
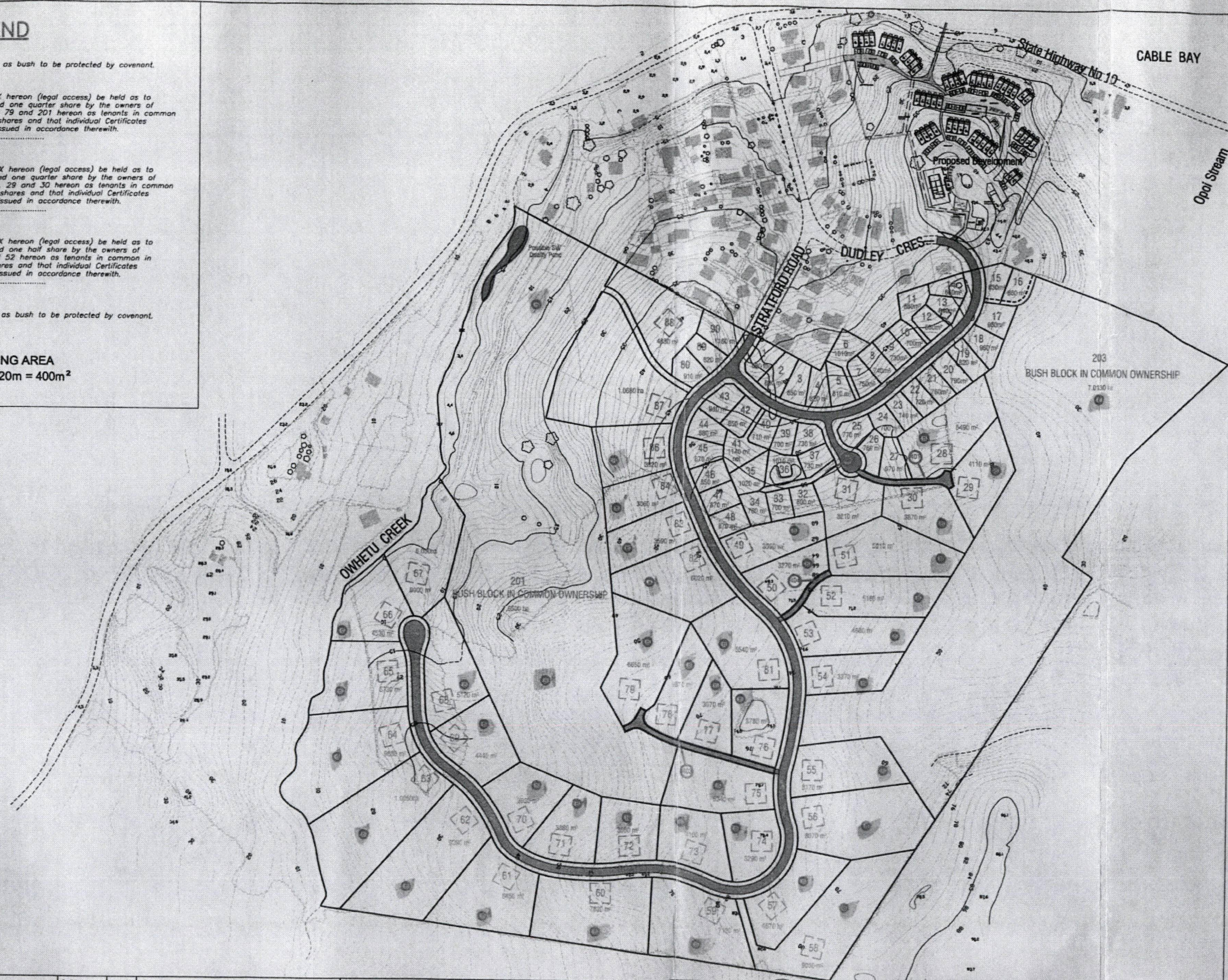


LEGEND

- (B) Areas shown as bush to be protected by covenant.
- (C) That Lot XXX hereon (legal access) be held as to four undivided one quarter share by the owners of Lots 77, 78, 79 and 201 hereon as tenants in common in the said shares and that individual Certificates of Title be issued in accordance therewith. See.....
- (D) That Lot XXX hereon (legal access) be held as to two undivided one half share by the owners of Lots 27, 28, 29 and 30 hereon as tenants in common in the said shares and that individual Certificates of Title be issued in accordance therewith. See.....
- (E) That Lot XXX hereon (legal access) be held as to two undivided one half share by the owners of Lots 51 and 52 hereon as tenants in common in the said shares and that individual Certificates of Title be issued in accordance therewith. See.....
- (R) Areas shown as bush to be protected by covenant.

 BUILDING AREA
20m x 20m = 400m²



NOTE:

Building / clearing area on large lots
Conventional Residential Lots

- (B) Areas shown as bush to be protected by covenant.
- (R) Areas requiring revegetation

Total Area 45.60 ha
District Plan Zone: Coastal Living Zone
Key Rules:
Minimum Lot Size: 5000m²
This concept plan is based on an average of 5000m² yielding 90 lots.
Wastewater will be dealt with on site using appropriate plant and clear water drip irrigation.
Water supply will be by rain tank equipment with a bore water supply.

Contour Interval 1.0m
Contours from Aerial Photography

Notes:
Plan for McBrean Jenkins Ltd purposes only.
This plan is conceptual only.
This plan is not for Resource Consent purposes.
Wood & Partners Ltd. reserve the sole and exclusive right to the copyright in all draft and final plans.
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REVISIONS:	DATE	NAME	Client:

**McBREEN
JENKINS
LTD**

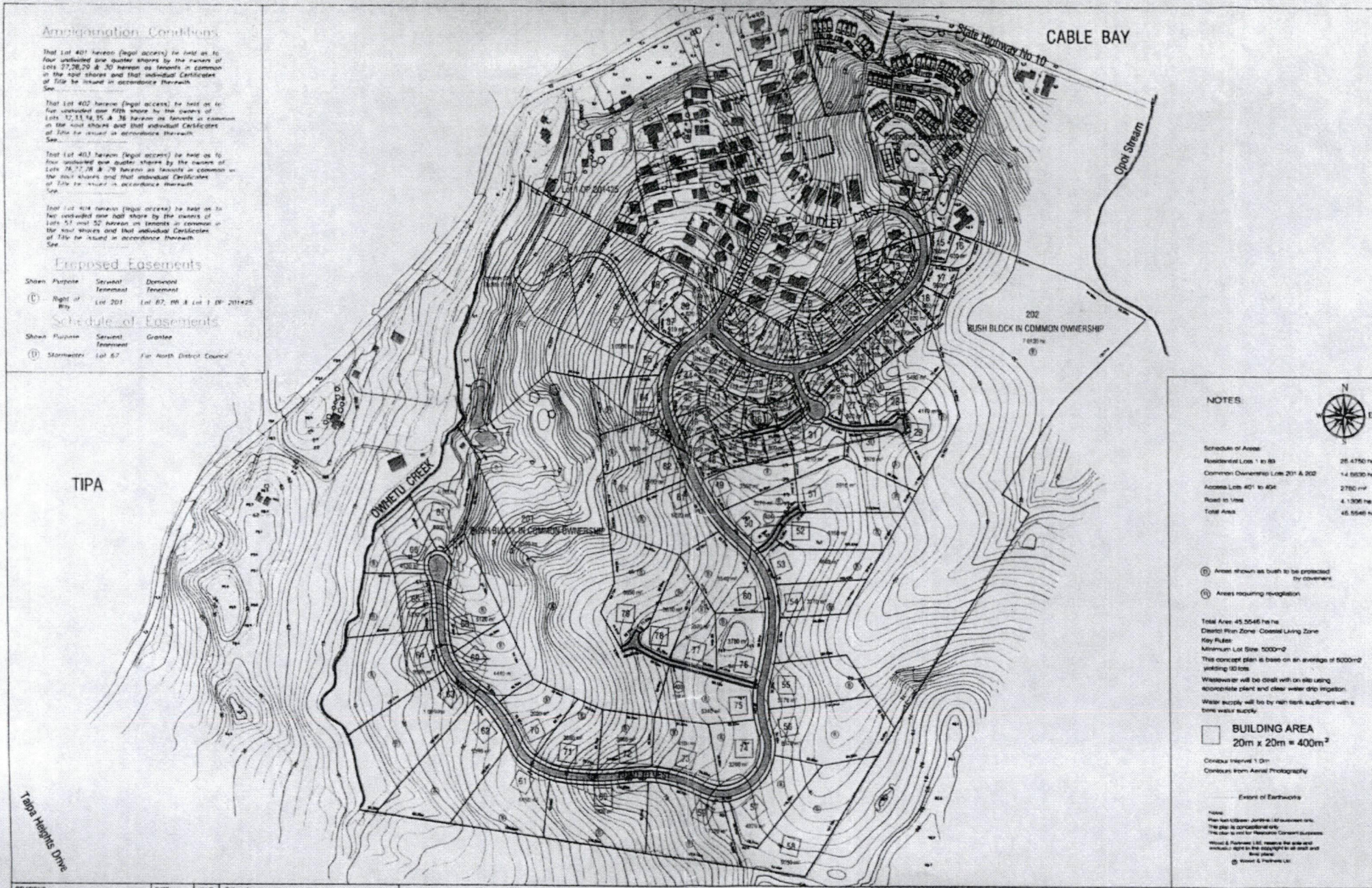
**CABLE BAY
PROPOSED SCHEME PLAN OF
LOT 4 DP 312738
FAR NORTH DISTRICT COUNCIL**



**REGISTERED SURVEYORS
CONSULTING ENGINEERS
TOWN & RESOURCE PLANNERS**

Level 4 Building 3
665 Great South Road
PO Box 6752 Auckland
Ph 09 571 2470
Fax 09 571 3405

DESIGNED: TJ	SCALE: 1:2000 @A1
DRAWN: TJ/GB	1:4000 @A3
CHECKED: XXX	JOB NO: 55427
CAD REF: 55427/CableBaySch2	DRAWING NO: 001
APPROVED: XXX	
ISSUED: 03/12/04	



Amalgamation Conditions

That Lot 401 (legal access) be held as to four undivided one quarter shares by the owners of Lots 27, 28, 29 & 30 hereon as tenants in common in the right shares and that individual Certificates of Title be issued in accordance therewith. See.

That Lot 402 (legal access) be held as to four undivided one quarter shares by the owners of Lots 17, 18, 19, & 20 hereon as tenants in common in the right shares and that individual Certificates of Title be issued in accordance therewith. See.

That Lot 403 (legal access) be held as to four undivided one quarter shares by the owners of Lots 76, 77, 78 & 79 hereon as tenants in common in the right shares and that individual Certificates of Title be issued in accordance therewith. See.

That Lot 404 (legal access) be held as to four undivided one quarter shares by the owners of Lots 51 and 52 hereon as tenants in common in the right shares and that individual Certificates of Title be issued in accordance therewith. See.

Proposed Easements

Shown	Purpose	Servient Tenement	Dominant Tenement
(C)	Right of Way	Lot 201	Lot 87, 88 & Lot 1 DP 201425

Schedule of Easements

Shown	Purpose	Servient Tenement	Grantee
(U)	Stormwater	Lot 87	Far North District Council

NOTES:

(B) Areas shown as bush to be protected for clearance.

(N) Areas requiring revegetation.

Total Area: 45,5546 ha
 District Plan Zone: Coastal Living Zone
 Riparian Rule:
 Minimum Lot Size: 5000m²
 This concept plan is based on an average of 5000m² yielding 10 lots.
 Wastewater will be dealt with on site using appropriate plant and clear water drip irrigation.
 Water supply will be by rain tank supplement with a bore water supply.

BUILDING AREA
 20m x 20m = 400m²

Contours Interval: 1.0m
 Contours from Aerial Photography

Extent of Earthworks

Note:
 Plan set to be used for Resource Consent purposes.
 The plan is not to be used for Resource Consent purposes.
 Wood & Partners Ltd. reserves the right to amend and withdraw any part of the plan at any time without notice.
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REVISED	DATE	NAME	Client:
			MARBREEN JENKINS

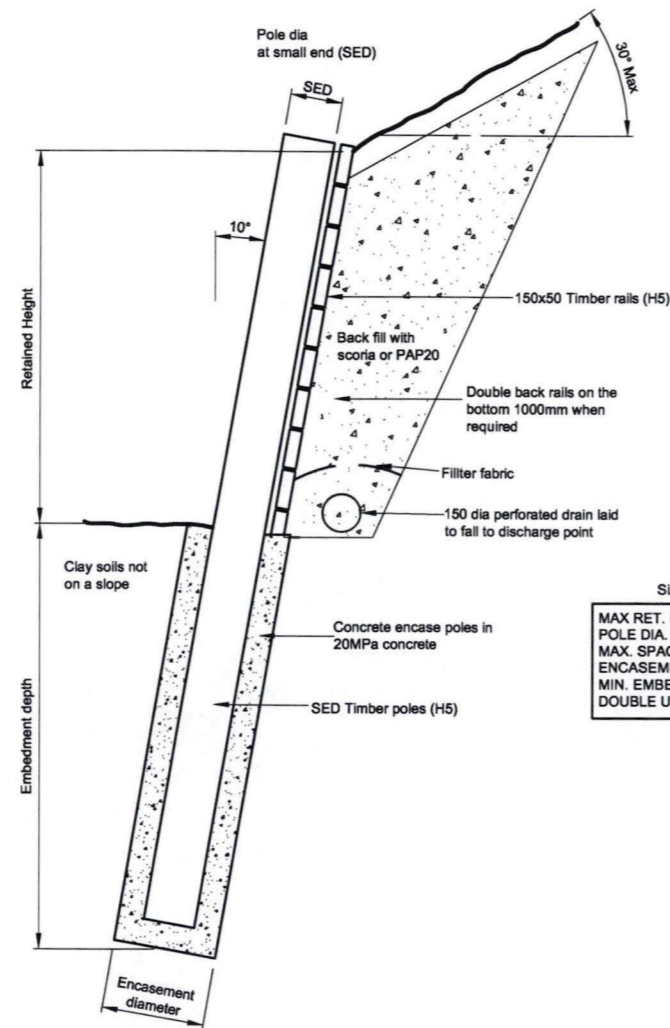
CABLE BAY
 PROPOSED SCHEME PLAN OF
 LOT 4 DP 312738
 FAR NORTH DISTRICT COUNCIL



REGISTERED SURVEYORS
 CONSULTING ENGINEERS
 TOWN & RESOURCE PLANNERS

Level 4 Building 3
 605 Great South Road
 PO Box 6752, Auckland
 Ph: 09 571 2470
 Fax: 09 571 3405

DESIGNED	SCALE
UJ	1:2000 @A1
DRAWN: UJ/SB	1:4000 @A3
CHECKED: KXJ	JOB NO:
CAD RET: 5547/CableBaySch2	55427
APPROVED: KXJ	DRAWING NO:
ISSUED: 8/11/05	001



Sizes for the above condition

MAX RET. HEIGHT (m)	1.5
POLE DIA. AT SED (mm)	200
MAX. SPACING (m)	1.2
ENCASEMENT DIA. (mm)	500
MIN. EMBEDMENT (m)	1.50
DOUBLE UP BACK BOARDS	No

POLE RETAINING WALL 1:20
 10° Rake on poles with max 30° back slope no surcharge.

No.	Revisions	Date	Appvd
Designed	DL	Date 6/06	Print Date
Drawn	DL	6/06	
Checked			
Approved			
Scale	Enter scales	Ref	-
Kerikeri Office Tel: 09 407 9332 Fax: 09 407 7812			

Client	CABLE BAY HEIGHTS LIMITED
Project	CABLE BAY HEIGHTS SECTIONS CABLE BAY
Sheet Title	RETAINING WALL

Job No.	102471	Sheet No.	RW1	Revision	-
		of	shts		

