

TIMARU CITY COUNCIL
BUILDING INSPECTION SHEET

Permit No. 25009 Date 27 MAR 1986

Owner A.R. + EM Kelly

Builder Kelly + Broonathan

Lot 18 D.P. 27222

Address 56 Pukatea St

Work Erect 2 Dwellings

Foundations in order pour, bearing,
reinforcing, siting okay.

Beach fill in place, prior to
forming floor. 22/8/86 Frame
going up, trusses on, yet to be
2 nailed, lounge and garage
door lintels to be increased in
size, brace required in
front wall. 8/9/86 Roof brace
yet to do eastern unit, lounge
window lintel has been corrected
West flat being lined, M/C in order

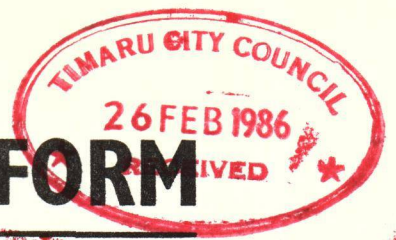
Footway _____

In Order _____

Damaged _____

Signed _____

batts in ceiling, appears to be in order
30/9/80 West unit complete, fine in
order with specifications supplied.
East unit being lined, Batts in walls and
ceilings. 21/9/87 Complete



BUILDING APPLICATION FORM

Date 25 - 2 - 1986

To the City Engineer

Sir,

I hereby apply for permission to erect 2 Flats (State type of work)

at No. 56 Pukatea Street, for (owner) AK-671 Kelly according to locality plan and detailed plans, elevations, cross-sections and specification of buildings deposited herewith, in duplicate.

Particulars of Land: Lot No. 18 D.P. 27222

Floor Area 216 m²

Estimated Value Including Labour:

Buildings	\$ <u>7331</u> : -
Plumbing and Drainage	\$ <u>6669</u> : -
	\$ 80000 : 00 <u>87300</u>

Proposed purposes for which every part of building is to be used or occupied:

Domestic — Commercial — Industrial

Yours faithfully,

Kelly & Brosnan Builder
15 Koiniwi St Address

If use of footpath or street is required for scaffolding, etc., separate application must be made.

Registered Plumber/Drainlayer employed D. Mulcahy or J. Laws ?

OFFICE USE ONLY

Permit No. <u>25008</u>	Building Fee	\$ <u>252</u> : -
Assessment No.	Research Levy	\$ <u>88</u> : 00
Receipt No. <u>27/3/86</u>	Sewer Connection	\$ <u>25</u> : 00
	Water Service	\$ <u>20</u> : 00
	Storm Water Drain	\$ <u>20</u> : 00
	Permanent Vehicular Crossing (<u>E2</u>)	\$ <u> </u> : <u> </u>
	Extraordinary Water Charge	\$ <u>5</u> : 00
Special Conditions		
.....	Total	\$ <u>410</u> : -
.....		
.....		

Recorded T20 & T21 JA 27-2-86
 Power SM 10-3-86
 P. and T.
 Road Engineer SD/KS 10-3-86
 Water DMC 10-3-86

Plan and Specification 11-3-86
 Town Planning JA 11-3-86
 Drainage and Public Health 286 7-3-86
 Structural Design AMC 11/3/86
 Approved PP

PERMIT No. STREET BUILDER

Deposit for possible damage to pavement

I hereby claim refund of deposit

Examined and found in order/not in order

EA

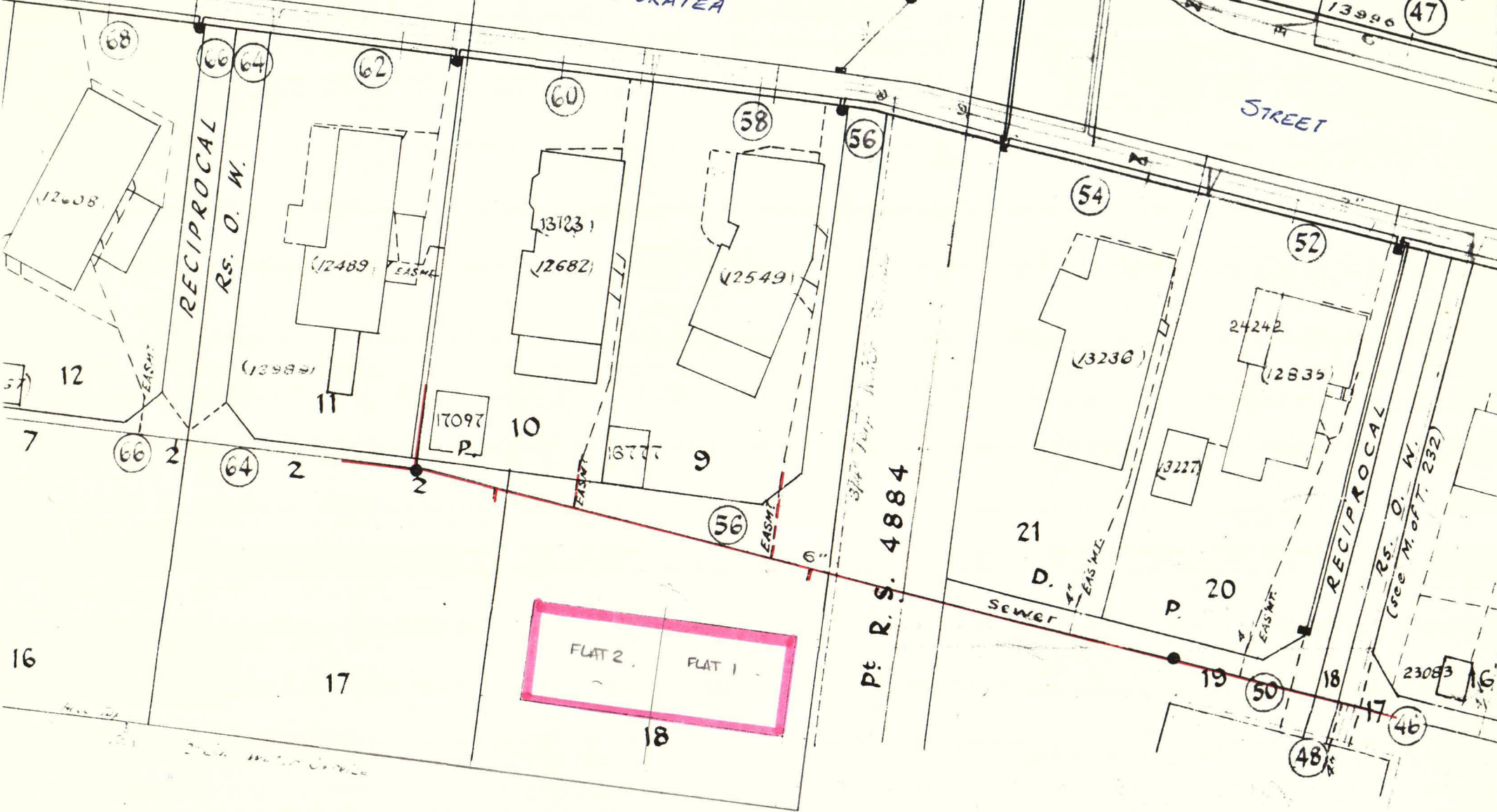
ST

PUKATEA

MIRO STREET

STREET

13996 (47)



SPECIFICATION OF WORK AND MATERIALS REQUIRED IN THE ERECTION OF THE PROPOSED BUILDINGS:
BEING RESIDENCE FOR MR & MRS AR & EM. KELLY 54 PUKATEA ST

IN ACCORDANCE WITH THIS SPECIFICATION, THE ACCOMPANYING DRAWINGS, AND ALL BY-LAWS
APPERTAINING THERETO, AND

LOT No. 18 D.P. No. 27222 Job No. 100 Dated 27-2-86

NOTICES

The contractor shall pay all Permit fees for the proper execution of the work and carry out the work in conformity with any Act of Parliament and Local By-Laws and regulations applicable thereto.

Notice is to be given to the supervisor by the main contractor as to the starting date prior to commencing work.

DIMENSIONS

The contractor shall verify all dimensions shown or figures on the drawings. Figure dimensions are to be taken in preference to scaled dimensions, and all dimensions, figures on the drawings are to machine finished surfaces.

INSURANCE

The contractor shall insure the works in an approved Fire Office and such insurance shall cover the full value of the premises when completed. The contractor shall be held responsible for any damage or loss by fire to the works and such things as are covered by the "Policy" until the completion of the contract.

SITE

The contractor must inspect the site prior to tendering. Site conditions such as levels, access, circumstances of existing and adjoining buildings are believed to be fairly represented in the documents supplied. Tenderers shall satisfy themselves on all circumstances which may influence or affect their tenders.

TRADE RELATIONS

This specification is divided into trade sections for convenience of reference only. While all reasonable care is taken to classify under each trade, no claim will be admitted for work not specially mentioned but which is expressed or implied elsewhere in the specification or on the drawings.

Should any Tradesman consider that the work of other trades, or the condition of any surface is not in a satisfactory condition to ensure a proper finish to his work, he shall report immediately to the General Contractor and not proceed until the necessary alterations or improvements have been made.

PROTECTION OF PROPERTY

The General Contractor shall be responsible for the adequate protection and where necessary, making good of all public and private property adjoining the site. Allow to pay any fees in connection therewith.

COMPLETION CLEANING ETC:

At completion the premises shall be thoroughly clean and fit for immediate occupation waterproof and to the approval of the Supervisor.

EXCAVATOR

The contractor is responsible for pegging that part of ground to be excavated. All excavations shall be carried out in accordance with the current Labour Department regulations. Strip top soil from that part of site covered by the building to a minimum depth of 150 mm and stock pile where directed so that it won't be buried under sub-soil that is excavated subsequently. Excavate for all foundations and footings to the levels shown on drawings, but should satisfactory bearing not be found at this depth, excavations shall be taken down until satisfactory ground is reached. Allow for excavation of drive and basement area.

All sub-soil to be removed from site. The bottom 100 mm of all foundations and footing shall be trimmed out by hand to a firm surface.

Allow for excavation of drive to a solid bearing.

Fill with screened hard fill 19 mm to 38 mm with no fines to concrete floor area. Hard fill to be compacted with a vibrating roller for every 225 mm of fill. Minimum depth of fill to be 75 mm.

CONCRETOR

The concretor shall comply with N.Z.S.S. 1900 and all amendments applicable therein. Proportions of concrete shall be one part of cement, two parts sand and four parts coarse aggregate, machine mixed for not less than two minutes. Remove the entire contents of each batch after mixing. "Ready Mix" concrete may be used if so desired.

Concrete floors to be 100 mm thick min reinforced with HRC 665 mesh.

PLASTERER

All foundations, steps and terraces to be plastered. All plastering to be carried out by skilled and experienced tradesmen in accordance with the best trade practice for the various operations.

CARPENTER

TIMBER All timber shall conform to grades defined by N.Z.S.S. 3631 1978 and Amendments and which shall form part of this specification.

Unless otherwise shown on the drawings, all external timber for joinery etc shall be D.A. Timber. All framing shall be B.A. Rimu or Radiata Pine Treated. All internal finishing timber shall be of D.A. Rimu. Timbers shall be to the sizes shown on the drawings and as specified.

SEASONING OF ALL TIMBER *24% MOISTURE CONTENT BEFORE LINING*

Before being machined, all joinery framing and dressing timbers shall be thoroughly air seasoned. All joinery dressed and finished timbers, and all prebuilt components shall be stacked under cover from the weather at all times prior to erection on the site. Internal finishing timber to be machine sanded.

DAMPCOURSE *BETWEEN TIMBER & CONCRETE*

Between blinding layer and polystyrene lay an approved three-ply damp-proof material.

SCHEDULE OF TIMBER GRADES

Wall Framing Treated Radiata Pine or Rimu B.A.
All interior finishing woodwork Rimu Dressing A

SCHEDULE OF TIMBERS

<u>DESIGNATION</u>	<u>SAWN SIZE</u>	
Top and Bottom Plates	100 x 50	mm <i>150 x 50 Top plate in 2 story area with studs checked</i>
Studs	100 x 50	"
Dwangs	100 x 50	" <i>150 x 50 + 200 x 50 studs for wide openings</i>
Ceiling Joists	100 x 50	"
Floor Joists	225 x 50	"
Rafters	150 x 50	"
Fascia	200 x 30	"
Wall Braces	150 x 25	"
Skirting	100 x 25	"
Flooring	H.D. 20 mm particle board	
Stringers	200 x 50	"

This schedule shows sawn sizes, all timbers to be dressed.

SCHEDULE OF TRIMMERS AND BEAMS

100 x 100	from .00 to 900	mm
200 x 100	from 900 to 2250	mm
250 x 100	from 2250 to 3050	mm
300 x 100	from 3050 to 3505	mm

WALL FRAMING

(a) All framed walls and partitions shall have top and bottom plates against which all studs shall bear evenly. Fix both the top and bottom plates in long lengths, halve and well nail at junctions, angles, and butts and over a bearing. Gang nail all joints.

(b) Cut 100 x 50 dwangs between studs at not more than 600 mm apart to all walls, three rows of dwangs per wall, minimum.

(c) Bracings. All corners of exterior walls shall be braced in a horizontal plane at the top ceiling level with 150 x 25 fix diagonally across the corner, from 1830 mm out from the corner along each wall, and well spiked to the top and bottom plates.

Each exterior wall, and each bearing partition wall, and every partition wall more than 1830 mm long, shall be braced with 150 x 25 checked 25 mm into the studs, at least one brace to each wall, or to each 4375 mm of a wall.

EAVES

Eaves and soffits shall be constructed as shown on the drawings and the soffits lined with 8 mm Flex board, using white P.V.C. mouldings at joints.

WALL LININGS

Allow for Gib board walls to all rooms except the *SHOWER FORMER*
INSULATION . 75 Batts. Foil Floor

BATH

Line front of bath with seratone and form a 100 x 50 mm toe space to bath front.

SKIRTINGS

Dressed 100 x 25 Timber Skirtings to be mitred at external angles and scribed at internal angles. Skirting to be in long lengths.

ARCHITRAVES

Architraves are formed by the jambs of the doors and window reveals.

JOINER

The timber for Joiner's work to be sound and well conditioned, clean and free from wanes, open shakes, and all to be thoroughly air or kiln seasoned.

FABRICATION

Construct all joinery work in the soundest possible manner. Perform all necessary morticing, tenoning, grooving, matching, tonguing, housing, rebating and all other works necessary for correct joining. Provide all screws, hinges, nails or other fixings that may be necessary for the proper execution of the joinery work specified.

FINISH

All dressing grades shall be machine dressed for the types, location and window sizes and construct each item in accordance with the plan.

BENCH TOPS

Stainless steel tops to kitchen bench unit with formica to other bench tops.

CABINETS

Provide a Vanity Unit as shown on drawings. Allow for an Akronite or similar imitation marble top to vanity with a Plix wash hand basin.

KITCHEN FITTINGS

All materials shall be dressed and glass papered. Provide a 100 mm by 50 mm deep toe space to all fittings; such toe space to be continued round all fittings and angles made by fittings.

All shelving shall be dressed dry material. Construct all fittings and fixtures shown on the scale drawings, and in accordance with any other details shown on the drawings.

WARDROBES

Wardrobes are to have a full width shelf at height of 1650 mm and a $\frac{1}{2}$ " dia pipe rail supported on neat wooden fillets 50 mm below shelf.

HARDWARE

The contractor shall furnish the whole of the hardware of whatever kind, that may be necessary to execute in good and substantial manner the whole of the work specified for the Carpenter and Joiner.

Standard selim fitting for latches. Provide for locks, flush pulls, cupboard catches and towel rails.

PLUMBER

GENERAL

Provide all material, labour, and plant necessary to complete the work in accordance with the drawings and specification, Health Department or any other, or Local Body regulations appertaining thereto. Do all that appertains to the trade which is shown on the drawing or implied in the specification.

FLASHINGS

Generally provide all flashings required by all other trades to make the building weathertight. Flash and counter flash all pipes, vents and exhausts with 4lb lead.

GUTTERING AND DOWNPIPES

Provide and fix Marley Gutters. Provide and fix Marley downpipes. Provide and fix concrete gutters and internal gutters for roofer.

VENT AND SOIL STACKS

The above shall be provided as required. Vent stacks shall be P.V.C. extending up through roof and flashed with 4 lb lead.

PIPEWORK

All tubing carrying hot water shall be seamless cold drawn copper tubing of full bore as specified, and 19 s.w.g. for 1" or below and 18 gauge for $1\frac{1}{2}$ " or $1\frac{1}{4}$ " internal diameter. Fittings for copper tubing shall be Crox or other approved gunmetal fittings. Cold water shall be distributed in P.V.C. Support all pipes both vertically and horizontally through out their lengths to avoid sagging in any direction. Conceal all pipes where ever possible.

HOT AND COLD WATER COCKS AND VALVES

All cocks and control valves shall be of approved manufacture and of weight and quality to comply with the Local By-Laws. All exposed taps and stop cocks inside the building shall be screwed into wingback bands or to be fixed to dwangs with brass screws, as directed by owner. Provide taps and valves to all fittings as directed by the owner.

FITTINGS

The plumber is to supply and fix the following items in accordance with all related requirements. porcelain pedestal W.C.s with plastic flushes plastic seats with lids, (dolphin or similar). ~~one~~ Dux cisterns one only stainless steel Mercer No J7 tub one only stainless steel 8" Mercer No A 5 sink bench. One only 2'6" x 2'6" stainless steel shower tray. One only 3'0" x 3'0" stainless steel shower tray. Shower trays to have 4" upstand. topless mixers. One only Mercer G1 stainless steel W.H.B.. One only 5'6" bath. One only small W.C., W.H.Bs. 60 gal hot water Cylinders.

SEWER DRAIN

The whole of the drainage work to be carried out in accordance with the by laws of the Local Authority and to the satisfaction of the inspectors. Provide all fittings to complete the work. Lay all drains in an even and consistent fall of not less than 1 in 40. Connect all vent pipes. ~~Connect to city sewer.~~

STORM WATER

Lay all storm water drains in an even and consistent fall of not less than 1 in 40. ~~Connect to soak pit.~~

ELECTRICAL

General

All installations shall be made in a sound safe practical and workmanship manner in conformity with modern practice in accordance with Local Authority. All switches shall be flush type and all cables shall be C.M.A. brand or similar approved.

MAINS

Install service mains to switchboards as directed. Provide 150 watt lamps in lounge and 100 watt lamps in all other rooms. (All fittings to be of owners choice). Connect electric range, allow a P.C. sum of \$350.00. Supply and connect element and thermostat to 60 gallon hot water cylinders for night storage. Wall lights, socket outlets and switches are to be positioned as detailed on the accompanying drawings. Dimmers to be connected where directed by the owner. Allow for the supply and fix of under floor heating cables with thermostats as required by the owner.

ELECTRICAL SCHEDULE

PAINTING AND PAPERHANGING

Painting and papering shall be detailed by the owner.

GLAZIER

All glass shall be approved British manufacture and shall be cut with allowance for expansion. Windows to be Fisher aluminium or similar approved. Allow for 1 $\frac{1}{4}$ " reveals with mitred angles with bronze window frames. Patterned, coloured and type of glass to be selected by the owner.

CONCRETE MASONRY

Standards - Unless otherwise specified or detailed all materials and workmanship shall conform to N.Z.S.S. 1900 chapters 6.2 and 9.2.

Block Type - This shall be 4" high by 4" wide by 16" long concrete block veneer and 8" high by 8" wide by 16" long concrete blocks.

Sand - Sand shall be clean, washed, to pass a 1/10" mesh. Blended sand shall consist of 3 of sharp to 1 of fine.

Cement - Shall be ordinary Portland Cement or similar approved.

Lime - Lime shall be McDonalds, or similar approved hydrated.

General - Mortar shall be mixed for a minimum period of 6 minutes, in a power mixer and have only sufficient water added to make it workable. Sloppy mortar shall not be used. Mortar shall have a 28 day compressive strength of 1500 p.s.i.

Proportions - Proportions specified may be varied to approval to suit grading of sand available. Mortar shall be composed of one part cement to one part lime to four parts of blended sand.

Damp course $\frac{1}{2}$ " water proof cement mortar

All mortar joints to be full, straight, and of uniform $\frac{3}{4}$ " thickness.

JOINTS MUST BE TWICE TOOLED to a dense smooth weather struck finish. Raked or extruded joints are NOT accepted. Clean excess mortar off inside face of blocks and ties. Build in 8 guage galvanised wire, or other approved ties not exceeding 2'0" apart vertically and 1'6" apart horizontally, staggered and securely fastened. Ties to slope down and away from timber stud work.

Blockwork shall be carried out by expert blocklayers employed by a specialist firm. Only the highest standard of workmanship will be accepted. Blocks shall be stacked on planks or other supports, free from contact with the ground and shall be covered to protect from the rain. Blocks must be thoroughly dry when laid. Every care shall be taken to prevent shrinkage by adequately protecting blocks from moisture penetration as work proceeds. Upon completion of each days work protect exposed tops of walls from weather. During progress of the work and for 14 days afterwards all exposed structural blockwork shall be kept dry by suitable coverings. Blocks shall be bonded and laid strictly in accordance with the Manufacturers recommendations this specification and accompanying drawings.

WALLS

General - Erect walls of thickness and heights and to the bond pattern shown on the drawings. Perpend shall be kept true with vertical joints corresponding with joints in alternative courses.

REINFORCEMENT

General - All reinforcement shall be m.s. deformed bars. Reinforcement may be lapped 30 diameters where required. Starter rods will be built in by concreter, provide all necessary details and ensure that starter rods are correctly placed.

Vertical reinforcement shall be fixed in position in the centre of cavities by tying to starter rods and secured at the top to prevent movements while grout is setting. Unless otherwise specified or shown reinforce walls with $\frac{1}{2}$ " diameter vertical rods at corners, openings and ends of walls, and at 400 mm crs throughout the length of the 8" block walls.

FILLING

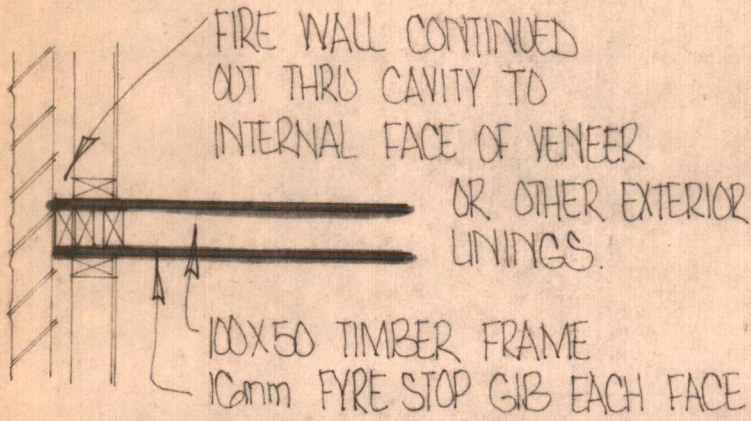
General - Blockwork containing reinforcement shall be filled with grout where vertical reinforcement occurs and concrete by concreter for lintels and bondbeams. All reinforcement shall be m.s. deformed bars. Reinforcement may be lapped 30 diameters where required.

ROOFER *IRON.*

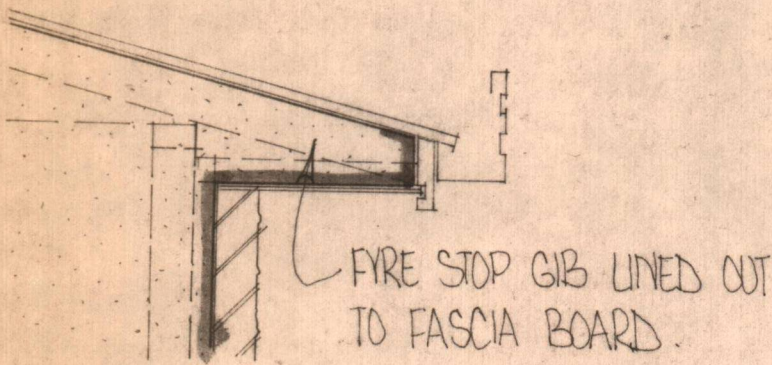
Provide and fix Decramastic tiles to manufacturers instructions. Roofer to provide and fix building paper and netting, also splay cut rimu tile battens.

Secret gutters to be used in place of barges.

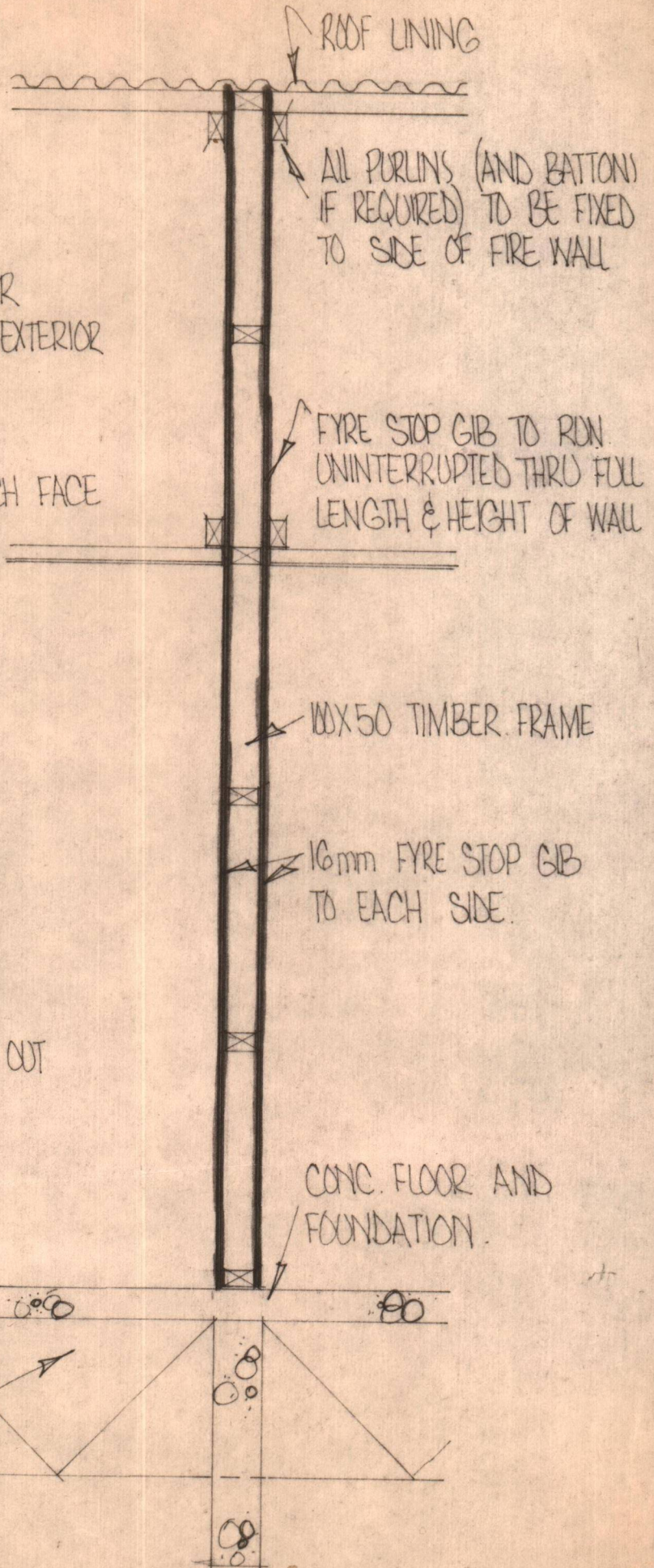
TIMBER FIRE WALL DETAILS



PLAN VIEW AT FIRE WALL VENEER INTERSECTION

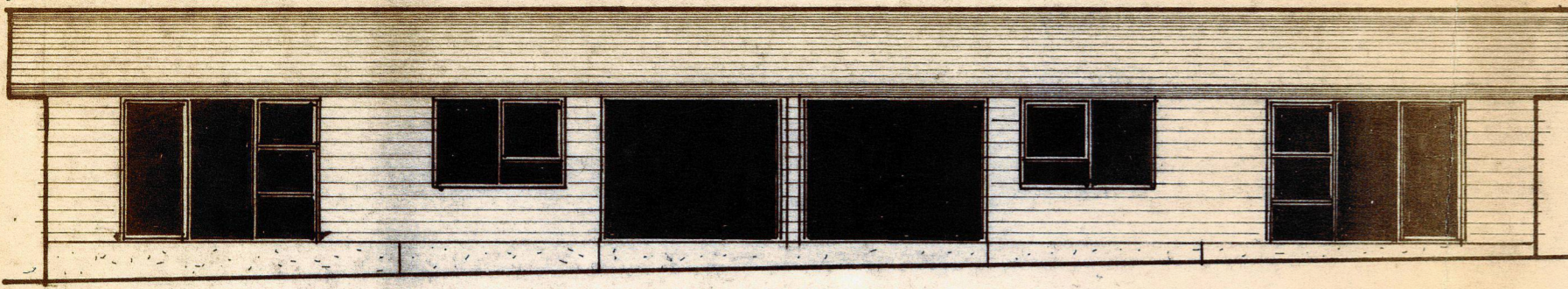


ELEVATION AT EAVES

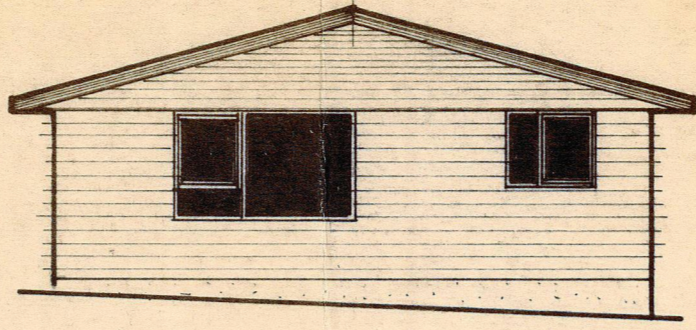


NOTE!! TIMBER FLOOR DETAIL SIMILAR, BUT BRING CONC FOUNDATION HARD UP UNDER BOTTOM PLATE OF FIRE WALL.

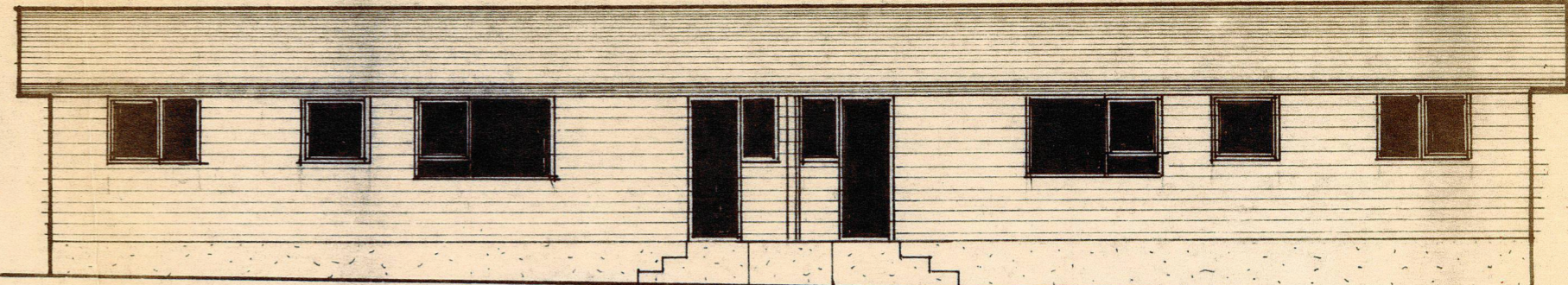
SECTION THRU FIRE WALL



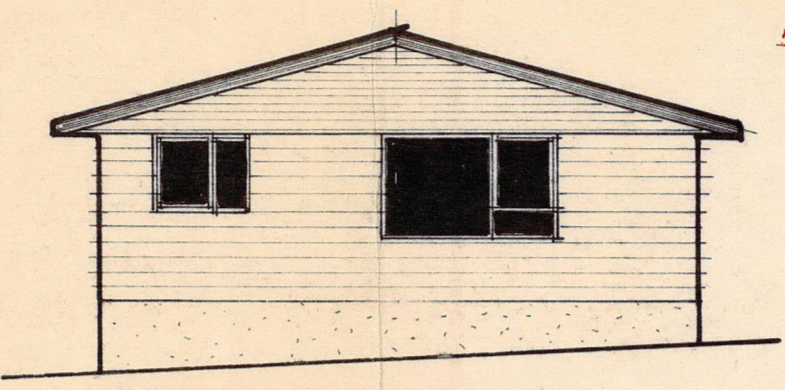
NORTH ELEVATION Scale 1:100



WEST ELEVATION

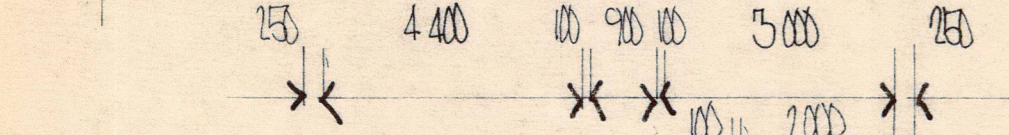
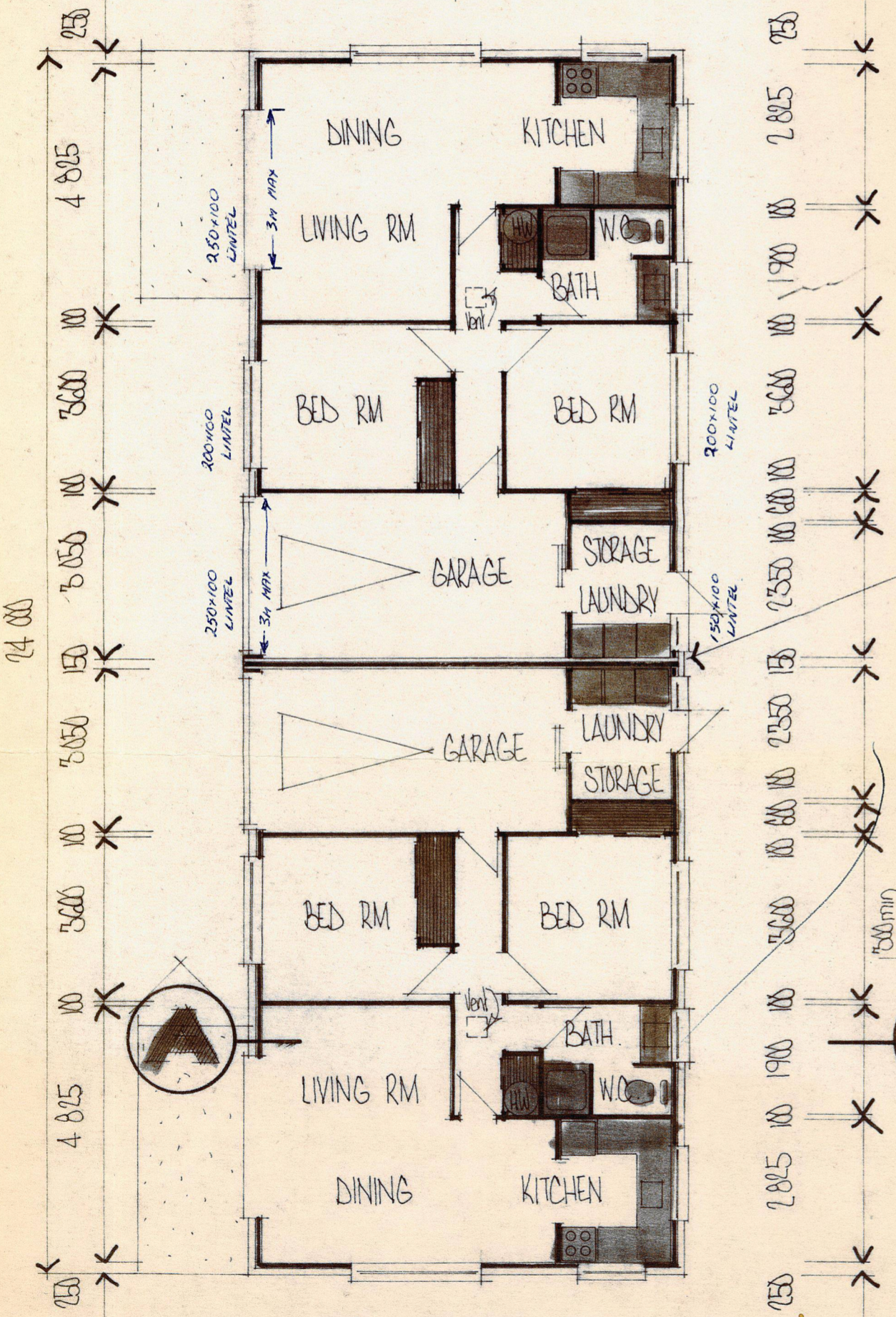
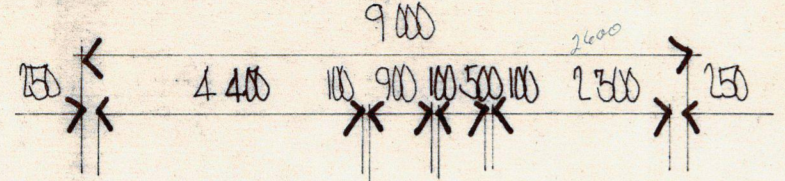


SOUTH ELEVATION



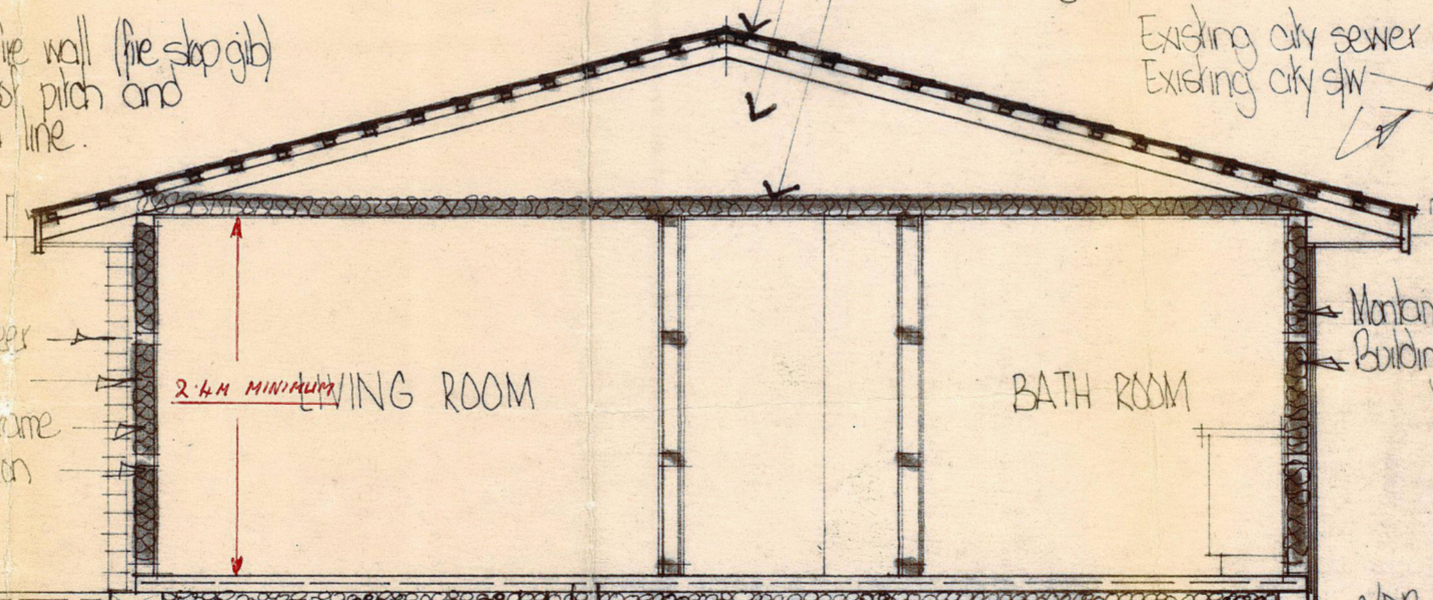
EAST ELEVATION

NOTE: FLOOR LEVEL/GROUND CLEARANCE TO MEET THE MINIMUM REQUIREMENTS OF CHART 4 (NZS 1900) FLASHINGS REQUIRED AROUND WINDOWS.



FLOOR PLAN Scale 1:100

1 HOUR Note!! 2 hour fire wall (fire stop job) lined up to roof pitch and cut to fascia line.



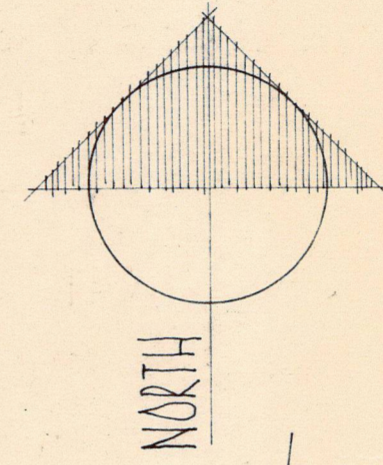
CROSS SECTION AA Scale 1:50

Decorative tiles on building paper and battens. Manufactured trusses at 900 c/s. (Nº R85) 13º roof pitch. 2.2 fibre ceiling insulation

Split block veneer Building paper 100x50 timber frame 1.6 fibre insulation

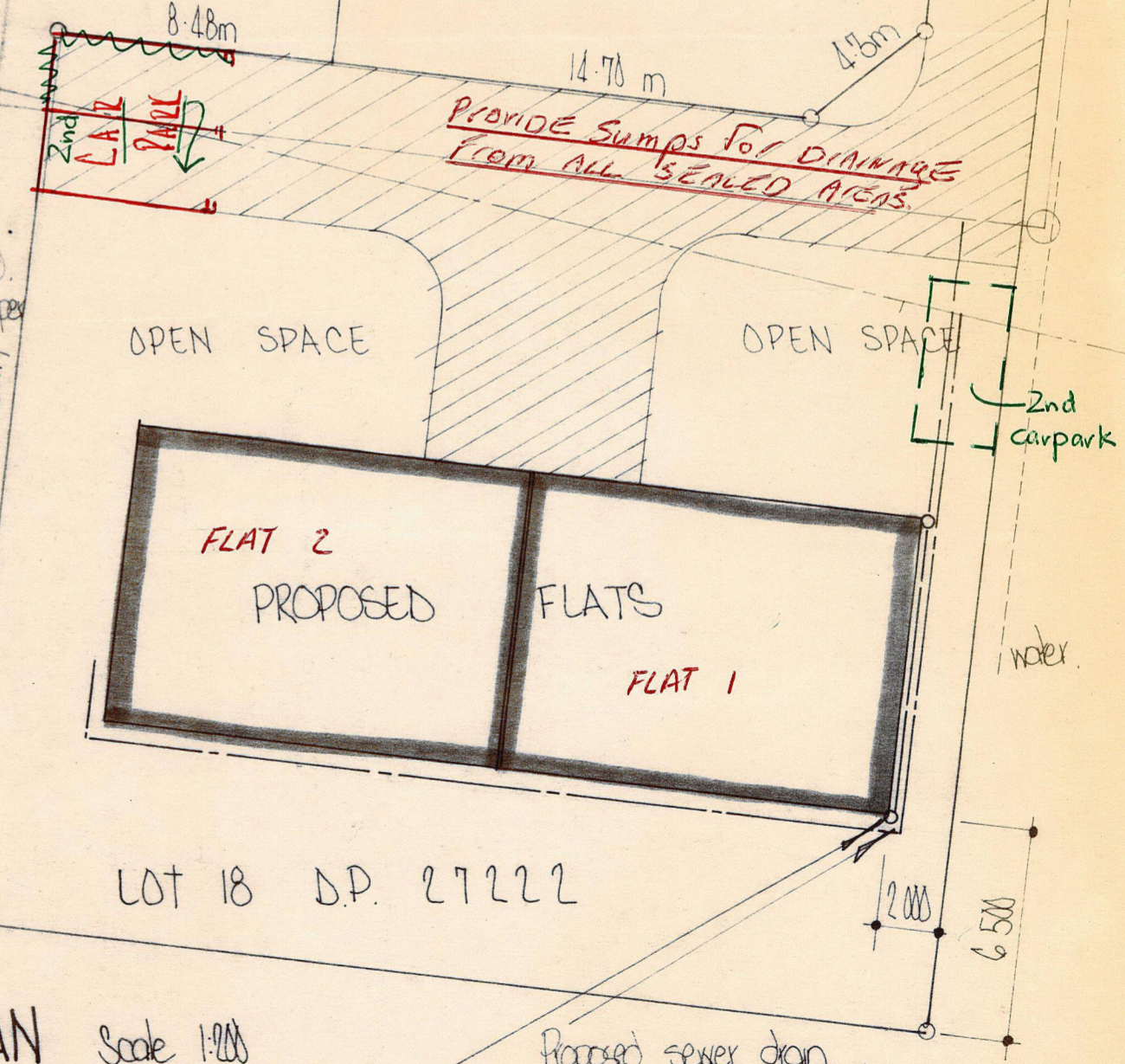
100mm conc. kerage GGB mesh 250 mu. d.p.c. 150mm min. compacted hardfill. 2/D12 rods

Existing city sewer Existing city stw



PUKATEA STREET

CAUTION! ELECTRICITY SUPPLY PLEASE CHECK WITH SUPPLY AUTHORITY FOR POSITION OF UNDERGROUND OR OVERHEAD POWER SUPPLY



SITE PLAN Scale 1:200

PROPOSED TWO FLATS AT Nº 56 PUKATEA STREET LOT 18 DP 27222 FOR AR & EM KELLY