

6 GIBSON ST

Wanganui District Council

15 JAN 2013

3-10pm

Wanganui District Council
BCA QM System

Building Consent File - Front Cover

BCA T-38C Page 1 of 1
v8 12/11/13

ACCEPTED

Building Consent File Content/Checklist

Consent number: 13/0019

DBH Building Category
(Type 1, 2 or 3)

R1

	Description	Added to file	Comment & Reference
1.	Consent Application	15-1-13	
2.	Pre-Vet Checksheet	15-1-13	
3.	Plans & Specifications	15-1-13	
4.	Bracing Calculations		
5.	PIM : C/T : Consent Notes	15-1-13	(CT)
6.	Regional Authority Consent (Dams)		
7.	Fire Design		
8.	DRU - NZFS		
9.	Consultant Reports		
10.	Producer Statements PS1, PS2, PS4	15-1-13	(PS1)
11.	Engineering Calculations	15-1-13	(E)
12.	Peer Review		
13.	Relocate: Condition Reports		
14.	Truss Layouts		
15.	FIR		
16.	Correspondence		
17.	Copy of Invoice(s)	15-1-13	(OEP)
18.	Compliance Assessment Checksheets		
19.	Photos		
20.	Notice to Fix / Enforcement Action		
21.	DBH Notification (Warnings etc)		
22.	Amendments/Alterations to Existing		
23.	Historic Places Trust Approval letter		
24.	Request for Further Information letter(s)		
25.			
26.			
27.	Building Consent (signed copy) Including Conditions	28-1-13	
28.			
29.			
30.	Inspection Checksheets	30-4-13	
31.	Supporting As-Built documentation		
32.	Energy Work Certificates - Electrical		
33.	Energy Work Certificates - Gas		
34.	Vehicle Crossing Producer Statement		
35.			
36.			
37.			
38.	Application for C.C.C.	30-4-13	
39.	C.C.C. Assessment Checklist		
40.	Code Compliance Certificate		

**JOB COMPLETED
CCC ISSUED**

LARGE PLANS HELD IN: (PLAN TUBE or FILE BOX?)

LARGE PLANS LOCATED IN: G18 FILE ROOM or BASEMENT

NEW 75m² DETACHED GARAGE.

Building Consent Application
 Section 32 or 45, Building Act 2004
 FORM 2



Wanganui District Council

15 JAN 2013

1. Application type

(Please tick appropriate box)

- Project Information Memorandum and/or
- Building Consent or
- Alteration to Existing Building Consent

13/001

Consent No.

Building Consent/PIM No.

13/0019

Note: Shaded areas for office use only

RECEIVED

2. The building

2a. Site address: 6 Gibson Street, Wanganui

2b. Current lawfully established use: [Blank]

2c. Legal description: Lot 14, DP/LAN 111

2d. Council property no.: 9671 (WN 338/127)

2e. Number of levels: 1

2f. Level/Unit number: [Blank]

2g. Floor area: Existing [Blank] m², New 75 m², Total 75 m²

2h. Year building first Constructed (If applicable/or approx. year): [Blank]

3. The owner

3a. Name: Sue Crowley

Postal address: 6 Gibson Street, Wanganui

Contact numbers: Phone [Blank], Mobile 0277475686, Fax [Blank]

Email: [Blank]

4. Evidence of ownership

- 4A. Evidence of ownership attached:
 - Certificate of Title (copy)
 - Lease agreement
 - Sale and purchase agreement
 - Other document showing full name of legal owner(s), such as a rate instalment notice

W.D.C To Supply

5. Applicant's details (if not the owner)

5A. Name of Agent: Totalspan Wanganui

Postal address: 3 Putiki Drive, Wanganui

Contact numbers: Phone [Blank], Mobile 0277475686, Fax [Blank]

Email: totalspan.wanganui@totalspan.co.nz

Relationship to owner: Agent

Details of authorisation: Evidence attached, Other—please specify [Blank]

6. Applicants's declaration

[Signature] 13/1/13

Signature of Owner/Agent Date
Jono Rankin

Name (print clearly)

- Consent fees to be paid by (Please tick appropriate box)
- Owner Designer Builder Agent Plumber

The information provided will be included in a Public Register of Consents which is available for public perusal under the Privacy Act 1993 section 54. This may result in receipt by the 'Owner' of trade advertising. The person signing the Building Consent application form is the person responsible for the debt.

7. The project

7a. Description of the building work
NEW TOTALSPAN GARAGE.

7b. Will the building work result in a change of use of the building? Yes No

7c. If yes, please provide details of the new use

7d. Intended life of the building Indefinite but not less than 50 years Less than 50 years—please specify _____ years

7e. Have any PIM and/or Building Consents been issued previously for this project? Yes No
Provide details below

Date of consent	Consent number

7f. Restricted Building Work Yes No N/A

7g. Estimated value of the building work \$ 35,000 including GST 7h. Category R1

Office use only

8. Project Information Memorandum

The following matters are involved in the project (please tick the appropriate project)

- Subdivision
- Alterations to land contours
- New or altered connections to public utilities
- New or altered locations and/or external dimensions of buildings
- New or altered access for vehicles
- Building work over, or adjacent to, any road or public place
- Disposal of stormwater and wastewater
- Building work over existing drains or sewers, or in close proximity to wells or water mains
- Other matters known to the applicant that may require authorisations for the council—please specify

9. Supporting documentation

The following plans and specifications are attached to this application:

- Two sets of plans drawn to a recognised metric scale; include two sets of specifications and other documentation
- Project Information Memorandum
- Producer Statements
- Truss Layout Plan
- Memoranda (Certificates of Design work)
- Certificate attached to Project Information Memorandum
- Details/Calculations
- Fire Design Analysis
- Development Contribution Notice
- Copies of other Authorisations—please specify
- Other—please specify

10. Building practitioners involved in this project (continue on another sheet of paper if needed)

Designer—extent of involvement

Name / Registration no.

Contact details Address

Phone / Email

Builders—extent of involvement

Name / Registration no.

Contact details Address

Phone / Email

Totalspan / contact.
Totalspan Wanganui
3 Potiki Drive.
0177475686

Certifying plumber—extent of involvement

Name / Registration no.

Contact details Address

Phone / Email

Certifying drainlayer—extent of involvement

Name / Registration no.

Contact details Address

Phone / Email

Electrician—extent of involvement

Name / Registration no.

Contact details Address

Phone / Email

Other—extent of involvement

Name / Registration no.

Contact details Address

Phone / Email

11. Waiver or modification required

Waiver or modification
(Please circle and detail below)

B1	B2	C1	C2	C3	C4	D1	D2
E1	E2	E3	F1	F2	F3	F4	F5
F6	F7	F8	G1	G2	G3	G4	G5
G6	G7	G8	G9	G10	G11	G12	G13
G14	G15	H1					

Additional information

Alternative Solution
(Please circle and detail below)

B1	B2	C1	C2	C3	C4	D1	D2
E1	E2	E3	F1	F2	F3	F4	F5
F6	F7	F8	G1	G2	G3	G4	G5
G6	G7	G8	G9	G10	G11	G12	G13
G14	G15	H1					

Additional information

(B1)	

12. Compliance with the New Zealand Building Code

NZBC Clause

Tick relevant building code clauses

- B1** Structure
- B2** Durability
- C1-C2-C3-C4** Fire
- D1** Access routes
- D2** Mechanical installations for access
- E1** Surface water
- E2** External moisture
- E3** Internal moisture
- F1** Hazardous agents on site
- F2** Hazardous building materials
- F3** Hazardous substances & processes
- F4** Safety from falling
- F5** Construction & demolition hazards
- F6** Lighting for emergency
- F7** Warning systems
- F8** Signs
- G1** Personal hygiene
- G2** Laundering
- G3** Food preparation & prevention of contamination
- G4** Ventilation
- G5** Interior environment
- G6** Airborne & Impact sound
- G7** Natural light
- G8** Artificial light
- G9** Electricity
- G10** Pipes services
- G11** Gas as an energy source
- G12** Water supplies
- G13** Foul water
- G14** Industrial liquid waste
- G15** Solid waste
- H1** Energy efficiency
- Backcountry Huts
- Simple House

Means of compliance

Please circle or add means of compliance

Proposed inspections

Please circle as appropriate—see key below

B1/AS1 P/S1	NZS 4229	NZS 3604-2011	AS/NZS 1170	1	2	3
B2/AS1	NZS 3604	NZS 3101	NZS 3602	1	2	3
C/AS1		SED		1	2	3
D1/AS1		NZS 4121		1	2	3
D2/AS1		NZS 4322	EN/81	1	2	3
E1/AS1		AS/NZS 3500		1	2	3
E2/AS1		Specific Design		1	2	3
E3/AS1				1	2	3
F1/AS1				1	2	3
F2/AS1		NZS 4223		1	2	3
F3/AS1				1	2	3
F4/AS1		Fencing of Swimming Pools Act		1	2	3
F5/AS1				1	2	3
F6/AS1	AS/NZS 1668	NZS 4512	NZS 4515	1	2	3
F7/AS1	AS/NZS 1668	NZS 4512	NZS 4515	1	2	3
F8/AS1				1	2	3
G1/AS1				1	2	3
G2/AS1				1	2	3
G3/AS1				1	2	3
G4/AS1				1	2	3
G5/AS1				1	2	3
G6/AS1				1	2	3
G7/AS1				1	2	3
G8/AS1		NZS 6703		1	2	3
G9/AS1				1	2	3
G10/AS1		NZS 5261		1	2	3
G11/AS1				1	2	3
G12/AS1		AS/NZS 3500		1	2	3
G13/AS1		AS/NZS 3500		1	2	3
G14/AS1				1	2	3
G15/AS1				1	2	3
H1/AS1	NZS 4212	NZS 4218	NZS 4243	1	2	3
		ALF design manual				
Acceptable solution				1	2	3
Acceptable solution				1	2	3

Key to proposed inspection: 1. Council Building Control Officer 2. Approved Consultant e.g. Engineer 3. Other—Please specify below

Important

The Building Act requires the applicant to state, for each relevant building code clause, what the means of compliance is. Alternative solutions may also be proposed, and must be accompanied with documentation demonstrating compliance. Please refer to Alternative Solution box previous page and provide additional information.

13. Compliance schedule

Do not proceed further if

- this is an application for a PIM only (Project Information Memorandum)
- this application is for Residential work only (except for a cable car after 31 March 2008)

The following specified systems are new, existing, being altered, added to, or removed in the course of building work

There are no specified systems in the building

	New	Existing	Altered	Added	Removed
Cable Car (including to individual dwelling) (to be implemented 31 March 2008)	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Building Act 2004 (implemented 31 March 2005) (listed below are the systems and features from the 'new' Act)					
1. Automatic systems for fire suppression (for example, sprinkler systems)	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
2. Automatic or manual emergency warning systems for fire or other dangers	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
3. Electromagnetic or automatic doors or windows (for example, ones that close on fire alarm activation)	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
4. Emergency lighting systems	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
5. Escape route pressurisation systems	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
6. Riser mains for Fire Service's use	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
7. Any automatic back-flow preventers connected to a potable water supply	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
8. Lifts, escalators, travelators, or other systems for moving people or goods within buildings	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
9. Mechanical ventilation or air conditioning systems	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
10. Building maintenance units providing access to exterior and interior walls of buildings	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
11. Laboratory fume cupboards	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
12. Audio loops or other assistive listening systems	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
13. Smoke control systems	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
14. Emergency power systems for, or signs relation to, a system or feature specified in any of the above	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
15. Means of escape with systems and features, signs (1 to 6, 9 and 13) Fire and smoke separations	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

**Building Consent Application
Prelodgement Vetting
Minor Works, Plumbing &
Drainage and Solar Heating**



**Wanganui
District Council**

Project examples

Garage (Non-habitable), carports, farm buildings, retaining walls, decks verandah, wet area shower, repiling, pergolas, conservatories, window/door installation, removal/addition of walls, building removal, swimming pools.

Application details

(Additional information will need to be supplied if a resource consent is required)
This is a preliminary vetting sheet only to establish if there is sufficient information of an acceptable quality before it is received for lodgement and processing. This prelodgement form is designed to reduce processing time and save you on processing costs.

Plans are required to a suitable drafting standard.

Note: If you do not have the appropriate skills to prepare drawings, please engage a professional.

2 copies of all documentation is required (4 if resource consent required).

Date Received: 13/1/13

Site Address: 6 Gibson Street Wanganui

Description of building work: New Bitolspan Roibling

Restricted building work	YES	NO	N/A
WDC Building Category (Circle where applicable)	1	2	3

Application type

Tick where applicable under Yes or Not applicable	Yes	N/A	WDC
New Building/Alterations	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Pergola/Verandah	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Windows/doors	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Cladding	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Decks and balconies/balustrades	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Retaining walls/engineer or standard	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Septic Tank/Water Tank/Solar	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

Property Information

Tick where applicable under Yes or Not applicable	Yes	N/A	WDC
Cert. of title (less than 3 months old)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Legal description checked	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Street address	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Number of floors (1)	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Building history—listed	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Rapid Number required	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Current lawful use WDC	RESIDENTIAL		

Contact details, address, phone etc.

	Yes	N/A	WDC
Owner's details	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Agent's details	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Designer's details	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Engineer's details	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Site Information

Circle where applicable

Wind Zone	Low	Medium	High	Very High	Extra High
Corrosion Zone as defined NZS3604 4.2.3		B	C	D Sea Spray	Specific Design
Earthquake Zones		1	2	3	4

Compliance

	Yes	N/A	WDC
Means of compliance completed (as per application form)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Standards—Current version specified	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Alternative solution	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
LBP Memorandum	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

Plans

Number of sets required (2/3 set required)

Specifications: Project Specific

Number of sets required (2/3 set required)

Bracing calculations

Tick where applicable under Yes or Not applicable	Yes	N/A	WDC
Subfloor/Deck (2 sets required)	<input type="radio"/>	<input type="radio"/>	<input checked="" type="checkbox"/>
Wall (per floor)	<input checked="" type="radio"/>	<input type="radio"/>	<input checked="" type="checkbox"/>

Structural Engineering

Number of sets supplied (2 required)	<input checked="" type="radio"/>	<input type="radio"/>	<input checked="" type="checkbox"/>
Current Producer statement/Calc.	<input checked="" type="radio"/>	<input type="radio"/>	<input checked="" type="checkbox"/>
Beam layout plan	<input checked="" type="radio"/>	<input type="radio"/>	<input checked="" type="checkbox"/>
Connection details/truss/lintel/post	<input checked="" type="radio"/>	<input type="radio"/>	<input checked="" type="checkbox"/>

Floor Plans

To scale, fully dimensioned, rooms named	<input checked="" type="radio"/>	<input type="radio"/>	<input checked="" type="checkbox"/>
Window/door sizes and position	<input checked="" type="radio"/>	<input type="radio"/>	<input checked="" type="checkbox"/>
Fixtures and fittings, smoke detectors	<input type="radio"/>	<input type="radio"/>	<input checked="" type="checkbox"/>
Full plumbing layout, pipe sizes etc.	<input type="radio"/>	<input checked="" type="radio"/>	<input type="checkbox"/>
HWC, position, temp valve, solar	<input type="radio"/>	<input checked="" type="radio"/>	<input type="checkbox"/>
Wall bracing—height, position, type	<input checked="" type="radio"/>	<input type="radio"/>	<input checked="" type="checkbox"/>

Risk Matrix

Calculations supplied	<input type="radio"/>	<input checked="" type="radio"/>	<input checked="" type="checkbox"/>
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Weathertightness—Flashing details

Windows/doors	<input checked="" type="radio"/>	<input type="radio"/>	<input checked="" type="checkbox"/>
Balconies	<input type="radio"/>	<input checked="" type="radio"/>	<input type="checkbox"/>
Parapets/apron/change of pitch	<input type="radio"/>	<input checked="" type="radio"/>	<input type="checkbox"/>
Decks	<input checked="" type="radio"/>	<input type="radio"/>	<input type="checkbox"/>
Roof and wall junctions	<input checked="" type="radio"/>	<input type="radio"/>	<input checked="" type="checkbox"/>
More than one cladding	<input type="radio"/>	<input checked="" type="radio"/>	<input type="checkbox"/>
Pergola	<input type="radio"/>	<input checked="" type="radio"/>	<input type="checkbox"/>
Other penetrations	<input type="radio"/>	<input checked="" type="radio"/>	<input type="checkbox"/>

Electrical Plan

Electrical layout	<input type="radio"/>	<input checked="" type="radio"/>	<input type="checkbox"/>
Mechanical light and ventilation	<input type="radio"/>	<input checked="" type="radio"/>	<input type="checkbox"/>

Site plan

Tick where applicable under Yes or Not applicable	Yes	N/A	WDC
Scale 1:100 1:200 1:500	<input checked="" type="radio"/>	<input type="radio"/>	<input checked="" type="checkbox"/>
Site area & coverage	<input checked="" type="radio"/>	<input type="radio"/>	<input checked="" type="checkbox"/>
Fully dimensioned	<input checked="" type="radio"/>	<input type="radio"/>	<input checked="" type="checkbox"/>
North point & Building Orientation	<input checked="" type="radio"/>	<input type="radio"/>	<input checked="" type="checkbox"/>
Existing & Proposed building	<input checked="" type="radio"/>	<input type="radio"/>	<input checked="" type="checkbox"/>
Retaining walls/engineer or standard	<input type="radio"/>	<input checked="" type="radio"/>	<input type="checkbox"/>
Septic Tank/Water Tank/Soak Hole	<input type="radio"/>	<input checked="" type="radio"/>	<input type="checkbox"/>
Drainage Plan (Stormwater & sewer)	<input type="radio"/>	<input type="radio"/>	<input checked="" type="checkbox"/>

Infrastructure

Water connection position (new/existing)	<input type="radio"/>	<input checked="" type="radio"/>	<input type="checkbox"/>
Sanitary sewer connection position (new/existing)	<input type="radio"/>	<input checked="" type="radio"/>	<input type="checkbox"/>
Stormwater connection position (new/existing)	<input type="radio"/>	<input checked="" type="radio"/>	<input type="checkbox"/>
Level & depths of connections	<input type="radio"/>	<input checked="" type="radio"/>	<input type="checkbox"/>
Vehicle crossing	<input type="radio"/>	<input checked="" type="radio"/>	<input type="checkbox"/>

Deck construction

Foundation plan	<input type="radio"/>	<input checked="" type="radio"/>	<input type="checkbox"/>
Pile size, centres, treatment	<input type="radio"/>	<input checked="" type="radio"/>	<input type="checkbox"/>
Bearer & joist, size, span, treatment	<input type="radio"/>	<input checked="" type="radio"/>	<input type="checkbox"/>
Stair, balustrade details	<input type="radio"/>	<input checked="" type="radio"/>	<input type="checkbox"/>
Detail at junction of house	<input type="radio"/>	<input checked="" type="radio"/>	<input type="checkbox"/>

Roof framing plan

Pitched roof —Ridge beam, rafters, purlins, building paper, insulation	<input type="radio"/>	<input checked="" type="radio"/>	<input checked="" type="checkbox"/>
Pergola/Verandah	<input checked="" type="radio"/>	<input type="radio"/>	<input type="checkbox"/>
Trussed roof —Truss type	<input checked="" type="radio"/>	<input type="radio"/>	<input type="checkbox"/>
Point loads identified	<input checked="" type="radio"/>	<input type="radio"/>	<input type="checkbox"/>
Roof bracing	<input checked="" type="radio"/>	<input type="radio"/>	<input checked="" type="checkbox"/>
Truss layout/design certificate	<input checked="" type="radio"/>	<input type="radio"/>	<input type="checkbox"/>

Designers Signature

Name of Designer signing: (please print clearly)

Dated

Comments

Plans OK to accept for

Date received

15.1.13

Received by

GH
(print name)

Processing

(please circle whichever is applicable)

Application fee:

YES

(please circle whichever is applicable)

WDC Vetting Officer:

GH 15.1.13
(print name)

Recheck


N/A



**COMPUTER FREEHOLD REGISTER
UNDER LAND TRANSFER ACT 1952
Limited as to Parcels**



Search Copy


R.W. Muir
Registrar-General
of Land

Identifier WN338/127
Land Registration District Wellington
Date Issued 21 July 1926

Prior References
DI 30/388

Estate Fee Simple
Area 1012 square metres more or less
Legal Description Lot 14 Deeds Plan 111

Proprietors
Susan Mary Crowley

Interests
9147643.2 Mortgage to Kiwibank Limited - 10.8.2012 at 4:23 pm

21-00-10

Wanganui District Council

PO Box 637, Wanganui

Phone (06) 349-0001

Visit our Web Site www.wanganui.govt.nz

Official Receipt

GST Reg No 51-668-324

15/01/2013

Receipt No: 453450

To: Mike Paul Bullders

<u>Description</u>	<u>Amount</u>
GL Receipt	
NOGPRECONSENT	\$410.00
New Garage 6 Gibson St	
Transaction Total:	\$410.00
<hr/>	
Amounts Tendered	
Cheque	\$410.00
Total	\$410.00

Printed 15/01/2013 11:50:47a.m.

101 Guyton Street
P O Box 637, Wanganui 4500
Phone: (06) 349 0001
Fax: (06) 349 0000
Email: wdc@wanganui.govt.nz
Web: www.wanganui.govt.nz



PREPAID - TAX INVOICE

GST Number 51-668-324

Payers Name: TOTALSPAN - MIKE PAUL BUILDERS -
--

For Building Consent:

Reference No:

Date: 15-1-13.

YOUR APPLICATION WILL NOT BE PROCESSED UNLESS THE FEE IS PAID

<i>Location of project</i>	<i>Description of project</i>
6 GIBSONS ST	NEW GARAGE

<i>Reference</i>	<i>Details</i>	<i>Amount (Incl GST)</i>
1.	Building Consent Project Type – application fee (refer to 'Fees and Charges' Form)	2A \$ 410.00
2.	Resource Consent - deposit	
	• Land use - Non-Notified	\$
	• Subdivision - Notified	\$
3.	Infrastructure Bond	
	• Non-Refundable Charge	\$
4.	Other - Aerial photographs	\$
	- Plan pack Searches	\$
	- Rural Rapid Numbers (New)	\$
	- Large Plan photocopying A2	\$
	- A0 – A1	\$
5.	Certificate of Title	\$
Total Payable		\$ 410.00

WHEN PAID THIS FORM WILL BE PART OF YOUR CONSENT APPLICATION AND MUST BE ATTACHED TO THE CONSENT APPLICATION BEFORE IT WILL BE PROCESSED.

PLEASE RETURN TO CUSTOMER SERVICES



INSPECTION TIME REPORT

Building Consent Number BCon13/0019

<i>Consent or Alteration Number</i>	<i>Estimated Inspection Time</i>	<i>Actual Inspection Time</i>	<i>Inspection Time Difference</i>
BCon13/0019	100	0	100
<i>Inspection Time Difference</i>			
At BC Issue	<i>Time to be charged.</i>		100
* Completion	Positive amount = time to be credited Negative amount = time to be charged		

Signed for and on behalf of the Wanganui District Council



INSPECTION RECORD

This record, together with the Building Consent and approved plans, is to remain on the construction site at all times.

Project Location	TO BOOK AN INSPECTION PLEASE PHONE WDC BUILDING CONTROL ON 349 0001 AND QUOTE THE FOLLOWING APPLICATION NUMBER:	BCon13/0019
6 Gibson St WANGANUI		
Description of Work	New 75m2 detached garage	

Applicant	Totalspan Steel Buildings 3 Putiki Drive, Putiki, Wanganui 4500
Builder	Totalspan Steel Buildings 3 Putiki Drive, Putiki, Wanganui 4500

SUMMARY OF CONDITIONS

Building Consent Number BCon13/0019

PIM Conditions

Code	Condition
	All work on the project must comply with the requirements of the NZ Building Code.
	A PIM only document is not an approval to build. A Building Consent is required before building work commences.
	W.D.C will follow up on building work not completed within two years of building consent issue.
	A Building Consent lapses and is of no effect if the building work has not been started within 12 months of the date of issue.
	If the building is public premises it may not be occupied until either a code compliance certificate or certificate for public use has been issued.
	Please note [Electrical, and Gasfitting subtrades do not form part of the building consent inspection process. However, Council is required to receive 'Energy Certificates' from both of these trades before issue of a Code Compliance Certificate].
PIMbdary	The boundaries must be clearly defined BEFORE commencing work

Building Consent Conditions

Code	Condition
BCStormH2O	[Informative note: That the stormwater is to be disposed, so as not to be detrimental to the new and existing building foundations, nor a nuisance to neighbouring properties (Council is not liable for stormwater disposal via soakholes)]

Your project's inspections are listed on the next page...



Please Note: A minimum of 24 hours notice is required for the booking of an inspection. The inspection record sheet and accompanying building consent documentation must be on site for use by the inspector at the time of the inspection.

All inspections are to be carried out by BCA Building Inspectors unless prior arrangements have been made by the BCA to have an approved qualified person inspect specific items (eg. Engineer). Inspections shall be carried out in accordance with the attached schedule of inspection types. It is the owner's responsibility to ensure all necessary inspections are carried out as required. Please contact WDC if you are unsure what requires inspection – do not cover or enclose any building work without inspection.

Note: Further inspections may incur additional cost at time of Code Compliance Certificate issue.

Inspections Record For Building Consent Number BCon13/0019								
<i>Inspection</i>	<i>When to Request</i>	<i>Date</i>	<i>Inspector</i>	<i>Complies with Code</i>	<i>Reinspect</i>	<i>Notes</i>		
CONCRETE SLAB INSPECTION	Prior to placing Concrete							
FINAL BUILDING INSPECTION	On Completion					Includes stormwater.		



BUILDING CONSENT NUMBER BCon13/0019

Section 51, Building Act 2004

The building:

Street address of building:	Legal description of land where building is located:
6 Gibson St WANGANUI	LOT 14 DEED 111 0.1012 Ha
Building name:	Location of building within site/block number:
Level/unit number:	

The owner:

Name of Owner:	
Mrs SM Crowley	
Mailing address:	Street Address/registered Office:
6 Gibson Street Aramoho Wanganui 4500	6 Gibson Street Aramoho Wanganui 4500

Phone numbers:

Landline:	3436455	Mobile:	
Daytime:		After hours:	
Facsimile number:			
Email address:		Website:	

First point of contact for communications with the building consent authority:

Contact Person:	
Totalspan Steel Buildings	
Mailing address:	Street Address/registered Office:
3 Putiki Drive, Putiki, Wanganui 4500	3 Putiki Drive, Putiki, Wanganui 4500

Phone number:

Landline:		Mobile:	0274420378
Daytime:	347 9842	After hours:	
Facsimile number:	347 9844		
Email address:	wanganui@totalspan.co.nz	Website:	

Building Work

The following building work is authorised by this consent

Project
New 75m2 detached garage

<i>Intended Use</i>	<i>Intended Life</i>
Garage	50 Years
<i>Estimated Value (\$)</i>	
\$35000.00	

This building consent is issued under section 51 of the Building Act 2004. This building consent does not relieve the owner of the building (or proposed building) of any duty of responsibility under any other Act relating to or affecting the building (or proposed building). This building consent also does not permit the construction, alteration, demolition, or removal of the building (or proposed building) if that construction, alteration, demolition or removal would be in breach of any other Act.



CONDITIONS OF BUILDING CONSENT NUMBER BCon13/0019

Section 51, Building Act 2004

This Building Consent is issued Subject to the following conditions:

Building Act 2004, Section 90:

Inspections by Building Consent Authorities

Agents authorised by the building consent authority for the purposes of this section are entitled, at all times during normal working hours or while building work is being done, to inspect

- (a) land on which building work is being or is proposed to be carried out; and
- (b) building work that has been or is being carried out on or off the building site; and
- (c) any building.

Additional conditions:

- [Informative note: That the stormwater is to be disposed, so as not to be detrimental to the new and existing building foundations, nor a nuisance to neighbouring properties (Council is not liable for stormwater disposal via soakholes)]

Informative notes:

- [Informative note: The Building Consent, conditions, inspection sheet, and approved plans must be kept on site at all times until completion of the project.]
- [Informative note: Failure to request inspections will risk the non-issuing of a code compliance certificate and the structure may be deemed non-complying.]
- [Informative note: Any inspection time required over and above that allowed may incur a further charge.]
- [Informative note: Under Section 52, a building consent lapses and is of no effect if the building work to which it relates is not commenced within 12 months after the date of issue.]
- [Informative note: Under Section 93, if the owner has not made application within 24 months, the BCA (Building Control Authority), must decide whether or not to issue a CCC (Code Compliance Certificate).]

Compliance Schedule:

A compliance schedule (CS) is not required for this building.

#Attachments

#Copies of the following documents are attached to this building consent:
#Project information memorandum number BCon13/0019'

Signed for and on behalf of the Wanganui District Council

A handwritten signature in black ink, appearing to be 'D M Hall', written over a horizontal line.

D M Hall
Senior Building Control Officer

Date: 28 January, 2013



PROJECT INFORMATION MEMORANDUM NUMBER BCon13/0019

Section 34, Building Act 2004

**Totalspan Steel Buildings
3 Putiki Drive
Putiki
Wanganui 4500**

Issue Date:

Project Location	Assessment Number/Legal Description
6 Gibson St WANGANUI	LOT 14 DEED 111 0.1012 Ha
Category	Description of Work
Minor Building Work (req. 2 insps.)	New 75m2 detached garage
Intended Life	Estimated Value (\$)
50 Years	35000.00

This Project Information Memorandum is confirmation that the proposed work may be undertaken, subject to the provisions of the Building Act 2004 and any requirements of the Building Consent (number BCon13/0019), which has been granted.

This Project Information Memorandum is subject to the following conditions:

- **The boundaries must be clearly defined BEFORE commencing work**
- **All work on the project must comply with the requirements of the NZ Building Code.**

Signed for and on behalf of the Wanganui District Council

A handwritten signature in black ink, appearing to be 'DMH', written over a horizontal line.

D M Hall
Senior Building Control Officer

Date: 28 January, 2013

**FILE NOTE:
ASSESSMENT OF BUILDING CONSENT**

Applicants Name	S. CROWLEY
Activity/Use	GARAGE
Date BC#	13/0019
Address	6 GIBSON ST
Subject	Activities in Residential zones

THIS NOTE RECORDS THE INITIAL ASSESSMENT MADE OF THE CONSENT APPLICATION. IT ASSESSES WHETHER THE APPLICATION INCLUDES ALL OF THE INFORMATION REQUIRED TO PROCESS THE RESOURCE CONSENT FURTHER.

Zone:	Residential	
Road Classification:		Local
Site Area:		1012 m ²
Site Coverage:	40%	
Maximum Height:	10 metres	$170 + 75 = 245^{m} = 25\%$
Structures (Height Recession Plane):	Front Boundary	} COMPLIED WITH HEIGHT RECESSION PLANE
	Side Boundary	
	Side Boundary	
	Rear Boundary	
	(plus exemptions)	
Multi Unit Development (detached):	Height recession plane applies from a notational boundary	
Accessory Building	Garage or accessory building located in front of principal building	
Conjoined multi unit developments and residential care facilities	D= L = 3H/10 i. Site amenity 30m ² ii. Upper story units iii. Storage space	

Noise:		
Light:		
Advertising		
Access:	Minimum 1 access to be provided 3.5 metres maximum for single dwelling Check for landscaping (i.e. street trees), street furniture, and services in road reserve.	EXISTING
Parking:		
Easements		
Building Over Boundary?	If YES, tell Greg and put a post-it on file	
Development Contribution		
Archaeological site?		

Decision and any other matters not contained in table above including further information for building consent purposes:

Further Information Received? Yes/No
Decision:

Is resource consent required? Yes/No
Letter sent out? Yes/No
Date:

COMPLIES WITH
DISCRETION PLAN
APPROVED
16
1/13

ASSESSED AS:
Restricted Discretionary Activity
Breaches:

Non-complying Activity
Breaches:

Building Consent
 Process check sheet – Minor Work – Alterations only (No Peer Review)



Approved = ✓	More information required = X	Not Applicable = N/A If a sub element is not relevant choose N/A
Address:	6 Gibson St	
Building Consent No:	13/0019	Date:
Consent Officers:	RL	
Description:	Total SPAN Garage.	

Approved Document ref	Elements	Sub Elements	Comments	Result	Recheck
Site	Positioning	Siting		✓	
NZBC Clause					
B1	Structure	NZS3604, P/S1 and Engineers calc's		✓	
B2	Durability		versatile P/S1	✓	
C	Means of escape			✓	
E1	Surface Water			✓	
E2	External Moisture			✓	
E3	Internal Moisture				
F2	Glazing	NZS4223/Safety Glass			
F4	Safety from falling				
F7	Warning Systems				
G1	Personal Hygiene				
G4	Ventilation			na	
G7	Natural light				
G12	Water Supplies				
G13	Foul Water				
H1	Energy Efficiency				
Accessibility					
Other					

Important note: This checklist is a guide for use by an authorized WDC Officer only, for establishing compliance with the Building Code as part of the vetting and Building Consent application.

Tick

Application Suspended: I confirm that I have evaluated the proposed project against all items in the checklist	
Application Approved: I confirm that I have evaluated the proposed project against all items in the checklist. Based on the information provided by the applicant, the project complies with the Building Code.	PA ✓

Building Consent
Process check sheet – Producer Statement Checklist



Producer Statement Checklist

Approved = ✓ More information required = X Not Applicable = N/A

Design (PS1) ✓ Design Review Construction (PS3) Const Review (PS4)

Description of work covered by Producer Statement:

total spa garage

Authors Name: Fred Smith Approved Author: ✓

Acceptable solution Alternative solution Verification Method ✓

Building Code Clauses covered: B1 and B2

Producer Statement Specifics	Comments
Author signed and dated the statement	✓
Peer Review Required	n/s
Statement is site specific	✓
Statement is fully completed	✓
Calculations supplied	✓ Design
Inspection requirements	✓ NDC

Producer Statement Approved ✓ Producer Statement Declined

Specific Conditions of Acceptance (Inspection, construction requirements that need to be conditions of consent)

101 Guyton Street
P O Box 637, Wanganui
Phone: (06) 349 0001
Fax: (06) 349 0000
Email: wdc@wanganui.govt.nz
Web: www.wanganui.govt.nz



TAX INVOICE

GST Number 51-668-324

For: Building Consent (Building Act 2004)

**Totalspan Steel Buildings
3 Putiki Drive
Putiki
Wanganui 4500**

Tax Invoice No: 20121030656

Reference No: BCon13/0019

Date: 30/01/2013

Page: 1 of 1

Location	Description		
6 Gibson St WANGANUI	New 75m2 detached garage		
Reference	Details	GST	Amount (Incl GST)
2AAppDed	2A application Deduction	-53.48	-410.00
BCAdFee1	Administration Fee	14.35	110.00
BRANZ	BRANZ Levy (GST Exclusive)		35.00
CertOfTitl	Certificate of Title	1.30	10.00
DBH	DBH Levy	9.18	70.35
InspFee	Inspection Cost Fee	28.91	221.66
ProcessFee	Processing Cost Fee	31.80	243.83
Total		32.06	\$ 280.84

Handwritten: Paid 7/16

Please do not attach cheques with staples or pins
Please Pay on Tax Invoice, as no Statement will be issued

\$ 280.84

Direct credit payments can be made to the ANZ Bank: a/c 01-0790-0157-888-02. Please enter your Reference No. as the reference.

Do you have new contact details? Please let us know:

Name: _____
New Address: _____

Daytime Phone No: _____
Email Address: _____

Payment Due By: 01/03/2013

Important: This portion must be returned with remittance to:
Wanganui District Council
P O Box 637
Wanganui

Invoice For: Building Consent (Building Act 2004)

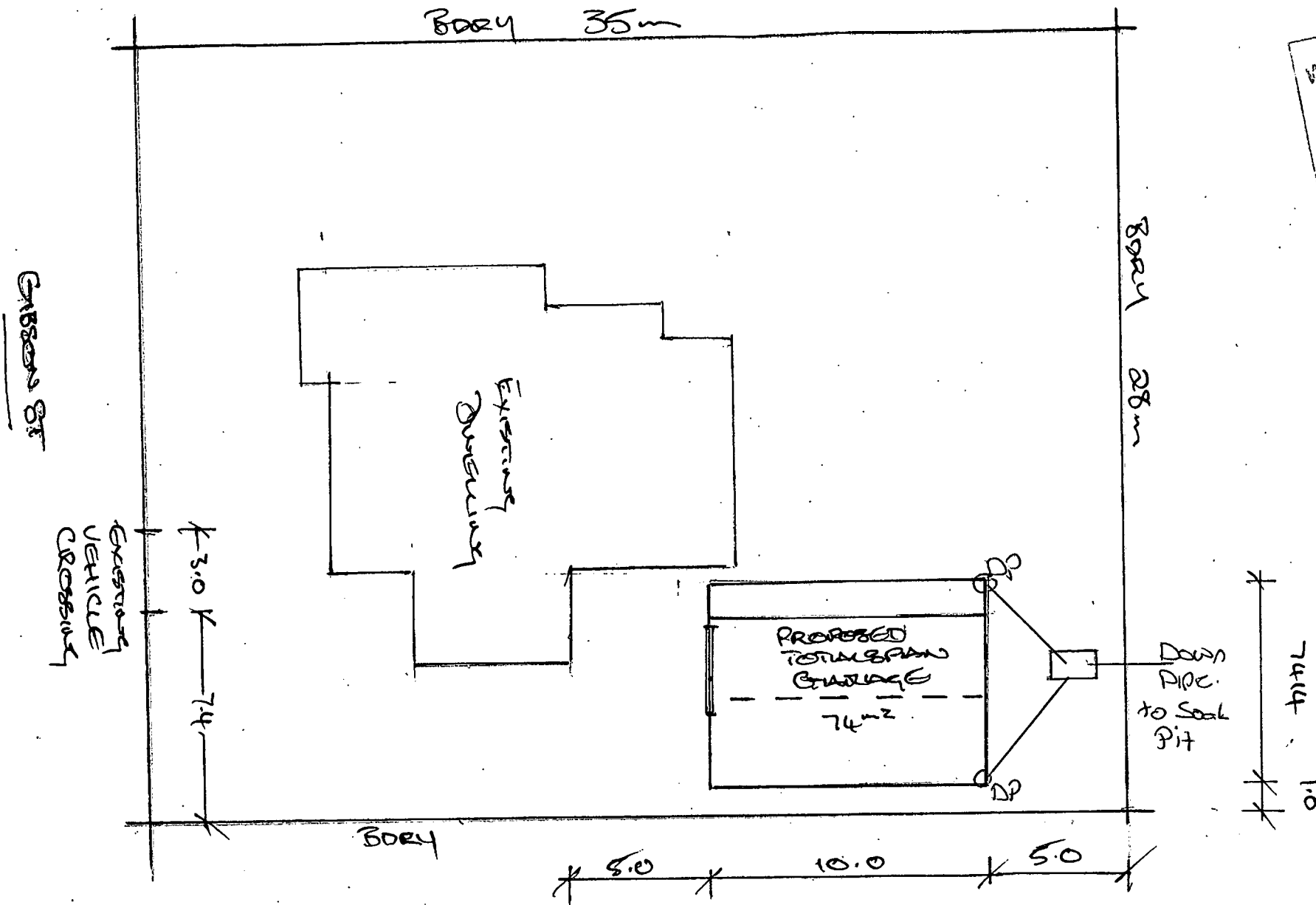
Reference No: BCon13/0019

Tax Invoice No: 20121030656

Office Hours: 8:00am to 5:00pm Monday – Friday

Payment Amount: \$

Wanganui District Council
15 JAN 2013
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APPROVED
13/0010
Consent No.

SITE DETAILS

LOT:
DP:
CT:

NOTES:

Construction to comply with NZS4203:1992, AZ/NZS4600:1996, NZS3101 and the New Zealand Building Code. Refer to Producer Statement TS3000. Copyright: These drawings must not be reproduced without express permission of Versatile Buildings Ltd.



PROJECT TITLE

Proposed Building for:
Crowley
GIBSON ST WANGANUI

DRAWING TITLE

SITE PLAN

SCALE: 1:200
DATE: _____
DRAWN: _____ FILE: _____

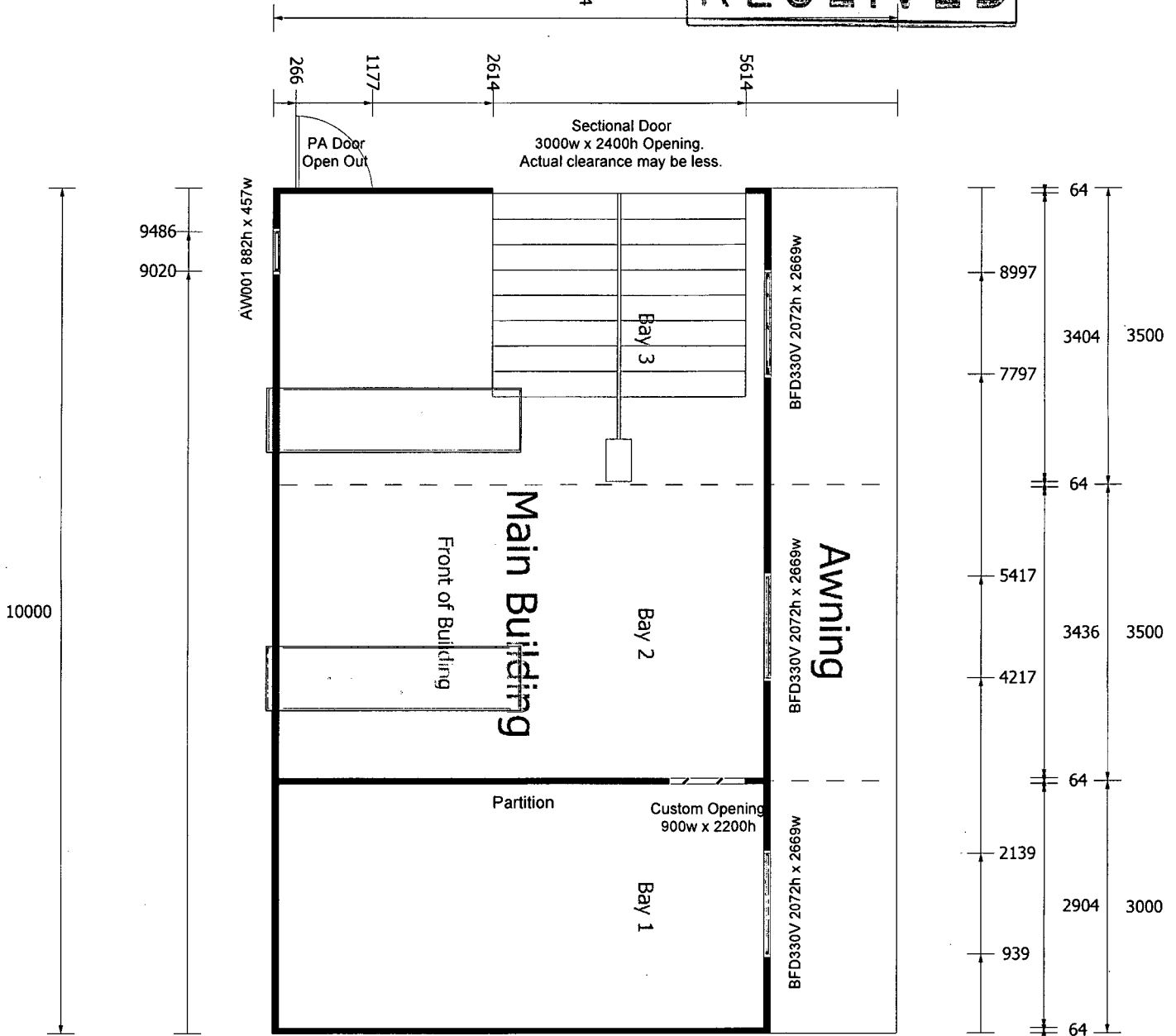
SHEET: 1
OF: _____

Wanganui District Council

15 JAN 2013

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7414



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13 / 00 19

Consent No.

Scale 1:73.8

* All Dimensions in mm. Colours shown are examples only. For exact color samples see your local Totalspan representative.

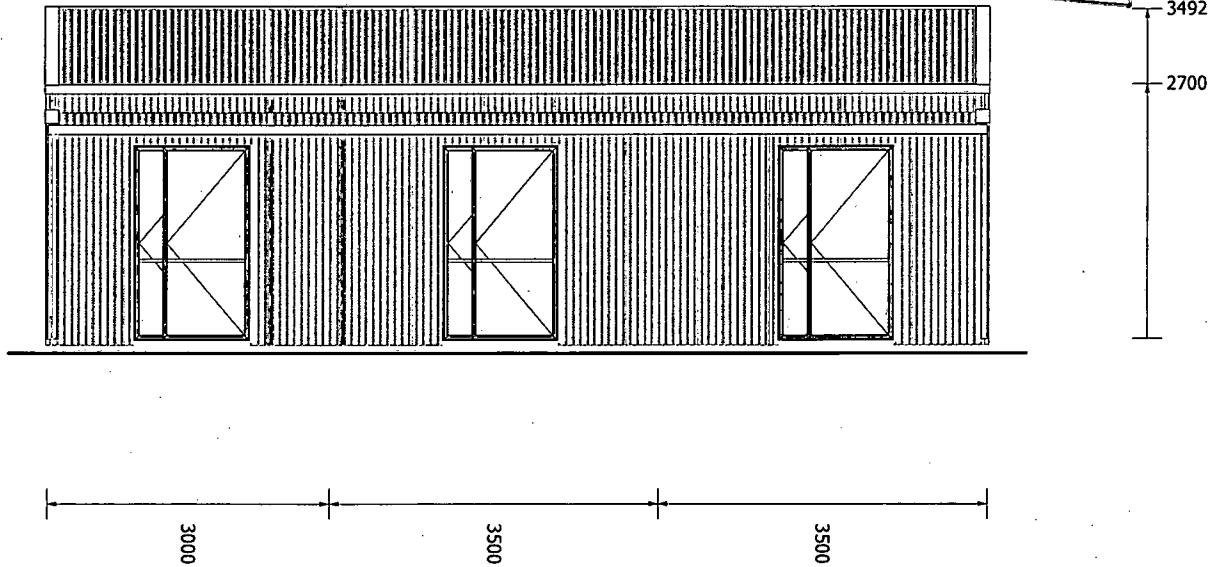
Mike Paul Builders
3 Putiki Drive Wanganui, 4500, New Zealand
Phone: 06 347 9842
Fax: 06 347 9844
Email: wanganui@totalspan.co.nz

For: Mrs Sue Crowley
6 Gibson Street
Wanganui
New Zealand

Portal Building
Project Number: 367-3673031.0
DP Number:
5/12/2012
Page 1 of 3



Wanganui District Council
 15 JAN 2013
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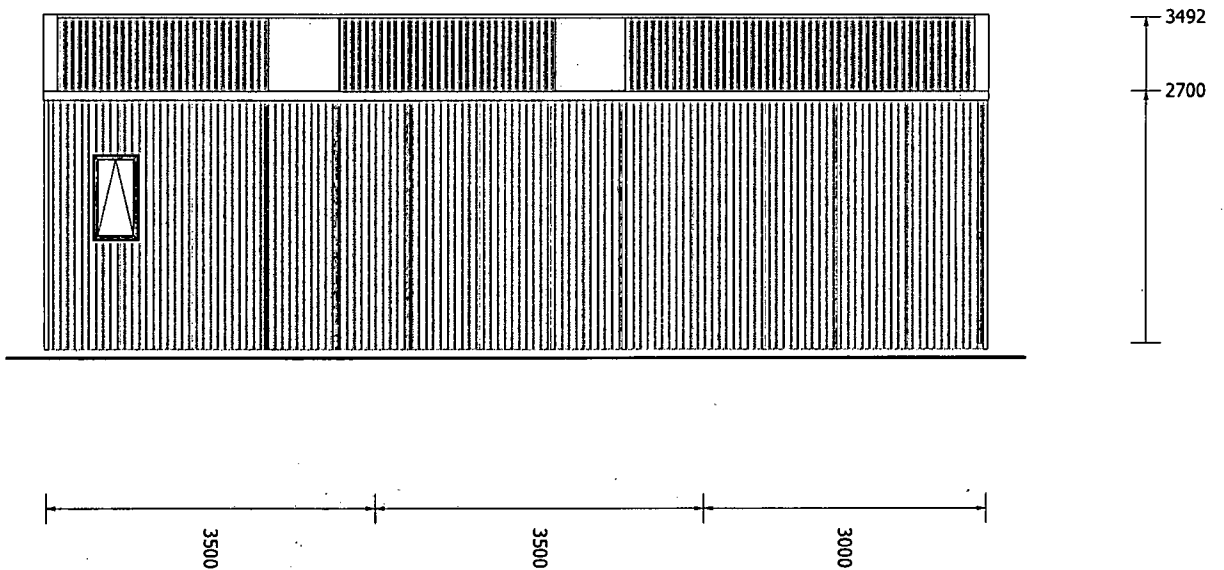
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* All Dimensions in mm. Colours shown are examples only. For exact color samples see your local Totalspan representative.

APPROVED

13 / 00 19

Consent No.



Scale 1:80

* All Dimensions in mm. Colours shown are examples only. For exact color samples see your local Totalspan representative.

Mike Paul Builders
 3 Putiki Drive Wanganui, 4500, New Zealand
 Phone: 06 347 9842
 Fax: 06 347 9844
 Email: wanganui@totalspan.co.nz

For: Mrs Sue Crowley
 6 Gibson Street
 Wanganui
 New Zealand

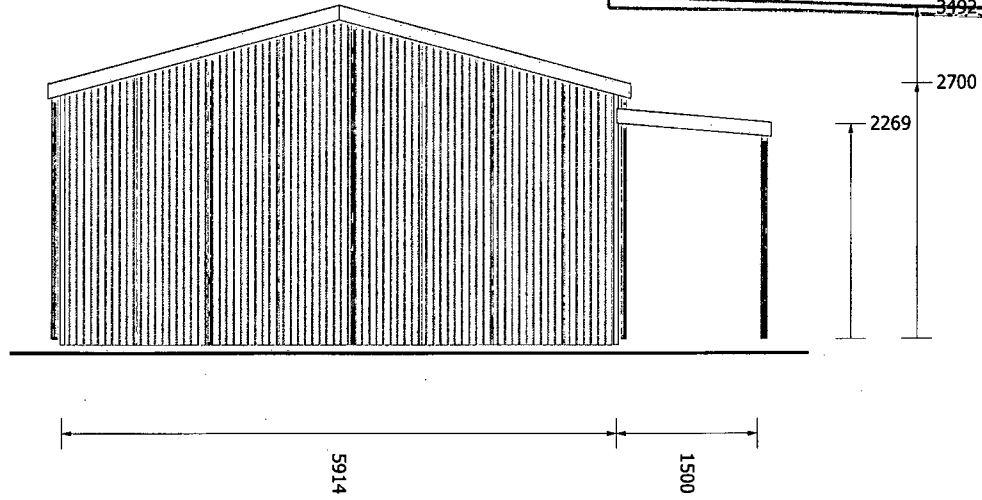
Portal Building
 Project Number: 367-3673031.0
 DP Number:
 5/12/2012
 Page 2 of 3



Wanganui District Council

15 JAN 2013

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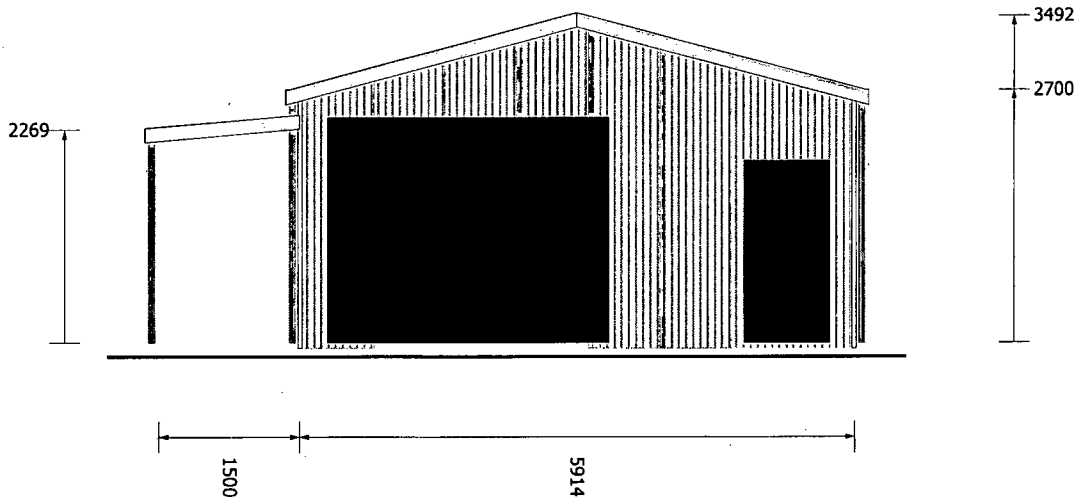
Scale 1:80

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Consent No.



Scale 1:80

* All Dimensions in mm. Colours shown are examples only. For exact color samples see your local Totalspan representative.

Mike Paul Builders
3 Putiki Drive Wanganui, 4500, New Zealand
Phone: 06 347 9842
Fax: 06 347 9844
Email: wanganui@totalspan.co.nz

For: Mrs Sue Crowley
6 Gibson Street

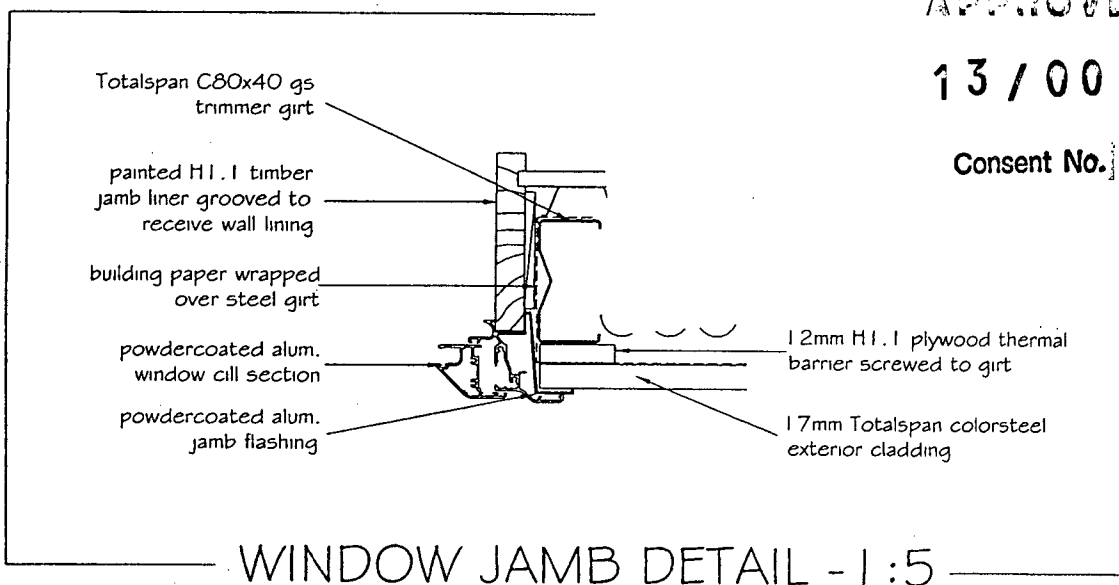
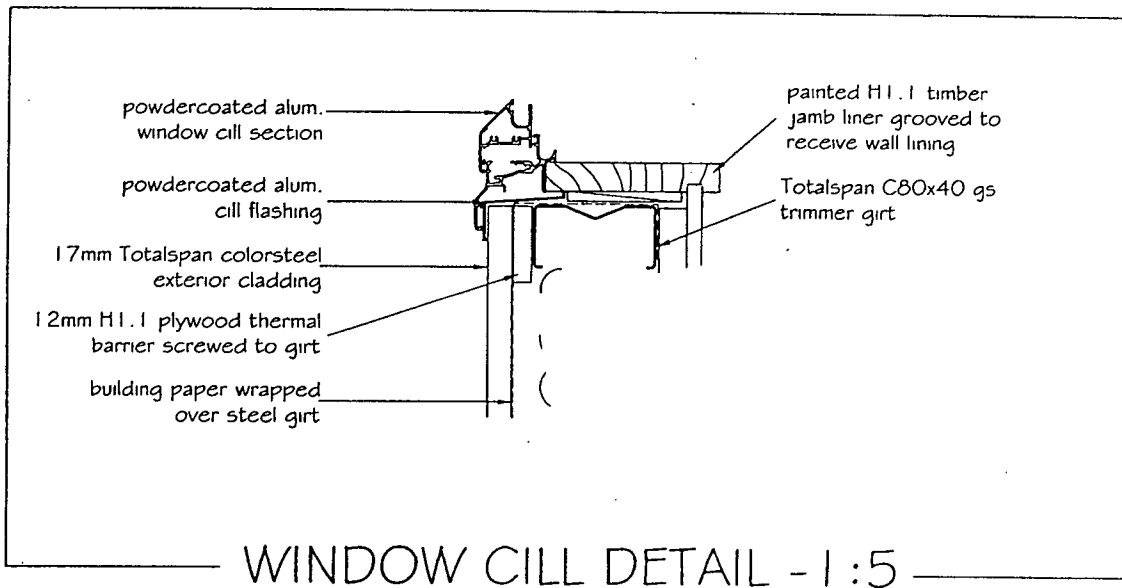
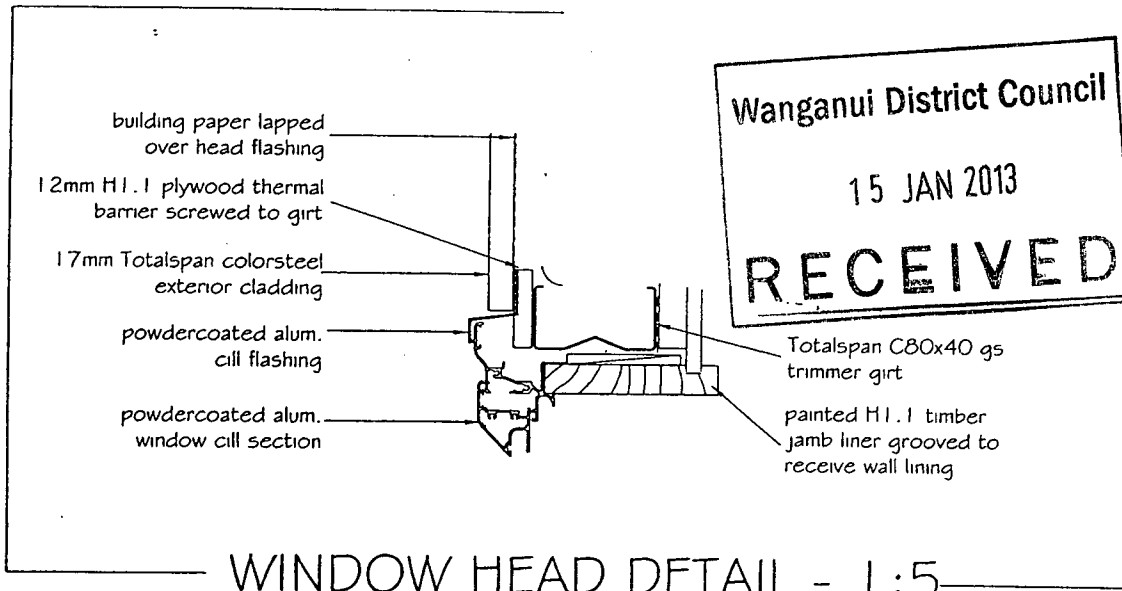
Wanganui
New Zealand

Portal Building
Project Number: 367-36730J1.0
DP Number:

5/12/2012
Page 3 of 3



No Linings





GARAGES • SHEDS • CARPORTS

Engineered By:

F R Smith Consultant
consulting engineer, civil - structural

**Producer Statement
Structural Details**

CLIENT:

Mrs Sue Crowley
6 Gibson Street
Wanganui
New Zealand

BUILDING:

Size & Stud Height: 10.000m long x 5.914m wide, with 2.700m stud height, Bay Size 3.500m
Awning(s): 1 x Awning 10.000m long 1.500m wide
Wind Zone: HIGH (A6-A7)
Area: 79.140m²

Steel Framed Enclosed Buildings

NOTES

Copyright: These drawings must not be reproduced without express permission from Fred R. Smith Consultants and Versatile Buildings Limited

INDEX

- Cover Page (this page)
- Producer Statement: F.R. Smith Consultants - Design
- Producer Statement: Versatile Buildings/BHP - Durability
- Specifications - Building Components
- Site Plan
- Building Elevations
- Foundation Details
- Section - End Wall
- Building Details
- Roof Plans
- Flashing Details
- Bracing Reference
- Awning

Wanganui District Council
15 JAN 2013
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13 / 0010

Consent No.

I certify that buildings erected in accordance with these drawings will conform to the requirements of the New Zealand and Australian Building Codes.

F R Smith BE (civil) MIPENZ, MACENZ, MEIAust, no. 2410880, Cp.Eng. RPEQ (6225)



Building Code Clause(s) B1.....

PRODUCER STATEMENT – PS1 – DESIGN

(Guidance notes on the use of this form are printed on the reverse side*)

ISSUED BY: Frederick R. Smith Consulting (Design Firm)

TO: Mrs Sue Crowley / Totalspan Buildings (Owner/Developer)

TO BE SUPPLIED TO: (Building Consent Authority)

IN RESPECT OF: 12m Span Portal Building and under (Description of Building Work)

AT: 6 Gibson Street, Wanganui, New Zealand / High (A6-A7) - T.C.2 Rural (Address)

DP SO

We have been engaged by the owner/developer referred to above to provide structural design services in respect of the requirements of Clause(s) B1 and B2 of the Building Code for

All or Part only (as specified in the attachment to this statement), of the proposed building work.

The design carried out by us has been prepared in accordance with:

Compliance Documents issued by Department of Building & Housing B1/M1, B1/M4, AS/NZS 1170:2002, NZS 3101, AS/NZS 4600 or

Alternative solution as per the attached schedule

The proposed building work covered by this producer statement is described on the drawings titled Portal Building and numbered 1-13

together with the specification, and other documents set out in the schedule attached to this statement.

On behalf of the Design Firm, and subject to:

- (i) Site verification of the following design assumptions Soil bearing strength to be not less than 75 kPa (Ultimate capacity of 225 kPa to NZS 3604:2011)
(ii) All proprietary products meeting their performance specification requirements;

I believe on reasonable grounds the building, if constructed in accordance with the drawings, specifications, and other documents provided or listed in the attached schedule, will comply with the relevant provisions of the Building Code.

I, Frederick R. Smith am: CPEng 34469 # Reg Arch #

I am a Member of: IPENZ NZIA and hold the following qualifications: BE (Civil)

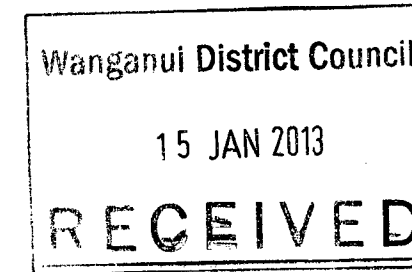
The Design Firm issuing this statement holds a current policy of Professional Indemnity Insurance no less than \$200,000*. The Design Firm is a member of ACENZ YES NO

SIGNED BY Frederick Roland Smith ON BEHALF OF Frederick Smith Consulting Engineers (Design Firm)

Date 01-07-12 (signature)

Note: This statement shall only be relied upon by the Building Consent Authority named above. Liability under this statement accrues to the Design Firm only. The total maximum amount of damages payable arising from this statement and all other statements provided to the Building Consent Authority in relation to this building work, whether in contract, tort or otherwise (including negligence), is limited to the sum of \$200,000*.

This form is to accompany Form 2 of the Building (Forms) Regulations 2004 for the application of a Building Consent.



APPROVED 13/0010 Consent No.

MANUFACTURERS STATEMENT - DURABILITY

Cladding

To satisfy the requirements of Clause B2: "Durability" of the NZBC and to ensure the cladding material meets a 15-year durability life the following provisions must apply:

Cladding Range of Product and Use

- Coating Type: Zinc/Aluminium & Painted (Coloured Steel).
- Steel thickness range: 0.35mm - 0.55mm BMT
- Steel grade range: G300 - G550
- Application: Standard Totalspan Roof and Wall Cladding
- Profile: Totalspan 7 Rib, Totalspan 6 Rib or Corrugate

Requirements, Limitations and Exclusions

- Fixing and installation of the cladding must be done exactly in accordance with Totalspan Buildings instructions and specifications.
- Normal and regular maintenance must be carried out on the exterior surface of the cladding and the following guide must be followed to ensure the durability requirements are met.

Regular Maintenance

- **Normal Maintenance to be completed in accordance with Durability - Acceptable Solution B2/AS 2.1.3 Exposure Zones B,C,D NZS3604:2011 (*Reference 4.2.3. Exposure Zone Map, Figure 4.2), in addition to exposure zones, microclimatic considerations NZS3604:2011 reference 4.2.4.**
Rain-washing only required on *exposed* (open to airborne salts and rain wetting) material. *Sheltered* (open to airborne salts, but not rain washed) or protected areas such as under spouting, top-cladding sheets and tops of doors require washing every 3 months except for exposure zone D which requires washing down every month and whenever corrosive salts are present.

Extended Maintenance, Painting or Repainting

- **Extended Durability**
Once the metallic coating or the paint system has weathered away, signs of red rust for bare material or signs of the metallic coating for painted material, painting of the entire surface is required to extend the life of the cladding product. Paint manufacturers recommendations are to be followed for surface preparation and paint type to be used.
- **Evident Corrosion**
Areas that show signs of white or red rust/corrosion (typically in unwashed areas) require cleaning back with a stiff brush and cleaner to remove all dust, surface contaminants and corrosion products and present a sound substrate for painting. Priming of the surface and application of two coats of paint as per the Paint Manufacturer's recommendations is then required.
Particular attention needs to be paid to laps (side, end, flashing etc) where earlier corrosion may start due to moisture and dirt entrapment.
If evident corrosion is not treated quickly rapid deterioration of the sheet may occur which could result in perforation. At this stage replacement of the affected sheet is the best option.

Steel Framing

To satisfy the requirements of Clause B2: "Durability" of the NZBC and to ensure the structural framing material meets a 50-year durability life the following provisions must apply:

Steel Framing Range of Product and Use

- Coating Type: Galvanised
- Steel thickness range: 0.75mm - 2.4mm BMT
- Steel grade range: G450 - G550
- Application: Standard Totalspan Purlins, Girts, Portal Frames, Door Jambs, Wall Uprights, Bridging
- Profile: C Sections - 80x40, 150x64, 220x64, 250x85
Z Sections - 100x53, 150x65
Tophat Sections - 100x163, 120x170, 150x183

Regular Maintenance

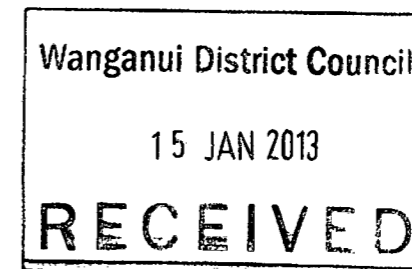
- **Normal Maintenance to be completed in accordance with Durability - Acceptable Solution B2/AS 2.1.3 Exposure Zones B,C,D NZS3604:2011 (*Reference 4.2.3. Exposure Zone Map, Figure 4.2), in addition to exposure zones, microclimatic considerations NZS3604:2011 reference 4.2.4.**

Rain-washing only required on *exposed* (open to airborne salts and rain wetting) material. *Sheltered* (open to airborne salts, but not rain washed) or protected areas such as under spouting, top-cladding sheets and tops of doors require washing every 3 months except for exposure zone D which requires washing down every month and whenever corrosive salts are present.

References

1. NZBC - Compliance Document - Clause B2 - Durability
2. NZS 3604, Clause 4, Durability*

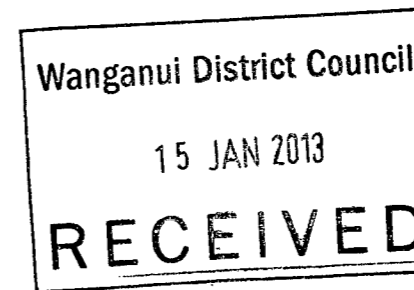
* - Totalspan Buildings acknowledges and understands that NZS 3604 is a Timber Framed Building standard. Totalspan Buildings has used NZS 3604 as a reference only to identify Exposure Zones and microclimatic considerations.



APPROVED
13 / 00 19
Consent No.

Building Tables

Zoned:	T.C.2 Rural	Wind Region:	Region A6-A7 (High)
Wind Zone:	High (A6-A7)		
Bay Size:	3.5m		
Live Roof Load:	0.25 kpa		
Roof Snow Load:	0.86kpa		
Inner Purlins:	B80x40(1)	Row Numbers:	8
Ridge & Gutter Purlins:	C80x40		
Girts:	B80x40(2)	End Wall:	3
End Wall Post - On Edge:	B80x40		
Roof Frames - Portals:	C15010		



GENERAL

- 1 - All work shall conform to the New Zealand Building Code.
- 2 - Check diagonals to ensure building is square.

LOADINGS

- 1 - Buildings are designed to AS/NZS 1170 for NZS 3604 HIGH and VERY HIGH. Design Wind Speeds to limit state levels of 45 and 50m/s, T.C.2 roof live load of 0.25kPa, and basic Roof Snow loads of 0.86kPa. Heavier snow loads will be a specific design as will buildings used for habitable purposes.
- 2 - The roofing is not designed for point loads of 1 Kn.

FOUNDATIONS

- 1 - Support ground to have a safe bearing capacity of at least 75 kPa. In weaker ground building loads to be taken to subsoil which has a bearing capacity of at least 75 kPa.

CONCRETE

- 1 - Remove vegetation, 60mm of top soil and loose material from the site of the building, backfill with compacted hardfill, if required, and lay a blinding of sand to the underside of the concrete slab. Ensure the surface of the slab will be at least 100mm above the highest level of cleared ground around the slab.
- 2 - Concrete shall have a maximum aggregate size of 20mm, slump of 80mm maximum and a 20 MPa compression strength at 28 days.
- 3 - The concrete floor slab shall be 100mm thick with a 200 x 200 mm edge thickening and a D16 rod continuous around the perimeter of the slab with 600 laps and 75 bottom cover.
- 4 - Concrete slab to be reinforced with 668 mesh placed 30mm maximum below the slab surface with 225mm laps.
- 5 - Provide a 0.25mm black polythene dampproof and slip layer under the slab taped with 100mm laps (optional but recommended).
- 6 - Fix roof frames to concrete with M10 zinc screwbolts screwed into holes drilled in the slab.

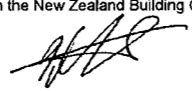
STEELWORK

- 1 - All structural framing members shall be G550-1.0mm BMT, G500-1.2mm BMT, G450-1.5mm, 1.9mm BMT grade steel galvanised to Z200 (G550 for 80 x 40 boxed and single channels). Cleats to be G450, Z200.
- 2 - Purlins and girts shall be 80 x 40 x 0.75 B.M.T. lipped, crimped channel located at centres shown on the drawings.
- 3 - Boxed members to be flange fixed with #10 Tek screws at 600 centres.
- 4 - Screws to be #10 x 16mm long Tek screws Class 3 zinc plated, fixed at a minimum edge distance of 6mm and to a 12mm minimum pitch.
- 5 - Girts to be connected with 2 #10 Tek screws each side of girt.
- 6 - Steelwork shall conform to:
 - NZ/AS 4600 Cold Formed Steel Structures Code
 - NZ/AS 1397:1993
 - AS 1562:1962 Design and Installation of Metal Roofing
 - AS 1111/1112 Hex Commercial Bolts and Screws
 - AS 3566 Self Drilling Screws for Building

CLADDING

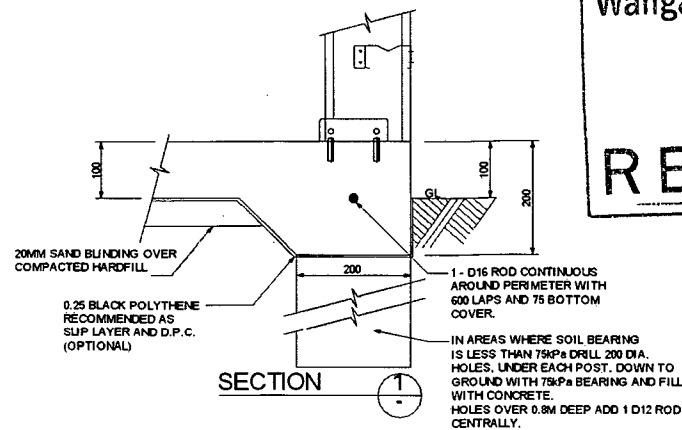
- 1 - Roof and wall sheeting shall be 0.35 B.M.T., G550 grade steel zincalumed to AZ150 and rolled to profile as detailed.
- 2 - Roof sheets shall be fixed to ridge and eaves purlins with a Tek screw at every rib, as shown, tek screw to alternative ribs at intermediate fixings, all complete with neoprene washers tightened firmly but not to form depressions in the roof cladding. Ensure all roof fixings are waterproof.
- 3 - Wall sheeting shall be fixed to the eave purlins and to the rafters of the end wall frames with a Tek screw at third points of each pan and to third points of alternate pans at other girts and fixings.
- 4 - Ridges, gables and all penetrations to be flashed with similar sheet steel.
- 5 - Guttering to be fixed with Tek screws and joint sealed with silicone. Fit downpipes to guttering to discharge to an approved stormwater drainage system, provided by the Owner.
- 6 - Frame for personnel door and windows with 80 x 40 x 0.75 unlipped channels. Flange connect members with 2 screws to each flange. Fix jambs to floor with 40x40x1.2 angle cleat having 1/M10 screwbolt to concrete and 2 Tek screws to jamb.

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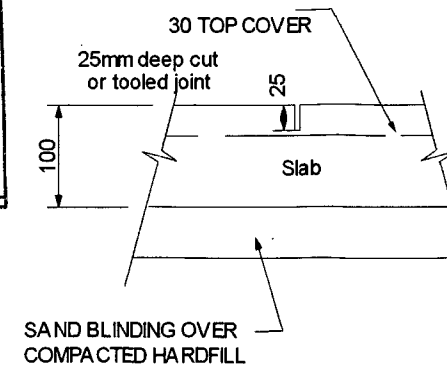
<p>FREDERICK R SMITH chartered consulting engineer 363 Wairakei Rd, Burnside Christchurch 8053</p>	<p>I certify that buildings erected in accordance with these drawings will comply with the New Zealand Building Code.</p>  <p>F R Smith BE (civil) MIPENZ MACENZ MIEAust CPEng RPEQ (6225)</p>	<p>TOTALSPAN. A Division of Spanbild New Zealand Ltd 112 WATERLOO ROAD, HORNBY P.O. BOX 11-013, CHRISTCHURCH PH: (09) 296 9161 FAX: (09) 299 7015</p>	<p>Drawing Title: PORTAL BUILDING SPECIFICATIONS</p>	<p>For: Mrs Sue Crowley 6 Gibson Street Wanganui New Zealand</p>
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SCREWBOLT NOTE

- 1 EMBEDMENT DEPTH OF SCREW BOLTS= 70mm
- 2 SCREWBOLTS SHALL BE M10/75 ZINC PLATED IN 10DIA. HOLES 80 DEEP.



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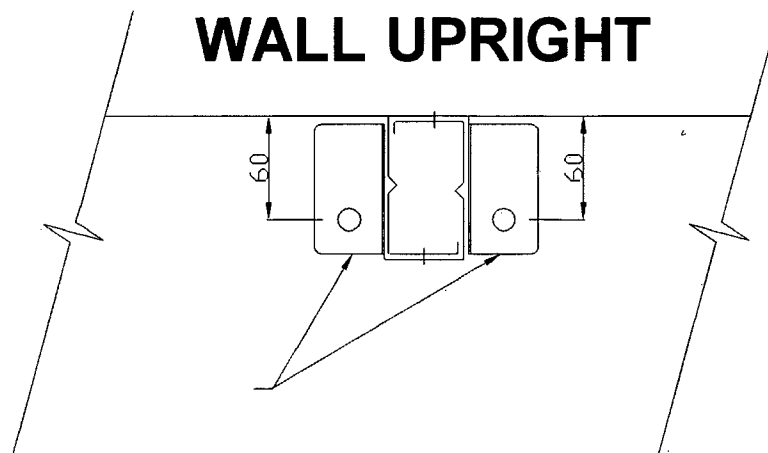
CONTROL JOINT DETAIL (TYP.)

CONCRETE SLAB NOTE:

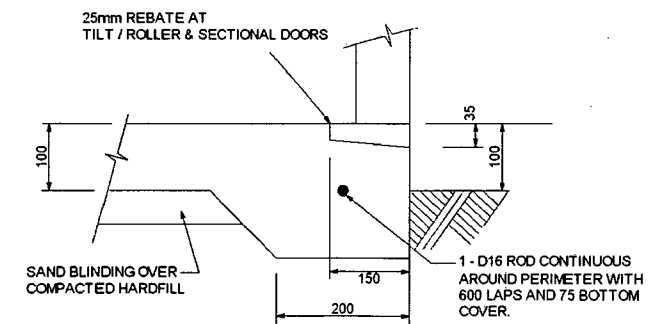
Concrete slabs to have construction joints keyed during placing or cut in panels not exceeding the following dimensions:

- | | |
|--------------------|---|
| Unreinforced | 3m x 3.9m |
| Fibre reinforced | 4m x 6m (Fibre dosage 0.7kg/cu.m) |
| Mesh reinforcement | 6m x 12m (668 mesh, 225 laps, 30mm top cover) |
- For slabs 15m to 30m long, form keyed joints at mid length of floors. For slabs over 30m long keyed joints to be at a maximum of 15m centres.

BOXED C80x40 END WALL UPRIGHT

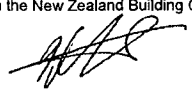


40X40X1 ANGLE 75 LONG WITH
4#10 TEKS OR 2/M10 BOLTS TO POST
& 1/M10 SCREWBOLTS TO CONCRETE.

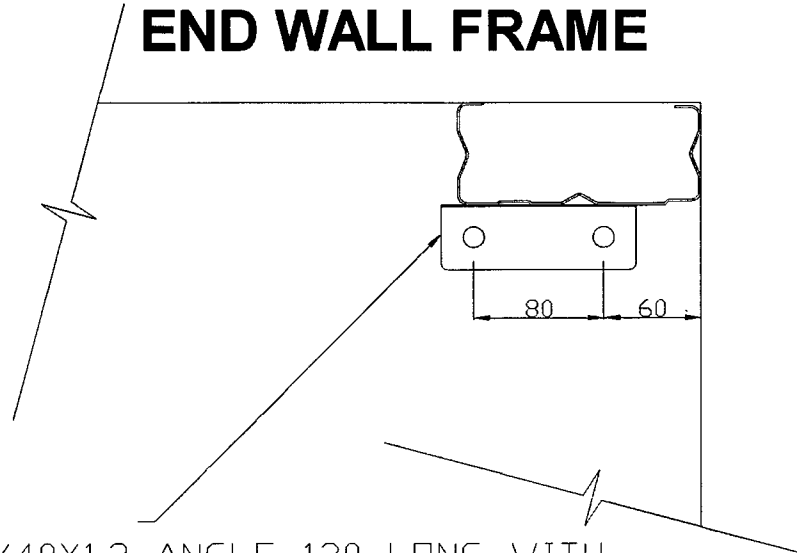


P.A. DOOR & GARAGE ENTRY
SLAB EDGE DETAIL (TYP.)

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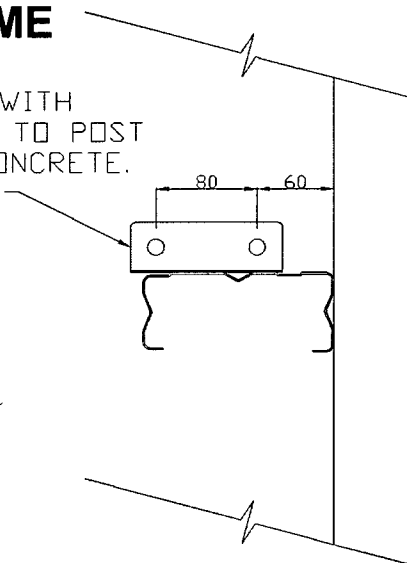
**C150
END WALL FRAME**



40X40X1.2 ANGLE 120 LONG WITH
8#10 TEKS OR 2/M10 BOLTS TO POST
& 2/M10 SCREWBOLTS TO CONCRETE.

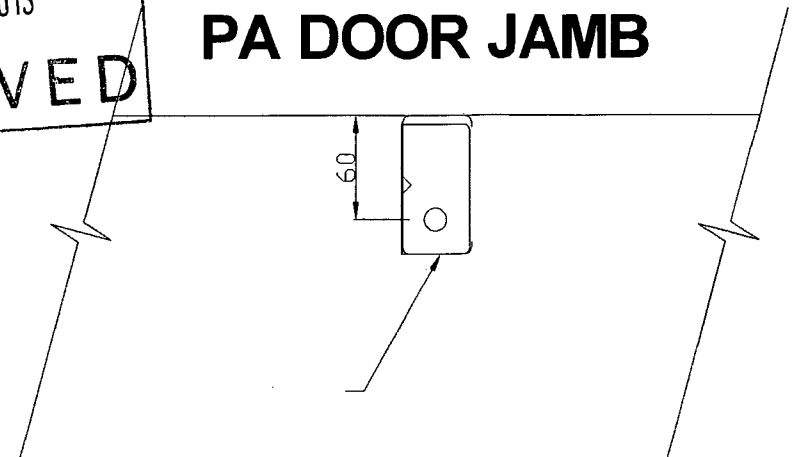
**SINGLE C150
INTERIOR FRAME**

40X40X1.2 ANGLE 120 LONG WITH
8#10 TEKS OR 2/M10 BOLTS TO POST
& 2/M10 SCREWBOLTS TO CONCRETE.




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**SINGLE C80x40
PA DOOR JAMB**



40X40X1 ANGLE 75 LONG WITH
4#10 TEKS OR 1/M10 BOLTS TO POST
& 1/M10 SCREWBOLTS TO CONCRETE.

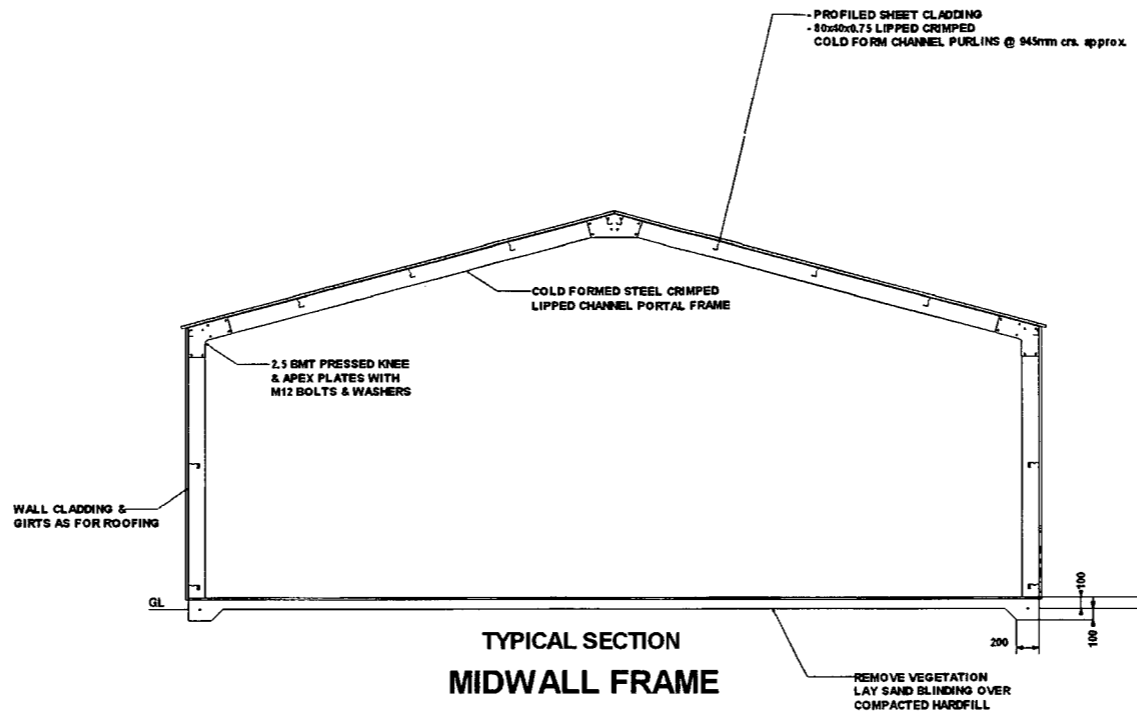
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<p>FREDERICK R SMITH chartered consulting engineer 363 Wairakei Rd, Burnside Christchurch 8053</p>	<p>I certify that buildings erected in accordance with these drawings will comply with the New Zealand Building Code.</p>  <p>F R Smith BE (civil) MIPENZ MACENZ MIEAust CPEng RPEQ (6225)</p>	<p>TOTALSPAN. A Division of Spanbild New Zealand Ltd 112 WATERLOO ROAD, HORNBY P.O. BOX 11-013, CHRISTCHURCH PH: (09) 296 9161 FAX: (09) 299 7015</p>	<p>Drawing Title: PORTAL BUILDING FOUNDATION DETAILS</p>	<p>For: Mrs Sue Crowley 6 Gibson Street Wanganui New Zealand</p> <p style="text-align: right;">Page 6 of 13</p>
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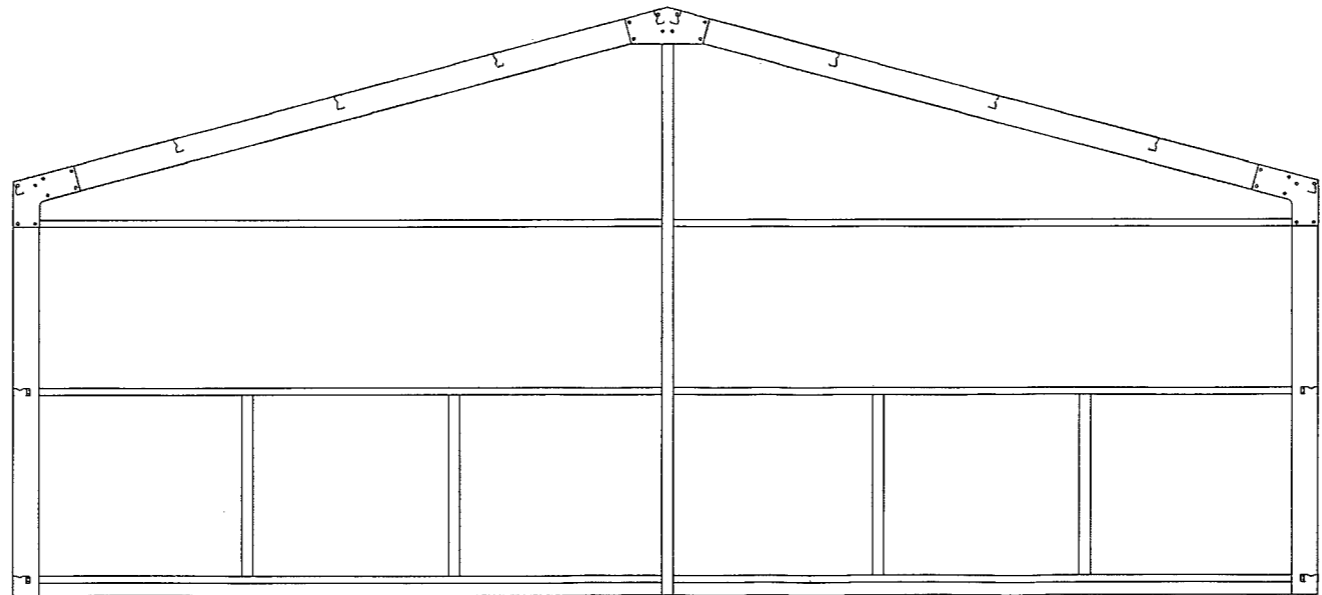
Apex Height (mm): 2700
 Wall Height (mm): 2700

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Girts Centre Lines mm (above floor level):					
Girts Rows:	1	2	3	4	5
	95	1200	2500	-	-

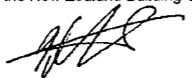


TYPICAL SECTION
 MIDWALL FRAME

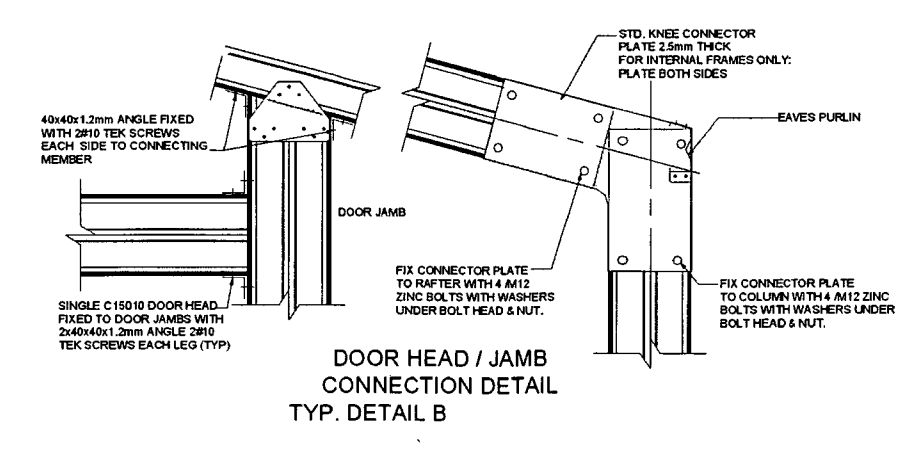
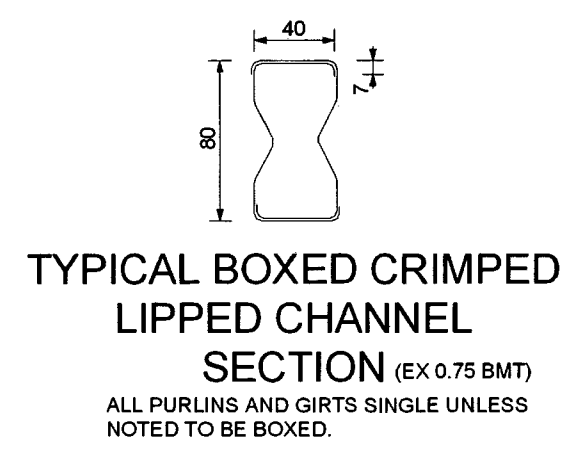
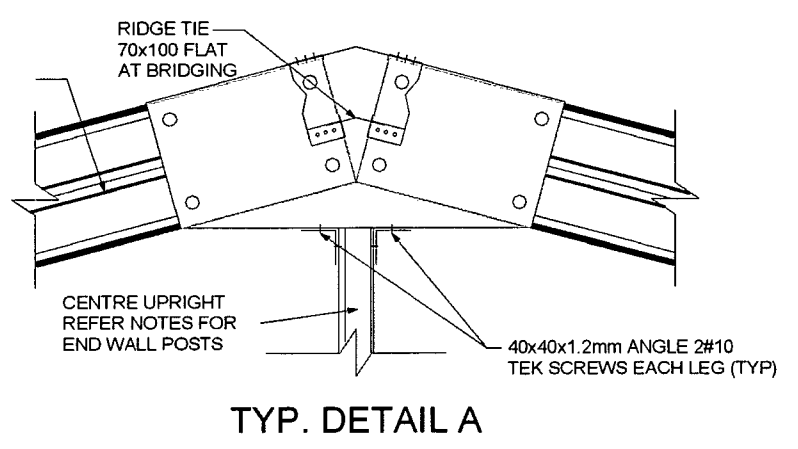
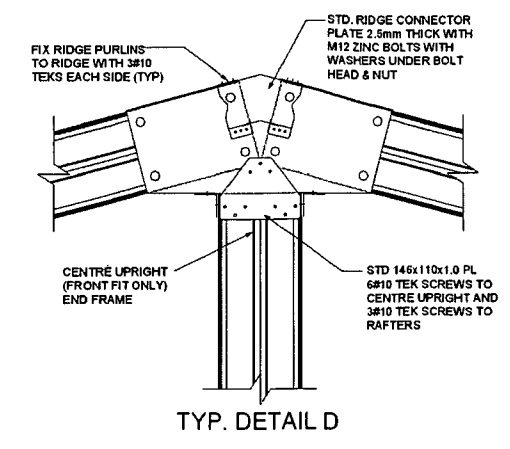
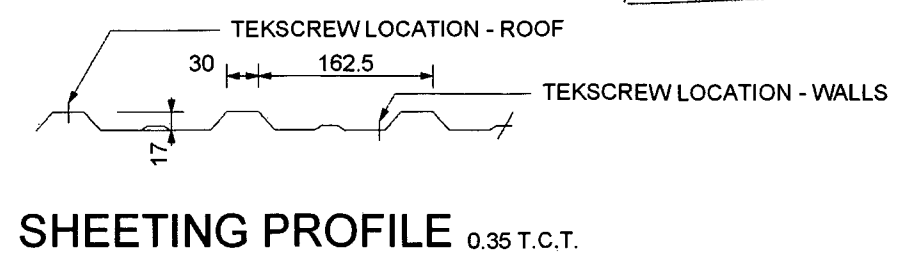
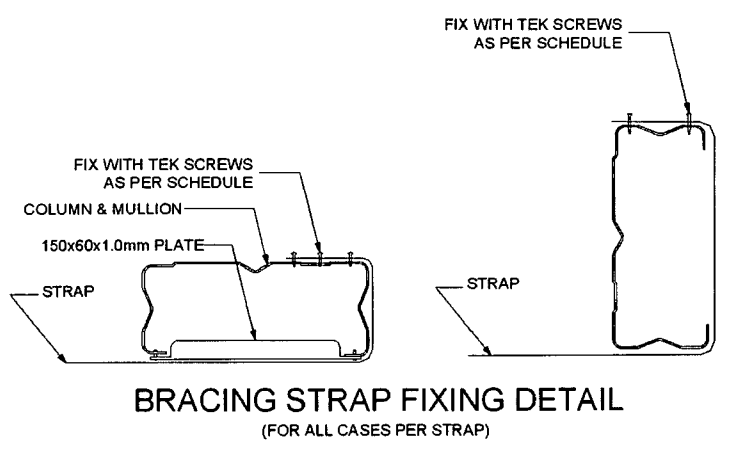


END WALL FRAME

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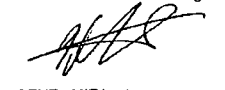
<p>FREDERICK R SMITH chartered consulting engineer 363 Wairakei Rd, Burnside Christchurch 8053</p>	<p>I certify that buildings erected in accordance with these drawings will comply with the New Zealand Building Code.</p>  <p>F R Smith BE (civil) MIPENZ MACENZ MIEAust CPEng RPEQ (6225)</p>	<p>TOTALSPAN. A Division of Spanbild New Zealand Ltd 112 WATERLOO ROAD, HORNBY P.O. BOX 11-013, CHRISTCHURCH PH: (09) 296 9161 FAX: (09) 299 7015</p>	<p>Drawing Title: PORTAL BUILDING SECTION - END WALL</p>	<p>For: Mrs Sue Crowley 6 Gibson Street Wanganui New Zealand</p>
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FREDERICK R SMITH
 chartered consulting engineer
 363 Wairakei Rd, Burnside
 Christchurch, 8053

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 BE (civil) MIPENZ MACENZ MIEAust
 CPEng RPEQ (6225)

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 PH: (09) 296 9161 FAX: (09) 299 7015

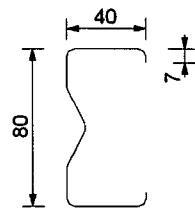
Drawing Title:
**PORTAL BUILDING
 BUILDING DETAILS**

For: Mrs Sue Crowley
 6 Gibson Street
 Wanganui
 New Zealand
 Page 8 of 13

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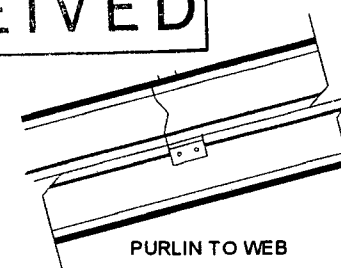
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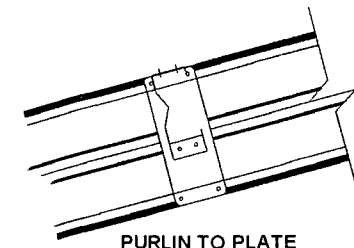


TYPICAL CRIMPED LIPPED CHANNEL SECTION (EX 0.75 BMT)

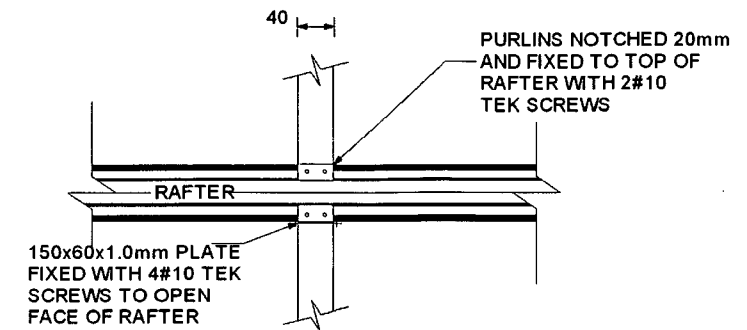
ALL PURLINS AND GIRTS SINGLE UNLESS NOTED TO BE BOXED.



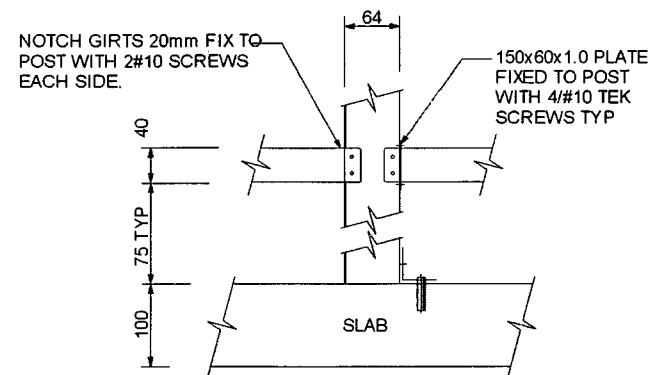
PURLIN TO WEB



PURLIN TO PLATE




TYPICAL PURLIN TO RAFTER DETAILS



TYP. GIRT TO POST DETAIL

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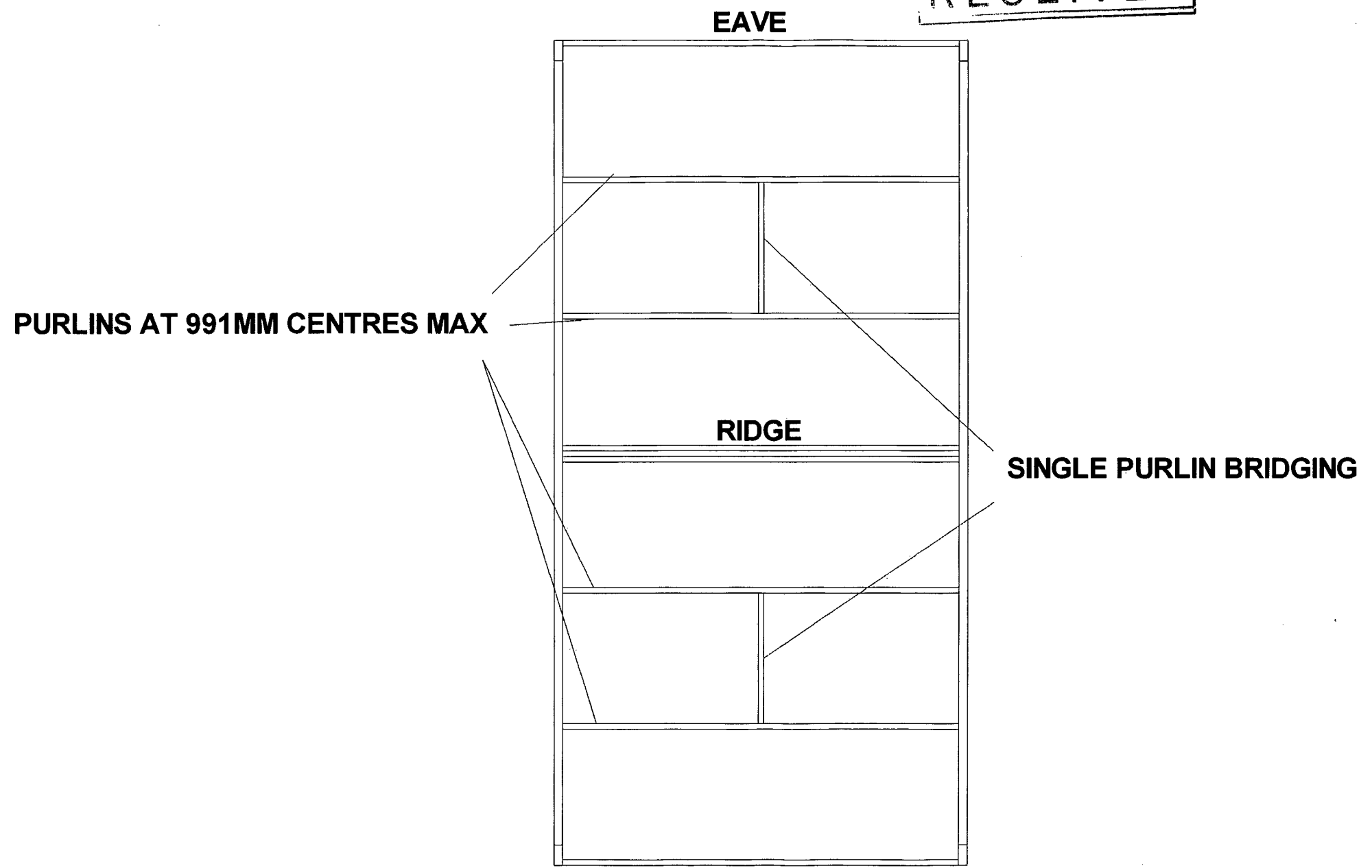
Consent No.

<p>FREDERICK R SMITH chartered consulting engineer 363 Wairakei Rd, Burnside Christchurch, 8053</p>	<p>I certify that buildings erected in accordance with these drawings will comply with the New Zealand Building Code.</p>  <p>F R Smith BE (civil) MIPENZ MACENZ MIEAust CPEng RPEQ (6225)</p>	<p>TOTALSPAN. A Division of Spanbild New Zealand Ltd 112 WATERLOO ROAD, HORNBY P.O. BOX 11-013, CHRISTCHURCH PH: (09) 296 9161 FAX: (09) 299 7015</p>	<p>Drawing Title: PORTAL BUILDING BUILDING DETAILS</p>	<p>For: Mrs Sue Crowley 6 Gibson Street Wanganui New Zealand</p>
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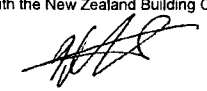
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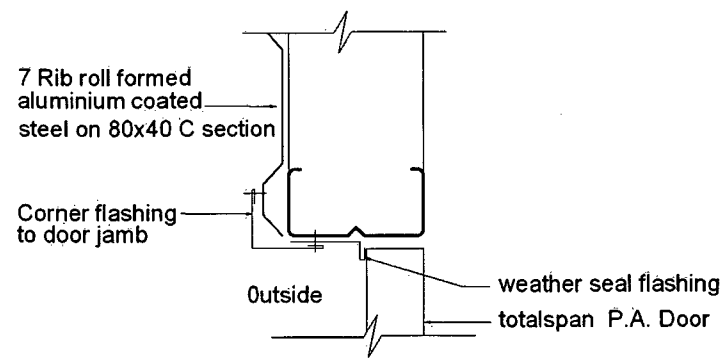
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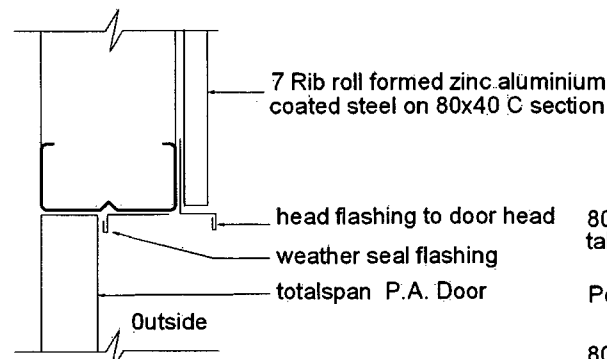
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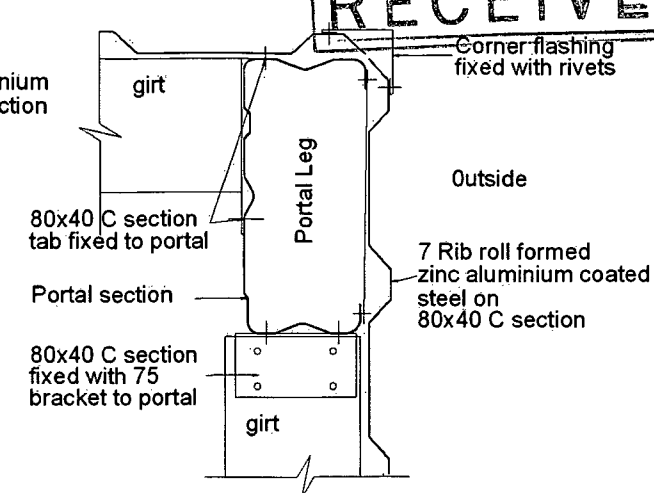
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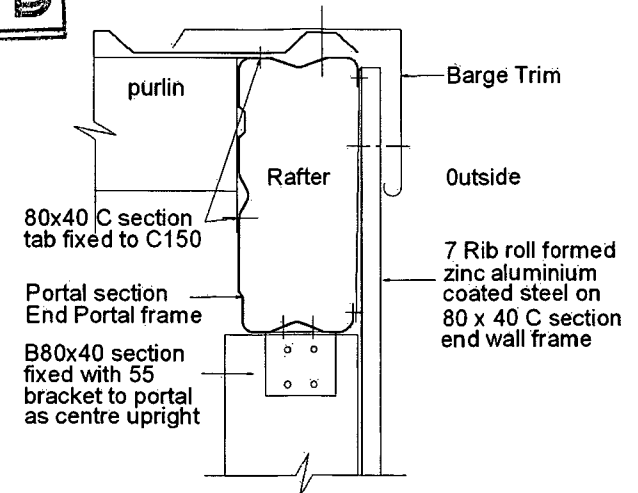
P.A. Door Jamb Detail



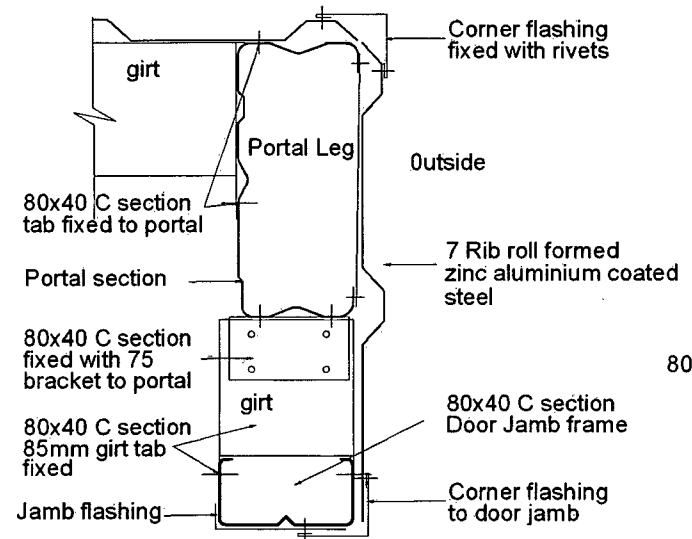
P.A. Door head Detail



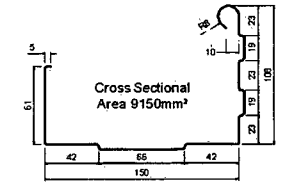
External corner



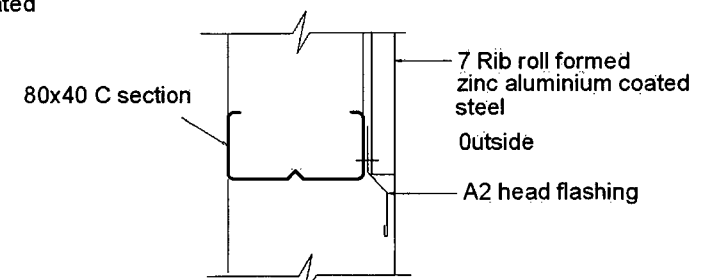
Barge Detail



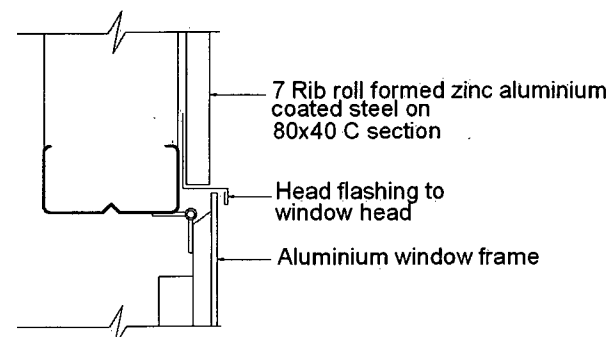
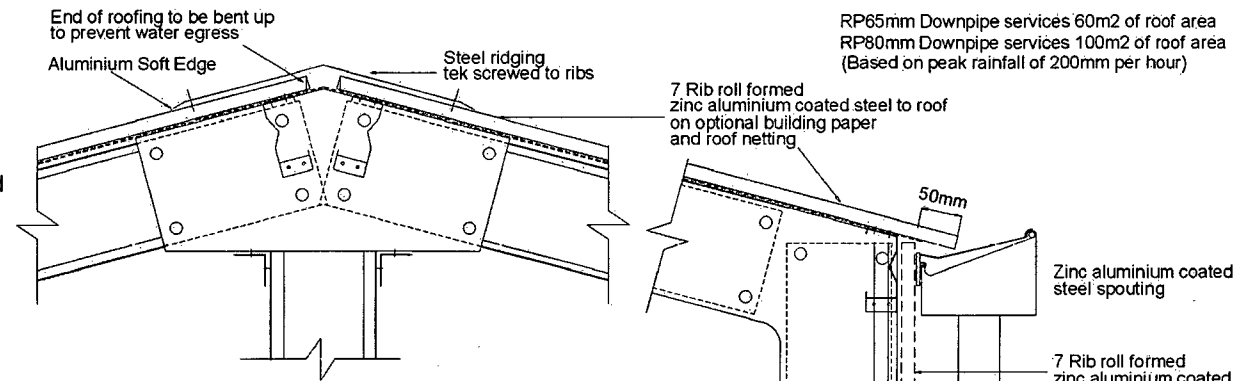
Roller Door Jamb Detail



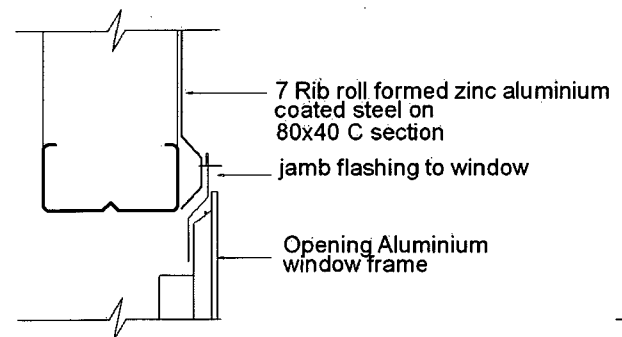
Gutter Profile



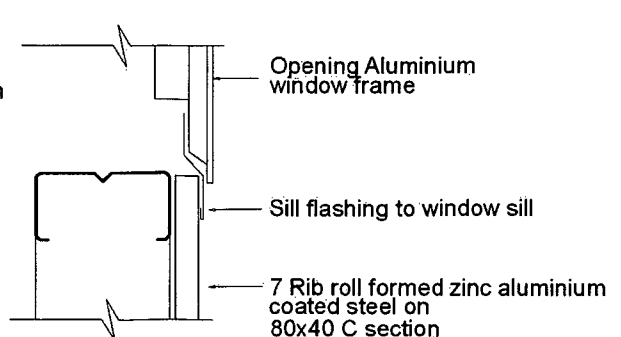
Roller Door head Detail



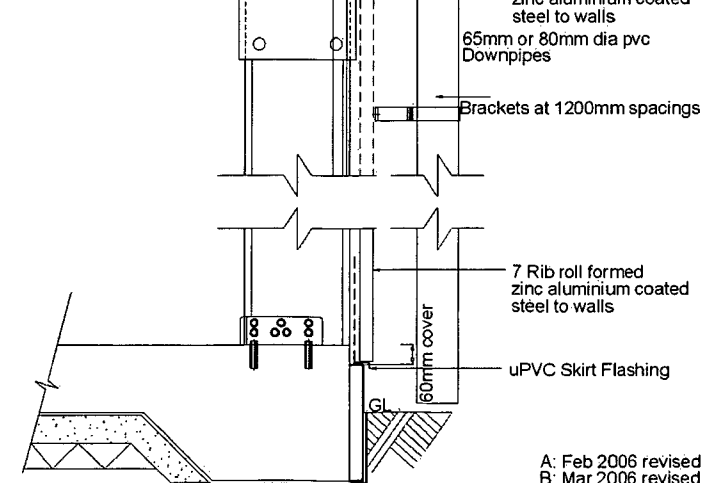
Window head Detail



Window Jamb Detail



Window Sill Detail



A: Feb 2006 revised
B: Mar 2006 revised
C: Apr 2006 revised
D: Aug 2006 revised

FREDERICK R SMITH
chartered consulting engineer
363 Wairakei Rd, Burnside
Christchurch 8053

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BE (civil) MIPENZ MACENZ MIEAust
CPEng RPEQ (6225)

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Drawing Title:
**PORTAL BUILDING
FLASHING DETAILS**

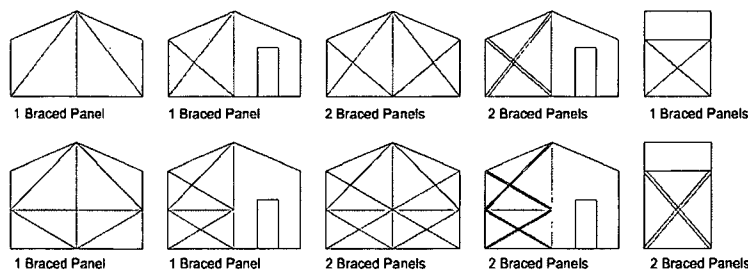
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NOTE:

1. Bracing shall be 27X0.6mm G550 steel strap fixed with 4 #10 tek screws each end.

2. BRACING LOCATION GABLE WALLS:

Building 2 to 4 Bays long, excluding garaport bays shall have 1 braced panel in either gable wall.
 Building 5 bays and longer, excluding garaport bays shall have 1 braced panel in each of the gable walls.
 When building is gable entry, bracing can be relocated to the opposite gable wall.



3. BRACING LOCATION SIDE WALLS

Buildings 2 to 4 bays long shall have 1 braced panel located as close as possible to the gable end wall on each side wall of the building.
 Buildings 5 bays and longer excluding garaport bays shall have at least 2 braced panels in each side wall.
 There must be 1 braced panel in the first four bays and 1 braced panel in the last four bays, both located as close as possible to the gable end walls and there must be no more than 5 bays between each braced panel.

4. BRACING RELOCATION SIDE WALLS:

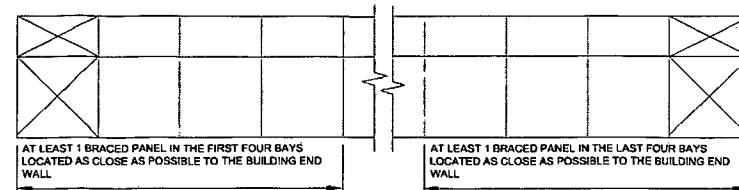
If a braced panel can not be achieved with the above rules, then the conflicting braced panel shall be relocated in the opposite wall side and as close as possible directly opposite the original location.

If 1 or more braced panels are relocated from one side wall to the other, then add 1 braced panel to a gable wall that is closest to the original position of the relocated braced panel.

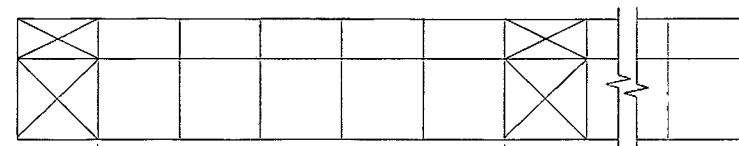
5. ROOF BRACING LOCATION

Buildings, 2 to 4 bays excluding garaport bays shall have 1 braced panel located in one of the end bays
 Buildings, 5 bays and longer excluding Garaport bays, shall have at least 3 braced panels, 2 located in each end bay and there must be no more than five bays between each braced panel.

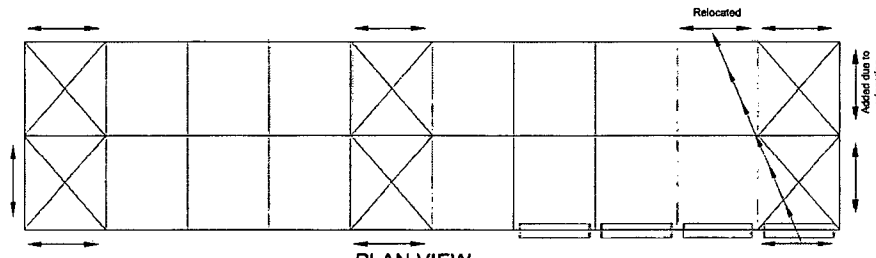
Other configurations of openings shall be specific design.



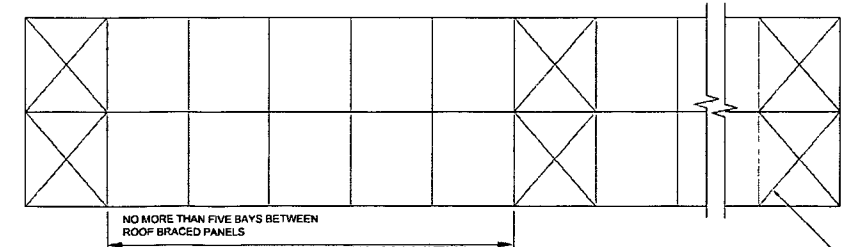
SIDE WALL ELEVATION



SIDE WALL ELEVATION




PLAN VIEW



PLAN VIEW

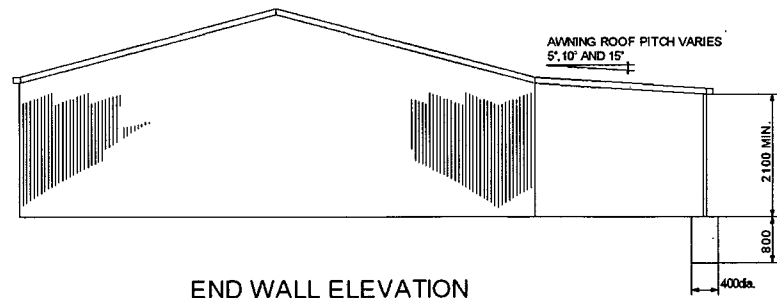
REFER TO SHEET 1 FOR SINGLE CROSS OR DOUBLE CROSS ROOF BRACING PATTERNS PER BAY PER SIDE

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 Consent No.

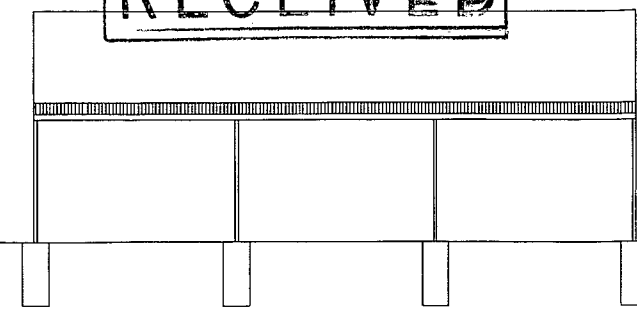
<p>FREDERICK R SMITH chartered consulting engineer 363 Wairakei Rd, Burnside Christchurch 8053</p>	<p>I certify that buildings erected in accordance with these drawings will comply with the New Zealand Building Code.</p>  <p>F R Smith BE (civil) MIPENZ MACENZ MIEAust CPEng RPEQ (6225)</p>	<p>TOTALSPAN A Division of Spanbild New Zealand Ltd 112 WATERLOO ROAD, HORNBY P.O. BOX 11-013, CHRISTCHURCH PH: (09) 296 9161 FAX: (09) 299 7015</p>	<p>Drawing Title: PORTAL BUILDING BRACING - WALLS AND ROOF</p>	<p>For: Mrs Sue Crowley 6 Gibson Street Wanganui New Zealand</p>
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15 JAN 2013

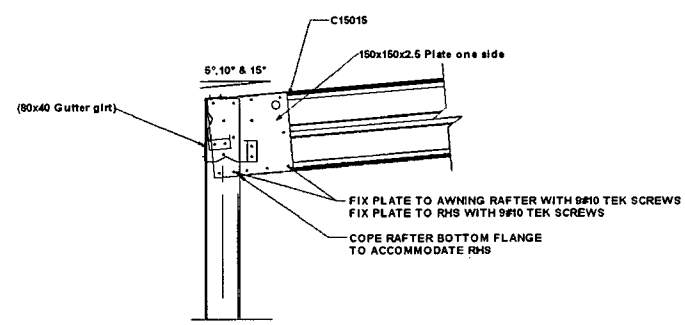
RECEIVED



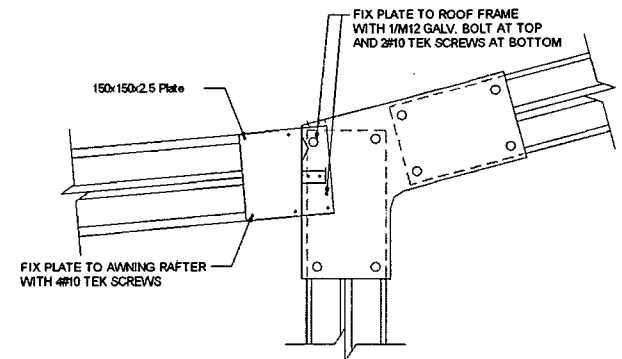
END WALL ELEVATION



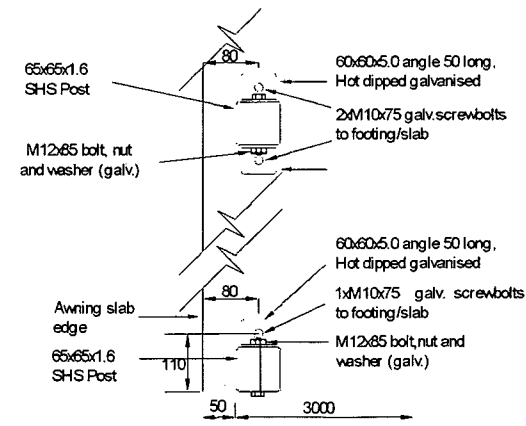
SIDE WALL ELEVATION



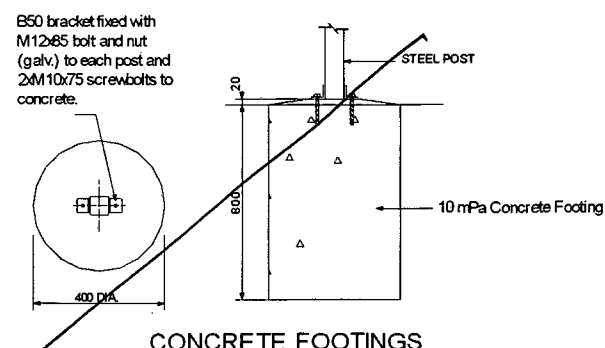
POST CONNECTION



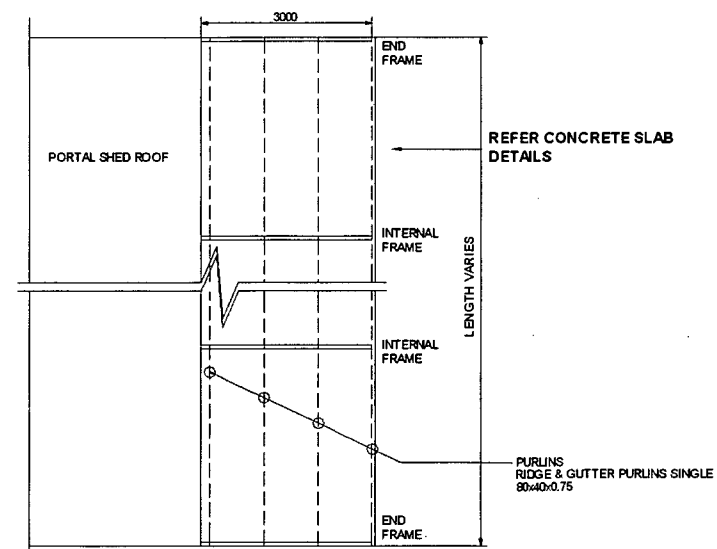
ROOF FRAME CONNECTION



POST HOLD DOWN DETAILS



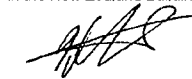
CONCRETE FOOTINGS
(FOR AWNINGS AND WHERE CONCRETE FLOOR SLABS ARE NOT REQUIRED)



AWNING ROOF LAYOUT

APPROVED
13/0010
Consent No.

Awning Rafters: C15010
Awning Purlins (Rows:3): C80x40

<p>FREDERICK R SMITH chartered consulting engineer 363 Wairakei Rd, Burnside Christchurch 8053</p>	<p>I certify that buildings erected in accordance with these drawings will comply with the New Zealand Building Code.</p>  <p>F R Smith BE (civil) MIPENZ MACENZ MIEAust CPEng RPEQ (6225)</p>	<p>TOTALSPAN. A Division of Spanbild New Zealand Ltd 112 WATERLOO ROAD, HORNBY P.O. BOX 11-013, CHRISTCHURCH PH: (09) 296 9161 FAX: (09) 299 7015</p>	<p>Drawing Title: AWNING 3M AWNING</p>	<p>For: Mrs Sue Crowley 6 Gibson Street Wanganui New Zealand</p>
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INSPECTION RECORD

This record, together with the Building Consent and approved plans, is to remain on the construction site at all times.

Project Location	TO BOOK AN INSPECTION PLEASE PHONE WDC BUILDING CONTROL ON 349 0001 AND QUOTE THE FOLLOWING APPLICATION NUMBER:	BCon13/0019
6 Gibson St WANGANUI		
Description of Work	New 75m2 detached garage	

Applicant	Totalspan Steel Buildings 3 Putiki Drive, Putiki, Wanganui 4500
Builder	Totalspan Steel Buildings 3 Putiki Drive, Putiki, Wanganui 4500

SUMMARY OF CONDITIONS

Building Consent Number BCon13/0019

PIM Conditions

Code	Condition
	All work on the project must comply with the requirements of the NZ Building Code.
	A PIM only document is not an approval to build. A Building Consent is required before building work commences.
	W.D.C will follow up on building work not completed within two years of building consent issue.
	A Building Consent lapses and is of no effect if the building work has not been started within 12 months of the date of issue.
	If the building is public premises it may not be occupied until either a code compliance certificate or certificate for public use has been issued.
	Please note [Electrical, and Gasfitting subtrades do not form part of the building consent inspection process. However, Council is required to receive 'Energy Certificates' from both of these trades before issue of a Code Compliance Certificate].
PIMbdary	The boundaries must be clearly defined BEFORE commencing work

Building Consent Conditions

Code	Condition
BCStormH2O	[Informative note: That the stormwater is to be disposed, so as not to be detrimental to the new and existing building foundations, nor a nuisance to neighbouring properties (Council is not liable for stormwater disposal via soakholes)]

Your project's inspections are listed on the next page...



Please Note: A minimum of 24 hours notice is required for the booking of an inspection. The inspection record sheet and accompanying building consent documentation must be on site for use by the inspector at the time of the inspection.

All inspections are to be carried out by BCA Building Inspectors unless prior arrangements have been made by the BCA to have an approved qualified person inspect specific items (eg. Engineer). Inspections shall be carried out in accordance with the attached schedule of inspection types. It is the owner's responsibility to ensure all necessary inspections are carried out as required. Please contact WDC if you are unsure what requires inspection – do not cover or enclose any building work without inspection.

Note: Further inspections may incur additional cost at time of Code Compliance Certificate issue.

Inspections Record For Building Consent Number BCon13/0019						
<i>Inspection</i>	<i>When to Request</i>	<i>Date</i>	<i>Inspector</i>	<i>Complies with Code</i>	<i>Reinspect</i>	<i>Notes</i>
CONCRETE SLAB INSPECTION	Prior to placing Concrete	08/02/2013	Bill Leslie	YES	NO	GSF02850 Siting 1.0 of boundary fence only, quite scuffy fence but lines up with others fairly well. Poly and steel as per plans. Firm enough all around except back right corner has sand fill in what would appear to have been an old pit, have instructed Johnno from Total span to widen footing across corner, install another D20 bar around approx 1.5 each way with yet another 1.5m D20 under HRC going into slab at 45 degrees to distribute load as portal construction and obviously one on corner, owner in loop who also understands requirement so happy to trust it gets done.
FINAL BUILDING INSPECTION	On Completion	30/04/2013	Bill Leslie	YES	NO	GSF03027 Complete as per plans, bracing and fixings good. Joinery installed no internal linings. 2 tidy looking soak pits installed and filled in, well clear of boundaries with good soakage so believe will be ok.



Garage (Slab/Footing) Inspection & Final

N° GSF 02850

Address						
6 Gibson St						
Consent No	Date	Inspector	Re Check	Compliance		
13/0019	8-2-13	RA	NO	yes		
Slab	Comments					
Siting/Boundaries	<input checked="" type="checkbox"/>	<input type="checkbox"/> N/A	fairly well defined			
Site wind zone	<input checked="" type="checkbox"/>	<input type="checkbox"/> N/A	Low			
Contours	<input checked="" type="checkbox"/>	<input type="checkbox"/> N/A				
Type	<input checked="" type="checkbox"/>	<input type="checkbox"/> N/A	pumice & sand fill			
Ground Bearing	<input checked="" type="checkbox"/>	<input type="checkbox"/> N/A	see below			
Ground Levels	<input checked="" type="checkbox"/>	<input type="checkbox"/> N/A	+ to form			
Footing Size	<input checked="" type="checkbox"/>	<input type="checkbox"/> N/A				
Footing Steel	<input checked="" type="checkbox"/>	<input type="checkbox"/> N/A				
Slab Steel	<input checked="" type="checkbox"/>	<input type="checkbox"/> N/A				
Concrete Cover	<input checked="" type="checkbox"/>	<input type="checkbox"/> N/A				
Polythene	<input checked="" type="checkbox"/>	<input type="checkbox"/> N/A				
Granular Fill	<input type="checkbox"/>	<input checked="" type="checkbox"/> N/A				
Final	Comments					
Ground Levels / Floor Level	<input type="checkbox"/>	<input type="checkbox"/> N/A	/			
Cladding - Type	<input type="checkbox"/>	<input type="checkbox"/> N/A				
- Fixing	<input type="checkbox"/>	<input type="checkbox"/> N/A				
Cladding Cover / ground clearance	<input type="checkbox"/>	<input type="checkbox"/> N/A				
Joinery - Installation	<input type="checkbox"/>	<input type="checkbox"/> N/A				
- Flashing	<input type="checkbox"/>	<input type="checkbox"/> N/A				
Framing	<input type="checkbox"/>	<input type="checkbox"/> N/A				
Truss Fixing	<input type="checkbox"/>	<input type="checkbox"/> N/A				
Top Plate Fixings	<input checked="" type="checkbox"/>	<input type="checkbox"/> N/A				
Bottom Plate Fixings	<input type="checkbox"/>	<input type="checkbox"/> N/A				
Slab Cut	<input type="checkbox"/>	<input type="checkbox"/> N/A				
Firewall & Stopping	<input type="checkbox"/>	<input type="checkbox"/> N/A				
Comments						
all good except back right corner a bit soft to have extra rods as discussed - to take photo's.						



Garage (Slab/Footing) Inspection & Final

N° GSF03027

6 Gibson street			
Consent No	Date	Inspector	Re Check Compliance
17/0019	20-11-19	RA	
Slab	Comments		
Siting/Boundaries	<input type="checkbox"/>	<input type="checkbox"/> N/A	Previous
Site wind zone	<input type="checkbox"/>	<input type="checkbox"/> N/A	
Contours	<input type="checkbox"/>	<input type="checkbox"/> N/A	
I Type	<input type="checkbox"/>	<input type="checkbox"/> N/A	
Ground Bearing	<input type="checkbox"/>	<input type="checkbox"/> N/A	
Ground Levels	<input type="checkbox"/>	<input type="checkbox"/> N/A	
Footing Size	<input type="checkbox"/>	<input type="checkbox"/> N/A	
Footing Steel	<input type="checkbox"/>	<input type="checkbox"/> N/A	
Slab Steel	<input type="checkbox"/>	<input type="checkbox"/> N/A	
Concrete Cover	<input type="checkbox"/>	<input type="checkbox"/> N/A	
Polythene	<input type="checkbox"/>	<input type="checkbox"/> N/A	
Granular Fill	<input type="checkbox"/>	<input type="checkbox"/> N/A	
Final	Comments		
Ground Levels / Floor Level	<input checked="" type="checkbox"/>	<input type="checkbox"/> N/A	
Cladding - Type	<input checked="" type="checkbox"/>	<input type="checkbox"/> N/A	
- Fixing	<input checked="" type="checkbox"/>	<input type="checkbox"/> N/A	
Cladding Cover / ground clearance	<input checked="" type="checkbox"/>	<input type="checkbox"/> N/A	+ to maintain
Joinery - Installation	<input checked="" type="checkbox"/>	<input type="checkbox"/> N/A	DOOR
- Flashing	<input checked="" type="checkbox"/>	<input type="checkbox"/> N/A	
Framing	<input checked="" type="checkbox"/>	<input type="checkbox"/> N/A	
Truss Fixing	<input checked="" type="checkbox"/>	<input type="checkbox"/> N/A	portals
Top Plate Fixings	<input checked="" type="checkbox"/>	<input type="checkbox"/> N/A	
Bottom Plate Fixings	<input type="checkbox"/>	<input type="checkbox"/> N/A	
Slab Cut	<input type="checkbox"/>	<input type="checkbox"/> N/A	
Firewall & Stopping	<input type="checkbox"/>	<input type="checkbox"/> N/A	1m off boundary
Comments			
comply as per design.			

**Application for
Code Compliance Certificate**
Building Act 2004 Form 6



**Wanganui
District Council**

1. The building consent

Building consent no.

Description of work

Address

2. Property owner details

Owner details Have not changed since the building consent was lodged Proceed to 3 "Applicant details" below Have changed since the building consent was lodged

Name

Contact person (if owner is a corporation, partnership or trust)

Postal address

Contact numbers

Phone Mobile Fax

Email

Evidence of ownership attached (only required if ownership has changed) Certificate of Title (copy) Sale and purchase agreement Lease agreement Other document showing full name of legal owner(s), such as a rate instalment notice

3. Applicant details

I am the Property owner Lessee Provide details below Agent Authorised by owner / lessee Provide details below

Name

Postal address

Contact numbers

Phone Mobile Fax

Email

4. Attachments

The following documents are attached to this application:

Certificates from the personnel who carried out the work

Certificates that relate to the energy work (e.g. gas or electrical certificates)

Evidence that specified systems are capable of performing to the performance standards set out in the building consent

OFFICE USE ONLY

Infrastructure Bond Final Inspection Complete (please circle one)

Yes	No	N/A
-----	----	-----

5. Key building practitioners

Builders name / Licence no.

Totalspan

Extent of involvement

Construction of Shed

Contact details Address

3 Putiki Drive Wanganui

Phone / Email

06 347 98 42

Certifying plumber name / Licence no.

Extent of involvement

Contact details Address

Phone / Email

Certifying drainlayer name / Licence no.

Extent of involvement

Contact details Address

Phone / Email

Electrician name / Licence no.

M.R. Carroll E3527

Extent of involvement

Contact details Address

Phone / Email

06 343 60 93

Other

Extent of involvement

Contact details Address

Phone / Email


Any other people involved must be listed separately

6. Application

Date building work completed

23 April 2013

I request that you issue a code compliance certificate for the work under section 95 of the Building Act 2004. I understand that the code compliance certificate will be sent to the property owner.



Signature

John Hannan (on behalf Totalspan) 30/4/13

Name of person signing: (please print clearly)

Dated:

OFFICE USE ONLY

Date received

Application #

Document #

Project #

Property ID

Legal ID

Receipt #

Amount Paid

 \$



Electrical Certificate of Compliance

No. 3955242

for a low voltage installation if prescribed electrical work has been done on any part of it and the prescribed electrical work involved placing, replacing, or repositioning conductors or fittings attached to conductors.

No. of attachments

To be completed whether or not an Inspection is required.

CUSTOMER INFORMATION - PLEASE PRINT CLEARLY

Name of customer S CROCKER Phone: _____

Address of installation CURSON ST

Postal address of customer (if not as above) WASSAU

DECLARATION OF CONFORMITY (Please tick (✓) appropriate boxes)

In accordance with Regulation 58 of the Electricity (Safety) Regulations 2010, the design of the installation or part of the installation to which this certificate applies

(a) complies with either Part 2 of AS/NZS 3000:2007 or Part 1 of AS/NZS3000:2007 and Regulation 59 and the supply system of the installation or part of the installation to which this certificate applies is 230V/400 V MEN or attached other system

WORK DETAILS

8	No. of lighting outlets	No. of ranges	Please tick (✓) as appropriate where work includes:	Mains	<input checked="" type="checkbox"/> Main earthing system
6	No. of socket outlets	No. of water heaters		MEN Switchboard closest to point of supply	Electric lines

Was any installation work carried out by the homeowner? Yes No

Description of work carried out (If necessary attach any pages with work done) Filled SUB BOARD

INSTALLED 8 LIGHT & 6 SWITCH SOCKETS

Loop 59

RCD TEST OK

CERTIFICATION OF WORK (Please tick (✓) appropriate boxes)

I certify that the completed installation or part of the installation to which this certificate applies

has been installed in accordance with the design detailed in the Declaration of Conformity section above

has had tests which are required by the Electricity (Safety) Regulations 2010 satisfactorily completed

has an earthing system that is correctly rated

contains fittings which are safe to connect to a power supply

is safe to connect to a power supply

ELECTRICAL WORKER DETAILS

Name	<u>MR CARROLL</u>	Registration No.	<u>E 3627</u>
Company	<u>MR CARROLL</u>	Contact Ph No.	<u>06 3476093</u>
Signature	<u>[Signature]</u>	Date	<u>20-4-2012</u>

INSPECTION DETAILS

Electrical work requiring inspection by a registered electrical inspector

Mains work (mains, MEN switchboards closest to the point of supply, or main earthing systems) Attached other Work carried out in accordance with Part 1 of AS/NZS 3000:2007

I certify that the items identified above are electrically safe and that the inspection has been carried out in accordance with the Electricity (Safety) Regulations 2010.

Name _____ Registration No. _____

Signature _____ Date _____

Contact Ph No. _____

This form is approved by the Electrical Workers Registration Board (PO Box 10-156, Wellington. Freephone 0800 66 1000) for the purposes of the Electricity (Safety) Regulations 2010.

Code Compliance Assessment Checklist
Building Consent No # BC 13/0069

	ITEM	YES	NO	N/A	COMMENTS
1	Work complies with approved BC documentation - Sec 94 (1)	✓			
2	All the required inspections have been completed			✓	
3	BC conditions have been fulfilled			✓	
4	PIM requirements have been complied with			✓	
5	Damage deposit is released			✓	
6	Development contributions have been paid (Sec 94 (4))			✓	
7	All documents have BC number on them	✓			
8	Sec 75-77 registered if applicable			✓	
9	Sec 72-74 registered on title if applicable			✓	
10	Energy work certificates have been provided (if required) sec 94 (3)	✓		✗	electrical
11	All inspection fees have been paid?	✓			
12	Specified systems are capable of performing in accordance with performance standards (sec 94 (1B))			✓	
13	Is a compliance schedule required or requires amending (sec 100(2))			✓	
14	Has there been a change of ownership (sec 364)			✓	
15	Any warnings or bans applied (sec 94 (2))			✓	
16	Has the TA received any certificates issued by licensed building practitioners that relate to restricted work (sec 88 (10 and (2) nb: The restricted building work and LBP provisions do not come into effect until 30/11/2009			✓	
17	Check the TA has been advised by a LBP that building work carried out under a building consent does not comply with that consent			✓	
18	Any amendments have been issued and whether documentation associated with these have been properly completed			✓	
19	Any outstanding documentation still to be collected such as			✓	
20	Photographs of elevations			✓	
21	Fire doors			✓	
22	Backflow			✓	
23	Lifts (electrical and installation)			✓	
24	Mechanical ventilation			✓	
25	List of consultants			✓	
26	Was Building Consent Lapsed? (Ref.T-25.5)			✓	

Producer Statements:

A Producer Statement requires the following as a minimum requirement to be accepted by the Wanganui District Council:

- A written statement
- Header with 'Producer Statement'
- Who is issuing the Producer statement (suitably qualified and author of Producer statements)
- The Producer Statement must be addressed for the attention of the Wanganui District Council
- The applicable Building Consent number must be recorded
- Who has completed or designed the work identified (qualifications to undertake the work)
- The product name and specifications for application of product used
- What parts/clauses of the Building Code the work relates to
- Full legal description of the site where the work will be undertaken
- Clearly identifying what part of the Building Consent is covered by the Producer Statement
- Provide the sum of provisional indemnity insurance held

The author's name and signature:

- Qualifications
- Address
- Registration number
- Membership of professional organization
- Date the producer statement was produced

All information and documentation is present and correct, a Code Compliance Certificate can be issued.

Name: W. J. Costa

Signature: [Signature]

Date: 20-4-13



CODE COMPLIANCE CERTIFICATE NUMBER BCon13/0019

Section 95(3), Building Act 2004

Mrs SM Crowley
6 Gibson Street
Aramoho
Wanganui 4500

Building Consent No: BCon13/0019

Issue Date: 30/04/2013

The building:

Street address of building:	Legal description of land where building is located:
6 Gibson St WANGANUI	LOT 14 DEED 111 0.1012 Ha
Building name:	Location of building within site/block number:
Level/unit number:	Current, lawfully established, use: [include number of occupants per level and per use if more than 1]
	Garage
Year first constructed:	

The owner:

Name of Owner:	
Mrs SM Crowley	
Mailing address:	Street Address/registered Office:
6 Gibson Street Aramoho Wanganui 4500	6 Gibson Street Aramoho Wanganui 4500

Phone numbers:

Landline:	3436455	Mobile:	
Daytime:		After hours:	
Facsimile number:			
Email address:		Website:	

First point of contact for communications with the building consent authority:

Contact Person:	
Totalspan Steel Buildings	
Mailing address:	Street Address/registered Office:
3 Putiki Drive, Putiki, Wanganui 4500	3 Putiki Drive, Putiki, Wanganui 4500

Phone number:

Landline:	<ApplicantHomePh>	Mobile:	0274420378
Daytime:	347 9842	After hours:	
Facsimile number:	347 9844		
Email address:	wanganui@totalspan.co.nz	Website:	

Building Work

Building consent number:	Issued by:
BCon13/0019	Wanganui District Council
Type of Work	
Garage	
Description of Work	
New 75m2 detached garage	
Intended Life	Estimated Value
50 years	\$35000.00

Code compliance:

The building consent authority named below is satisfied, on reasonable grounds, that the building work complies with the building consent.

*Compliance schedule

There are no specified systems in this building.

This is a final Code Compliance Certificate issued in respect of all of the building work under the above Building Consent.

Signed for and on behalf of the Wanganui District Council:



A J Jamieson
Team Leader Building Services

Date: 30 April, 2013



END OF BUILDING CONSENT FILE

BC No. 12/0019

C.C.C. Issued
