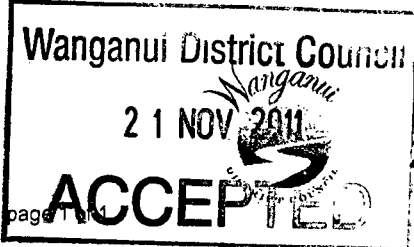


6 GIBSON ST



Wanganui District Council
BCA QM System

Building Consent File – Front Cover

BCA T-33C page 1 of 1
v6 12/11/08

Building Consent File Content/Checklist

DBH Building Category

Consent number: 3Con 11/0646

(Type 1, 2 or 3)

1

| | Description | Added to file | Comment & Reference |
|-----|---|---------------|---------------------|
| 1. | Consent Application | 21-11-11 | |
| 2. | Pre-Vet Checksheet | 21-11-11 | |
| 3. | Plans & Specifications | 21-11-11 | |
| 4. | Bracing Calculations | | |
| 5. | PIM : C/T : Consent Notes | 21-11-11 | (C/T) |
| 6. | Regional Authority Consent (Dams) | | |
| 7. | Fire Design | . | |
| 8. | DRU – NZFS | | |
| 9. | Consultant Reports | | |
| 10. | Producer Statements PS1, PS2, PS4 | 21-11-11 | (PS1) |
| 11. | Engineering Calculations | | |
| 12. | Peer Review <i>JHB</i> | 25/11/11 | Approved. |
| 13. | Relocate: Condition Reports | | |
| 14. | Truss Layouts | 21-11-11 | |
| 15. | FIR | | |
| 16. | Correspondence | | |
| 17. | Copy of Invoice(s) | 21-11-11 | (DEP) |
| 18. | Compliance Assessment Checksheets | | |
| 19. | Photos | | |
| 20. | Notice to Fix / Enforcement Action | | |
| 21. | DBH Notification (Warnings etc) | | |
| 22. | Amendments/Alterations to Existing | | |
| 23. | Historic Places Trust Approval letter | | |
| 24. | Request for Further Information letter(s) | | |
| 25. | | | |
| 26. | | | |
| 27. | Building Consent (signed copy) Including Conditions | | |
| 28. | | | |
| 29. | | | |
| 30. | Inspection Checksheets | | |
| 31. | Supporting As-Built documentation | | |
| 32. | Energy Work Certificates - Electrical | | |
| 33. | Energy Work Certificates - Gas | | |
| 34. | Vehicle Crossing Producer Statement | | |
| 35. | | | |
| 36. | | | |
| 37. | | | |
| 38. | Application for C.C.C. | | |
| 39. | C.C.C. Assessment Checklist | | |
| 40. | Code Compliance Certificate | | |

LARGE PLANS HELD IN: (PLAN TUBE or FILE BOX?)

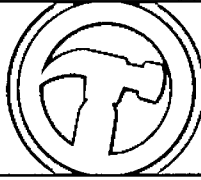
LARGE PLANS LOCATED IN:

G18 FILE ROOM

or BASEMENT

NEW 32-4m² DETACHED CARPORT.

Building Consent Application
Section 32 or 45, Building Act 2004
FORM 2



Wanganui District Council
District Council
RECEIVED
NOV 2011

1. Application type

- Project Information Memorandum and/or
 Building Consent or
 Alteration to Existing Building Consent
 (Please tick appropriate box)

Building Consent/PIM No.

BCon 11/0646

Note: Shaded areas for office use only

2. The building

2a. Site Address

6 GIBSON ST

2b. Current lawfully established use

House

2c. Legal Description

Lot 14

DP 111.000

2d. Council Property No.

9671

(WN 338/127)

2e. Number of levels

1

2f. Level/Unit number

2g. Floor area

Existing 189.73²

New 32.4 m²

Total 222.13 m²

2h. Year building first constructed
(If applicable/or approx. year)

3. The owner

3a. Name

SUE CROWLEY

Postal Address

6 GIBSON ST
WANGANUI

Contact Numbers

343 6455

Phone

Mobile

Fax

Email

1susanmary@hotmail.com

4. Evidence of ownership

4a. Evidence of ownership attached

Certificate of Title (copy)

Sale and purchase agreement

Lease agreement

Other document showing full name of legal owner(s), such as a rate instalment notice

Previous consents

5. Applicant's details (if not the owner)

5a. Name of Agent

JIM RICHARDSON (Design Lines 2000 Ltd)

Postal Address

167 Mt View Rd
Wanganui

Contact Numbers

343 8101

Phone

0274 578 390

Mobile

343 8111

Fax

Email

jim.r@xtra.co.nz

Relationship to owner

Arch Designer

Details of authorisation

Evidence attached

Other - please specify

Days supplied

6. Applicant's declaration

Signature of Owner/Agent *[Handwritten Signature]* Date *22/11/11*

Name (print clearly) *OTM RICHARDSON*

Consent fees to be paid by (Please tick appropriate box)
 Owner *Pls advise Designer* Builder Plumber
 Designer Agent

The information provided will be included in a Public Register of Consents which is available for public perusal under the Privacy Act 1993 section 54. This may result in receipt by the 'Owner' of trade advertising.
 The person signing the Building Consent application form is the person responsible for the debt.

7. The project

7a. Description of the building work *New Carport*

7b. Will the building work result in a change of use of the building? Yes No

7c. If yes, please provide details of the new use

7d. Intended life of the building Indefinite but not less than 50 years Less than 50 years - please specify _____ years

7e. Have any PIM and/or Building Consents been issued previously for this project? Yes Provide details below No
 Date of consent *14-1-10* Consent number *BCan 09/1129*

7f. Estimated value of the building work *\$ 18 000* including gst 7g. Category (Office use only) *1*

8. Project Information Memorandum

The following matters are involved in the project (please tick the appropriate project)

- Subdivision
- Alterations to land contours
- New or altered connections to public utilities
- New or altered locations and/or external dimensions of buildings
- New or altered access for vehicles
- Building work over, or adjacent to, any road or public place
- Disposal of stormwater and wastewater
- Building work over existing drains or sewers, or in close proximity to wells or water mains
- Other matters known to the applicant that may require authorisations from the council - please specify

9. Supporting documentation

The following plans and specifications are attached to this application:

- Two sets of plans drawn to a recognised metric scale; include two sets of specifications and other documentation
- Project Information Memorandum
- Producer Statements
- Truss Layout Plan
- Certificate attached to Project Information Memorandum
- Details/Calculations
- Fire Design Analysis
- Development Contribution Notice

Please turn over

9. Supporting documentation - continued

Copies of other Authorisations - please specify

Other - please specify

10. Building practitioners involved in this project (continue on another sheet of paper if needed)

Designer

Name / Registration no.

Contact details Address

Phone / Email

Builder

Name / Registration no.

Contact details Address

Phone / Email

Craftsman Plumber

Name / Registration no.

Contact details Address

Phone / Email

Registered Drainlayer

Name / Registration no.

Contact details Address

Phone / Email

Electrician

Name / Registration no.

Contact details Address

Phone / Email

Engineer

Name / Registration no.

Contact details Address

Phone / Email

Specialist Services (fire alarm, HVAC, lift etc)

Name / Registration no.

Contact details Address

Phone / Email

Other

Name / Registration no.

Contact details Address

Phone / Email

11. Waiver or modification required

Waiver or modification
(Please circle and detail below)

| | | | | | | | |
|-----|-----|----|----|-----|-----|-----|-----|
| B1 | B2 | C1 | C2 | C3 | C4 | D1 | D2 |
| E1 | E2 | E3 | F1 | F2 | F3 | F4 | F5 |
| F6 | F7 | F8 | G1 | G2 | G3 | G4 | G5 |
| G6 | G7 | G8 | G9 | G10 | G11 | G12 | G13 |
| G14 | G15 | H1 | | | | | |

Alternative Solution
(Please circle and detail below)

| | | | | | | | |
|-----------|-----|----|----|-----|-----|-----|-----|
| B1 | B2 | C1 | C2 | C3 | C4 | D1 | D2 |
| E1 | E2 | E3 | F1 | F2 | F3 | F4 | F5 |
| F6 | F7 | F8 | G1 | G2 | G3 | G4 | G5 |
| G6 | G7 | G8 | G9 | G10 | G11 | G12 | G13 |
| G14 | G15 | H1 | | | | | |

Additional information

12. Compliance with New Zealand Building Code

NZBC Clause

Tick relevant building code clauses

- B1** Structure
- B2** Durability
- C1-C2-C3-C4** Fire
- D1** Access routes
- D2** Mechanical installations for access
- E1** Surface water
- E2** External moisture
- E3** Internal moisture
- F1** Hazardous agents on site
- F2** Hazardous building materials
- F3** Hazardous substances & processes
- F4** Safety from falling
- F5** Construction & demolition hazards
- F6** Lighting for emergency
- F7** Warning systems
- F8** Signs
- G1** Personal hygiene
- G2** Laundering
- G3** Food preparation & prevention of contamination
- G4** Ventilation
- G5** Interior environment
- G6** Airborne & impact sound
- G7** Natural light
- G8** Artificial light
- G9** Electricity
- G10** Pipes services
- G11** Gas as an energy source
- G12** Water supplies
- G13** Foul water
- G14** Industrial liquid waste
- G15** Solid waste
- H1** Energy efficiency

Means of compliance

Please circle or add means of compliance

Proposed inspections

Please circle as appropriate - see key below

| | | | | | | |
|--|--|--|---------------|---------------------------------------|---|---|
| <input checked="" type="checkbox"/> B1/AS2 | NZS 4229 | <input checked="" type="checkbox"/> NZS 3604 | AS/NZS 1170 | <input checked="" type="checkbox"/> 1 | 2 | 3 |
| <input checked="" type="checkbox"/> B2/AS1 | <input checked="" type="checkbox"/> NZS 3604 | <input checked="" type="checkbox"/> NZS 3101 | NZS 3602 | <input checked="" type="checkbox"/> 1 | 2 | 3 |
| C1/AS1 | C4/AS1 | C2/AS1 | C3/AS1 | 1 | 2 | 3 |
| D1/AS1 | | NZS 4121 | | 1 | 2 | 3 |
| D2/AS1 | | NZS 4322 | EN/81 | 1 | 2 | 3 |
| <input checked="" type="checkbox"/> E1/AS1 | | AS/NZS 3500 | | <input checked="" type="checkbox"/> 1 | 2 | 3 |
| <input checked="" type="checkbox"/> E2/AS1 | | Specific Design | | <input checked="" type="checkbox"/> 1 | 2 | 3 |
| E3/AS1 | | | | 1 | 2 | 3 |
| F1/AS1 | | | | 1 | 2 | 3 |
| F2/AS1 | | NZS 4233 | | 1 | 2 | 3 |
| F3/AS1 | | | | 1 | 2 | 3 |
| F4/AS1 | | Fencing of Swimming Pools Act | | 1 | 2 | 3 |
| F5/AS1 | | | | 1 | 2 | 3 |
| F6/AS1 | AS/NZS 1668 | NZS 4512 | NZS 4515 | 1 | 2 | 3 |
| F7/AS1 | AS/NZS-1668 | NZS 4512 | NZS 4515 | 1 | 2 | 3 |
| F8/AS1 | | | | 1 | 2 | 3 |
| G1/AS1 | | | | 1 | 2 | 3 |
| G2/AS1 | | | | 1 | 2 | 3 |
| G3/AS1 | | | | 1 | 2 | 3 |
| G4/AS1 | | | | 1 | 2 | 3 |
| G5/AS1 | | | | 1 | 2 | 3 |
| G6/AS1 | | | | 1 | 2 | 3 |
| <input checked="" type="checkbox"/> G7/AS1 | | | | <input checked="" type="checkbox"/> 1 | 2 | 3 |
| G8/AS1 | | NZS 6703 | | 1 | 2 | 3 |
| G9/AS1 | | | | 1 | 2 | 3 |
| G10/AS1 | | NZS 5261 | | 1 | 2 | 3 |
| G11/AS1 | | | | 1 | 2 | 3 |
| G12/AS1 | C4/AS1 | AS/NZS 3500.2 | AS/NZS 3500.5 | 1 | 2 | 3 |
| G13/AS1 | | AS/NZS 3500.2 | BS 5572 | 1 | 2 | 3 |
| G14/AS1 | | | | 1 | 2 | 3 |
| G15/AS1 | | | | 1 | 2 | 3 |
| H1/AS1 | NZS 4212 | NZS 4218 | NZS 4243 | 1 | 2 | 3 |
| | | ALF design manual | | | | |

Key to proposed inspections:

1. Council Building Control Officer
2. Approved Consultant e.g. Engineer
3. Other - Please specify below

| |
|--|
| |
| |
| |

Important

The Building Act requires the applicant to state, for each relevant building code clause, what the means of compliance is. Alternative solutions may also be proposed, and must be accompanied with documentation demonstrating compliance. Please refer to Alternative Solution box previous page and provide additional information. Refer to guidance notes on separate sheet for typical scenarios.

Please turn over

12. Compliance schedule

Do not proceed further if

- this is an application for a PIM only (Project Information Memorandum)
- this application is for Residential work only (except for a cable car after 31 March 2008)

The following specified systems are new, existing, being altered, added to, or removed in the course of building work

There are no specified systems in the building

| | New | Existing | Altered | Added | Removed |
|---|-----------------------|-----------------------|-----------------------|-----------------------|-----------------------|
| Cable Car (including to individual dwelling) (to be implemented 31 March 2008) | <input type="radio"/> | <input type="radio"/> | <input type="radio"/> | <input type="radio"/> | <input type="radio"/> |

Building Act 2004 (implemented 31 March 2005)
(listed below are the systems and features from the 'new' Act)

| | | | | | |
|--|-----------------------|-----------------------|-----------------------|-----------------------|-----------------------|
| 1. Automatic systems for fire suppression (for example, sprinkler systems). | <input type="radio"/> | <input type="radio"/> | <input type="radio"/> | <input type="radio"/> | <input type="radio"/> |
| 2. Automatic or manual emergency warning systems for fire or other dangers | <input type="radio"/> | <input type="radio"/> | <input type="radio"/> | <input type="radio"/> | <input type="radio"/> |
| 3. Electromagnetic or automatic doors or windows (for example, ones that close on fire alarm activation) | <input type="radio"/> | <input type="radio"/> | <input type="radio"/> | <input type="radio"/> | <input type="radio"/> |
| 4. Emergency lighting systems | <input type="radio"/> | <input type="radio"/> | <input type="radio"/> | <input type="radio"/> | <input type="radio"/> |
| 5. Escape route pressurisation systems | <input type="radio"/> | <input type="radio"/> | <input type="radio"/> | <input type="radio"/> | <input type="radio"/> |
| 6. Riser mains for Fire Service's use | <input type="radio"/> | <input type="radio"/> | <input type="radio"/> | <input type="radio"/> | <input type="radio"/> |
| 7. Any automatic back-flow preventers connected to a potable water supply | <input type="radio"/> | <input type="radio"/> | <input type="radio"/> | <input type="radio"/> | <input type="radio"/> |
| 8. Lifts, escalators, travelators, or other systems for moving people or goods within buildings | <input type="radio"/> | <input type="radio"/> | <input type="radio"/> | <input type="radio"/> | <input type="radio"/> |
| 9. Mechanical ventilation or air conditioning systems | <input type="radio"/> | <input type="radio"/> | <input type="radio"/> | <input type="radio"/> | <input type="radio"/> |
| 10. Building maintenance units providing access to exterior and interior walls of buildings | <input type="radio"/> | <input type="radio"/> | <input type="radio"/> | <input type="radio"/> | <input type="radio"/> |
| 11. Laboratory fume cupboards | <input type="radio"/> | <input type="radio"/> | <input type="radio"/> | <input type="radio"/> | <input type="radio"/> |
| 12. Audio loops or other assistive listening systems | <input type="radio"/> | <input type="radio"/> | <input type="radio"/> | <input type="radio"/> | <input type="radio"/> |
| 13. Smoke control systems | <input type="radio"/> | <input type="radio"/> | <input type="radio"/> | <input type="radio"/> | <input type="radio"/> |
| 14. Emergency power systems for, or signs relating to, a system or feature specified in any of the above | <input type="radio"/> | <input type="radio"/> | <input type="radio"/> | <input type="radio"/> | <input type="radio"/> |
| 15. Means of escape with systems and features (1 to 6, 9 and 13) | <input type="radio"/> | <input type="radio"/> | <input type="radio"/> | <input type="radio"/> | <input type="radio"/> |

Please continue for Building Act 1991 (implemented 1 January 1993)

12. Compliance Schedule - continued

The following specified systems are existing, being altered, added to, or removed in the course of building work

Existing Altered Added Removed

Building Act 1991 (implemented 1 January 1993)
 (listed below are the systems and features from the 'old' Act)

| | | | | |
|---|-----------------------|-----------------------|-----------------------|-----------------------|
| 1. Automatic systems for fire suppression (for example, sprinkler systems) | <input type="radio"/> | <input type="radio"/> | <input type="radio"/> | <input type="radio"/> |
| 2. Automatic or manual emergency warning systems for fire or other dangers | <input type="radio"/> | <input type="radio"/> | <input type="radio"/> | <input type="radio"/> |
| 3. Emergency warning systems for fire or other dangers (eg. manual or automatic fire alarm) | <input type="radio"/> | <input type="radio"/> | <input type="radio"/> | <input type="radio"/> |
| 4. Emergency lighting | <input type="radio"/> | <input type="radio"/> | <input type="radio"/> | <input type="radio"/> |
| 5. Escape route pressurisation | <input type="radio"/> | <input type="radio"/> | <input type="radio"/> | <input type="radio"/> |
| 6. Riser mains | <input type="radio"/> | <input type="radio"/> | <input type="radio"/> | <input type="radio"/> |
| 7. Back-flow preventers | <input type="radio"/> | <input type="radio"/> | <input type="radio"/> | <input type="radio"/> |
| 8. Lifts (including escalators, passengers, service, goods) | <input type="radio"/> | <input type="radio"/> | <input type="radio"/> | <input type="radio"/> |
| 9. Mechanical ventilation and air conditioning | <input type="radio"/> | <input type="radio"/> | <input type="radio"/> | <input type="radio"/> |
| 10. Other mechanical, electrical, hydraulic or electronic systems | <input type="radio"/> | <input type="radio"/> | <input type="radio"/> | <input type="radio"/> |
| 11. Building maintenance units | <input type="radio"/> | <input type="radio"/> | <input type="radio"/> | <input type="radio"/> |
| 12. Signs (for items 1 to 11 above) | <input type="radio"/> | <input type="radio"/> | <input type="radio"/> | <input type="radio"/> |
| 13. Means of escape | <input type="radio"/> | <input type="radio"/> | <input type="radio"/> | <input type="radio"/> |
| 14. Safety barriers | <input type="radio"/> | <input type="radio"/> | <input type="radio"/> | <input type="radio"/> |
| 15. Access and facilities for people with disabilities | <input type="radio"/> | <input type="radio"/> | <input type="radio"/> | <input type="radio"/> |
| 16. Hosereels and/or fire extinguishers | <input type="radio"/> | <input type="radio"/> | <input type="radio"/> | <input type="radio"/> |
| 17. Signs (for items 13 to 16 above) | <input type="radio"/> | <input type="radio"/> | <input type="radio"/> | <input type="radio"/> |

Address where compliance schedule will be held:

| |
|--|
| |
| |
| |

The maximum number of occupants that the building is designed for:

| |
|--|
| |
|--|

Amendments to a compliance schedule also requires Form 005 - Application for Amendment for Compliance Schedule

Please turn over

OFFICE USE ONLY

BCA

Date application received

17-11-11

Receiving Officer

GH

Application Fee Receipt No.

411359

Date of application Fee Rec.

17-11-11

Infrastructure Bond No.

N/A

Comments:

POA
411359
24/11/11
W

Fees (incl. GST)

| | |
|---|-----------|
| Building Consent Application (Prepaid) 2A | \$ 410.00 |
| Building Consent Issue | \$ |
| PIM | \$ |
| Building Levy (DBH) | \$ |
| BRANZ Levy | \$ |
| Stormwater Connection | \$ |
| Vehicle Crossing | \$ |
| Sewer Connection | \$ |
| Water Connection | \$ |
| Fordell Connection (Application charge) | \$ |
| Development Contribution Levy | \$ |
| NZFS Alternative Solution | \$ |
| Waiver/Modification | \$ |
| Resource Consent | \$ |
| Relocation Bond | \$ |
| Infrastructure Fee (non-refundable) | \$ |
| Infrastructure Bond | \$ |
| Certificate of Title | \$ 10.00 |
| Rural Rapid Number | \$ |
| Photocopying/Plan Printing | \$ |
| Other | \$ |
| Total | \$ |

| Processing | | | | | | | |
|---------------------------------------|----------|-------|----------|------|-------------|----------|----------|
| Unit | Checks | | | | Inspections | Approved | |
| | Initials | Date | Initials | Date | | No. | Initials |
| Administration | T.B. | 21/11 | | | | | |
| Planning | | | | | | JK | 22/11/11 |
| Fire Design (Referred to NZFS) | | | | | | | |
| Building | | | | | | BC | 22/11/11 |
| Drainage (Infrastructure) | | | | | | | |
| Water (Infrastructure) | | | | | | | |
| Fordell Water Scheme (Infrastructure) | | | | | | | |
| Structural | | | | | | | |
| Plumbing/Drainage | | | | | | | |
| Roading | | | | | | | |
| Health | | | | | | | |
| Dangerous Goods | | | | | | | |
| Parks & Property / Mainstreet | | | | | | | |

Approved for issue of PIM/Building Consent

Approving Officer

[Signature]

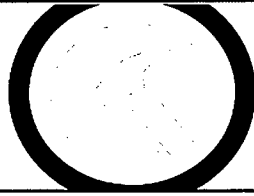
Date

25 NOV 2011

Notes

Building Consent Application Prelodgement Vetting

To be filled out by Designer



Wanganui District Council

Application details

(Additional information will need to be supplied if a resource consent is required)
This is a preliminary vetting sheet only to establish if there is sufficient information of an acceptable quality before it is received for lodgement and processing. This prelodgement form is designed to reduce processing time and save you on processing costs.

Plans are required to a suitable drafting standard.

Note: If you do not have the appropriate skills to prepare drawings, please engage a professional.

2 copies of all documentation is required (4 if resource consent if required).

3 copies required for all commercial projects.

| | | | |
|--|-------------|---|---|
| Date Received | 16.11.11 | | |
| Site Address | 6 GIBSON ST | | |
| Description of building work | New Carport | | |
| | | | |
| | | | |
| | | | |
| WDC Building Category (Circle where applicable) | 1 | 2 | 3 |

Application type

| Tick where applicable under Yes or Not applicable | Yes | N/A | WDC |
|---|----------------------------------|-----------------------|-------------------------------------|
| New Building | <input type="radio"/> | <input type="radio"/> | <input checked="" type="checkbox"/> |
| Alterations | <input type="radio"/> | <input type="radio"/> | <input checked="" type="checkbox"/> |
| Additions | <input checked="" type="radio"/> | <input type="radio"/> | <input checked="" type="checkbox"/> |
| Demolition | <input type="radio"/> | <input type="radio"/> | <input checked="" type="checkbox"/> |
| Relocation | <input type="radio"/> | <input type="radio"/> | <input checked="" type="checkbox"/> |
| Change of use | <input type="radio"/> | <input type="radio"/> | <input checked="" type="checkbox"/> |
| Stage of | <input type="radio"/> | <input type="radio"/> | <input checked="" type="checkbox"/> |

Application number

| Tick where applicable under Yes or Not applicable | Yes | N/A | WDC |
|---|----------------------------------|----------------------------------|-------------------------------------|
| Cert. of title (less than 3 months old) | <input checked="" type="radio"/> | <input checked="" type="radio"/> | <input checked="" type="checkbox"/> |
| Legal description checked | <input checked="" type="radio"/> | <input type="radio"/> | <input checked="" type="checkbox"/> |
| Street address | <input checked="" type="radio"/> | <input type="radio"/> | <input checked="" type="checkbox"/> |
| Floor level | <input checked="" type="radio"/> | <input type="radio"/> | <input checked="" type="checkbox"/> |
| Building history—listed | <input checked="" type="radio"/> | <input type="radio"/> | <input checked="" type="checkbox"/> |
| Rapid Number required | <input type="radio"/> | <input checked="" type="radio"/> | <input checked="" type="checkbox"/> |
| Current lawful use | House (Home Occupation) | | |

Building classification

| | Yes | N/A | WDC |
|---|----------------------------------|-----------------------|-------------------------------------|
| Housing —Detached | <input type="radio"/> | <input type="radio"/> | <input checked="" type="checkbox"/> |
| - Multi-unit | <input type="radio"/> | <input type="radio"/> | <input checked="" type="checkbox"/> |
| - Group dwelling | <input type="radio"/> | <input type="radio"/> | <input checked="" type="checkbox"/> |
| Outbuildings —Garage, Barn, shed | <input checked="" type="radio"/> | <input type="radio"/> | <input checked="" type="checkbox"/> |
| - Swimming pool | <input type="radio"/> | <input type="radio"/> | <input checked="" type="checkbox"/> |
| - Glasshouse, pergola, other | <input type="radio"/> | <input type="radio"/> | <input checked="" type="checkbox"/> |
| Ancillary — Bridge, Outdoor fire, retaining wall | <input type="radio"/> | <input type="radio"/> | <input checked="" type="checkbox"/> |
| Commercial / Industrial | <input type="radio"/> | <input type="radio"/> | <input checked="" type="checkbox"/> |

Floor area

| | |
|----------------------------------|-----------------------|
| Ground floor | 125.08 M ² |
| Basement | - M ² |
| 1st floor | - M ² |
| 2nd floor | - M ² |
| Outbuildings | 52.5 M ² |
| Decks/balconies | 6.15 M ² |
| Other | M ² |
| Total existing buildings on site | 189.73 M ² |
| Total new work | 32.4 M ² |

Area = 1037.45 m² 21% Coverage

Contact details, address, phone etc.

| Tick where applicable under Yes or Not applicable | Yes | N/A | WDC |
|---|-------------------------------------|-------------------------------------|-------------------------------------|
| Owner's details | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| Agent's details | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| Designer's details | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| Engineer's details | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input checked="" type="checkbox"/> |

Compliance

| Tick where applicable under Yes or Not applicable | Yes | N/A | WDC |
|---|-------------------------------------|--------------------------|-------------------------------------|
| Means of compliance completed (as per application form) | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| Standards—Current version specified | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |

Property Information

Circle where applicable

| Wind Zone | Low | Medium | High | Very High | Specific Design |
|---|-----|-------------------------------------|------|-------------------------------------|-----------------|
| | | <input checked="" type="checkbox"/> | | | |
| Corrosion Zone as defined NZS3604 4.2.3 | | Sea spray zone | | Zone 1 | |
| | | | | <input checked="" type="checkbox"/> | |
| Earthquake Zone | | | | A | |

| Tick where applicable under Yes or Not applicable | Yes | N/A | WDC |
|---|--------------------------|-------------------------------------|-------------------------------------|
| Is the site subject to natural hazards i.e.: flooding, subsidence, slipping etc. | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input checked="" type="checkbox"/> |
| Do the plans show how you are mitigating the risk i.e.: finished floor level etc. | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input checked="" type="checkbox"/> |

Plans

| Tick where applicable under Yes or Not applicable | Yes | N/A | WDC |
|---|-------------------------------------|--------------------------|-------------------------------------|
| Number of sets required (2/3 set required) | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |

Specifications: Project Specific

| | | | |
|--|-------------------------------------|--------------------------|-------------------------------------|
| Number of sets required (2/3 set required) | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
|--|-------------------------------------|--------------------------|-------------------------------------|

Bracing calculations

| | | | |
|---------------------------------|-------------------------------------|-------------------------------------|-------------------------------------|
| Subfloor/Deck (2 sets required) | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input checked="" type="checkbox"/> |
| Wall (per floor) | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |

Structural Engineering

| | | | |
|--------------------------------------|--------------------------|--------------------------|-------------------------------------|
| Number of sets supplied (2 required) | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| Current Producer statement/Calc. | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| Beam layout plan | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| Connection details/truss/lintel/post | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |

Site plan

| Tick where applicable under Yes or Not applicable | Yes | N/A | WDC |
|---|-------------------------------------|-------------------------------------|-------------------------------------|
| Scale 1:100 1:200 1:500 | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| Site area & coverage | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| Fully dimensioned | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| North point & Building Orientation | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| Existing & Proposed building | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| Finished floor level | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| Contours, Datum | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| Extent of cut and fill | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input checked="" type="checkbox"/> |
| Retaining walls/engineer or standard | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input checked="" type="checkbox"/> |
| Septic Tank/Water Tank/Soak Hole | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input checked="" type="checkbox"/> |
| Drainage Plan (S/water & sewer) | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |

Geotechnical Engineering

| | | | |
|--------------------------------------|--------------------------|--------------------------|-------------------------------------|
| Number of sets supplied (2 required) | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| Site plan | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| Soils analysis/report | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| Producer statement | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |

H1 Energy efficiency

| | | | |
|-----------------|--------------------------|--------------------------|-------------------------------------|
| Design—Schedule | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| Calculation | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| Modelling | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |

Risk Matrix

| | | | |
|-------------------------|-------------------------------------|-------------------------------------|-------------------------------------|
| Highest elevation score | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| or | | | |
| All elevations | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> |

Infrastructure

| | | | |
|---|-------------------------------------|-------------------------------------|-------------------------------------|
| Water connection position (new/existing) | <input type="checkbox"/> | <input checked="" type="checkbox"/> | N/A |
| Sanitary sewer connection position (new/existing) | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| Stormwater connection position (new/existing) | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| Level & depths of connections | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input checked="" type="checkbox"/> |
| Stormwater secondary flow path | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input checked="" type="checkbox"/> |
| Sump lid & kerb top levels at outlet | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input checked="" type="checkbox"/> |
| Crown of road level | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input checked="" type="checkbox"/> |
| Vehicle crossing application form | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input checked="" type="checkbox"/> |
| Position of vehicle crossing on site plan | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input checked="" type="checkbox"/> |
| Infrastructure bond application | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |

✓ Cross sections **Floor plans**

| Tick where applicable under Yes or Not applicable | Yes | N/A | WDC |
|--|-------------------------------------|-------------------------------------|-------------------------------------|
| Minimum of one along the length | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| Minimum of one across the width | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| Clear ground levels | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| Footing size | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| Subfloor ventilation | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| Foundation steel—size and centres | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| Masonry and slab/hardfill/dpm | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| Wall framing—sizes, centres, treatment, height, stress grade | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| Wall/ceiling/floor insulation | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| Cladding | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| Cavity and battens | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| Building paper | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| Stairs—tread, rise, pitch, height | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| Decks and balconies/balustrades | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| Linings and finishes | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| Wet area waterproofing/tanking | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> |

| Tick where applicable under Yes or Not applicable | Yes | N/A | WDC |
|---|-------------------------------------|-------------------------------------|-------------------------------------|
| To scale, fully dimensioned, rooms named | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| Window/door sizes and position | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| Fixtures and fittings, smoke detectors | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| Full plumbing layout, pipe sizes etc. | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| Solid fuel heating/heat pump | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| HWC, position and restraint/solar | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| Wall bracing—height, position, type | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |

Foundation Plan

| | | | |
|---|-------------------------------------|-------------------------------------|-------------------------------------|
| Timber floor —Pile size, centres, treatment | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| Footing size | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| Bracing layout type and position | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| Joists and bearers | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| Concrete Floor —Dimensions, bays, mesh size, point load pads, slab thickenings, control joints, supplementary bars | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| Specific design (raft) | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> |

Electrical Plan

| | | | |
|----------------------------------|--------------------------|-------------------------------------|--------------------------|
| Electrical layout | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| Mechanical light and ventilation | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> |

Roof framing plan

| | | | |
|---|-------------------------------------|-------------------------------------|-------------------------------------|
| Pitched roof —Ridge beam, rafters, purlins, building paper, insulation | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| Eaves | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| Pergola/Verandah | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| Trussed roof —Truss type | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| Point loads identified | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| Roof bracing | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| Truss layout/design certificate | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |

Elevations

| | | | |
|---------------------------------|-------------------------------------|-------------------------------------|-------------------------------------|
| • North | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| • South | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| • East | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| • West | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| Height recession plane | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| Wall cladding(s)/control joints | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| Roof cladding(s) | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| Finished floor levels | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| Height in relation to boundary | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| Maximum building height | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |

Weathertightness—Flashing details

| | | | |
|--------------------------------|-------------------------------------|-------------------------------------|-------------------------------------|
| Windows/doors | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| Balconies | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| Parapets/apron/change of pitch | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| Decks | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| Roof and wall junctions | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| More than one cladding | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| Pergola | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| Other penetrations | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> |

| Deck construction | | | | Solid fuel heating | | | |
|---|-----------------------|----------------------------------|-----|---|-----------------------|----------------------------------|-----|
| Tick where applicable under Yes or Not applicable | Yes | N/A | WDC | Tick where applicable under Yes or Not applicable | Yes | N/A | WDC |
| Foundation plan | <input type="radio"/> | <input checked="" type="radio"/> | N/A | Specifications | <input type="radio"/> | <input checked="" type="radio"/> | N/A |
| Pile size, centres, treatment | <input type="radio"/> | <input checked="" type="radio"/> | | Construction details/flashings | <input type="radio"/> | <input checked="" type="radio"/> | |
| Bearer & joist, size, span, treatment | <input type="radio"/> | <input checked="" type="radio"/> | | Floor plan | <input type="radio"/> | <input checked="" type="radio"/> | |
| Stair, balustrade details | <input type="radio"/> | <input checked="" type="radio"/> | | Wetback details | <input type="radio"/> | <input checked="" type="radio"/> | |
| Detail at junction of house | <input type="radio"/> | <input checked="" type="radio"/> | | Smoke Detectors | <input type="radio"/> | <input checked="" type="radio"/> | |

| Fencing of swimming pools | | | | Outbuildings (also must include Site plan details) | | | |
|-----------------------------------|-----------------------|----------------------------------|--|--|-----------------------|----------------------------------|--|
| Pool construction details | <input type="radio"/> | <input checked="" type="radio"/> | | Foundation plan | <input type="radio"/> | <input checked="" type="radio"/> | |
| Pool specification | <input type="radio"/> | <input checked="" type="radio"/> | | Cross-section | <input type="radio"/> | <input checked="" type="radio"/> | |
| In-ground or above-ground | <input type="radio"/> | <input checked="" type="radio"/> | | Wall bracing | <input type="radio"/> | <input checked="" type="radio"/> | |
| Fencing and gate plan | <input type="radio"/> | <input checked="" type="radio"/> | | Roof framing | <input type="radio"/> | <input checked="" type="radio"/> | |
| Fencing/construction details | <input type="radio"/> | <input checked="" type="radio"/> | | Elevations | <input type="radio"/> | <input checked="" type="radio"/> | |
| Floor plan if house forms fencing | <input type="radio"/> | <input checked="" type="radio"/> | | Drainage | <input type="radio"/> | <input checked="" type="radio"/> | |
| Backflow/drainage | <input type="radio"/> | <input checked="" type="radio"/> | | Engineer design/Producer statement | <input type="radio"/> | <input checked="" type="radio"/> | |

PUBLIC USE BUILDINGS

| Fire safety | | | | Public Safety | | | |
|-----------------------------|-----------------------|----------------------------------|--|---|-----------------------|----------------------------------|--|
| Fire design | <input type="radio"/> | <input checked="" type="radio"/> | | Project management plan details for protection of the public (CFPU) | <input type="radio"/> | <input checked="" type="radio"/> | |
| Smoke alarms | <input type="radio"/> | <input checked="" type="radio"/> | | Accessible facilities | | | |
| Sprinkler system | <input type="radio"/> | <input checked="" type="radio"/> | | Carparks | <input type="radio"/> | <input checked="" type="radio"/> | |
| Emergency lights | <input type="radio"/> | <input checked="" type="radio"/> | | Ramps/footpaths | <input type="radio"/> | <input checked="" type="radio"/> | |
| Fire alarm sounders | <input type="radio"/> | <input checked="" type="radio"/> | | Kerb Ramps | <input type="radio"/> | <input checked="" type="radio"/> | |
| Thermal (heat) detectors | <input type="radio"/> | <input checked="" type="radio"/> | | Entrance route | <input type="radio"/> | <input checked="" type="radio"/> | |
| Fire alarm call points | <input type="radio"/> | <input checked="" type="radio"/> | | Lifts | <input type="radio"/> | <input checked="" type="radio"/> | |
| 'Open Path' travel to exits | <input type="radio"/> | <input checked="" type="radio"/> | | Stair design/handrails/landings | <input type="radio"/> | <input checked="" type="radio"/> | |
| Signage | <input type="radio"/> | <input checked="" type="radio"/> | | Counters | <input type="radio"/> | <input checked="" type="radio"/> | |
| Auto doors | <input type="radio"/> | <input checked="" type="radio"/> | | Toilet/bathroom facilities/unisex | <input type="radio"/> | <input checked="" type="radio"/> | |
| HVAC | <input type="radio"/> | <input checked="" type="radio"/> | | Signage | <input type="radio"/> | <input checked="" type="radio"/> | |
| H1—Energy efficiency | <input type="radio"/> | <input checked="" type="radio"/> | | | | | |

| | |
|--|--------------|
| | |
| Designers Signature | |
| JIM RICHARDSON | 15 / 11 / 11 |
| Name of Designer signing: (please print clearly) | Dated |

Comments

| | | | | | | | | | |
|---|---|-------------------|----------------|--|--|------------|------------|--|--|
| Plans OK to accept for Date received: 17-11-11 Received by: GR <small>(print name)</small> | <table style="width:100%; border: none;"> <tr> <td style="border: 1px solid black; padding: 2px; text-align: center;">Processing</td> <td style="border: 1px solid black; padding: 2px; text-align: center;">Recheck</td> </tr> <tr> <td style="text-align: center;"><small>(please circle whichever is applicable)</small></td> <td></td> </tr> <tr> <td style="border: 1px solid black; padding: 2px; text-align: center;">YES</td> <td style="border: 1px solid black; padding: 2px; text-align: center;">N/A</td> </tr> <tr> <td style="text-align: center;"><small>(please circle whichever is applicable)</small></td> <td></td> </tr> </table> Application fee: WDC Vetting Officer: GR 21-11-11 <small>(print name)</small> | Processing | Recheck | <small>(please circle whichever is applicable)</small> | | YES | N/A | <small>(please circle whichever is applicable)</small> | |
| Processing | Recheck | | | | | | | | |
| <small>(please circle whichever is applicable)</small> | | | | | | | | | |
| YES | N/A | | | | | | | | |
| <small>(please circle whichever is applicable)</small> | | | | | | | | | |



**COMPUTER FREEHOLD REGISTER
UNDER LAND TRANSFER ACT 1952
Limited as to Parcels**

Search Copy



R. W. Muir
Registrar-General
of Land

Identifier WN338/127
Land Registration District Wellington
Date Issued 21 July 1926

Prior References

DI 30/388

Estate Fee Simple
Area 1012 square metres more or less
Legal Description Lot 14 Deeds Plan 111

Proprietors

Susan Mary Crowley

Interests

8348316.2 Mortgage to Westpac New Zealand Limited - 30.11.2009 at 9:04 am

Wanganui District Council

PO Box 637, Wanganui

Phone (06) 349-0001

Visit our Web Site www.wanganui.govt.nz

Official Receipt

GST Reg No 51-668-324

17/11/2011

Receipt No: 411559

To: S. Crowley

| <u>Description</u> | <u>Amount</u> |
|---------------------------|-----------------|
| GL Receipt | |
| NOGPRECONSENT | \$410.00 |
| 6 Gibson St - New Carport | |
| Transaction Total: | \$410.00 |
| <hr/> | |
| Amounts Tendered | |
| EFTPOS | \$410.00 |
| Total | \$410.00 |

Printed 17/11/2011 2:52:51p.m.



PREPAID - TAX INVOICE

GST Number 51-668-324

| |
|---------------------|
| Payers Name: |
| S. CROWLEY. |

For Building Consent:

Reference No:

Date: *

YOUR APPLICATION WILL NOT BE PROCESSED UNLESS THE FEE IS PAID

Location of project

Description of project

NEW CARPORT

6 GIBSON ST

Reference

Details

Amount (Incl GST)

- | | |
|---|--------------|
| 1. Building Consent Project Type – application fee (refer to 'Fees and Charges' Form) | 2A \$ 410.00 |
| 2. Resource Consent - deposit | |
| • Land use - Non-Notified | \$ |
| • Subdivision - Notified | \$ |
| 3. Infrastructure Bond | |
| • Non-Refundable Charge | \$ |
| 4. Other - Aerial photographs | \$ |
| - Plan pack Searches | \$ |
| - Rural Rapid Numbers (New) | \$ |
| - Large Plan photocopying A2 | \$ |
| - A0 – A1 | \$ |
| 5. Certificate of Title | \$ |

Total Payable \$ 410.00

WHEN PAID THIS FORM WILL BE PART OF YOUR CONSENT APPLICATION AND MUST BE ATTACHED TO THE CONSENT APPLICATION BEFORE IT WILL BE PROCESSED.

PLEASE RETURN TO CUSTOMER SERVICES

**FILE NOTE:
ASSESSMENT OF BUILDING CONSENT**

| | |
|------------------------|--|
| Applicants Name | Tom Richardson. |
| Activity/Use | New 34.4m ² Carport - |
| Date BC# | 22 November 2011. Brou 11/0646. |
| Address | 6 Gibson Street, Waiqariri |
| Subject | Activities in Residential zones |

THIS NOTE RECORDS THE INITIAL ASSESSMENT MADE OF THE CONSENT APPLICATION. IT ASSESSES WHETHER THE APPLICATION INCLUDES ALL OF THE INFORMATION REQUIRED TO PROCESS THE RESOURCE CONSENT FURTHER.

| Zone: | Residential | Residential |
|--|---|---------------------------------|
| Road Classification: | | local. |
| Site Area: | | 1012. |
| Site Coverage: | 40% $189.73 + 32.4 = 222.13m^2 - 22\%$ | |
| Maximum Height: | 10 metres | 3.2m. |
| Structures (Height Recession Plane): | Front Boundary | 9m |
| | Side Boundary Allowable = 3.3 Actual = 3.2 | 1.3m |
| | Side Boundary | — |
| | Rear Boundary | 22m |
| | (plus exemptions) | Not Required. |
| Multi Unit Development (detached): | Height recession plane applies from a notational boundary | — |
| Accessory Building | Garage or accessory building located in front of principal building | located on line with dwelling - |
| Conjoined multi unit developments and residential care facilities | D= L = 3H/10 i. Site amenity 30m ² ii. Upper story units iii. Storage space | — |

| | | |
|-------------------------------------|---|-------------------|
| Noise: | | — |
| Light: | | — |
| Advertising | | — |
| Access: | Minimum 1 access to be provided 3.5 metres maximum for single dwelling Check for landscaping (i.e. street trees), street furniture, and services in road reserve. | Existing |
| Parking: | | Provided for. |
| Traffic Generation | Non-residential activities to accommodate no more than: 50 people or less – access from local road 100 people or less – other roads | — |
| Easements | | No Easements. |
| Building Over Boundary? | If YES, complete Section 75 Building Act | Not over boundary |
| Development Contribution | | — |
| Archaeological site? | | — |

Decision and any other matters not contained in table above including further information for building consent purposes:

Further Information Received? Yes/No
Decision:

Is resource consent required? Yes/No
Letter sent out? Yes/No

Yes/No

Date: 22 November 2011

ASSESSED AS:
Restricted Discretionary Activity
Breaches:

Sh. [Signature]

Non-complying Activity
Breaches:

Building Consent
Process check sheet – Minor Work – Alterations only (No Peer Review)



| | | |
|----------------------|-------------------------------|---|
| Approved = ✓ | More information required = X | Not Applicable = N/A If a sub element is not relevant choose N/A |
| Address: | 6 Gibson st | |
| Building Consent No: | 11/0606 | Date: 24-11-11 |
| Consent Officers: | BL | |
| Description: | carport | |

| Approved Document ref | Elements | Sub Elements | Comments | Result | Recheck |
|-----------------------|---------------------|------------------------------------|-----------------|--------|---------|
| Site | Positioning | Siting | | ✓ | |
| NZBC Clause | | | | | |
| B1 | Structure | NZS3604, P/S1 and Engineers calc's | 3604 | ✓ | |
| B2 | Durability | | ✓ 3602 | ✓ | |
| C | Means of escape | | unchanged | ✓ | |
| E1 | Surface Water | | to exist system | ✓ | |
| E2 | External Moisture | | | ✓ | |
| E3 | Internal Moisture | | | N/A | |
| F2 | Glazing | NZS4223/Safety Glass | | | |
| F4 | Safety from falling | | | | |
| F7 | Warning Systems | | | | |
| G1 | Personal Hygiene | | | | |
| G4 | Ventilation | | | | |
| G7 | Natural light | | | ✓ | |
| G12 | Water Supplies | | | | |
| G13 | Foul Water | | | | |
| H1 | Energy Efficiency | | | | |
| Accessibility | | | | | |
| Other | | | | | |

Important note: This checklist is a guide for use by an authorized WDC Officer only, for establishing compliance with the Building Code as part of the vetting and Building Consent application.

Tick

Application Suspended:

I confirm that I have evaluated the proposed project against all items in the checklist

Application Approved:

I confirm that I have evaluated the proposed project against all items in the checklist.

Based on the information provided by the applicant, the project complies with the Building Code.



INSPECTION TIME REPORT

Building Consent Number BCon11/0646

| <i>Consent or Alteration Number</i> | <i>Estimated Inspection Time</i> | <i>Actual Inspection Time</i> | <i>Inspection Time Difference</i> |
|--|---|--|--|
| BCon11/0646 | 200 | 0 | 200 |
| <i>Inspection Time Difference</i> | | | |
| At BC Issue | <i>Time to be charged.</i> | | 200 |
| At Completion | Positive amount = time to be credited Negative amount = time to be charged | | |

Signed for and on behalf of the Wanganui District Council

*Processing
110*



INSPECTION RECORD

This record, together with the Building Consent and approved plans, is to remain on the construction site at all times.

| | | | |
|---|--|--|--------------------|
| Project Location | TO BOOK AN INSPECTION PLEASE PHONE WDC BUILDING CONTROL ON 349 0001 AND QUOTE THE FOLLOWING APPLICATION NUMBER: | | BCon11/0646 |
| 6 Gibson St WANGANUI | | | |
| Applicant | Description of Work | | |
| Mrs SM Crowley 6 Gibson Street Aramoho Wanganui 4500 | New 32.4m2 Detached Carport | | |
| Builder | Plumber | Drainlayer | |
| Mr DR Butler 42 Pauls Road RD 3 Wanganui 4573 | No associations of type Plumber are linked to this application | No associations of type Drain Layer are linked to this application | |

SUMMARY OF CONDITIONS

Building Consent Number BCon11/0646

PIM Conditions

| Code | Condition |
|------|--|
| | All work on the project must comply with the requirements of the NZ Building Code. |
| | A PIM only document is not an approval to build. A Building Consent is required before building work commences. |
| | W.D.C will follow up on building work not completed within two years of building consent issue. |
| | A Building Consent lapses and is of no effect if the building work has not been started within 12 months of the date of issue. |
| | If the building is public premises it may not be occupied until either a code compliance certificate or certificate for public use has been issued. |
| | Please note [Electrical, and Gasfitting subtrades do not form part of the building consent inspection process. However, Council is required to receive 'Energy Certificates' from both of these trades before issue of a Code Compliance Certificate]. |

Building Consent Conditions

| Code | Condition |
|------|-----------|
| | |

Your project's inspections are listed on the next page...



Please Note: A minimum of 24 hours notice is required for the booking of an inspection. The inspection record sheet and accompanying building consent documentation must be on site for use by the inspector at the time of the inspection.

All inspections are to be carried out by BCA Building Inspectors unless prior arrangements have been made by the BCA to have an approved qualified person inspect specific items (eg. Engineer). Inspections shall be carried out in accordance with the attached schedule of inspection types. It is the owner's responsibility to ensure all necessary inspections are carried out as required. Please contact WDC if you are unsure what requires inspection – do not cover or enclose any building work without inspection.

Note: Further inspections may incur additional cost at time of Code Compliance Certificate issue.

| Inspections Record For Building Consent Number BCon11/0646 | | | | | | |
|---|---|-------------|------------------|---------------------------|------------------|--------------|
| <i>Inspection</i> | <i>When to Request</i> | <i>Date</i> | <i>Inspector</i> | <i>Complies with Code</i> | <i>Reinspect</i> | <i>Notes</i> |
| CONCRETE SLAB INSPECTION | Prior to placing Concrete | | | | | |
| BUILDING PRELINE INSPECTION | Before Internal linings are fixed. | | | | | |
| POST LINE INSPECTION | To inspect fixings. Prior to covering up. | | | | | |
| FINAL BUILDING INSPECTION | On Completion | | | | | |



BUILDING CONSENT NUMBER BCon11/0646

Section 51, Building Act 2004

The building:

| | |
|------------------------------------|---|
| Street address of building: | Legal description of land where building is located: |
| 6 Gibson St WANGANUI | LOT 14 DEED 111 0.1012 Ha |
| Building name: | Location of building within site/block number: |
| | |
| Level/unit number: | |
| | |

The owner:

| | |
|---------------------------------------|--|
| Name of Owner: | |
| Mrs SM Crowley | |
| Mailing address: | Street Address/registered Office: |
| 6 Gibson Street Aramoho Wanganui 4500 | 6 Gibson Street Aramoho Wanganui 4500 |

Phone numbers:

| | | | |
|--------------------------|---------|---------------------|--|
| Landline: | 3436455 | Mobile: | |
| Daytime: | | After hours: | |
| Facsimile number: | | | |
| Email address: | | Website: | |

First point of contact for communications with the building consent authority:

| | |
|---|--|
| Contact Person: | |
| Mrs SM Crowley | |
| Mailing address: | Street Address/registered Office: |
| 6 Gibson Street, Aramoho, Wanganui 4500 | 6 Gibson Street, Aramoho, Wanganui 4500 |

Phone number:

| | | | |
|--------------------------|---------|---------------------|--|
| Landline: | 3436455 | Mobile: | |
| Daytime: | | After hours: | |
| Facsimile number: | | | |
| Email address: | | Website: | |

Building Work

The following building work is authorised by this consent

| |
|-----------------------------|
| Project |
| New 32.4m2 Detached Carport |

| <i>Intended Use</i> | <i>Intended Life</i> |
|------------------------------------|-----------------------------|
| Carport | 50 Years |
| <i>Estimated Value (\$)</i> | |
| \$18000.00 | |

This building consent is issued under section 51 of the Building Act 2004. This building consent does not relieve the owner of the building (or proposed building) of any duty of responsibility under any other Act relating to or affecting the building (or proposed building). This building consent also does not permit the construction, alteration, demolition, or removal of the building (or proposed building) if that construction, alteration, demolition or removal would be in breach of any other Act.



CONDITIONS OF BUILDING CONSENT NUMBER BCon11/0646

Section 51, Building Act 2004

This Building Consent is issued Subject to the following conditions:

***Building Act 2004, Section 90:
Inspections by Building Consent Authorities***

Agents authorised by the building consent authority for the purposes of this section are entitled, at all times during normal working hours or while building work is being done, to inspect

- (a) land on which building work is being or is proposed to be carried out; and
- (b) building work that has been or is being carried out on or off the building site; and
- (c) any building.

Informative notes:

- [Informative note: The Building Consent, conditions, inspection sheet, and approved plans must be kept on site at all times until completion of the project.]
- [Informative note: Failure to request inspections will risk the non-issuing of a code compliance certificate and the structure may be deemed non-complying.]
- [Informative note: Any inspection time required over and above that allowed may incur a further charge.]
- [Informative note: Under Section 52, a building consent lapses and is of no effect if the building work to which it relates is not commenced within 12 months after the date of issue.]
- [Informative note: Under Section 93, if the owner has not made application within 24 months, the BCA (Building Control Authority), must decide whether or not to issue a CCC (Code Compliance Certificate).]

Compliance Schedule:

A compliance schedule (CS) is not required for this building.

#Attachments

‡Copies of the following documents are attached to this building consent:
‡Project information memorandum number BCon11/0646'

Signed for and on behalf of the Wanganui District Council

A handwritten signature in black ink, appearing to read 'D M Hall'.

D M Hall
Senior Building Control Officer

Date: 25 November, 2011



PROJECT INFORMATION MEMORANDUM NUMBER BCon11/0646

Section 34, Building Act 2004

Mrs SM Crowley
6 Gibson Street
Aramoho
Wanganui 4500

Issue Date:

| Project Location | Assessment Number/Legal Description |
|-------------------------------------|--|
| 6 Gibson St WANGANUI | LOT 14 DEED 111 0.1012 Ha |
| Category | Description of Work |
| Minor Building Work (req. 2 insps.) | New 32.4m2 Detached Carport |
| Intended Life | Estimated Value (\$) |
| 50 Years | 18000.00 |

This Project Information Memorandum is confirmation that the proposed work may be undertaken, subject to the provisions of the Building Act 2004 and any requirements of the Building Consent (number BCon11/0646), which has been granted.

This Project Information Memorandum is subject to the following conditions:

- **All work on the project must comply with the requirements of the NZ Building Code.**

Signed for and on behalf of the Wanganui District Council

A handwritten signature in black ink, appearing to read 'D M Hall', is written over a faint, illegible stamp.

D M Hall
Senior Building Control Officer

Date: 25 November, 2011

101 Guyton Street
P O Box 637, Wanganui
Phone: (06) 349 0001
Fax: (06) 349 0000
Email: wdc@wanganui.govt.nz
Web: www.wanganui.govt.nz



26 November 2013

Mrs Susan M Crowley
6 Gibson Street
Aramoho
Wanganui 4500

Dear Sir or Madam:

Application Number: BCon11/0646
Location: 6 Gibson St WANGANUI
Description: New 32.4m2 Detached Carport

We are writing to you again with respect to the above building project. Approximately 4 months ago we wrote to you outlining your obligations which relate to the completion of your building project within a 2 year time period.

If your project is/was completed within the 2 year time frame from the granting of your consent, and you applied for a Code Compliance Certificate (CCC) within this time, then we would have issued a CCC if the project complied fully with the drawings & Building Code.

According to Council records we have not received an application for a CCC, accompanied with the required attachments. There is a statutory requirement in the Building Act legislation that requires us to decide whether or not to issue a CCC. In your case, the 2 years have expired since the granting of your building consent and hence Council has made the decision that we will not be issuing a CCC (at this time). However, this does not mean that you cannot, in the future, request and receive a CCC.

Should the project be delayed substantially past the 2 year time frame, Council has additional remedies, such as 'denoting' durability requirements or issuing a Notice to Fix if the project is abandoned etc.

The Code Compliance Certificate is an extremely important document that may influence the sale of your property or have insurance implications in the future.

In summary, we are here to help you get your project compliant within the time frames set by Government Legislation. If you need more time or are experiencing difficulties, then please contact us to discuss further.

Yours Sincerely

Tracy Brown
Customer Service Advocate

Greg Hoobin

From: Tracy Brown
Sent: Tuesday, 17 September 2013 1:41 p.m.
To: Greg Hoobin
Cc: Contacts WDC
Subject: FW: 6Gibson St

One for you thanks Greg

-----Original Message-----

From: Susan Crowley [mailto:isusanmary@hotmail.com]
Sent: Tuesday, 17 September 2013 1:25 p.m.
To: Contacts WDC
Subject: 6Gibson St

Attn. Greg Hoobin
BCon11/0646
6 Gibson St

I am writing to ask you that you for an extension of time for the building project at 6 Gibson St as we need more time to gather funds. Hoping to start the project well into next year.
This is a reply to letter sent 29 July 2013 Thank you . Regards Sue Crowley

Sent from my iPad

101 Guyton Street
P O Box 637, Wanganui
Phone: (06) 349 0001
Fax: (06) 349 0000
Email: wdc@wanganui.govt.nz
Web: www.wanganui.govt.nz



COPY

29 July 2013

Mrs Susan M Crowley
6 Gibson Street
Aramoho
Wanganui 4500

Dear Sir or Madam:

Application Number: BCon11/0646
Location: 6 Gibson St WANGANUI
Description: New 32.4m2 Detached Carport

We are writing to remind you that all building projects should be completed within two years and that your project is expected to be completed by **25th November 2013**. Our records show that it is over 20 months since consent was granted for your building project. Therefore, there are important decisions that you will soon have to make.

If your project has been totally completed (or will be before the two year expiry date) then please submit your completed Code Compliance Certificate application with all relevant documentation and/or arrange for your final inspection. If your project has met all the requirements of your approved building consent documents a Code Compliance Certificate will be issued within 20 working days.

If your project is not completed by **25th November 2013** Council is obligated to make a decision to either issue a Code Compliance Certificate or refuse to issue a Code Compliance Certificate stating the reasoning behind the decision. If your Code Compliance Certificate is refused you have the option of applying to the Department of Building and Housing for a determination. You should also be aware that building work under a building consent, for which a Code Compliance Certificate has not been issued, may impact on insurance cover for your property and may complicate any future sale of the property.

As always, we are here to assist you to achieve a successful outcome for your building project. If you have any concerns or wish to discuss your project further then please do not hesitate to contact us.

Yours Faithfully

Greg Hoobin
Building Control Officer

101 Guyton Street
P O Box 637, Wanganui
Phone: (06) 349 0001
Fax: (06) 349 0536
Email: wdc@wanganui.govt.nz
Web: www.wanganui.govt.nz



29 October 2012

**Mrs Susan M Crowley
6 Gibson Street
Aramoho
Wanganui 4500**

Dear Sir or Madam:

Application Number: BCon11/0646
Location: 6 Gibson St WANGANUI
Description: New 32.4m2 Detached Carport

We are writing to you again to confirm a requirement of the Building Act 2004. All building consents issued after 1 April 2005 are required to have work commence within 12 months from the date of issue.

Our records indicate that work may not have started on your project.

This letter is to advise you that your building consent is due to lapse within 1 month. Please confirm in writing within **10 working days** indicating whether work has started on your project so we can update our records. If you are contemplating not starting your project within the required timeframe and wish to cancel your consent then please advise Council accordingly.

Council may, depending on the circumstances allow you to extend this timeframe but will require supporting documentation in writing to allow us to make an informed decision.

If you do not respond to this reminder your building consent will automatically lapse on **25 November 2012** as Council has deemed that this project has not commenced within the 12 month period after the date of issue of the building consent. Any work undertaken on a lapsed consent after this date will be deemed illegal work under the Building Act 2004 and may be subject to legal action by Council. If a building consent has lapsed a new application will be required, meeting current building codes etc for the project to restart.

As always, we are here to assist you to achieve a successful outcome for your building project. If you have any concerns or wish to discuss this letter or your project further then please do not hesitate to contact us.

Yours Faithfully

Greg Hoobin
Building Control Officer

101 Guyton Street
P O Box 637, Wanganui
Phone: (06) 349 0001
Fax: (06) 349 0536
Email: wdc@wanganui.govt.nz
Web: www.wanganui.govt.nz



16 January 2012

Reminder Letter

Mrs SM Crowley
6 Gibson Street
Aramoho
Wanganui 4500

Dear Sir or Madam

RAMS DEBTORS ACCOUNT NO: BCon11/0646

The above building consent was issued on the 25 Nov 2011 and was due for payment on the 28 Dec 2011. The overdue amount is \$397.15.

In accordance with the Wanganui District Council's Terms of Trade, this invoice is now overdue. The Wanganui District Council's Terms of Trade document can be obtained from our website www.wanganui.govt.nz

If there is any reason why this invoice is not being paid can you please contact me on 06 349-0001.

I look forward to this matter being resolved.

Yours sincerely

Gina Wroe
Finance & Admin Officer

SCOPE OF WORKS:

- To extend the existing house gable as a Carport.
- Lay new 100mm 20 mPa reinforced slab, & erect lightweight Carport over, 6M x 5.43M, with a gable to the side, which avoids the Height Recession Plane (HRP).
- The side & rear will be mainly open, with short walls acting as bracing.

SPECIFICATION:

1. All work shall be to:

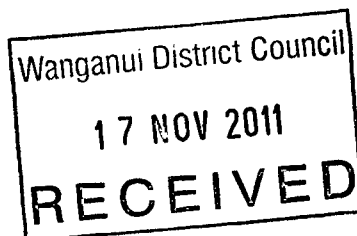
- NZ Building Code, NZS 3604:2011 & subsequent amendments.
- B1 for Structure, B2 for Durability, E1 Surface Water, E2 for External Moisture,
- G7 for Natural Light, G8 for Artificial Light, G9 for Electricity,
- Manufacturers written instructions, & the enclosed drawings and specifications,
- NZS 3910:2003 (Conditions of Contract) where applicable, and good trade practice.
- Provide all necessary compliance documentation at conclusion of all work.
- Check all dimensions on site prior to fabrication. Install shall mean supply and fix.
- Make good all surfaces on completion of work, and to match existing.
- Liase with the Local Authority, with regards to inspections.

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Consent No.

2. Remove the existing path. Strip topsoil, & form compacted base for the slab.
3. Construct the 100mm thick slab with 665 mesh & foundation reinforcing as shown. Provide recess to reinstate the pathway. Retain part of the existing garden, with irrigation system. Tie the slab to the existing house with 3 12mm dynabolts each side.
4. Erect a timber framed Carport, 5.430M wide x 6M long on this slab, using 90 x 45 H1.2 SG 8 framing at 600mm crs. Brace roof with Dragon Ties attached to the top plate in each corner, approx 2.4M long, at 45 degrees. Bolt bottom plate to slab with M12 bolts at 1200mm crs & 300 at corners, & as required for bracing panels.
5. Weathertightness Matrix. Generally the walls have a score of 3, therefore, direct fixing of rusticated weatherboards is compliant. Ensure the gutter protrudes beyond the cladding line by at least 101mm (a gutter alone should achieve this).
6. Install Proprietary timber truss roof as per design, with 75 x 50 H3.2 purlins at 900mm crs max. Roofing shall be Corrugated Zinalume on building paper over nylon straps. Place tinted translucent sheeting on rear slope only, to provide good lighting to the Kitchen.
7. Install 100mm slab on sand blinding, with footing 300mm min into the ground, with 2, D12 reinforcing rods & R10 ties at 600mm crs.
8. Clad walls with painted H3.1 Rusticated weatherboards to the Owners approval. Line the inside portion of the walls with 9mm H3 Plywood, fixed as bracing panels.
9. Install PVC spouting, & connect to existing downpipe, which drain to the kerb by a separated stormwater drain.
10. Extend the existing sealed driveway, on 150mm compacted shellrock up to the new carport.
11. Liase with the Local Authority with regards to inspections.



Design Lines

2000 Limited

JIM RICHARDSON

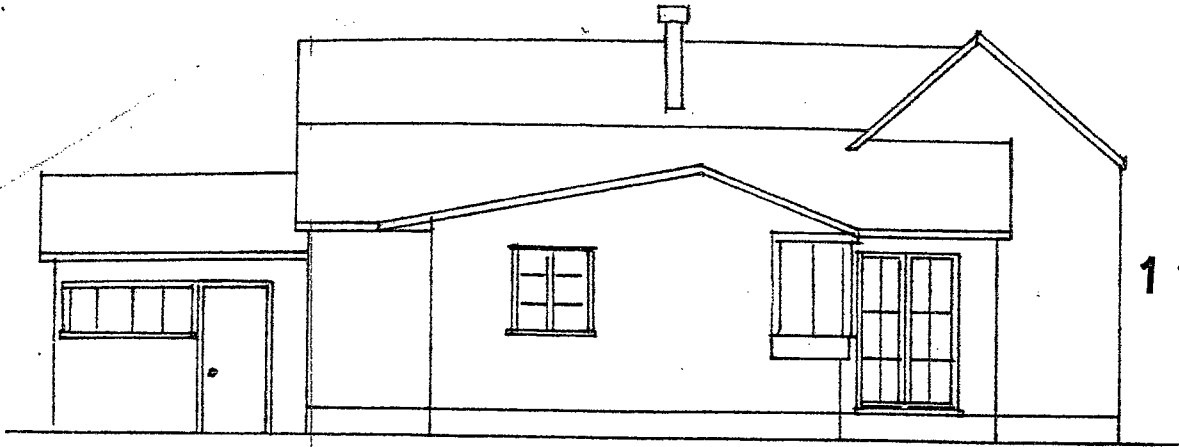
Architectural Designer Phone 0274 578 390

NEW CARPORT,

**6 GIBSON STREET,
WANGANUI**

SPECIFICATION & SCOPE OF WORKS

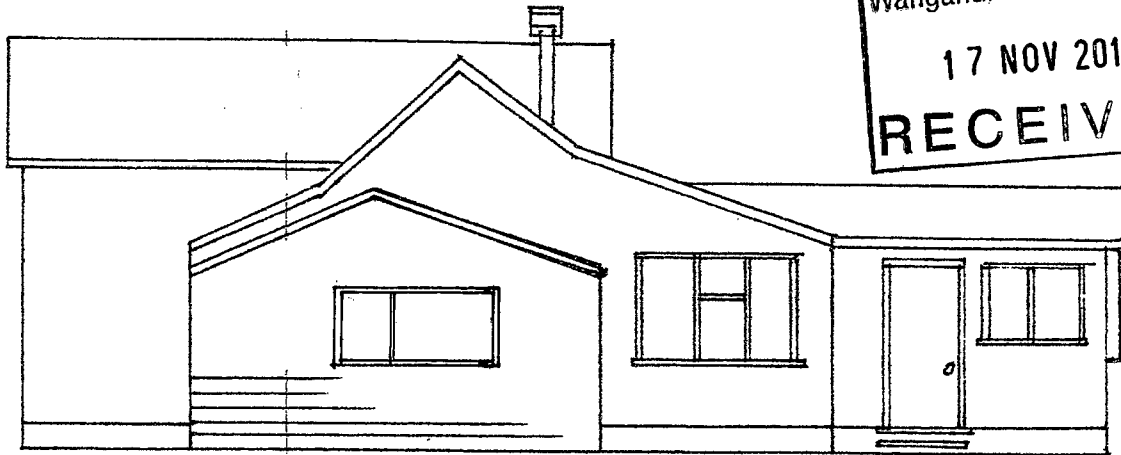
SHEET 1



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11/0646

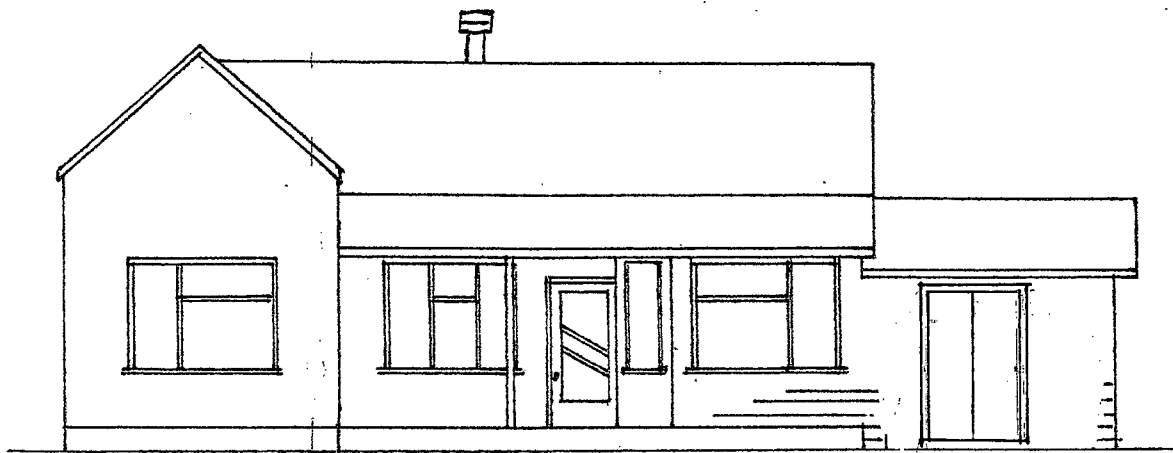
Consent No.

NORTH - EAST

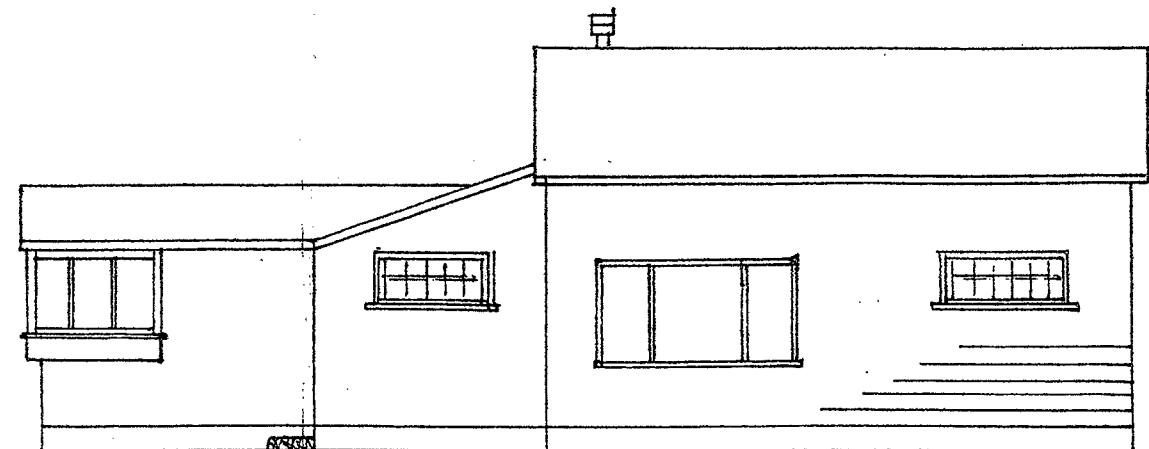


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SOUTH - EAST



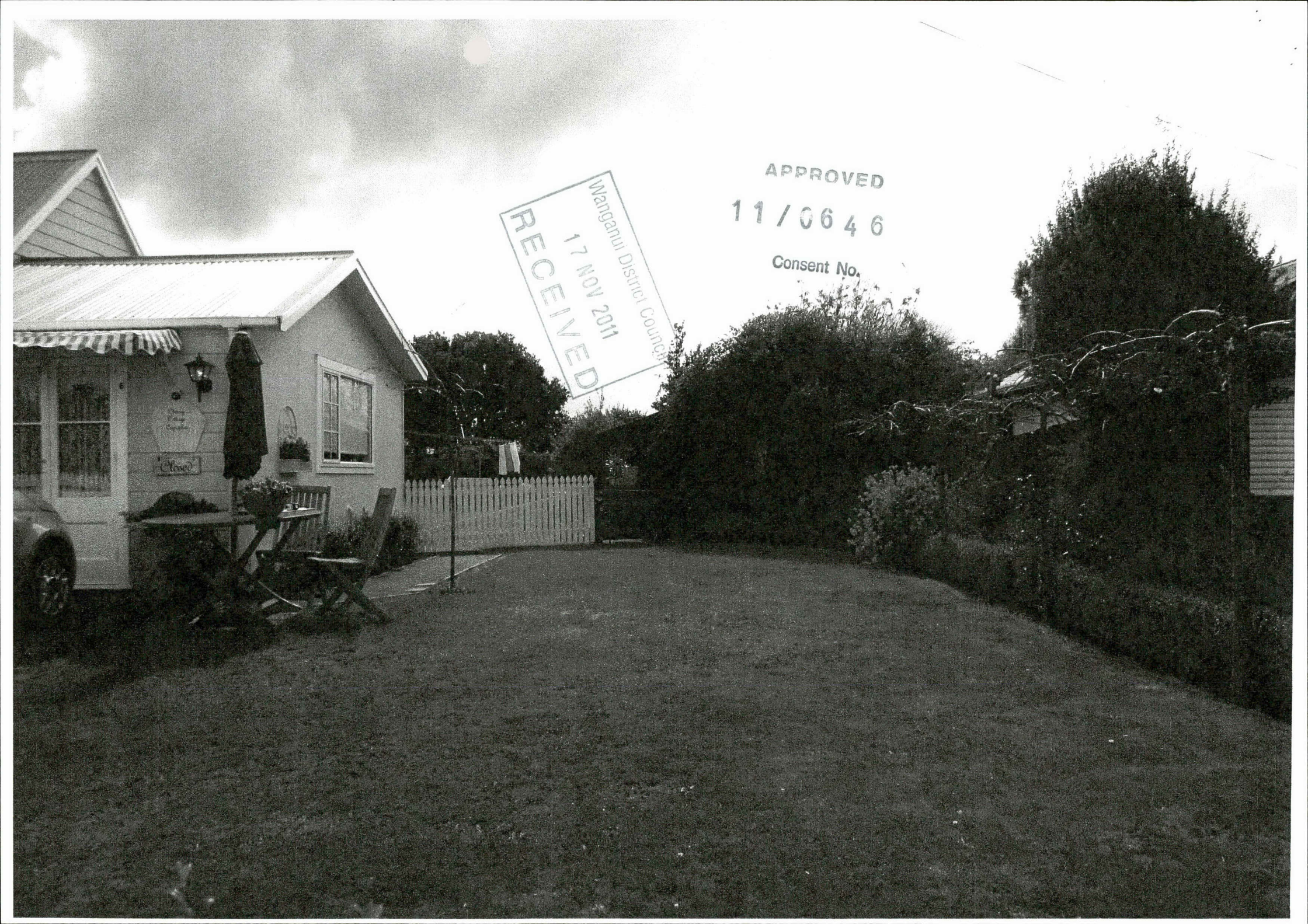
SOUTH - WEST



NORTH - WEST

EXISTING ELEVATIONS 1:100

6 - Gibson Street



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Wanganui District Council

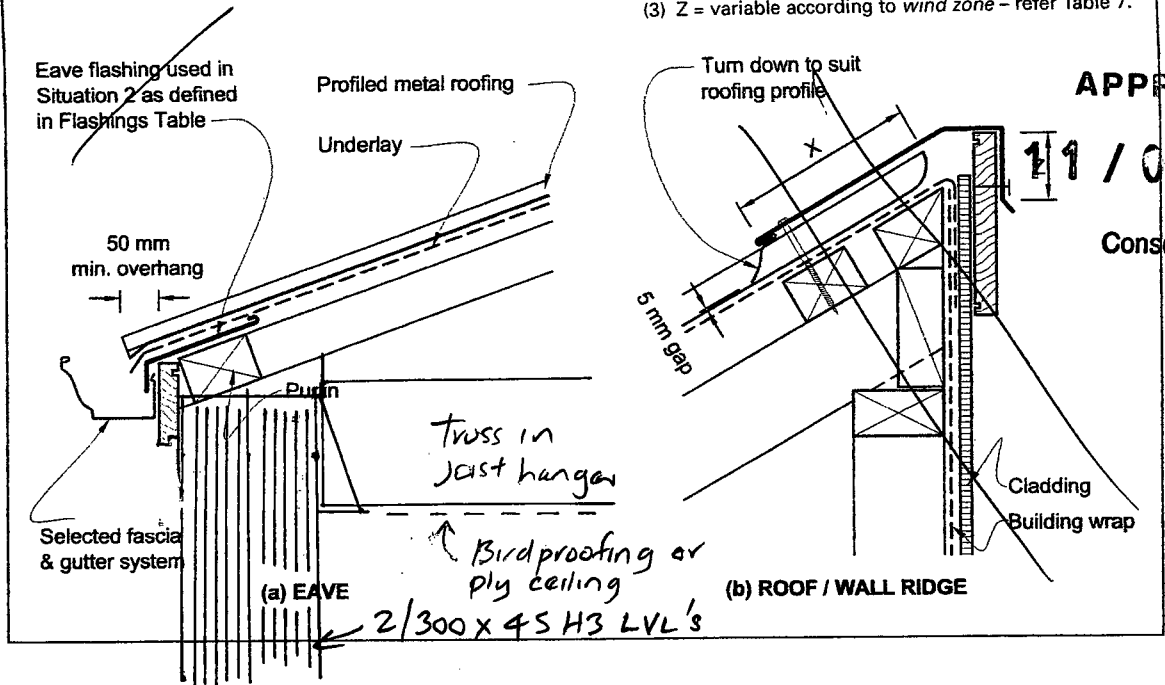
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Consent No.

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Figure 45: Eaves and roof/wall ridge for profiled metal
Paragraph 6.4.12 c)

NOTE: (1) Situation 2 – Flashings table – refer Table 7.
(2) X = variable according to wind zone – refer Table 7.
(3) Z = variable according to wind zone – refer Table 7.



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Consent No.

Figure 46: Ridge and hip flashings for profiled metal
Paragraphs 4.6.1.2 and 8.4.12 d)

NOTE: X = variable according to wind zone – refer Table 7.

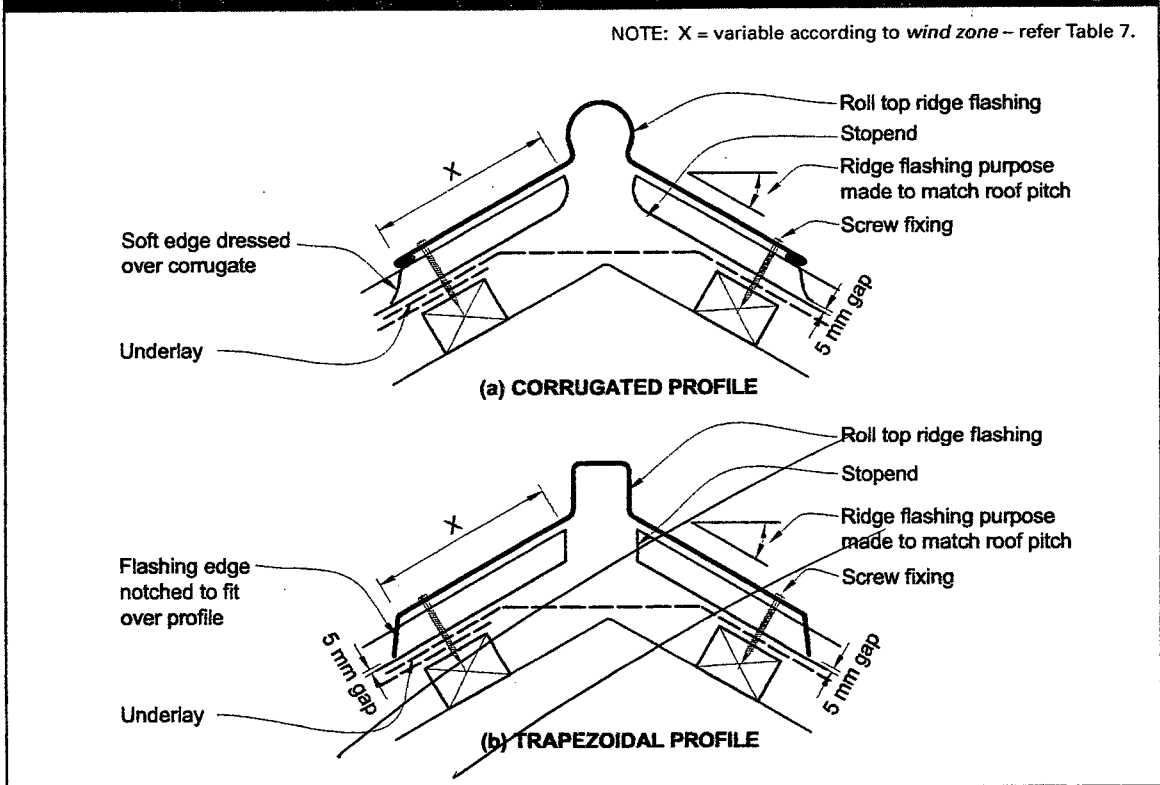
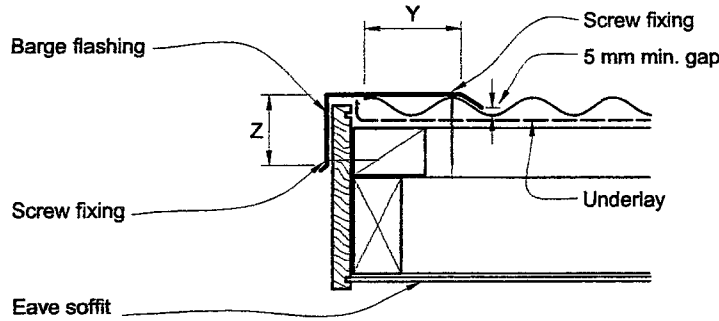
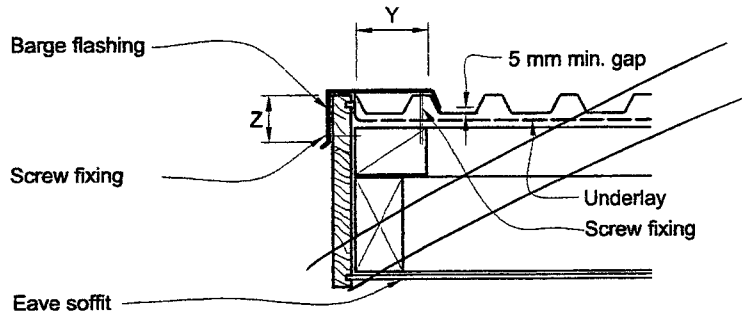


Figure 47: Barge flashings for profiled metal
 Paragraphs 4.6.1.5 and 8.4.12 e)

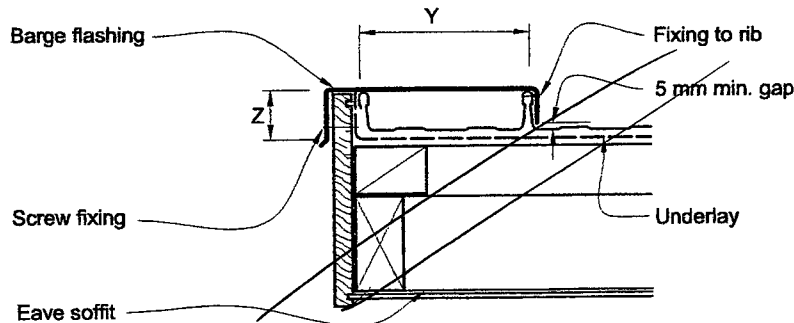
NOTE: (1) Y = variable according to wind zone – refer Table 7.
 (2) Z = variable according to wind zone – refer Table 7.



(a) CORRUGATED PROFILE



(b) TRAPEZOIDAL PROFILE



(c) TROUGH PROFILE

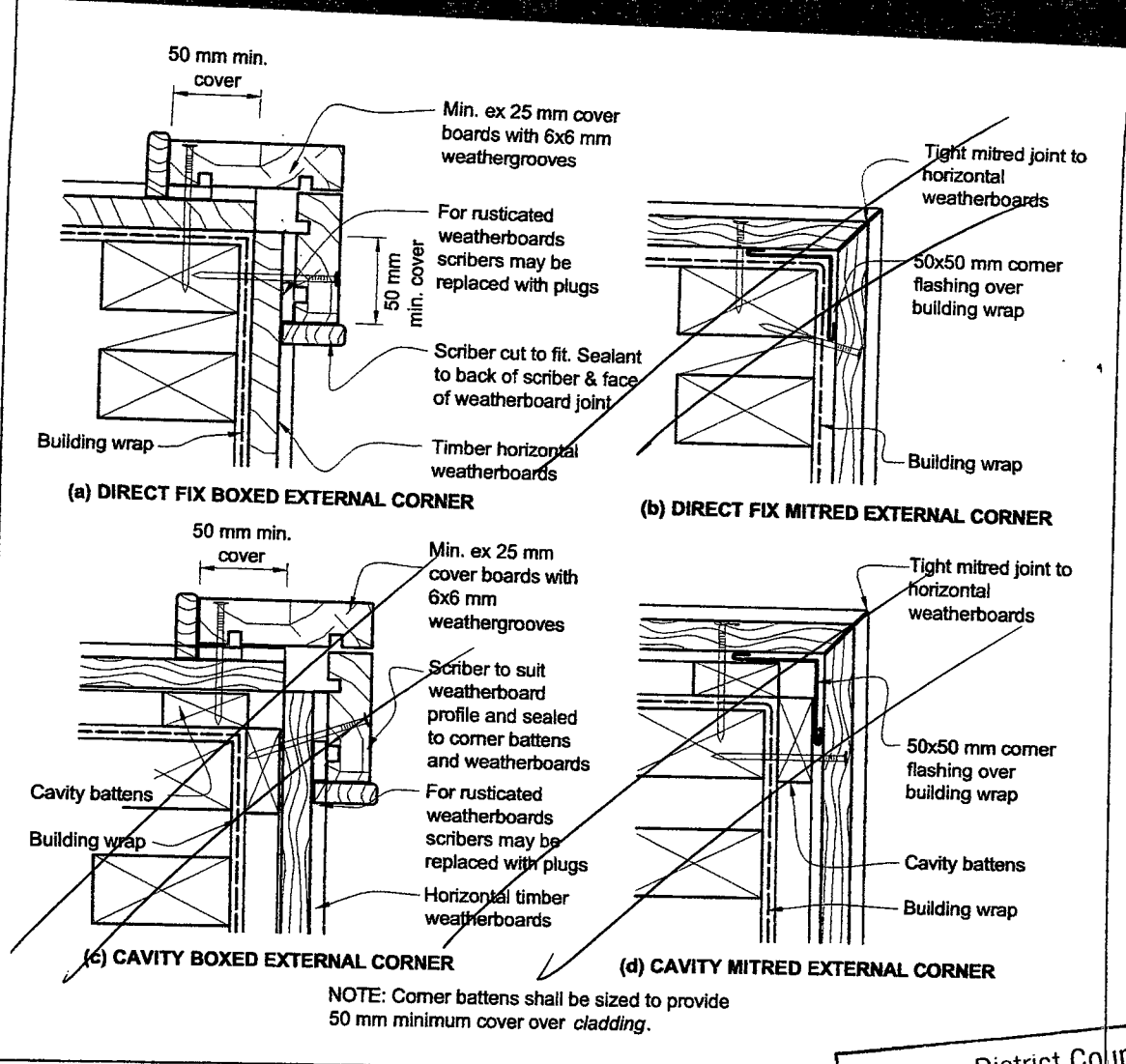
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Figure 78: External corners for horizontal weatherboards
 Paragraphs 9.4.4.4 a) and b)



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GIB EzyBrace® 2011 Software



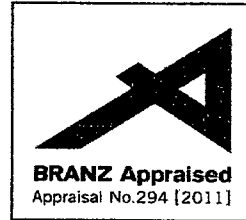
Demand Calculation Sheet

single storey

V06/11

Job Details

Name Sue Crowley
 Street and Number 6 Gibson St
 Lot and DP Number Lot 14 Deed 111
 City/Town/District Wanganui
 Designer Jim Richardson
 Company Name Design Lines 2000 Ltd
 Date 18.10.11



Building Specification

Select Lining Option

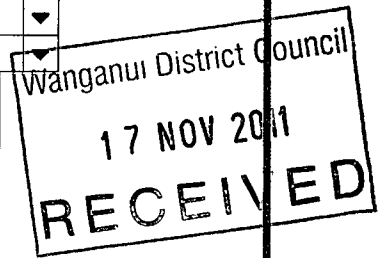
10 or 13 mm GIB® Plasterboard

Number of storeys single
 Floor Loading 2kPa
 Foundation Type slab

Single Floor
 Cladding Weight light
 Roof Weight light
 Room in Roof Space no
 Roof Pitch (degrees) 23
 Roof height above eaves (m) 1.0
 Building height to apex (m) 3.5
 Ground to lower floor level (m) 0.1

Complete Single Floor Column only

Stud Height (m) 2.4
 Building Length (m) 6.0
 Building Width (m) 5.5
 Building Plan Area (m2) 33



Building Location

Wind Zone High
 Select by Building Consent Authority Map or Preference High
 Wind Region Preference selected
 Lee Zone Preference selected
 Ground Roughness Preference selected
 Site Exposure Preference selected
 Topographic Class Preference selected

Earthquake Zone 3
Soil Type D&E (deep to very soft)
Annual exceedance probability 1/500 (NZS3604:2011 default)

Bracing Units required for Wind

| Demand W (BU) | | Walls single |
|---------------|------|--------------|
| along | slab | 209 |
| across | slab | 187 |

Bracing Units required for Earthquake

| Demand along / across E (BU) | |
|------------------------------|--------|
| Walls | single |
| slab | 175 |

17 NOV 2011

6 GIBSON ST

Amend 5
Aug 2011

Table 2: Building envelope risk scores
Paragraph 3.1.2, Figure 1

| Risk factor | Risk severity | | | | VERY HIGH (1) score | Subtotals for each risk factor |
|---|-----------------------|-----------------|---------------|------------------------|------------------------|-----------------------------------|
| | LOW score | MEDIUM score | HIGH score | VERY HIGH (1) score | | |
| | SOUTH (FRONT) & NORTH | | | | | |
| Wind zone (per NZS 3604)(1) | 0 | 0 | 1 | 2 | | |
| Number of storeys | 0 | 1 | 2 | 4 | | |
| Roof/wall intersection design | 0 | 1 | 3 | 5 | | |
| Eaves width | 0 | 1 | 2 | 5 | | |
| Envelope complexity | 0 | 1 | 3 | 6 | | |
| Deck design | 0 | 2 | 4 | 6 | | |
| Total risk score for use in Table 3: | | | | | 3 | |

(Enter the appropriate risk severity score for each risk factor in the score columns. Transfer these figures across to the right-hand column. Finally, add up the figures in the right-hand column to get the total risk score.)

Amend 5
Aug 2011

NOTE: (1) For buildings in Extra High wind zones, refer to Tables 1 and 3 for rigid underlay and drained cavity requirements.

Amend 5
Aug 2011

APPROVED

10646

Consent No.

| Risk factor | Risk severity | | | | VERY HIGH (1) score | Subtotals for each risk factor |
|---|---------------|-----------------|---------------|------------------------|------------------------|-----------------------------------|
| | LOW score | MEDIUM score | HIGH score | VERY HIGH (1) score | | |
| | EAST / SIDE | | | | | |
| Wind zone (per NZS 3604)(1) | 0 | 0 | 1 | 2 | | |
| Number of storeys | 0 | 1 | 2 | 4 | | |
| Roof/wall intersection design | 0 | 1 | 3 | 5 | | |
| Eaves width | 0 | 1 | 2 | 5 | | |
| Envelope complexity | 0 | 1 | 3 | 6 | | |
| Deck design | 0 | 2 | 4 | 6 | | |
| Total risk score for use in Table 3: | | | | | 3 | |

(Enter the appropriate risk severity score for each risk factor in the score columns. Transfer these figures across to the right-hand column. Finally, add up the figures in the right-hand column to get the total risk score.)

| Risk factor | Risk severity | | | | VERY HIGH (1) score | Subtotals for each risk factor |
|---|---------------|-----------------|---------------|------------------------|------------------------|-----------------------------------|
| | LOW score | MEDIUM score | HIGH score | VERY HIGH (1) score | | |
| Wind zone (per NZS 3604)(1) | 0 | 0 | 1 | 2 | | |
| Number of storeys | 0 | 1 | 2 | 4 | | |
| Roof/wall intersection design | 0 | 1 | 3 | 5 | | |
| Eaves width | 0 | 1 | 2 | 5 | | |
| Envelope complexity | 0 | 1 | 3 | 6 | | |
| Deck design | 0 | 2 | 4 | 6 | | |
| Total risk score for use in Table 3: | | | | | 6 | |

(Enter the appropriate risk severity score for each risk factor in the score columns. Transfer these figures across to the right-hand column. Finally, add up the figures in the right-hand column to get the total risk score.)

Direct Fix
Rust coated
Weather bolts
Comply

| Risk factor | Risk severity | | | | VERY HIGH (1) score | Subtotals for each risk factor |
|---|---------------|-----------------|---------------|------------------------|------------------------|-----------------------------------|
| | LOW score | MEDIUM score | HIGH score | VERY HIGH (1) score | | |
| Wind zone (per NZS 3604)(1) | 0 | 0 | 1 | 2 | | |
| Number of storeys | 0 | 1 | 2 | 4 | | |
| Roof/wall intersection design | 0 | 1 | 3 | 5 | | |
| Eaves width | 0 | 1 | 2 | 5 | | |
| Envelope complexity | 0 | 1 | 3 | 6 | | |
| Deck design | 0 | 2 | 4 | 6 | | |
| Total risk score for use in Table 3: | | | | | 6 | |

(Enter the appropriate risk severity score for each risk factor in the score columns. Transfer these figures across to the right-hand column. Finally, add up the figures in the right-hand column to get the total risk score.)

LINTELS

In Single or Upper Storey Load Bearing (Supporting roof and ceiling only)

External Wall District Council
Wanganui District Council
17 NOV 2011
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Design Deflection Limits:
DL SPAN/300 OR 9mm
LL SPAN/240 OR 9mm

Table 7

| hySPAN Section D x B (mm) | Light Roof and Ceiling | | | | | | | | | |
|------------------------------|---------------------------|-----|-----|-----|-----|-----|-----|-----|-----|-----|
| | Roof Load Width 'RLW' (m) | | | | | | | | | |
| | 1.8 | 2.4 | 3.0 | 3.6 | 4.2 | 4.8 | 5.4 | 6.0 | 6.6 | 7.2 |
| | Maximum Span (m) | | | | | | | | | |
| 150 x 45 | 3.0 | 2.8 | 2.6 | 2.5 | 2.4 | 2.3 | 2.2 | 2.1 | 2.1 | 2.0 |
| 170 x 45 | 3.2 | 3.0 | 2.9 | 2.8 | 2.7 | 2.6 | 2.5 | 2.4 | 2.3 | 2.3 |
| 200 x 45 | 3.7 | 3.4 | 3.2 | 3.1 | 3.0 | 2.9 | 2.8 | 2.8 | 2.7 | 2.6 |
| 200 x 63 | 3.9 | 3.7 | 3.5 | 3.4 | 3.2 | 3.1 | 3.0 | 3.0 | 2.9 | 2.9 |
| 240 x 45 | 4.2 | 3.9 | 3.7 | 3.5 | 3.4 | 3.3 | 3.2 | 3.1 | 3.1 | 3.0 |
| 240 x 63 | 4.5 | 4.2 | 4.0 | 3.8 | 3.7 | 3.6 | 3.5 | 3.4 | 3.3 | 3.3 |
| 300 x 45 | 4.9 | 4.6 | 4.4 | 4.2 | 4.0 | 3.9 | 3.8 | 3.6 | 3.5 | 3.3 |
| 300 x 63 | 5.3 | 5.0 | 4.7 | 4.5 | 4.4 | 4.2 | 4.1 | 4.0 | 3.9 | 3.8 |
| 2/300 x 45* | 5.7 | 5.4 | 5.1 | 4.9 | 4.7 | 4.6 | 4.5 | 4.4 | 4.3 | 4.2 |
| 360 x 63 | 6.0 | 5.6 | 5.4 | 5.2 | 5.0 | 4.8 | 4.7 | 4.6 | 4.5 | 4.4 |
| 400 x 45 | 6.0 | 5.7 | 5.4 | 5.2 | 5.0 | 4.8 | 4.7 | 4.6 | 4.5 | 4.3 |
| 400 x 63 | 6.5 | 6.1 | 5.8 | 5.6 | 5.4 | 5.2 | 5.1 | 4.9 | 4.8 | 4.7 |
| 2/400 x 45* | 6.9 | 6.6 | 6.3 | 6.0 | 5.8 | 5.7 | 5.5 | 5.3 | 5.1 | 4.9 |
| 450 x 63 | 7.0 | 6.6 | 6.3 | 6.1 | 5.9 | 5.7 | 5.5 | 5.4 | 5.3 | 5.0 |

| hySPAN Section D x B (mm) | Heavy Roof and Ceiling | | | | | | | | | |
|------------------------------|---------------------------|-----|-----|-----|-----|-----|-----|-----|-----|-----|
| | Roof Load Width 'RLW' (m) | | | | | | | | | |
| | 1.8 | 2.4 | 3.0 | 3.6 | 4.2 | 4.8 | 5.4 | 6.0 | 6.6 | 7.2 |
| | Maximum Span (m) | | | | | | | | | |
| 150 x 45 | 2.4 | 2.2 | 2.0 | 1.9 | 1.8 | 1.8 | 1.7 | 1.6 | 1.6 | 1.6 |
| 170 x 45 | 2.7 | 2.5 | 2.3 | 2.2 | 2.1 | 2.0 | 1.9 | 1.8 | 1.8 | 1.7 |
| 200 x 45 | 3.0 | 2.8 | 2.7 | 2.5 | 2.4 | 2.3 | 2.2 | 2.2 | 2.1 | 2.0 |
| 200 x 63 | 3.3 | 3.0 | 2.9 | 2.8 | 2.7 | 2.6 | 2.5 | 2.4 | 2.3 | 2.3 |
| 240 x 45 | 3.4 | 3.2 | 3.0 | 2.9 | 2.8 | 2.7 | 2.7 | 2.6 | 2.5 | 2.4 |
| 240 x 63 | 3.7 | 3.5 | 3.3 | 3.2 | 3.0 | 3.0 | 2.9 | 2.8 | 2.8 | 2.7 |
| 300 x 45 | 4.1 | 3.8 | 3.6 | 3.4 | 3.3 | 3.2 | 3.1 | 3.0 | 3.0 | 2.9 |
| 300 x 63 | 4.4 | 4.1 | 3.9 | 3.7 | 3.6 | 3.5 | 3.4 | 3.3 | 3.2 | 3.1 |
| 2/300 x 45* | 4.8 | 4.5 | 4.2 | 4.1 | 3.9 | 3.8 | 3.7 | 3.6 | 3.5 | 3.4 |
| 360 x 63 | 5.0 | 4.7 | 4.5 | 4.3 | 4.1 | 4.0 | 3.9 | 3.8 | 3.7 | 3.6 |
| 400 x 45 | 5.0 | 4.7 | 4.4 | 4.3 | 4.1 | 4.0 | 3.9 | 3.8 | 3.7 | 3.6 |
| 400 x 63 | 5.4 | 5.1 | 4.8 | 4.6 | 4.4 | 4.3 | 4.2 | 4.1 | 4.0 | 3.9 |
| 2/400 x 45* | 5.9 | 5.5 | 5.2 | 5.0 | 4.8 | 4.7 | 4.6 | 4.4 | 4.3 | 4.3 |
| 450 x 63 | 5.9 | 5.5 | 5.2 | 5.0 | 4.8 | 4.7 | 4.6 | 4.4 | 4.3 | 4.3 |

*Size built-up by vertical nail lamination - see page 4.
For determination of Roof Load Width - see page 18.

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11 / 06 4 6

Consent No.



Correspondence from : AUCKLAND
40 Neales Road, East Tamaki 2013
PO Box 58-014, Botany 2163
Phone: 09 274 7109
Fax: 09 274 7100

CHRISTCHURCH
14 Pilkington Way, Wigram 8042
PO Box 8387, Riccarton 8440
Phone: 03 348 8691
Fax: 03 348 0314

PRODUCER STATEMENT for MiTek 20/20™ TRUSS DESIGN - Version 4.6

ISSUED BY: MiTek New Zealand Ltd
TO: Prenail Precision Ltd
IN RESPECT OF: GANG-NAIL Truss Designs

Wanganui District Council
17 NOV 2011
RECEIVED

This producer statement covers the MiTek 20/20™ truss design and the structural performance of the GANG-NAIL plate for the job reference 11026 and may be used by a Building Consent Authority to assist in determining compliance with the New Zealand Building Code.

The MiTek 20/20™ truss design program has been developed by MiTek New Zealand Ltd for the design of GANG-NAIL® timber roof, floor and attic trusses in New Zealand. The truss designs computed by MiTek 20/20™ are prepared using sound and widely accepted engineering principles, and in accordance with compliance documents of the New Zealand Building Code and Verification Method B1/VM1; and internationally accepted standard ANSI/TPI 1 - 2002 as an alternative solution to satisfy the requirements of Clause B1 of the New Zealand Building Code.

On behalf of MiTek New Zealand Ltd, and subject to:

- i) All proprietary products meeting their performance specification requirements
ii) The provision of adequate roof bracing and overall building stability
iii) Correct selection and placement of GANG-NAIL connector plates
iv) Correct input of Truss Design Data as shown in the Fabricator Design Statement for this job
v) The design being undertaken by the accredited fabricator under the terms of the software licence

I believe on reasonable grounds that the trusses, if constructed in accordance with the MiTek 20/20™ truss design and shop drawings, will comply with the relevant provisions of the New Zealand Building Code.

MiTek New Zealand Ltd holds a current policy of Professional Indemnity Insurance no less than \$500,000.

Or half of MiTek New Zealand Ltd,

Date: August 2010

Handwritten signature of In Ling Ng

In Ling Ng, BE (Hons), CPEng, IntPE, MIPENZ (ID: 146585)
TECHNICAL SERVICES MANAGER, MiTek New Zealand Ltd

APPROVED
11 / 06 4 6
Consent No.

Job: 11026

Client: Prenail Precision Ltd
Phone:

Site: Crowley
6 Gibson St
Wanganui

Description: Crowley Carport
Building Consent No.:
MiTek 20/20 Engineering 4.6.4.28

MiTek New Zealand Ltd.

Phone:

Printed: 09:00:43 15 Nov 2011

MITEK FABRICATOR DESIGN STATEMENT

This statement is issued by MiTek accredited fabricator **Prenail Precision Ltd**, being licensed to use the MiTek 20/20™ software, to the client listed above and may be used by the Building Consent Authority to assist in determining compliance with the New Zealand Building Code.

MiTek 20/20™ TRUSS DESIGN DATA

The MiTek 20/20™ computer design for this job is based on the following design parameters entered into the program. The Fabricator shall ensure that these job details are current and relevant to the project for the design of the GANG-NAIL trusses.

Job Details

Importance Level : 2

Design Working Life : 50 years

Roof Truss

Timber Group: MSG8 H3.2

Pitch: 15.000 deg

Nominal Overhang: 0 mm

Roof

Ceiling

Wind

Material: Light
Dead Load: 0.250 kPa
Restraints: 1200 mm centres
Live Load: Qur = 0.250 kPa
Qc = 1.100 kN

Material: None
Dead Load: 0.050 kPa
Restraints: At panel points
Live Load: Qc = 1.400 kN

Area: High (44.0 m/s)
Pressure Coeff: Cpe = varies; Cpi = -0.30, 0.20

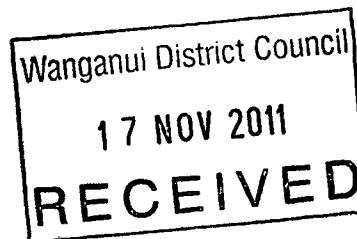
The timber for these GANG-NAIL trusses shall be treated to the requirements of NZS 3602:2003 and shall be graded to the requirements of NZS 3603:1993. Unless otherwise noted, this design assumes that the steel fixings and timber connectors proposed are located in a "closed environment", as defined by NZS3604:1999 Section 4.

GANG-NAIL Truss List

Legend: * = detail only, ? = input only, ✕ = failed design, Ø = non certified, Unmarked trusses = designed successfully, LB = lateral bracing required
WB = windbeam required

| Truss | Qty | Span (mm) | Pitch (deg) | Spacing (mm) |
|-------|-----|-----------|-------------|--------------|
| EN1 | 1 | 5250 | 12.500 | 900 |
| T1 | 6 | 5250 | 12.500 | 900 |

Total quantity : 7



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Consent No.

The computer design input has been carried out by:

Signed: *Mark McCormick*

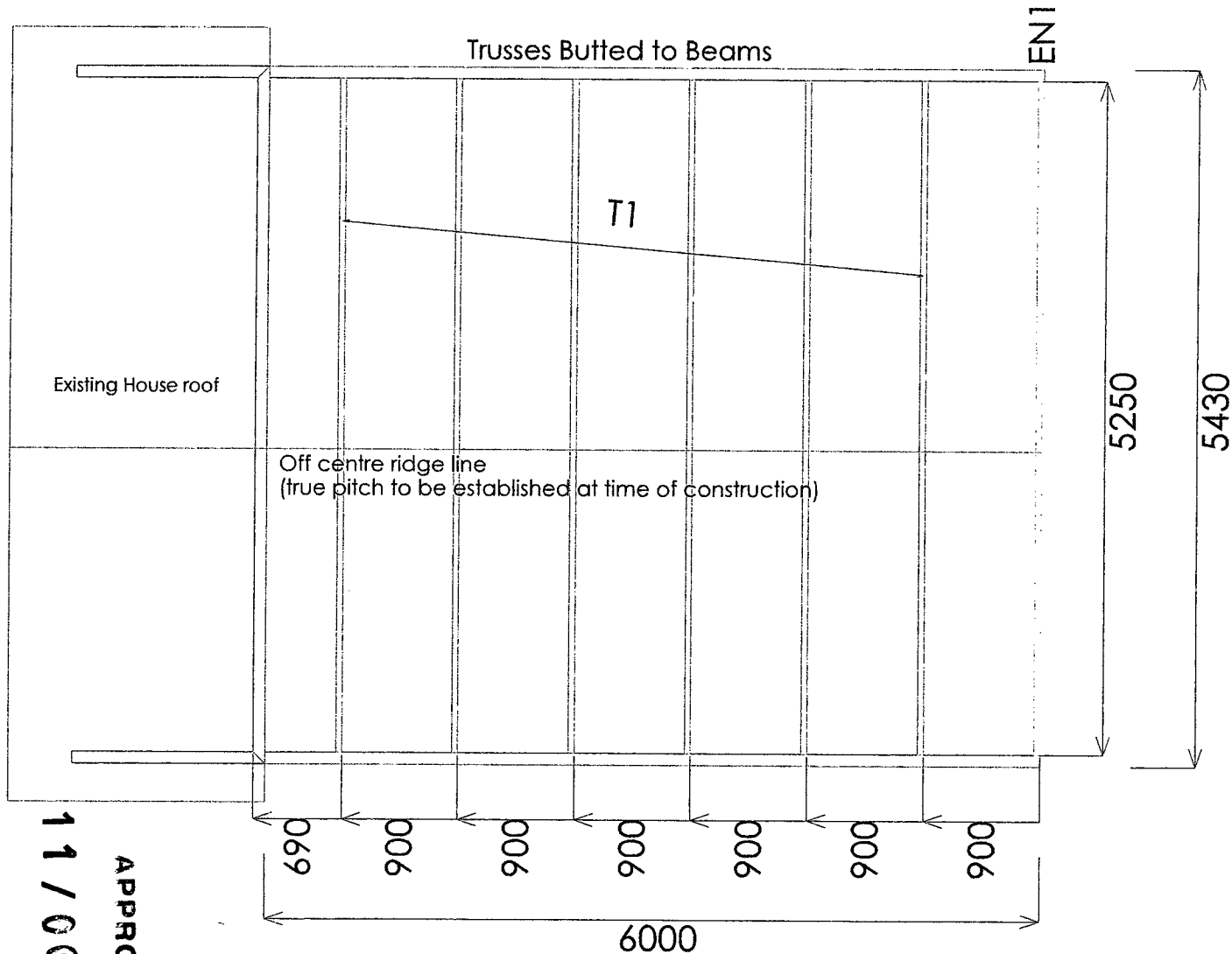
Date: ...15 November 2011....

Name of Detailer: Mark McCormick

Qualifications and Title: MiTek Detailer


On behalf of: Prenail Precision Ltd

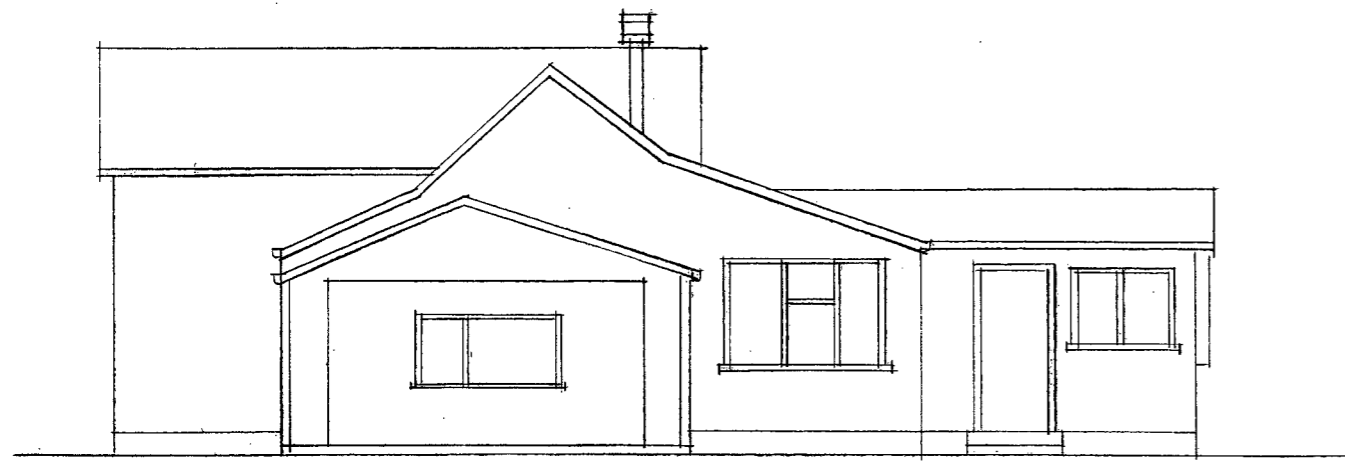
Crowley Carport



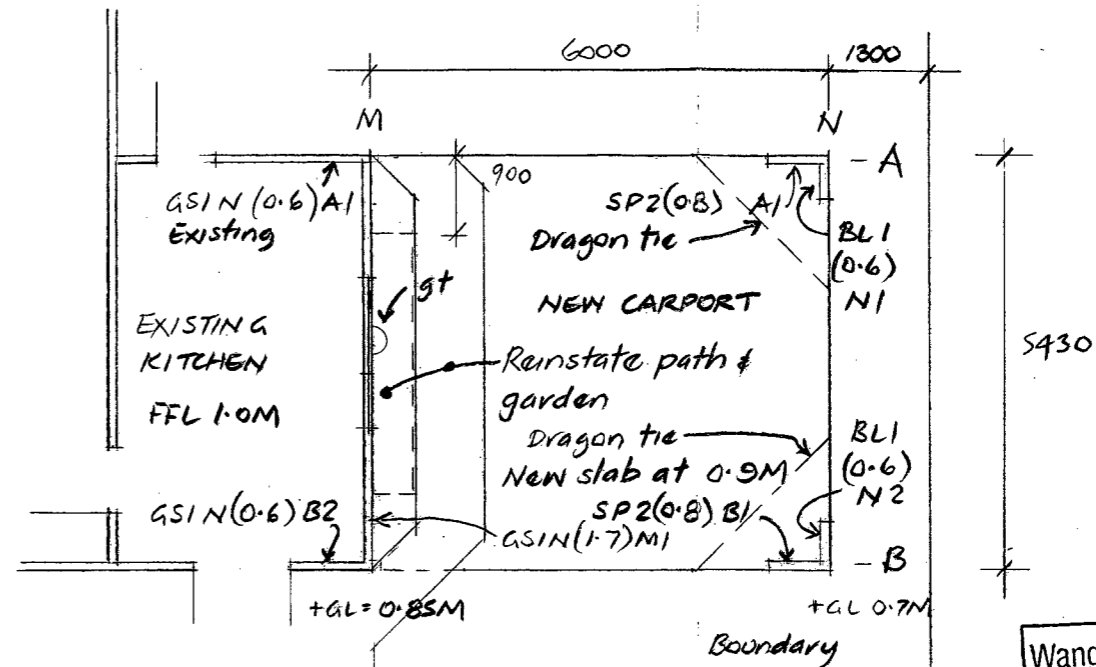
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 Wanganui District Council

| | | | | | | | |
|--|--|---|--|---|---|---|----------------------|
| Prepared By: Penial Precision Ltd 8 Hinau St Wanganui Ph 06 344 2100 | Site Address : Crowley 6 Gibson St Wanganui | Sheet Title : For Building Consent Buildable Truss Layout | | Job Details: Roof Pitch : 15 / 12.5g Roof Material : Light Ceiling Material : None Wind Zone : High Roof Snow Load : 0.000 kPa | Truss Centres : 900 mm Roof Live Load : 0.250kPa Floor Live Load : kPa Wind Speed : 44.0 m/s | PrimeCad v1.6.4.28  | Job Title : 11026 |
| | | Date : 15 Nov,2011 Scale : 1:50 | Drawn : Mark McCormick System : MiTek 20/20 | Sheet : 1 | Revision Number : | | |

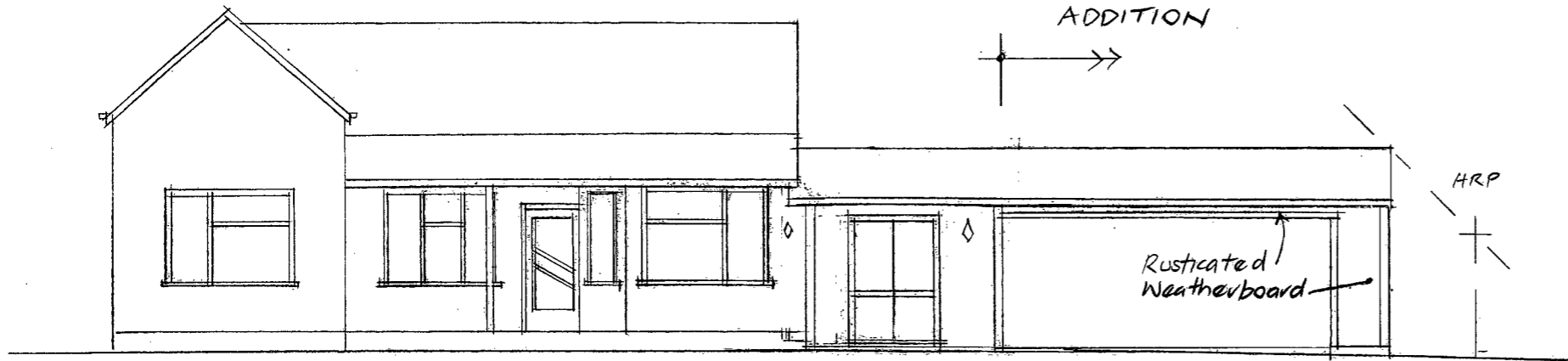


SIDE ELEVATION 1:100

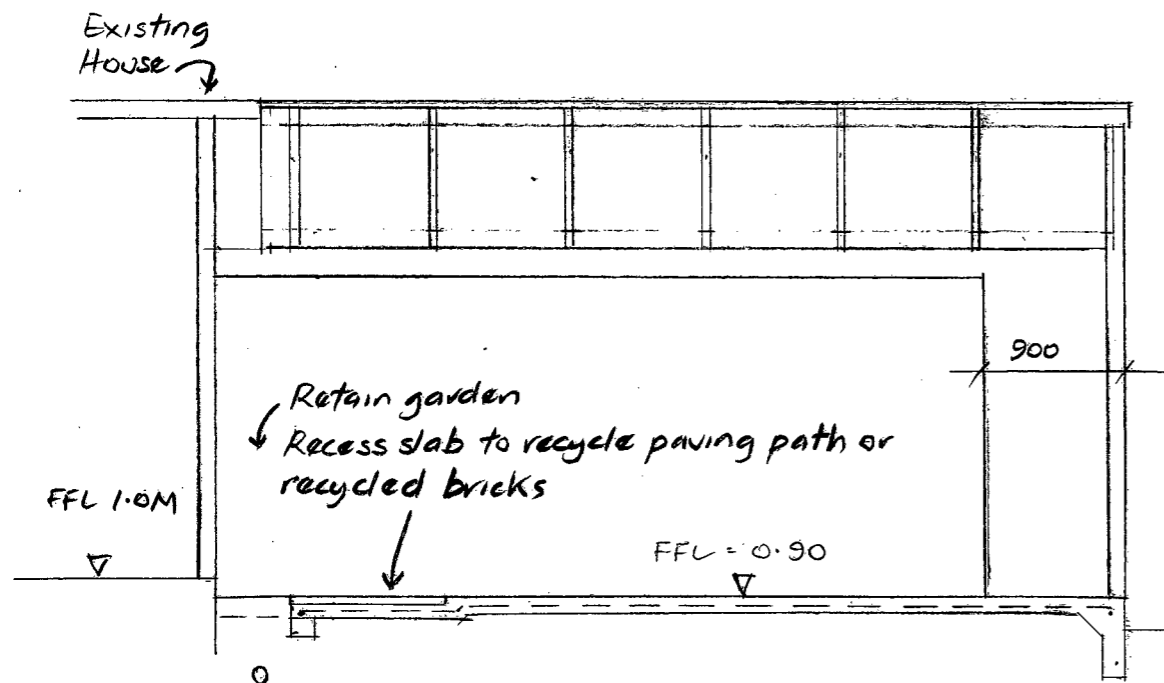


PLAN 1:100

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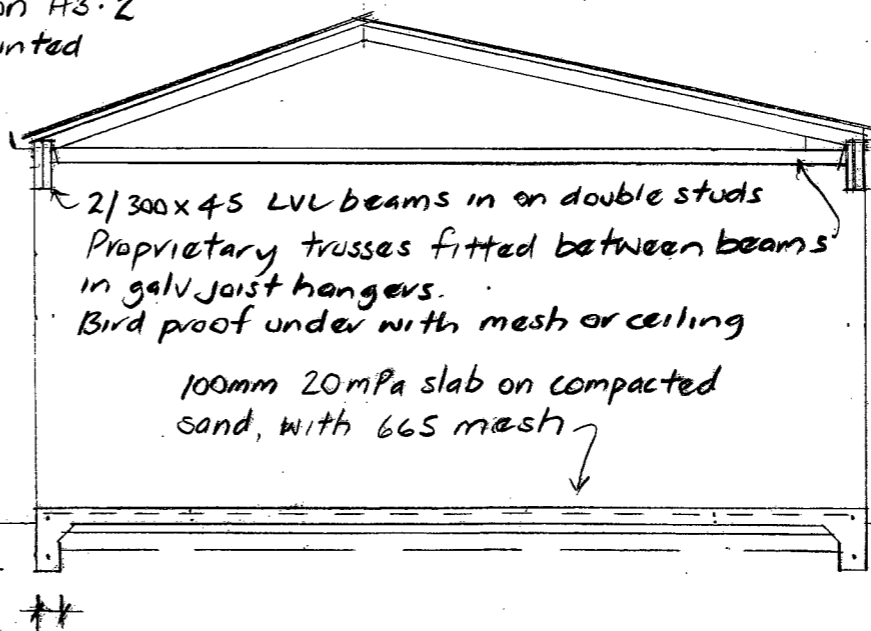
FRONT ELEVATION 1:100



LONG SECTION 1:50

PVC gutter on H3.2 treated, painted LVL beams

300
2100



CROSS SECTION 1:100

* NB Soffit lines vary front to back - Pack rear connection between top & bottom chords

350*
2100
Double studs under or Bowmac B109 bracket **APPROVED**

11/0646

Consent No.

2/D12's with R10 ties at 600c/s

Design Lines
2000 Limited

JIM RICHARDSON

Architectural Designer Phone 0274 578 390

CROWLEY HOUSE
6 GIBSON ST

SHEET 2

36,440

28,160

Boundary

Wanganui District Council
17 NOV 2011
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EXISTING HOUSE

APPROVED

11/0646

Consent No.

Vehicle Crossing

DRIVENWAY

SITE PLAN 1:100
6 GIBSON ST
WANGANUI

SHEET 3

existing dp

off centre ridge

dp

separated stormwater

gt

fall

future chip seal

NEW CARPORT

strap bracing

6 GIBSON STREET

OUTBUILDINGS

Boundary

