The contractor  
shall verify all dimensions and levels on  
site before work commences.

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Authority or certifier, for consent  
purposes only.



**EPS40 CAVITY PLUS**  
RENDER SYSTEM

Filename: EPS40Cavity\_23.dwg      Scale: 1 : 2 (ISO)

Drawn By:

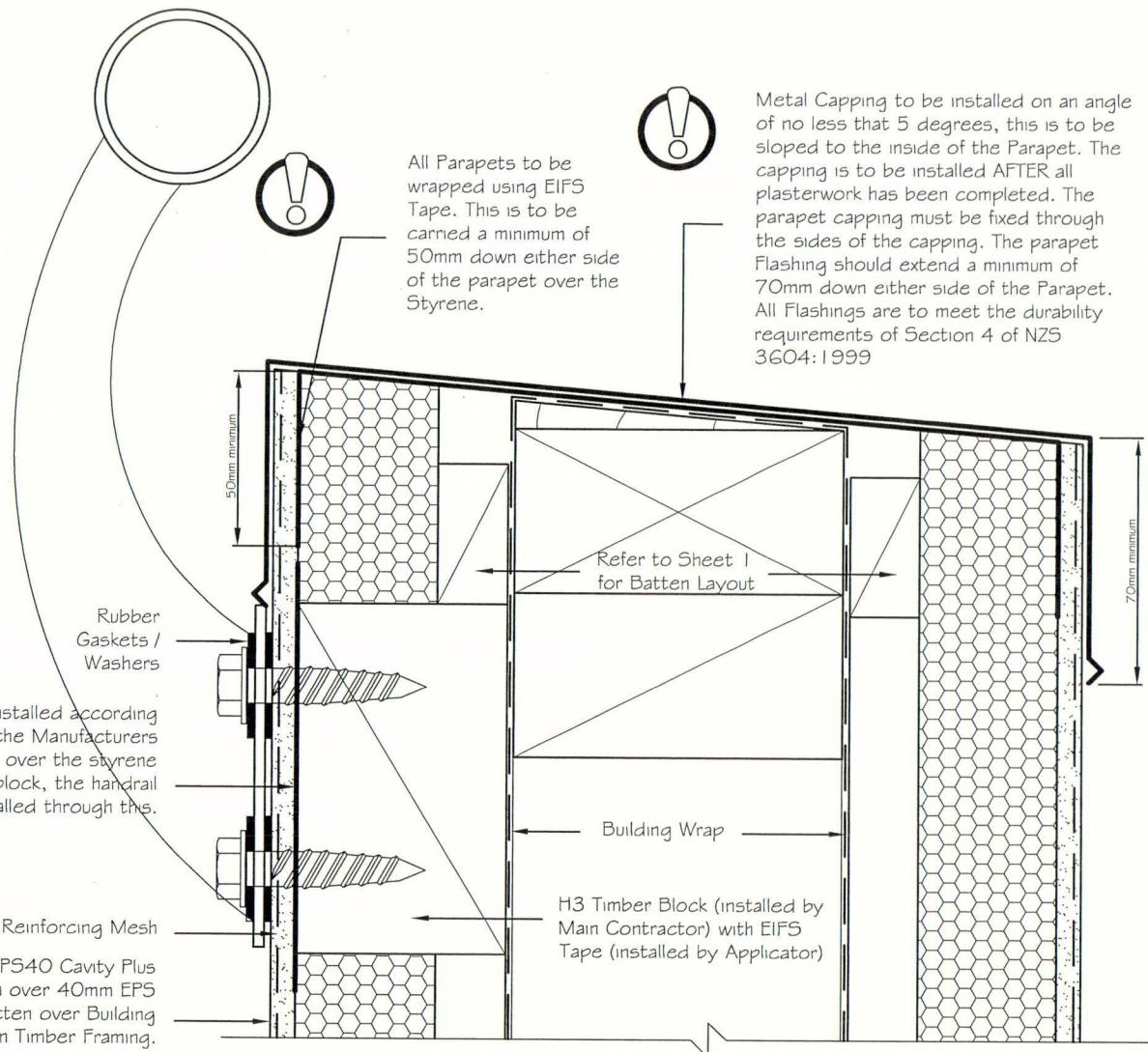
Mark Flewellen

Drawing Name:

Lightweight Fixing

25 June 2005

**PLEASE NOTE**  
Sheet 23  
This set of plans MUST be  
available on site when  
inspections are carried out.



**ROCKCOTE**

systems

All Construction to comply with NZBC and relevant documents and Territorial Authority Regulations. The contractor shall verify all dimensions and levels on site before work commences.

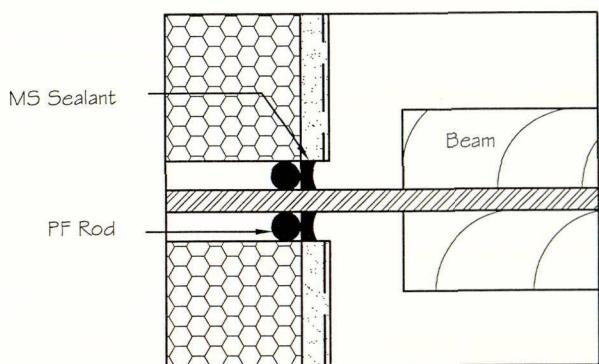
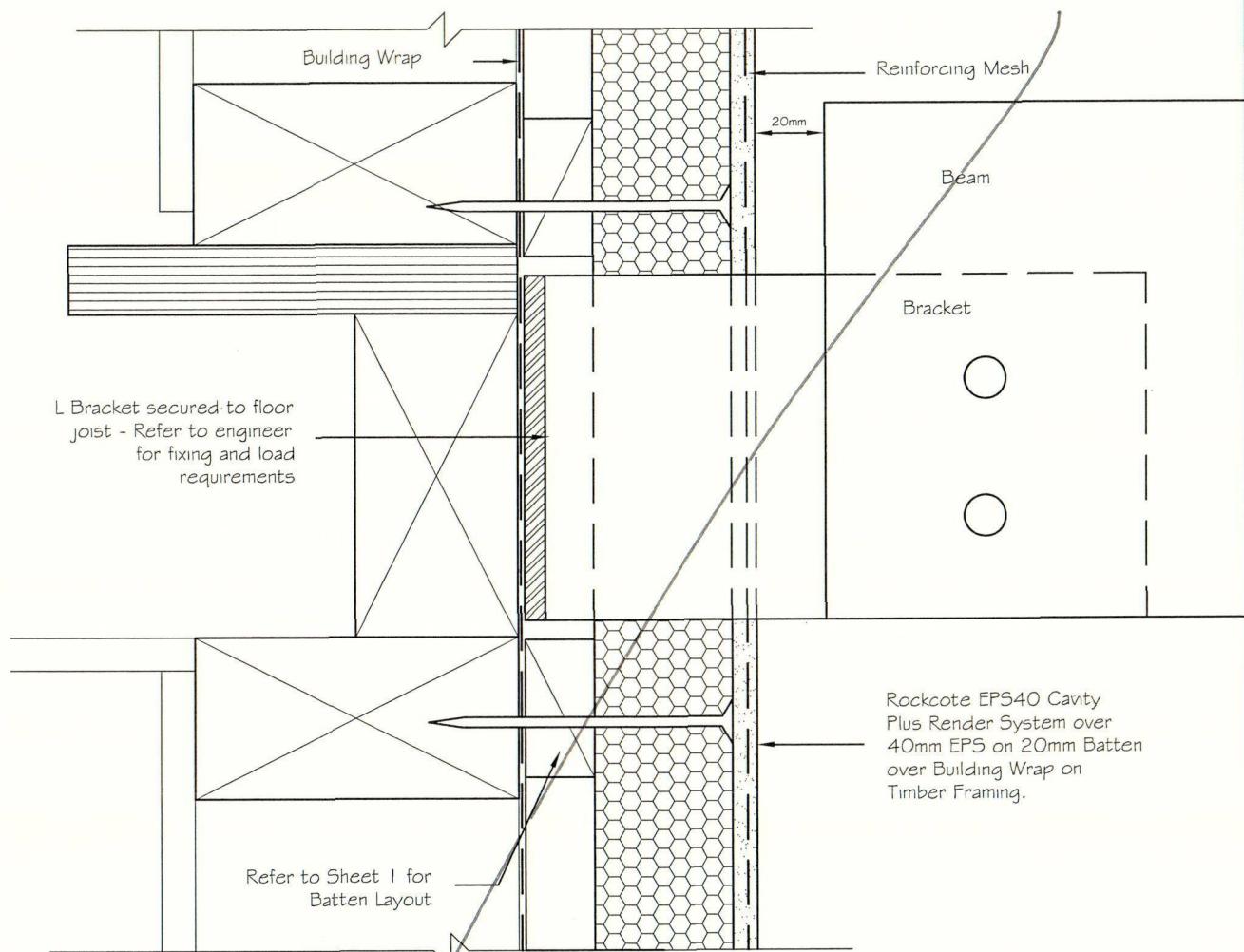
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All Parapets to be wrapped using EIFS Tape. This is to be carried a minimum of 50mm down either side of the parapet.

Filename	Scale	<b>EPS40 CAVITY PLUS</b> RENDER SYSTEM
EPS40Cavity_24.dwg	1 : 2 (ISO)	
Drawn By		Date
Sae-woon Lim		25 June 2005
Drawing Name		Sheet
Balcony Handrail		24



## ROCKCOTE systems

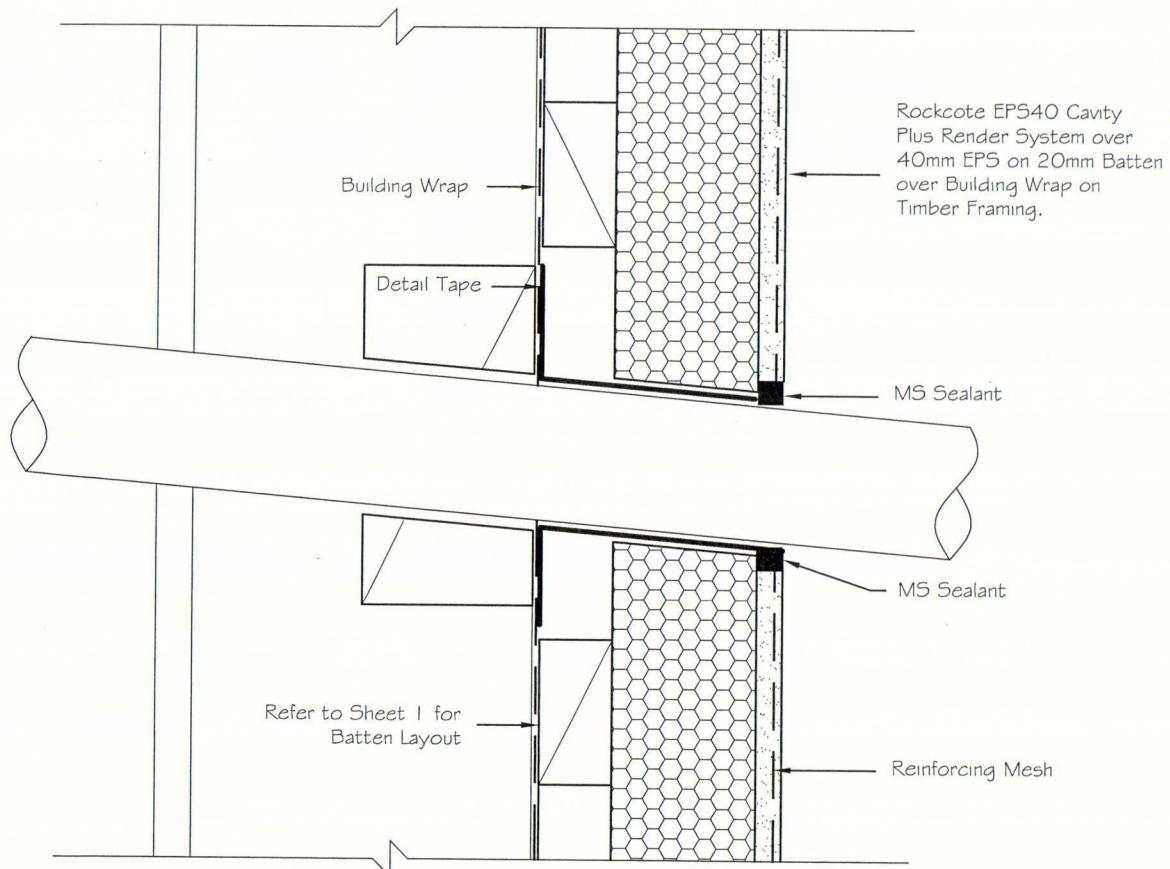
All Construction to comply with NZBC and relevant documents and Territorial Authority Regulations. The contractor shall verify all dimensions and levels on site before work commences.

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Filename	EPS40Cavity_25.dwg	Scale	1 : 2 (ISO)	<b>EPS40 CAVITY PLUS</b> RENDER SYSTEM
Drawn By	Mark Flewellen		Date	25 June 2005
Drawing Name	Pergola Penetration		Sheet	25

**PLEASE NOTE**  
This set of plans MUST be  
available on site when  
inspections are carried out.



The responsibility for the penetration is the responsibility of the main contractor, where possible and practical use a flange.

It is important that there is adequate support for the penetration in the form of timber packing. The penetration should be angled slightly away from the cladding so any moisture is diverted away from the cladding.

## ROCKCOTE

systems

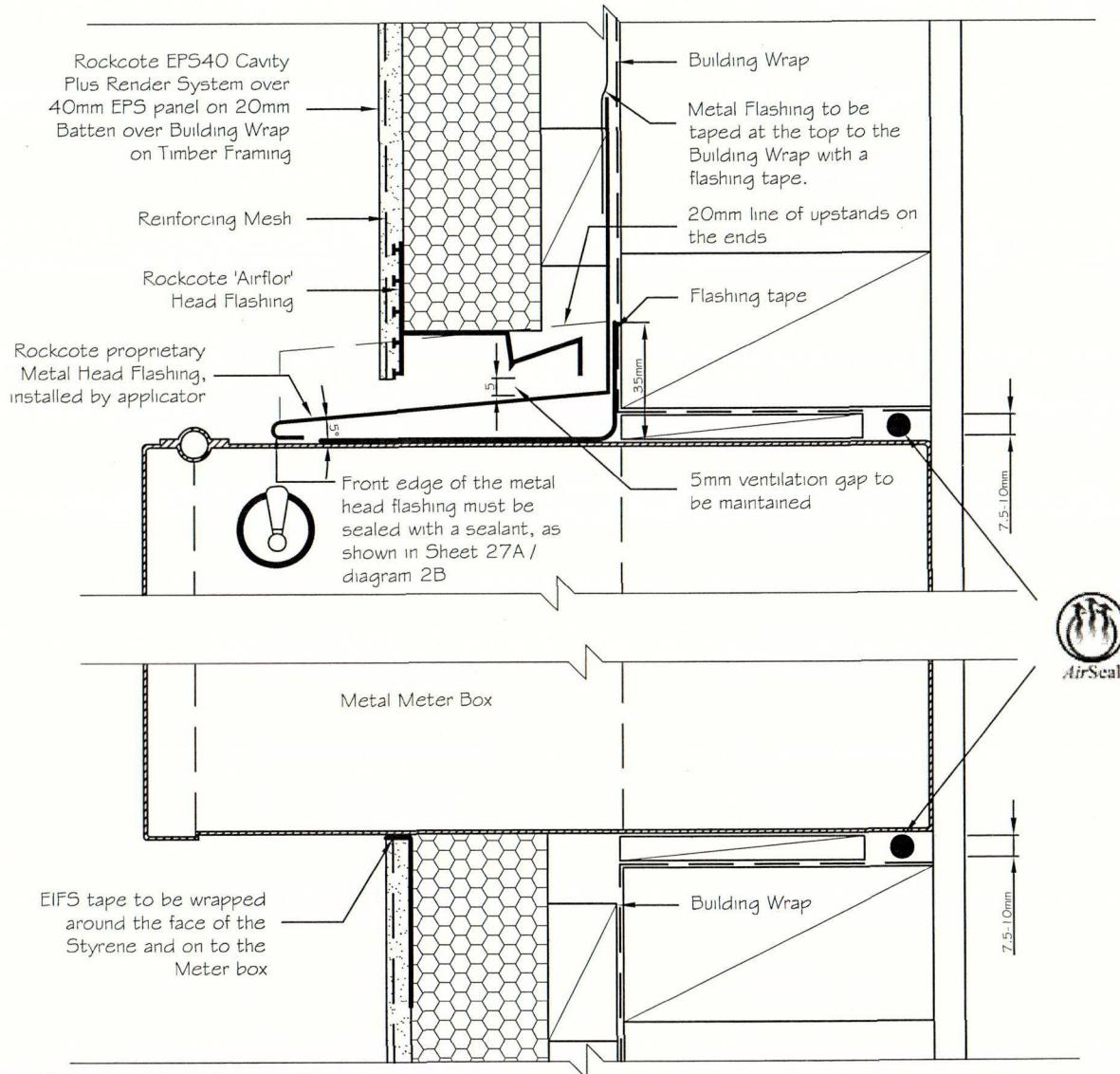
All Construction to comply with NZBC and relevant documents and Territorial Authority Regulations. The contractor shall verify all dimensions and levels on site before work commences.

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Filename	Scale	<b>EPS40 CAVITY PLUS</b> RENDER SYSTEM
EPS40Cavity_26.dwg	1 : 2 (ISO)	
Drawn By	Date	
Sae-woon Lim	25 June 2005	
Drawing Name	Sheet	
Pipe Penetration	26	



**ROCKCOTE**  
systems

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Air Seal please refer to Rockcote Technical Bulletin 09 for more information on Air Sealing Technology.



EIFS tape must NOT be exposed to the UV sunlight.



**EPS40 CAVITY PLUS**

Filename: EPS40cavity\_27.dwg      Scale: 1 : 2 (ISO)

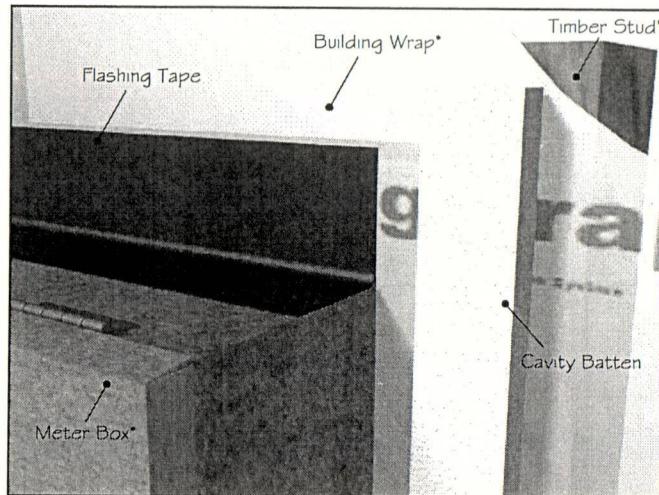
Drawn By: Sae-woon Lim

Date: 25 June 2005

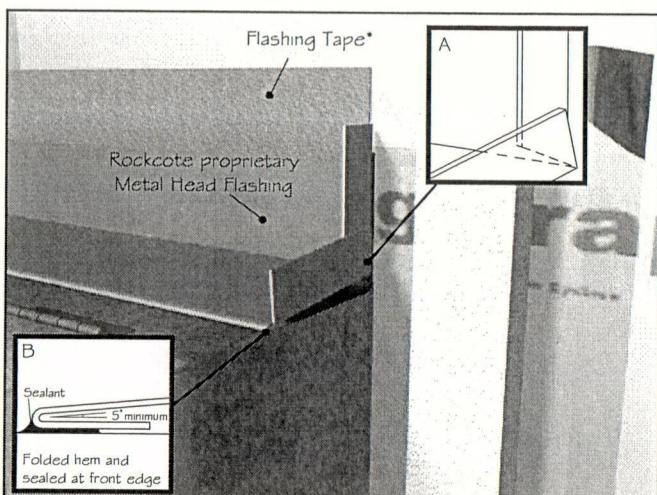
Drawing Name: Meter Box Penetration

Sheet 27

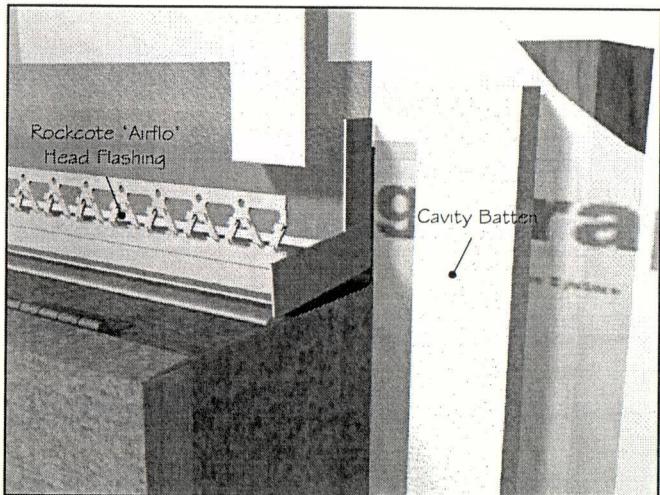
**PLEASE NOTE**  
This set of plans MUST be available on site when inspections are carried out



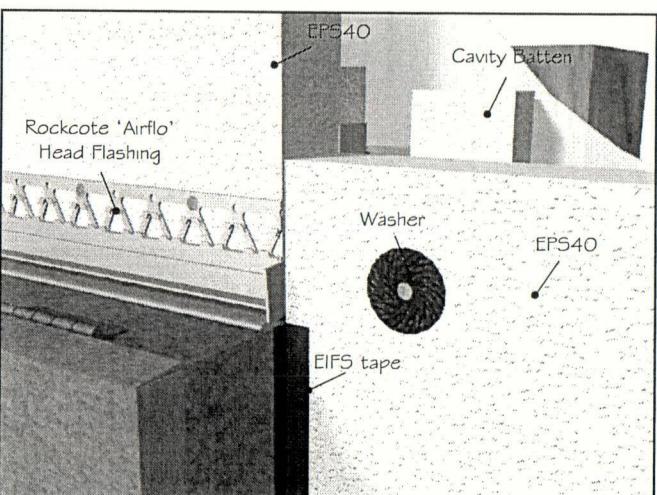
① Meter Box should penetrate into the Building Wrap as shown above.



② Metal Flashing is placed on top of the Meter Box and it is to be taped to the Building wrap at the top, and sealed on the front edge of the Meter Box. 20mm stop ends are folded up as shown in diagram A.



③ Rockcote 'Airflow' Head Flashing is to be placed on top of the Metal flashing with a minimum of 5mm ventilation gap from the bottom of the PVC flashing to the top of the Metal Flashing.



④ EIFS tape must be wrapped around the sides and bottom of the Meter Box and on to the Styrene (EPS40). The returns of the EIFS tape must be atleast 50mm on to the Styrene, and maximum of 7mm (or thickness of the plaster) on to the Meter Box. It should look like above (4) before plastering.

*Seal* 27 MAR 2007  
CONSENT DOCUMENT



Drain holes in the Starter Tracks are sufficient to achieve ventilation openings of 1000mm<sup>2</sup> per lineal metre.

All EIFS tapes must not be directly exposed to the UV light.

## ROCKCOTE systems

All Construction to comply with NZBC and relevant documents and Territorial Authority Regulations. The contractor shall verify all dimensions and levels on site before work commences.

Drawings not to be used for construction without Territorial Authority Consent.

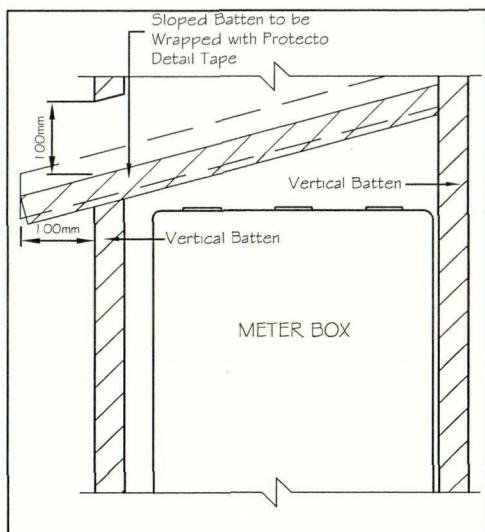
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\*indicates: components NOT supplied by Rockcote Systems

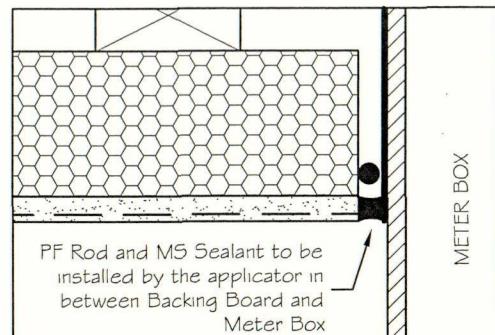
Filename	EPS40_MeterBox.ai	Date
Drawn By	Sae-woon Lim	25 June 2005
Drawing Name	Standard Meter Box Installation	Sheet 27A

**EPS40 CAVITY PLUS**  
RENDER SYSTEM

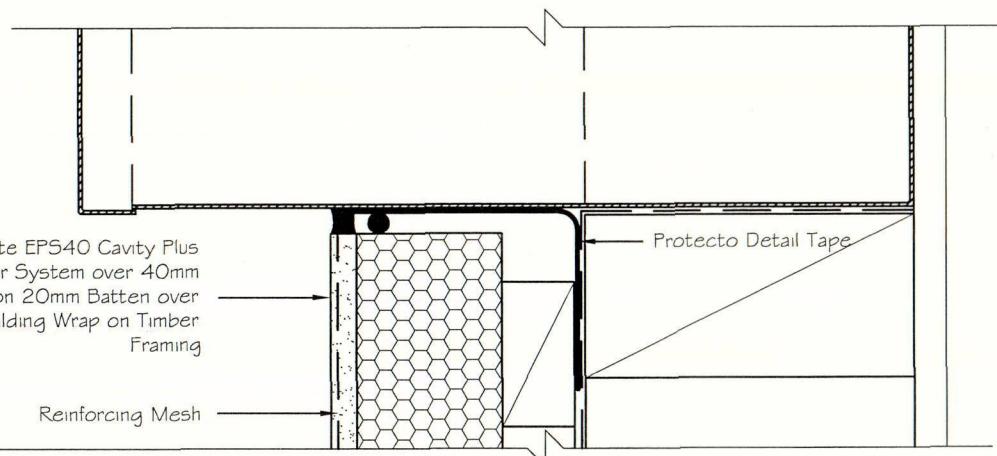
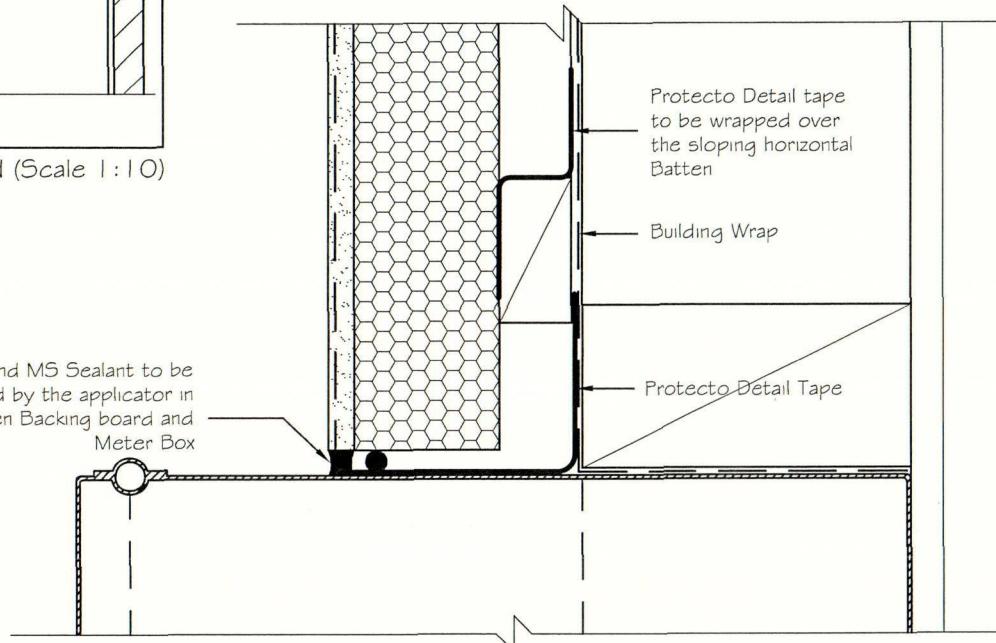
DRY  
ZONE



FRONT ELEVATION (Scale 1:10)



TOP VIEW (Looking down the side)



**ROCKCOTE**  
systems

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This detail is suitable for use in sheltered locations only.

Protecto Detail Tape must NOT be exposed to UV sunlight.

Filename: EPS40Cavity\_27B.dwg      Scale: 1 : 2 (ISO)

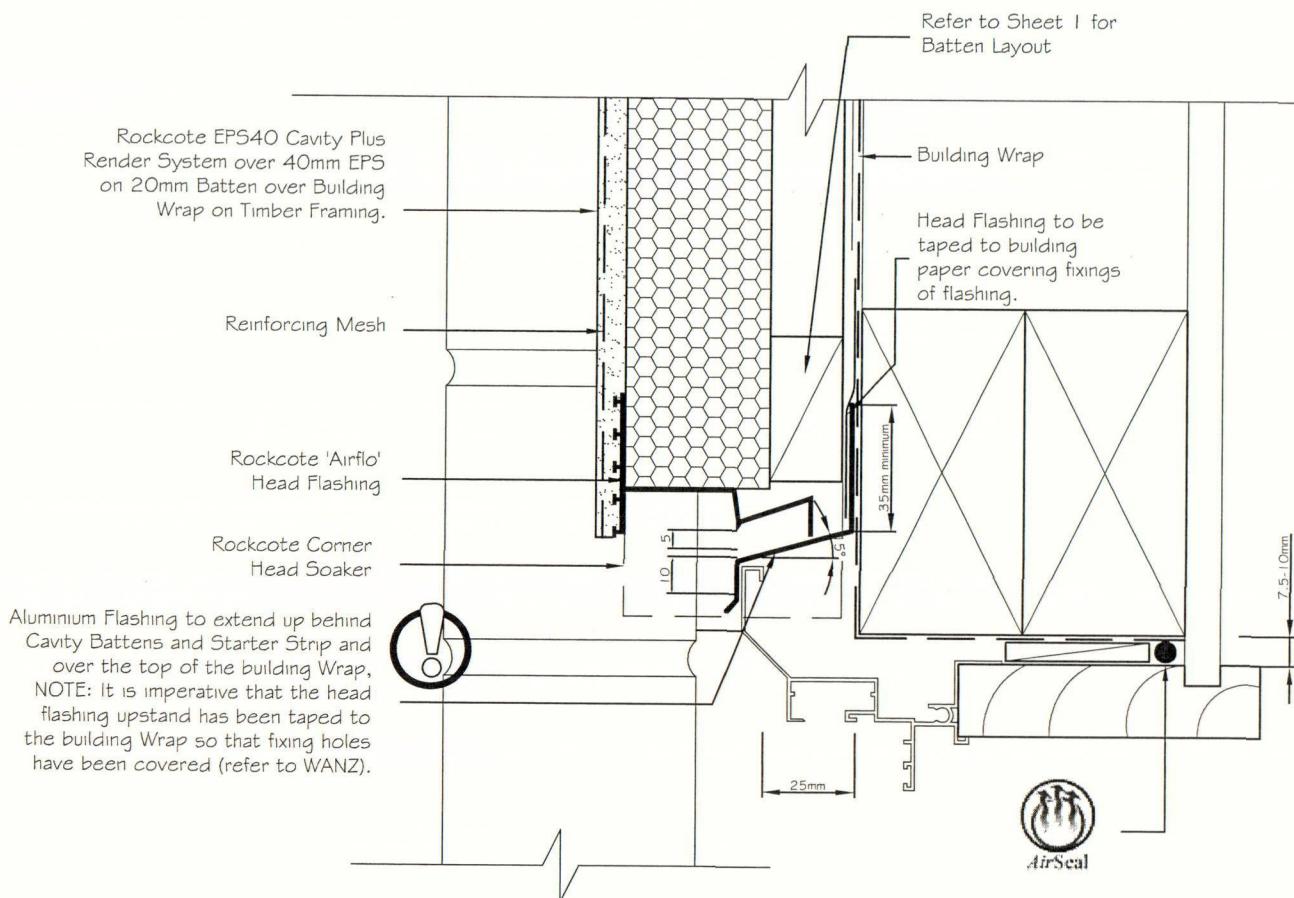
Drawn By: Sae-woon Lim

Drawing Name: Alternative Meter Box Penetration

**EPS40 CAVITY PLUS**  
RENDER SYSTEM

DRY ZONE

25 June 2005  
Sheet 27B  
**PLEASE NOTE**  
This set of plans MUST be available on site when inspections are carried out.



PLEASE NOTE THE WINDOW SETOUT IS TO BE CONSISTENT WITH SETOUTS FOR BRICK VENEER.



Metal Flashing (or PVC Flashing if in corrosive areas) shown is to be supplied by the main contractor. These will need to be specifically designed to suit each application. All head flashings to be powder coated to colour match joinery. Flashings are to meet the requirement of Section 4 of NZS 3604:1999. The Head Flashings must have stop ends formed a minimum of 30mm and be sealed to the Brick Veneer.

Drain Holes in the Starter Strip are sufficient to achieve ventilation openings of 1000mm<sup>2</sup>

## ROCKCOTE systems

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Air Seal please refer to  
Rockcote Technical Bulletin 09  
for more information on Air  
Sealing Technology.



Filename	Scale	<b>EPS40 CAVITY PLUS</b> RENDER SYSTEM
EPS40Cavity_28.dwg	1 : 2 (ISO)	
Drawn By	Date	
Sae-Woon Lim	25 June 2005	
Drawing Name	Sheet	
Window Head to Brick Junction	28	



HIGH STREET, LEESTON  
PRIVATE BAG 1, LEESTON  
PH: (03) 324-8080 FAX: (03) 324-3531

REF No.....

22 August 2006

Mr Mugford  
76 Moffat Drive  
Lincoln  
CHRISTCHURCH 7608

Dear Sir,

RE:-                    BUILDING CONSENT NUMBER R419563  
                          HOUSE ALTERATIONS

Further to our meeting this morning I can confirm that in order to resolve the plaster issues with the above stated building consent Council will accept an amendment to the consent in order to enable the issue to be resolved and a final Code Compliance Certificate to be issued on successful completion of the proposed work.

It is my understanding that you intend to carry out the following work under such an amendment:-

- 1) Extend out (square up) the 'Courtyard' area and change this space into a Bedroom.
- 2) Remove the plaster cladding which is the area of concern and replace this cladding with vertical corrugated profiled metal cladding.
- 3) Alter the timber deck to create a walkway along the front of the house and a lower deck level in front of the walkway.

As advised please provide three copies of the amended documentation to the Council for processing under the existing building consent reference number.

If you or your designer have any queries please do not hesitate to contact me.

Yours faithfully,

A handwritten signature in black ink, appearing to read 'V. Beavon'.

Vanessa Beavon  
Customer Services Officer Building Control

# SPECIFICATIONS

## Performance

	LE 2000	LE 3000	LE 5000	LE 7000	Panorama	Grandview	LE Prov	Horizon	Utopia	Arcadia
ESTIMATED PEAK OUTPUT (kW)	16	19	19	24	20	28	17	16	16	13
NORMAL HEAT OUTPUT RANGE (kW)	1-14	1-17	1-17	1-21	1-18	1-25	1-15	1-14	1-14	1-12
ESTIMATED BURN TIME ON LOW (Hr)	12	14	14	16	15	16	12	12	12	8

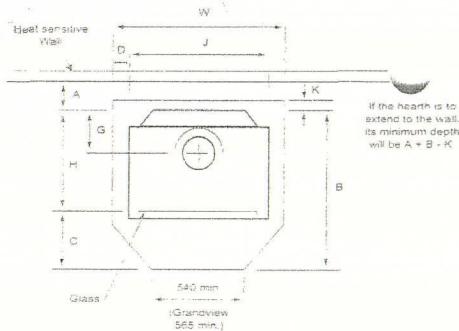
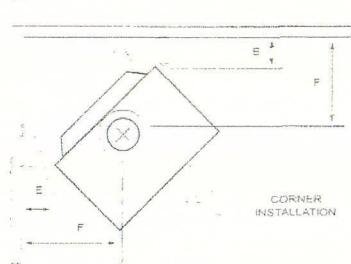
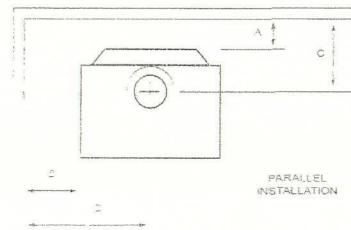
Heat output and burn time will vary depending on fuel size, type and moisture content.

## Minimum Wood Fire to Wall Distances

		A	B	C	D	E	F	
LE 2000	PAGE 2	With flue heat deflector*	50	300	220	578	50	355
	PAGE 9	Without flue heat deflector	300	300	470	578	150	455
LE 3000	PAGE 3	With flue heat deflector*	50	245	275	575	25	380
	PAGE 9	Without flue heat deflector	300	270	525	600	225	580
LE 5000	PAGE 4	With flue heat deflector*	50	245	275	575	25	380
	PAGE 9	Without flue heat deflector	300	270	525	600	225	580
LE 7000	PAGE 5	With flue heat deflector*	100	325	295	655	50	420
	PAGE 9	Without flue heat deflector	505	420	700	750	325	700
Panorama	PAGE 5	With flue heat deflector*	50	345	275	675	50	380
	PAGE 9	Without flue heat deflector	300	345	525	675	250	580
Grandview	PAGE 5	With flue heat deflector**	200	350	395	730	50	458
	PAGE 9	Without flue heat deflector	450	350	645	730	250	658
Utopia	PAGE 7	With flue heat deflector*	345	642	500	950	350	650
	PAGE 9	Without flue heat deflector	300	512	450	775	350	600
Arcadia	PAGE 7	With flue heat deflector*	345	642	500	950	350	650

\*Polished stainless steel Flue Heat Deflector, 1200mm long with 180° wrap-around and top heat dispersal cap.

\*\*Polished stainless steel Flue Heat Deflector, 900mm long with 180° wrap-around and top heat dispersal cap.



## Minimum Hearth Requirements

	W	B	C	D	G	H	J	K
LE 2000	PAGE 2	875	636	200	160	170	435	555
	PAGE 9	935	910*	420*	138	225	490	660
LE 3000	PAGE 3	935	910*	420*	138	225	490	660
LE 5000	PAGE 4	935	690	200	138	225	490	660
LE 7000	PAGE 5	875	740	200	108	195	540	660
Panorama	PAGE 5	935	975*	410*	138	225	565	660
Grandview	PAGE 5	965	1255*	520*	103	195	610	780
Utopia	PAGE 7	1065	900	470	225	155	430	615
Arcadia	PAGE 7	975	680	345	225	150	335	525
								325

crease by 80mm if the hearth top is not at least 50mm above the floor.

## Minimum Hearth Extension for LE Provincial (with or without fan)

earth Elevations	60mm or more	50mm	25mm	Zero
lin. Hearth Extension	300mm	325mm	400mm	450mm

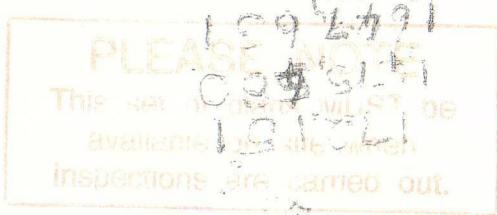
If optional (fan type) fascia is fitted, the minimum hearth extension is 300mm for any hearth height. All Provincial hearths must be at least 900mm wide.

Maspot is always improving its range of products. All specifications are subject to change or variation without notification. For confirmation of Maspot product details, please call (09) 571-1200.

NOTE: Specifications given on this page are indicative only. Please refer to the installing and operating instructions before installing your Maspot Wood Fire. Full installation instructions are supplied with each Maspot Wood Fire.

## Wood Fire Dimensions

	WIDTH (W)	HEIGHT (H)	DEPTH (D)	WEIGHT (kg)
LE 2000	PAGE 2	560	620	520
	PAGE 9			90
LE 3000	PAGE 3	660	642	490
	PAGE 9			100
LE 5000	PAGE 4	660	581	590
	PAGE 9			105
LE 7000	PAGE 5	660	763	560
	PAGE 9			140
Panorama	PAGE 5	660	705	570
	PAGE 9			120
Grandview	PAGE 5	760	790	520
	PAGE 9			180
Utopia	PAGE 7	615	682	511
	PAGE 9			125
Arcadia	PAGE 7	525	610	517
	PAGE 9			80



**MASPORT HEAD OFFICE NEW ZEALAND**  
1-37 Mt Wellington Highway, PO Box 14-349

Panmure, Auckland 6

Phone 09-571 1200

Fax 09-527 1294

**MASPORT HEAD OFFICE AUSTRALIA**

PO Box 533, Braeside 3195

Phone 1300 366 225

Fax 1800 035 594



79 AUG 2001  
ISO 9001 ISO 14001

## Grandview (pictured right)

- Comfortably heats very large open plan living areas
- Maximum 28kw output\*
- Magnificent heat and superior burn with a mighty cast iron firebox and finned heat exchanger
- Clean Air friendly
- Available in Metallic Black paint with stylish gold and black louvres
- Optional 3 Speed Fan for faster heat circulation and a Water Booster to link with your water cylinder to reduce power costs

\$	Grandview	Panorama	LE 7000
FIRE			
HEARTH			
FLUE			
INSTALLATION			
OPTIONS			
<b>TOTAL</b>			

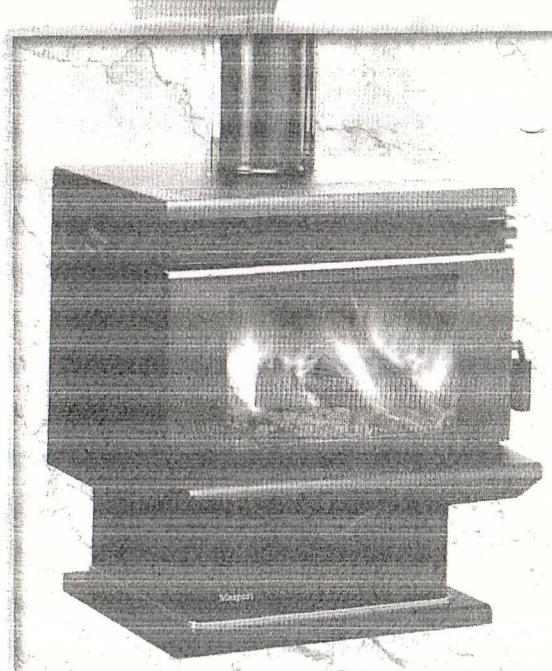
## Panorama

PLEASE NOTE  
The following information is for  
reference only. Please note that  
inspections are carried out.

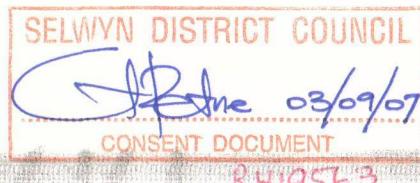
- Stylish panoramic window design for a wider view of the flames
- Comfortably heats medium to large open plan areas
- Maximum 20kw output\*
- Superior heat from a fully lined cast iron firebox, finned heat exchanger and triple air combustion system
- Clean Air friendly
- Available in Matt Black (pictured) or Forest Green vitreous enamel
- Optional 3 Speed Fan for faster heat circulation and a Water Booster to link with your water cylinder to reduce power costs



PANORAMA



LE 7000



## LE 7000

- Comfortably heats large sized rooms and open plan areas
- Maximum 24kw output\*
- Magnificent heat and superior burn with a mighty cast iron firebox and finned heat exchanger
- A fitted ash shelf reduces the hearth size requirement
- Clean Air friendly
- Available in Matt Black (pictured) enamel and also in Metallic Black paint
- Optional 3 Speed Fan for faster heat circulation and a Water Booster to link with your water cylinder to reduce power costs

SMITHS CITY

## #2003 150mm CEILING UP KIT DOUBLE` SHIELDED

This Flue Kit must be installed by a suitably qualified tradesperson or a solid fuel heater installer. This Flue Kit complies with NZS 7401:1985 and NZS 7421: 1990

\* This Kit may require additional components to complete installation.

## Roof & Ceiling Installation

Secure Cowl bracket to outside of Galv Liner.

sider Bracket clamped to flue to space and support chimney pipe to face upwards

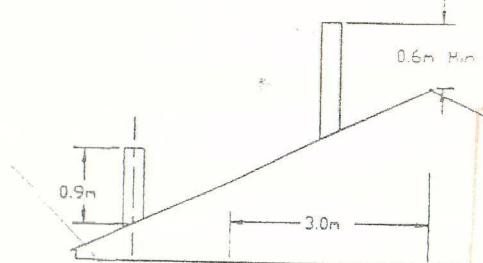
ashing to weatherproof  
ound liner where it  
its the roof.

IV Liner is fixed to -  
unting rails by rivets

ter galv liner can  
nailed directly  
timber \_\_\_\_\_  
amino

Special Ceiling  
Plates are available  
for sloping ceilings.

### Minimum Chimney Height (excluding cowls)



### Notes:

- ① Refer to your heater manufacturers recommendations for flue heights.
- ② Depending on local circumstances, taller chimneys may be required for satisfactory performance. Check with your local building authority.

R419563

## SEIWYN DISTRICT COUNCIL

## CONSENT DOCUMENT

29 AUG 2007



HIGH STREET, LEESTON  
PRIVATE BAG 1, LEESTON  
PH: (03) 324-8080 FAX: (03) 324-3531

REF No.....

## Interim Code Compliance Certificate

**R419563**

**Section 43(3), Building Act 1991**

### APPLICANT

R J & T C MUGFORD  
76 SOUTH BELT ~~MORFAT~~ DRIVE  
LINCOLN  
CANTERBURY

Issue date 16/05/00

### Project

Description	New Construction  Being Stage 1 of an intended 1 Stages  DWELLING ALTERATION & ADDITION
Intended Life	Indefinite, but not less than 50 years
Intended Use	DWELLING ALTERATION & ADDITION
Estimated Value	\$80,000
Location	76 SOUTH BELT, LINCOLN
Legal Description	PT LOT 1 DP 17721 LINCOLN TSHIP
Valuation No.	2404154900

The costs of issuing this interim Code Compliance Certificate and any subsequent final inspection, where carried out, will be invoiced separately.

This is an interim code compliance certificate in respect of part only, as specified in the following particulars, of the building work under the above building consent.

Further building work is required to be completed as detailed in the most recent building inspection site sheet. When all works are completed the building owner is required to notify the Territorial Authority where a further final inspection may be required to ensure compliance. When all building works approved under the above building consent comply, a full Code Compliance Certificate will be issued.

**Signed for and on behalf of the Council:**

Name:

Date: May 16, 2000

SERVICE  
CENTRES:

LEESTON  
HIGH STREET, LEESTON  
PH: (03) 324-8080

DARFIELD  
SOUTH TERRACE, DARFIELD  
PH: (03) 318-8416

LINCOLN  
GERALD STREET, LINCOLN  
PH: (03) 325-3288

ROLLESTON COMMUNITY CENTRE  
ROLLESTON DRIVE, ROLLESTON  
PH: (03) 347-9669



## COMPUTER FREEHOLD REGISTER UNDER LAND TRANSFER ACT 1952



R. W. Muir  
Registrar-General  
of Land

### Search Copy

Identifier **CB6B/1269**  
Land Registration District **Canterbury**  
Date Issued **31 August 1966**

Prior References  
CB637/46

Estate Fee Simple

Area 908 square metres more or less

Legal Description Part Lot 1 Deposited Plan 17721

#### Proprietors

Robert John Richard Mugford, Trudi Christine Mugford and Stuart Donald Watson

#### Interests

Appurtenant hereto is a water easement contained in Deed of Easement 19098 (28 D 937)

Fencing Provision in Transfer 691315 - 31.8.1966

6078247.2 Mortgage to Bank of New Zealand - 14.7.2004 at 9:00 am

### Altruism

157370288 887000784336 3 1227 3 27700207327 10075 3

79-47

35.9

250.85

100.0

BELT

SOUTH

TOWN

CB6B/1269

卷之三

## SPECIFIED SYSTEMS

24. The following specified systems are contained on the **compliance schedule** for the building and, in the opinion of the personnel who installed them, are capable of performing to the performance standards set out in the Building Consent: (List Specified Systems): (use additional pages if required)

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## SIGNATORY

25.  I request that you issue a code compliance certificate for this work under Section 95 of the Building Act 2004.

26. The code compliance certificate should be sent to:- RJR & TC MUGFORD  
*(unless otherwise advised the Code Compliance Certificate will be sent to the Agent/Applicant)* 76 MORFAT DRIVE  
LINCOLN 7608  
Roger Mugford

27. Signed by or for and on behalf of the Applicant

28. Name of Person Signing: Roger Mugford 29. Date: 10/9/2007

Note: if acting "for and on behalf", please read the following declaration before signing:- "I hereby declare that I am authorised to act as Agent / Applicant".

## ATTACHMENTS

30. The following documents are attached to this application:-

Certificates from the personnel who carried out the work.

You are required to supply certificates from all of the Trades involved in your project, such certificates should include the following information:-

- ▶ Name, address, and contact phone numbers.
- ▶ Registration Number (where applicable).
- ▶ Building Consent number.
- ▶ Project site address, and scope of work.
- ▶ Name of the tradesperson who carried out the work.
- ▶ A statement confirming which NZ Building Code Clauses which the work complies with, and compliance with the Approved Building Consent Documents including any variations.
- ▶ The Certificate must be signed and dated by the tradesperson responsible for the work.

Certificates that relate to the energy work (Electrical and Gasfitter).

Evidence that specified systems are capable of performing to the performance standards set out in the Building Consent (Installers certification).

## APPLICATION INFORMATION

## Code Compliance Certificate

A Code Compliance Certificate will be issued within 20 working days from application provided all the information required has been supplied. All inspections listed in the Building Consent documentation must have been booked and carried out to the Building Consent Authorities satisfaction during the construction phase. In the event that no application for Code Compliance is made within 2 years after the granting of the Building Consent the Building Consent Authority is obliged to issue a Notice To Fix for any outstanding work .

## Notice to Fix

If a Notice to Fix is issued, it will state the building work that must be carried out and will set a timeframe in which this work must be completed. Once the work listed has been completed a further inspection shall be booked by phoning the Inspection Bookings Team on Phone 324 5848.

## Fees

**Please Note:-** All work for the issue of a Code Compliance Certificate and Compliance Schedule will be invoiced and must be paid in full before the Code Compliance Certificate will be issued.

## NOTES BY APPLICANT

*Other notes or comments which you as the applicant may wish to add*