

APPLICATION FOR BUILDING PERMIT

WANGANUI,

N^o 3459

4652

18th November, 1958.

TO THE CITY ENGINEER,

I hereby apply for permission to erect dwelling

at Garata & Platchen Sts.

for G. & L. Jones (D.D. Manson) of " " " "

according to locality plan and detailed plans, elevations, cross sections and specifications of building deposited herewith, in duplicate. pt- 1310/497/1.

Particulars of Land: Lot No. 38 on Town Section D.P. 3943

Length of Boundaries Area

Particulars of Building—Foundations concrete

Walls Plaster on kanka Roof on wood G. Iron

Area of ground floor 1010. sq. ft. Area of outbuildings sq. ft.

Estimated value—

Building - - - - - £ 2274 : - : -

Plumbing and Drainage - - - - - £ 294 : - : -

Total £2568 : - : -

Proposed purposes for which every part of building is to be used or occupied (describing separately each part intended for use or occupation for a separate purpose)

residence.

Nature of ground on which building is to be placed and of the subjacent strata

Garland & Lyn Jones Ltd

Builder or owner

Address 95 Konomiho Road

PARTICULARS OF WORK

Value £ 2568 Building Fee £ 12 : - : - ✓

No. of Bricks Water Fee £ - : 4 : -

Chimneys Inspection Fee £ : : .

Cubic yds. of Concrete 12 Crossing Fee £ : : .

Footpath Damage Deposit £ : : .

Total £ 12 : 4 : -

Received Fee MRP

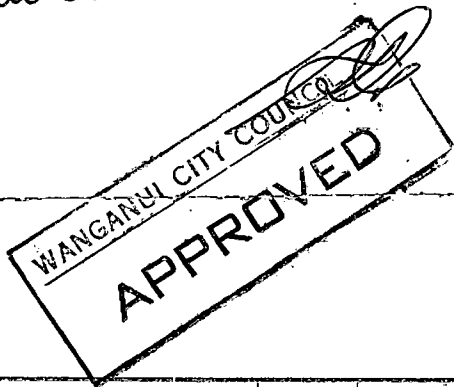
Receipt No. 3240

Pt. 1310/497/1

G. & L. Jones
(Manson)

Lot 38 D.P. 3943

Manuka & Thatcher St



WANGANUI CITY COUNCIL	INITIALS	DATE
APPROVED BY		DEC 1958
DRAINAGE		24/11/58
BUILDING INSPECTOR		18/11/58
SANITARY INSPECTOR		28.11.58

S P E C I F I C A T I O N
OF WORK TO BE DONE AND
MATERIAL TO BE
USED
IN THE ERECTION
OF A
RESIDENCE
FOR

MR. D.D. HANSON.

LOT 38 MANUKA STREET.

WANGANUI.

SPECIFICATION OF WORK TO BE DONE AND MATERIALS TO BE USED IN
THE ERECTION OF A HOUSE ON LOTS WANGANUI.

All work to be supervised by the State Advances Corporation and to comply with their minimum requirements and Standard Specification. House is to be covered against Fire loss by Insurance.

FOUNDATIONS: Excavate to a depth of 12" for all footings. Construct 5" concrete foundations 18" above ground level, resting on 9" x 4" concrete footings, reinforced with 3- $\frac{1}{2}$ " M.S. rods properly hooked and lapped. All piers to have base area of 8" x 8" resting on footing 12" x 12" x 4" with a No.8 wire embedded. Porch and fireplace slabs to be reinforced with H.R.C. or $\frac{3}{8}$ " M.S. rods. provide H.D. bolts of $\frac{3}{8}$ " M.S. at 4'6" c.c. Concrete shall be made of 6 parts gravel to 1 part cement.

FRAMING: All wall framing is to be widthed and bored for ventilation. Plates to be halved and protected from concrete with Malthead dampcourse. Trimmer openings are as follows;-

Openings up to	4'6"	are	4 x 3	or	5 x 2
"	"	are	4 x 4	or	6 x 2
"	"	are	4 x 5	or	7 x 2
"	"	are	4 x 6	or	9 x 2
"	"	are	4 x 7	or	10 x 2
"	"	are	4 x 8	or	12 x 2

Trimmer studs to openings more than 4'6" shall be 4 x 3.

TIMBER SCHEDULE:

4	x	3	Ht. R. or Tan.	Sleepers approx 6' c.c.
5	x	2	Ht. R. or Tan.	Joists 18" c.c.
3	x	2	Ht. R.	Bed Plates
4	x	2	Ht. R. Width	Bot. Plates
4	x	2	O.B. Rimu width	Top plates, studs at 18" c.c. 8' high. Dwangs to suit Konka Board.
4	x	2	Pinus width	
3	x	2	Pinus	Interior top plates, studs at 18" c.c. for non-bearing partitions.
6	x	1	cut in braces, collar ties	alternate rafters, diagonal braces over ceiling joists at corners.
4	x	2	Pinus	Ceiling joists, at 18" c.c.
4	x	2	O.B.R.	Rafters at 3' c.c.
3	x	2	O.B.R.	Purlins at 2'6" c.c.
3	x	$1\frac{1}{2}$		Soffit bearers
4	x	2	O.B.R.	Under purlin, struts and ceiling runners 8' - 12' spans.
8	x	1	O.B.R.	Valley and hip bd.
6	x	1	O.B.R.	Ridge and valley bd. lining.

LININGS: Purlins to be covered with 2" netting and building paper. Cover roof with 26 gauge G.C. iron and ridging. Laps to be painted with aluminium before fixing. Walls shall be covered with building paper and Konka board fixed in proper trade manner.

This shall be plugged and scrimed before fixing wire netting for plastering. All soffits and porch ceilings shall be covered with flat fibrolite joints covered with $\frac{1}{2}$ round batterns.

INTERIORS: All walls shall be lined with Gibraltar board. All ceilings shall be lined with Pinex insulating board V jointed. Flooring to be 5 x 1 or 6 x 1 Tan.Matai or Rimu well cramped and punched on completion. Fix 2" and 1 $\frac{1}{2}$ " scotia to ceilings. Fix 3" x $\frac{1}{2}$ " bull-nose architrave and 4 x $\frac{1}{2}$ bullnose skirting. Fit 5 x 1 sillboards with $\frac{1}{4}$ rd.aprons, finishings work other than flooring to be sanded on completion.

DOORS: ~~FRONT DOOR~~ 6'6" x 2'10" 1 W. H.T.
All doors to main rooms shall be 6'6" x 2'8" O.B.flush. Bath and W.C.doors shall be 6'6" x 2'2" O.B.Flush. Linen cupboard and hot water cupboard doors to be 6' x 2' O.B.flush.

WINDOWS: Windows,generally, full sashes and split rail type. Bathroom and W.C. to have obscure glass.

GENERAL: Construct Kitchen cupboards as shown on detail with core-board doors, toe space, four drawers and floor to ceiling safe, with slat shelves and vent holes covered with gauze. Provide manhole in foundation and ceiling. Provide shelf and rail for wardrobes, three full width shelves in linen cupboards, wood bath and tub skirting, shaving cabinet approx.18" x 16". Fit two shelves in hot water cupboard.

FURNITURE:

Allow	the	sum	of	18/-	for	lock	sets.
"	"	"	"	12/-	for	latch	sets.
"	"	"	"	11/6	for	casement	stays.
"	"	"	"	8/-	for	quads.	
"	"	"	"	2/6	for	cupboard	catches
"	"	"	"	1/6	for	drawer	pulls.

Provide Formica sink bench 5'6" long with enamel bowl open ends.

PLUMBER AND DRAINLAYER

All plumbing work and drainage work to be carried out in accordance with State Advances Corporation specifications and to comply with Local Authority Plumbing and Drainage Regulations By-law No.27.

DRAINS: All drains to be laid with 4" glazed E.W.pipes, with joints set in 2 to 1 cement mortar. Pipes to be laid with easy bends and even falls, not flatter than 1 in 40. Connect the house drainage to the city sewer. The Plumber shall provide a drainage plan showing the position of all fittings, the grades and depths of all drains. Gully at back door to be dished type. All others to be level inlet.

FLASHINGS: All flashings through roof in 24 gauge P.G.I.spouting and downpipes 24 P.G.I. All sill trays, window flashings, etc., to be formed in 26 g P.G.I.

COLD WATER: Lay cold water in $\frac{1}{2}$ " pipe from boundary to two outside hose taps, W.C., bath, basin, sink, tubs.

HOT WATER SUPPLY: Provide and install a 30 gallon copper circulating cylinder, complete with 30 gallon supply tank and overflow tray, feed pipe, sludge cock, etc. Run $\frac{3}{4}$ " lead to bath and $\frac{1}{2}$ " to basin, sink and one tub. H.W.piping to be drawn copper tube with welded joints, all to be properly lagged with hair felt wired on.

FITTINGS: Supply and fix the following;- 5'6" Alpha bath, 22 x 16 wash basin, W.C.complete with syphonic cistern and plain seat, pair concrete tubs (sink provided by carpenter).

WASTES: Provide all wastes, inspection vents, gullies, etc., as required by the By-laws. All gullies not under waste to be provided with a tap. Wastes to be sizes as set out in the following schedule in wrought iron pipe;-

Wash Basin	1 $\frac{1}{4}$ "
Bath	1 $\frac{1}{2}$ "
Sink	1 $\frac{1}{2}$ "
Tubs	1 $\frac{1}{2}$ "

Fittings to be trapped to waste with copper traps. Terminal vents to be 3" copper with brazed and gusseted joints on 3" diameter, C.I.pipe 6' high.

TAPS: All taps to be streamlined chrome, except hose taps and taps in washhouse.

ELECTRICIAN.

All work to comply with Electrical Wiring Regulations. All switch boxes located by coat recess or centre of house.

ELECTRICIAN CONTINUED

Provide 5 heating points and provide 11 lights.

Allow for Thermo-stat and 1000 watt element for hot water cylinder. Allow P.C. sum of £45-0-0 for electric stove. Fit white flush plates. No earth aerial.

PLASTERING AND BRICKLAYING

Set vents in and apply one dash coat only. Steps and porch slabs to be plastered and finished with wood float, no coves. Konka board to be plugged and scrimed before fixing wire netting and plastering. First coat to be $\frac{5}{8}$ " thick scratched for key to second coat, which shall be $\frac{3}{8}$ " thick, and finished with a dash coat pattern. Construct precast concrete chimney inside or outside as shown on plan with firebrick back and hobbs. Allow the sum of £14.10.0 for tile surround.

PAINTER.

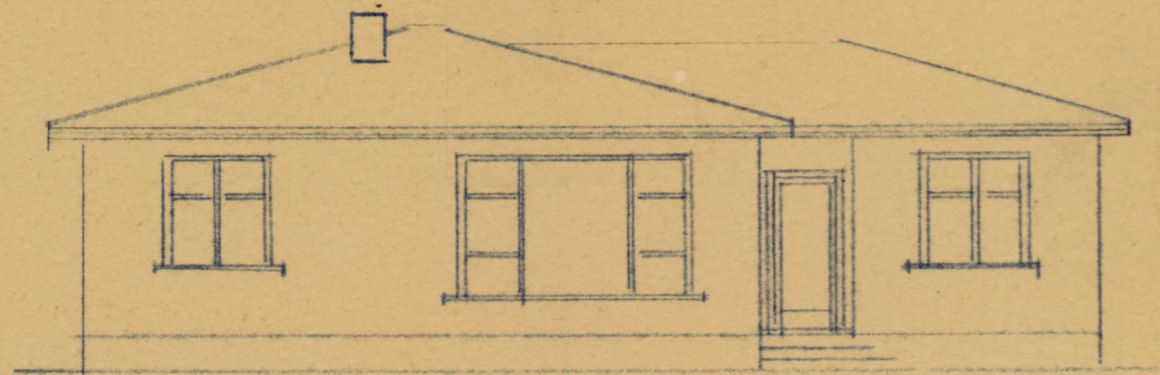
All plaster walls shall be finished with two coats of Boncote. All exterior woodwork to be primed, to have one undercoat and finished in Butex or similar brand of paint. Roof shall be painted at laps before fixing.

All soffits and all porch ceilings shall be sealed and painted two further coats. **ALL EXTERIOR PAINTING TO BE COMPLETED BY OWNER**

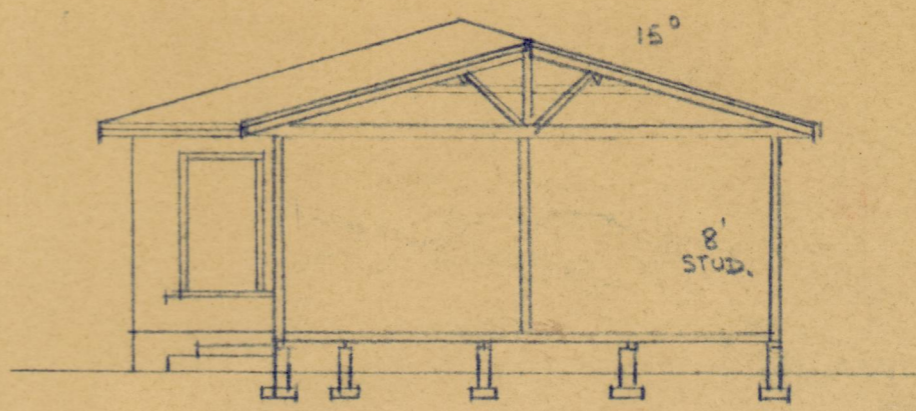
Stop all Gibraltar board and size before papering. All sashes and all woodwork in Kitchen, Laundry, W.C., and Bathroom to be primed, stopped and to receive a further coat of paint and one coat of enamel. Walls in these rooms to be sealed and painted. All pinex ceilings to be stopped and have two coats of prep. All other woodwork to be sized and to receive two coats of varnish.

Allow the sum of 6/- per roll for wallpaper.

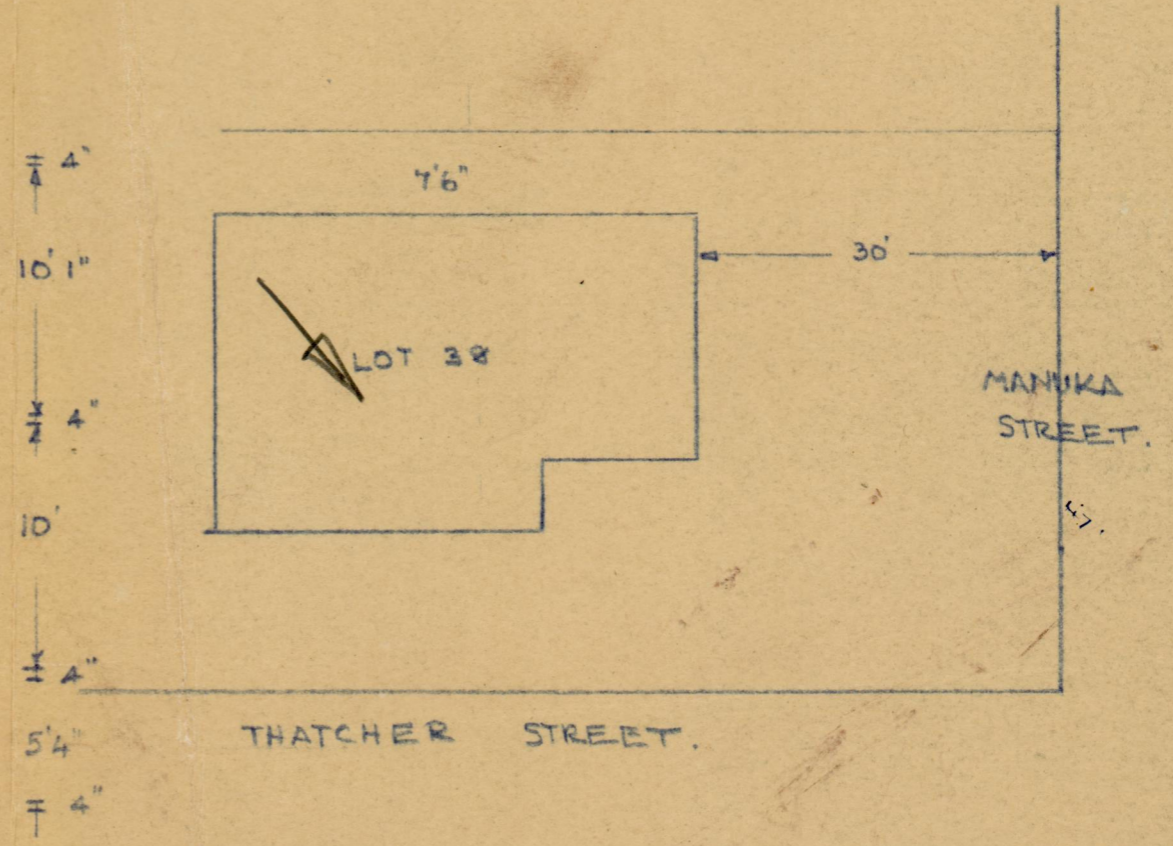
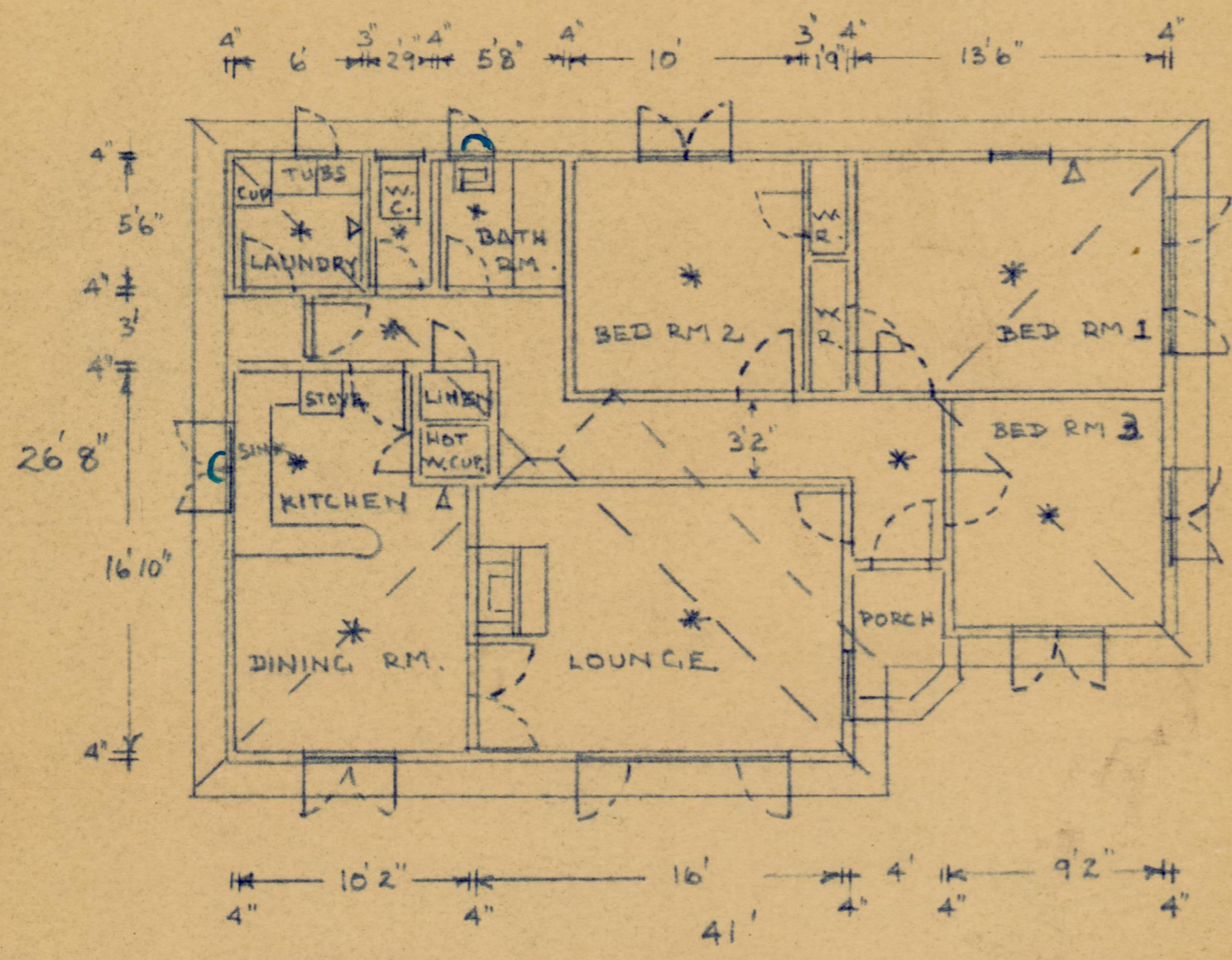
- - - - -



FRONT ELEVATION.



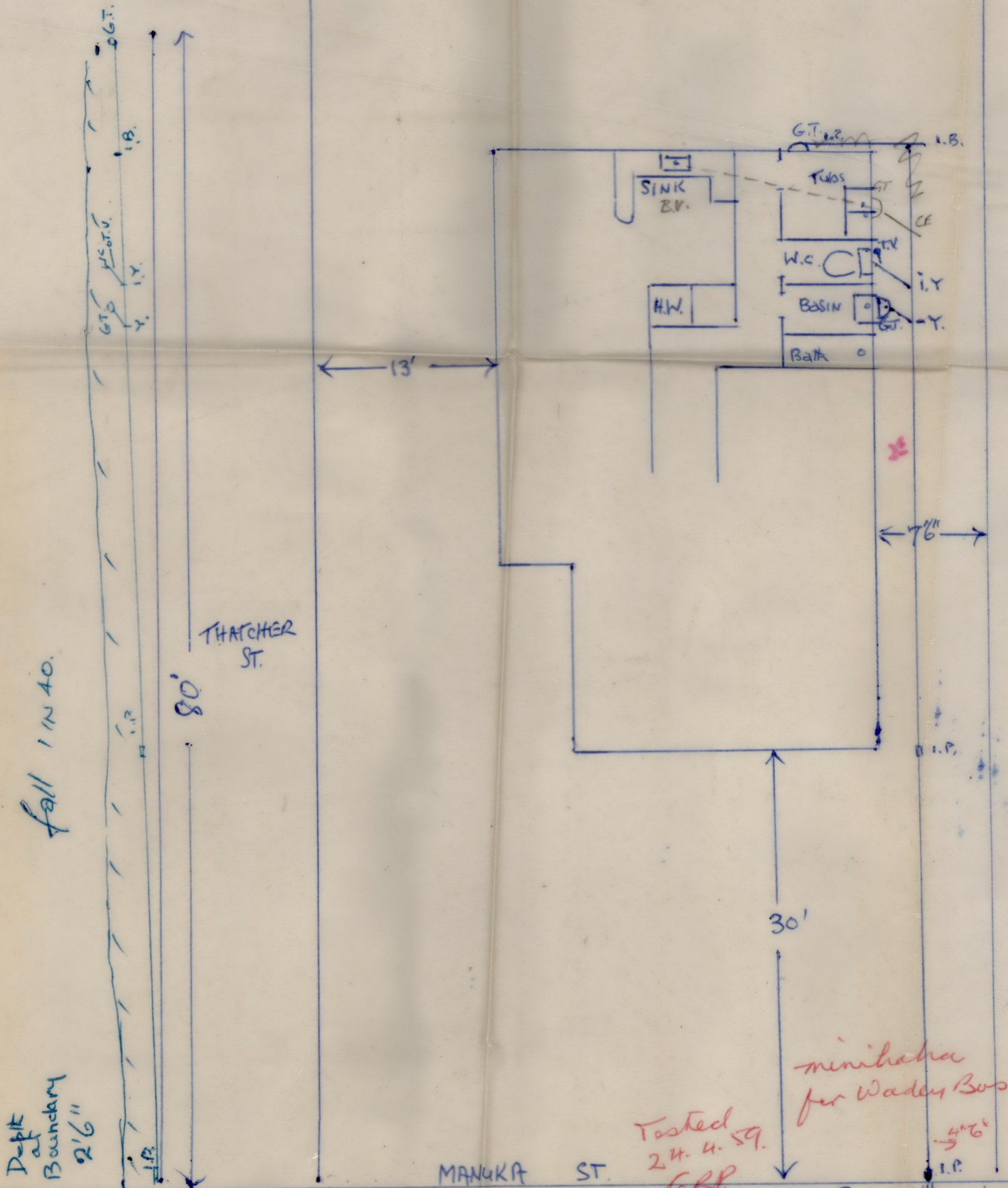
CROSS SECTION.



GARLAND + LYN JONES LTD.
BUILDERS WANGANUI.

PROPOSED RESIDENCE FOR MR D.D. MANSON.
CORNER THATCHER ST. AND MANUKA ST. CASTLECLIFF.

SCALE 1/8" : 1'
1/16" : 1'



Drainage Plan

Proposed Residence for

Scale 1/8" = 1'

G+L JONES BUILDER.

D. D. MANSON
CNR THATCHER ST AND MANUKA ST.

No. 319

WANGANUI CITY COUNCIL

Building Inspection Sheet

Permit No. 8652 Value £ 2568

OWNER P. P. Nanson Pt. 1310/49-7/1

BUILDER G. H. Jones Ltd

STREET 83 Thatcher St 4-12-58

SEC. LOT 38 D.P. 2568

	Date Inspection
Boundaries	/
Excavation	/
Foundation	/
Piles	/
Vents	/
Chimney Found.	4/2
Copper Found.	
Framework	
Trimmers	
Ventilation	
Rafters	
Purlins	
Sheathing	
Netting	
Ceiling Vents	
Water Heater	
Gas Fire Flues	

REMARKS:—

Completed 21/5/58

VALUATION ROLL No.

LEGAL DESCRIPTION

1922

72 MANUKA STREET
THATCHER STREET

1310/497/8

LOT 38 D.P. 3943

DRAINAGE & PLUMBING PERMITS

BUILDING PERMITS

Existing Use

Permit No.

Date

Permit No.

Date

Nature of Work

Designation

8652

18-11-58

DWELLING

Zoning

9090

11-6-59

GARAGE

Undersize Section

Building Line Restriction

Proposed Street

Proposed Service Lane

Proposed Access Way

Dangerous
Goods Licence

Fill Points

Housing File No.

Underground Tank

Type

Capacity
gals

Water Connection

Reg. No.

Amt. Paid.

Conditional Use

File:

Water Meter

Water Bore

Drainage Connection

Reg. No.

Amt. Pd.

Specified Departure

File:

Pool

Filtered

Unfiltered

Back Flow
PreventerStormwater
Connection

Reg. No.

Amt. Pd.

Dispensations

Reference

Date

Heating

Gas

Oil-fired

Coal-
Wood

Electric

Other

Kerb Crossing

Reg. No.

Amt. Pd.

33962

818-