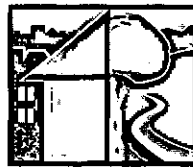


17 APR 2002



**APPLICATION**

for

**P.I.M / Building Consent**

Enhancing the quality of the environment

This application is for a: (tick the appropriate box)

- Project Information Memorandum - PIM (preliminary application for a Building Consent)
- Building Consent
- Alteration to Approved Plan

BC 21323

**(A) Owner**

Name: MRS M. BROADBENT 48440

Mailing Address: 38 DELHI AVE.

Phone: 3436906 Fax: \_\_\_\_\_

**(B) Designer**

Name: N. DAVIDSON

Mailing Address: \_\_\_\_\_

Phone: \_\_\_\_\_ Fax: \_\_\_\_\_

**(C) Builder**

Name: N. DAVIDSON

Mailing Address: 73 VIRGINIA ROAD WANG

Phone: 021396600 Fax: 3457954

**(D) Craftsman Plumber** \_\_\_\_\_

**(E) Registered Drainlayer** \_\_\_\_\_

**CONTACT PERSON** i.e. A B C D E (Circle one)

**Project**

Description of PROJECT and USE: GARAGE TO LOUNGE CONVERSION

**Project Location**

Street Address/Rural No: 38 DELHI AVE

**Durable Life of Project** (i.e. 5, 15, 50+ years)

**Value of Project Work**

(include all labour & materials)

\$ 10500.00 (Incl. G.S.T)

Consent Fees to be paid by? BUILDER 52369

Code Compliance Certificate to be sent to? BUILDER

**Floor Area of Project**

New Residential Dwellings or New Commercial Only \_\_\_\_\_ m<sup>2</sup>

Signed by (or on behalf of) the applicant

Signature: N. Davidson

owner, builder, plumber, designer, agent (circle appropriate one)

Date: 12/4/02

**Office use only**

**LEGAL DESCRIPTION**

WDC Property No: 15062  
 Valuation Roll No: 1288037701  
 Lot(s): 1 DP: 52142  
 Section: \_\_\_\_\_ Block: \_\_\_\_\_  
 Survey District: \_\_\_\_\_

**FEES APPLICABLE**

Building Consent Application	\$ 100.00
Building Consent Issue	\$
P.I.M.	\$
Non-Notified Appl. Fee	\$
Prepaid Crossing	\$
Prepaid Sewer Connection	\$
Prepaid Water Connection	\$
Stormwater Connection	\$
Building Research Levy	\$
BIA Levy	\$
Additional Charges	\$

**Total Fees (Incl. G.S.T.)** \$ 100.00

PTO

The information will be included in a Public Register of Consents issued which is available for public perusal under the Privacy Act 1993 section 54. This may result in receipt by the Owner of trade advertising.

**Project Details**

The project involves the following:  
 (tick each applicable box, if any, and attach two (2) copies of any relevant information)

- (1)  Location in relation to legal boundaries, and external dimensions of new, relocated or altered buildings
- (2)  New provisions to be made for vehicular access and on-site parking, ie: a new crossing
- (3)  Provisions to be made in building over or adjacent to any road or public place, ie: hoardings, signs
- (4)  New provisions to be made for disposing of stormwater and wastewater
- (5)  Precautions to be taken where building work is to take place over existing drains or sewers or in close proximity to wells or watermains
- (6)  New connections to public utilities, ie: new drainage or water connections
- (7)  Provisions to be made for any demolition work, ie: the protection of the public, suppression of dust, disposal of debris, disconnection from public utilities and suppression of noise
- (8)  Any cultural heritage significance of the building or building site, including whether it is on a marae

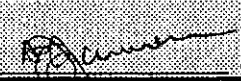
**Project Documents (provided with this application)**

- Plans & Specifications
- (22)  Producer Statements (ie: truss design, design review) - specify: .....
- (23)  Other Documents - specify: .....

**Inspections**

- (26)  By Wanganui District Council
- (27)  Other - specify (ie: Design Engineer): .....

for office use only							
Unit	Checks				Inspections	Approved	
	Initials	Date	Initials	Date		No.	Initials
Administration	LC	17/4					
Planning	WV	22/4				WV	27/4
Building	Gas	23/4				Gas	26/4
Drainage							
Water							
Structural							
Plumbing/Drainage							
Roading							
Health							
Dangerous Goods							

Approved for issue of IPIM/Building Consent:  Date: 30 APR 2002

# Development Checksheet

## Residential

Property Address: <i>CONVERT GARAGE TO LOUNGE</i>						
Project: <i>38 DELIA AVENUE</i>				Site Area:		
	Operative Plan			Proposed Plan		
Rule	Required	Provided	O.K.	Required	Provided	O.K.
Coverage						
Maximum Height			✓			✓
9m x 9m Triangle						
Front Boundary		<i>MORE THAN</i>		<i>MEETS HEIGHT REVISION</i>		
Side Boundary		<i>10 METRES FROM RT BDD</i>		<i>MEETS REQUIREMENTS</i>		
Side Boundary						
Rear Boundary		<i>INTERNAL CHANGES TO EXISTING BUILDING</i>				
Separation of Units						
Outdoor Living						
Storage						
Parking						
Access						
Dimensions/Easements						

Comments:

*PLANNING APPROVED*

*22/11/02*



# ENVIRONMENTAL SERVICES

WANGANUI DISTRICT COUNCIL

24 Apr 2002

Neil Davidson  
73 Virginia Rd  
Wanganui

FAKED

Dear Sir or Madam

RE: 42 DELHI AVE WANGANUI

To convert a garage into lounge.

I acknowledge receipt of your building application for the above work. A perusal of the plans and specifications raises the following comments.

1. Please supply construction details for the window/door head, jamb and sill flashings. (Graham Wait - Building Control Officer)
2. Please supply the manufacturers installation instructions for the log fire. (Graham Wait - Building Control Officer)

Receipt of your advice regarding the above comments will enable your application to be further considered. Please quote project number 21323.

Yours faithfully

Environmental Services Business Unit.

Enhancing the quality of the environment

Enhancing the quality of the environment



SPECIFICATIONS FOR GARAGE TO LOUNGE CONVERSION  
AT 38 DELHI AVE FOR MRS M. BROADFOOT.

SCOPE OF WORK:

TO EXISTING DOUBLE GARAGE. BUILD NEW WALL TO FORM STORAGE AREA. TO NEW WALL AND EXISTING WALLS PROVIDE Batts INSULATION AND GIB BOARD LININGS.

TO EXISTING PRENAIL TRUSSES FIX TIMBER BATTENS AND GIB BD. LININGS. INSULATE R-2.0 Batts.

TO EXISTING GARAGE FLOOR PLACE REINFORCED CONC. SLAB OVER POLYTHENE.

PROVIDE NEW ALUM. WINDOWS TO EXISTING GARAGE DOOR OPENINGS - REDUCE TO 800 FROM NEW FLOOR TO BOTTOM. NEW WINDOW TO EAST ELEVATION REMODELLED TO 800W X 1600H.

CONCRETE:

100mm CONC. SLAB - 668 MESH ON CHAIRS OVER POLYTHENE.

FRAMING:

100 X 50 DCM FRAME - STUDS 600 c/s - DWANGS 800 c/s  
WALL LININGS:

GIB BOARD LININGS GUILDED & SCREWED AS FOR WINSTONE  
SPECIFICATIONS

CEILING LININGS:

GIB ULTRALINE GUILDED & SCREWED TO 75 X 40 BATTENS  
@ 450 c/s.

INSULATION:

R 2.2 CEILING Batts  
R 1.8 WALL Batts.

EXTERIOR:

PROVIDE HINuera STONE TO REDUCED WINDOW OPENINGS TO MATCH EXISTING.

**11.7.5.3**

Wall ties shall be installed so that they are contained within the mortar bed, with a layer of mortar both above and below the tie. Wall ties shall be of such a length that they have an embedment length of at least half the width of the veneer, and an end cover of 15 mm for galvanized steel ties. Wall ties shall be fixed to *framing* members with screws or other non-impact fasteners. Where rigid underlay has been used, the length of the fixing screw shall be increased by the thickness of the underlay.

**11.7.6 Openings****11.7.6.1**

Openings with masonry veneer above shall be spanned by mild steel angle or flat *lintels*, protected against corrosion in accordance with the provisions of 4.5.

**11.7.6.2**

*Lintels* shall have a minimum seating of:

- (a) 100 mm for spans up to, and including 2 m;
- (b) 200 mm for spans over 2 m.

Sizes of veneer *lintels* are given in table 11.4.

**11.7.7 Flashings**

Flashings shall be protected against corrosion (see section 4) and shall be provided:

- (a) Across the top of openings;
- (b) At window sills;
- (c) Where different exterior *cladding* materials abut.

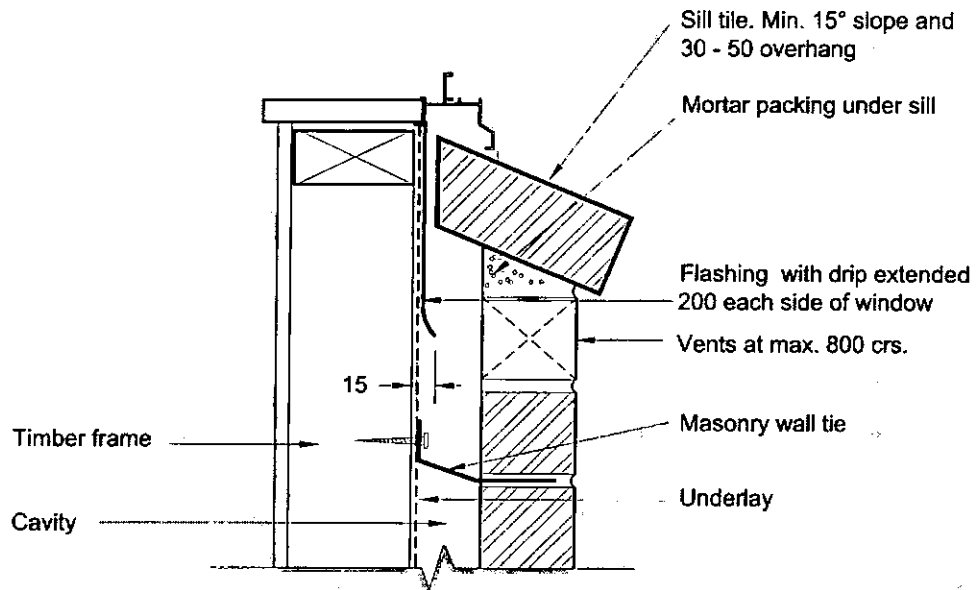
See figure 11.3 for flashing details.

**11.7.8 Masonry veneer tolerances**

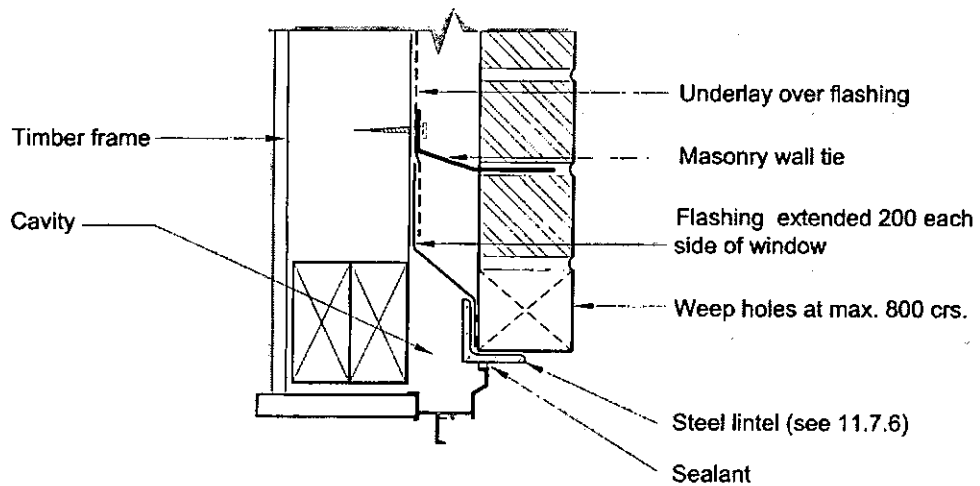
Deviations from established lines, grades and dimensions shall be as listed in table 11.5.

**C11.7.5.3**

*The practice of dry placing onto the top of the veneer and placing the mortar bed across the top of the tie is not acceptable. The mortar bed must be pre-laid and the tie placed on the wet mortar followed by flushing of mortar over the top surface of the tie. End covers for ties other than galvanized steel are available in NZS 4210. All fixings must be made through the sheeting to the primary frame, not just the sheeting material.*

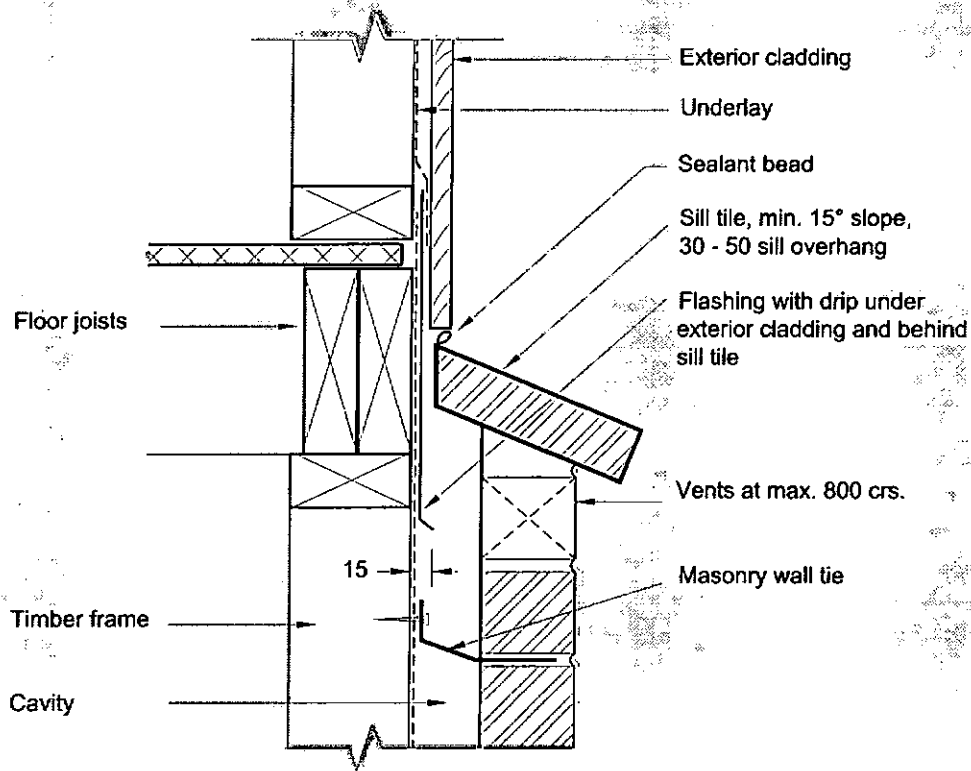


( A ) VENEER WINDOW SILL DETAIL

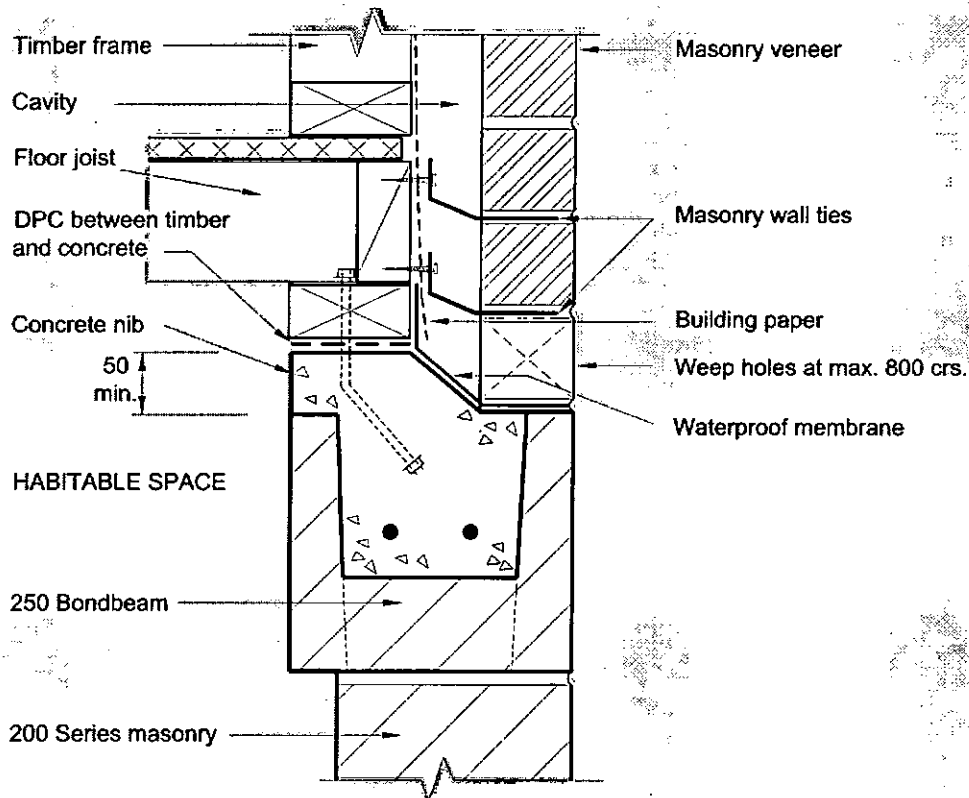


( B ) VENEER WINDOW HEAD DETAIL

Figure 11.3 - Flashing details - Veneer (see 11.7.7)

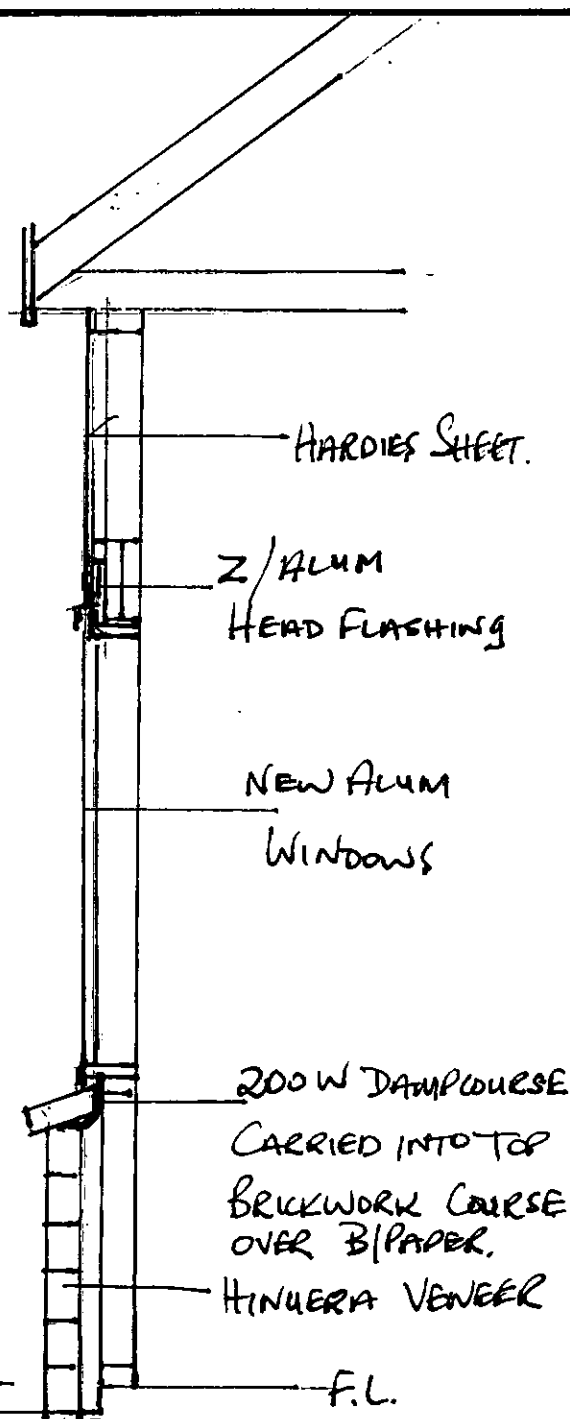


( C ) VENEER INTERSTOREY DETAIL



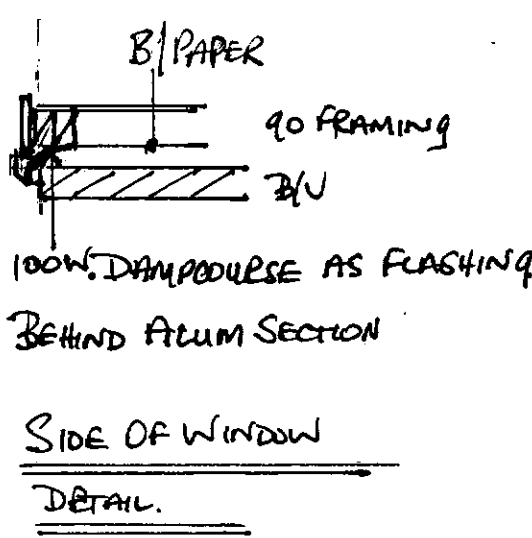
( D ) VENEER UPPER FLOOR JUNCTION DETAIL

Figure 11.3 – Flashing details – Veneer (continued) (see 11.7.7)

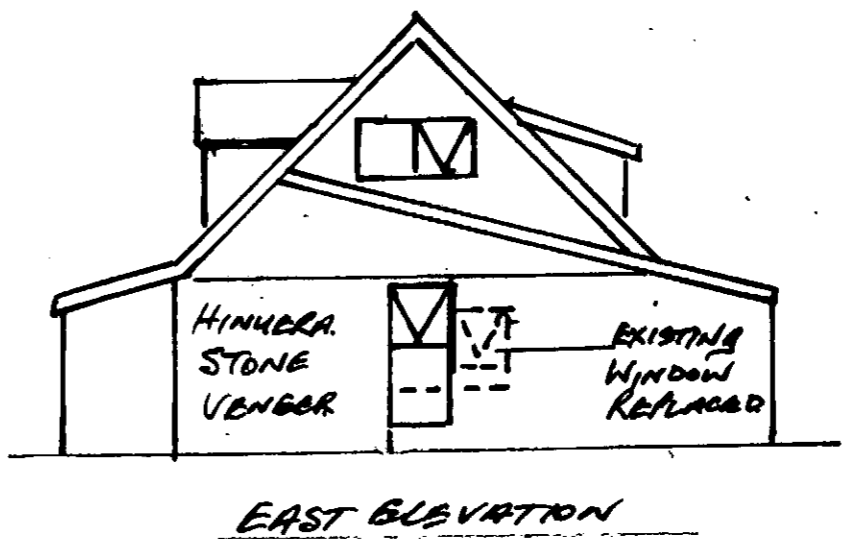


HEAD + SILL  
DETAIL.

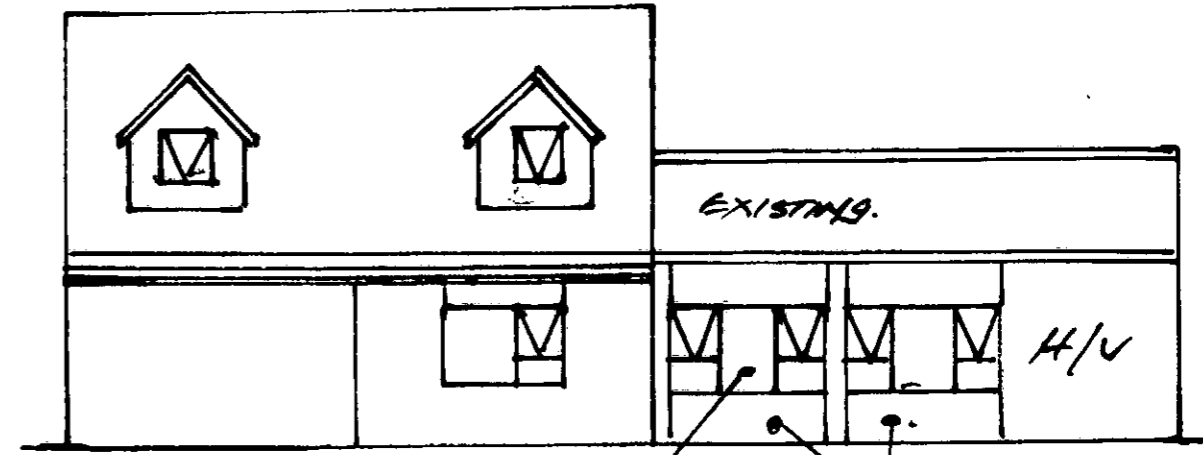
WINDOW DETAILS / 38 DELHI AVE.  
GARAGE ALTERATIONS.



DRAWN BY		DRAWING No.	
DATE	SCALE		

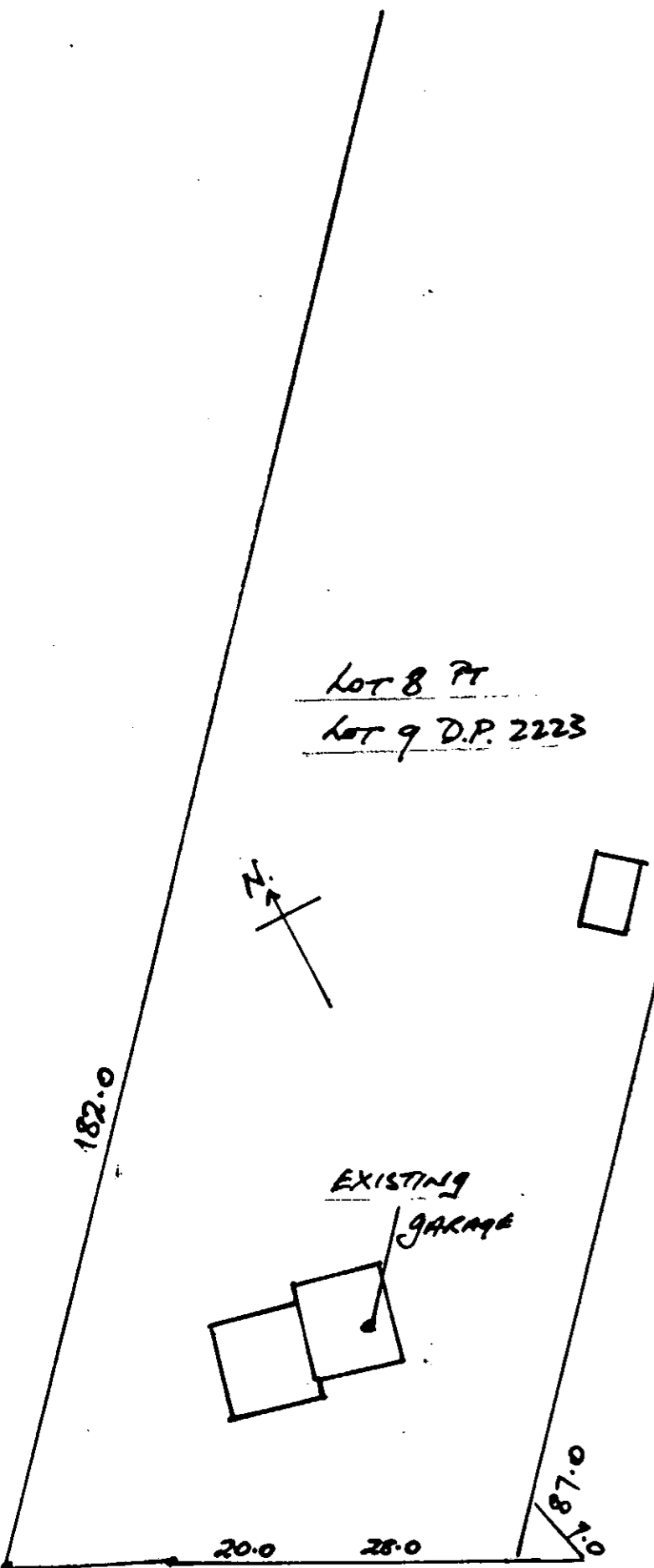


EAST ELEVATION



WEST ELEVATION.

2/NEW WINDOWS IN EXISTING DOOR OPENINGS.  
HINGERA STONE VENEER TO MATCH EXISTING.



Lot 8 Pt  
Lot 9 D.P. 2223

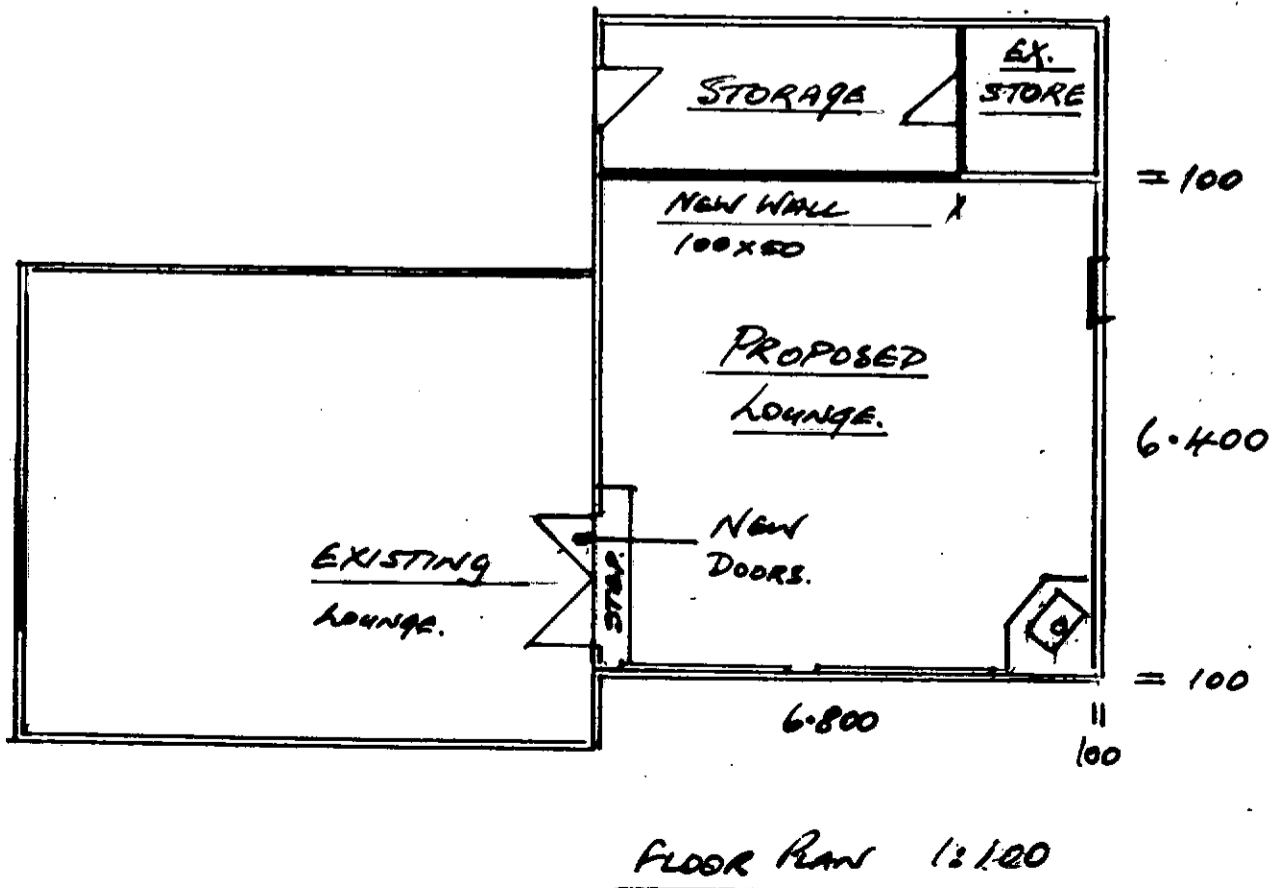
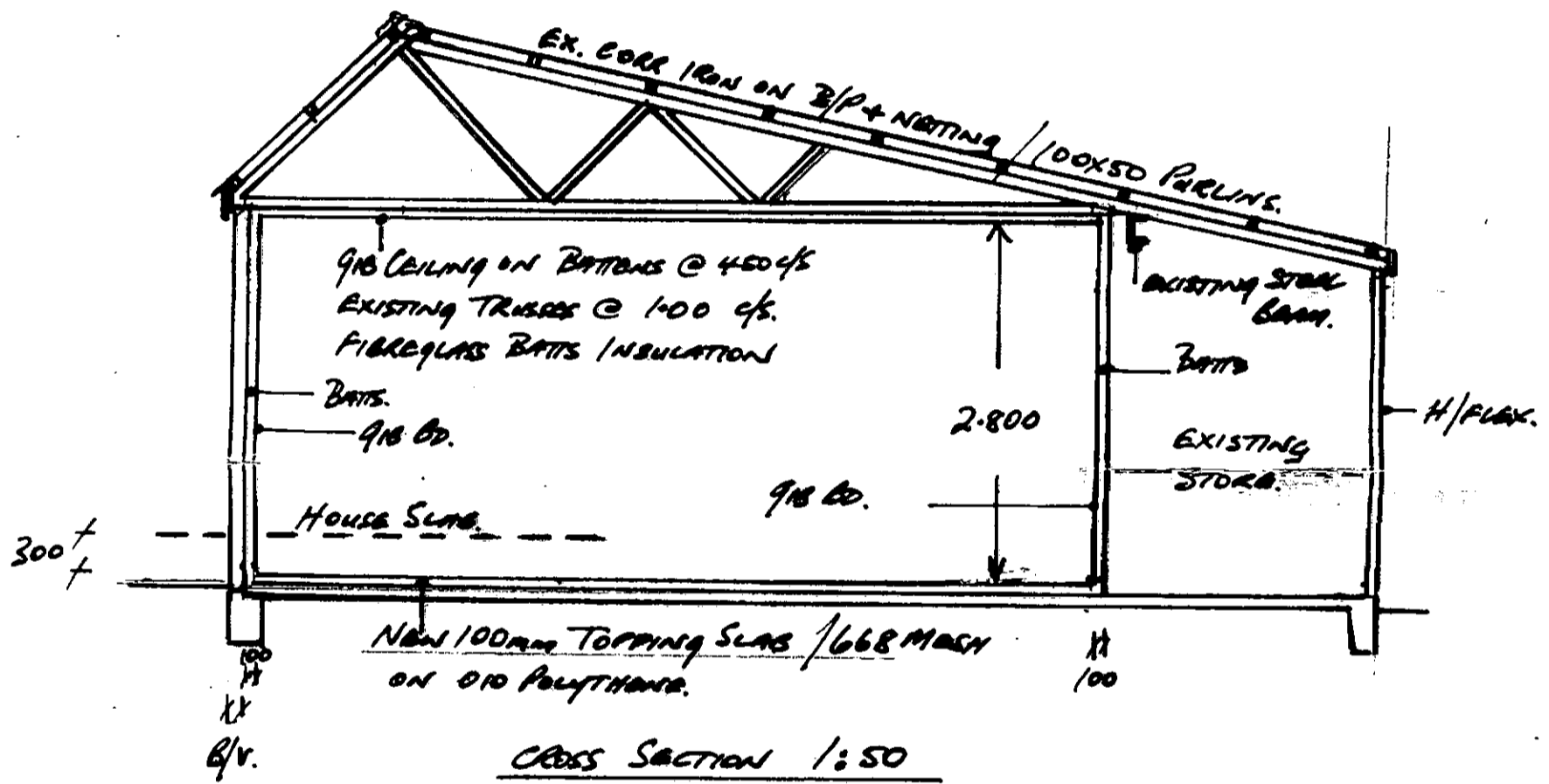
EXISTING GARAGE

38 DELHI AVE.  
SITE PLAN. 1:500

PROPOSED GARAGE CONVERSION AT 38 DELHI AVE.

FOR MRS M. BROADFOOT.

SCALE 1:100



PROPOSED GARAGE CONVERSION / 38 DULHAME  
 FOR MRS. M. BRADBURY

SPECIFICATION TO FREESTANDING FIRE TO  
38 DELHI AVE FOR MRS M. BROADFOOT

HEARTH:

TO CONCRETE FLOOR ADD INSULATED HEARTH  
BASE APPROX 1100 X 1100 (DIAGONAL SITED FIRE)

INSTALLATION:

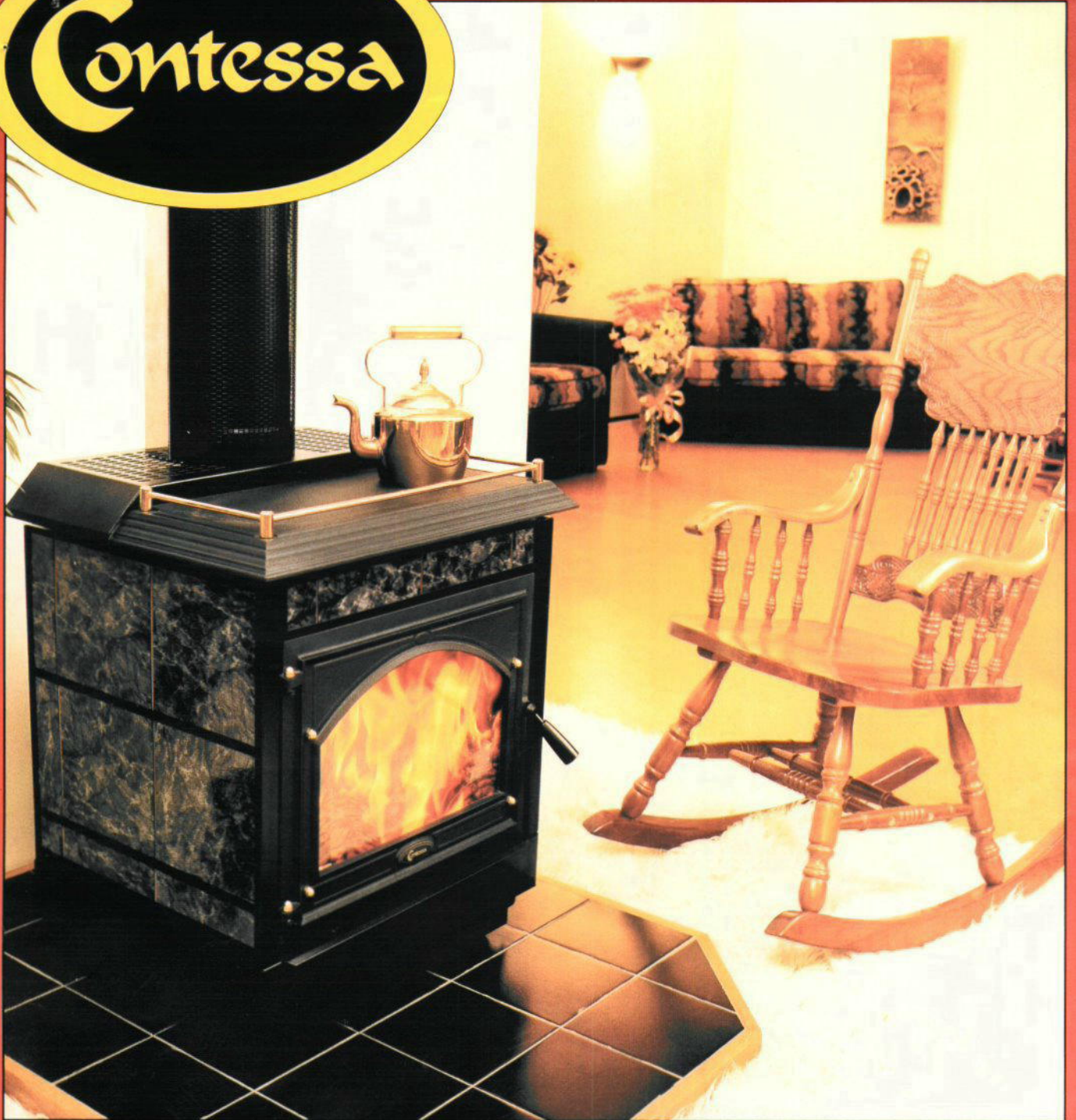
FIREBOX INSTALLED TO CLEARANCES REQUIRED  
BY MANUFACTURER.

FIRE MODEL HEWITSON "CONTESSA."

INSTALLATION BY PALMERS PLUMBING.

**DELUXE MODEL SHOWN**

**Contessa**



## **ENVIRONMENTALLY FRIENDLY**

The elegant all new 'Contessa' based on the successful 'Lady Kitchener' series offers a highly efficient and clean burning heater to grace the lounge. Our state of the art firebox, ceramic lined to increase burning efficiency, withstands temperatures in excess of 1000°C, far beyond the capabilities of either cast iron or steel boxes.

With multi-fuel adaptability, allowing you to choose wood, coal, peat or briquettes this European inspired heater gives the added advantage of interchangeable tiles, around the clock burning and an abundance of hot water.

**The 'Contessa' - above all - technically superior**

# The 'Contessa' sets new standards

Responding to the call for a cleaner solid fuel heater Hewitson-Enviro-Heat Ltd have created the 'Contessa', the heater which compliments the long established 'Lady Kitchener' multi-fuel stove.

Concerns for the natural environment have prompted us to develop a heater of unparalleled efficiency, utilising the fuel perfectly, its high efficiency giving optimum heat economy.

## Features:

- Furnace brick lined for durability and an extended heat output
- Fully insulated to complete combustion efficiency
- High overall efficiency
- Exceptionally low emissions
- Pre-heated Primary, Secondary and Tertiary air inlets ensure a balanced burn
- Individually hand built
- Large firebox to accommodate 1/2 metre long logs
- Interchangeable tiles
- Cooking facilities and optional Hot Top Oven
- Convection and Radiation heating
- Effective airwash system keeps viewing glass clean
- Optional removable ash drawer for safe, easy ash removal
- Removable gold plated safety rail
- Top or rear flue outlets available
- Optional Hot Top Warming Grill
- 12 month full warranty, 5 year limited warranty

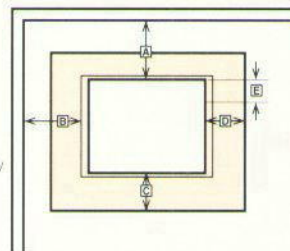


The Contessa offers a complete water heating option, which is capable of supplying a large families full hot water requirements.

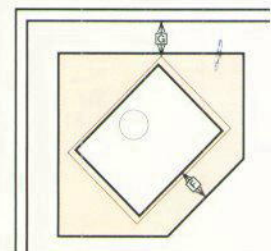
Height	<b>710</b>	Weight	125kg
Depth	<b>470</b>	Maximum Heater Output	23kw
Width	<b>590</b>	Maximum Firebox Temperature	1000°C
Firebox Height	<b>340</b>	Wetback Output	3.5 – 5kw
Firebox Depth	<b>320</b>	Wetback Tapings	Standard
Firebox Width	<b>460</b>	Flue	1" BSP
Door Opening Height	<b>275</b>		
Door Opening Width	<b>435</b>		

Clearances are in accordance with the requirements of NZ Standards 7421 – 1990 Australian Standards 2918 – 1987 As part of a continuing product improvement programme Hewitson Enviro-Heat Limited reserve the right to change and improve the products dimensions and specifications without notice.

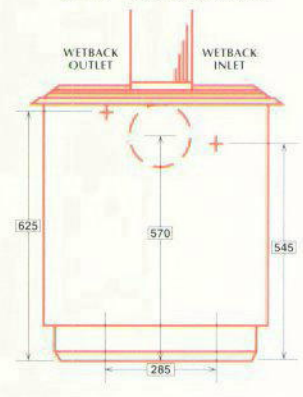
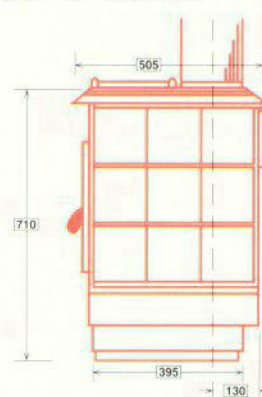
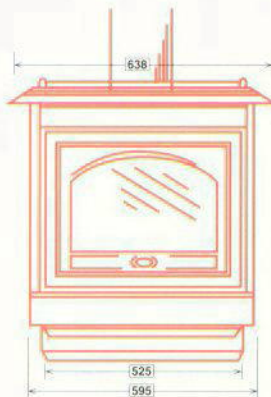
Clearances	A	B	C	D	E	F	G
WITH FLUE SHIELD	100	275	375	150	130	375	100
WITHOUT FLUE SHIELD	170	275	375	150	130	375	100



Suggested minimum insulated hearth – size 1000 x 1000



Suggested minimum insulated hearth – size 1100 x 1100



*\$1990*



Stockist

*Dalmore Plumbing & Heating Ltd*  
 293 VICTORIA AVENUE  
 WANGANUI  
 PH. (06) 3455891 Fax (06) 3453941

Manufactured by  
 Hewitson Enviro-Heat Ltd, PO Box 5251, Onekawa, Napier, New Zealand  
 Telephone (06) 843-8260 - Facsimile (06) 843-0505  
 Email: hewitson@inhb.co.nz





## CODE COMPLIANCE CERTIFICATE NUMBER BC02/21323

Section 43(3), Building Act 1991

Mrs ML Broadfoot  
38 Delhi Ave  
WANGANUI 5001

**Building Consent  
No:** BC02/21323

**Issue Date:** 24/02/2006

<b>Project Location</b>	<b>Assessment Number/Legal Description</b>
42 Delhi Ave WANGANUI 5001	LOT 1 DP 52142 1.6591 Ha
<b>Type of Work</b>	<b>Description of Work</b>
SingDetRes	To convert a garage into lounge
<b>Intended Life</b>	<b>Estimated Value</b>
50 years	\$10500.00

This is a final Code Compliance Certificate issued in respect of all of the building work under the above Building Consent.

Signed for and on behalf of the Wanganui District Council:

A J Jamieson  
**Team Leader Building Services  
Environmental Services Business Unit**

**Date:** 24 February 2006