

A SCOPE OF MANAGEMENT PLAN



1.0 PURPOSE OF MANAGEMENT PLAN

1.1 The purpose of the Management Plan is to provide an overall development and conservation framework for that land subject to Resource Consent Application No RC 2050116 being the subdivision of the land described as Lot 4, DP 312738 contained in CT 50077 as at May 2005. The subdivision is depicted on the Approved Scheme Plan (Wood & Partners) dated 03/12/04 with the Council " Approved Plan " stamp dated 2 December 2005 attached as Appendix 1 and approved variations RC 2070080 and RC2070635 dated 24 April 2007 and any subsequent amendments approved by Council. The Management Plan requires the owners and future owners of the land to retain, manage and enhance the particular resources and characteristics pertaining to the coastal setting of the land and its inherent landscape and ecological values.

1.2 The Management Plan promotes the sustainable management of the land and its resources by making a significant proportion of the land subject to Land Covenants which require owners and future owners to conserve and enhance the vegetated areas thereby protecting their habitat value and ensuring their continuing contribution to the landscape values and coastal setting of Cable Bay.

1.3 The Management Plan also aims to ensure that the development of the land results in a high degree of visual amenity which sustains the landscape character of the locality and does not result in adverse effects on the public's use and enjoyment of the coastal environment in the vicinity.

2.0 IMPLEMENTATION OF THE MANAGEMENT PLAN

2.1 By virtue of the Consent Notices pursuant to Section 221 of the Resource Management Act registered against the titles of each of the lots created pursuant to Resource Consent Application RC 20501164, the owners and subsequent owners of these lots, are required, acting either individually or jointly through the Incorporated Body, to observe and comply with the matters contained within the approved Management Plan and any other Consent Notices applicable to their Certificate(s) of Title.

2.2 Implementation of the Management Plan is also achieved through administration of the land covenants applied to the bush lots and other areas in common ownership.

3.0 COVERAGE OF MANAGEMENT PLAN

3.1 The Management Plan applies generally to the whole of the land included in Resource Consent Application 20501164 depicted on the Approved Scheme Plan but with some matters being applicable only to specified properties as stated in the individual sections.

3.2 All matters specified within the Management Plan must be complied with, unless they are described as guidelines for implementation. Non-compliance with the Management Plan will be subject to enforcement action through the provisions of the Resource Management Act 1991.

B MANAGEMENT PLAN REQUIREMENTS

4.0 STRATEGIC OVERVIEW

4.1 The strategy for protecting the values and resources of the property and integrating the built development within the existing coastal setting comprises three main components:

- 1) Permanent protection, through land covenants, of the vegetated area together with revegetation of pasture areas to conserve some 23 hectares of a rare habitat type which may contain rare or threatened species. This will allow the bush to regenerate and mature. Management of the covenanted area will be achieved through the Bush Protection Plan.
- 2) Controls over the design and siting of buildings together with landscape mitigation planting around the buildings and their access.
- 3) Management and maintenance of the private on-site reticulated systems for stormwater and wastewater treatment and disposal.

4.2 These matters are detailed in sections 5.0, 6.0 and 7.0 respectively.

5.0 BUSH PROTECTION PLAN

OVERVIEW

5.1 The purpose of the Bush Protection Plan [Appendix 2] is to provide for the retention, management and preservation of the vegetation contained within the covenanted areas. The Bush Protection applies to areas 201 and 203 and all areas outside the defined building platforms on allotments 28,29,30,31 and allotments 49 to 86 inclusive.

5.2 The Bush Protection Plan requires the retention, untouched, of all indigenous species within the identified area, unless approval is given by the Far North District Council for their removal or treatment, such work to be undertaken by a qualified arborist.

5.3 A pest and weed eradication programme shall be initiated and implemented in accordance with guidelines produced by the Northland Regional Council and implemented to the satisfaction of the Northland Regional Council.

5.4 Revegetation of bare land within the covenanted areas, including areas affected by the development works and removal of exotic vegetation, shall be undertaken in accordance with the requirements of the Bush Protection Plan in respect of species, planting and establishment processes, fertilisation, and weed and pest control.

5.5 ~~Compliance with the approved Bush Protection Plan is a requirement of this Management Plan and of the land covenants.~~

5.6 To ensure that stock from neighbouring properties does not enter those areas contained within the Bush Protection Plan the common boundaries shall be fenced. Such fencing shall be maintained by the Incorporated Body.

6.0 BUILT DEVELOPMENT

OVERVIEW

6.1 The land is situated in a coastal environment with high amenity values. It forms a backdrop to the settlement of Cable Bay and is surrounded by residential housing, less intensive 'lifestyle' housing interspersed with bush areas, farmland and some small scale horticultural activities. The development concept for the land aims to retain a high degree of natural character and landscape value within the site, hence guidelines are provided to ensure the addition of buildings, structures and other visual elements associated with human dwelling and habitation do not have adverse effects on the natural character of the area and the general landscape values of the locality.

6.2 Controls are required to minimise the potential visual impact of buildings, particularly on views from the coastal marine area. These provisions relate to the siting of buildings and accessory structures, together with design controls in respect of form, materials and colour where specified, and mitigation of visual effects through planting to provide screening. It should be noted that under the rules in the Far North District Plan pertaining to the Coastal Living Zone, resource consent is required for buildings exceeding a specified size. Compliance with the following requirements must be demonstrated when such consents are sought by individual owners.

DESIGN AND SITING OF BUILDINGS

6.3 The following restrictions and guidelines shall apply to buildings:

- a. No more than one single unit residential dwelling on any lot;
- b. Buildings on any lot shall be contained within the 'building envelopes' identified on the Approved Scheme Plan at Appendix 1 and as further detailed on the approved Survey Plan;
- c. Buildings and structures shall be designed and located to run with the landform, to minimise visual impact and to avoid, as far as practicable, breaking of ridgelines so that

- the structures are more effectively integrated with the topography;
- d. Buildings and structures shall have their foundations designed in accordance with the recommendations of the Geotechnical Report by Cook Costello for the relevant lot. [This information is attached as Appendix 3];
 - e. Buildings and structures shall be designed so that the rooflines are irregular and stepped with the plan of the dwelling being broken up or indented. This will allow for trees close to the dwellings, create shadows and reduce the appearance of their scale.
 - f. Buildings shall be coloured in recessive tones to harmonise with the surrounding vegetation and landscape;
 - g. No building shall exceed a height of 6 metres as measured by the rolling height method set out in the District Plan ;
 - h. Materials and finishes should complement the setting, be natural looking and non-reflective and windows should not be mirror glass;
 - i. The colours of all buildings are to comply with British Standard specification BS5252 Colour Range and have a reflective value of 30% or less.
 - j. Garaging on any lot shall be incorporated into the residential building whenever practicable, and water tanks shall be sited so that they are not visually prominent when viewed from the coastal marine area, the road or neighbouring properties. Where tanks cannot be sited underground they shall be screened by vegetation.

ACCESSORY BUILDINGS AND SERVICES

6.4 Accessory facilities and services shall be provided in accordance with the following:

- a. Parking and utility areas shall be screened;
- b. Access ways shall be designed to minimize earthworks and vegetation clearance and all cut and fill batters or retaining walls associated with provision of access revegetated within the first planting season;
- c. Silt collection and other appropriate measures shall be installed during implementation of any earthworks associated with provision of accessways and construction of dwellings;
- d. All new access ways shall be constructed to run with the contours as far as practicable, and shall utilize surfaces finished with a visually recessive material such as concrete with a dark oxide additive;
- e. All new services, including power and phone connections shall be installed underground along the alignments of the access ways.

6.5 Landscaping and management of vegetation shall comply with the following:

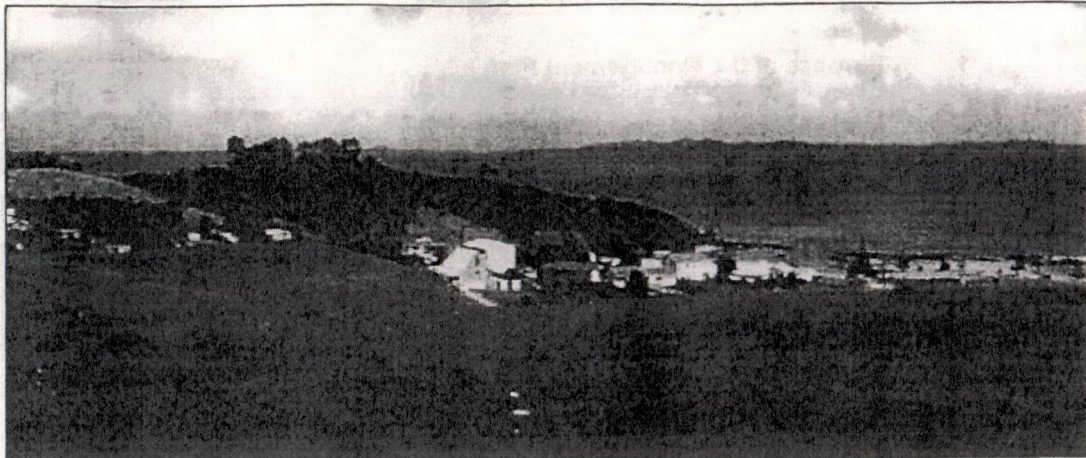
- a. Vegetation on individual lots can only be cleared within the access ways and building envelopes unless it is exotic or weed species. All other parts of the lot are subject to covenants and the requirements of the Bush Protection Plan;
- b. Removal of cleared vegetation shall be by mulching to avoid any risk of fire destroying the bush areas or neighbouring property;
- c. A landscape mitigation plan shall be prepared for each house lot in conjunction with the resource consent application to the satisfaction of the Resource Consents Manager of the Far North District Council.

LANDSCAPE MITIGATION PLANS

6.6 A Landscape Mitigation Plan shall be prepared by a qualified landscape architect for all lots to ensure that the visual impact of the buildings is mitigated through plantings which integrate the development into the landscape setting. The Landscape Mitigation Plans shall be based on the following principles and requirements and shall be prepared in conjunction with the resource consent applications for the dwellings to the satisfaction of the Resource Consents Manager of the Far North District Council. Compliance with the relevant approved Visual Mitigation Plan is a requirement of this Management Plan.

6.5 The principles and requirements for a Landscape Mitigation Plan are:

- a. Plant material shall be predominantly appropriate native species selected from the species lists in Appendix 4;
- b. The plan shall show details of re-vegetation or other remedial treatment of any exposed cut faces associated with the building or access;
- c. The plan shall contain the following information:
 - Location and extent of the proposed buildings, access and extent of earthworks;
 - Size, species and location of existing vegetation;
 - Names of proposed species;
 - Size of proposed stock for planting;
 - Locations and spacing of proposed plants, details of staking of trees;
 - Details of proposed maintenance;
 - Details of proposed mulch, e.g. type, depth etc.
- d. The plan is to be implemented within the first planting season following completion of the earthworks or the exterior of the



MANAGEMENT PLAN

**Cable Bay Sections Limited Subdivision,
Cable Bay
RC20501164**

Prepared For: ***Cable Bay Sections Limited***

Prepared By: ***Bay of Islands Planning Limited in conjunction with:
Wood and Partners Consultants Limited
Bay of Islands Planning Limited
Christine Hawthorn Landscape Architect
Mark Poynter & Associates
Cook Costello Engineering Limited
Marianne Turner
Innoflow Technologies Limited
Northern Civil Consulting Engineers***

Date: ***18 June 2007***

TABLE OF CONTENTS

18 June 2007

A SCOPE OF MANAGEMENT PLAN

1	Purpose of the Management Plan	1
2	Implementation of the Management Plan	1
3	Coverage of the Management Plan	2

B MANAGEMENT PLAN REQUIREMENTS

4	Strategic Overview	3
5	Bush Protection Plan	3
	Overview	3
6	Built Development	4
	Overview	4
	Design and Siting of Buildings	4
	Accessory Buildings and Services	5
	Landscape Mitigation Plans	6
7	Stormwater and Wastewater Management	7
	Stormwater Management	7
	Wastewater Management	7
8	Land Covenants	7
9	Archaeological Matters	7

C APPENDICES:

1	Approved Scheme Plan - <i>Not incl.</i>	
2	Approved Bush Protection Plan - <i>2</i>	
3	Foundation Design Requirements	
4	Landscape Mitigation Plan Requirements	
5	Stormwater System Requirements	
6	Wastewater System Requirements	
7	Land Covenants	

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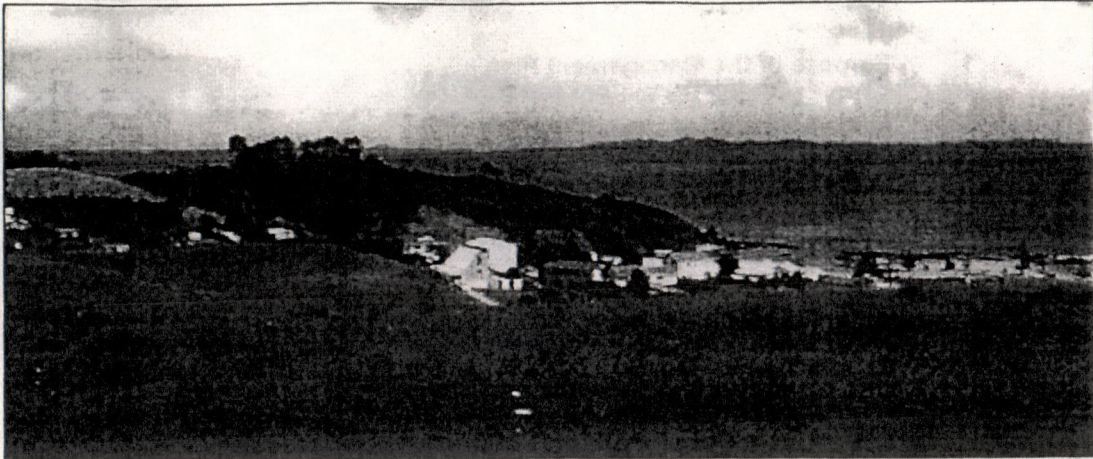
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