

PLANS



002

PROPOSED ADDITIONS ORDING-YARDLEY ADDITION SH10, MANGONUI

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H1 CALCULATIONS – SCHEDULE METHOD (New Addition only)

	<u>Required</u>	<u>Achieved</u>
Wall Insulation	R1.9	R2.4
Roof Insulation	R2.9	R3.2
Floor Insulation	R1.3	R1.3
Glazing	R0.26	R0.15

GLAZING vs. WALL AREA CALCULATIONS

Wall facing	m ² of wall	m ² of windows	
South	12	1.1	
East	15.8	0	
West	15.8	2.4	
TOTAL	43.6	3.5	8%

The sum of the area of glazing on the East, South and West facing walls is less than 30% of the total wall area of all of these walls, so complies with the Schedule Method.

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General Notes

All dimensions to be checked on site prior to commencement of work.

Work only to figured dimensions, in the event of a discrepancy contact the Project Manager/ Designer

Do not change any details without prior consent from the Project Manager

Building Contractor to check all levels, dimensions, connections & Manufacturers Specifications before beginning or manufacturing any work to ensure that all materials & labour necessary to complete the project has been allowed for, whether inferred, drawn on plans or not.

Liability will not be accepted by Designer for any materials or labour not shown on drawings or required by council.

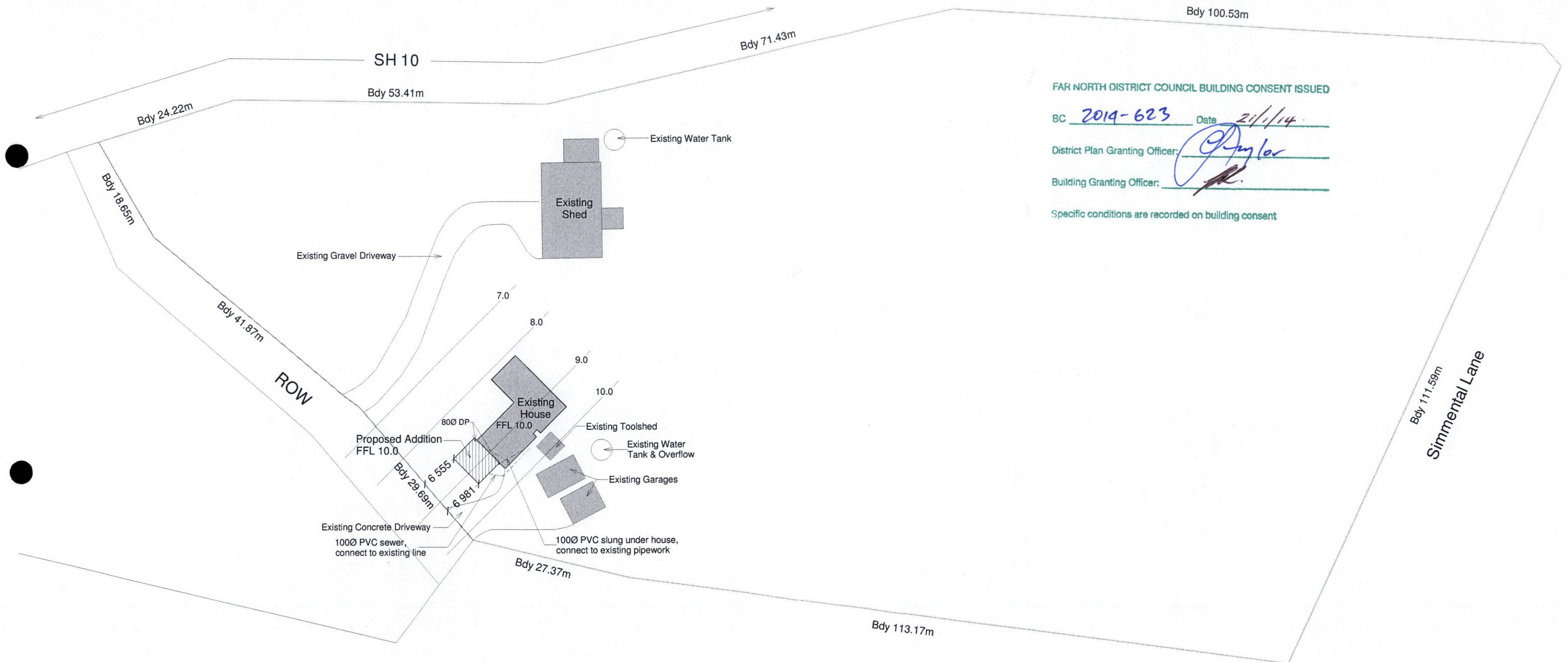
Site Information

Lot 2
DP 420535
Site Area: 18,472m²
Wind Zone: Very High
Zone: Rural Production



Impermeable Surfaces

Existing Sheds: 278m²
Existing Driveways: 416m²
Existing Tanks: 22m²
Existing House Roof Area: 165m²
Proposed Addition Roof Area: 38m²
Total: 919m² = 5% = Pass



FAR NORTH DISTRICT COUNCIL BUILDING CONSENT ISSUED

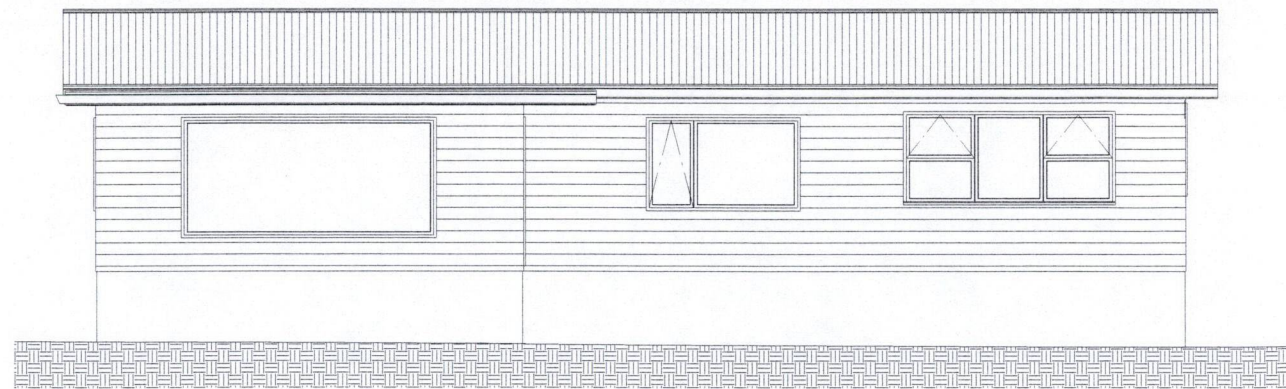
BC 2014-623 Date 21/1/14

District Plan Granting Officer: [Signature]

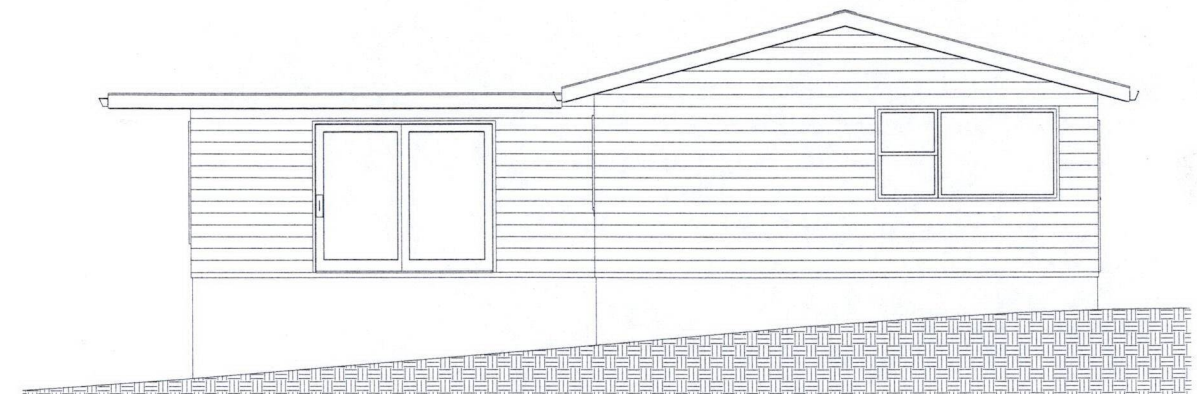
Building Granting Officer: [Signature]

Specific conditions are recorded on building consent





NORTH ELEVATION



WEST ELEVATION

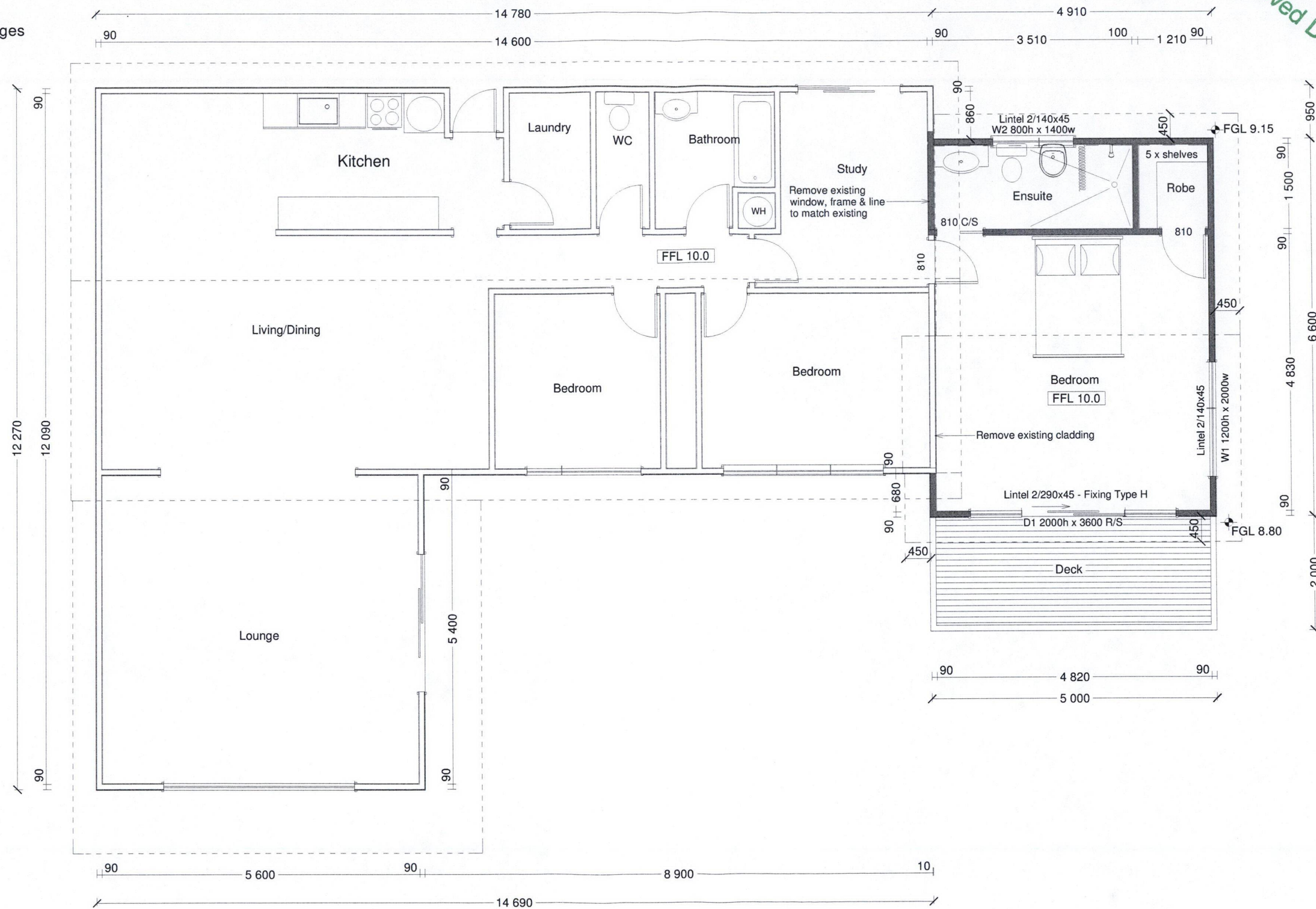


SOUTH ELEVATION

Notes

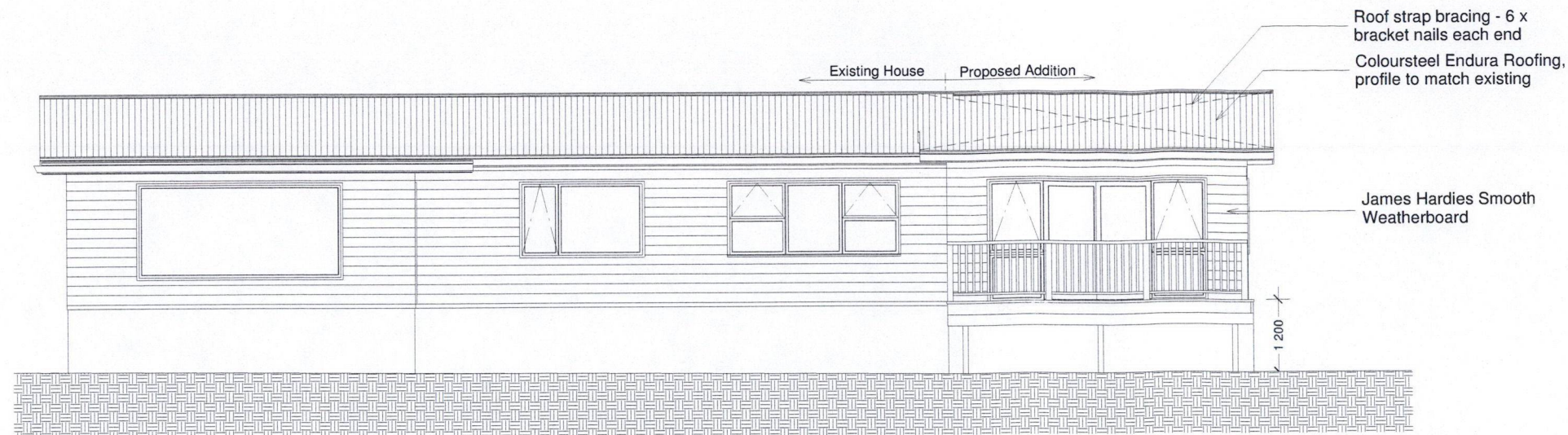
- Aqualine Gib to wet areas
- All lintels H1.2 SG8
- Standard lintel fixings as per 8.6.1.8 NZS3604 unless noted
- Lintel trimming studs as NZS3604 Pages 8-17 to 8-19 unless noted

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 Approved Documents

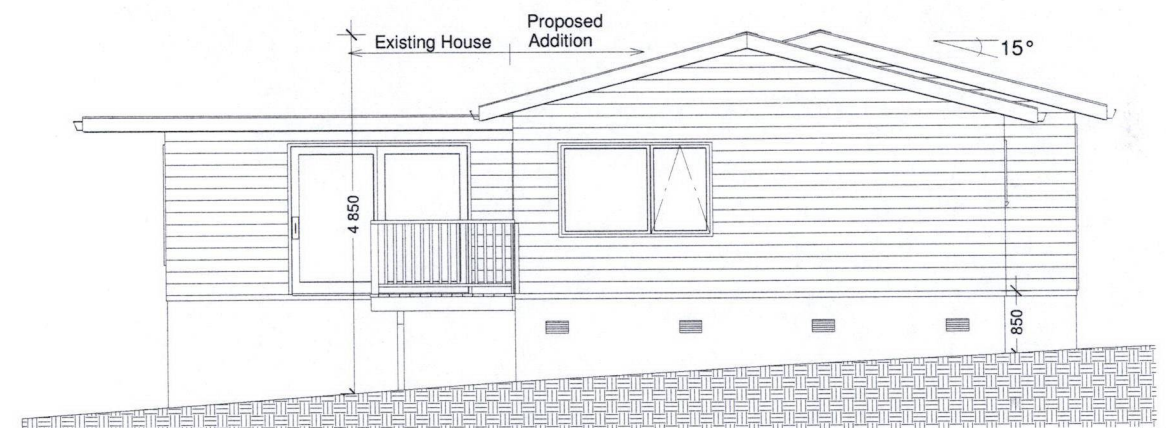


Floor Areas

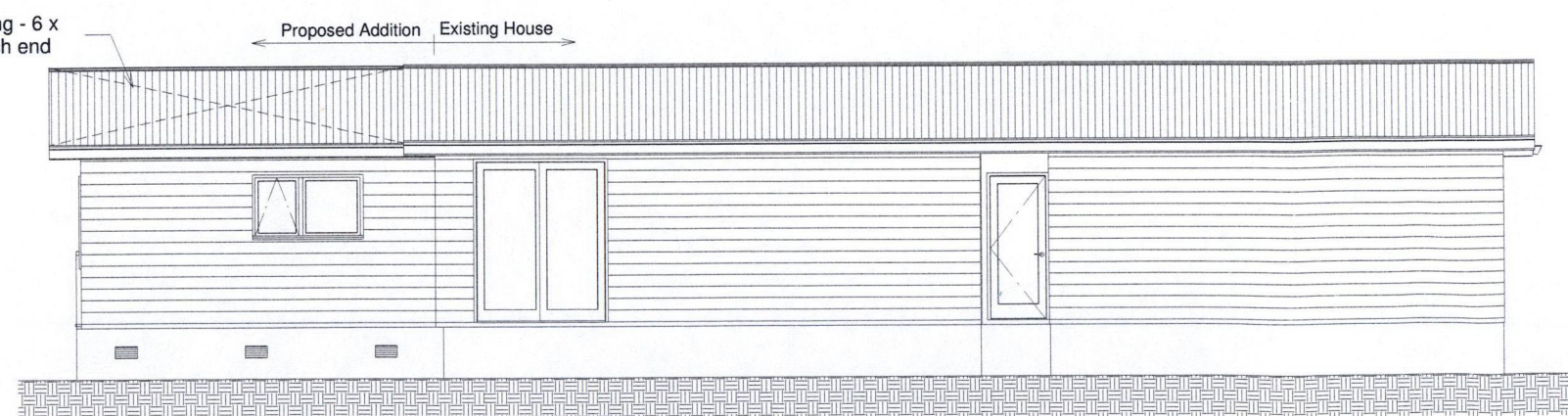
Existing House: 132m²
 Proposed Addition: 32.4m²
 Total: 164.4m²



NORTH ELEVATION



WEST ELEVATION



SOUTH ELEVATION

BUILDING ENVELOPE RISK MATRIX		
All Elevations - Proposed Addition		
Risk factor	Risk severity	Risk Score
Wind zone	Very high risk	2
Number of storeys	Low risk	0
Roof/wall intersections design	Low risk	0
Eaves with	Medium risk	1
Envelope complexity	Low risk	0
Deck design	Low risk	0
Total Risk score:		3

Notes:

Footing depth into good ground as defined in NZS3604:2011

Concrete strength 17mpa

100x50 Solid blocking @ 1200 Crs under parallel bracing walls and walls over 150mm from joist

20mm flooring fixed to manufacturers specifications.

House Joists: 190 x 45 SG8 H1.2 @ 600crs (block at 1800crs over bearers)

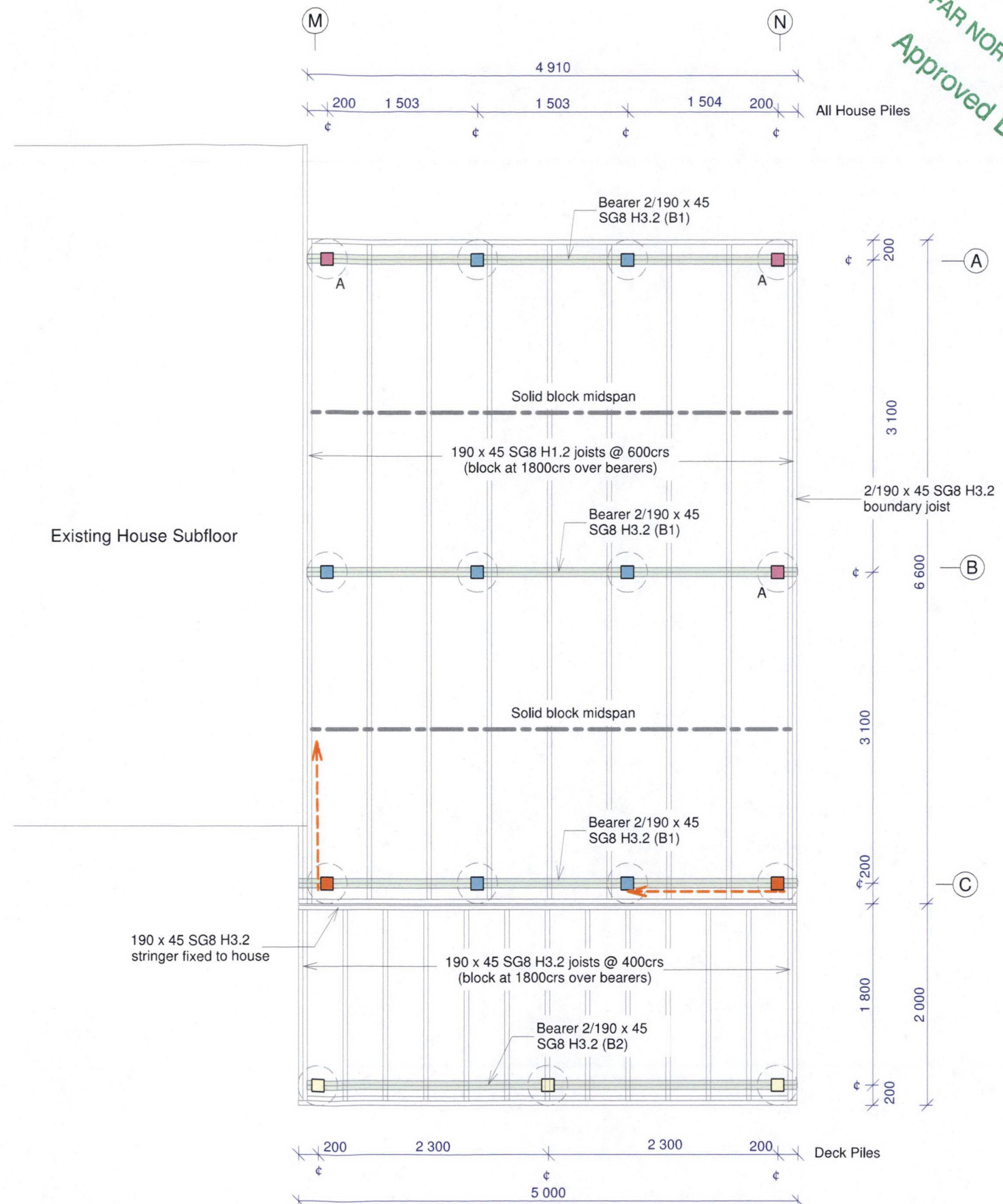
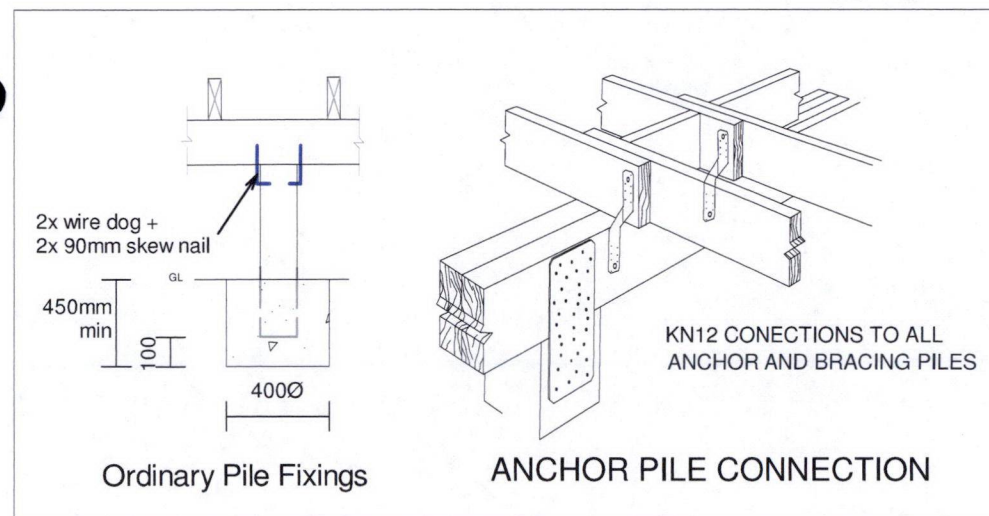
Bearers: 2/190 x 45 SG8 H3.2

Deck Joists: 190 x 45 SG8 H1.2 @ 400crs (block at 1800crs over bearers)

Deck Bearers: 2/190 x 45 SG8 H3.2

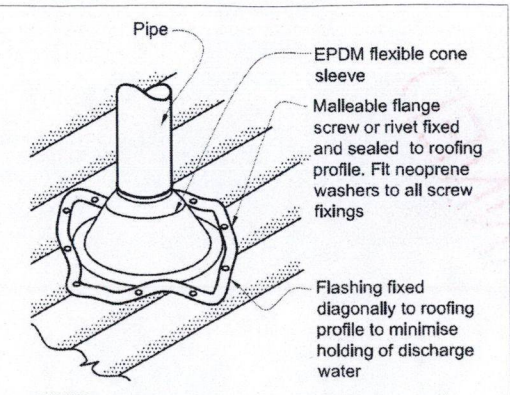
All deck & pile fixings to be stainless steel

-  **Ordinary Pile**
125 sq H5 Pile in 450mm deep x or 450mmØ concrete footing
-  **Anchor Pile**
125 sq H5 Pile in 900mm deep x 450mmØ concrete footing
-  **Braced Pile**
125 sq H5 Pile in 450mm deep x 450mmØ concrete footing,
100x100 brace, M12 bolt, 50sq washers each end
-  **Deck Ordinary Pile**
125 sq H5 Pile in 450mm deep x 400mmØ concrete footing



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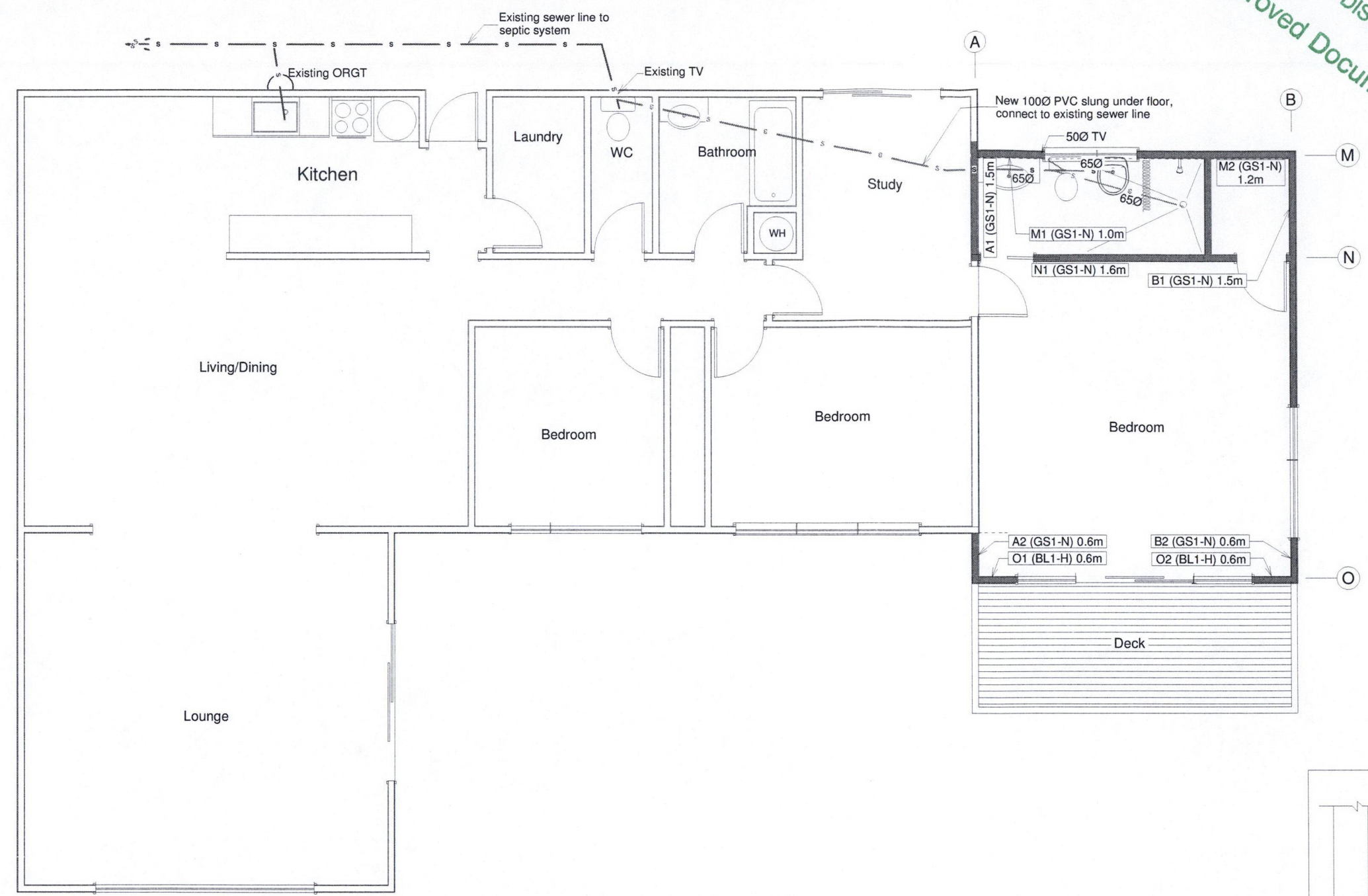
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NOTE:
(1) Max. roof pitch for this flashing 45°, minimum pitch 10°.
(2) For pipes up to 60 mm diameter.

Flashing for small pipes

Waste Pipe Gradients	
400	1 : 40 min
650	1 : 40 min
1000	1 : 60 min



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Electrical Legend	
	Single Power Outlet
	Double Power Outlet
	Telephone Outlet
	Light Switch
	Batten Holder Light
	Fan Unit
	Fan-heat-light unit
	HTR = Heated Towel Rail
	Flourescent Light
	Exterior Bulkhead Light
	Track mounted lights
	Security Light
	Dbl Ceiling Power Outlet
	Weatherproof Power Outlet
	Distribution Board
	Battery Smoke Detector



Notes:

Wall Framing

Studs 90x45 SG8 H1.2 @ 400crs, noggs @ 800crs
 Top Plate: 90x45 & 135x35 H1.2 SG8
 Top Plate Fixings: 2/90mm nails + Pryda SN50L Nailplate (4.7kN)
 Bottom Plate: 90x45 H1.2 SG8, 3x 90x3.15mm nails @ 600crs

Timber Subfloor

Insulation: Expol Underfloor R1.4
 Flooring: 20mm Particleboard
 21mm H3 ply to Ensuite
 Decking: 90x40 H3 Pine Premium
 Base: 6mm Hardiflex, PVC jointers, base vents @ 1800crs max

Roof

Trusses: 900crs to Mitek design
 Purlins: 70x45 H1.2 SG8 @ 900crs.
 Fix to trusses with 80mm x 10g screw
 Underlay: Fastwrap Roof self-support
 Underlay run horizontal & supported at 1.2m ctrs
 Roofing: Colorsteel Endura (profile to match existing)
 Fascia: 200x40 H3
 Soffits: 4.5mm Hardiflex, PVC jointers
 Spouting: PVC
 Downpipes: 80mmØ PVC

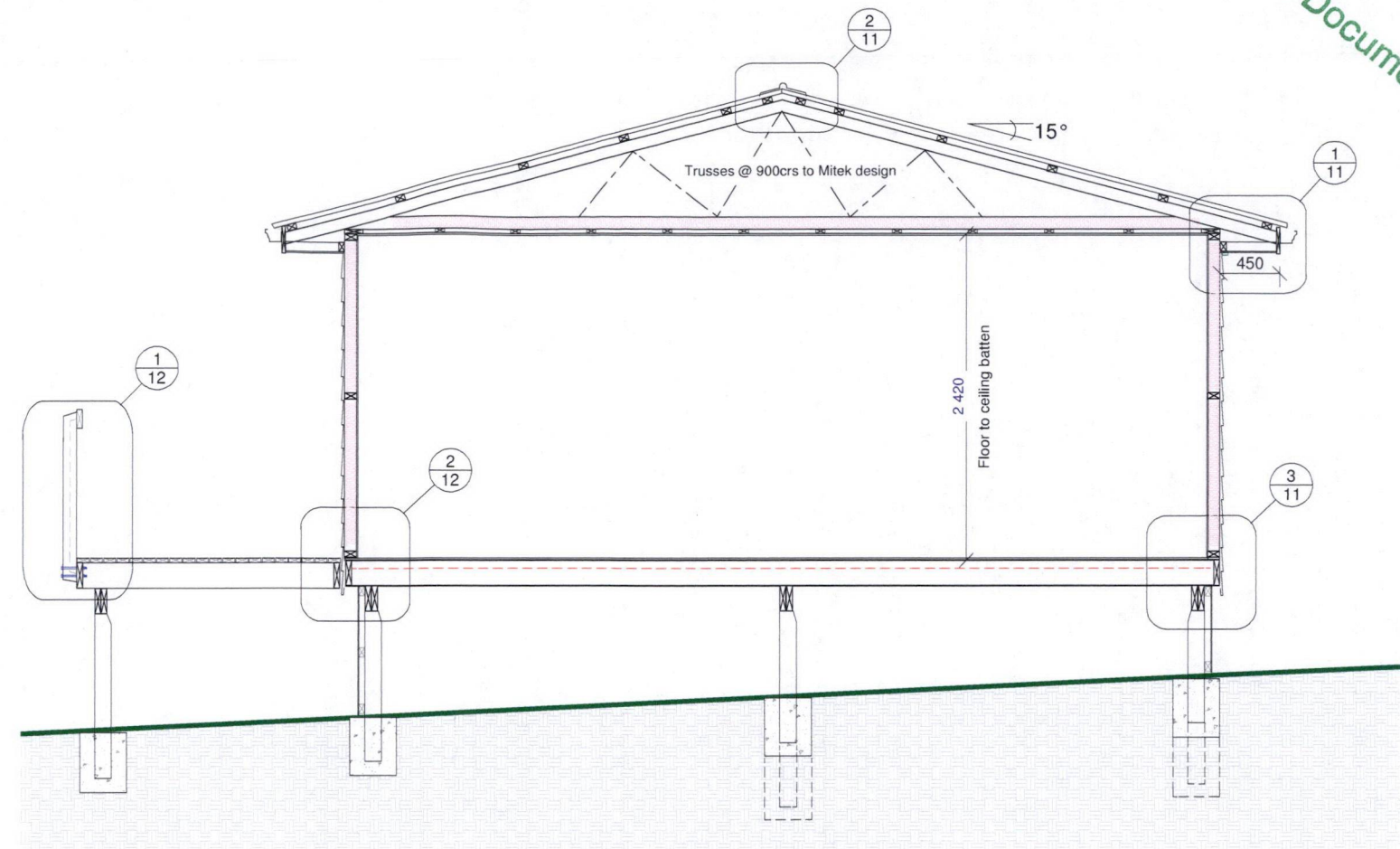
Cladding

Underlay: Fastwrap Wall
 Cladding: James Hardies Smooth Weatherboard, direct fixed,
 Galv. corner soakers
 Windows: Single glazed with Aluminium joinery

Interior

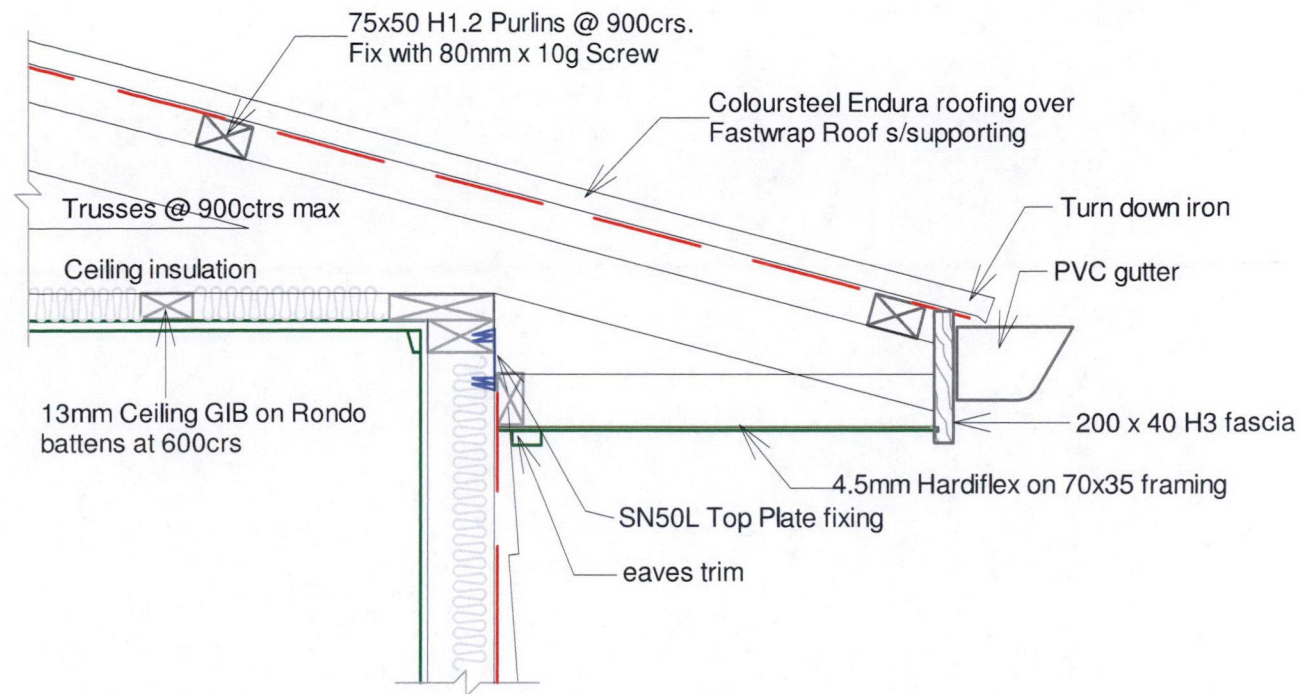
Insulation: R2.4 Batts Walls
 R3.2 Batts Ceilings
 Ceiling Battens: 70x35 H1.2 SG8 @ 600crs
 Linings - walls: 10mm Gib (Aqualine Gib to Ensuite, Braceline Gib as
 per Bracing Plan)
 Linings - ceilings: 13mm Gib
 Trims: 60mm Rad Single Bevel Skirting
 40mm Rad Bevel Cornice
 40mm Rad Single Bevel Architrave
 Note trims as above or to match existing
 Shower: Vinyl Floor, Hardiglaze walls

Note: All deck & pile fixings to be stainless steel

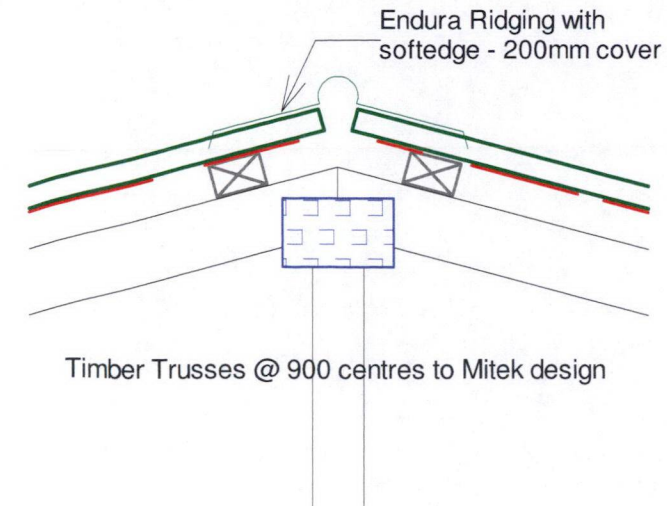


Cross Section A-A

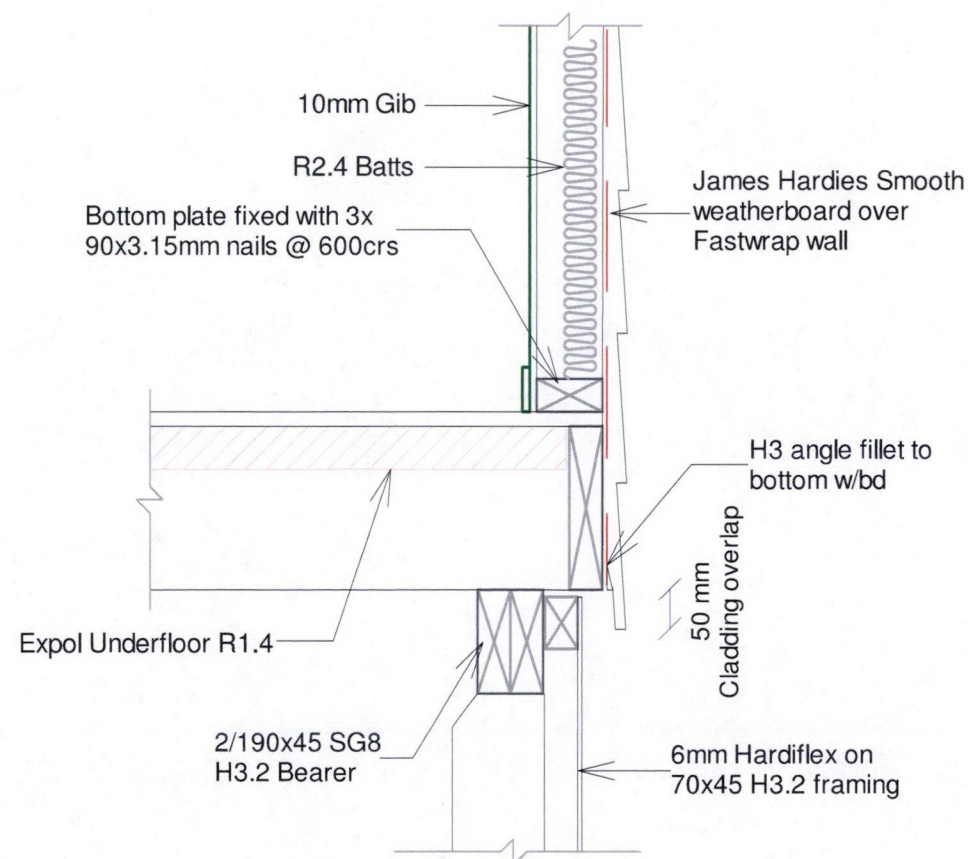
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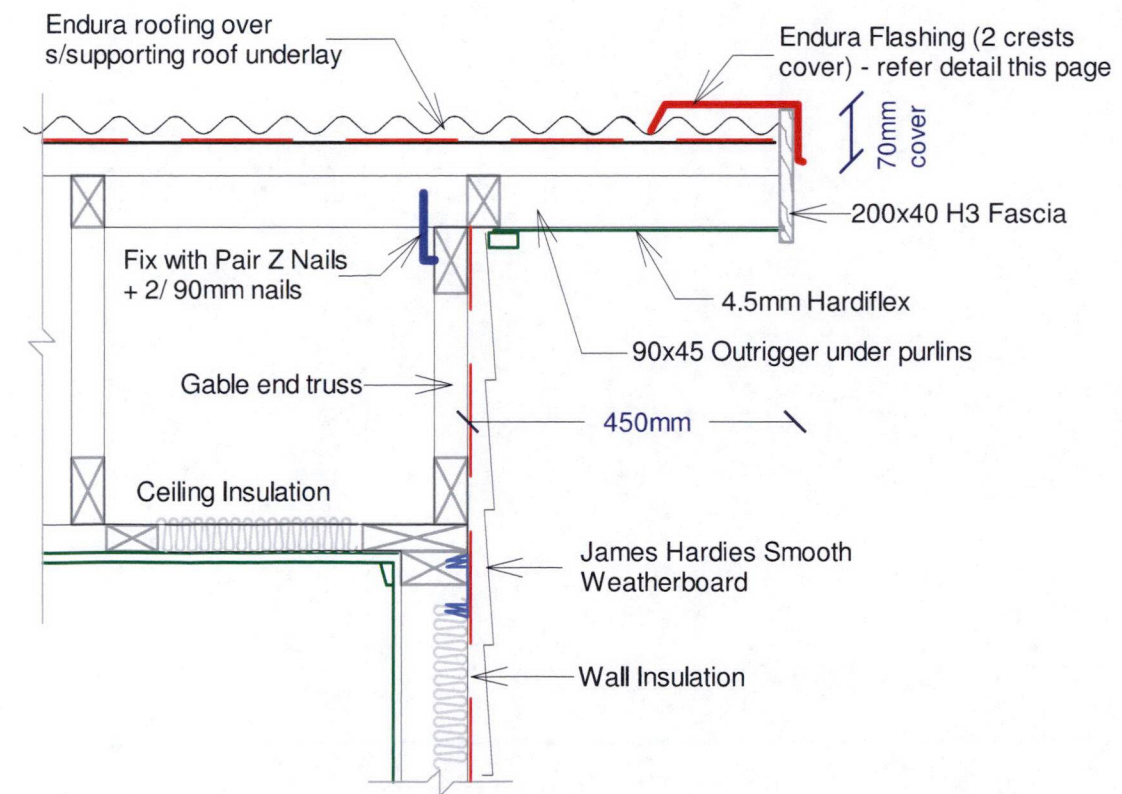
1 Soffit Detail



2 Ridge Detail



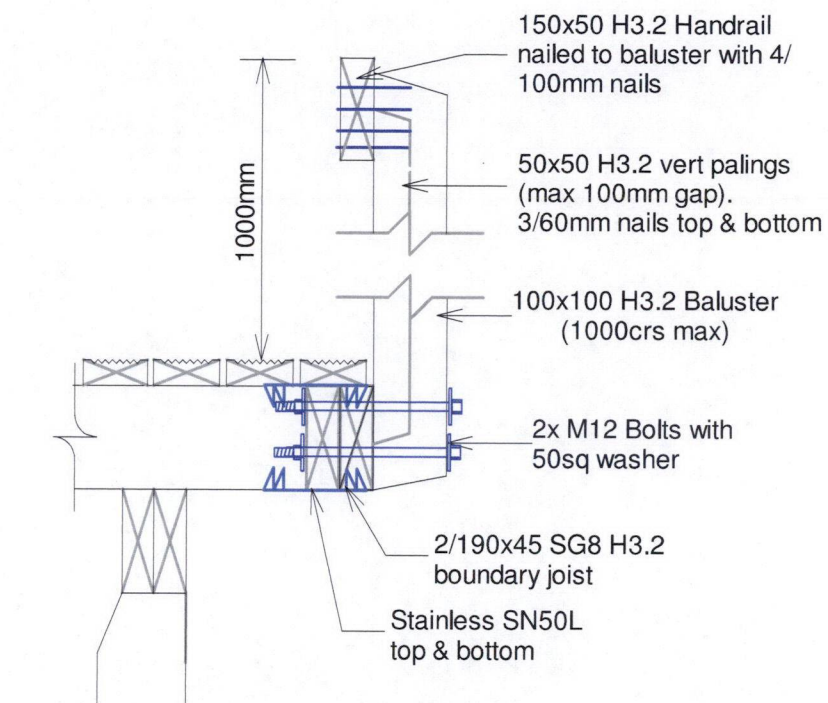
3 Subfloor Detail



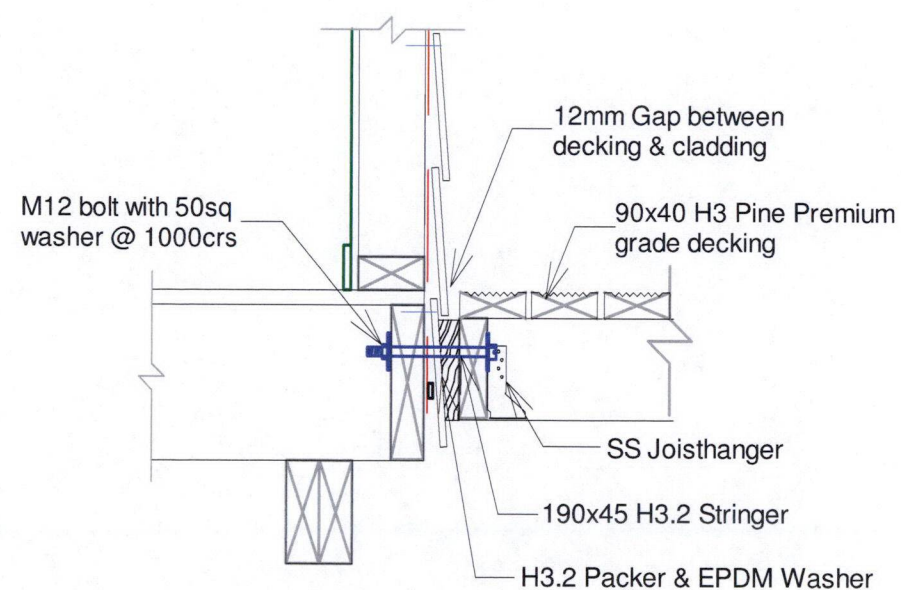
4 Gable End Detail

Notes

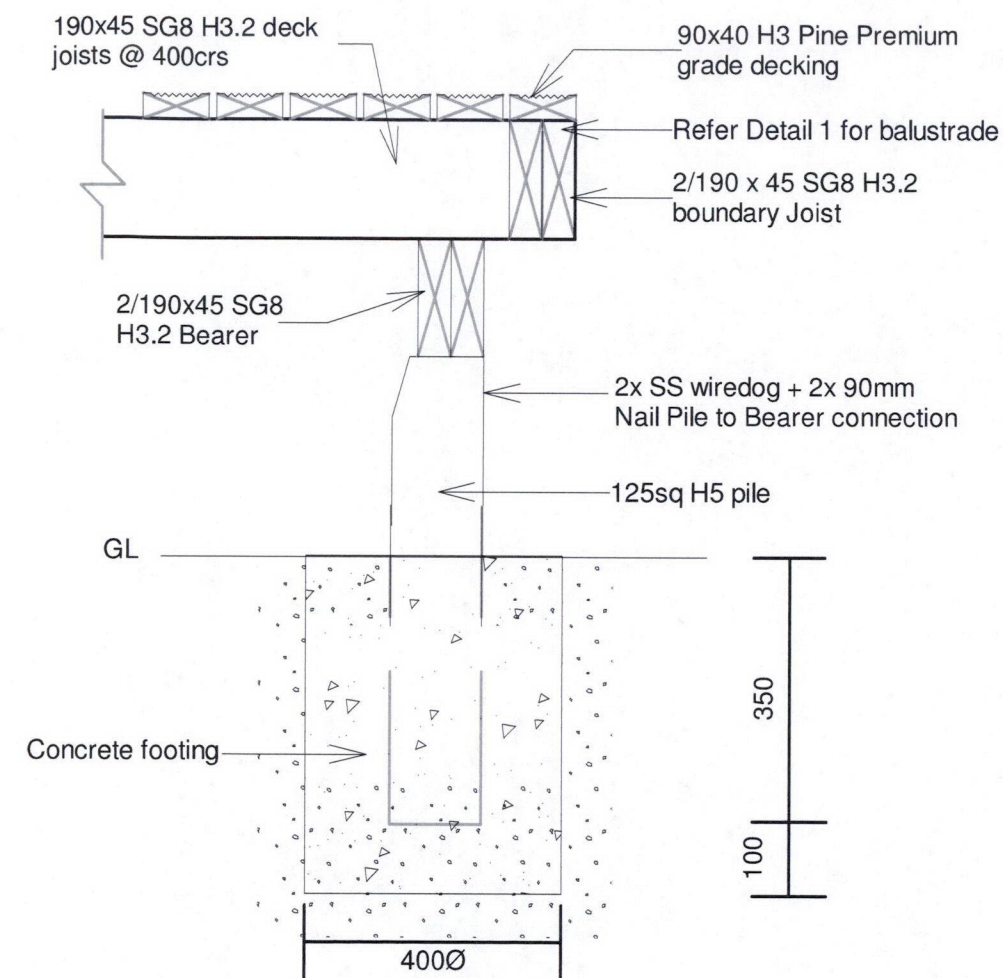
- All deck & pile fixings to be stainless steel



1 Deck Balustrade
Refer to Detail Page 11 for deck framing fixings
(NZS3604 Fig 7.10 (c))



2 Deck Stringer Detail



3 Deck Bearer Detail

Notes

- All deck & pile fixings to be stainless steel

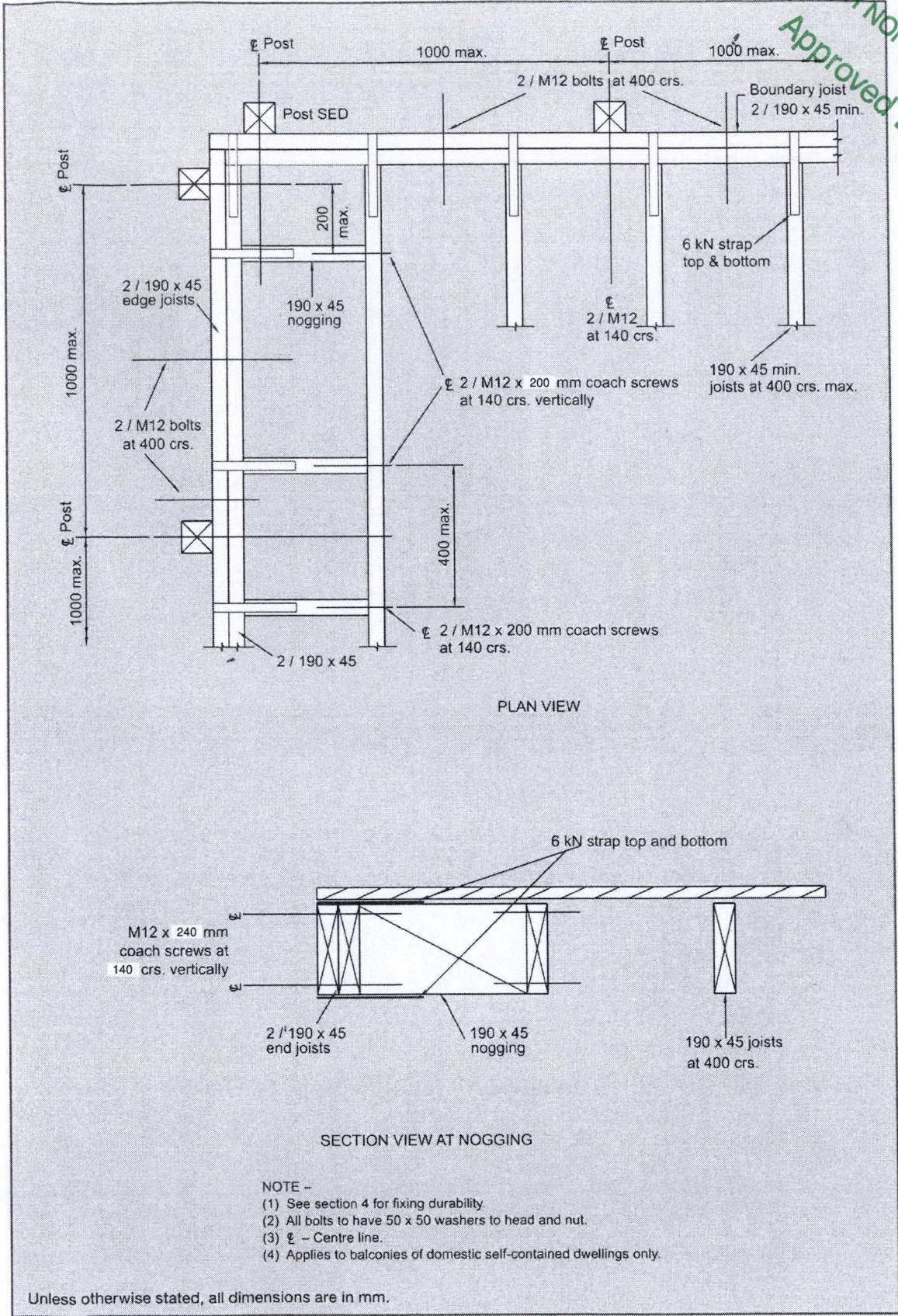
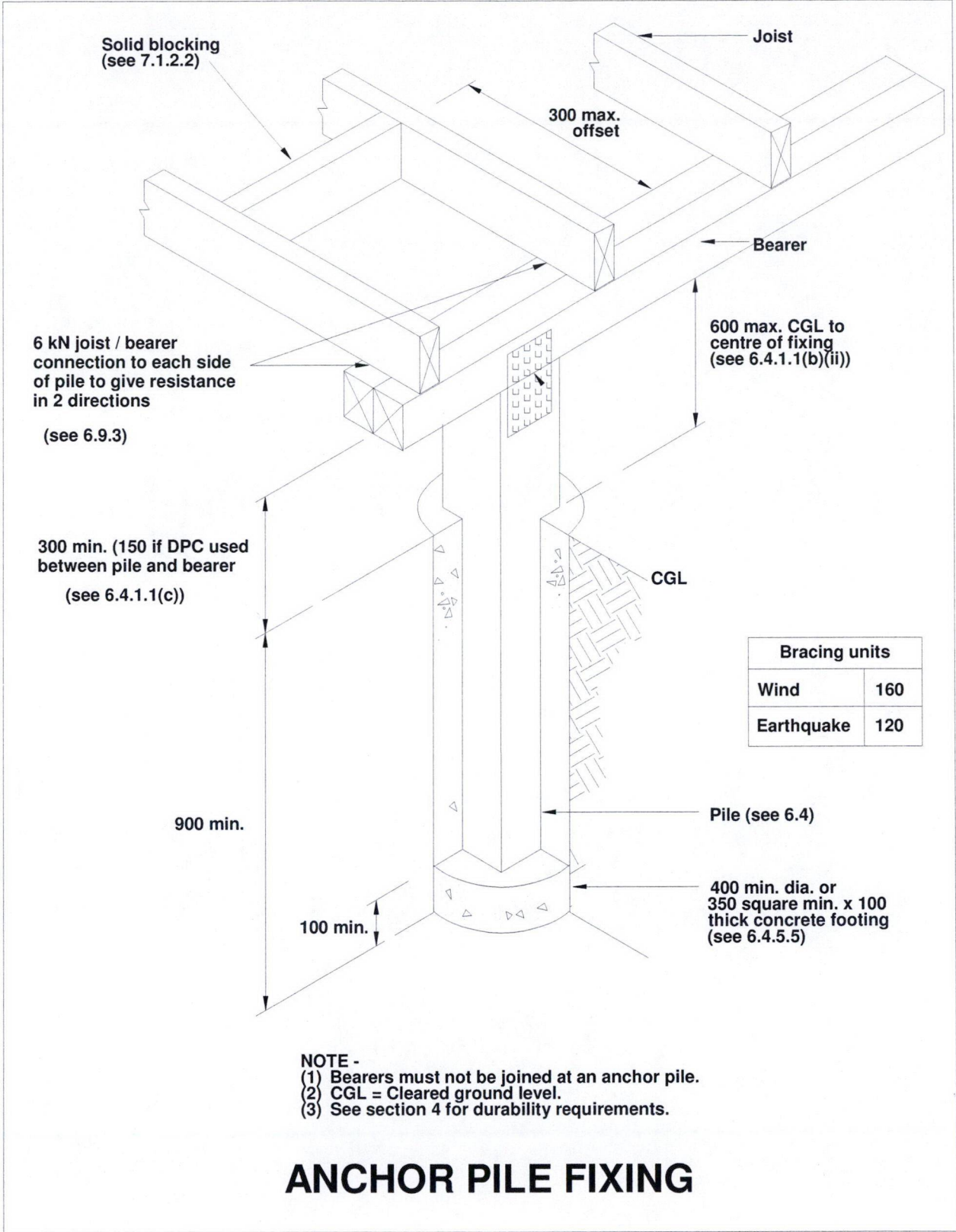


Figure 7.10(c) – Face-fixed post support detail for cantilever balustrade (see 7.4.1.3)

DECK FRAMING DETAILS

Figure 10: Direct fix soffit detail

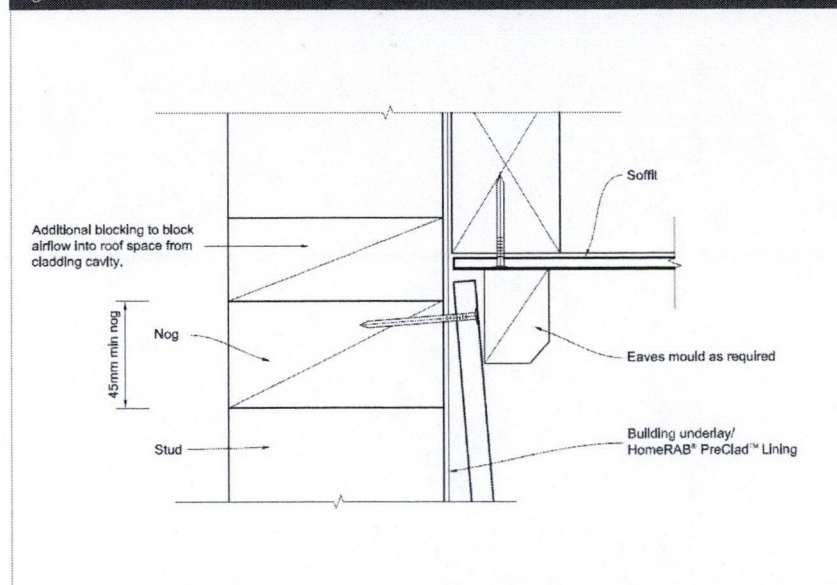
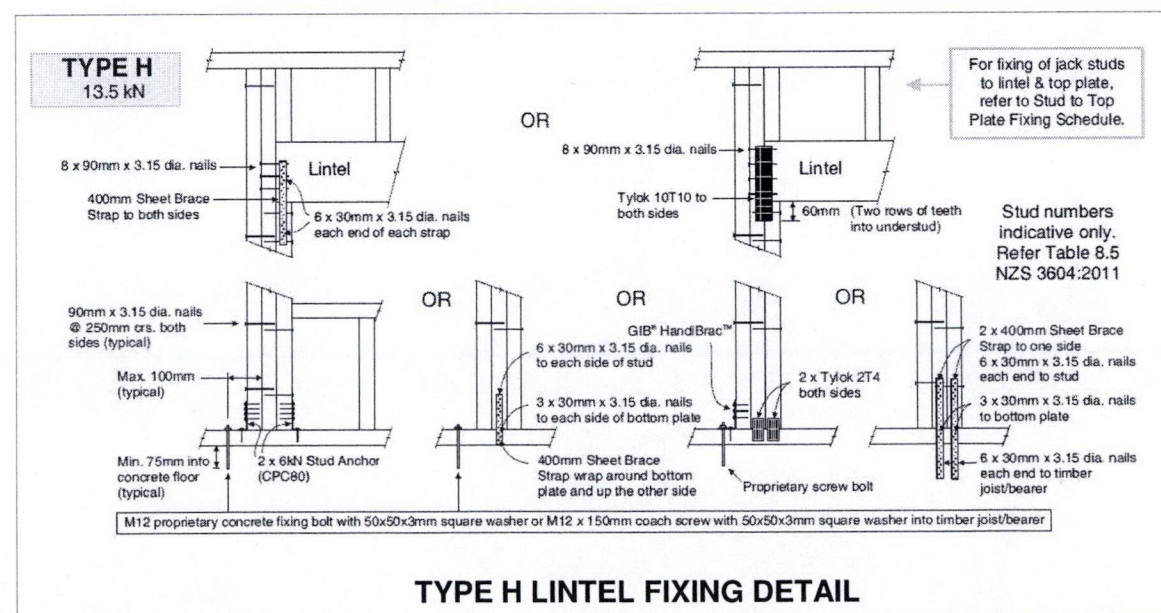
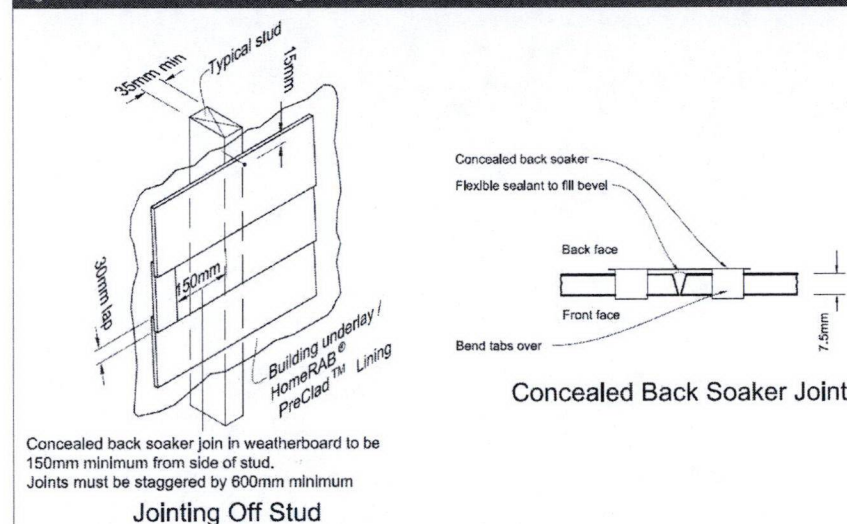


Figure 4: Direct fix weatherboard fixing



TYPE H LINTEL FIXING DETAIL

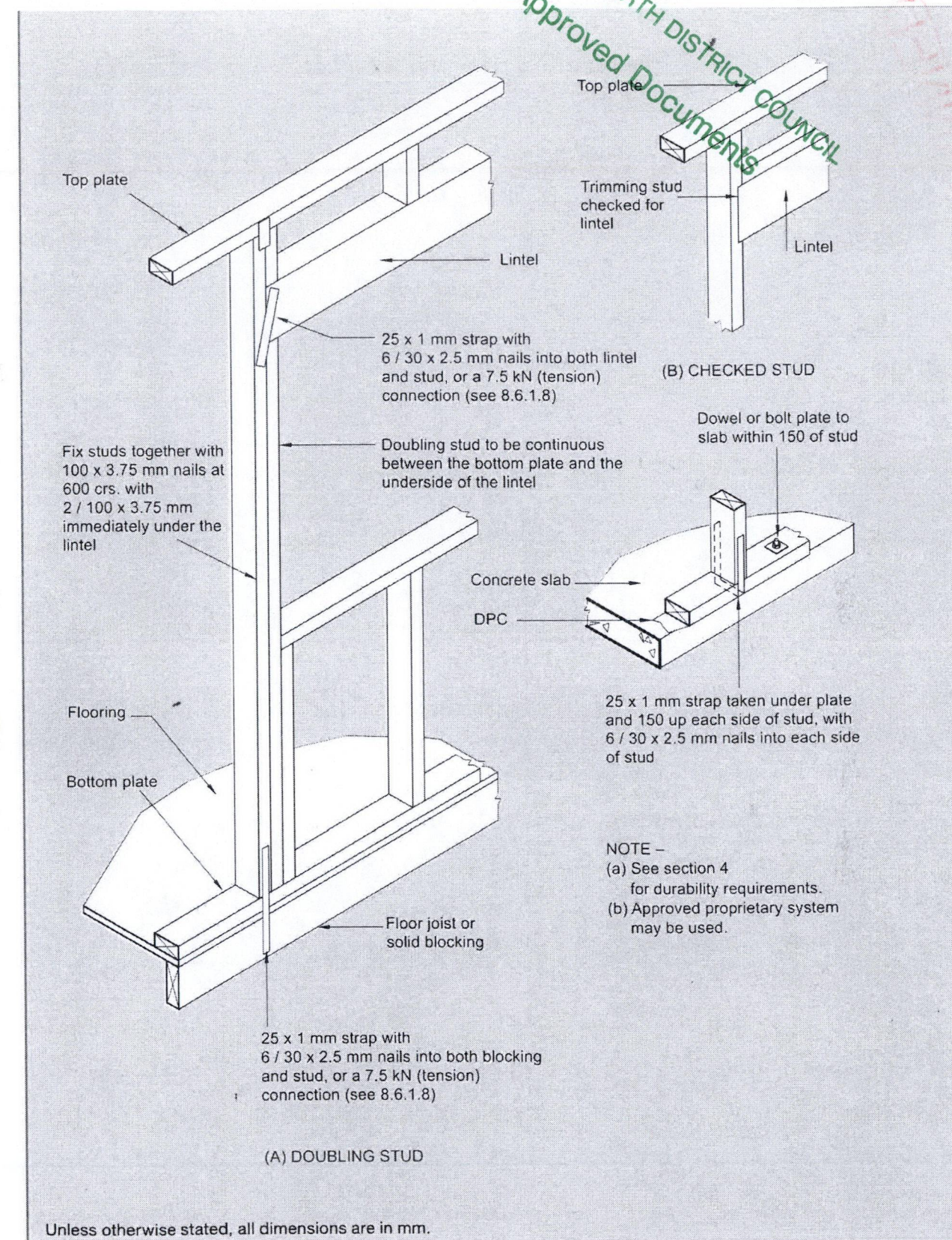


Figure 8.12 - Lintel fixing to prevent uplift (see 8.6.1.8 and table 8.14 (a) and (b))

LINTEL FIXING DETAIL

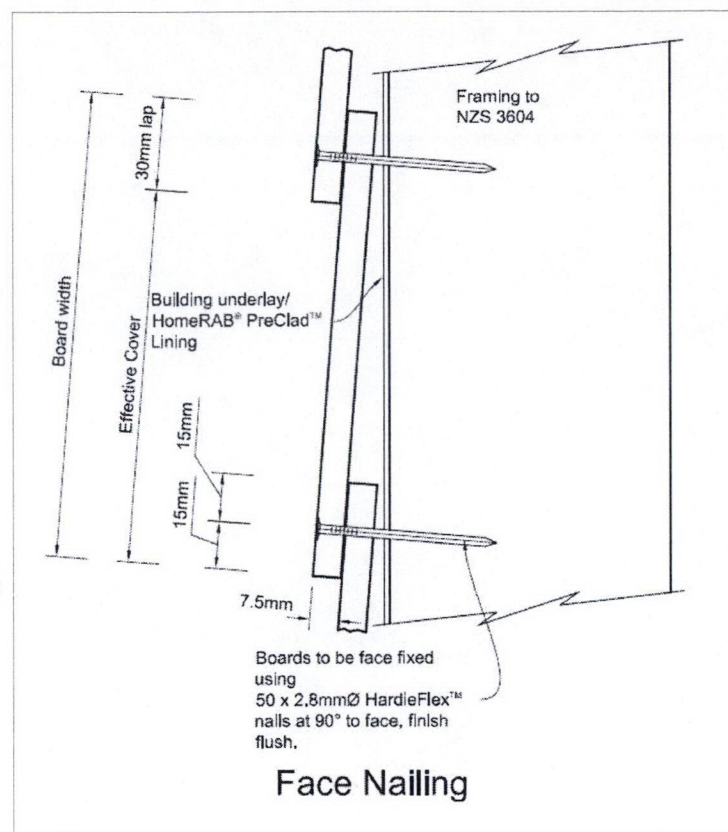


Figure 12: Direct fix one piece head flashing without facings

Figure 13: Direct fix jamb flashing without facings

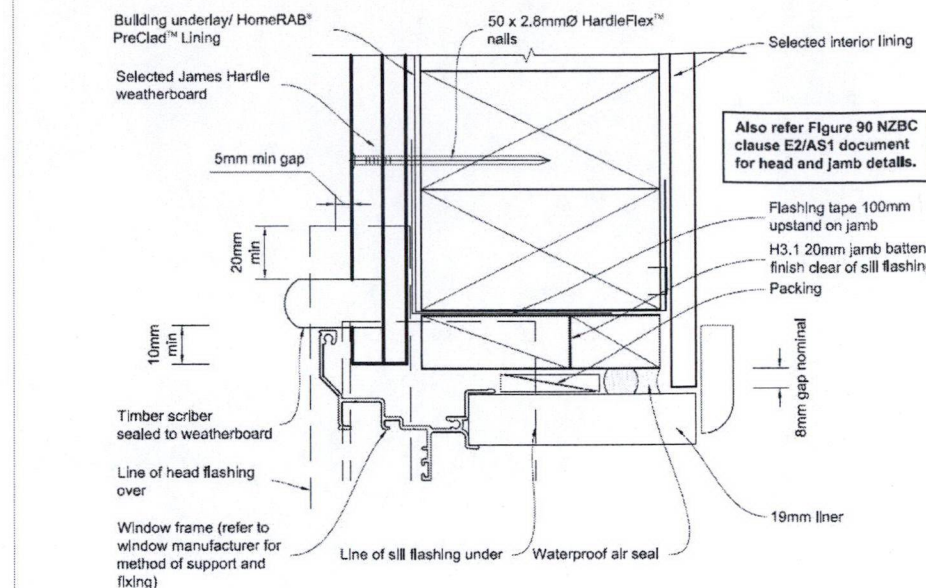
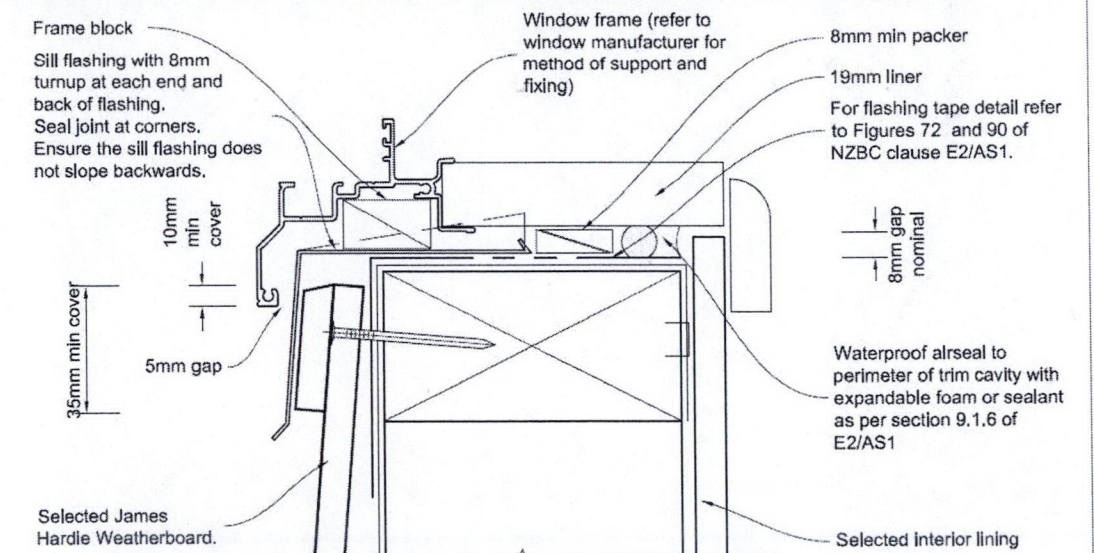


Figure 11: Direct fix window sill flashings without facings

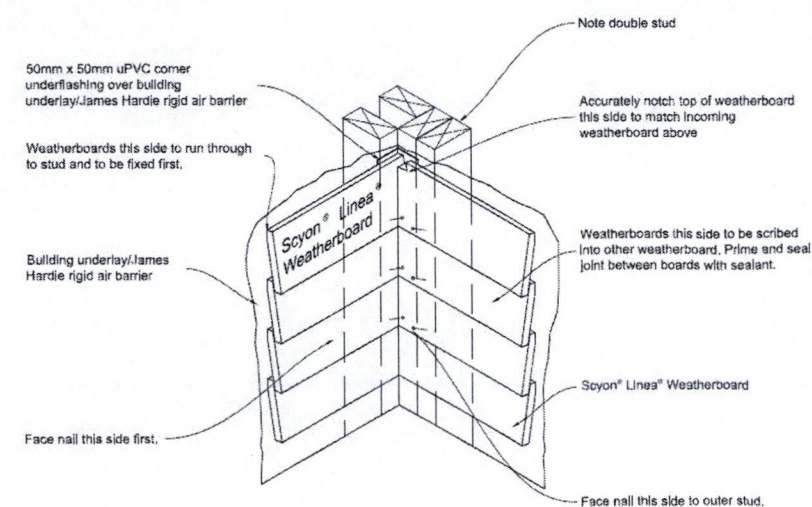


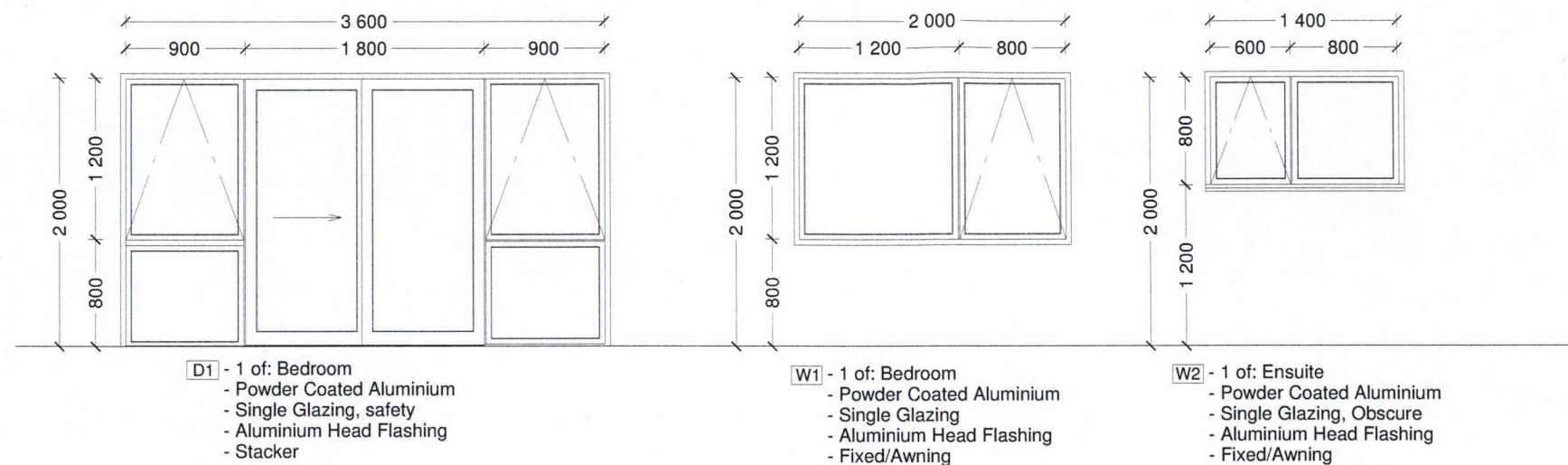
General notes for materials selection

1. Flashing materials must be selected based on environmental exposure, refer to NZS 3604 and Table 20 of NZBC 'E2/AS1'.
2. Building underlay must comply with acceptable solution 'E2/AS1' and NZS 3604.
3. Flashing tape must have proven compatibility with the selected building underlay and other materials with which it comes into contact as per Table 21 of 'E2/AS1'.

Refer to the manufacturer or supplier for technical information for these materials.

Figure 8: Direct fix internal corner

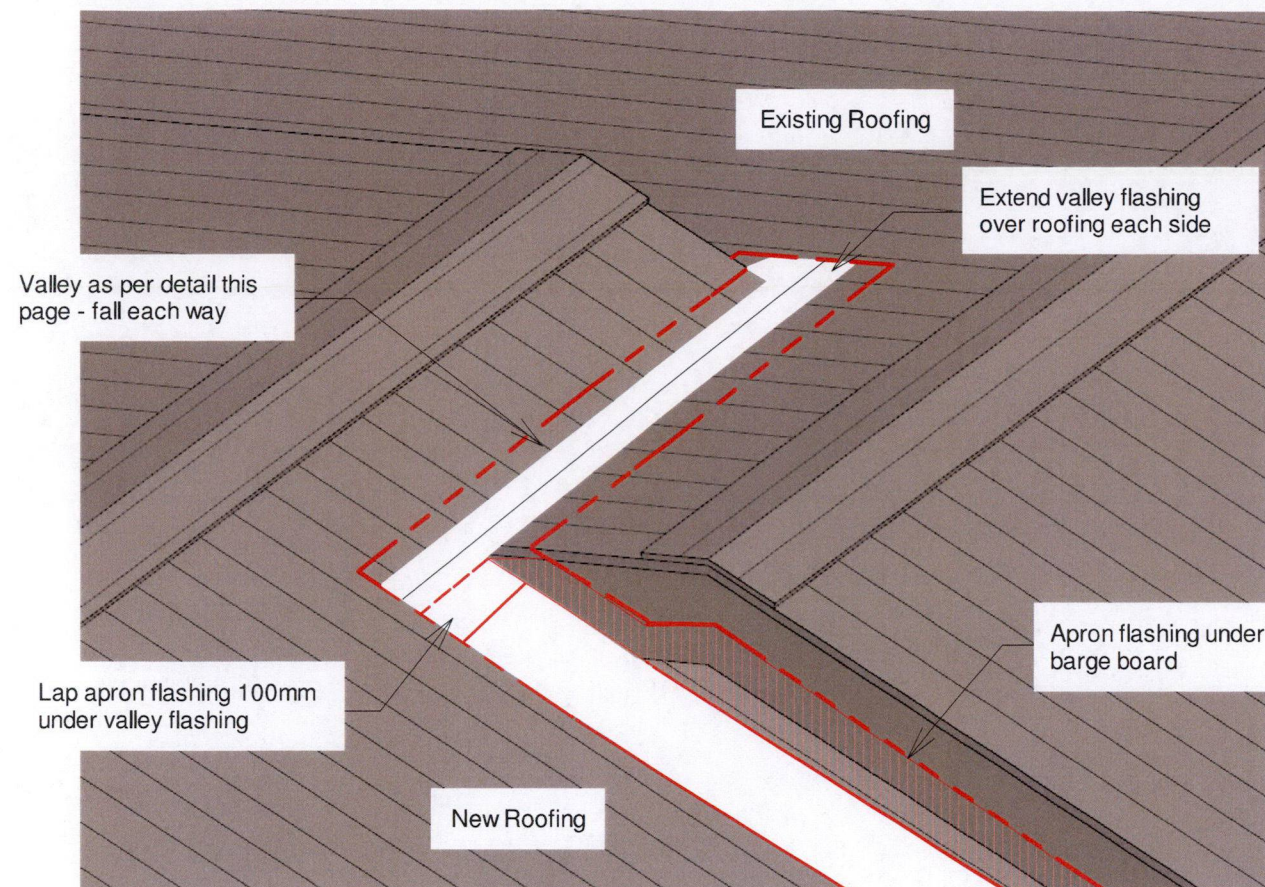




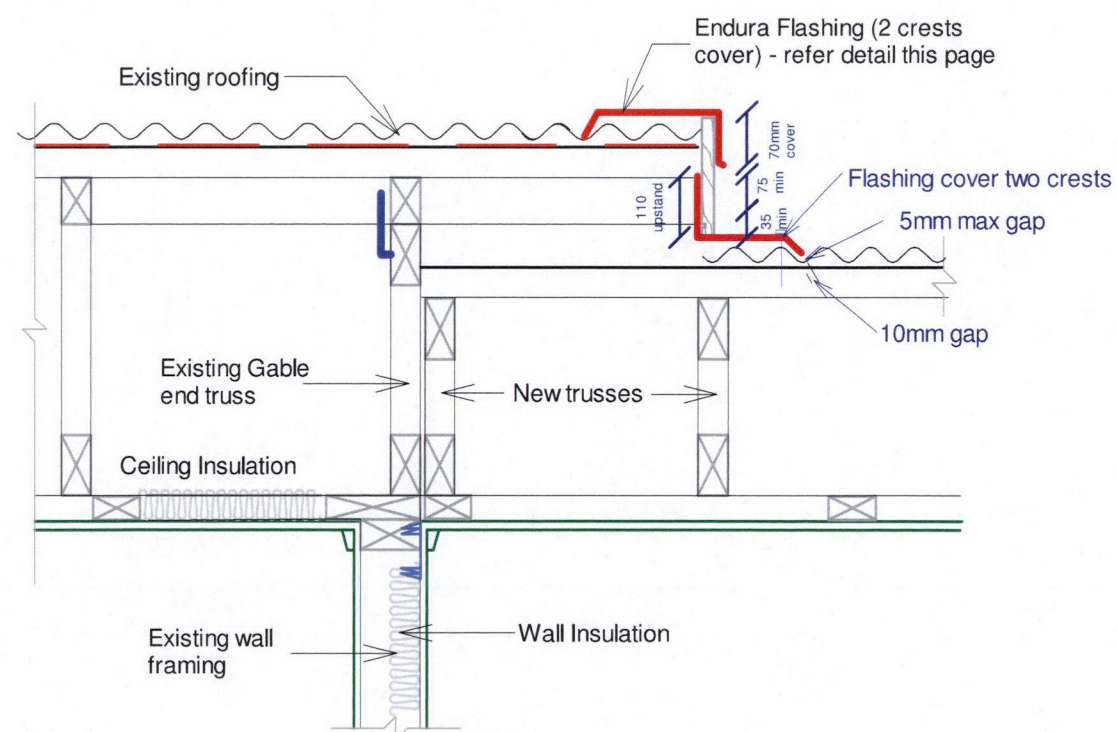
Window Schedule 1:50

Notes:

1. Contractor To Check All Measurements On Site Before Pricing & Manufacturing Joinery
2. All Joinery Measurements Are Trim Sizes.
3. All Lintels & Understuds Are To Be H1.2
4. All Window Reveals Are To Be H3.1 Treated
5. Expandable Foam Air Seals With Backing Rods To All External Doors & Windows
6. All new doors & windows in wet areas to have Safety Glass To NZS 4223:1999
7. All Exit Door Latches, Locking Devices Are To Comply With C/AS1- 3.17.1/ 3.17.14, 3.17.16
8. All windows on schedule viewed from exterior



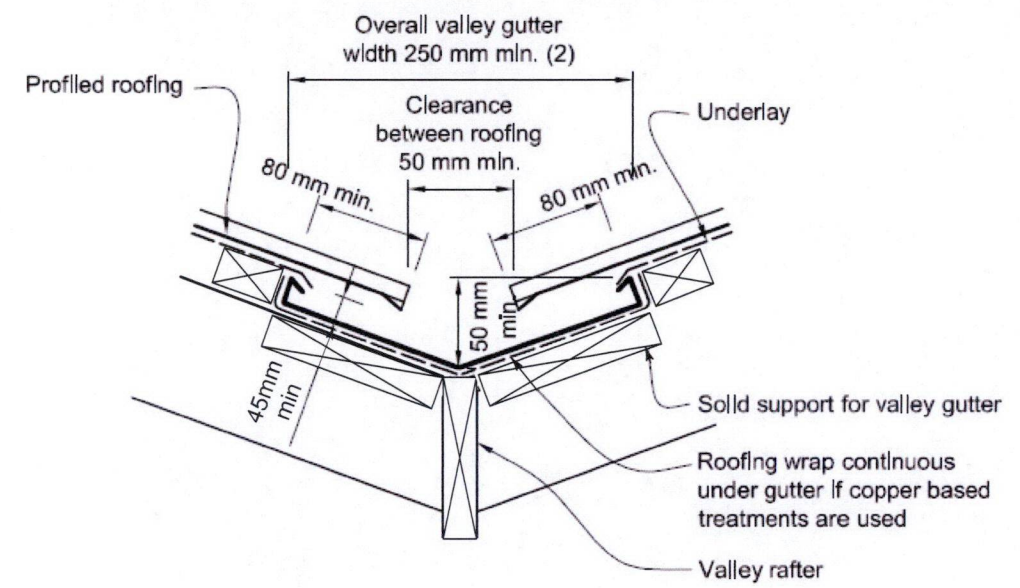
1 Roof Overlap Detail



2 Roof Overlap Detail
Note: Detail similar where new roof overlaps existing - refer also gable end detail page 11

Figure 51: Valley gutters for profiled metal
Paragraphs 4.3, 4.5, 8.1.6.2 and 8.4.16

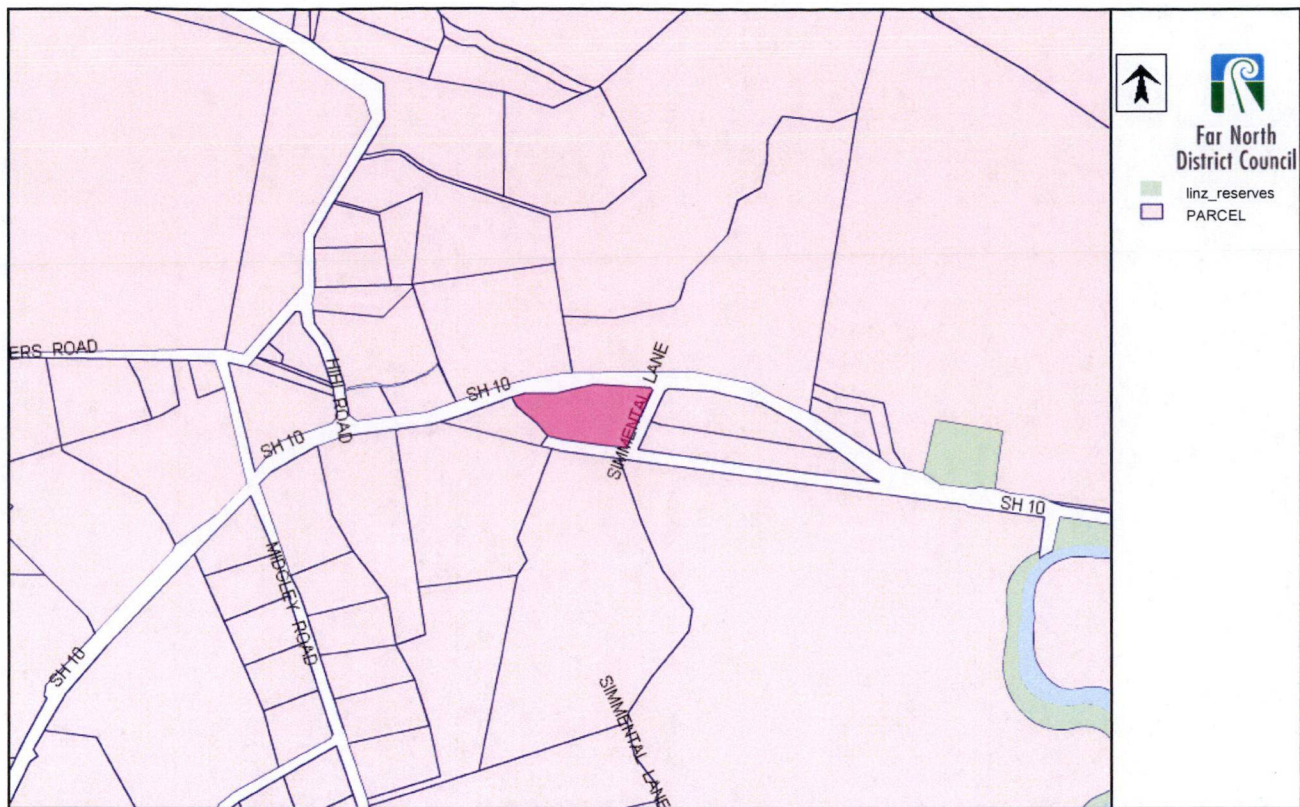
NOTE: (1) Refer to Table 8 for maximum roof catchment areas for valley gutters.
(2) Minimum width of valley gutter may reduce to 160 mm, providing roof catchment area is in accordance with Table 8. In this case, cover of roof cladding over gutter shall be reduced to 60 mm to provide a clearance gap of 40 mm.



SCANNED

17

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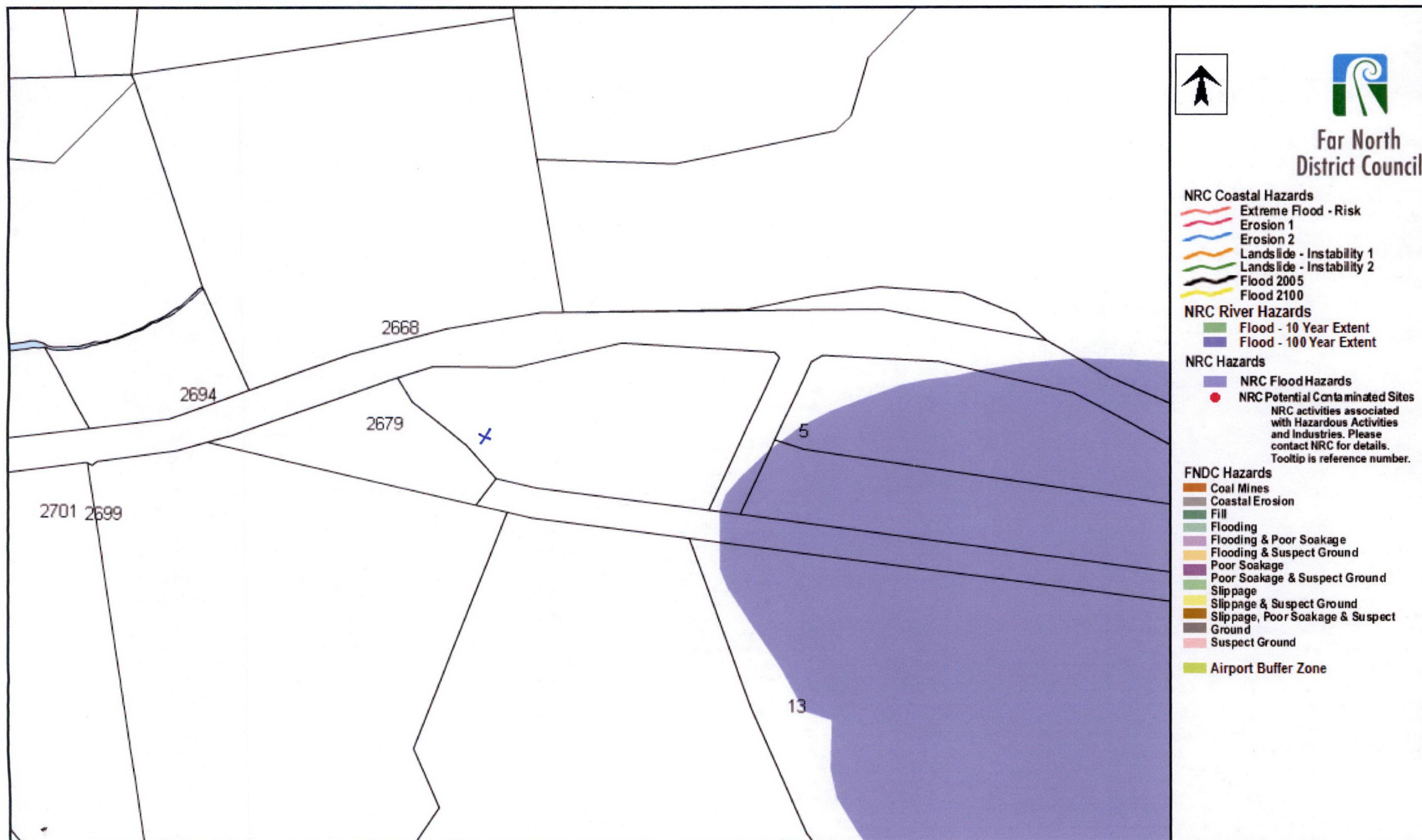
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-  Satellite 2008
-  Aerial High 2006
-  AerialHigh 2000-2003

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