

# 6 GIBSON ST

Wanganui District Council

15 DEC 2009

ACCEPTED

Wanganui District Council  
BCA QM System

Building Consent File – Front Cover

BCA T-33C page 1 of 1  
v6 12/11/08

## Building Consent File Content/Checklist

DBH Building Category

**1**

Consent number: BCA 09/1129

(Type 1, 2 or 3)

	Description	Added to file	Comment & Reference
1.	Consent Application	15-12-09	
2.	Pre-Vet Checksheet	15-12-09	
3.	Plans & Specifications	15-12-09	
4.	Bracing Calculations		
5.	PIM : C/T : Consent Notes		
6.	Regional Authority Consent (Dams)		
7.	Fire Design		
8.	DRU – NZFS		
9.	Consultant Reports		
10.	Producer Statements PS1, PS2, PS4		
11.	Engineering Calculations		
12.	Peer Review		
13.	Relocate: Condition Reports		
14.	Truss Layouts		
15.	FIR		
16.	Correspondence		
17.	Copy of Invoice(s)	15-12-09	(Dep)
18.	Compliance Assessment Checksheets		
19.	Photos		
20.	Notice to Fix / Enforcement Action		
21.	DBH Notification (Warnings etc)		
22.	Amendments/Alterations to Existing		
23.	Historic Places Trust Approval letter		
24.	Request for Further Information letter(s)		
25.			
26.			
27.	<b>Building Consent</b> (signed copy) Including Conditions		
28.			
29.			
30.	Inspection Checksheets	✓	
31.	Supporting As-Built documentation	✓	
32.	Energy Work Certificates - Electrical	✓	
33.	Energy Work Certificates - Gas	✓	
34.	Vehicle Crossing Producer Statement	✓	
35.			
36.			
37.			
38.	Application for C.C.C.	20-04-10	
39.	C.C.C. Assessment Checklist	30-09-10	
40.	Code Compliance Certificate	25-06-10	

**JOB COMPLETED  
CCC ISSUED**

LARGE PLANS HELD IN: (PLAN TUBE or FILE BOX?)

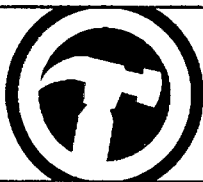
LARGE PLANS LOCATED IN:

G18 FILE ROOM

or BASEMENT

# CONVERT GARAGE TO COMMERCIAL KITCHEN/HOME OCCUPATION.

**Building Consent Application**  
Section 32 or 45, Building Act 2004  
FORM 2



Wanganui District Council  
15 DEC 2009  
District Council  
**RECEIVED**

**1. Application type**

- Project Information Memorandum and/or  
 Building Consent or  
 Alteration to Existing Building Consent  
 (Please tick appropriate box)

Building Consent/PIM No.

BC09/1129

Note: Shaded areas for office use only

**2. The building**

2a. Site Address

6 GIBSON ST

2b. Current lawfully established use

HOUSE

2c. Legal Description

Lot 14

DEEDS PLAN

DP-## 111

2d. Council Property No.

9671

Val No 13/278

2e. Number of levels

ONE

2f. Level/Unit number

2g. Floor area

Existing

m<sup>2</sup>

New

m<sup>2</sup>

Total

m<sup>2</sup>

2h. Year building first constructed  
(If applicable/or approx. year)

**3. The owner**

3a. Name

SUE CROWLEY

Postal Address

6 GIBSON ST

Contact Numbers

343 6955

Phone

Mobile

Fax

Email

**4. Evidence of ownership**

4a. Evidence of ownership attached

Certificate of Title (copy)

Sale and purchase agreement

Lease agreement

Other document showing full name of legal owner(s), such as a rate instalment notice

Rate Demand

**5. Applicant's details (if not the owner)**

5a. Name of Agent

JIM RICHARDSON

Postal Address

167 MT VIEW RD

Contact Numbers

3438101

Phone

0274578390

Mobile

3438111

Fax

Email

jim.r@xtra.co.nz

Relationship to owner

Designer

Details of authorisation

Evidence attached

Other - please specify

Drawings supplied



**9. Supporting documentation - continued**

Copies of other Authorisations - please specify

Other - please specify

**10. Building practitioners involved in this project (continue on another sheet of paper if needed)**

**Designer**

Name / Registration no.

Contact details Address

Phone / Email

**Builder**

Name / Registration no.

Contact details Address

Phone / Email

**Craftsman Plumber**

Name / Registration no.

Contact details Address

Phone / Email

**Registered Drainlayer**

Name / Registration no.

Contact details Address

Phone / Email

**Electrician**

Name / Registration no.

Contact details Address

Phone / Email

**Engineer**

Name / Registration no.

Contact details Address

Phone / Email

**Specialist Services (fire alarm, HVAC, lift etc)**

Name / Registration no.

Contact details Address

Phone / Email

**Other**

Name / Registration no.

Contact details Address

Phone / Email

**11. Waiver or modification required**

Waiver or modification  
(Please circle and detail below)

B1	B2	C1	C2	C3	C4	D1	D2
E1	E2	E3	F1	F2	F3	F4	F5
F6	F7	F8	G1	G2	G3	G4	G5
G6	G7	G8	G9	G10	G11	G12	G13
G14	G15	H1					

Alternative Solution  
(Please circle and detail below)

B1	B2	C1	C2	C3	C4	D1	D2
E1	E2	E3	F1	F2	F3	F4	F5
F6	F7	F8	G1	G2	G3	G4	G5
G6	G7	G8	G9	G10	G11	G12	G13
G14	G15	H1					

Additional information

## 12. Compliance with New Zealand Building Code

### NZBC Clause

Tick relevant building code clauses

- B1 Structure
- B2 Durability
- C1-C2-C3-C4 Fire
- D1 Access routes
- D2 Mechanical installations for access
- E1 Surface water
- E2 External moisture
- E3 Internal moisture
- F1 Hazardous agents on site
- F2 Hazardous building materials
- F3 Hazardous substances & processes
- F4 Safety from falling
- F5 Construction & demolition hazards
- F6 Lighting for emergency
- F7 Warning systems
- F8 Signs
- G1 Personal hygiene
- G2 Laundering
- G3 Food preparation & prevention of contamination
- G4 Ventilation
- G5 Interior environment
- G6 Airborne & impact sound
- G7 Natural light
- G8 Artificial light
- G9 Electricity
- G10 Pipes services
- G11 Gas as an energy source
- G12 Water supplies
- G13 Foul water
- G14 Industrial liquid waste
- G15 Solid waste
- H1 Energy efficiency

### Means of compliance

Please circle or add means of compliance

### Proposed inspections

Please circle as appropriate - see key below

B1/AS2	NZS 4229	NZS 3604	NZS 4204	1	2	3
B2/AS1	NZS 3604	NZS 3101	NZS 3602	1	2	3
C1/AS1	C4/AS1	C2/AS1	C3/AS1	1	2	3
D1/AS1		NZS 4121		1	2	3
D2/AS1		NZS 4322	EN/81	1	2	3
E1/AS1		AS/NZS 3500		1	2	3
E2/AS1		Specific Design		1	2	3
E3/AS1				1	2	3
F1/AS1				1	2	3
F2/AS1		NZS 4233		1	2	3
F3/AS1				1	2	3
F4/AS1		Fencing of Swimming Pools Act		1	2	3
F5/AS1				1	2	3
F6/AS1	AS/NZS 1668	NZS 4512	NZS 4515	1	2	3
F7/AS1	AS/NZS 1668	NZS 4512	NZS 4515	1	2	3
F8/AS1				1	2	3
G1/AS1				1	2	3
G2/AS1				1	2	3
G3/AS1				1	2	3
G4/AS1				1	2	3
G5/AS1				1	2	3
G6/AS1				1	2	3
G7/AS1				1	2	3
G8/AS1		NZS 6703		1	2	3
G9/AS1				1	2	3
G10/AS1		NZS 5261		1	2	3
G11/AS1				1	2	3
G12/AS1	C4/AS1	AS/NZS 3500.2	AS/NZS 3500.5	1	2	3
G13/AS1		AS/NZS 3500.2	BS 5572	1	2	3
G14/AS1				1	2	3
G15/AS1				1	2	3
H1/AS1	NZS 4212	NZS 4218	NZS 4243	1	2	3
		ALF design manual				

#### Key to proposed inspections:

1. Council Building Control Officer
2. Approved Consultant e.g. Engineer
3. Other - Please specify below

#### Important

The Building Act requires the applicant to state, for each relevant building code clause, what the means of compliance is. Alternative solutions may also be proposed, and must be accompanied with documentation demonstrating compliance. Please refer to Alternative Solution box previous page and provide additional information. Refer to guidance notes on separate sheet for typical scenarios.

Please turn over

## 12. Compliance schedule

**Do not proceed further if**

- this is an application for a PIM only (Project Information Memorandum)
- this application is for Residential work only (except for a cable car after 31 March 2008)

The following specified systems are new, existing, being altered, added to, or removed in the course of building work

There are no specified systems in the building

	New	Existing	Altered	Added	Removed
Cable Car (including to individual dwelling) (to be implemented 31 March 2008)	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>

**Building Act 2004 (implemented 31 March 2005)**

(listed below are the systems and features from the 'new' Act)

1. Automatic systems for fire suppression (for example, sprinkler systems)	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>
2. Automatic or manual emergency warning systems for fire or other dangers	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>
3. Electromagnetic or automatic doors or windows (for example, ones that close on fire alarm activation)	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>
4. Emergency lighting systems	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>
5. Escape route pressurisation systems	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>
6. Riser mains for Fire Service's use	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>
7. Any automatic back-flow preventers connected to a potable water supply	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>
8. Lifts, escalators, travelators, or other systems for moving people or goods within buildings	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>
9. Mechanical ventilation or air conditioning systems	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>
10. Building maintenance units providing access to exterior and interior walls of buildings	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>
11. Laboratory fume cupboards	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>
12. Audio loops or other assistive listening systems	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>
13. Smoke control systems	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>
14. Emergency power systems for, or signs relating to, a system or feature specified in any of the above	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>
15. Means of escape with systems and features (1 to 6, 9 and 13)	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>

Please continue for Building Act 1991 (implemented 1 January 1993)

## 12. Compliance Schedule - continued

The following specified systems are existing, being altered, added to, or removed in the course of building work

Existing    Altered    Added    Removed  
           

**Building Act 1991 (implemented 1 January 1993)**  
 (listed below are the systems and features from the 'old' Act)

1. Automatic systems for fire suppression (for example, sprinkler systems)	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>
2. Automatic or manual emergency warning systems for fire or other dangers	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>
3. Emergency warning systems for fire or other dangers (eg. manual or automatic fire alarm)	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>
4. Emergency lighting	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>
5. Escape route pressurisation	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>
6. Riser mains	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>
7. Back-flow preventers	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>
8. Lifts (including escalators, passengers, service, goods)	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>
9. Mechanical ventilation and air conditioning	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>
10. Other mechanical, electrical, hydraulic or electronic systems	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>
11. Building maintenance units	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>
12. Signs (for items 1 to 11 above)	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>
13. Means of escape	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>
14. Safety barriers	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>
15. Access and facilities for people with disabilities	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>
16. Hosereels and/or fire extinguishers	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>
17. Signs (for items 13 to 16 above)	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>

Address where compliance schedule will be held:


The maximum number of occupants that the building is designed for:

--

**Amendments to a compliance schedule also requires Form 005 - Application for Amendment for Compliance Schedule**

Please turn over

**OFFICE USE ONLY**

**BCA**

Date application received 15-12-09  
 Receiving Officer G-H  
 Application Fee Receipt No. 333502  
 Date of application Fee Rec. 15-12-09

**Fees (incl. GST)**

Building Consent Application (Prepaid) 2A	\$ 290.00
Building Consent Issue	\$
PIM	\$
Building Levy (DBH)	\$
BRANZ Levy	\$
Stormwater Connection	\$
Vehicle Crossing	\$
Sewer Connection	\$
Water Connection	\$
Fordell Connection (Application charge)	\$
Development Contribution Levy	\$
NZFS Alternative Solution	\$
Resource Consent	\$
Relocation Bond	\$
Certificate of Title	\$
Rural Rapid Number	\$
Other	\$
<b>Total</b>	\$

**Comments:**

Re 335135 W

**Processing**

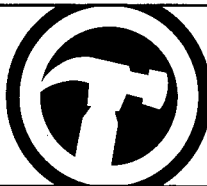
Unit	Checks				Inspections No.	Approved	
	Initials	Date	Initials	Date		Initials	Date
Administration	GBH	16-12-09					
Planning	EPH	17-12-09				EPH	12-1-10
Fire Design (Referred to NZFS)							
Building						BA	7-1-10
Drainage (Infrastructure)							
Water (Infrastructure)							
Fordell Water Scheme (Infrastructure)							
Structural							
Plumbing/Drainage						BA	7-1-10
Roading							
Health						TB	8/1/10
Dangerous Goods							
Parks & Property / Mainstreet							

Approved for issue of PIM/Building Consent

Approving Officer [Signature]

Date 15-1-10

Notes Not peer reviewed.



**I. Check sheet - Housing/housing alterations**

Street address

6 LIBSON ST

*(Additional information will need to be supplied if a resource consent is required)*

This is a preliminary vetting sheet only to establish if there is sufficient information of an acceptable quality before it is received for lodgement and processing. This is not a comprehensive list of requirements. This prelodgement form is designed to reduce processing time and save you on processing costs.

Plans are required to a suitable drafting standard.

**Note: If you do not have the appropriate skills to prepare drawings, please engage a professional 2 copies of all documentation is required (3 if resource consent required).**

Tick where applicable under Yes, No or Not applicable

Requirements	Owner supplied Date <u>14/12/09</u>			Council check Date <u>15/12/09</u>			Council recheck Date <u>1 1</u>		
	Y	N	N/A	Y	N	N/A	Y	N	N/A
1. Building Consent Application form (1 copy) - fully filled in and signed	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
2. Application fee <i>? By Owner.</i>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
3. Copy of Certificate of Title (1 copy) <i>Rate Demand</i>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
4. Site plan - to scale, fully dimensioned showing drainage, north point, street vehicle crossing, site coverage, distance to boundaries, levels	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
5. Floor plan - to scale, fully dimensioned, rooms named, windows/doors, bracing, fixtures, smoke detector positions	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
6. Elevations - to scale. All sides to be shown, windows/door, heights, materials, daylight plane, ground contours (before and after)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
7. Cross sections - through key building points, heights, materials, timber treatment/grades	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
8. Drainage long sections - crown of road, stormwater (septic tank design), depths, cover	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
9. Specific details - weathering, window/door details, flashings, parapet, deck, junctions, cavity, foundations etc	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
10. Bracing schedule - walls and roof (subfloor when required)	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
11. Roof truss layout/design certificate - fixings	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
12. Risk matrix calculation sheet - weathertightness	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
13. Specific engineering design - Engineer's calculations (+ PSI) - Level of construction monitoring to be carried out by engineer	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
14. Specification - comprehensive, references to Codes, Standards (specific to project)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
15. Manufacturer's specification for woodburners, sewage pumps, specialised processes etc.	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

Plans OK to accept for processing

Officer: GH

Date: 15.12.09.

Notes: + RATES DEMAND.

**2. Check sheet - Commercial/industrial (in addition to the previous page)**

Commercial and industrial buildings are often extremely complex projects. This is a preliminary vetting sheet only to establish if there is sufficient information of an acceptable quality before it is received for lodgment and processing. This is not a comprehensive list of requirements. This prelodgement form is designed to reduce processing time and save you on processing costs.

**Note: If you do not have the appropriate skills to prepare drawings, please engage a professional 2 copies of all documentation is required.**

Tick where applicable under Yes, No or Not applicable

Requirements	Owner supplied Date / /			Council check Date / /			Council recheck Date / /		
	Y	N	N/A	Y	N	N/A	Y	N	N/A
1. Fire design analysis - (3 copies required for NZFS-DRU if alternative solution)	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>
2. Toilet calculation (G.I.) Separate facilities, unisex, accessibility	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>
3. Access and facilities for people with disabilities Toilets, ramps, counters	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>
4. If change of use refer to additional requirements (see section 114, 115)	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>
5. Specialist services details f/alarm, auto doors, lift, e/lighting, lighting, H.I. energy efficiency, HVAC, signs, (health, dangerous goods)	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>
6. Compliance Schedule details - fill in application form also	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>
7. Specialist engineering (PS1, PS2) Portal frames, precast concrete, blockwork, specific details	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>
8. Carparking calculations for numbers, commercial vehicle crossing, accessible carpark, drainage, loading bay	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>
9. Requirement for Certificate for Public Use (see 363) - staging, use of building before CCC	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>
10. Stormwater design, EI calculations, for yards and buildings etc.	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>
	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>
	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>
	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>
	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>
	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>
	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>
Plans OK to accept for processing <input type="radio"/>	Notes:								
Officer: <input type="text"/>									
Date: <input type="text"/>									

**OFFICE USE ONLY**

Date received  Application #  Document #  Project #

Property ID  Legal ID  Receipt #  Amount Paid \$

**FILE NOTE:  
ASSESSMENT OF BUILDING CONSENT**

<b>Applicants Name</b>	Jim Richardson
<b>Activity/Use</b>	Home Occupation fit out
<b>Date BC#</b>	17 <sup>th</sup> December 2009 09/1129
<b>Address</b>	<b>6 Gibson Street, Wanganui</b>
<b>Subject</b>	<b>Activities in Residential zones</b>

THIS NOTE RECORDS THE INITIAL ASSESSMENT MADE OF THE CONSENT APPLICATION. IT ASSESSES WHETHER THE APPLICATION INCLUDES ALL OF THE INFORMATION REQUIRED TO PROCESS THE RESOURCE CONSENT FURTHER.

<b>Zone:</b>	<b>Residential</b>	<b>Residential</b>
<b>Road Classification:</b>		local
<b>Site Area:</b>		1012m <sup>2</sup>
<b>Site Coverage:</b>	40%	<40%
<b>Maximum Height:</b>	10 metres	Existing
<b>Structures (Height Recession Plane):</b>	Front Boundary	n/a
	Side Boundary	n/a
	Side Boundary	n/a
	Rear Boundary	n/a
	(plus exemptions)	
<b>Multi Unit Development (detached):</b>	Height recession plane applies from a notational boundary	n/a
<b>Accessory Building</b>	Garage or accessory building located in front of principal building	n/a
<b>Conjoined multi unit developments and residential care facilities</b>	D= L = 3H/10 i. Site amenity 30m <sup>2</sup> ii. Upper story units iii. Storage space	n/a

<b>Noise:</b>		n/a
<b>Light:</b>		n/a
<b>Advertising</b>		n/a
<b>Access:</b>	Minimum 1 access to be provided 3.5 metres maximum for single dwelling Check for landscaping (i.e. street trees), street furniture, and services in road reserve.	Existing
<b>Parking:</b>		Existing
<b>Easements</b>		No
<b>Building Over Boundary?</b>	If YES, tell Greg and put a post-it on file	No
<b>Development Contribution</b>		No
<b>Archaeological site?</b>		n/a

**Decision and any other matters not contained in table above including further information for building consent purposes:**

Please confirm the number of people working at the business and the hours of operation.

Rachael Pull- resource management planner

*R Pull 12/12/09.*

**Further Information Received?**  Yes/No

**Decision:**

*Home occupation. R Pull 12/1/10*

**Is resource consent required?** Yes/No

**Letter sent out?** Yes/No

**Date:**

**ASSESSED AS:**

**Restricted Discretionary Activity**

**Breaches:**

**Non-complying Activity**

**Breaches:**

12.01.10

To Whom it May Concern.




I will be operating my home occupation business on my own at 6 Gibson St.

The hours will be Mon - Thur  
9am - 3pm.

I will be the only person operating my little business

Regards Sue Crowley.

BCon 09/1129

Address	6 Gibson St WANGANUI		
Property No	9671	Status	Current
Owners As At	22/12/2005		
Owners	Mrs Susan M Crowley		
Default Postal Address	6 Gibson St Wanganui		
Property Override Legal Description	LOT 14 DEEDS PLAN 111		
Property Type	<input type="text"/>		
Additional Description	LOT 14 DEEDS PLAN 111		

# Wanganui District Council

PO Box 637, Wanganui

Phone (06) 349-0001

Visit our Web Site [www.wanganui.govt.nz](http://www.wanganui.govt.nz)

REPRINTED

## OFFICIAL RECEIPT

GST Reg No 51-668-324

15/12/2009

Receipt No: 333502

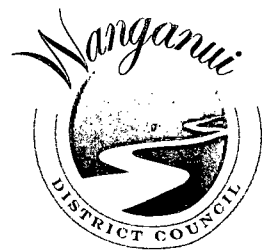
To S Crowley

<u>Type</u>	<u>Reference</u>	<u>Amount</u>
GL Receipt	NOGPRECONSENT	\$290.00
	Garage Alterations 6 Gibson St	
	Total:	\$290.00

### Amounts Tendered :

Cash	\$100.00
EftPos	\$190.00
Total	\$290.00
Rounding	\$0.00
Change	\$0.00

Printed 15/12/2009 9:53:57 a.m.



## PREPAID - TAX INVOICE

GST Number 51-668-324

**Payers Name:**

\* S. CROWLEY.

**For Building Consent:**

**Reference No:**

**Date:** \* 15-12-09

**YOUR APPLICATION WILL NOT BE PROCESSED UNLESS THE FEE IS PAID**

**Location of project**

**Description of project** GARAGE ALTERATIONS

6 GIBSON ST

Reference	Details	Amount (Incl GST)
1.	Building Consent Project Type – application fee (refer to 'Fees and Charges' Form)	\$ 290.00
2.	Resource Consent - deposit	
	• Land use - Non-Notified	\$
	• Subdivision - Notified	\$
3.	Infrastructure Bond	
	• Non-Refundable Charge	\$
4.	Other - Aerial photographs	\$
	- Plan pack Searches	\$
	- Rural Rapid Numbers (New)	\$
	- Large Plan photocopying A2	\$
	- A0 – A1	\$
5.	Certificate of Title	\$

**Total Payable** \$ 290.00

WHEN PAID THIS FORM WILL BE PART OF YOUR CONSENT APPLICATION AND MUST BE ATTACHED TO THE CONSENT APPLICATION BEFORE IT WILL BE PROCESSED.

**PLEASE RETURN TO CUSTOMER SERVICES**



## INSPECTION TIME REPORT

Building Consent Number BCon09/1129

<b>Total Estimated Inspection Time</b>	100
<b>Total Actual Inspection Time</b>	0
<b>Inspection Time Difference</b>	100
<b>At BC Issue</b> Time to be charged.	
<b>At Completion</b> Positive amount = time to be credited Negative amount = time to be charged	

Signed for and on behalf of the Wanganui District Council

95



## INSPECTION RECORD

**This record, together with the Building Consent and approved plans, is to remain on the construction site at all times.**

<b>Project Location</b>	<b>TO BOOK AN INSPECTION PLEASE  PHONE WDC BUILDING CONTROL    ON 349 0001    AND QUOTE THE FOLLOWING  APPLICATION NUMBER:</b>		<b>BCon09/1129</b>
6 Gibson St WANGANUI			
<b>Applicant</b>	<b>Description of Work</b>		
Mrs SM Crowley 6 Gibson St Wanganui	Convert Garage to Commercial Kitchen (Change of Use) Home Occupation (cat:1)		
<b>Builder</b>	<b>Plumber</b>	<b>Drainlayer</b>	
Mr AN Richardson 18 Morgan St Wanganui	Wanganui Plumbing Ltd P O Box 5063 Wanganui 5030	Wanganui Plumbing Ltd P O Box 5063 Wanganui 5030	

### SUMMARY OF CONDITIONS

Building Consent Number BCon09/1129

#### PIM Conditions

Code	Condition
	All work on the project must comply with the requirements of the NZ Building Code.
	A PIM only document is not an approval to build. A Building Consent is required before building work commences.
	W.D.C will follow up on building work not completed within two years of building consent issue.
	A Building Consent lapses and is of no effect if the building work has not been started within 12 months of the date of issue.
	If the building is public premises it may not be occupied until either a code compliance certificate or certificate for public use has been issued.
	Please note [Electrical, and Gasfitting subtrades do not form part of the building consent inspection process. However, Council is required to receive 'Energy Certificates' from both of these trades before issue of a Code Compliance Certificate].

#### Building Consent Conditions

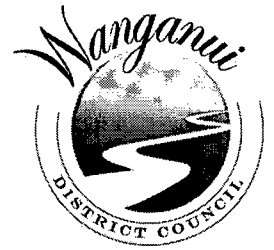
Code	Condition

**Your project's inspections are listed on the next page...**



**Please Note:** A minimum of 24 hours notice is required for the booking of an inspection. The inspection record sheet and accompanying building consent documentation must be on site for use by the inspector at the time of the inspection.

<b>Inspections Record For Building Consent Number BCon09/1129</b>						
<i>Inspection</i>	<i>When to Request</i>	<i>Date</i>	<i>Inspector</i>	<i>Complies with Code</i>	<i>Reinspect</i>	<i>Notes</i>
<b>BUILDING AND PLUMBING PRELINE COMBINED INSPECTION</b>	Before Internal linings are fixed.					
<b>FINAL BUILDING AND PLUMBING COMBINED INSPECTION</b>	On Completion					



## BUILDING CONSENT NUMBER BCon09/1129

Section 51, Building Act 2004

**Mrs SM Crowley**  
**6 Gibson St**  
**Wanganui**

**Project**  
**Information**                      **BCon09/1129**  
**Memorandum No:**  
**Issue Date:**

<b>Project Location</b>	<b>Assessment Number/Legal Description</b>
6 Gibson St WANGANUI	LOT 14 DEED 111 0.1012 Ha
<b>Type of Work</b>	<b>Description of Work</b>
Minor Building Work (req. 2 insps.)	Convert Garage to Commercial Kitchen (Change of Use) Home Occupation (cat:1)
<b>Intended Life</b>	<b>Estimated Value (\$)</b>
50 Years	10000.00

This building consent is a consent under the Building Act 2004 to undertake building work in accordance with the attached plans and specifications so as to comply with the provisions of the building code. It does not affect any duty or responsibility under any other Act nor permit any breach of any other Act.

This Building Consent is issued subject to the attached pages headed 'Conditions of Building Consent Number BCon09/1129'

Signed for and on behalf of the Wanganui District Council

D M Hall  
**Senior Building Control Officer**

**Date:** 14 January, 2010

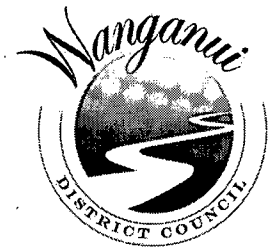


## **CONDITIONS OF BUILDING CONSENT NUMBER BCon09/1129**

Section 51, Building Act 2004

***This Building Consent is issued Subject to the following conditions:***

- **[Informative note: The Building Consent, conditions, inspection sheet, and approved plans must be kept on site at all times until completion of the project.]**
- **[Informative note: Failure to request inspections will risk the non-issuing of a code compliance certificate and the structure may be deemed non-complying.]**
- **[Informative note: Any inspection time required over and above that allowed may incur a further charge.]**
- **[Informative note: Under Section 52, a building consent lapses and is of no effect if the building work to which it relates is not commenced within 12 months after the date of issue.]**
- **[Informative note: Under Section 93, if the owner has not made application within 24 months, the BCA (Building Control Authority), must decide whether or not to issue a CCC (Code Compliance Certificate).]**



## PROJECT INFORMATION MEMORANDUM NUMBER BCon09/1129

Section 34, Building Act 2004

**Mrs SM Crowley**  
**6 Gibson St**  
**Wanganui**

**Issue Date:**

<b>Project Location</b>	<b>Assessment Number/Legal Description</b>
6 Gibson St WANGANUI	LOT 14 DEED 111 0.1012 Ha
<b>Category</b>	<b>Description of Work</b>
Minor Building Work (req. 2 insps.)	Convert Garage to Commercial Kitchen (Change of Use) Home Occupation (cat:1)
<b>Intended Life</b>	<b>Estimated Value (\$)</b>
50 Years	10000.00

This Project Information Memorandum is confirmation that the proposed work may be undertaken, subject to the provisions of the Building Act 2004 and any requirements of the Building Consent (number BCon09/1129 ), which has been granted.

***This Project Information Memorandum is subject to the following conditions:***

- **All work on the project must comply with the requirements of the NZ Building Code.**

Signed for and on behalf of the Wanganui District Council

D M Hall  
**Senior Building Control Officer**

**Date:** 14 January, 2010

101 Guyton Street  
P O Box 637, Wanganui  
Phone: (06) 349 0001  
Fax: (06) 349 0000  
Email: wdc@wanganui.govt.nz  
Web: www.wanganui.govt.nz



11 January 2010

**Mrs SM Crowley  
6 Gibson St  
Wanganui**

Dear Sir or Madam:

**1st Request for further information on Application.**

Project Number: BCon09/1129  
Project Location: 6 Gibson St WANGANUI  
Project Description: Convert Garage to Commercial Kitchen (Change of Use) Home  
Occupation (cat:1)

This building consent application is currently being assessed. The questions below have been raised by our assessors. Please supply the answers in a **covering letter** within 3 months quoting this Project Number **BCon09/1129** and clearly label all changes made to the plans:

- 1. Please confirm the number of people working at the business and the hours of operation. (Rachael Pull- resource management planner)**

We appreciate the importance of your application and on receipt of the requested information we will endeavour to process your application without delay.

This information requires to be supplied within 3 months from the date of this letter or this consent maybe cancelled without further notice.

If you have any further enquiries please contact this office and quote your Project Number BCon09/1129.

Yours sincerely

Barry Hopper  
**Customer Services Advocate**

101 Guyton Street  
P O Box 637, Wanganui  
Phone: (06) 349 0001  
Fax: (06) 349 0000  
Email: wdc@wanganui.govt.nz  
Web: www.wanganui.govt.nz



## TAX INVOICE

GST Number 51-668-324

*For: Building Consent (Building Act 2004)*

**Mrs SM Crowley  
6 Gibson St  
Wanganui**

**Tax Invoice No:** 20101022440

**Reference No:** BCon09/1129

**Date:** 15/01/2010

**Page:** 1 of 1

Location	Description
6 Gibson St WANGANUI	Convert Garage to Commercial Kitchen (Change of Use) Home Occupation (cat:1)

Reference	Details	GST	Amount (Incl GST)
2AAppDed	2A application Deduction	-32.22	-290.00
BCAdFee1	Administration Fee	12.22	110.00
InspFee	Inspection Cost Fee	22.22	200.00
ProcessFee	Processing Cost Fee	21.11	190.00
<b>Total</b>		<b>23.33</b>	<b>\$ 210.00</b>

*Rec 335135*

Please do not attach cheques with staples or pins.  
Please Pay on Tax Invoice, as no Statement will be issued

**\$ 210.00**

Direct credit payments can be made to the ANZ Bank: a/c 01-0790-0157-888-02. Please enter your Reference No. as the reference.

Do you have new contact details? Please let us know:

Name: \_\_\_\_\_  
New Address: \_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
Daytime Phone No: \_\_\_\_\_  
Email Address: \_\_\_\_\_

**Payment Due By: 14/02/2010**

**Important:** This portion must be returned with remittance to:  
**Wanganui District Council  
P O Box 637  
Wanganui**

**Invoice For: Building Consent (Building Act 2004)**

**Reference No: BCon09/1129**

**Tax Invoice No: 20101022440**

**Payment Amount: \$**

**Office Hours: 8:00am to 5:00pm Monday – Friday**

Building Consent  
Process check sheet – Internal Alterations



Internal Alterations

Approved = ✓	More information required = X	Not Applicable = N/A If a sub element is not relevant choose N/A	
Address:	6 Gibson st	Date:	7-1-10
Building Consent No:	09/1129		
Consent Officers:	BC		
Description:	Convert Garage to commercial kitchen.		

Approved Document ref	Elements	Sub Elements	Comments	Result	Recheck	Peer review
Site		Site plan and floor layout showing use		✓		
B1. Structure	Foundation	Load paths addressed / pads indicated	minor nib wall	✓		
		Depth / width		✓		
		Reinforcement		✓		
	Concrete Floor	Load paths addressed / Pads indicated		n/a		
		Hard fill		n/a		
		Reinforcing – Mesh cover				
	Timber subfloor	Fixing / Connection				
		Height above ground level (550mm for particle board/ 450mm crawl space)				
		Ventilation				
	Timber flooring	Member sizing (size /spacing / span)				
		Point loads				
		Flooring material				
		Lateral support, blocking				
	Wall	Member sizing height / size / spacing	minor nib / old door			
		Lintels – engineering design req		n/a		
		Beams – engineering design req				
		Wall bracing				
	Ceiling	Member sizing ( space/ size)		n/a		
		Ceiling diaphragm				
		Ceiling frame – battens				
B2. Durability	Timber treatment	Wall / fixings / Compatibility / Brace & fixings		✓		

Approved Document ref	Elements	Sub Elements	Comments	Result	Recheck	Peer Review
C. Outbreak of Fire	Inbuilt / Freestanding	Location		✓		
		Manufacturer's spec's provided				
	Open Fire – yes / no	Construction material				
		Firebox opening size				
		Surrounding / hearth size				
		Chimney size				
Means of escape from fire		Dead end travel distance	unchanged.	✓		
Spread of fire		Existing fire protection maintained		✓		
D1. Access Route		Slip resistance		✓		
		Landing				
		Handrail				
		Tread and Riser				
		Stair dimension				
		Clear height				
D2. Mechanical installation for Access	Lift / Escalator / Moving walkway	Documentation for compliance with the code		✓		
E3. Internal moisture	Internal wet area	Wall / floor impervious lining		✓		
		Shower – tiled wall and / or floor				
		Waterproof membrane specified				
F2. Hazardous Building material		Glazing – glass, safety glass – NZS 4223		✓		
3. Hazardous substances & process		Asbestos				
F4. Safety from falling	Barrier	Height / opening / unclimbable				
		Base fixing and stability				
	Opening / window	760mm from floor level				
		Restrictors required where fall hazard potential		✓		
F7. Warning system	Smoke alarm / fire alarm	Location and type		✓		
G1. Hygiene		Fixture layout		✓		
		Basin location	1 new basin	✓		

Approved Document ref	Elements	Sub Elements	Comments	Result	Recheck	Peer review
G3. Food preparation and prevention of contamination		Sink & cooking facility		✓		
G4. Ventilation		Living space – opening 5% of floor area	<i>enchanged.</i>	/		
		Mechanical ventilation				
		Natural ventilation to existing space				
G7. Natural Light		Natural lighting or existing space		/		
		Habitable space – 10% of floor area				
G8. Artificial light		Lighting required at access route				
G.12 Water supply		Tempering valve				
G13. Foul water	Drainage	System specified	<i>existy.</i>	✓		
		Layout provided		/		
		Drain size / material / gradient				
		Main drain vent (tv)	<i>enchanged.</i>	/		
		Gully trap / ORG shown		✓		
		Drain under building		n/a		
	Sanitary Plumbing	Schematic provided/ layout provided in relation to floor joists		n/a		
		Pipe size / length / gradient		✓		
		Venting requirement		✓		
		Discharge stack & pipe within floor framing		n/a		
H1. Energy efficiency		Timber frame (wall / roof / floor insulation)		n/a		
		Solid construction (wall / roof / floor insulation)		n/a		
		Specific Design		n/a		
		Protection of subfloor insulation (if req)		n/a		
Misc		Specifications		✓		
		Structural calculations		n/a		
		Foundation report		n/a		
		Producer statement Design		n/a		
		Producer statement Design – review		n/a		
Engineering	Engineering comments			✓		

Important note: This checklist is a guide for use by authorized WDC Officer only, for establishing compliance with the Building Code as part of the vetting and Building Consent application.

	Tick
Peer Review <i>Not peer Reviewed</i>	
<b>Application Suspended:</b> I confirm that I have evaluated the proposed project against all items in the checklist	
<b>Application Approved:</b> I confirm that I have evaluated the proposed project against all items in the checklist. Based on the information provided by the applicant, the project complies with the Building Code.	<input checked="" type="checkbox"/>

## SCOPE OF WORKS:

- To upgrade the existing Garage for use as a home occupation – the making of cup cakes (Cherry Cottage Cupcakes). The primary purpose of the site is residential. A sign up to 0.5M2 is permitted on the house.
- 1 carpark on site is all that is required, due to the small area required for the Home Occupation (>16M2).
- Pour a new slab between the upstand nibs, about 120mm high, using heavy duty DPC, polystyrene sheet, of minimum of 25mm thick polystyrene sheet, with an 80mm minimum 20MPA slab over. Fit vertical polystyrene, approx 12mm thick, vertically against concrete nibs, to provide a thermal break.
- Remove the roller door & install a French door set with gazed sidelight beneath the existing lintel.
- Fit Kitchen unit, including a sink & an electric oven.
- Lay a new vinyl floor, coved 100mm at edges & at fittings.
- Install a wash hand basin where shown, & plumb 40mm PVC waste to existing gulley trap at 1 in 40 slope. Supply hot water from existing HWC in Kitchen, & pipe lagged in ceiling & in walls, to fittings.
- Install new gulley trap & connect to existing 100mm sewer drain. Connect 40mm PVC sink waste to gt at 1 in 40 fall.
- Line the garage walls with 6mm Hardiglaze in PVC jointers. Install R2.6 insulation in walls.
- Install a 10mm Grooved plywood ceiling, with 3 coat acrylic paint finish, on 70 x 30 H1.2 battens at 600mm crs, fixed to existing 125 x 50 raking rafters at 900mm crs approx. Install R2.6 (140mm) ceiling batts in ceiling cavity (skillion type construction). Existing Purlins are 60 x 50 at 800mm crs, so framing depth 175mm, less 140 insulation, leaves 35 air gap, which exceeds the 25mm minimum.
- Alternatively, install 6mm Hardiglaze in PVC jointers as the ceiling.
- This Consent is for Plumbing work, & minor building work.

## SPECIFICATION:

1. All work shall be to:
  - NZ Building Code, NZS 3604:1999 & subsequent amendments, & G12 & G13 of NZBC (Plumbing),
  - E2 for External Moisture, E3 for Internal Moisture,
  - G4 for Ventilation, G5 for Interior Environment,
  - H1 for Energy Efficiency,
  - Manufacturers written instructions, & the enclosed drawings and specifications,
  - NZS 3910:2003 (Conditions of Contract) where applicable, and good trade practice.
  - All glazing shall be to NZS 4223: Part 3 for Human Impact to C7 (NZBC).
  - Provide all necessary compliance documentation at conclusion of all work.
  - Check all dimensions on site prior to fabrication. Install shall mean supply and fix.
  - Make good all surfaces on completion of work, and **to match existing**.
  - Liase with the Local Authority, with regards to inspections.
2. Install the polybutylene or polyethylene pipe, with quick fit or crimped fittings to the sink & the wash hand basin as required. Install an anti scold tap at the whb, set to > than 55 degrees C.
3. The waste from the whb & sink shall be 40mm PVC laid at a 1 in 40 fall to new or existing gulley traps. Hot water is supplied from existing Electric HWC.
4. Install Electrical wiring, lighting & outlets, as directed on site. Provide appropriate Electrical Certification to the WDC on completion.
5. Stop and paint all surfaces to Resene 1 line specifications.
6. Install smoke alarms within 3M of all bedrooms, where shown.

APPROVED

**Design Lines**<sup>9</sup> / 1 1 2 9  
2000 Limited

JIM RICHARDSON

Architectural Designer Phone 0274 578 390

**MINOR ALTERATIONS**  
**6 GIBSON ST,**

**WANGANUI**

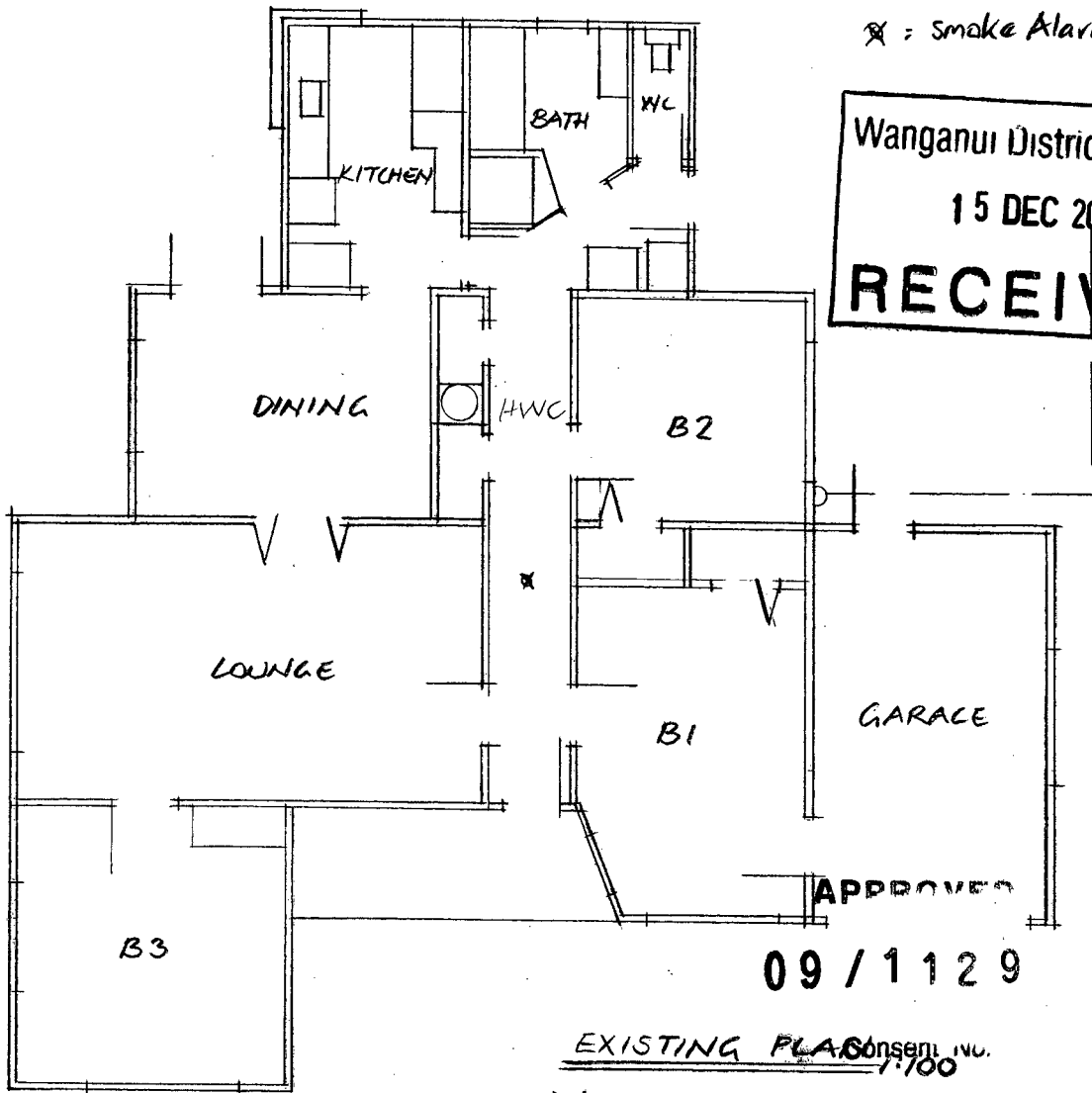
**DRAWINGS & SPECIFICATION** Wanganui District Council **SHEET 1**

15 DEC 2009

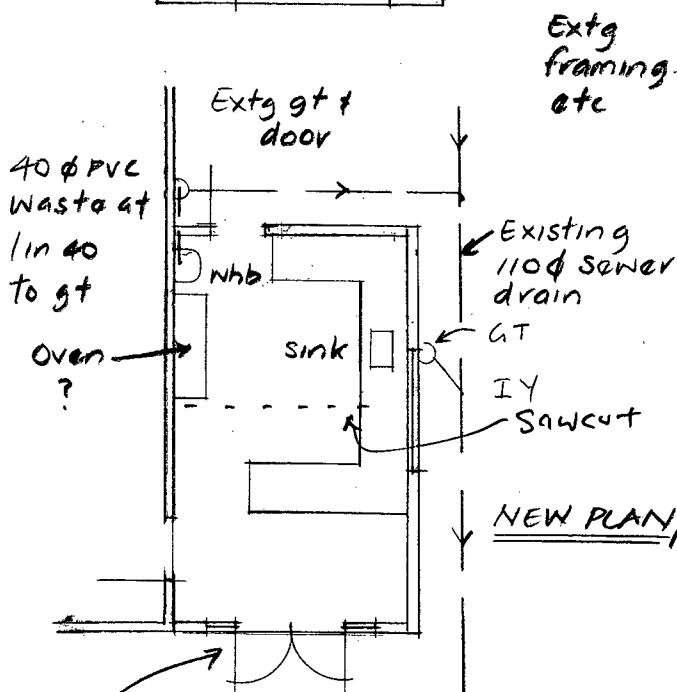
**RECEIVED**

x = smoke Alarm

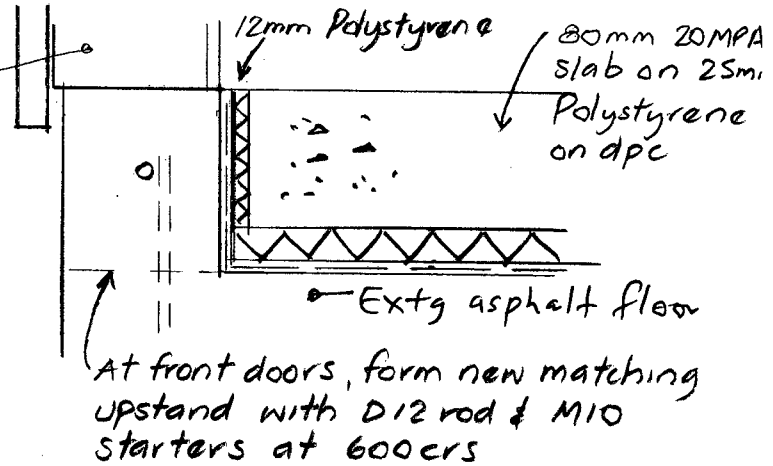
Wanganui District Council  
15 DEC 2009  
**RECEIVED**



EXISTING PLAN 1:100

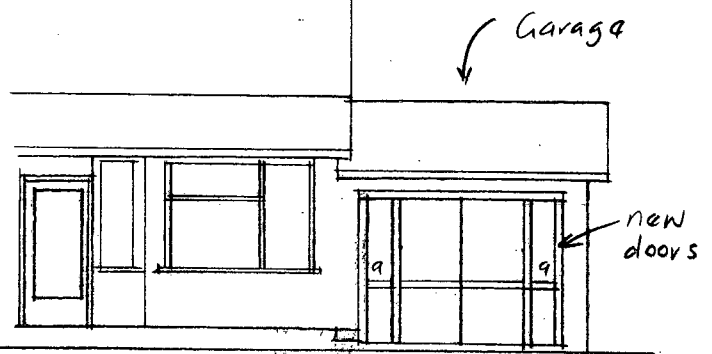


NEW PLAN 1:100



SLAB DETAIL 1:5

New French doors & opening side lights



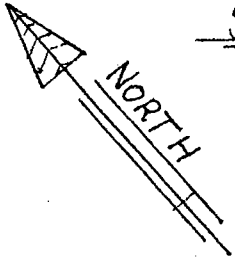
CROWLEY HOUSE  
6 GIBSON ST  
WANGANUI

SHEET 2

28.44.

# SITE PLAN

SCALE 1:200



Consent No.

APPROVED  
09/1129

36.4m.

Has been.

110mm P.V.C. Replaced.

GT T.V.

EXISTING DWELLING

NEW GARAGE

Line of Existing S.S Drain.

SW out to KERB  
7.2m

GT

BL 10.400

GL 10.350

GROUND LEVELS LONG SECTION 1:100.

GL 10.200 (Existing)

I.L. 8.550 (Existing)

K.L. 10.000  
Boundary

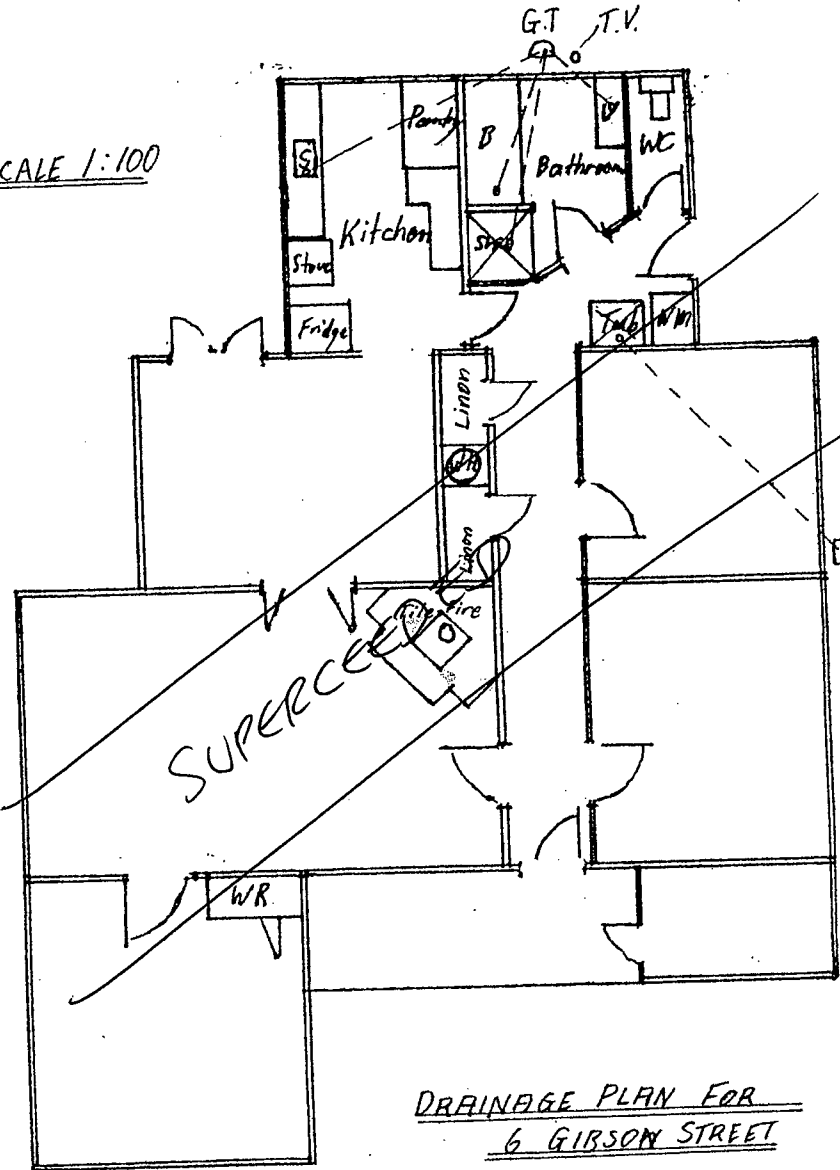
28.44 2.81m.

Foot path.

KERR

Replace some fitting and  
Plumber - Ross Clarke.

SCALE 1:100



DRAINAGE PLAN FOR  
6 GIBSON STREET

EXISTING SITE PLAN

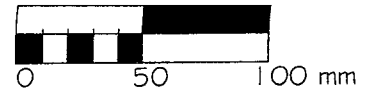
RECEIVED

15 DEC 2009

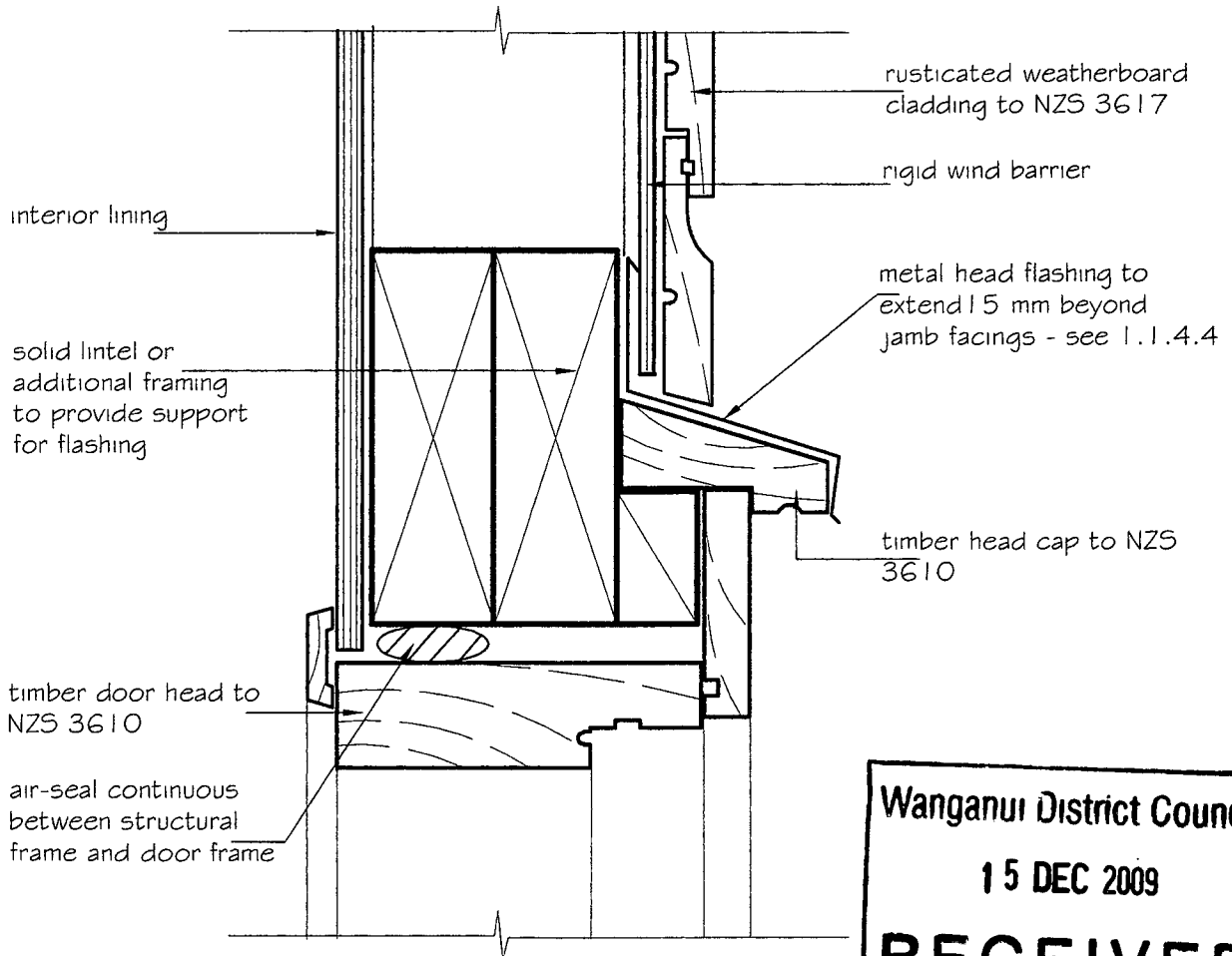
Manganui District Council

STORM WATER TO BE  
DISPOSED OF TO  
KERB & CHANNEL AS PER PLAN  
IN ACCORDANCE WITH  
PLUMBING & DRAINAGE  
REGS. 95/10/9/92

	L	M	H	VH
PR				
SH				
EX				



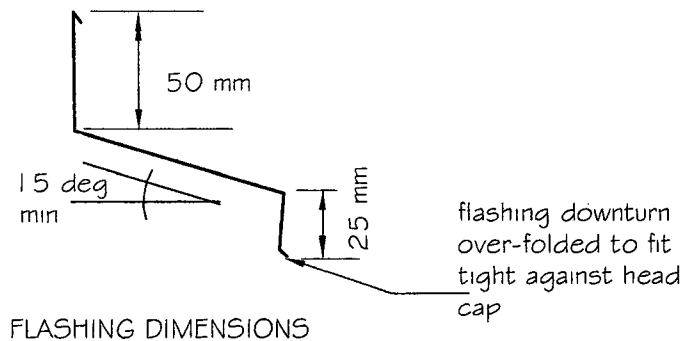
see 1.1.4.1 for lower wind zones and exposures



Wanganui District Council  
15 DEC 2009  
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**APPROVED**  
**09 / 1129**

Consent No.

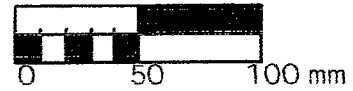


DETAILS FOR JUNCTIONS AND OPENINGS IN WALL CLADDINGS  
 VOLUME ONE: HORIZONTAL WEATHERBOARDS

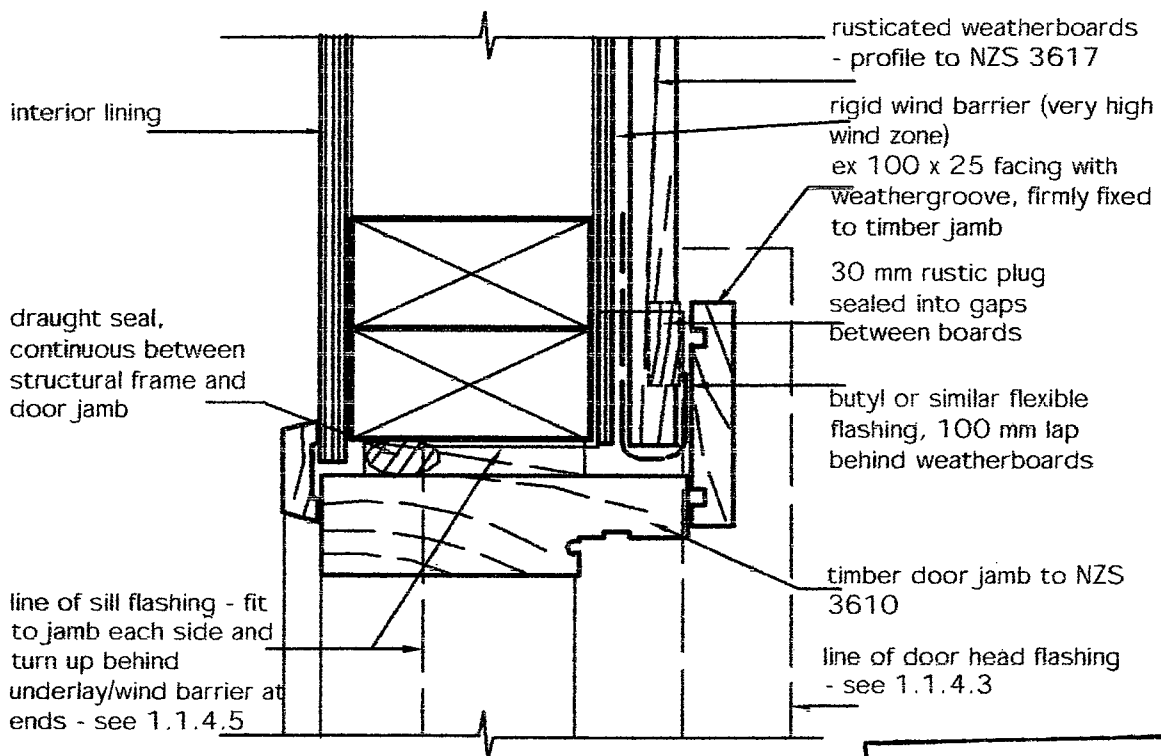
December 2000

© Building Research Association of New Zealand

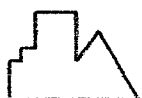
	L	M	H	VH
PR				
SH				
EX				



see 1.1.4.2 for lower wind zones and exposures

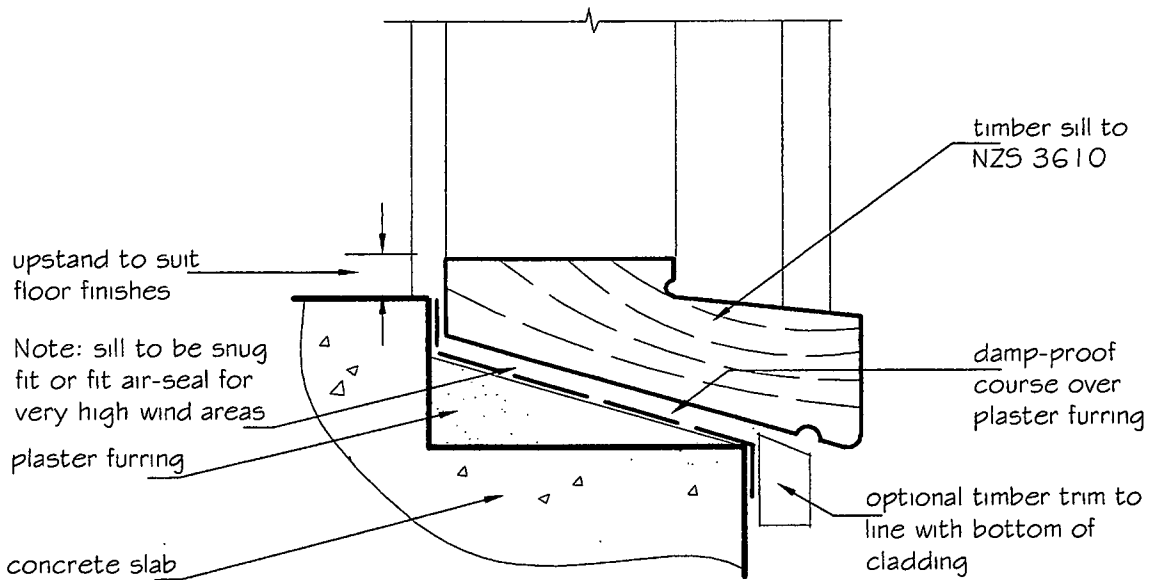
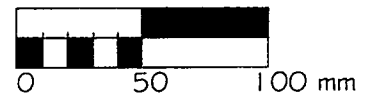


Wanganui District Council  
 15 DEC 2009  
**RECEIVED**



1.1.4.4 Horizontal rusticated timber weatherboards - timber door jamb  
 (all wind zones/exposures)

	L	M	H	VH
PR				
SH				
EX				



APPROVED  
 09 / 1129  
 Consent No.

Wanganui District Council  
 15 DEC 2009  
**RECEIVED**



## INSPECTION RECORD

**This record, together with the Building Consent and approved plans, is to remain on the construction site at all times.**

<b>Project Location</b>	<b>TO BOOK AN INSPECTION PLEASE  PHONE WDC BUILDING CONTROL</b>  <b>ON 349 0001</b>  <b>AND QUOTE THE FOLLOWING  APPLICATION NUMBER:</b>		<b>BCon09/1129</b>
6 Gibson St WANGANUI			
<b>Applicant</b>	<b>Description of Work</b>		
Mrs SM Crowley 6 Gibson St Wanganui	<b>Convert Garage to Commercial Kitchen (Change of Use) Home Occupation (cat:1)</b>		
<b>Builder</b>	<b>Plumber</b>	<b>Drainlayer</b>	
Mr AN Richardson 18 Morgan St Wanganui	Wanganui Plumbing Ltd P O Box 5063 Wanganui 5030	Wanganui Plumbing Ltd P O Box 5063 Wanganui 5030	

### SUMMARY OF CONDITIONS

Building Consent Number BCon09/1129

#### PIM Conditions

Code	Condition
	All work on the project must comply with the requirements of the NZ Building Code.
	A PIM only document is not an approval to build. A Building Consent is required before building work commences.
	W.D.C will follow up on building work not completed within two years of building consent issue.
	A Building Consent lapses and is of no effect if the building work has not been started within 12 months of the date of issue.
	If the building is public premises it may not be occupied until either a code compliance certificate or certificate for public use has been issued.
	Please note [Electrical, and Gasfitting subtrades do not form part of the building consent inspection process. However, Council is required to receive 'Energy Certificates' from both of these trades before issue of a Code Compliance Certificate].

#### Building Consent Conditions

Code	Condition

**Your project's inspections are listed on the next page...**

101 Guyton Street  
P O Box 637, Wanganui  
Phone: (06) 349 0001  
Fax: (06) 349 0000  
Email: wdc@wanganui.govt.nz  
Web: www.wanganui.govt.nz

**Please Note:** A minimum of 24 hours notice is required for the booking of an inspection. The inspection record sheet documentation must be on site for use by the inspector at the time of the inspection

## Inspections Record For Building Consent Number BCon

<i>Inspection</i>	<i>When to Request</i>	<i>Date</i>	<i>Inspector</i>	<i>Complies with Code</i>	<i>Reinspect</i>	<i>Notes</i>
<b>BUILDING AND PLUMBING PRELINE COMBINED INSPECTION</b>	Before Internal linings are fixed.					FPL2590 1500 KPA test on and one untempered to sin Drainage later. Building minor no bra minor and ok.
<b>FINAL BUILDING AND PLUMBING COMBINED INSPECTION</b>	On Completion					DRA01329: 25/3/10, 1 s/sewer drainage laid l into existing 4" earthen - Check ground level above unpaved ground
<b>FINAL BUILDING INSPECTION</b>		21/04/2010	Peter Tantrum	<b>YES</b>	<b>NO</b>	RES# 1636 work com temp and plumbing =c elect cert supplied



## INSPECTION TIME REPORT

Building Consent Number BCon09/1129

<b><i>Total Estimated Inspection Time</i></b>	100
<b><i>Total Actual Inspection Time</i></b>	110
<b><i>Inspection Time Difference</i></b>	-10
<b>At BC Issue</b>	Time to be charged.
<b>At Completion</b>	Positive amount = time to be credited Negative amount = time to be charged

Signed for and on behalf of the Wanganui District Council



# Framing & Pre-Line Inspection

N° FPL 2590

Address					
6 Gibson St					
Consent No		Date		Inspector	
09/1129		3-2-10		R/L	
Framing			Comments		
Wind zone/Corrosion zone	<input type="checkbox"/> OK	<input type="checkbox"/> N/A	/		
DPC	<input type="checkbox"/> OK	<input type="checkbox"/> N/A			
Roof size, spacing & treatment	<input type="checkbox"/> OK	<input type="checkbox"/> N/A			
Framing Straight	<input type="checkbox"/> OK	<input type="checkbox"/> N/A			
Lintel/Beam size, treatment & Fixing	<input type="checkbox"/> OK	<input type="checkbox"/> N/A			
Top plate fixings	<input type="checkbox"/> OK	<input type="checkbox"/> N/A			
Rafter size, treatment & spacing	<input type="checkbox"/> OK	<input type="checkbox"/> N/A			
Valley sizes/Internal gutter sizes	<input type="checkbox"/> OK	<input type="checkbox"/> N/A			
Truss Layout	<input type="checkbox"/> OK	<input type="checkbox"/> N/A			
Truss Fixing	<input type="checkbox"/> OK	<input type="checkbox"/> N/A			
Truss Plan	<input type="checkbox"/> OK	<input type="checkbox"/> N/A			
Roof Bracing	<input type="checkbox"/> OK	<input type="checkbox"/> N/A			
Truss Join Fixings	<input type="checkbox"/> OK	<input type="checkbox"/> N/A			
Floor joist size, treatment & spacing	<input type="checkbox"/> OK	<input type="checkbox"/> N/A			
Structural Steel	<input type="checkbox"/> OK	<input type="checkbox"/> N/A			
Structural Brackets	<input type="checkbox"/> OK	<input type="checkbox"/> N/A			
Services Accommodation	<input type="checkbox"/> OK	<input type="checkbox"/> N/A			
Decks-beams, posts, joists & decking	<input type="checkbox"/> OK	<input type="checkbox"/> N/A			
Subfloor Bracing - Types & Location	<input type="checkbox"/> OK	<input type="checkbox"/> N/A			
Fixings (durability)					
Comments					

Re Check		Compliance	
NO		YES	
Pre-line		Comments	
Framing	<input checked="" type="checkbox"/> OK	<input type="checkbox"/> N/A	
Wind/Corrosion zone	<input checked="" type="checkbox"/> OK	<input type="checkbox"/> N/A	
Timber	<input checked="" type="checkbox"/> OK	<input type="checkbox"/> N/A	memo
Moisture Content	<input checked="" type="checkbox"/>		all under 12
Wall Bracings	<input type="checkbox"/> OK	<input checked="" type="checkbox"/> N/A	
Is modified Bracing schedule Required?	<input type="checkbox"/> YES	<input checked="" type="checkbox"/> NO	
Insulation	<input checked="" type="checkbox"/> OK	<input type="checkbox"/> N/A	
Ceilings	<input checked="" type="checkbox"/> OK	<input type="checkbox"/> N/A	
Roof Framing	<input checked="" type="checkbox"/> OK	<input type="checkbox"/> N/A	existing
2nd Storey Floor Framing	<input type="checkbox"/> OK	<input checked="" type="checkbox"/> N/A	
External Window Joinery	<input checked="" type="checkbox"/> OK	<input type="checkbox"/> N/A	+ to complete
Fire Separations	<input type="checkbox"/> OK	<input checked="" type="checkbox"/> N/A	
Ventilation	<input checked="" type="checkbox"/> OK	<input type="checkbox"/> N/A	
Comments			
<p>1500 kpa test on lines running back to H/water cylinder separate lines for tempering &amp; sink.</p> <p>Tempering valve to be fitted outside window &amp; door flashing to complete.</p> <p>can see all at Ancl.</p>			



# Drainage Inspection

Nº DRA 01329

Address						
6 gibson st						
Consent No		Date		Inspector		Re Inspect
9/1129		25/3/10		C.G.		No
Foul Water Drainage		Comment		Septic Tank		Comment
System Used		<input type="checkbox"/> ANZS 3500 <input checked="" type="checkbox"/> NZBC G13		Tank Size		<input type="checkbox"/> OK <input type="checkbox"/> N/A
Drainage Material/Size		<input checked="" type="checkbox"/> OK <input type="checkbox"/> N/A		Tank Location		<input type="checkbox"/> OK <input type="checkbox"/> N/A
Gradient		<input checked="" type="checkbox"/> OK <input type="checkbox"/> N/A		Tank Venting/Filter		<input type="checkbox"/> OK <input type="checkbox"/> N/A
Laying Material		<input checked="" type="checkbox"/> OK <input type="checkbox"/> N/A		Effluent Disposal Field Location		<input type="checkbox"/> OK <input type="checkbox"/> N/A
Drainage Depth/Cover		<input checked="" type="checkbox"/> OK <input type="checkbox"/> N/A		Type of Effluent Field		<input type="checkbox"/> OK <input type="checkbox"/> N/A
Inspection Fittings		<input checked="" type="checkbox"/> OK <input type="checkbox"/> N/A		Length of Disposal Field		<input type="checkbox"/> OK <input type="checkbox"/> N/A
Gully Traps Seal/Height		<input checked="" type="checkbox"/> OK <input type="checkbox"/> N/A		Material in Disposal Field		<input type="checkbox"/> OK <input type="checkbox"/> N/A
Vents		<input type="checkbox"/> OK <input checked="" type="checkbox"/> N/A		Geo Tech Cloth		<input type="checkbox"/> OK <input type="checkbox"/> N/A
Manholes Haunched		<input type="checkbox"/> OK <input checked="" type="checkbox"/> N/A				
Pump Stations Alarmed/Vented		<input type="checkbox"/> OK <input checked="" type="checkbox"/> N/A		Stormwater		
Retention Tanks		<input type="checkbox"/> OK <input checked="" type="checkbox"/> N/A		Drainage Material Size		<input type="checkbox"/> OK <input type="checkbox"/> N/A
Sumps		<input type="checkbox"/> OK <input checked="" type="checkbox"/> N/A		Connected to Downpipes		<input type="checkbox"/> OK <input type="checkbox"/> N/A
Roof & Wall Penetrations		<input type="checkbox"/> OK <input checked="" type="checkbox"/> N/A		Sumps/Manholes		<input type="checkbox"/> OK <input type="checkbox"/> N/A
Pressure Test		<input type="checkbox"/> OK <input checked="" type="checkbox"/> N/A		Discharging to Approved System		<input type="checkbox"/> OK <input type="checkbox"/> N/A
		<input type="checkbox"/> OK <input type="checkbox"/> N/A				<input type="checkbox"/> OK <input type="checkbox"/> N/A

Comments

inspect small amount of s/sew drain laid by Wang. Plumbing. New gt connects into existing 4" earthware all appears ok.

- check ground level of gt on final - 25mm above paved 75mm above unpaved.

ENTERED



# Residential Final Inspection

N° RES 1636

Address 6 Gibson St.

Consent No 09/1129 Date 21/4/10 Inspector PM.

Re Check NO. YES. Compliance YES.

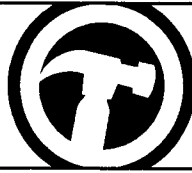
Exterior	Comments	
Subfloor Ventilation	<input type="checkbox"/> OK <input checked="" type="checkbox"/> N/A	
Ground Clearance	<input checked="" type="checkbox"/> OK <input type="checkbox"/> N/A	
Cladding	<input checked="" type="checkbox"/> OK <input type="checkbox"/> N/A	
Photograph	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	
Brick Work	<input type="checkbox"/> OK <input type="checkbox"/> N/A	
Joinery	<input checked="" type="checkbox"/> OK <input type="checkbox"/> N/A	
Meter Box	<input type="checkbox"/> OK <input type="checkbox"/> N/A	
Roofing and Fixings	<input type="checkbox"/> OK <input type="checkbox"/> N/A	
Roof Flashings - Penetrations	<input type="checkbox"/> OK <input type="checkbox"/> N/A	
- Hips	<input type="checkbox"/> OK <input type="checkbox"/> N/A	
- Valleys	<input type="checkbox"/> OK <input type="checkbox"/> N/A	
- Gables	<input type="checkbox"/> OK <input type="checkbox"/> N/A	
- Apron Flashings	<input type="checkbox"/> OK <input type="checkbox"/> N/A	
Decks - Structure	<input type="checkbox"/> OK <input type="checkbox"/> N/A	
Balustrades	<input type="checkbox"/> OK <input type="checkbox"/> N/A	
Steps/Stairs	<input type="checkbox"/> OK <input type="checkbox"/> N/A	
Gully Dishes	<input checked="" type="checkbox"/> OK <input type="checkbox"/> N/A	
Wastes to Gulleys	<input checked="" type="checkbox"/> OK <input type="checkbox"/> N/A	
Drain Vents	<input checked="" type="checkbox"/> OK <input type="checkbox"/> N/A	
Spouting-downpipes	<input type="checkbox"/> OK <input type="checkbox"/> N/A	
Septic Tank	<input type="checkbox"/> OK <input type="checkbox"/> N/A	
Water Storage Tank & Pump	<input type="checkbox"/> OK <input type="checkbox"/> N/A	
Surface Water Drainage	<input type="checkbox"/> OK <input type="checkbox"/> N/A	
Sumps	<input type="checkbox"/> OK <input type="checkbox"/> N/A	
Footpath/Crossing Damaged	<input type="checkbox"/> OK <input type="checkbox"/> N/A	

Interior	Comments	
Service Area Sealing	<input checked="" type="checkbox"/> OK <input type="checkbox"/> N/A	
Shower Seals	<input type="checkbox"/> OK <input checked="" type="checkbox"/> N/A	
Safety Glass	<input type="checkbox"/> OK <input checked="" type="checkbox"/> N/A	
Stair Design	<input type="checkbox"/> OK <input checked="" type="checkbox"/> N/A	
Handrails	<input type="checkbox"/> OK <input checked="" type="checkbox"/> N/A	
Barriers	<input type="checkbox"/> OK <input checked="" type="checkbox"/> N/A	
Lighting	<input checked="" type="checkbox"/> OK <input type="checkbox"/> N/A	
Cooking Facilities	<input checked="" type="checkbox"/> OK <input type="checkbox"/> N/A	
Food Storage	<input checked="" type="checkbox"/> OK <input type="checkbox"/> N/A	
Laundering & Tub fixings	<input type="checkbox"/> OK <input checked="" type="checkbox"/> N/A	
Natural Ventilation	<input checked="" type="checkbox"/> OK <input type="checkbox"/> N/A	
Mech Ventilation	<input type="checkbox"/> OK <input checked="" type="checkbox"/> N/A	
HWC - Flues	<input type="checkbox"/> OK <input type="checkbox"/> N/A	
- Valving	<input type="checkbox"/> OK <input type="checkbox"/> N/A	
- Installation	<input type="checkbox"/> OK <input type="checkbox"/> N/A	
Hot Water Temp Control	<input checked="" type="checkbox"/> OK <input type="checkbox"/> N/A	<u>90° @ HAND WASH BASIN</u>
Header Tanks	<input type="checkbox"/> OK <input checked="" type="checkbox"/> N/A	
Trap Seals and AAVs	<input checked="" type="checkbox"/> OK <input type="checkbox"/> N/A	
WCs	<input type="checkbox"/> OK <input checked="" type="checkbox"/> N/A	
Smoke Alarms	<input checked="" type="checkbox"/> OK <input type="checkbox"/> N/A	
Solid Fuel Heater - Type	<input type="checkbox"/> OK <input type="checkbox"/> N/A	
- Clearances	<input type="checkbox"/> OK <input type="checkbox"/> N/A	
- Installation	<input type="checkbox"/> OK <input type="checkbox"/> N/A	
- Flue	<input type="checkbox"/> OK <input type="checkbox"/> N/A	

Roof Space	Comments	
Vent Ducts	<input type="checkbox"/> OK <input type="checkbox"/> N/A	
Cladding	<input type="checkbox"/> OK <input type="checkbox"/> N/A	
Roofing Paper	<input type="checkbox"/> OK <input type="checkbox"/> N/A	
Insulation	<input type="checkbox"/> OK <input type="checkbox"/> N/A	
Clearances	<input type="checkbox"/> OK <input type="checkbox"/> N/A	

Miscellaneous	Comments	
Vehicle Crossing Prod Stmt.	<input type="checkbox"/> OK <input type="checkbox"/> N/A	
Energy Certificate Electric	<input type="checkbox"/> OK <input type="checkbox"/> N/A	<u>TO Supply.</u>
Energy Certificate Gas	<input type="checkbox"/> OK <input type="checkbox"/> N/A	
Spray Coat Prod Stmt.	<input type="checkbox"/> OK <input type="checkbox"/> N/A	
Other Form 6.	<input checked="" type="checkbox"/> OK <input type="checkbox"/> N/A	

Comments  
ELECT CERA TO Supply.



1. The building consent

Building consent no.

09/1129

Description of work

COMMERCIAL KITCHEN

Address

6 GIBSON ST

2. Property owner details

Owner details



Have not changed since the  
building consent was lodged



Have changed since the building  
consent was lodged

Proceed to 3 "Applicant details" below

Name

SUE CROWLEY

Contact person

(If owner is a corporation,  
partnership or trust)

Postal address

6 GIBSON ST

Contact numbers

063436455

Phone

Mobile

Fax

Email

isusanmary@hotmail.com

Evidence of ownership  
attached  
(Only required if ownership has  
changed)



Certificate of Title (copy)



Sale and purchase agreement



Lease agreement



Other document showing full name of legal  
owner(s), such as a rate instalment notice

3. Applicant details

I am the



Property owner



Lessee

Provide details below



Agent

Authorised by owner / lessee  
Provide details below

Name

SUE CROWLEY

Postal address

6 GIBSON ST

Contact numbers

063436455

Phone

Mobile

Fax

Email

isusanmary@hotmail.com

4. Attachments

The following documents are attached to this application:



Certificates from the personnel who carried out the work



Certificates that relate to the energy work (e.g. gas or electrical certificates)



Evidence that specified systems are capable of performing to the performance standards set out in the building consent

## 5. Key building practitioners

Designer	Name / Registration no.		
	Contact details Address		
	Phone / Email		
Builder	Name / Registration no.		
	Contact details Address		
	Phone / Email		
Drainlayer	Name / Registration no.		
	Contact details Address		
	Phone / Email		
Plumber	Name / Registration no.	WGI Plumbing	
	Contact details Address	Same RD	
	Phone / Email		
Gasfitter	Name / Registration no.		
	Contact details Address		
	Phone / Email		
Electrician	Name / Registration no.		
	Contact details Address		
	Phone / Email		
Other	Name / Registration no.		
	Contact details Address		
	Phone / Email		

## 6. Application

Date building work completed

20-4-10

I request that you issue a code compliance certificate for the work under section 95 of the Building Act 2004. I understand that the code compliance certificate will be sent to the property owner.

\_\_\_\_\_/\_\_\_\_\_/\_\_\_\_\_  
Signature Date

\_\_\_\_\_  
Name (print clearly)

### OFFICE USE ONLY

Date received  Application #  Document #  Project #   
Property ID  Legal ID  Receipt #  Amount Paid \$



# Electrical Certificate of Compliance

Wanganui District Council No. 3221635  
 No. of attachments  
**RECEIVED**

for a low voltage installation if prescribed electrical work has been done on any part of it and the prescribed electrical work involved placing, replacing, or repositioning conductors or fittings attached to conductors.

**To be completed whether or not an inspection is required.**

**CUSTOMER INFORMATION - PLEASE PRINT CLEARLY**

Name of customer: SUE CROWLEY Phone: 06 343 6455  
 Address of installation: 6 GIBSON STREET ARAMONO WANGANUI  
 Postal address of customer (if not as above):

**DECLARATION OF CONFORMITY** (Please tick (✓) appropriate boxes)

In accordance with Regulation 58 of the Electricity (Safety) Regulations 2010, the design of the installation or part of the installation to which this certificate applies

- (a) complies with either Part 2 of AS/NZS 3000:2007  or Part 1 of AS/NZS3000:2007 and Regulation 59  and
- (b) the supply system of the installation or part of the installation to which this certificate applies is  
 230V/400 V MEN  or attached other system

**WORK DETAILS**

<u>6</u> No. of lighting outlets	<u>1</u> No. of ranges	Please tick (✓) as appropriate where work includes:
<u>2</u> No. of socket outlets	No. of water heaters	
Was any installation work carried out by the homeowner?	Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>	Mains <input type="checkbox"/> Main earthing system <input type="checkbox"/> MEN Switchboard <input type="checkbox"/> Electric lines <input type="checkbox"/>

Description of work carried out (If necessary attach any pages with work done) ELECTRICAL ADDITIONS TO KITCHEN ADDITION - CONNECTED AND INSTALLED LIGHTING CIRCUIT AND POWER CIRCUIT. CONNECTED TO EXISTING CIRCUIT. UPGRADED SWITCHBOARD TO NOW MCB AND RCD CIRCUIT PROTECTION.

**CERTIFICATION OF WORK** (Please tick (✓) appropriate boxes)

I certify that the completed installation or part of the installation to which this certificate applies

- has been installed in accordance with the design detailed in the Declaration of Conformity section above
- has had tests which are required by the Electricity (Safety) Regulations 2010 satisfactorily completed
- has an earthing system that is correctly rated
- contains fittings which are safe to connect to a power supply
- is safe to connect to a power supply

**ELECTRICAL WORKER DETAILS**

Name: <u>MIKE BENCE</u>	Registration No. <u>E3074</u>
Company: <u>ADN GILBORSON ELECTRICAL</u>	Contact Ph No. <u>06 3489266</u>
Signature: <u>[Signature]</u>	Date: <u>16/6/10</u>

**INSPECTION DETAILS**

Electrical work requiring inspection by a registered electrical inspector

- Mains work (mains, MEN switchboards closest to the point of supply, or main earthing systems)
- Attached other
- Work carried out in accordance with Part 1 of AS/NZS 3000:2007

I certify that the items identified above are electrically safe and that the inspection has been carried out in accordance with the Electricity (Safety) Regulations 2010.

Name	Registration No.
Signature	Date
	Contact Ph No.

This form is approved by the Electrical Workers Registration Board (PO Box 10 156, Wellington. Freephone 0800 66 1000) for the purposes of the Electricity (Safety) Regulations 2010.

**Code Compliance Assessment Checklist**  
**Building Consent No # BC 09/11/29...**

	ITEM	YES	NO	N/A	COMMENTS
1	Work complies with approved BC documentation - Sec 94 (1)	✓			
2	All the required inspections have been completed	✓			
3	BC conditions have been fulfilled			✓	
4	PIM requirements have been complied with	✓			
5	Damage deposit is released			✓	
6	Development contributions have been paid (Sec 94 (4))			✓	
7	All documents have BC number on them	✓			
8	Sec 75-77 registered if applicable			✓	
9	Sec 72-74 registered on title if applicable			✓	
10	Energy work certificates have been provided (if required) sec 94 (3)				To Supply B4 CCC
11	All inspection fees have been paid?	✓			
12	Specified systems are capable of performing in accordance with performance standards (sec 94 (1B))			✓	
13	Is a compliance schedule required or requires amending (sec 100(2))			✓	
14	Has there been a change of ownership (sec 364)		✓		
15	Any warnings or bans applied (sec 94 (2))			✓	
16	Has the TA received any certificates issued by licensed building practitioners that relate to restricted work (sec 88 (10 and (2) nb: The restricted building work and LBP provisions do not come into effect until 30/11/2009			✓	
17	Check the TA has been advised by a LBP that building work carried out under a building consent does not comply with that consent			✓	
18	Any amendments have been issued and whether documentation associated with these have been properly completed			✓	
19	Any outstanding documentation still to be collected such as	✓			
20	Photographs of elevations				
21	Fire doors				
22	Backflow				
23	Lifts (electrical and installation)				
24	Mechanical ventilation				
25	List of consultants				

**Producer Statements:**

A Producer Statement requires the following as a minimum requirement to be accepted by the Wanganui District Council:

- A written statement
- Header with 'Producer Statement'
- Who is issuing the Producer statement (suitably qualified and author of Producer statements)
- The Producer Statement must be addressed for the attention of the Wanganui District Council
- The applicable Building Consent number must be recorded
- Who has completed or designed the work identified (qualifications to undertake the work)
- The product name and specifications for application of product used
- What parts/clauses of the Building Code the work relates to
- Full legal description of the site where the work will be undertaken
- Clearly identifying what part of the Building Consent is covered by the Producer Statement
- Provide the sum of provisional indemnity insurance held

The author's name and signature:

- Qualifications
- Address
- Registration number
- Membership of professional organization
- Date the producer statement was produced

All information and documentation is present and correct, a Code Compliance Certificate can be issued.

Name: Peter Chapman

Signature: [Signature]

Date: 30-11-16

101 Guyton Street  
P O Box 637, Wanganui  
Phone: (06) 349 0001  
Fax: (06) 349 0000  
Email: wdc@wanganui.govt.nz  
Web: www.wanganui.govt.nz



## CODE COMPLIANCE CERTIFICATE NUMBER BCon09/1129

Section 95(3), Building Act 2004

Mrs SM Crowley  
6 Gibson St  
Wanganui

**Building Consent  
No:** BCon09/1129

**Issue Date:** 25/06/2010

<b>Project Location</b>	<b>Assessment Number/Legal Description</b>
6 Gibson St WANGANUI	LOT 14 DEED 111 0.1012 Ha
<b>Type of Work</b>	<b>Description of Work</b>
SingDetRes	Convert Garage to Commercial Kitchen (Change of Use) Home Occupation (cat:1)
<b>Intended Life</b>	<b>Estimated Value</b>
50 years	\$10000.00

This is a final Code Compliance Certificate issued in respect of all of the building work under the above Building Consent.

There are no specified systems in this building.

Signed for and on behalf of the Wanganui District Council:

A handwritten signature in black ink, appearing to read 'A J Jamieson', is written over a small, faint rectangular stamp.

A J Jamieson  
Team Leader Building Services

Date: 25 June, 2010



**END OF BUILDING CONSENT FILE**

BC No. 09/1129

C.C.C. Issued.