

Lot 4. D.P. 6265 North Rd Street No. 56

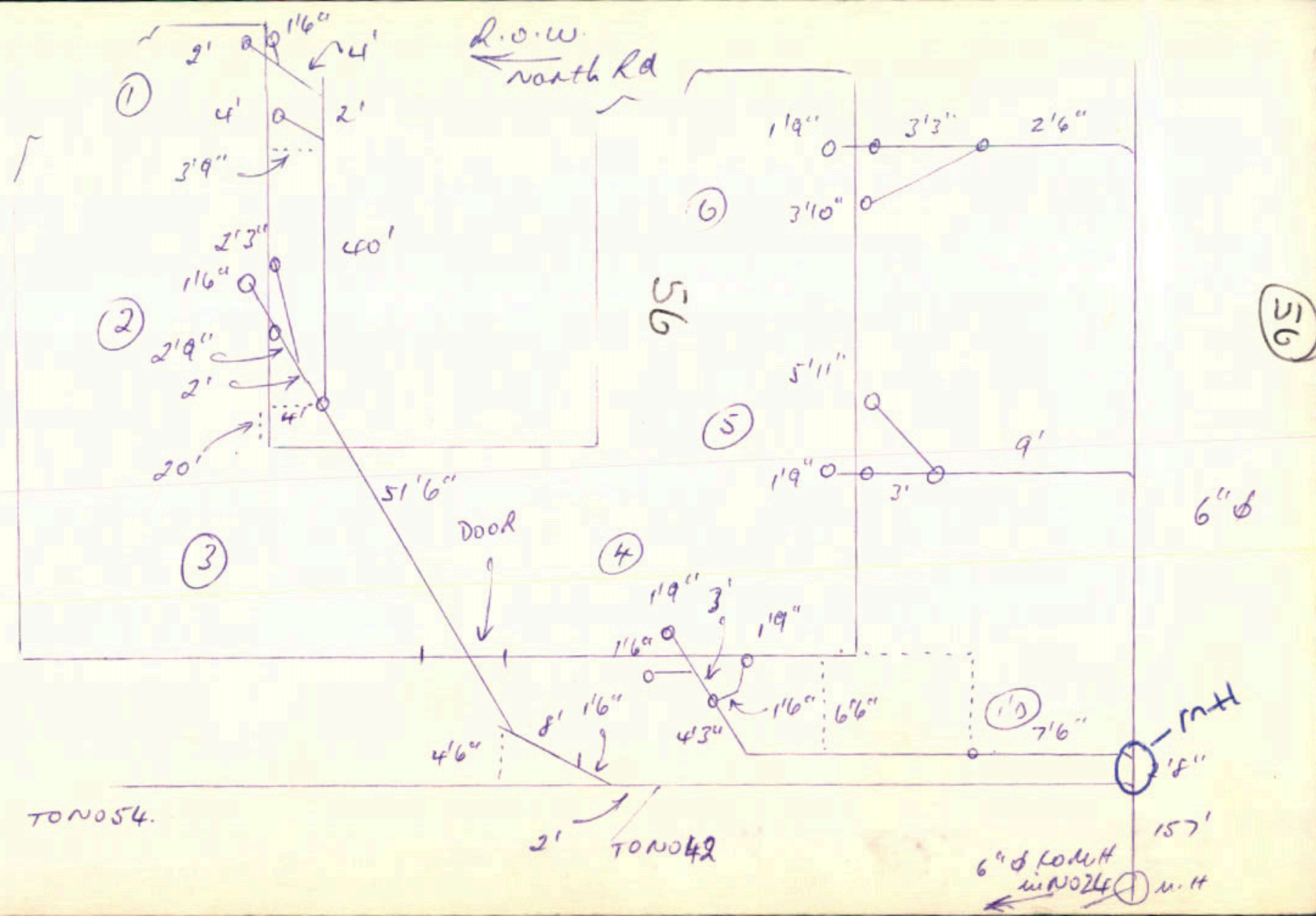
STILES-

Owner	Insp. Date	Description of Work	Inspector
Mr Sharland	9.9.64	Flats 1 & 2	Mr. Huff
Mr. Sellars	20 9.65	Flats 3 & 4.	
" "	2.10.70	Flats 5 & 6.	

Drainlayer M. D. L.

Drainage Card, City Engineers Department, Nelson

North Road



F/5, F/6 PPR 106167, 106168

Permit No. C032954

North

STREET
ROAD 56

HOUSE
No.

LOT 4

D.P. 6265

Date Approved 26-6-70

Date Issued 21-7-70

FRONTAGE

15'

1-36.8p

OWNER

BUILDER

WORK

Mr & Mrs Sellers
125 Roseland Ter

Owner

Erect two flats

Subject to

Designation of
Household Unit

Maximum Number
of Occupants

O.C. Flat 5 13-11-70

Flat No 5

3

" No 6

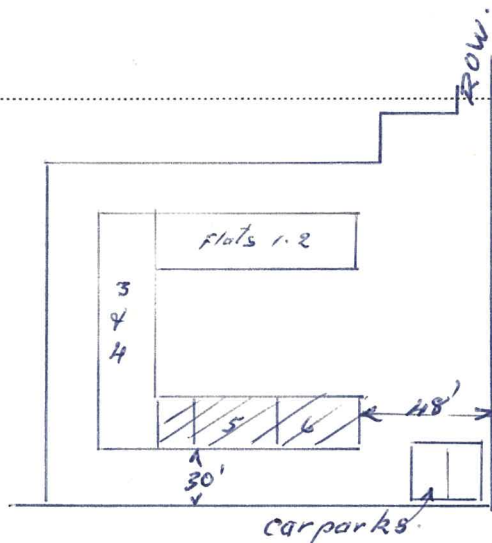
3

Area 1260 Value \$8,000.00

Foundation con Walls Stucco Roof Iron

Remarks

Site plan



Inspections

Date Instructions to Builder

12-11-70

G. B. McLean

Piles & bearers are inadequate

Bearers to be strengthened where piles are over 4' apart. & pile to be put in at each end of bearers.

Date of Final Inspection 18.12.70

Paul H. L.

Inspector

Enterprise Print

Exterior Lining

Interior Lining

Completed

Excavation

Foundations

Framework

PROCESSED

NELSON CITY COUNCIL

BUILDING APPLICATION FORM

No. C032954

Date

To the City Engineer,
NELSON.

Sir,

I hereby apply for permission to

erect
alter
convert
reinststate
demolish

2 FLATS & 1

GARAGE
for Mr. EILEEN MARJORIE KENNETH ROY WATSON, SELLERS of 125 CLEVELAND TCE. NELSON.
(Owner's Address)

according to locality plans, detailed plans, elevations, cross sections and specifications of building deposited herewith, IN DUPLICATE.

PARTICULARS OF LAND:—

Lot 4 D.P. 6265 Section Blk.
Street No. 56 NORTH ROAD, NELSON (If allotted)
Frontage 4.5 ST. Area 0-1-36.8

PARTICULARS OF BUILDING:—

Foundations REINFORCED CONCRETE Walls PLASTER & NETTING Roof GALVANISED IRON.
Area of Ground Floor 1260 square feet.
Area of Outbuildings square feet.

ESTIMATED COST:—

Plumbing and Drainage \$ 800
Building \$ 7200
Total \$ 8000

Purpose for which building is to be used 2 FLATS.

Builder K. SELLERS

Address 125 CLEVELAND TCE. NELSON.

Signature of Builder K. Sellers

For Office Use ONLY

Builder's Plan & Specifications 5067 Permit Fee \$30

Subdivision Plan 1385

Block Plan Application No. 225720

Index Plan No. 16

Date: 30 / 7 / 1970

B. & S. N. 22494

PERMIT FEE

\$30-00

2nd copy plans detached ☐

NELSON CITY COUNCIL

Prelim Check

No. _____

19 June 70 Date

BUILDING INSPECTION SHEET

Locality: 56 NORTH RD

Application for: erection of 2 flats (including garage)

Owner: MR & MRS K. R. W & E. M. SELLARS Builder: MR K. SELLARS

A LEGAL 1. Application form completed. <input checked="" type="checkbox"/> 5 Party wall registered <input type="checkbox"/> 2. Street number allocated. <input checked="" type="checkbox"/> 6 Approved subdivision scheme pegged <input type="checkbox"/> 3. Building on Council land or street. <input type="checkbox"/> 7 Special conditions on specific sites. <input type="checkbox"/> 4. Building line restriction <input type="checkbox"/> 8 Occupation of streets & footpaths. <input type="checkbox"/>		Does not comply A Approved
B TOWN PLANNING 1. Zoning and use <input type="checkbox"/> 6 Accessory buildings; height, siting, coverage, distance to neighbours dwelling. <input type="checkbox"/> 2. Yards; front, sides, rear; eaves. <input type="checkbox"/> 7 Off street parking, future garage sites on residential sites. <input type="checkbox"/> 3. Coverage and density <input type="checkbox"/> 8 Method of joining household units. <input type="checkbox"/> 4. Height: general, com. streets, fences. <input type="checkbox"/> 9 Verandahs; general & commercial streets. <input type="checkbox"/> 5. Formation, width; access to rear sites for Res. buildings of more than 6 h/u. <input type="checkbox"/>		B
C FIRE REQUIREMENTS 1. Fire Risk Area <input type="checkbox"/> 6 Fire rating structural frames <input type="checkbox"/> 2. Classification of occupancy, Type Constr. <input type="checkbox"/> 7 Fire rating of floors <input type="checkbox"/> 3. Fire Compartment size, exceptions to areas. <input type="checkbox"/> 8 Separation of occupancies <input type="checkbox"/> 4. External walls, parapets, omission of walls <input type="checkbox"/> 9 Roof space restriction <input type="checkbox"/> 5. % of openings in walls, fire windows & doors <input type="checkbox"/> 10 Special requirements for places of assembly <input type="checkbox"/> 11 Surface finish walls & ceilings <input type="checkbox"/>		C fire wall position and wing wall protection OK *
D EGRESS 1. Units of width of exitway required <input type="checkbox"/> 5 Internal and external stairways <input type="checkbox"/> 2. Number of exitways & arrangement <input type="checkbox"/> 6 Protection of exitways <input type="checkbox"/> 3. Cul-de Sacs <input type="checkbox"/> 7 Places of assembly & multi-units <input type="checkbox"/> 4. Types of exitways & door openings in line with egress <input type="checkbox"/>		D
E BYLAWS (General) 1. Signs: Size, height above G.L. projection <input type="checkbox"/> - skysigns <input type="checkbox"/> height above building. <input type="checkbox"/> Hoardings <input type="checkbox"/> Electric signs - Effect on traffic. <input type="checkbox"/> 2. Poultry houses <input type="checkbox"/> Flashing signs - zone. <input type="checkbox"/> 3. Aviaries <input type="checkbox"/>		E
F BUILDING BYLAWS 1. Use <input checked="" type="checkbox"/> 6 Value <input checked="" type="checkbox"/> 2. Minimum floor area for rooms <input checked="" type="checkbox"/> 7 Heating <input checked="" type="checkbox"/> 3. Combination for rooms in hsehd/unit <input checked="" type="checkbox"/> 8 Capacity Electric H.W. Cylinder. <input checked="" type="checkbox"/> 4. Light and ventilation <input checked="" type="checkbox"/> 9 Notification D.G. Insp. Central Heating <input type="checkbox"/> 5. General Construction <input checked="" type="checkbox"/>		F G.I. B. C.
G HEALTH & PLUMBING & DRAINAGE 1. General Plumbing <input type="checkbox"/> 6 Drainage <input type="checkbox"/> 2. Number of sanitary fittings <input type="checkbox"/> 7 Stormwater drains <input type="checkbox"/> 3. Isolation of W.C. compartments <input type="checkbox"/> 8 Drains under buildings <input type="checkbox"/> 4. Lighting & Ventilation of W.C.s, Urinals <input type="checkbox"/> 9 Septic tank approval <input type="checkbox"/> 5. Buildings - Compliance with Health Act. <input type="checkbox"/> 10 Copy of Health Dept's approval (Offensive T) <input type="checkbox"/>		G *
H DANGEROUS GOODS 1. Safety distance <input type="checkbox"/> 3 General Compliance <input type="checkbox"/> 2. Filling points <input type="checkbox"/> 4 Copy Chief Insp of Explosives approval <input type="checkbox"/>		H REFER TO
I ACCESSWAYS & LEVELS 1. Accessways: - Crossings: number, width, design, location Formation: grade, design, location 2. Levels: floor Kerb		I
J WATERWAY & PIPE SIZES		J
K STRUCTURAL (Wall design No below)		K
L CHIEF FIRE OFFICER		L
M ELECTRICITY DEPARTMENT		M

COUNCIL DISPENSATION

date granted _____

Conditions if any complied with ☐

ISSUING OFFICER TO NOTIFY OWNER of advisability of submitting proposal to

Waimea Elect. P.B. ☐

Labour Dept. ☐

Notified ☐

PERMIT MAY BE ISSUED

N.C.C. wall design No _____

Plan issued ☐

TELEPHONE No. NELSON CITY COUNCIL 19 June 70 Date

NON COMPLIANCE WITH TOWN PLANNING & BYLAW REQUIREMENTS Locality 56 NORTH RD

APPLICATION For erection of 2 flats (including 1 garage)

Owner MR & MRS K.R.W. & E.M. SELLARS Builder MR K. SELLARS

Letter & Item No.		Application does not meet our requirements in the following respects.		Signature	Amended
		1/2 hr fire rating between 2 new flats to be taken to underside of roofing not ceiling as on plans			
		Shops provision for off street parking (future garage) side for flat No 6			
		40 Gall Hotwater Cylinder to be shown			
		1/2 hour fire rating partition between flats to extend to underside of roofing not ceiling as shown on plan			
		AMENDED DATE 3/7/70 JMR			

APPLICANT ADVISED Approval for a building permit will be withheld until application is amended to comply with above requirements

Telephone ☐ Letter ☒ Date 2.8.70 Initial S.....

APPLICATIONS REFERRED TO COUNCIL

Applicant advised of dated of meeting

APPLICATION REQUIRING COUNCIL DISPENSATION

The Town Clerk, NELSON.

This is not in accordance with Council requirements in that:-

.....

.....

.....

.....

and the owner requests that it be referred to Council:-

RECOMMENDATION

.....

.....

.....

..... City Engineer

COUNCIL DISPENSATION Refused

Granted subject to conditions that:-

C/R Date

Building permit application to be amended to

comply with conditions if any - applicant advised

..... Town Clerk

SPECIFICATION IN CONNECTION WITH
THE ERECTION OF A RESIDENCE FOR

SELLERS ^{EILEEN MARJORIE.}
KENNETH ROY WATSON.

2 EXTRA FLATS AT

56 NORTH ROAD. NELSON.

S P E C I F I C A T I O N

Specification of work to be executed and materials to be used in connection with the erection of a residence

For SELLERS EILEEN MARGORIE
In KENNETH ROY WATSON
56 NORTH ROAD NELSON

The whole to be carried out according to the accompanying drawings and this specification, and such other drawings as may be supplied in elucidation thereof.

The type of Construction shall be :-

Foundations REINFORCED CONCRETE
Exterior Cover PLASTER & NETTING
Roof CORRUGATED IRON

S U M M A R Y O F T R A D E S .

<u>GENERAL CLAUSES</u>	Page 2
<u>EXCAVATOR</u>	" 6
<u>CONCRETOR</u>	" 6
<u>CARPENTER</u>	" 11
<u>TILER</u>	" 16
<u>JOINER</u>	" 24
<u>SCHEDULE OF HARDWARE</u>	" 27
<u>DRAINLAYER</u>	" 28
<u>PLUMBER & TINSMITH</u>	" 29
<u>PAINTER & PAPERHANGER</u>	" 31
<u>GLAZIER</u>	" 32
<u>ELECTRICIAN</u>	" 33
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GENERAL CLAUSES.DRAWINGS.

The drawings connected with this specification are attached hereto but there is no warranty expressed or implied that they show each and every minor detail required to be included by the Contractor.

EXTENT OF WORK.

This contract comprises the erection and completion in the soundest manner all the work indicated on the accompanying plan and this specification, the supply of all necessary plant, tools and material and the maintenance of all works as stated in these conditions.

PERMIT FEES ETC.

The contractors shall take out all Permits, pay all fees and give all notices required by By-laws in connection with this contract or shall arrange and be responsible for, any permits and fees delegated to Sub-contractors.

ARCHITECTS CONTROL.

The work is to be carried out in a thoroughly workmanlike manner to the satisfaction of the Architect, who shall have access to every part of the building.

CONTRACTORS CONTROL.

When not under the direct control of the contractor, the work shall be under the control of a competent foreman who shall be retained until the termination of the work.

SUB-CONTRACTORS.

The Contractor shall give every assistance and facility to Sub-contractors and permit them to use scaffolding and other aids used in the general construction. He shall attend upon, cut away for and make good after all trades mentioned in this specification.

DAMAGE.

The contractor shall be held responsible for any damage to the adjoining existing buildings or properties during the progress of the work and will be required to make good to same when called upon to do so. The contractor shall see that all materials supplied for the necessary carrying out of the work shall be placed in one part of the Section only so that the remainder of the land be left undisturbed as possible. Further, should any fittings supplied by the owner of the new residence, be damaged on the job, and the cause be due to action of staff employed by the contractor, then such damage shall be made good by the contractor providing that the owner has previously obtained the approval of the contractor for the delivery to the job of such fittings.

INSURANCE ETC.

It shall be the responsibility of the Contractor to see that his and his Sub-contractors men are fully protected by insurance "Employers Liability" according to the "Workers' Compensation Act" but he shall not be responsible should the Sub-contractors insurance lapse or should they fail to insure adequately the staff employed by them during the term of this contract, but it shall be his duty to insure his own staff and ask his Sub-contractors to do likewise in accordance with the "Act".

INSPECTORS.

The contractor shall give access to the job to all inspectors connected with the work, such as drainage, electricity, Architect, S.A.C. etc. etc. and shall notify such people of the progress of the work as required.

P.C. SUMS.

Where shown in these specifications P.C. Sums are to be read as amounts to be allowed in the contract price for material or fittings to be procured and if such Sums are inadequate, the owner of the new residence is to be notified and approval obtained either from him or the Architect and such increase in cost to be charged as an "Extra" at completion of the job. Should the purchase price be less than the P.C. Sum, then a "Credit" shall accordingly be passed.

COMMISSIONS.

Any commissions to which the contractor considers he is entitled shall be allowed for in his contract.

SITE INFORMATION.

The levels shown on plan shall be taken as approximate only and the contractor and all Sub-contractors shall hold themselves responsible for visiting the Site and allowing in their contracts for any correction of the levels shown. The contractors shall make themselves thoroughly familiar with the conditions under which the work is to be performed, including locations of water mains, drains, power aerals, etc. An allowance shall be made in the contract for the connection of these essential conveniences where they so apply and the contractors shall be responsible for their connection only as far as from the house to the Site Boundary nearest to those services.

Note:- Electrical Aerials often have to have additional poles and in these cases, any change made by the authorities concerned shall be passed on to the owner as an extra to this contract.

ADDITIONAL SECTION INFORMATION.

WATER FOR BUILDING PURPOSES. The contractor shall arrange for the supply of all water necessary for the carrying out of the works.

LOCATION OF BUILDING. If a Site plan be not shown on the attached plan, the contractor shall arrange with the owner the location of the new structure and shall see that such siting is in accordance with all By-laws governing the locality such as narrow roads, building line restrictions and back sections etc etc.

CLEARING UP. The contractor shall see that his and his Sub-contractors tools of trade are removed from the job at completion but may leave behind any timbers or other materials which may be of use to the owner but of no further use to the contractor.

All dirt, surplus timber etc. shall be removed from the job from time to time. All floors to be swept at completion and all locks oiled and the building left clean and ready for use.

INTERIOR & EXTERIOR DECORATORS MATERIAL. All materials used by the decorators in the performance of their work, shall be kept outside the building if possible, and if inside is necessary, then in the laundry, and then only providing a protective covering is first placed on the floor.

WEATHER PROOFING. The roof and walls of the Building generally must be watertight at completion and the contractor shall allow in his tender for all the necessary provisions under this heading, whether the same may or may not be mentioned in his specification. This covers all necessary flashings.

FIRE RISK. The contractor shall insure the building against fire as soon as such risk will be accepted by an approved office and shall keep the building so covered until the building has been completed according to the contract or until the owner takes over the risk on his own account.

INTERPRETATION. Workmanship or materials shown on the plans or specified and not shown, must be supplied as though both were shown and specified. Materials shown and not specified, must be of the kind commonly employed for the service it is intended to perform. All figured dimensions shall be taken in preference to scale and all detail drawings shall supercede those of small scale. The term "OWNER" shall refer to the person for whom the building is being erected.

STABILITY.

The contractor shall carefully brace and support all parts of his work against damage by wind and rain during construction.

MATERIALS.

In the event of any materials herein not being procurable at the time it is required, or will tend to stop the progress of the work, such materials shall be substituted with other materials, provided however, that such materials conform to By-laws. The contractor is to notify the Architect of any changes made, or intended to be made, and approval obtained for the use of such materials.

MAINTENANCE.

The period of maintenance shall be 90 days (Ninety days) after the owner of the new residence has taken possession.

Any defects in materials, workmanship, or any part or parts that require replacing or adjusting which have been included in the contract, shall be adjusted or replaced as specified in this specification, and at the contractors expense.

SPECIFICATIONS.

This specification is to be treated as a contract between the "Contractor" and the "Owner" and is prepared for the purpose of conveying to both parties that which is required to complete the building, in accordance with the wishes of both the owner and Architect. If, however, market and industrial conditions make any particular materials hard or impossible to procure, it shall be understood, that by co-operation of both parties, allowances may be made accordingly in the selection of substitute materials.

PAYMENTS.

It shall be the duty of the owner to pay such monies as is required during the progress of the work in the form of progress payments at such times as are arranged with the contractor or specially stated in these specifications. All such payments to be 60% of the estimated cost of the structure at the time of payment or such sums as are arranged between contractor and owner. The last and final payment shall be made not later than 30 days after the completion of the building and its owner notified that such building is ready for occupation.

ALTERNATIVE CLAUSES.

In various places in the following pages it will be seen that alternative methods of finish and types of materials are detailed. But as only one type can refer to this particular contract, such clauses are marked with a, which means that this material or finish is the one which applies to this job in particular. It must not be construed to mean one of a variety of choice.

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EXCAVATOR.SITE.

Should the site be such that excavation is necessary in order to form Basement area or in order to place the building on a level site, then such work shall be carried out at the expense of the owner and independent of this contract. It shall, however, be the contractors duty to arrange for the necessary excavations according to the levels shown on the plan and to co-operate with the owner as regards location of house and the depositing of surplus earth etc. so as not to interfere with the construction of the building nor the layout of gardens etc. of the completed scheme.

EXCAVATIONS.

Excavate for all foundations, retaining walls, piles, chimney foundations, steps, etc. so that the bottom of such excavations is on to the solid. All trenches shall be the full width of foundations and to allow for boxing to go below ground level and wide enough to provide for good "footing". Where special circumstances apply, details of foundations necessitating extra precaution and precision in excavation shall be shown on the plan.

EXCAVATING THROUGH FILLINGS.

Where it is necessary that excavations should be through fillings, such trenches shall be of such depth that the full depth of the filling is penetrated and the excavation carried down to the solid. All shoring of loose soil shall be undertaken by the contractor to protect concrete from being fouled by soil or other foreign matter, and to prevent collapse of trenching.

CONCRETOR.BOXING.

Boxing for concrete work shall be 1" thickness timber, properly braced and strutted so as to remain in its correct straight line when loaded with concrete. All pegs shall be at least 2" x 2" square and plumbed and lined before being braced. Where necessary, parallel banks of boxing shall be "twich" wired before concrete is deposited.

CONCRETE.

Concrete for foundations, piles, steps, floors and retaining walls etc. shall be formed of one part of cement to 6 parts of aggregate. All gravel and sand forming the aggregate shall be clean and sharp, and free from loam and impurities. It shall pass through a 1" square mesh and shall in all cases be clean river gravel. Water for concrete shall be clean and fresh and as little as possible used to bring the mix to a plaster state for depositing. Cement shall be Portland Cement as required by the N.Z. standard specifications, No 43; it shall be protected from moisture on the job and shall be covered, if in the open, with a waterproof covering or otherwise stored in a shed.

All concrete shall be mixed in a machine mixer

for at least 2 minutes and deposited in position within 15 minutes. Thoroughly tamp the concrete into position and see that reinforcing is properly covered and not disturbed. Protect all concrete from weather and avoid joints as much as possible. Where, however, joints are unavoidable, such joints shall be wetted before recommencing and washed with a mixture of cement and water grout. No boxing shall be removed for at least 24 hours after depositing of concrete.

REINFORCING. All reinforcing rods shall be securely fabricated and fixed firmly in position. All steel shall be round mild steel rods $3/8$ " or $1/2$ " diameter or where detailed B.R.C. spot welded fabric. All joining rods shall be lapped 40 diameters and wired together with No.16 black wire as will all rods meeting at right angles.

RETAINING WALLS IN BASEMENT. Retaining walls across excavations shall be of height to suit the depth of the cut and shall be reinforced with $1/2$ " Rods at 1'6" centres both ways with 2 horizontal rods in the footing. This reinforcing shall apply to retaining walls up to a height of 4'0" above ground level. Special set outs for rods pertaining to walls other than above is set out below :-

FIXING TIMBER TO CONCRETE. Provide in all concrete where required to fix timber thereto, $1/2$ " hooked bolts and washers or 2 strands of No 8 galv. wire. Either method is approved providing that such fixing is at centres not exceeding 4'0" and 12" from each internal or external corner. Where the wire method is adapted, bore the timber with a $1/2$ " hole and pass both strands through and plug hole with a tapered round wedge to force the timber on to the concrete. The loose ends shall be bent over and driven into the timber. Alternatively, the wires may be spaced on each side of the timber and drawn over the top and securely stapled into position.

METAL DOWELS. Where necessary, cast $1/2$ " hooked dowels into concrete for the fixing of vertical posts thereto. Such dowels to project at least 3" above concrete level.

DAMP COURSE. Between all concrete and woodwork, place a D.P. of tar and sand or approved 3 ply malthoid, the full width of the timber to be protected.

PLASTERING ON CONCRETE. The whole of the work shall be finished to a fine face, free from cracks, blister, watermarks etc. and shall be clean and of even tone. All work to be perfectly level (except where a fall is necessary) and plumb and all curves evenly formed. Cement shall be as specified under "Concrete" and all sand shall be coarse, clean and sharp. All surfaces to be rendered shall be scratched to give a key for rendering while the concrete is green. Render exposed surfaces on concrete steps, concrete porch floors, sumps, etc. in cement compo, composed of one part of cement to two parts of sand, to a depth of $3/8$ " and finish with a wood float.

Paths and floors of garages, basements, etc, shall be finished with a fine layer of dry mix of cement and sand, worked into the surface of the concrete the same day the concrete is deposited. The mixture shall be composed of one part cement to two parts sand. When plastering with coloured cement, the same procedure as for "Porch floors, steps" shall be adopted. If and where required, details are given below :-

CONTINUOUS CONCRETE FOUNDATIONS. This shall be built around the perimeter of all Stucco houses, and where specifically stated, around the perimeter of timber sheathed houses. The height of the concrete shall be governed by the drawings on the plan and such foundations shall be that the minimum height shall be 12" above ground level in the interior of the foundation wall. Continuous foundations shall be reinforced horizontally with 2 - $3/8$ " dia. M.S. Rods where such concrete does not exceed 2'6" depth. Where concrete is required to form full height foundations in basements, i.e. to joist level, details of reinforcing is given below :-

CONCRETE PILES. Conc.piles may be pre-cast or cast "in-Situ". Where pre-cast piles are used, they shall be set in concrete and may be used only to a height of 1'6" above ground level. "In-Situ" piles shall be boxed and plumbed on the job, and where they exceed 2' in height above G.L. shall be reinforced with one $1/2$ " Dia.M.S.Rod. Concrete piles shall not exceed 36" in height above G.L. and shall be not less than 64 sq.inches in cross-sectional area. All piles shall be placed at centres not exceeding 4' where the plates are on the flat or 4'6" where the plates are on edge.

EXTERIOR CONCRETE PILES. Shall be used where a timber base to the house is required. They shall be as under "Conc. Piles" except that on the outer face, they shall have wooden dovetail strips set flush therein to receive the timber work. Timber for dovetail strips shall be Ht. Totara, or yellow Pine and shall be at least $1\frac{1}{2}$ " x 1".

VENTS. In all exterior continuous concrete foundations, provide for 12" x 6" crimp wire, or conc. vents, 3' from each corner and at centres of 6' thereafter.

CHASES. Arrange for and provide in all concrete, chases for water pipes, drains etc. to the satisfaction of sub-contractors and all inspectors.

CONCRETE CHIMNEYS. The Chimneys, where shown on the plan, shall be reinforced concrete. The foundation shall be well sunk on to the solid and brought up to joist top level. On flat sections, boulders may be used for fitting and where the foundation comes in a basement area, it may be hollow cast and reinforced with $1\frac{1}{2}$ " rods @ 12" centres or with B.R.C. fabric. Where shown, provide an ash pit and fit cast iron door at the base of such pit. In no case, shall the chimney foundations be less than 8" thick for hollow foundations and hearths shall be cast as part of the base and shall be at least 5" thick and reinforced with $\frac{3}{8}$ " Rods @ 9" centres. Hearths thus suspended shall be boxed into the joists with boxing adequately supported during pouring and setting of the concrete. Box up and form fireplace opening with walls 6" thick and reinforced with $1\frac{1}{2}$ " rods @ 12" centres with 2 additional rods across the top of the fire opening. Chimney stack shall be reinforced with 4 - $1\frac{1}{2}$ " rods, 1 in each corner and bound together horizontally at least every 18", and shall be formed around 8" pipe flue liners. Line the fireplace opening with fire bricks and build hobs to carry a 16" colonial grate. Provision shall be made where necessary, for the fixing of tile-surrounds and inset electric fires. Plaster the exterior of the chimney, where seen, in a slap stipple finish and colour to match the exterior of the building.

The following shows the type of fireplace front and hearth required :-

<u>Fronts.</u>	<u>Hearths.</u>
(1) Brick.....	(1) Tiles
(2) Plaster.....	(2) Flush Concrete.....
(3) Tiles	(3) Raised Red Concrete

ADDITIONAL CHIMNEY INFORMATION.

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VENTS. In all exterior continuous concrete foundations, provide for 12" x 6" crimp wire, or conc. vents, 3' from each corner and at centres of 6' thereafter.

CHASES. Arrange for and provide in all concrete, chases for water pipes, drains etc. to the satisfaction of sub-contractors and all inspectors.

CONCRETE CHIMNEYS. The Chimneys, where shown on the plan, shall be reinforced concrete. The foundation shall be well sunk on to the solid and brought up to joist top level. On flat sections, boulders may be used for fitting and where the foundation comes in a basement area, it may be hollow cast and reinforced with $1\frac{1}{2}$ " rods @ 12" centres or with B.R.C. fabric. Where shown, provide an ash pit and fit cast iron door at the base of such pit. In no case, shall the chimney foundations be less than 8" thick for hollow foundations and hearths shall be cast as part of the base and shall be at least 5" thick and reinforced with $\frac{3}{8}$ " Rods @ 9" centres. Hearths thus suspended shall be boxed into the joists with boxing adequately supported during pouring and setting of the concrete. Box up and form fireplace opening with walls 6" thick and reinforced with $1\frac{1}{2}$ " rods @ 12" centres with 2 additional rods across the top of the fire opening. Chimney stack shall be reinforced with 4 - $1\frac{1}{2}$ " rods, 1 in each corner and bound together horizontally at least every 18", and shall be formed around 8" pipe flue liners. Line the fireplace opening with fire bricks and build hobs to carry a 16" colonial grate. Provision shall be made where necessary, for the fixing of tile-surrounds and inset electric fires. Plaster the exterior of the chimney, where seen, in a slap stipple finish and colour to match the exterior of the building.

The following shows the type of fireplace front and hearth required :-

<u>Fronts.</u>	<u>Hearths.</u>
(1) Brick.....	(1) Tiles
(2) Plaster.....	(2) Flush Concrete.....
(3) Tiles	(3) Raised Red Concrete

ADDITIONAL CHIMNEY INFORMATION.

CONCRETE PORCH FLOORS AND SUNDECKS. Concrete floors for porches and sundecks shall be boxed so that upstands for flanking walls are cast as part of the floor and a fall provided for water drainage from the inside to the outside of the porch or deck. Boulders may be used in the filling, providing that at least 3" of concrete cover the top stones and concrete fills the cavities between all boulders. If the area of concrete on the surface exceeds 64 sq.ft. the covering layer of concrete shall have 1 layer of 2" x 2" Fabric No. 215 placed 1" below the surface. Where it is uneconomical to fill a porch floor or sundeck with boulders, the same may be "Hollow Cast" in which case the slab shall be not less than 5" thick and supported on 6" walls. Reinforce the slab with 1/2" rods @ 2'0" centres and place thereon 1 layer of B.P.C. Fabric 6" x 6" x 1/4", 2" below the surface of such porch floor or concrete area. If the dimensions of such concrete exceeds 8' in both directions, the following reinforcing shall apply :-

CONCRETE STEPS. Shall be boxed to design shown on plan and the area filled with boulders and concrete. If the steps are to be suspended or hollow boxed, reinforcing shall be set out below :-

C A R P E N T E R.GENERAL.

The whole of the timbers shall be the best of their various kinds, free from deep shakes, loose or large knots and other defects. Timber shall be of full specified sizes, dressed to a smooth finish where necessary and hand-dressed or machine sanded where required. Timber shall be graded according to N.Z. standard grading No.169 and shall be supplied in good order and in as long a lengths as possible. Execute all necessary foundations, framing, dwanging and finishing in a thoroughly workmanlike manner to comply to standards set by local authorities or its inspectors. All timber construction shall be according to the N.Z. standard specifications Part IX, "Light Timber Construction".

FINISH OF TIMBERS.

All exposed interior and exterior timbers shall be machine dressed and all interior exposed timbers, such as skirtings, architraves, door jambs, fittings etc. shall be hand dressed or machine sanded.

WORK FOR OTHER TRADES.

Cut all openings required and make good all surfaces.

TIMBER TREATMENT.

All weather boards, exterior timbers and flooring used in State Advances Corporation Loan Houses, where Heart timbers are not available, shall be approved in Dress "A" grade providing such timbers are sprayed with an approved borer preventative liquid to the satisfaction of the Corporations' Inspectors. Further information, if necessary, is detailed below :-

SPACING OF TIMBER.S C H E D U L E.

<u>DESIGNATION.</u>	<u>AT CENTRES NOT TO EXCEED.</u>
Studs	18"
Floor Joists	18"
Basement Studs for timber sheathing	20"
Basement Studs for internal support	2'0"
Basement Studs for "Stucco" sheathing	18"
Ceiling Joists (normal)	20"
Ceiling Joists directly supporting Flat Roofs	18"
Dwangs	2'3"
Rafters (Tiles)	18"
Rafters (Galv.Iron.corrugated sheets)	2'0"

NAILS.

When spiking through 3" Timbers use 5" Nails, through 2" - 4" nails, for skew nailing of framework and through 1½" timbers - 3" nails, through 1" T & G Flooring - 2½" and through Weather Boards 2½". Nails for Matchlining shall be 1½" and for Hardboard and Gibraltar Board - 1½" galv. flat head nails. Finishing brads shall be used where a larger size may tend to split or damage the timbers being fixed.

SCAFFOLDING.

Provide and erect all scaffolding for carrying out of the work in accordance with the scaffolding Act.

PRIMING.

All external timbers shall be primed before fixing, care being taken to see that butt joints, and laps are similarly treated.

SCHEDULE OF TIMBER.

<u>Designation.</u>	<u>Grade.</u>	<u>Sawn. Size.</u>
Sleeper Plate on concrete foundation.	Bdlg.Ht.	4" x 2"
Sleeper Plate on piles	" "	4" x 3"
Basement Studs	" "	4" x 3"
Top Plate in Basements	" "	4" x 3"
Floor Joists (normal)	" "	5" x 2" <i>SPAN. 8' 6 1/2"</i>
Floor Joists over basements up to 14' span (live load 40 lb.)	" "A"	10" x 2"
Ditto up to 18' span (live load 40 lb.)	" "A"	12" x 2"
Vermin Plate	" Ht.	4" x 2"
" " (2 storeys) Ground Floor	" Ht.	4" x 3"
Main Studs	" "A"	4" x 2"
Opening Studs over 4'0"	" "A"	4" x 3"
Window or Door Trimmers up to 4'0"	" "	4" x 3"
Ditto 4'0" to 6'6"	" "	5" x 4"
Ditto 6'6" to 8'6"	" "	6" x 4"
Ditto 8'6" to 10'0"	" "	8" x 4"
Ditto 10'0" to 12'0"	" "	10" x 4"
Minor Partitions where shown	" "	3" x 2"
Wall Braces	" "	3" x 2" or 6" x 1"
Top Plates	" "	4" x 2"
" " (2 storey) Ground Floor	" "	4" x 3"
Ceiling Joists up to 12'0"	" "	4" x 2"
" " " " 16'0"	" "	5" x 2"
" " over 16'0"	" "	6" x 2"
Herrin Bone	" "	2" x 2"
Dwangs - full width	" "	4" x 1 1/2"
" narrow	" "	3" x 1 1/2"
" smallest permissible	" "	2" x 2"
Hip Rafters	" "	8" x 1 1/2"
Valley Rafters	" "	6" x 1 1/2"
Rafters	" "	4" x 2"
Ridges	" "	8" x 1"
Collar Ties	" "	6" x 1"
Rafter Runners	" "	4" x 2"
Valley Boards	" "	8" x 3/4"
Ceiling Joists Runners	" "	4" x 2"
Struts	" "	4" x 2"
Sarkings	" "	8" x 1"
Tile Battens	" "	2" x 1"
Soffitts Joists	" "	3" x 1 1/2"
Spout Fascia	Dress.Ht.	6" x 1"
Soffitts	" "A"	4" x 1/2" T.& G.
Plynth	" Ht.	4" x 2"
Weather Boards	" "A"	6" x 1"
Rusticating	" "A"	8" x 1"
Baseboards	" "A"	8" x 1"
Tile Scribes	" Ht.	4 1/2" x 3" x 3/8"

SCHEDULE OF TIMBER (Contd)

<u>Designation.</u>	<u>Grade.</u>	<u>Sawn Size.</u>
Flooring	Dress. "A"	4" or 6" x 1"
Skirting	" "A"	4" x 1"
Architraves	" "A"	3" x 1"
Bed. Moulds	" "A"	1½" x 1½"
Quad. Moulds	" "A"	1" x 1"
Cover Battens (Flat Round)	" "A"	1½"
Window Boards	" "A"	5" x 1"
Door Jambs (Rebated)	" "A"	4" or 6" x 1½"
Shelving etc.	" "A"	1" thick timbers
Barges	" Ht.	8" x 1"
Caps	" Ht.	6" x 1½"

- Note:- (1) All woodwork not mentioned in the above schedule will be found described in the body of this specification or shown on the accompanying drawings.
- (2) Timber Schedule for Joinery shall be found under "Joiner".

ADDITIONAL INFORMATION.CARPENTER (Contd).

SLEEPER PLATES. Plate fixed directly to continuous concrete or concrete piles shall be bored for the fixing wires or bolts and shall be straightened where possible and fixed in as long a lengths as are available. All angles and joints shall be "halved" and in no case must a joint come between piles, but always on concrete. 4" x 3" Sleeper plates on piles shall always, where possible, be fixed on edge, but may be used on the flat, providing that the pile centres do not exceed 48" centres.

BOTTOM OR VERMIN AND TOP PLATES. Shall be long and straight and shall be halved at all angles and joints. Plates may be (1) checked ¾" to receive studs or (2) dressed through a thicknesser machine (N.Z.S.S. Part IX "Light timber construction") and the studs nailed directly on to plates with 4" spikes. In "Stucco" houses, bore 1" holes or check cut ventilation grooves between every stud position.

FLOOR JOISTS. Shall be gauged and checked to plates and shall be full length or width of rooms if possible. They shall be fixed level and in the same plane and firmly nailed to plates and at all lap joints. Double joists shall be used in all cases where they directly support partitions. Trim joists for chimney foundations.

FLOOR JOISTS (contd) End joists shall be fixed flush with the inner edge of the bottom sleeper plate and 2" thick supporting blocks fixed direct to plate @ 18" centres for support of bottom wall plate. Wooden porch floor joists shall provide for a fall for water drainage from the inside to the outside of the building.

STUDS. Shall be cut true to length to give full height between floor and ceiling as shown on plan, and all opening studs shall be checked to receive trimmers. Spike studs to plates with correct length nails and erect framework level and plumb and square. Between studs on all external angles fix 3 - 4" x 4" x 2" blocks to stud height to bind studs together. Firmly nail plates to floor joists or support blocks and temporarily brace building.

STUDS FOR 2 STOREY STRUCTURES. Shall be 4" x 3" for ground floor studs and 4" x 2" for 1st floor. All 4" x 3" studs shall be checked at least 3/8" into top and bottom plates but 4" x 2" 1st floor studs may be fixed to plates in method (1) or (2) as under "Top and Bottom Plates".

BASEMENT STUDS. Shall be nailed direct to the sleeper plate and the top plate of the basement section, plumbed and braced as under "Braces".

BRACES. Cut between studs, 3" x 2" bracing from top to bottom plate at angles of approx. 45° so that the building is triangulated. For S.A.C. Stucco houses, check 6" x 1" braces into outer face of studs.

DWANGS. To be cut between studs so that there are 3 rows to every stud height. Ceiling dwangs shall be cut between joists so that no area is greater than 2'3" x 20". All exterior dwangs on "stucco" houses shall be bored with 1" holes or have checked cut ventilation grooves to provide air circulation.

CEILING JOISTS. Nail joists directly to top plates at centres not exceeding 20". Fix down centre of rooms, 4" x 2" runners nailed to joists and tommed up to roof.

CEILING - RAFTER JOISTS. In houses with flat bitumen roofs and where the ceiling joists are also the rafters, joists shall be of size shown on the plan and shall have the top edge tapered or packed to provide a fall. Provide herrin-bone bracing, at least 1 row to 10' and 2 rows up to 16' span. Ends of rafter joists shall be solid blocked and the whole spiked to plates.

ROOF CONSTRUCTION. All roofs shall be constructed to the pitch shown on the plan. Rafters shall be in single lengths, bird-mouthed over plates and plumb-cut on the ends to receive spouting fascia and for fixing to ridges. All hip and valley rafters shall be full length if possible, and where jointed shall be splay cut and have 1" boards, full width, nailed on either side of such rafter to strengthen the joint. Cut all hip and valley common rafters to give an accurate fit and fix 8" valley boards to suit the type of roofing materials. On the underside of rafters, spike a 4" x 2" runner and tom down on to internal partitions or ceiling joists runners. Fix collar ties to every 3rd set of rafters where such rafters each exceed 10' in horizontal span. Fix supports to all ridges and hip and valley rafters off of internal walls.

Flat Roof construction is described under "Ceiling - Rafter Joists".

BOXED EAVES. *2st.* Boxed eaves shall be formed on 3" x 2" or 2" x 2" stub-joists splay fitted to rafter ends and fixed to main framing. Form soffit of *POINTE*...lining and finish at junction of soffit and wall with 1" round on timber houses.

SPOUTING FASCIAS. Fit 6" x 1" Dress. "HT" spouting fascias on the ends of rafters. This will necessitate the horizontal cutting of the ends of rafters to give the fascias the necessary coverage. All joints, as well as internal and external angles, shall be mitred.

BARGES AND CAPS. Where necessary and shown on the drawings, fix 8" x 1" barges and 6" x 1 1/4" caps to roof ends and cut barge ends to details shown.

CORRUGATED GALV. IRON ROOFING. Fix to all rafters, 6 or 8" x 1" Bldg. "A" Sarking close boarded and cover same with 1 layer of Bitumous felt building paper. In all houses financed by S.A.C. paint all sheet laps and end covers with red lead priming or Zinc Chromate. Cut sheets to fit neatly to all angles and bend up the hollow edges against ridges etc. Fix ridging in a similar manner. All ends of sheets shall cover the sheets below at least 9" and side laps shall be 1 1/2 corrugations. All bottom sheets shall project beyond the spouting fascias 1 1/2". All Galv. Corrugated Iron shall be NOT less than 26 gauge and shall be fixed with lead headed nails. All valleys shall be 26 gauge galv. flat iron.

TILED ROOF Batten the roof with 2" x 1" Bldg. "A" Rimu battens well nailed to rafters to spacing required. Battens shall be kept 2" clear of all chimneys. Cover the roof with concrete tiles of approved manufacture, red in colour, with all ridge, hip and apex tiles of the same design and shade. All tiles shall be of true and even shape, free from defect and cast with the necessary wiring nib underneath. Tiles shall be examined by the foreman or Architect in charge of the job and any not up to standard, shall be rejected. Tiles shall be laid true and straight, neatly cut up to all ridges, hips and valleys. Commence tiling with a full course

TILED ROOF (contd)

at eaves, the first course being fully wired down to rafters and thereafter every 3rd course. Tiles shall oversail all barges, fascias, etc. $1\frac{1}{2}$ " and shall amply cover all valley gutters. The ridge, hips and apex tiles shall be bedded in cement mortar of 1 part cement, $\frac{1}{4}$ hydrated lime to 2 parts of clean sharp sand and coloured to match the main roof shade. Where a roof meets a wall, form a secret gutter against such wall and drain into the spouting. On all gable ends, provide for additional overhang of tiles and fix underneath double scribing fillets of 1 - $4\frac{1}{2}$ " x $\frac{5}{8}$ " and 1 - 3" x $\frac{5}{8}$ " neatly cut to angles of tiles. Alternatively, provide a secret gutter and flash over a single $\frac{3}{4}$ " fascia with an additional $\frac{1}{2}$ " scribe on the top edge thereof. The tiler shall guarantee all his work for a period of 2 years and if during this period any leaks occur which are directly due to his workmanship, such tiles shall be replaced free of charge.

BITUMEN ROOFS.

This type of roof shall be shown on the plan, and have common rafter joists of size shown hereafter..... Cover the roof with 1" thickened sarking, and at the edge where the roof meets the parapet (or projecting flat - in which case a detail shall be drawn) fix a 4 x 3 angle piece nailed to the sarking only. Allow for outlets for water, and flash with galv. iron, Malthoid shall then be fixed and covered with boiling Trinidad 20/30 penetrated bitumen, as follows:-

<u>1st Layer</u>	2 ply malthoid lapped and stagger nailed.
<u>2nd "</u>	Hot bitumen.
<u>3rd "</u>	3 ply malthoid on hot bitumen (2nd above)
<u>4th "</u>	Hot bitumen.
<u>5th "</u>	3 ply malthoid laid on hot bitumen (4th above)
<u>6th "</u>	Hot bitumen.
<u>7th "</u>	Pea Gravel chips embedded in hot bitumen (6th above)

Further information, re the laying of bitumen roofs may be obtained from the Architect who will also supply details of flashing and formation of rainheads.

PROJECTING FLAT ROOFS OVER WINDOWS.

Cover such roofs with T. & G. flooring and cover with 26 gauge galv. iron or 24 gauge flat aluminium sheet. Turn up against wall studs and bend down over front edge of projection and neatly tack down with $1\frac{1}{4}$ " galv. flat head nails.

PLYNTH.

Fix bevel plynth to the sleeper plate of wooden structures, mitre all joints and angles and prime well before nailing.

BASEBOARDS.

Fit 8" Baseboards to exterior piles, keeping the top board $\frac{3}{4}$ " below the plynth and a gap of $\frac{3}{4}$ " between boards thereafter. This is necessary to give the required ventilation. Baseboards shall apply to those portions of foundations that are not covered by rustication or other sheathing.

WEATHER BOARDS.

Cover the exterior with 6" x 1" bevelled back Rebated weatherboards with all butt joints painted and bored before fixing. All weatherboards shall be straight in line, tightly fitted on edges and shall be full cut to the edge of all window and door openings. Double nail all joints. All internal angles shall be scribe fitted and in exposed places shall have a galv. iron flashing in the corner and the boards placed thereon. External angles shall be mitred neatly and well primed and bored before fixing.

RUSTICATING.

Shall be fixed essentially as under "Weatherboards" except that all external angles shall be fitted with corner stops comprising 5" and 4" x 1".

STUCCO EXTERIORS.GENERAL.

In the use of stucco, the framing of the building must be built accordingly. This necessitates all top and bottom plates and dwangs in between and on the walls so covered to have a 1" hole bored in between each stud or "V" cut on edge. This is to allow circulation of air up and through the wall. (See dwangs). All dwanging for stucco work is to not exceed 2' centres, and may be placed to suit netting or sheets as required.

SATURATED FELT

NETTING AND PAPER. Commencing from the bottom, ~~30/30 Sisalcraft~~ or other similar and approved paper horizontally around the building, nailing with galv. clouts where necessary to keep the paper tight. Follow up the building, giving at least 6" lap horizontally, special care to be taken to prevent the paper from splitting. Next, No. 8 wire spacing to be fixed on face of Sisalcraft in the absence or shortage of "furring nails". Next, apply the wire netting or mesh of not greater than 1" for standard "bird wire", or cyclone mesh to approval. Fix netting with heavy staples, with special care given to make all laps wire to wire, and not wire to paper. All window openings shall be diagonally reinforced at the four corners with additional netting at least 18" x 12".

The wall is now ready to receive the plaster, which shall be mixed of 2 parts fine river sand to 1 part Repello cement or ordinary Portland cement, with the addition of 10% hydrated lime. The first coat is to be well trowelled to embed the netting reinforcing in the centre of the plaster. This first coat is to be left at least 7 days to dry, and shall be cross scratched to provide a key for the second coat, and kept periodically wet until dried out. The second coat shall be of similar mix, a straightening coat done with the use of a straight edge and plumb rule. The final and finishing coat shall be of slap stipple finish, put on at the same time as the straightening coat. Cover the whole exterior after 14 days with two coats of colour wash, made of unslaked lime, yellow ochre and fat. FLASHINGS SHALL BE PROVIDED UP SIDES AND ACROSS HEADS OF WINDOWS + DOORS. WITH SILL TRAILS NET INTO STUDS.

CEMENT BOARD. Fix 30/30 Sisalcraft as detailed under "Netting and Paper" and fix thereon, $\frac{1}{2}$ " concrete cement board of approved manufacture, fitted with all butt joints on studs or dwangs. Cover the whole surface with netting and 1 straightening coat and 1 final stipple coat with colouring, all as described under "Netting and Paper".

DIAGONAL BOARDING SOLID BACK. Cover the exterior of the building with $\frac{1}{2}$ " Bldg. "A" Rimu sheathing fixed at an angle of 45° and spaced "Hit and Miss". Proceed as under "Netting and Paper".

TIMBER PORCH FLOORS. Shall be 4 x 1 Ht. T. & G. tightly cramped and laid with joints in the direction of outside to inside of the building. Fill in under all door steps and scribe all timber sheathing accurately to floor.

INTERIOR FLOORS. All flooring shall be machined as soon as possible and shall be spread out on the job to air. Tightly cramp up and double nail on all joists. Punch all nails below the surface and flush off all bywood.

INTERIOR WALL FINISHES.

<u>ROOM.</u>	<u>MATERIAL.</u>	<u>FINISH.</u>
<u>LAUNDRY.</u>	<u>1/2" HARDBOARD.</u>	<u>ENAMEL</u>
<u>BATHROOM.</u>		
<u>SHOWER ROOM.</u>		
<u>W.C.</u>		
<u>KITCHEN.</u>	<u>1/2" HARDBOARD.</u>	<u>ENAMEL</u>
<u>DINING AREA.</u>		
<u>SUN ROOM.</u>		
<u>HALLS & PASSAGE.</u>		
<u>BED ROOMS.</u>	<u>3/8" GIBRALTAR BOARD.</u>	<u>PAPER</u>
<u>LOUNGE.</u>	<u>3/8" GIBRALTAR BOARD.</u>	<u>PAPER</u>
<u>DINING ROOM.</u>		
<u>ADDITIONAL INFORMATION.</u>		

INTERIOR OF CUPBOARDS.

<u>CUPBOARD.</u>	<u>MATERIAL.</u>	<u>FINISH.</u>
<u>LINEN.</u>	<u>PINEX SOFTBOARD</u>	
<u>COAT CUPD. OR RECESS.</u>		
<u>BROOM.</u>		
<u>FUEL.</u>		
<u>H.W. CYLINDER.</u>	<u>PINEX SOFTBOARD</u>	
<u>WARDROBES.</u>		
<u>SUITCASE.</u>		
<u>ADDITIONAL INFORMATION.</u>		

CEILING FINISHES. All internal ceiling of the building shall be covered with 1/2" pinex sheets unless otherwise stated. Exterior ceilings such as porches and shelters, shall be lined with the same materials as is used on "Soffits". WHICH IS POLITE.

ADDITIONAL INFORMATION.

T. & G. LINING. All matchlining shall be fixed vertically except in laundries and cupboards where it is permissible to fix it horizontally. Dwang walls to receive same and cut off to length and air lining for some days before nailing in position.

GIBRALTER BOARD OR HARDBOARD. Dwang walls to receive sheets and closely nail with $1\frac{1}{4}$ " galv. flat head nails. Care must be taken not to damage the surface and all exposed nail heads shall be punched just below flush.

PAPERING ON GIBRALTER BOARD. Fix sheets as detailed above and fill all joints and nail heads with plaster-of-paris and sand off to a flush finish.

FIBROUS PLASTER. Dwang walls to receive $\frac{3}{8}$ " fibrous plaster of approved manufacture and fix sheets with $1\frac{1}{4}$ " large head galv. clouts. Fill all joints, nail heads and imperfections with a plastic mix of water and pure plaster-of-paris and trowel off to a smooth finish to receive paper. On one edge of all external angles fit $1\frac{3}{4}$ " x $\frac{3}{8}$ " dressed batten and butt the fibrous plaster thereto and flush up.

PINEX. Dwang all ceilings to receive pinex sheets and fix same with $1\frac{1}{4}$ " galv. flat head nails.

COVER BATTENS. Cover all joints in Pinex ceilings and all wall joints of Gibraltar Board or Hardboard in enamelled rooms with $1\frac{1}{4}$ " flat round moulding. Battens shall be neatly scribed where they meet at right angles and shall be butted to all cornice mouldings and skirtings etc.

CORNICE MOULDS. In all cases, fix in the angle formed by the junction of ceiling and walls, $1\frac{1}{4}$ " Bedmould and nail tightly into position.

SKIRTING. Shall be machined out of 4 x 1 Dress "A" Rimu with rounded top edge and shall be rebated on the bottom and hollowed out on the back. Scribe to the floor and firmly nail to each wall stud and plate.

ARCHITRAVES. Shall be machined out of 3" x 1" Dress "A" Rimu, hollowed on the back and shall be (a) Flat Round or (b) bevelled. All angles shall be mitred and all side architraves shall butt on to window boards or flooring. Flat round architraves shall be mitre scarfed into skirtings to provide a continuity of the round.

Type.....

WINDOW BOARDS. Shall be sq. dressed out of 5" x 1" Dress "A" Rimu and scribed around mullions to form a neat fit.

APRON PIECES.

Under all window boards fix quadrant moulding

QUADRANT MOULDING.

In all angles of enamelled walls, fix quadrant moulding.

EXTERNAL ANGLES.

Fit $1\frac{3}{4}$ " x $1\frac{3}{4}$ " square hollow cut corner stops on all external angles in enamelled wall rooms.

MANHOLE.

Provide and fix in the ceiling of the back hall or in another convenient position, a removable manhole for access to the roof area.

LINEN CUPBOARD.

Build as shown on plan with 6'0" high door and fix slatted shelves 15" between.

BROOM CUPBOARD.

Where shown, build to size shown on the drawings and fit with 1 shelf above the height of a normal broom.

COAT RECESS.

Fit 6 chrom. H. & C. Hooks on 4 x 1 bevelled batten and finish timber in varnish or enamel to match other woodwork.

WARDROBES.

All wardrobes shall be lined as specified under "Interior of Cupboards" and fitted with a hat shelf at least $11\frac{1}{2}$ " wide and a coat hanger rod.

SUITCASE CUPBOARDS.

In plans showing one or two wardrobes, allow for 1 suitcase cupboard. Where 3 or more wardrobes are shown, allow for 2 cupboards. Suitcase cupboards shall be floored with T. & G. and the interior lined with Gibraltar board, pinex or T. & G. - whichever is available on the job and shall be finished with the necessary Bedmoulds, quads. and flat rounds, leaving the interior in the natural finish.

Fit Coreboard doors $\frac{7}{8}$ " thick, complete with jambs, architraves and furniture. The height of these doors may vary, according to the stud height and shall be determined by the foreman after due consideration has been given to the construction.

HOT WATER CUPBOARD.

Build a stand for the circulating cylinder to the requirements of the plumber and fit slatted airing shelves.

FRONT OF BATH.

Build up on framework allowing for a removable panel the plug end, and face with Gibraltar Board or Hardboard. Make provision for toe space by allowing a toe-recess or sloping the front inwards at least 3". Finish with the necessary mouldings both on the face and on the top of the bath where the walls meet the porcelain.

SHOWER BOX.

Build as shown on the drawings, a shower box 7' high off the floor. (Note). This apparent shortness is essential

SHOWER BOX Contd.

in order to provide for a steam outlet. Line the inside with 1/8" N.Z. Hardboard and seal corners with quad. moulding set in priming. Wall sheets shall run over the upstand of the floor. Fit a glass door, size 6' x 2', to open as shown on the plan. Provide a "Cabin" type sill rebated over both inside and outside linings. Details of construction may be obtained from the Architect.

The shower floor shall be

J O I N E R.DOORS

	<u>SIZE.</u>	<u>TIMBER.</u>	<u>TYPE.</u>	<u>GLAZING.</u>
<u>Entrance</u>	6'6" x 2'5"	ITOHU	4 PANEL	DISCURE
<u>Kitchen to back Porch</u>	.....	.....	.....	.....
<u>Laundry to back Porch</u>	.....	.....	.....	.....
<u>Interior Main.</u>	.....	.....	.....	.....
<u>Interior casements</u>	.....	.....	.....	.....
<u>Outside casements</u>	.....	.....	.....	.....
<u>Linen Cupboard</u>	6' x 2' x 1"	CORE	BOARD	.....
<u>W.C.</u>	.....	.....	.....	.....
<u>Wardrobes</u>	.....	.....	.....	.....
<u>H.W. Cupboards</u>	.....	.....	.....	.....
<u>Broom Cupboards</u>	.....	CORE	BOARD	.....
<u>Fuel Cupboards</u>	LAVATORY DOOR 6'6" x 2'2"	.....	.....	FLUSH
<u>Other Doors</u>	6'6" x 2'6"	.....	.....	FLUSH
.....
.....

In all cases, doors shall conform to N.Z.S.S. 106.

DOOR JAMBS.

Shall be rebated out of $1\frac{1}{2}$ " timbers and in all cases - except cupboards - machine sanded both in the rebate and on the surface.

DOOR AND WINDOW FRAMES.SCHEDULE OF TIMBER.

	<u>Weather Boards.</u>	<u>Stucco.</u>
Sills (Window)	8" x $2\frac{1}{2}$ "	6" or $6\frac{1}{2}$ " x $2\frac{1}{2}$ "
Sills (Door)	8" x 2"	8" x 2"
Jambs	6" x $1\frac{1}{2}$ ", 6" x 2"	5" x 2"
Heads	6" x $1\frac{1}{2}$ ", 6" x 2"	5" x 2"
Mullions	4" x 3"	4" x 3"
Transomes	5" x 3"	5" x 3"
Facings	4" or 6" x 1"	

All timber shall be Dress "A" Ht Rimu or Matai. Easifolds and spiral or weighted D.H. Frames shall be machined to special setting as recommended by the makers.

CONSTRUCTION.

All window and door frames shall be rebated, throated, water drip grooved and thoroughly housed, checked etc. as is necessary to make a first class job. All joints, checks, etc. shall be well primed and bored before nailing. Rebates in jambs and mullions shall be centre grooved $\frac{1}{4}$ " x $\frac{1}{8}$ " and all sills double sunk. Door sills shall be bevelled to a fall and rebated in the back to provide flooring coverage. Machine sand all interior surfaces and remove any obvious machine marks on the exterior. All Stucco jambs shall be run with a $\frac{1}{2}$ " x $\frac{1}{2}$ " groove on the outer edge and flashed with machine bent 26 gauge galv. iron. Fit galv. iron trays 9" long under each end of window sills.

CONSTRUCTION Contd. On weatherboard jobs, flash the top facing with 26 gauge galv. iron and fit 2 x $\frac{1}{2}$ scribe fillets, set in priming, against side facings.

SASHES. All timber used for sashes shall be Redwood, Cedar, Oregon or Baltic Fir and shall be rebated and bevelled to standard sash mould. Sashes to be morticed, tenoned, cramped, glued and primed, etc. to produce a first class job and shall be in winding, square and true. Sashes to take $\frac{1}{4}$ " thick plate glass will have the rebate $\frac{1}{8}$ " wider than usual. Groove, rebate, tongue etc. all sashes for special fittings and when ready for the frames, shall be fitted with the minimum of clearance. Sashes with glass height up to 42" to be hung on 2 butts, and 3 butts for glass height of 48" or more. Provide cover battens, screwed on with galv. screws to outside of all split fans and cover the inside with $1\frac{1}{2}$ " flat round or similar moulding.

SCHEDULE OF FINISHED MOULDED SIZES.

Top Rails.....	2 $\frac{1}{8}$ "	x	1 $\frac{3}{4}$ "
Bottom Rails.....	3 $\frac{3}{4}$ "	x	1 $\frac{3}{4}$ "
Bars	7 $\frac{1}{8}$ "	x	1 $\frac{3}{4}$ "
Styles {Casement).....	1 $\frac{3}{4}$ "	x	1 $\frac{3}{4}$ "
" {Spiral D.H.).....	2 $\frac{1}{8}$ "	x	1 $\frac{3}{4}$ "
" {Easifolds).....	2 $\frac{1}{8}$ "	x	1 $\frac{3}{4}$ "
" {Sliding).....	1 $\frac{3}{4}$ "	x	1 $\frac{3}{4}$ "
Split Fan Rails.....	2 $\frac{1}{2}$ "	x	1 $\frac{3}{4}$ "

KITCHEN CUPBOARDS. Build to size and details shown on the drawings, cupboard units comprising Bins, Drawers, Safe etc. All construction to be of Dress. "A" Rimu - glue jointed and with dowel jointed fronts. The main cupboard units shall have an overall depth of 15" and sink units 19" to allow for 20" sink tops. Where safes are shown, they shall be ventilated to the exterior with a wooden louvre, gauze backed and should the safe be not on an outside wall, then ventilation shall be provided by a series of 1" dia. holes bored in the floor and ceiling and covered with flyproof gauze. Shelves in the safe shall be 3 x 1 D.4. slats spaced 1" apart. Bins to be removable for cleaning and to be pivoted on $\frac{1}{2}$ " water pipe. Cupboard doors shall be double sided flush panel finished $\frac{7}{8}$ " thick in N.Z. Coreboard, or made with $\frac{5}{8}$ " core stock with $\frac{1}{8}$ " N.Z. Hardboard pressed both sides.

SINK UNITS. Shall be constructed of solid D.A. Rimu framing and to design if shown, complete with cupboard doors, pot-shelf and toe recess. On sink benches with wooden tops, fix 8" x $\frac{1}{2}$ " Ht. Back to top and bed in white lead, a quadrant moulding in the angle.

SINK TOPS.

(a)	Timber
(b)	Terrazo
(c)	Stainless Steel

(a) Sink units with timber draining boards shall have them made of 1" Dress "A" Ht. timber, rebate jointed and with the hole cut to the shape and size of sink and neatly rounded.

(b) and (c) When making units to accomodate (b) or (c) above, due con-

SINK TOPS Contd.

sideration must be made to the thickness of such tops and the height detailed to be to the top of such tops.

SHAVING CABINETS.

Instal. in the wall where shown in the bathroom a shaving cabinet made of 6" x 1" Dress "A" Timber with 2 shelves and flush door and a 24 oz mirror, 12" x 10", fixed on the inner face thereof. Opening in rough frame to be 24" x 14".

TELEPHONE RECESS.

Where shown, make a box to fit in the wall and accommodate batteries. Provide wide shelf (8") to sit telephone on.

IRONING BOARD.

Build where shown, an Ironing Board in a framed cupboard, allowing space for iron. Fit with a swinging leg to provide support from skirting - floor junction. Size of rough frame opening to be and the bottom trimmer to be to the top edge off the floor.

INTERIOR FITTINGS.

Build according to details bookcases, china cabinets etc. out of Dress "A" timbers, sanded and neatly finished, and where necessary, beaded to the wall and fitted with the necessary toe space. Where fittings are shown with the sliding doors, they shall be fitted with everite composition or other approved track. Further details re fittings may be required and can be obtained from the Architect.

SCHEDULE OF HARDWARE.LOCKS.

Entrance Door	"Yale", "Union", or other approved make of night latch, with chromium face and with chrom. exterior handle.
Back Doors (Kitchen & Laundry).....	Chromium Lever Mortice Locks.
Fuel Cupboard Door	Rim Lock.
Exterior Casement Doors	Chromium Lever Mortice Lock.
Interior Casement Doors	Chromium Lever Mortice Latches.
<u>Main Interior Doors.</u>	Chromium Lever Mortice Latches.
Bath Room & W.C. Doors	Chromium Lever Mortice Locks.
Wardrobes & Linen Cupd. Doors.....	Chromium Lever Mortice Latch.
Small Cupd. Doors (Main Kitchen cupds. & suitcase doors)	Chromium push button "Egro" type.
Drawers	Chromium Drawer pulls.
Bolts	3" Chromium.
<u>Casement Windows:-</u>	
Casement Stays	- 12" Chromium.
Fanlight Stays	- 12" Chromium.
Split Fans	- Chromium Quadrant Stays.
Easifolds.....	As provided by manufacturers.
Double Hung Windows	Spiral.
<u>Butt Hinges.-</u> Sashes	3" steel or galv. (S.A.C.) loose pin with 1" x 7" screws.
Main Doors	3½" and 1" x 8 screws (1½ pr. to each door.)
Casement Doors	3" Broad Butts and 1" x 8 screws (1½ pr. to each door.)
Wardrobe, Linen Doors	3" and 1" x 7 screws (1 pr. to each door.)
Cupboard Doors	2½" and ¾" x 5 screws.

D R A I N L A Y E R.GENERAL.

The drainage contractor shall supply and fix all materials necessary for the proper carrying out of the work, according to the accompanying drawings, and also to the satisfaction of the Council's inspectors, Health Officer and any by-laws governing the work. Only experienced and licensed tradesmen shall be employed. The contractor shall excavate where required for his work to the depths and grades required, and shall construct manholes, inspection chambers, gully traps etc. that may be necessary.

PIPES.

Shall be hard salt glazed socketted earthenware pipes 4" internal dia. set in with cement compo. Each pipe shall be carefully wiped and left free from dirt before another is laid.

GULLY TRAPS.

All gully traps, W.C. foundations, etc. and other drainage connections shall be built where required, and neatly plastered to a smooth finish.

LAYING DRAINS.

All drains shall be commenced at the point of outfall, and laid to a true and even gradient, and not flatter than one in 40 for 4" pipes. The depth of the drain below earth level at the house edge shall be at least 12" and all "Y" branches and connections shall be put in as the work proceeds. Connect drains (Where applicable) to Council Sewerage and erect barricade and red lights when openings are left overnight.

SEPTIC TANK.

Build on that portion of the section approved by the Health Inspector and the Architect one 2 chamber concrete septic tank, complete with filter bed. The whole is to be constructed according to County and Council by-laws covering such work & N.Z.S.S.

VENTS.

Erect where required all vents, terminal vents etc. as required by local authorities.

TESTING.

All work shall comply with the tests made by the local authority and any work not standing up to these tests shall be replaced by the contractor at his own expense.

DISTANCES.

All septic tanks shall be 30' clear of the building unless the Sanitary Inspector gives special dispensation for it to be placed closer.

P L U M B E R & T I N S M I T H.GENERAL.

All work shall be done by licensed and qualified tradesmen. All materials and workmanship shall be the best of its kinds specified. The whole of the plumbing work shall be carried out in strict accordance with any by-laws governing the work in the locality in which the house is being erected.

FLASHING AND GUTTERS. All flashings shall be machine bent and cut. Flashings shall be in as long lengths as possible. All flashings of pipes, chimneys, etc. passing through aluminium roofs shall be sheet 24 gauge aluminium, gas welded and beat into corrugations and grouted into concrete. Tile roof flashings shall be 4 lb lead similarly fixed. Flashings for windows, hoods and tile roof valley gutters shall be 26 gauge galv. iron. Valley gutters for aluminium roofs shall be of the same material. Flash all flat roof hoods over projecting windows with 26 gauge galv. iron and bend up against wall, and over front edge of hood. All joints in the roof shall be patent vertical laps if such depth of roof exceeds 2'6".

COLD WATER SUPPLY.

Lay on water from the Council or County-Council point to the house in $\frac{1}{2}$ " galv. pipes, trenched into the ground. Carry water in $\frac{1}{2}$ " copper pipes to the bath, basin, shower, 2 tubs, sink, H.W. cylinder, W.C. flusher, Fit 2 Hose taps, 1 in the front and 1 at the back of the house, both being on the line of pipe. All copper pipes shall be welded together and fitted with necessary bushings etc. to make a first class job. In localities where full pressure from the mains is not permitted, the cold water, before entering the house pipes proper, shall first pass through 2/20 gallon concrete tanks, complete with stop cocks, erected on a stout timber frame with the roof area and set on a galv. iron tray drained to the exterior of the building.

HOT WATER SUPPLY.

Lay from the cold water supply, $\frac{1}{2}$ " copper pipe to a 20 galv. concrete supply tank in the roof complete with stop cock and draining tray as above. (In the special circumstances above, the 2/20 gal. concrete tanks will serve as supply tanks for Hot water). Connect supply tank to a gal. electric circulator either Mercer, Vale, or other approved make and connect hot water in $\frac{3}{4}$ " copper pipes to 1 tub, copper or washing machine, bath, basin, sink and shower.

TAPS.

All inside taps shall be chromium plated and marked Hot and Cold. Outside taps to be brass.

WASTE PIPES.

Connect lead waste pipes to sink, basin, bath and shower. Connections to utilities beyond the outside walls may be in galv. iron $1\frac{1}{2}$ " water pipes. Carry waste pipes through chases in concrete foundations to gullies and reseal foundations with plaster.

WATER CLOSET.

Provide and fix where shown, a water closet on concrete foundation complete with timber seat and flap. Connect thereto, an approved silent flusher on the wall.

SHOWER.

Connect to cold and hot water supply and fit into wall of shower, taps marked hot and cold, and provide chromium shoulder rose spray. Mould and fit 6 lb lead tray floor with a centre drain.

SINK.

In wooden and Terrazo sink tops, supply and fit 20" x 14" white enamel pressed sink.

BASIN.

Provide and fix one white porcelain enamel basin complete with plug and chain.

Type. Pedestal Wall

COPPER.

See "Electrician".

TUBS.

Fix on a stout wooden base, Pumice concrete tubs manufactured by "Coltman" or Vales".

BATH.

Shall be 5'6" square type cast iron porcelain enamel, boxed to the floor with a removable panel for access to the trap.

SPOUTING AND D.P.

Shall be 5" O.D. type fixed with special brackets laid with a fall. Provide ample downpipes to carry roof water and fix same to house with metal brackets.

Material

TESTS.

After all plumbing is installed, full water pressure tests are to be conducted by the contractor and defects remedied.

NOTE.

When the sub-contractor is submitting a figure to the contractor, he shall allow in his tender for the necessary water and gas mains from the Council point to the house i.e. from the section boundary. In the case of outside the City boundary, the pipes from the section boundary to the County mains shall be the responsibility of the owner, and any cost necessary to bring pipes to the section boundary shall be met by him, independent of this Contract.

P A I N T E R & P A P E R H A N G E R .

MATERIALS AND WORKMANSHIP. Shall be of the best kinds specified. No materials shall be mixed or stored in the main building, and the floor shall be kept perfectly clean. If no outside storage is available it may be stored in the laundry, provided a covering is first laid down.

WHITE LEAD. Shall be genuine and proved brand.
RED LEAD. Shall be genuine and proved brand.
OIL. Shall be linseed of approved brand.
STOPPING. Shall be of the best putty, tinted for oil work, and used after all material has been given a first coat.

PRIMING. If priming is mixed on the job, it shall consist of 25% red lead, 75% white lead and a proportion of raw linseed oil with a small quantity of patent driers and turpentine. Manufactured priming may be used providing that such priming comes from well known makers, such as "Pinchin Johnston" or "Smith & Smith".

SECOND COAT. Shall consist of 75% white lead, 25% zinc.oxide and a small quantity of Patent driers and pure turpentine.

THIRD COAT. Ditto.

ENAMEL. Shall be manufactured by well known firms such as "Minerva", "Dulux" etc.

OUTSIDE METAL WORK. Shall receive 2 good coats as before specified.

INTERIOR FINISH. For materials to be used and type of finish required, see "Interior finishes" under "Carpenter".

METHODS OF FINISHING.

(1) For enamel finish on Timber, give a first under priming coat, then an undercoat as recommended by the enamel makers and apply a final coat of gloss enamel. For the final coat, sweep the floor, dust and sand lightly all surfaces and generally keep the air free of dust and dirt which might settle on the enamel. This applies for all finishing coats in all methods including Varnish.

(2) Enamelled Gibraltar Board and Pinex shall receive a first coat of glue size, 1 coat of recommended undercoating and a final coat of gloss enamel.

(3) Enamelling on N.Z. Hardboard shall require 1 coat of glue size, followed by 1 coat of Primer and 1 coat of recommended undercoating and a final coat of gloss enamel.

(4) All Pinex ceilings finished in flat paint shall receive a coat of glue size, 1 coat of recommended undercoating and a final coat

(4) Contd.

of flat paint such as "Velteen" "Rusalene" of tint to approval.

(5) PAPERING. All blemishes shall be smoothed and spots of paint or size thereon shall be sanded off wall boards before papering. Paint the wall with glue size and fix with flour paste, paper to the value of per roll. All paper shall be butt jointed and trimmed by machine. Any papers showing colour variation shall be omitted and special care taken to assure satisfaction with the final finish.

FINISH OF WOODWORK OTHER THAN IN KITCHENW.C., BATHROOM AND LAUNDRY.

- Finish (1) Enamel
(2) Varnish

- (1) All architraves, skirtings, doors, windows, fittings, etc. that are enamelled shall be treated as in (1) under "Method of finishing" above.
- (2) For all varnishing, apply a coat of oil stain and when dry, lightly sand down. Follow with a coat of knotting and a final coat of hard oak varnish. All care must be taken to keep dust from settling on the work at any stage.

GLAZIER.

All glass to be "Pilkingtons" or "Belgium" or other approved brand of first grade, and free from blemishes. All rebates into which glass is fixed shall be well primed or knotted before putty is applied. All glass shall be back puttied and sprigged before the outer face is puttied. Glass to be used shall NOT exceed the following size of area :-

18 oz	.....	in 1 sheet to 36" x 20"
24 oz	.....	in 1 sheet to 42" x 36"
26 oz	.....	in 1 sheet to 48" x 36"
32 oz	.....	in 1 sheet to 60" x 40"
7/32"	Drawn Sheet	in 1 sheet to 72" x 48"

7/32" or 1/4" polished plate if required shall be specially mentioned hereunder :-

Glass to W.C. Louvre, Bath Room Sashes, and Entrance Doors shall be selected white obscure.

E L E C T R I C I A N.PRELIMINARY.

The Preliminary clauses of this specification shall be ready by this Trade.

WORKMANSHIP.

All work shall be carried out by licensed wiremen, and passed by the Local Supply Authority. The installation shall be made in a practical, sound, safe and workmanlike manner, in conformity with the Electrical Wiring Regulations 1935, and their amendments. Give all requisite notices to the Electrical Supply Authority, and obtain all necessary permits.

WIRING SYSTEM.

The electrical installation shall be wired, using either of the following systems :-

- (1) Tough rubber sheathed and insulated cables, or tough plastic sheathed, and insulated cables, without further protection of casing or conduit.
- (2) Rubber insulated and braided cables, or plastic compound insulated cables, installed in screwed welded steel conduit.

All wiring work shall be concealed from view. All parts required to be concealed in other work shall be erected in advance of the said work or in co-operation with the trade concerned.

CABLE FOR WIRING IN CONDUIT.

All cables shall be 250 volt grade to B.S.S.7. Cables of approved manufacture include all C.M.A. braided rubber insulated cables.

T.R.S. CABLES.

Tough rubber sheathed to be 250 volt grade, to B.S.S.7 Cables of approved manufacture including all C.M.A. grades.

CONDUIT.

Conduit shall be A.S.C.M. or other approved manufacture. It shall be heavy gauge with welded seam, and including conduit fittings, shall comply with N.Z.S.S.127.

SERVICE MAINS.

Shall be of sufficient size to carry the complete installation and comply with Local Supply Authorities requirements. The point of entry for the mains shall be determined by the Local Supply Authorities Engineer or his assistant.

SWITCH-BOARD.

Shall be of the flush type, and of sufficient size to comply with local Supply Authorities requirements. Fuses shall comply with N.Z.S.S. 160. Lighting and heat fuses shall not be interchangeable.

LIGHTING SWITCHES.

Throughout, other than back porch and laundry, shall be of the flush type, and with flush plates to match. Switches shall be fixed at the height of 4' to the centre from the floor. The remaining switches shall be of a standard wall type also fixed at 4'

ELECTRICIAN (Contd.)

Flush plates shall lie flat against finished wall surface, and to be independently and rigidly supported off flush box.

HEAT POINTS.

Except in Laundry shall be of the flush type, with flush plates to match. All points except in kitchen and laundry to be fixed 12" above the floor level. Kitchen and Laundry to be 4' above the floor level. The Laundry point shall be of a standard wall type, minimum capacity of 10 amps.

LAMP HOLDERS.

To be moulded plastic, bayonet type, complete with N.Z.S.S.144.

LAMPS.

Shall be B.C.60 watt coiled coil and shall comply with N.Z.S.S.158 and 144.

SHADES.

Shall be plastic ivory coloured 9" flat conical.

ELECTRIC RANGE.

Shall be either NEECO, ATLAS, Jackson, Moffatt, ORION, CHAMPION. Whichever is available or specified at the time of letting the contract.

Type

WATER HEATER.

Provide plumber with approved element (1000 watt) and thermostat for fitting into hot water cylinder. The water heater element shall comply with N.Z.S.S.364 and both element and thermostat shall carry two years guarantee.

WASH BOILER.

If wash boiler is specified instal 10 amp plug in laundry.

Type

LIGHTING AND HEAT POINTS. Instal as shown on plan light points heat points. The position of all points is subject to alteration.

WIRELESS AERIAL.

Interior roof aerial to be installed, complete with dropper Radio outlet plate earth wire, etc. The aerial shall be at least 50 ft.long, and of not less than 7/029 bare stranded copper wire, supported off rafters by means of suitable insulators.

ELECTRIC FIRES.

Shall be specifically shown on plan and installed, or as follows:-
.....

INCLUDED IN CONTRACT. The contract shall include all cutting away and making good, and all details and accessories necessary to make a first class installation, whether same are mentioned or not. All work shall be carried out to the satisfaction of the electrical authorities.

The electrical contractor shall co-operate with the building contractor, and give him every assistance. He shall not interfere in his work by delay in carrying out any portion of the

wiring work. No extra in addition to those covered by this Specification shall be done, unless a quotation is given for same, and definite instructions given by the Architect.

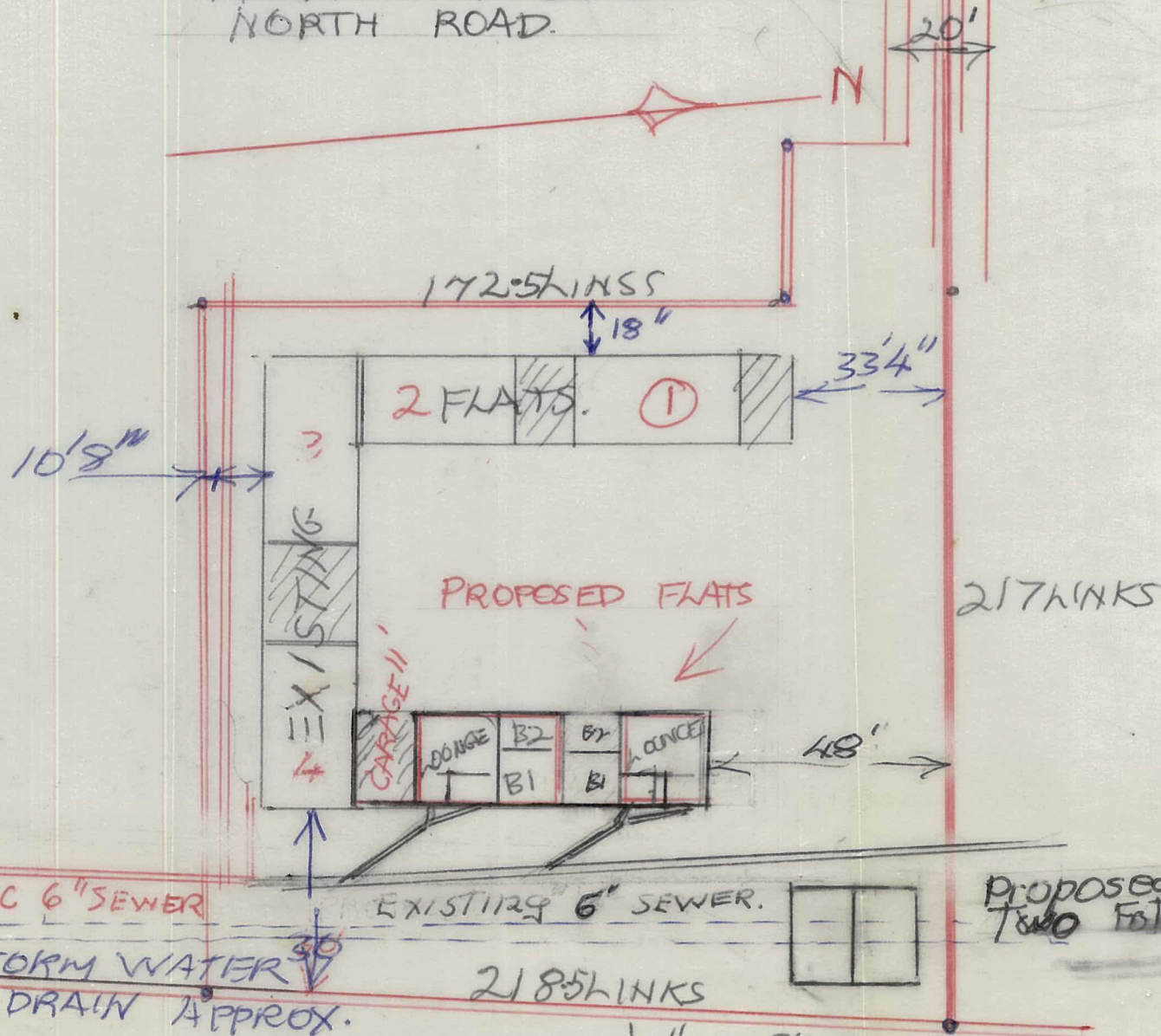
COMPLETION. The wiring contract shall be completed co-incident with the completion of the main building or such portion of same as is ready for occupation.

NOTE. It shall be the responsibility of the electrical contractor to see the house is connected to the Council mains by the necessary aerials. Any power aerial extension that the Supply Authorities deem necessary to charge for, such as extra poles, shall be a charge on the job as an extra and shall be paid for by the "Owner" as extra to this contract.

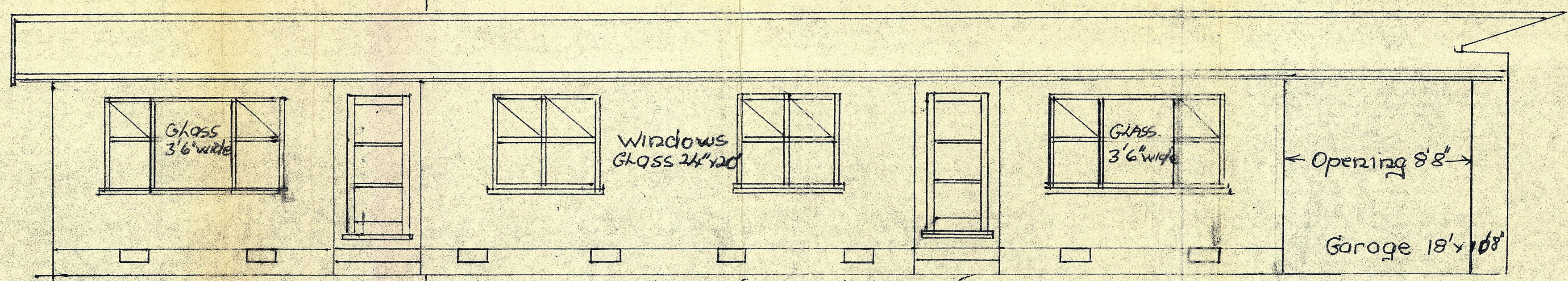
ADDITIONAL CLAUSES.

NORTH ROAD

SITE PLAN FOR K. SELLERS
D.P. 6265 LOT 4
AREA 0-1-36-8
NORTH ROAD.

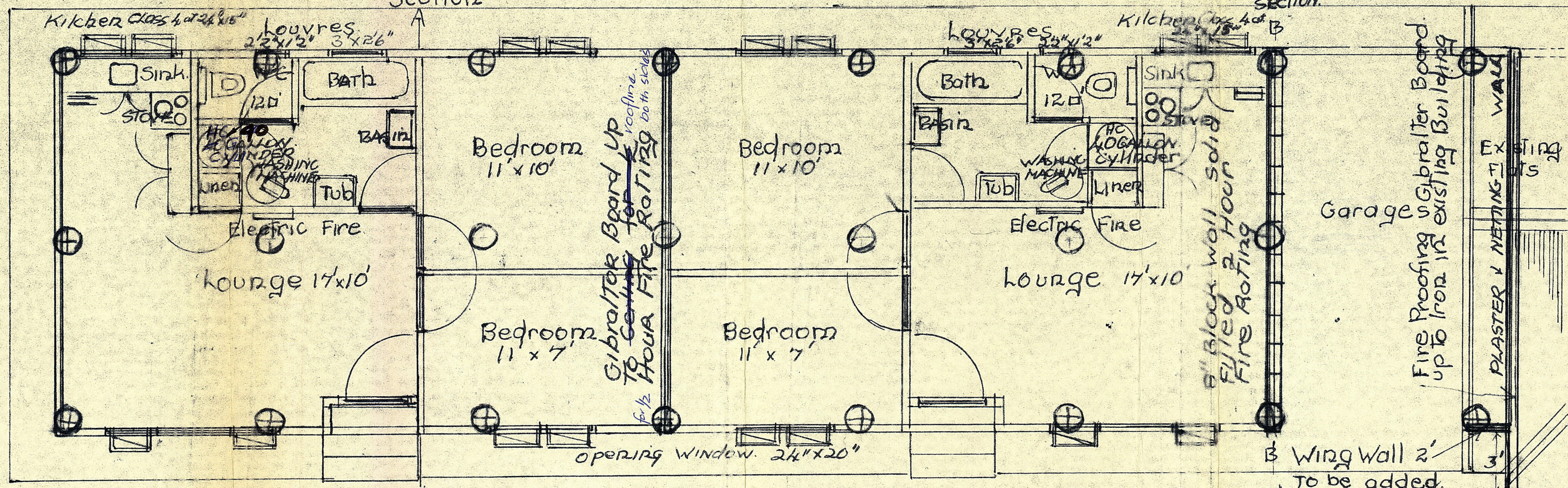


1970



Section A Front Elevation from West

CODE ⊕ To show where 16" holes will be drilled



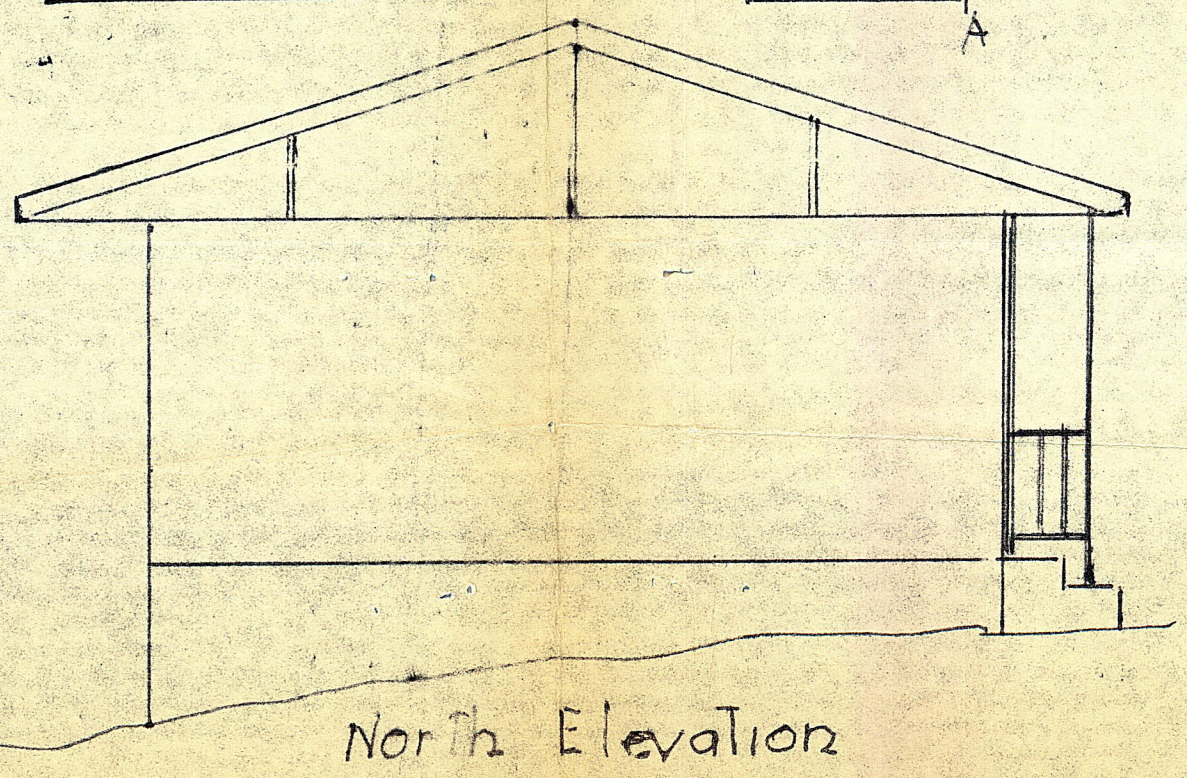
8" Solid Filled Block wall.

Top Beam 2 3/8"

End Columns 2-3/8" + 2-3/8"

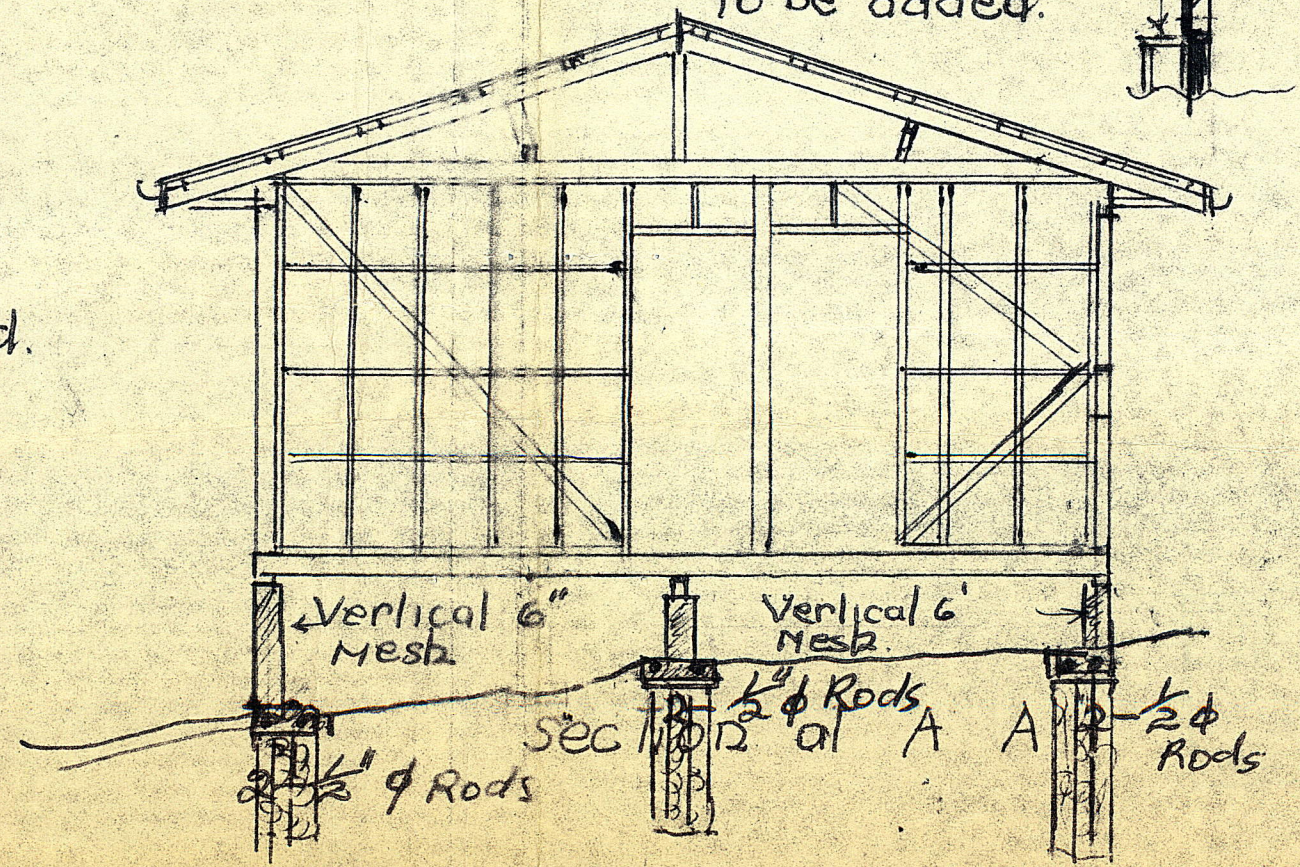
Vertical Starters 3/8" @ 24" c/s

Section at B 2-5/8"



North Elevation

Situated at 56 North Road.
DP 6265 Lot 4
Area 0.1-36.8,
Proposed Flats for
MR + MRS. K.R.W. Sellers.
125 Cleveland Tce.
Nelson. Phone. 3215



PLAN 5067.

Mr K.R.W. Sellers.

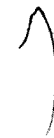
56 North Road.

Lot 4

DP 6265.

Sub. Plan 1385.

Permit - C032954.



F/1,2,3,4,5,6

PPR 106163 to
106168

NORTH

STREET
ROAD

56

HOUSE
No.

Permit No. D019006

LOT 4 D.P. 6265

FRONTAGE

Date Approved 27-2-86

Date Issued 27-2-86

OWNER

BUILDER

WORK

E M Sellars

Owner

Put in fire walls and
change windows

Subject to

1 hr rating on walls
check for no penetration.

Walls between 1-2, 3-4, 5-6

Cleared

Designation of
Household Unit

Maximum Number
of Occupants

Value: \$12,000

Siting:

Foundations: Cons.

Excavations:

Ext. Walls:

Foundation Steel:

Roofing:

Frame Work:

Insulation:

Site Plan:

Inspection
Date:

Comments:

1-7-86

Had checked excavation - framing at
earlier inspection.
all completed - walls to be topped
and orange for inst with builder
Completed

Damage deposit cleared Date:

enterprise print

Work completed Date: 4-11-86 Inspector: cpk



Nelson City Council

P.O. BOX 645, NELSON. PHONE: 81-059.

BUILDING APPLICATION FORM

PROCESSED

Permit No:

0 019006

Date Issued:

27-2-86

APPLICATION TO: Erect Install
Alter Reinstall
Convert Demolish

FOR Em Sellers (Owner) of 33 Bay View Rd (Owner Address)

according to the plans and specifications deposited herewith, IN DUPLICATE (see over for drawing requirements).

PARTICULARS OF LAND: Obtain this from your rates notice
Valuation Roll No. Lot No. 4 D.P. 6265

Address 56 North Rd Total Area of Lot

PARTICULARS OF BUILDING

Concerning this application, Dispensations, conditional use, or Specified Departures granted or Preliminary Check prior to this application.

Approval Date

Name of Applicant

Use of Building.

e.g. Flats - Rental, Ownership, Town House, Commercial or Industrial.
Specify exact uses.

Foundations concrete

Walls Fireproof Sheeting

Roof

A. Area of ground floor of all existing buildings

B. Area of ground floor this proposal

C. Total area of ground floor (A. and B.)

Estimated value of work including labour and materials:

Building \$ 12000

Plumbing & Drainage \$

Total \$ 12000

Applicant's Name (Builder or Owner)* Em Sellers Strike out whichever does not apply

Postal Address 33 Bay View Rd Nelson

Telephone No 520 837

Signature of Applicant Em Sellers

NOTE: Be sure you supply all the information required and complete the application form fully; this will save you time in the long run.

See reverse side for information on plan and other requirements.

FOR OFFICE USE ONLY

Receipt No. 6605

Building..... \$ 76-00

Building Research Levy .. \$ 12-00

Damage Deposit..... \$ 20-00

Water Connection..... \$

Electrical Street Mains Levy

Other..... \$

TOTAL \$ 108-00

Date Paid 27-2-86

INV 1747

27/2/86

1. Prints only ~~will~~ be accepted with the application, as errors can creep in if there are originals.
2. All plans should be clearly and competently drawn to metric scales.
 Site plan - 1 : 50, 1 : 100, 1 : 200
 Floor plan and elevations, etc. 1 : 100, 1 : 50
 Structural details to be drawn clear of floor plan and elevations, and are to be to a larger scale; i.e. 1 : 10/1 : 25
3. Site Plan must show -
 - (a) Section in relation to the street and give a north point.
 - (b) All buildings on the site, their use, dimensions, distance between buildings and distance to boundaries.
 - (c) Sewer and stormwater drains; ground and invert levels, gradients and point of discharge.
 - (d) Location of required off-street parking and gradient and surfacing of access from street.
4. Floor plan to be fully detailed and all dimensions given.
5. Elevations to show details of external finishes, size and type of windows.
 Height of buildings above ground level to be dimensioned.
 Give sufficient levels around boundaries of site and formations of buildings to assess daylight admission.
6. Cross Sections giving full details of foundations and framing.
7. Specifications must be sufficient to provide, in conjunction with the plans, a clear understanding of what is proposed.

BUILDING PERMIT FEES

Estimated value of work excluding plumbing and drainage

Not Exceeding	Fee
\$	\$
1000	12
2000	17
3000	25
4000	35
5000	42
6000	52
7000	55
8000	60
9000	65
10000	70
12000	76
14000	83
16000	90
18000	97
20000	105
25000	120
30000	140
35000	155
40000	170
50000	205
60000	240
70000	265
80000	295
90000	315
100000	345
120000	360
140000	380
160000	400
180000	415
200000	430

For every \$50,000 or part thereof in excess of \$200,000, add \$30

Space Heaters

A building permit is required for the installation of a appliance with a chimney or flue, and if a wet back is involved a plumbing permit must be obtained, by a registered plumber.

Building Research Association Levy

Levy is on Total Value (including plumbing and drainage

Less than \$10,000 - No fee

\$10,000 and above \$1 per \$1000 or part thereof

Permits are also required for occupation of footpaths of buildings. Applications should be made on the appropriate form (available at the City Engineer's Department).

Applicants are reminded the Damage Deposits will be charged on all work over \$1000 in value.

Domestic alterations, accessory buildings, swimming pool etc. \$20

New dwellings, flats, demolitions, etc. \$

Commercial and industrial work as assessed.

Demolitions

No person shall demolish or remove any building or any substantial part of a building unless written notification has been given.. Building Application Form shall be used for this purpose.

A separate permit is required for plumbing and drainage

NOTE: FEES PAYABLE ONLY AFTER APPROVAL

APPLICATION

NELSON CITY COUNCIL

BUILDING INSPECTION SHEET

DATE REC'D 11/2 NOTIFY BY _____
2nd Copy Plans detached.

Prelim. Check No. _____

Application for: erect firewalls + change windowsOwner: E.M. SellersBuilder as ownerLot. 4 D.P. 6265LOCALITY. 56 North RoadApplication form completed ☐~~Special conditions on specific sites.~~Area of new buildings or additions ☐Street No allocated ☐Application accompanying: plumbing, drainage, water, crossing ☐Bldg. Req. Cert. ☐**C. B.** leg-2

DEPARTMENT	date	not approved	date	approved
TOWN PLANNING.			19/2/86	<i>Shoore</i>
ELECTRICITY DEPT. <i>TEPB</i>				
PLUMBING & DRAINAGE				
SERVICES & FLOOR LEVELS.				
HEALTH				
ACCESS & GRADING.				
STRUCTURAL	21/2/86	<i>ASTA</i>	22/2	<i>ASTA</i>
CHIEF FIRE OFFICER				
BUILDING.	25/2	<i>ja</i>	27/2	<i>ja</i>
DANGEROUS GOODS				
WATER.				

Amendments required, notified by _____ Permit may be issued G. Beckman
Tel: _____ Letter: _____ Initials: _____ 27-2-86

see reverse side for comments:

Reminder to applicant:

Legal

Site check / Street number / Amalg. of titles
Building lines / Street widening lines
Dispensation / Conditional use / Specified departure
Conditions, if any, complied with
Service lanes and R.O.W.

General
Check

Zoning and use R4 ✓
Building coverage OK 26% ✓
Maximum height 8 shown ✓
Daylight admission shown ✓
Minimum yard requirements Front ✓
Rear ✓
Side ✓
Maximum density / Habitable Rooms ✓ 18 OK 24 allowed ✓
Open space. Living courts / Service courts / Communal courts shown ✓
Separation distance shown ✓
Method of attachment for flats All attached + roofed over - firewalls ✓
Conversion of dwelling houses to use apartment houses
Accessory buildings
Gross floor area Shops / Offices / Industrial buildings
Parking / Loading
Access to site and parking / Turning OK ✓
Verandahs
Sign compliance
General appearance of building

TOWN PLANNING

Remarks:

Electrical Street Mains Levy

5501 0788

ELECTRICITY DEPT.

PLUMBING & DRAINAGE (SOIL & SW - SEWERS 100mm dia.)

3 BUILDING

HEALTH

ACCESS & GRADING

STRUCTURAL

Registered Engineer to sign for Requirement 2

CHIEF FIRE OFFICER

SERVICES (Soil and Sw. sewers over 100 dia, and waterways).
FLOOR LEVELS

DANGEROUS GOODS

WATER

2356

DEPARTMENT OF STATISTICS

M. F. L. HOUSE
CNR. GLOUCESTER & COLONADO STREET
CHRISTCHURCH
TELEPHONE 793 700
TELEX 4591
TELEGRAPHIC "STATISTICS"
Mr. G. McLean

REFERENCE:

13/22/126

11 August 1981

RECEIVED
4 AUG 1981 30 July 1981
NELSON CITY COUNCIL

Mr I. M. Gourdie
277 Hardy Street
NELSON. Local Authorities

Dear Sir,

FLATS PLAN APPROVAL FOR MRS E.M. SELLERS : 56 NORTH ROAD

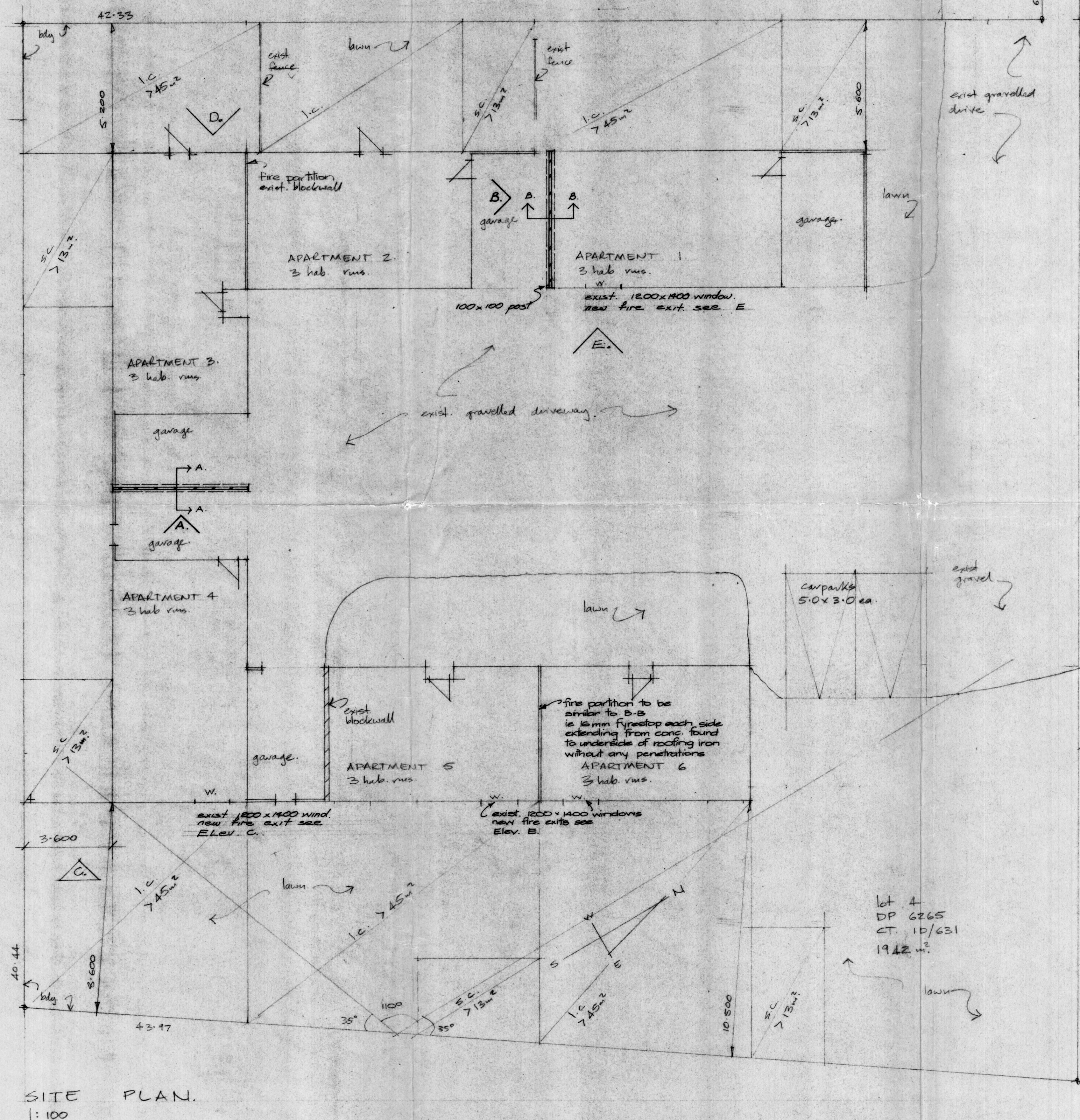
As requested, an inspection has been made and consideration given to compliance with bylaw requirements.

As far as can be ascertained from study of the building plans and inspection on site (without being able to go into the units), it would appear that the fire separation between units 1 and 2, 3 and 4, 5 and 6 would not comply. The concrete block walls between units 2 and 3, 4 and 5 should be satisfactory. At this stage, distribution appears satisfactory. The egress from unit 3 is satisfactory, but the other five units have only one means of egress. However, this problem could be overcome by changing some of the windows to casement windows, in a position where these could be accepted as a secondary means of egress.

If fire separation is inadequate, it may be possible to divide the flats into three lots of two units each, in which case the fire separation between leasehold units would be satisfactory. The fire separation between each unit, so separated, would be satisfactory for rental purposes. This information will assist you.

Yours faithfully,
City Manager/City Engineer
(P. M. Thornton)

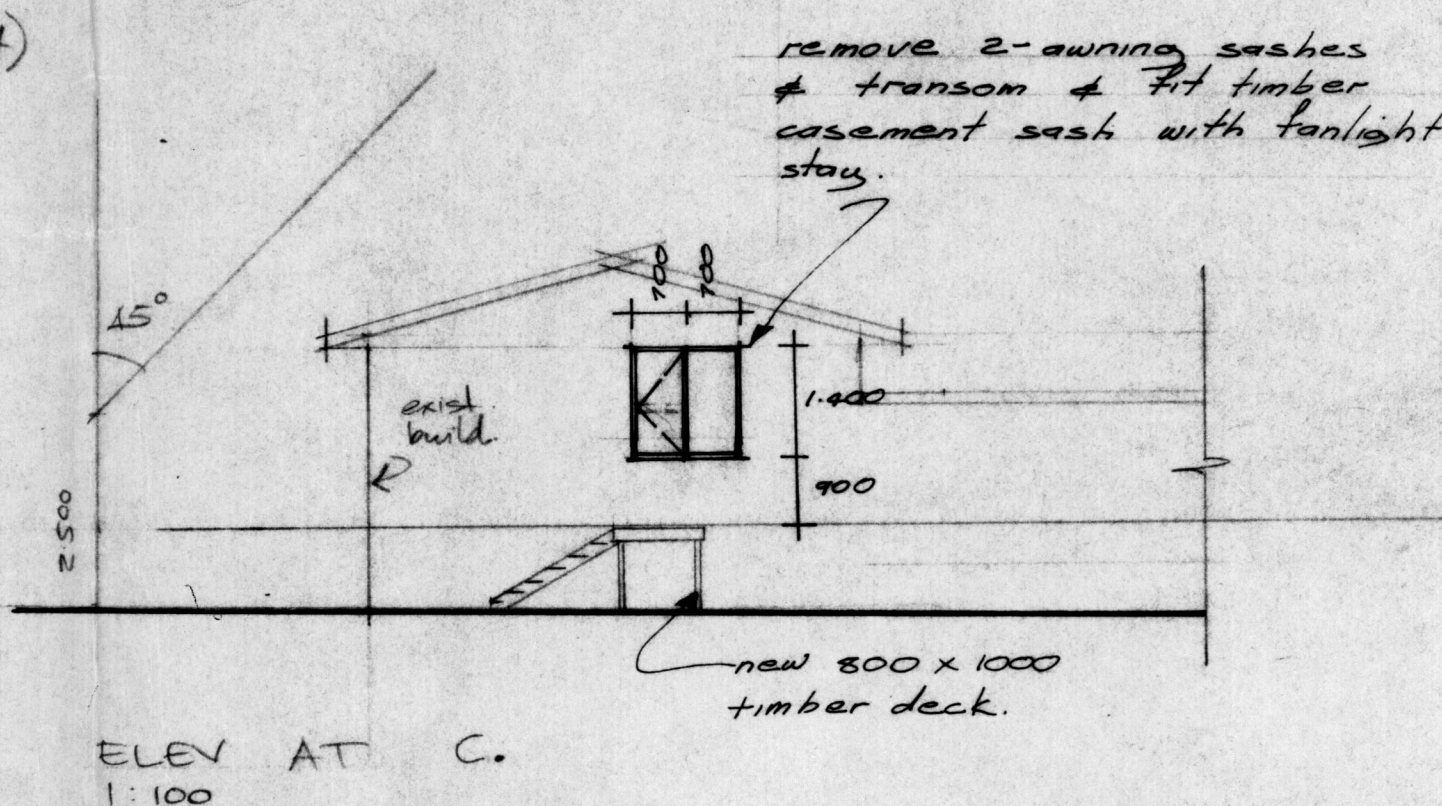
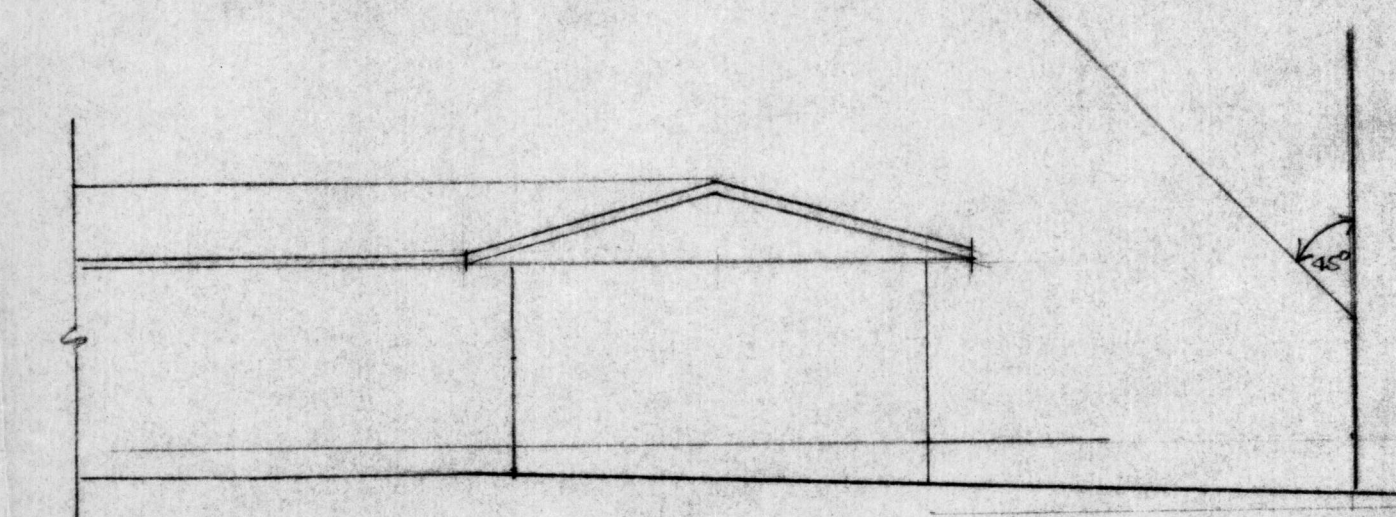
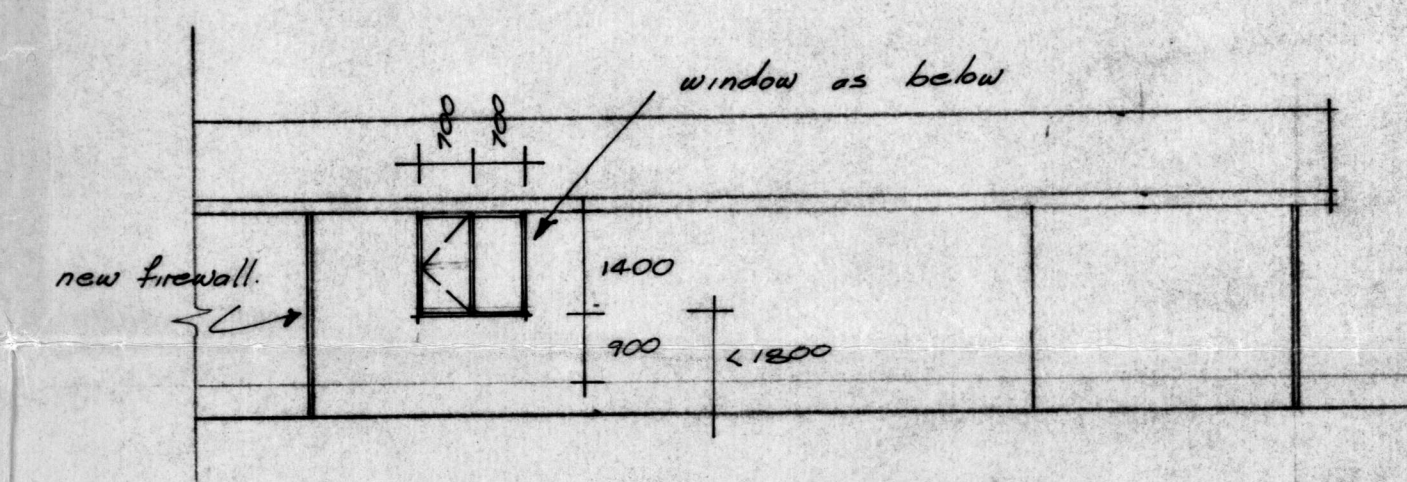
G.B. McLean
12/8/81



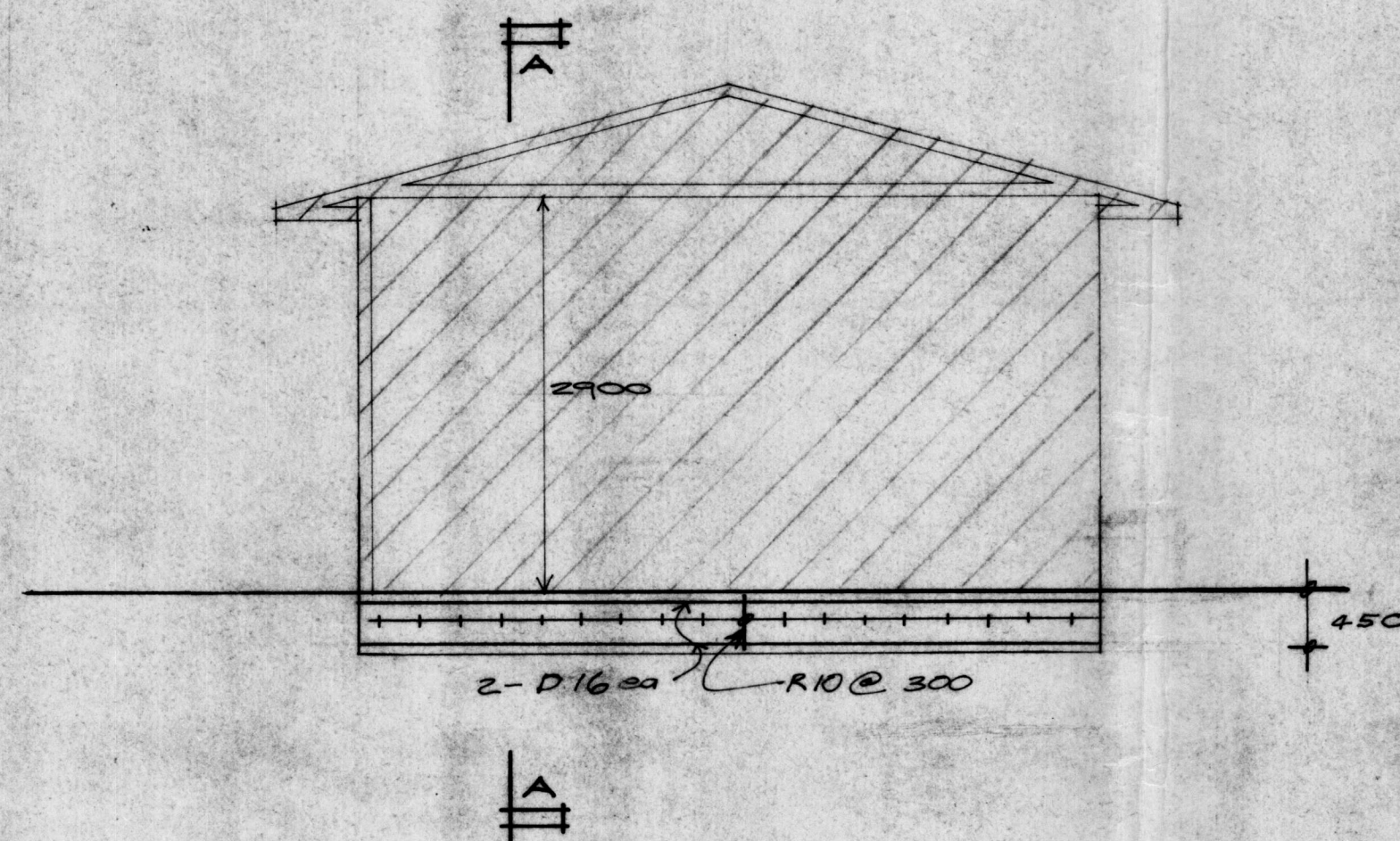
24 HOURS' NOTICE TO BE GIVEN TO BUILDING INSPECTOR WHEN READY TO:-

- ☒ SECURE FOUNDATION REINFORCEMENT IN POSITION
(i.e. EXCAVATIONS ONLY COMPLETED)
- ☒ POUR REINFORCED CONCRETE AREAS
(i.e., STEEL SECURED IN POSITION)
- ☒ FIX INTERNAL LININGS
(i.e. STRUCTURAL FRAMEWORK COMPLETE)

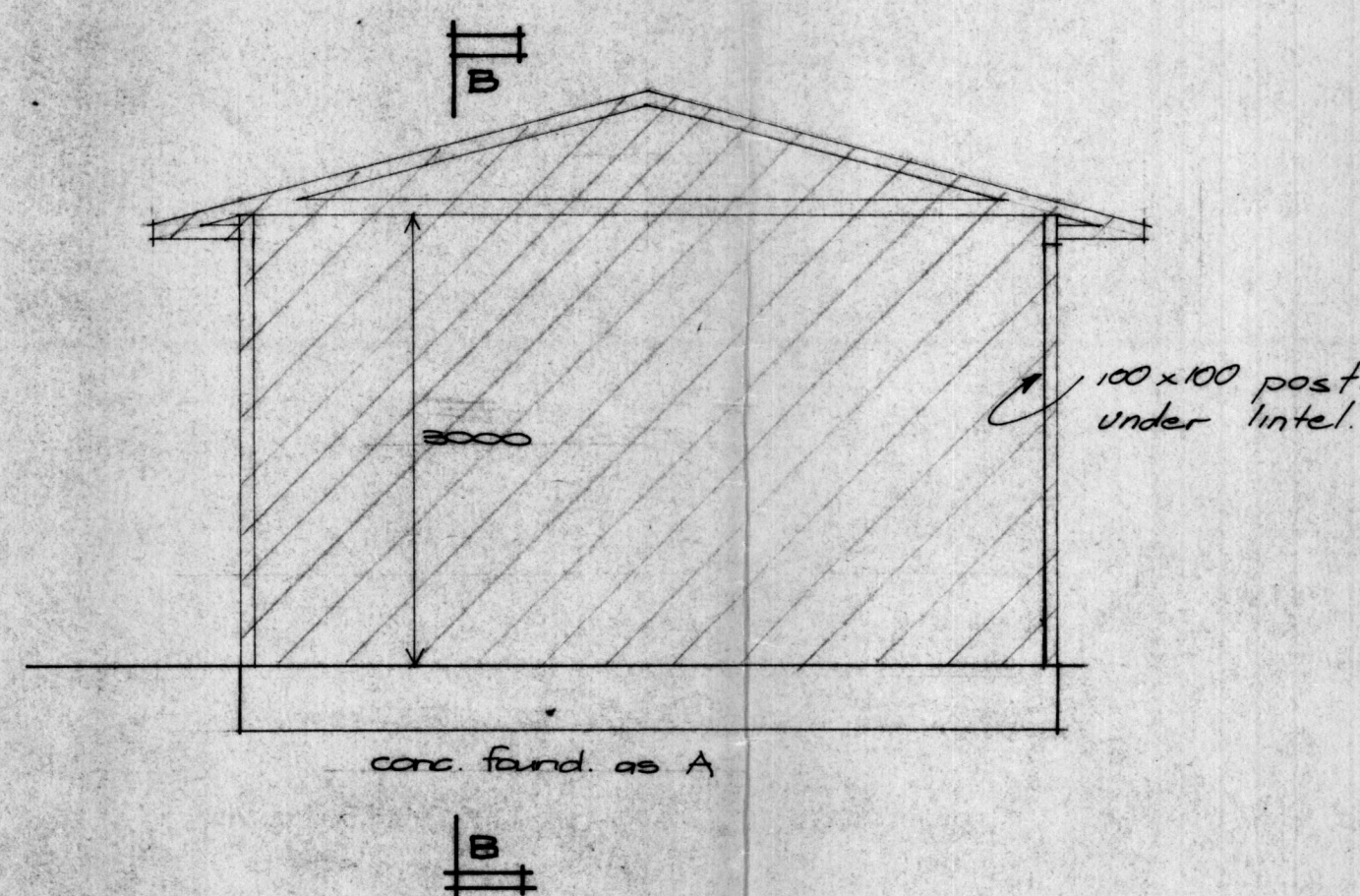
NELSON CITY COUNCIL



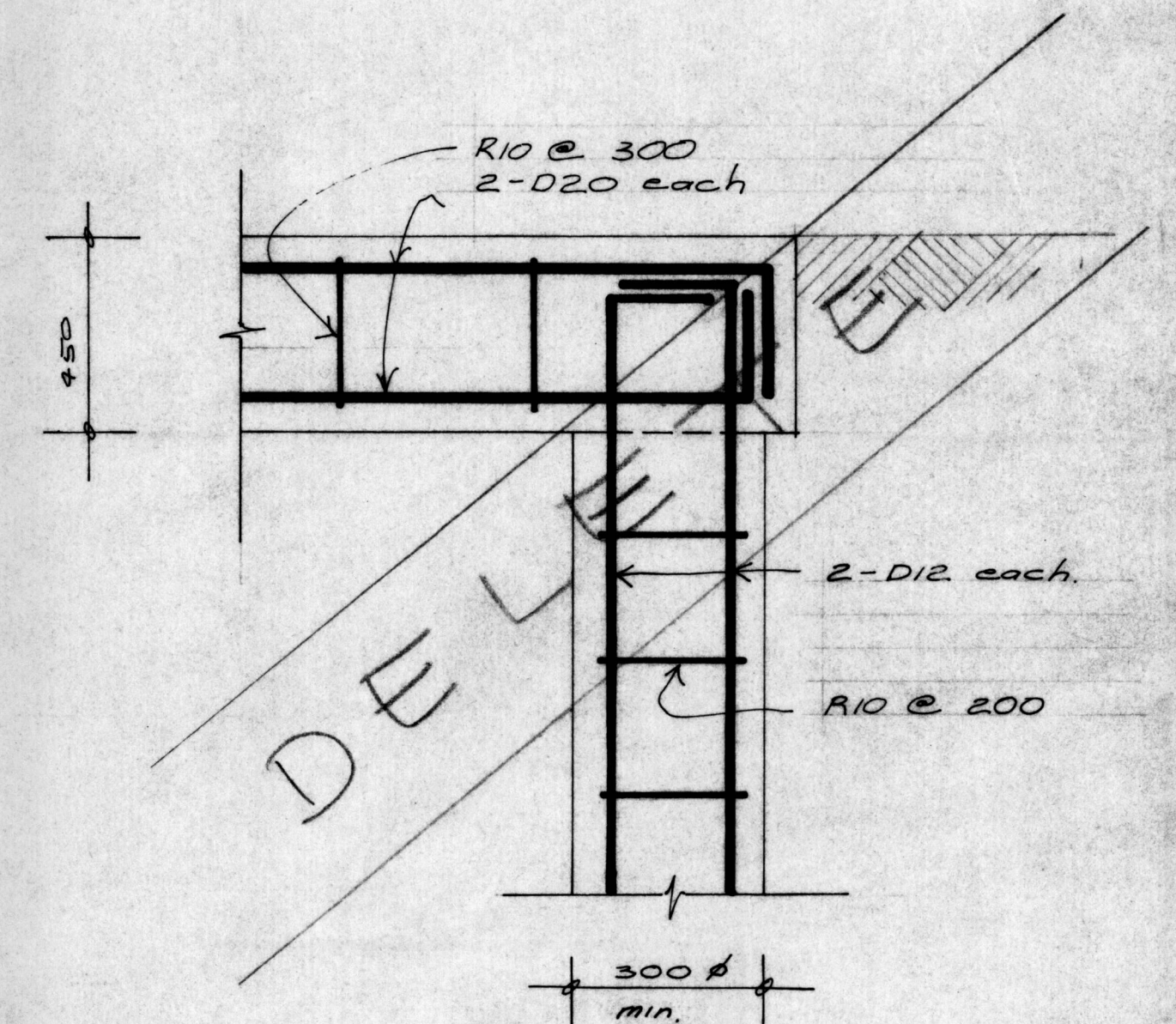
R_4 Zone.
125 hab. rms/hk
 \therefore 24 rms max.
7 car parks req.
Area ext. building = 403.7 m^2 (4336 sq. ft)
Area " " + 2 parks
= 133.7 m^2
Coverage = 22.3% gross site area
= 23.5% nett site area.
nett site area = 1844.8 m^2 .
Occupancy - Group C 2.



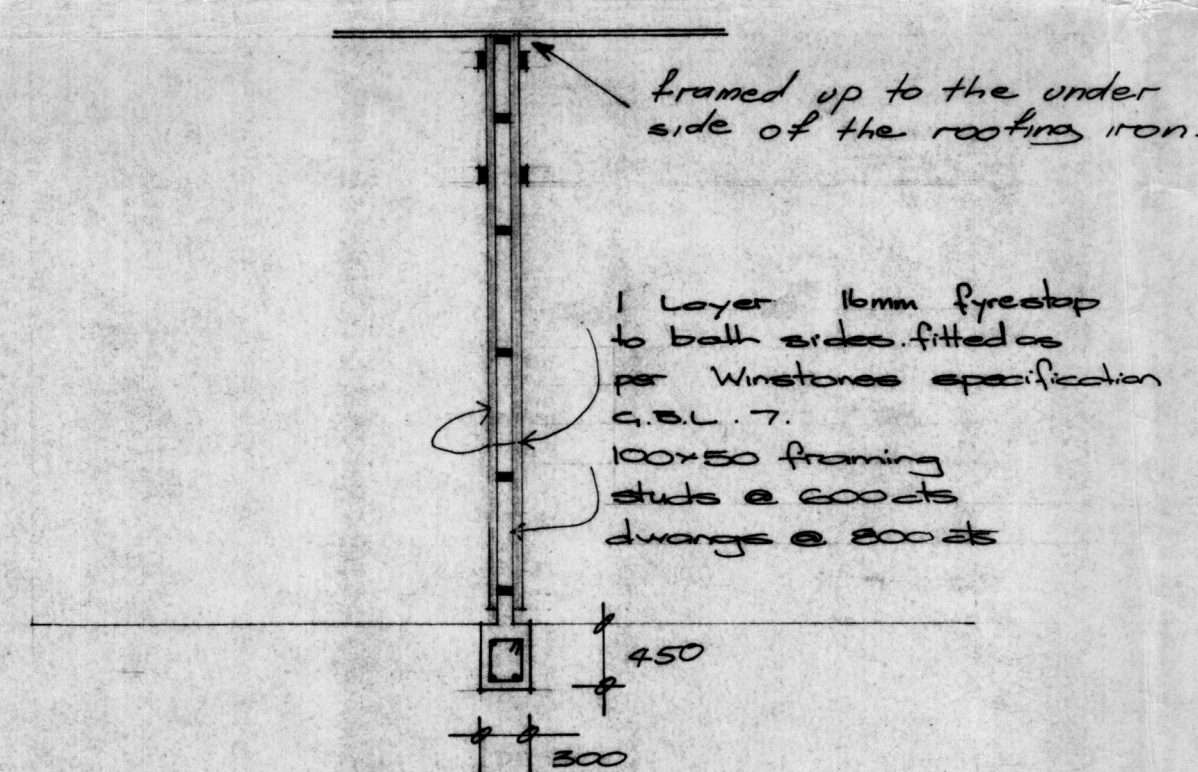
ELEV. A
1:50



ELEV. B
1:50

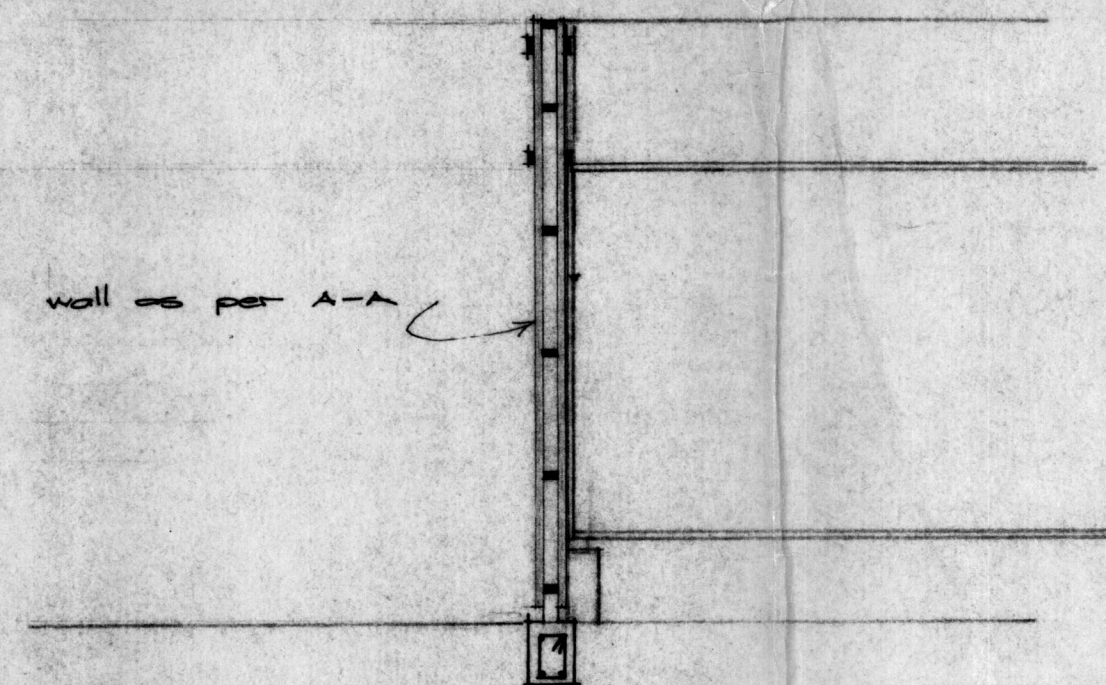


DETAIL A.
1:10



SECTION A-A.
1:50

NOTE:
Firestop sheeting to be continuous from conc. foundation to under side of roofing iron without any penetrations for framing, electrical wiring etc.



SECTION B-B.
1:50

NOTE:
Firestop sheeting to be continuous from conc. foundation to under side of roofing iron without any penetrations for framing, electrical wiring etc.



PROPOSED APARTMENT SUBDIVISION - 56 NORTH ROAD
FOR MRS E. M. SELLERS.



Neville R. Malcolm,
Building Design Service,
134 Bridge Street, Nelson.
Drawn by: S.M.A.

Job No. 1332
January 1983

Dwg. No. 2.
In set of 2

DATE: 6-May-95 CONDITION No: 800

STREET ADDRESS: Various

DIAGRAM: No

LEGAL DESCRIPTION Various)

PROPERTY OWNER
or SUBDIVIDER: Varioust

SCHEME PLAN No:

NCC PLAN No:

AUTHORITY: Works Committee

REASON FOR CONDITION:
(Abbreviated) Catchments Served By Inadequate Stormwater Systems

CONDITION:

Restricted Development Area:

Catchment is served by inadequate stormwater system. Subdivision or any increase in the number of household units to more than one per lot is unlikely to be permitted until the issue of stormwater disposal has been resolved. Subdivision may be permitted in some cases where a detention dam can be constructed with sufficient storage to restrict flood flows back to discharge rates that have occurred prior to development. Soakage may be acceptable for individual lots within the Wood and Stoke.

Amended 23-Sept-96

Date Entered: 16-Jun-95

General Property Information: 1980036000E

Property

Valuation No	1980036000E
Location	5/56 North Road, Nelson
Legal Description	FLAT 5 DP 12971 HAVING 1/6 INTERES IN 1 942 SQ METRES BEING LOT 4 DP 6245
Area (Hectares)	0.0000

Rates

Government Valuation

Land	275,000
Improvements	180,000
Capital Value	455,000

Current Rates Year 2025 to 2026

Planning/Resource Management

No information located

Building

9/09/97	BUILDING CONSENT 971093 : ALTER PLUMBING : Code Compliance Certificate issued 3/12/99 (Found on related property: 1980036000A)
27/02/86	BUILDING PERMIT D019006 ERECT FIREWALLS/ ALTER WINDOWS : APPROVED F/INSPECT - 04/11/86 (Found on related property: 1980036000A)
26/06/70	BUILDING PERMIT C032954 ERECT 2 ADDITIONAL FLATS/ 1 GARAGE (F5/6) : APPROVED F/INSPECT - 18/12/70

Licences

No information located

Sewer and Drainage

No information located

Land and Building Classifications

No information located

Transport

No information located

Special Land Features

No information located

Swimming Pools

No information located

Natural Hazards

No information located

Other

19/04/17 LIM APPLICATION L170230L170230 : LAND INFORMATION MEMORANDUM

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Conditions Report



View All Conditions ([https://nelsoncity.sharepoint.com/sites/ecm-propertyhub/SitePages/NMapConditions.aspx?q=Filename:"Property Condition C0800" OR Filename:"Property Condition C1403"](https://nelsoncity.sharepoint.com/sites/ecm-propertyhub/SitePages/NMapConditions.aspx?q=Filename:\))

LINZ ID	Address	Condition Number	Condition Description	Diagram	Links
3634449	1 56 North Road, Nelson	C0800	Restricted Development	N	Open in SharePoint (<a c0800\""="" condition="" href="https://nelsoncity.sharepoint.com/sites/ecm-propertyhub/SitePages/NMapConditions.aspx?q=Filename:\" property="">https://nelsoncity.sharepoint.com/sites/ecm-propertyhub/SitePages/NMapConditions.aspx?q=Filename:"Property Condition C0800")
3634449	1 56 North Road, Nelson	C1403	Air Plan	N	Open in SharePoint (<a c1403\""="" condition="" href="https://nelsoncity.sharepoint.com/sites/ecm-propertyhub/SitePages/NMapConditions.aspx?q=Filename:\" property="">https://nelsoncity.sharepoint.com/sites/ecm-propertyhub/SitePages/NMapConditions.aspx?q=Filename:"Property Condition C1403")
3634449	2 56 North Road, Nelson	C0800	Restricted Development	N	Open in SharePoint (<a c0800\""="" condition="" href="https://nelsoncity.sharepoint.com/sites/ecm-propertyhub/SitePages/NMapConditions.aspx?q=Filename:\" property="">https://nelsoncity.sharepoint.com/sites/ecm-propertyhub/SitePages/NMapConditions.aspx?q=Filename:"Property Condition C0800")
3634449	2 56 North Road, Nelson	C1403	Air Plan	N	Open in SharePoint (<a c1403\""="" condition="" href="https://nelsoncity.sharepoint.com/sites/ecm-propertyhub/SitePages/NMapConditions.aspx?q=Filename:\" property="">https://nelsoncity.sharepoint.com/sites/ecm-propertyhub/SitePages/NMapConditions.aspx?q=Filename:"Property Condition C1403")
3634449	3 56 North Road, Nelson	C0800	Restricted Development	N	Open in SharePoint (<a c0800\""="" condition="" href="https://nelsoncity.sharepoint.com/sites/ecm-propertyhub/SitePages/NMapConditions.aspx?q=Filename:\" property="">https://nelsoncity.sharepoint.com/sites/ecm-propertyhub/SitePages/NMapConditions.aspx?q=Filename:"Property Condition C0800")
3634449	3 56 North Road, Nelson	C1403	Air Plan	N	Open in SharePoint (<a c1403\""="" condition="" href="https://nelsoncity.sharepoint.com/sites/ecm-propertyhub/SitePages/NMapConditions.aspx?q=Filename:\" property="">https://nelsoncity.sharepoint.com/sites/ecm-propertyhub/SitePages/NMapConditions.aspx?q=Filename:"Property Condition C1403")
3634449	4 56 North Road, Nelson	C0800	Restricted Development	N	Open in SharePoint (<a c0800\""="" condition="" href="https://nelsoncity.sharepoint.com/sites/ecm-propertyhub/SitePages/NMapConditions.aspx?q=Filename:\" property="">https://nelsoncity.sharepoint.com/sites/ecm-propertyhub/SitePages/NMapConditions.aspx?q=Filename:"Property Condition C0800")

LINZ ID	Address	Condition Number	Condition Description	Diagram	Links
3634449	4 56 North Road, Nelson	C1403	Air Plan	N	Open in SharePoint (<a c1403\""="" condition="" href="https://nelsoncity.sharepoint.com/sites/ecm-propertyhub/SitePages/NMapConditions.aspx?q=Filename:\" property="">https://nelsoncity.sharepoint.com/sites/ecm-propertyhub/SitePages/NMapConditions.aspx?q=Filename:\"Property Condition C1403\")
3634449	5 56 North Road, Nelson	C0800	Restricted Development	N	Open in SharePoint (<a c0800\""="" condition="" href="https://nelsoncity.sharepoint.com/sites/ecm-propertyhub/SitePages/NMapConditions.aspx?q=Filename:\" property="">https://nelsoncity.sharepoint.com/sites/ecm-propertyhub/SitePages/NMapConditions.aspx?q=Filename:\"Property Condition C0800\")
3634449	5 56 North Road, Nelson	C1403	Air Plan	N	Open in SharePoint (<a c1403\""="" condition="" href="https://nelsoncity.sharepoint.com/sites/ecm-propertyhub/SitePages/NMapConditions.aspx?q=Filename:\" property="">https://nelsoncity.sharepoint.com/sites/ecm-propertyhub/SitePages/NMapConditions.aspx?q=Filename:\"Property Condition C1403\")
3634449	6 56 North Road, Nelson	C0800	Restricted Development	N	Open in SharePoint (<a c0800\""="" condition="" href="https://nelsoncity.sharepoint.com/sites/ecm-propertyhub/SitePages/NMapConditions.aspx?q=Filename:\" property="">https://nelsoncity.sharepoint.com/sites/ecm-propertyhub/SitePages/NMapConditions.aspx?q=Filename:\"Property Condition C0800\")
3634449	6 56 North Road, Nelson	C1403	Air Plan	N	Open in SharePoint (<a c1403\""="" condition="" href="https://nelsoncity.sharepoint.com/sites/ecm-propertyhub/SitePages/NMapConditions.aspx?q=Filename:\" property="">https://nelsoncity.sharepoint.com/sites/ecm-propertyhub/SitePages/NMapConditions.aspx?q=Filename:\"Property Condition C1403\")

DATE: 12-Jan-06 CONDITION No: C1403

STREET ADDRESS: All properties contained in the Nelson Urban Area within Airshed C (consult Fig A2.2C in Air Plan), and in Nelson Urban Area (consult Figure A2.1) outside Airsheds shown in Figures A2.2A, A2.2B and A2.2C.

DIAGRAM: No

LEGAL DESCRIPTION Various

PROPERTY OWNER
or SUBDIVIDER: Various

SCHEME PLAN No: NA

NCC PLAN No: Air Quality Plan

AUTHORITY: Manager, Environmental Policy (see David Jackson)

REASON FOR CONDITION:

(Abbreviated) This property may contain an domestic open fire that falls under the rules set out in the Council's Air Quality Plan. Under rule AQR.24.1, within the Urban Area, the use of open fires is allowed to continue up until 1 January 2008 (except that any 'Jetmaster' type open fire (including Warmington brands) may continue until 1 January 2013). Discharge to air from open fires is prohibited after that date. This is necessary to meet the targets imposed by the National Environmental Standards for air quality. Updated 4/12/08

CONDITION:

The Air Quality Plan states that within the Nelson Urban Area no discharge from domestic-type open fires may occur after the cessation date below

Type of heating appliance	Disused by
Open fires (‘Jetmaster’ type open fires)	1/01/2008 (1/1/2013)

Council approved wood burners may only be installed in place of an existing 'lawfully installed' burner (rule AQR.25).

If you live in Airshed C and are either building a new home or do not have an existing enclosed wood burner, you can apply for a building consent to install an ultra-low emission wood burner (ULEB) (rule AQR.26A)

NOTE: In buildings that currently do not have a solid fuel burner, a limit of 599 ULEBs applies in Airshed C. (Continues next page)

For further information on other approved burner options refer to the NCC website:
<http://www.nelson.govt.nz/environment/air-quality/approved-burners/>

Amended 1 October 2018

Date Entered: 12-Jan-06

General Property Information

5/56 North Road, Nelson

Created: 30 January 2026

**PLEASE NOTE –
THIS IS NOT A LAND INFORMATION MEMORANDUM (LIM)**

If you require further information on this property you can request the following:

1. A copy of the property file. There is a charge for this if you are not the owner of the property. The file will be either electronic or hard copy depending on the address.
2. Land Information Memorandum (LIM). There is a charge for this. The report contains information that is held by the council regarding the land.

Any property file whether electronic or paper will not contain:

- confidential records
- building consents that have no Code Compliance Certificate
- resource consents that are still being monitored
- subdivision resource consents
- Land Information Memorandums (LIMs)
- Slip information



Contents



1. Nelson Resource Management Plan (NRMP)
Hazard Overlay Map
2. Hazard Study Information
3. Hazardous Activities and Industries List (HAIL) site
information brochure
4. Information about Property Files
5. General Property Information (GPI) Summary
6. Property Conditions

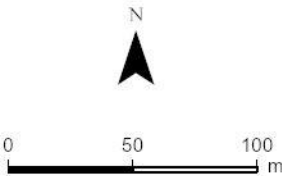
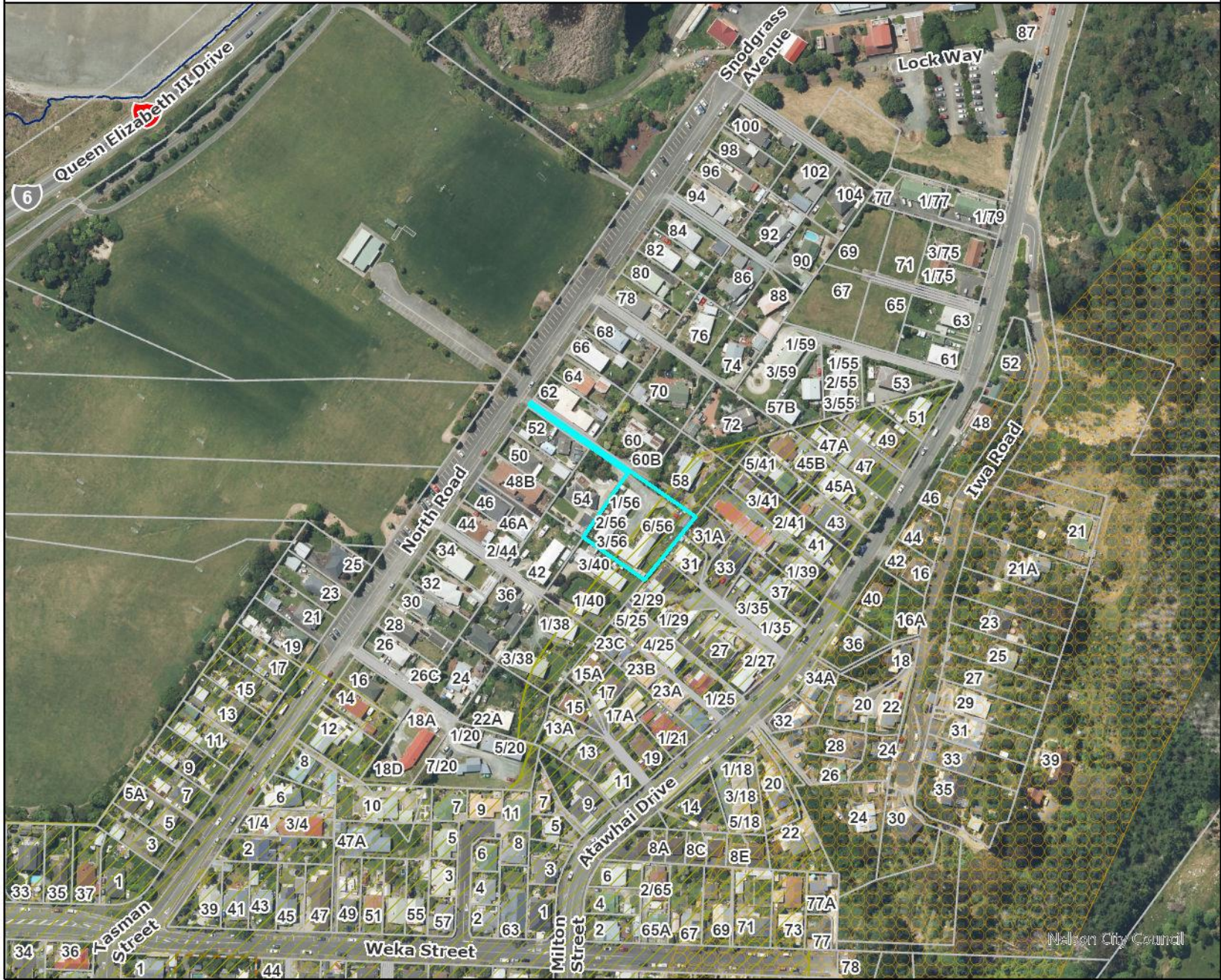


NRMP Hazard Overlay

5/56 North Road, Nelson

Legend

-  Inundation Overlay
-  Fault Hazard Overlay



Created 30 January 2026

The map is an approximate representation only and must not be used to determine the location or size of items shown, or to identify legal boundaries. To the extent permitted by law, the Nelson City Council, their employees, agents and contractors will not be liable for any costs, damages or loss suffered as a result of the data or plan, and no warranty of any kind is given as to the accuracy or completeness of the information represented. Nelson City Council information is licensed under a Creative Commons Attribution 4.0 International License, and the use of any data or plan must be in accordance with the terms of that licence. For more information please contact us. Cadastral information derived from Land Information New Zealand. CROWN COPYRIGHT RESERVED.

Hazard Study Information

It is part of Council's role to research and collect new information on a variety of local hazards so we can help to appropriately manage the risk to people and property. Council is required by law not only to investigate hazards, but to make the research available to anyone who is affected or interested.

The information below only relates to the areas covered by Council's recent research. It is important to note that there is potential for flooding, liquefaction, landslides and other natural hazards to happen in other areas around Nelson too.

Refer to the links for maps and information on the hazards below.

Fault Hazard

<https://www.nelson.govt.nz/6environment/natural-hazards/fault-lines>

River Flooding

<https://www.nelson.govt.nz/6environment/natural-hazards/river-flooding>

Liquefaction

<https://www.nelson.govt.nz/6environment/natural-hazards/liquefaction>

HAIL Sites

<https://www.nelson.govt.nz/6environment/nelson-hail-sites>

Coastal Inundation

<https://www.nelson.govt.nz/6environment/natural-hazards/coastal-inundation>

Slope Instability

<https://www.nelson.govt.nz/6environment/natural-hazards/slope-instability>

More information

Copies of all the latest reports and information that Council holds on hazards are available to download on our website at

<https://www.nelson.govt.nz/6environment/natural-hazards>

How can I find out if my soil is contaminated or not?

Inclusion on the HAIL site database does not mean that the soil must be tested. However, if you have reason to believe your soil is definitely contaminated or you want to know for your own information, you could get it tested.

Where the NESCS requires that a preliminary or detailed site investigation is done as part of a proposed change to land use or earthworks at a potentially contaminated site, that must be done by a "Suitably Qualified and Experienced Person" (SQEP).

This means that soil sampling done by anyone other than a SQEP can't be accepted as evidence of the contamination status of the site.

A SQEP has to be well qualified and have lots of experience assessing potentially contaminated land. Nelson City Council and Tasman District Council hold a joint list of SQEP's who can provide a contamination assessment. See a copy of the current list on the website.

More information

For more details about the HAIL, the Council database, soil testing, possible contaminants and the NESCS, please visit the Council website, nelson.govt.nz and search on HAIL.



H.A.I.L SITES



Hazardous Activities and Industries
List Information



Nelson City Council
te kaunihera o whakatū

Civic House, 110 Trafalgar Street, Nelson
03 546 0200 • nelson.govt.nz



Nelson City Council
te kaunihera o whakatū



What are HAIL sites?

HAIL sites are pieces of land where hazardous substances might have been used, stored or disposed of. These are identified by the Hazardous Activities and Industries List (HAIL), which is a group of activities and industries that are considered likely to cause land contamination. The list has been compiled by the Ministry for the Environment. The HAIL aims to identify most situations where hazardous substances could cause, and in many cases have caused, land contamination.

The fact that an activity or industry appears on the list does not mean that hazardous substances were used or stored on all sites occupied by that activity or industry. Nor does it mean that a site used by that industry will always have hazardous substances present in the land. The list just highlights that there is a greater probability of site contamination occurring than for other uses or activities.

You can download a copy of the HAIL on the Council website, nelson.govt.nz and search on HAIL.

Why is Council identifying HAIL sites?

By identifying sites where hazardous substances might have been used, stored or disposed of, we can ensure that the sites do not present a risk to human health when they are used or developed.

It helps Council and the community to comply with the National Environmental Standard for Assessing and Managing Contaminants in Soil to Protect Human Health (NESCS).

It informs land owners that there is potential for the land to be contaminated and that further investigation would be needed before constructing new buildings or changing the land use. A resource consent may be needed in some cases.

Is a HAIL site the same as a contaminated site?

No. It's important to note that this is a land use assessment and no soil testing has been carried out by Council. Inclusion on the database does not mean that soil contamination is present.

Nelson City Council has made a database of all the areas of Nelson where our information shows that HAIL activities are taking or have taken place. Research has been done using historical photos, trade directories and property information to establish which areas of land in Nelson could be at risk of contamination because they are likely to have been used for HAIL activities in the past. For example, if the land was once an orchard and chemical sprays were used, or perhaps it was a farm that had a sheep dip or a fuel tank, there is a risk of soil contamination.

My property is listed as a HAIL site – what does that mean for me?

Inclusion on the HAIL site database does not necessarily mean that your soil is contaminated. Using a raised garden bed for growing vegetables can be helpful if you are concerned about soil contamination.

Also, if you want to build on your property, you will need to meet the requirements under the National Environmental Standard for Assessing and Managing Contaminants in Soil to Protect Human Health (NESCS). This could mean you may need a resource consent to carry out certain work.

If you are especially concerned or have reason to believe that your soil is definitely contaminated you can get it tested at your own expense. For more information about soil testing see our website, nelson.govt.nz and search on HAIL.

Can a property be removed from the database?

The only way to remove a property from the database is to show that HAIL activity has never taken place on that site.

However, if you have any soil testing or other relevant information, please let Council know as this can be included in the property file and used to update the status of the property on the database.

I am considering selling, buying a property or building on a HAIL site. What does that mean?

Information about whether a property is on the HAIL site database will be included on a Land Information Memorandum (LIM) for the property you are considering. A LIM is advisable when purchasing a property to ensure you are aware of the most accurate information we have relating to that property.

Information relating to HAIL status is also included on the Project Information Memorandum (PIM) for the property which you should request before doing any building project.

Be aware that if a property is included on the HAIL site database, and you wish to carry out any Building works, you will have to comply with the NESCS regulations (Sections 7 to 11). A resource consent may be required if the project cannot comply with the "permitted standards" in these regulations. The NESCS regulations are also triggered when a subdivision consent is applied for.

The requirements will vary from case to case, so it's important to talk to the Council early in the process for any activity that you're planning to carry out, including building, earthworks, subdivision etc.



Information about property files

Nelson City Council has made this information available under Sections 10 to 18 (inclusive) of the Local Government Official Information and Meetings Act 1987 only. Nelson City Council does not warrant its accuracy and disclaims all liability whatsoever for any error, inaccuracy or incompleteness of the information without seeking appropriate independent and professional advice. The information provided does not constitute a Land Information Memorandum or any similar document. All Property Records are the property of Nelson City Council.

Property information held on a property file is for completed applications only. Applications being processed are added to the property file once the process is completed or code compliance certificate issued.

Any property file whether electronic or paper may exclude:

- confidential records
- building consents that have no Code Compliance Certificate
- resource consents that are still being monitored
- subdivision resource consents
- Land Information Memorandums (LIMs)
- Slip information

Information regarding slip reports on a property can be obtained by purchasing a LIM.

Older plans may include microfiche records and be of poorer quality.