

Site Inspection Sheet

Application

C B Syme	No.	170597
139 Barnett Avenue, RD 1, Richmond 7081	Issue date	16/06/17

Project

Description	Install Woodsman CR NoVo woodburner
Location	139 Barnett Avenue, Best Island
Legal Description	Lot 25 DP 5090
Valuation No.	1938092400

This inspection list and all the approved plans relating to this building consent are to be kept on site and available to the building and/or plumbing and drainage inspector, or approved building certifier, on request.

Please give at least 24 hours' notice for the next required inspection.

Work cannot proceed past each step until that step has been inspected and approved, and this form signed by the relevant inspector or certifier.

This sheet is to be returned to Tasman District Council when applying for your code compliance certificate.

Note: If this form is not completed, the code compliance certificate will not be issued until Council is satisfied that the building complies with the New Zealand Building Code.

When this project is completed this inspection sheet will be attached to the relevant property file held at the Council office.

Please note! The approved plans are to be available on site, on request, at all times.

Inspections

26 Final Inspection: Fire Free-standing When Free-standing fire has been completely installed & smoke alarms fitted

Contractors	Name	Address	Signatures
-------------	------	---------	------------

Contractor: Hot Installations (Brad and Roger) bc_element@hotmail.com : R:
 021876962 B: 0211921130

1938092400



FILE

INSPECTION REPORT

Name: **MARK RAFFILLS**

Consent No: **BC980137**

Address: **BARNETT AVE, BEST ISLAND**

On **4/11/2009** at **9:58 a.m.** this site was inspected pursuant to the Building Act 2004 (section 222/230) and the Local Government Act 2004 (Section 174). The purpose of the inspection was:

ADDITIONAL INSPECTION

Inspected by: **Matt Feely**

Notes Summary: Have received asbuilt drainage plan.

Next Inspection:

Note: A Code Compliance Certificate is required for 2004 Building Act Consents

Notice To:	Contractor		Owner		Agent		Occupier	
By:	Telephone		Fax		Posting		Left on Site	

BC980137

ADDITIONAL INSPECTION

INSPECTION POINTS

☒ **Passed Inspection Points**

☒ **Failed Inspection Points**

FILE

Final inspection requirements:
Inspected 8.05.08 Inspectors: WE/MF BC No. 980137

1. Amended plan required for change of layout: no resemblance to plan.
2. Seal laundry tub to wall.
3. Handrail on spiral staircase to be between 900mm and 1m. Balustrades to have 100mm between and no more than 100mm gap between treads. Feels structurally insecure.
4. Ground clearance around the entire basement does not comply.
5. Confirmation from cladding supplier that 4.5mm hardies can be used as cladding around downstairs.
6. Storm water disposal system required for bedroom addition.
7. Stop end required on apron flashing above master bedroom.
8. Roof extension over master bedroom only 4.5m pitch with corrugated iron must be trapezoidal profile.
9. Require verification that posts are H5 treated on new deck.
10. Amended plan required for deck – showing construction details as it stands and posts need to be 100 x 100 with bolts in accordance with BI/AS2 of NZBC on handrail posts.
11. Basement walls: no evidence of drainage or tanking as required by E2 of NZ building code.
12. Ply cladding on master bedroom west wall has failed at top- will need replacing. Battens over the ply require weather grooves.
13. Will require evidence that insulation has been installed – no installation fitted around rear wall to basement and no cladding fitted.
14. Need to provide verification of where strip drain overflow discharges to.
15. Require head flashing to doors and windows downstairs.

WAIMEA EXCAVATORS LIMITED

PO BOX 3133
Richmond

Phone 03 5442849
John 027 4517 139
Cam 027 22 18 601

Email waimea.excavators@xtra.co.nz

TO:

Raffills Mark and Dorothy
RD1 Richmond
Bests Island
Richmond

PROPERTY

Barnett Ave
Bests Island

TAX INVOICE

GST No 21-313-793

Invoice No. 10585

Date 31/05/2001

Reference

Order No.

CODE	DESCRIPTION	UNIT	QUANTITY	PRICE	EXTENSION
	// To pull out Toi Tois along boundary and burn, level off fence line				
	// level area in front of house and up south side and spread gravel.				
L	28/05/2001 Hire of loader only	Hrs	5.50	80.00	440.00
D	28/05/2001 Digger Hire	Hrs	4.00	65.00	260.00
L	29/05/2001 Hire of loader only leveling etc	Hrs	4.00	80.00	320.00
D	29/05/2001 Digger Hire digging soak pit	Hrs	2.00	65.00	130.00
	//				

SUB TOTAL	1150.00
GST AMOUNT	143.75
INVOICE TOTAL	1293.75

ADDITIONAL INFORMATION SHEET**ADDRESS**

139 Barnett Road

OWNER

M Raffills

DATE

22-10-09

BC NUMBER

980137

INSPECTOR

MF - GBU

Reinspection from 8-5-08.

- ① Amended floor plan received.
- ② Laundry tub now sealed to wall.
- ③ Spiral staircase removed and replaced with winding staircase with compliant hand rails.
- ④ Ground clearance issue this part of the building is existing from 1987
- ⑤ This is also existing.
- ⑥ Downpipes for bedroom addition has been extended to strip drain then into seakpit.
- ⑦ Stop end still required to apron flashing over Bedroom addition.
- ⑧ Roof now replaced with trapezoidal. existing flashings in place need to rivet & seal old nail holes.
- ⑨ Posts are H4 will need to be replaced with H5 posts and an inspection for post holes are required.
- ⑩ We have a detail for deck construction Posts are now 100x100 with bolts. Still to be done in accordance with B1/AS2 see Figure 4 that I have supplied.
- ⑪ Have found on property files that Basement walls are all existing and are not part of this consent.
- ⑫ Ply cladding on bedroom has been replaced but will need staining.
- ⑬ Have received photos for insulation & ply has been fitted over.
- ⑭ All existing not part of this consent.
- ⑮ Require as built drainage plan for new work.
- ⑯ Coach screws required to stringer on new deck 1200mm centres maximum.

Items still to complete - ⑦ ⑧ ⑨ ⑫ ⑮ ⑯

ADDITIONAL INFORMATION SHEET

ADDRESS

Barnet Ave Best Island

BC NUMBER

980137.

OWNER

Raffills

DATE

5-3-10

INSPECTOR

Matt F.

- ⑦ Stoperd now in place
- ⑧ Deck now completed & compliant
- ⑫ Ply cladding now stained.
- ⑬ Drainage plan received.
- ⑰ Coach screws in place for deck stringer

Fine to Issue CCC

I believe this consent will not need a modification as roof was only fitted over extension last year & cladding has been well maintained.

RESIDENTIAL FINAL INSPECTION - FORM BC10C

ADDRESS 139 BARWELL Road

OWNER M Raffill

BC NUMBER 980137

CONTRACTOR GRAHAM WEIR

DATE 8/5/08

INSPECTOR WE MF

☒ **Interior**

- ☒ Layout as per plans
- ☐ Sinks drain properly without sucking traps
- ☐ Toilets flush properly *existing*
- ☒ Impervious floors to wet areas Type lino
- ☒ Joinery installed and sealed to walls
- ☒ Windows as per plans
- ☒ Ventilation adequate to rooms
- ☐ Mechanical vents fitted and ducted to exterior No. _____
- ☐ Smoke detectors fitted
- ☒ Safety barriers are the correct height
- ☐ Safety glazing to shower doors and panels verified
- ☐ Safety glazing to windows and doors and plans verified
- ☒ Handrails fitted to stairs
- ☐ Restrictor stays on windows where required
- ☒ Waterproof seal to shower and basin *existing*
- ☐ Water temperature checked _____ degrees
- ☐ HWC secure 2 straps 180L 3 straps other
- ☐ HWC relief pipe to outside if valve vented
- ☐ HWC High or Low pressure
- ☐ HWC Open or Valve vented *existing*
- ☐ Tempering valve fitted
- ☐ All valves accessible
- ☐ Gas hot water system Type _____
- ☐ Roof access available Location _____
- ☐ Insulation in place
- ☐ Insulation away from downlights
- ☐ Pipework lagged
- ☐ 1m of copper pipe from cylinder
- ☐ Supply tank secure
- ☐ Cables clipped at access
- ☐ Firewall sheets stopped

☒ **Exterior**

- ☒ Cladding type Ply & Battens
- ☒ Cladding as per plans not on plan
- ☐ Roofing secure
- ☒ Roofing type Completed at 4.7 degrees
- ☒ Barrier heights appropriate
- ☒ Overflows to enclosed decks installed
- ☒ Windows flashed / sealed to sump
- ☒ Ground levels 225mm NG 150mm PA
- ☐ Gas bottle location and seismic restraint
- ☐ Subfloor insulation in place and protected
- ☐ Subfloor ventilation exposed
- ☐ Stucco sealed and painted
- ☐ Capillary break to stucco
- ☐ Gully heights 20mm PA 95mm NG
- ☐ Waste pipes sealed through foundations
- ☐ Waste pipes sealed into gullies
- ☒ Stormwater system completed
- ☒ Retaining wall drainage connected to sump
- ☒ Retaining walls completed as per plans
- ☐ Terminal vents in place 80mm only
- ☐ Branch vents in place AAV must be 100mm
- ☐ Weep holes to bricks and top venting in place
- ☐ Exterior weatherproof *existing*
- ☐ Sumps installed as per plans
- ☒ Driveway completed as per plan
- ☐ Secondary flow path for excess stormwater
- ☐ Landscaping completed Yes No
- ☐ Gutter / downpipe sizes 65mm No. _____ 80mm No. _____
- ☐ NG = Natural ground PA = Paved Area
- ☐ Not applicable for this consent
- ☒ Checked and approved
- ☒ Checked and rejected

☒ **Certificates**

- ☐ PSQR Received Structural / Retaining walls
- ☐ PSQR Received Effluent field
- ☐ Certificates for exterior cladding
- ☐ Energy works certificate received Gas Electric
- ☐ Drainage as-built received
- ☐ Street frontage / Vehicle crossing okay
- ☐ Amended plans received if required
- ☐ Waterproofing certificate
- ☐ Solar heating installation certificate
- ☐ Butynol certificate

☐ **Fire In-built**

- ☐ Chamber cavity in good condition
- ☐ Lintel in good condition
- ☐ Hearth correct clearance
- ☐ Mantel clearance correct
- ☐ Chimney height over 4.6m
- ☐ Fire fan connected to socket
- ☐ Seismic restraints fitted
- ☐ Hush-type smoke detectors installed

☐ **Fire Free-standing**

- ☐ Hearth correct clearance
- ☐ Seismic restraints fitted
- ☐ Manufacturer's tolerance correct
- ☐ Ceiling penetration correct as per plan
- ☐ Chimney height over 4.6m
- ☐ Wetback installed by plumber
- ☐ Flue shield fitted
- ☐ Inner flue secure in place and riveted SS
- ☐ Framing in roof correct
- ☐ Hush-type smoke detectors installed

FIRE signed off. 25/5/08

- ④ Amended plan required for change of layout. no resemblance to plans
- ⑤ real laundry tub ~~to~~ to wall.
- ⑥ Handrail on spiral staircase to be between 900mm & 1m
- balustrades to have 100mm between ^{max} - no more than 100mm
- gap between treads & feet structurally insecure.
- ⑦ Ground clearance around entire basement does not comply.
- ⑧ Confirmation from cladding supplier that 4.5mm Hardies can be used as cladding around downstair
- ⑨ Storm water disposal system required for bedroom addition
- ⑩ Stop end required on apron flashing above master bedroom
- ⑪ Roof Extension over ~~Bed~~ master bedroom only 4.5 pitch with corrugated iron must be trapezoidal profile.
- ⑫ Require verification that posts are H5 treated on new deck.
- ⑬ Amended plan required for Deck - showing construction details - as it stands Posts need to be 100 x 100 with bolts in accordance with B1/A52 of NZ BC on Handrail posts.
- ⑭ Basement walls - no evidence of drainage or tanking as required by E2 of NZ Building Code.
- ⑮ Ply cladding on Master bedroom West wall has failed at top

☐ Reinspection required

☐ Okay to issue CCC

PTO

ADDITIONAL INFORMATION SHEET

ADDRESS

139 Barnett Road

BC NUMBER

980137

OWNER

M Raffills

DATE

22-10-09

INSPECTOR

MF - GBU

Reinspection from 8-5-08.

① Amended floor plan received.

② - laundry tub now sealed to wall.

③ Spiral staircase removed and replaced with winding staircase with compliant hand rails.

④ Ground clearance issue this part of the building is existing from 1987.

⑤ This is also existing.

⑥ Downpipes for bedroom addition has been extended to strip drain then into soak pit.

⑦ Stop end still required to apron flashing over Bedroom addition.

⑧ Roof now replaced with trapezoidal. existing flashings in place need to rivet & seal old nail holes.

⑨ Posts are H4 will need to be replaced with H5 posts and an inspection for post holes are required.

⑩ We have a detail for deck construction Posts are now 100x100 with bolts. Still to be done in accordance with B1/AS2 see Figure 4 that I have supplied.

⑪ Have found on property files that Basement walls are all existing and are not part of this consent.

⑫ Ply cladding on bedroom has been replaced but will need staining.

⑬ Have received photos for insulation & ply has been fitted over.

⑭ All existing not part of this consent.

⑮ Require as built drainage plan for new work.

⑯ Coach screws required to stringer on new deck 1200mm centres maximum.

Items still to complete - ⑦ ⑧ ⑨ ⑫ ⑮ ⑯



ADDITIONAL INFORMATION SHEET

ADDRESS 132 BARNETT Avenue

BC NUMBER 980137

OWNER

M RAFFLES

DATE

8/5/08

INSPECTOR

WE / MF

- will need replacing. battens over ply require weather grooves.
- ⑬ Will require evidence that insulation has been installed
no insulation fitted around rear wall to basement and
no cladding fitted
- ⑭ Need to provide verification of where ~~ground water~~
strip drain overflow ~~discharges to~~ discharges too.
- ⑮ Require Head flashing to doors & windows down stairs.

1938092400

FILE
tasman
 district council

INSPECTION REPORT

Name: MARK RAFFILLS	Consent No: BC980137
Address: BARNETT AVE, BEST ISLAND	Dwellings - Alterations & additions

On **2/11/2009** at **10:22 a.m.** this site was inspected pursuant to the Building Act 2004 (section 222/230) and the Local Government Act 2004 (Section 174). The purpose of the inspection was:

FOUNDATIONS: FOOTING EXCAVATION INSPECTION BEFORE PLACING OF CONCRETE FOOTINGS AND INSTALLATION OF PILES/POLES.

Inspected by: Matt Feely

Notes Summary: See inspection sheet fine to Continue. Also builder has installed stop end on apron flashing as discussed previously.

Next Inspection:

Note: A Code Compliance Certificate is required for 2004 Building Act Consents

Notice To:	Contractor		Owner		Agent		Occupier	
By:	Telephone		Fax		Posting		Left on Site	

BC980137

**FOUNDATIONS: FOOTING EXCAVATION INSPECTION BEFORE PLACING OF
CONCRETE FOOTINGS AND INSTALLATION OF PILES/POLES.**

INSPECTION POINTS

☒ **Passed Inspection Points**

Bearing capacity adequate as per 3604

Ordinary piles 200 deep x 250 sq

Pile holes for deck 400 x 400 x 600 deep to solid bearing.

Timber treatment H5

H5

☒ **Failed Inspection Points**

BUILDING CONSENT SUMMARY

Applicant

MARK RAFFILLS
BARNETT AVENUE
R D 1 BEST ISLAND
RICHMOND

Consent Details

Consent/PIM No.: 980137
Date issued: 24/02/98
Valn No: 1938092400

Project Descrn: ALTERATIONS, REPAIRS or EXTENSIONS
BEING STAGE 1 OF AN INTENDED 1 STAGES
NEW STAIRCASE AND DOWNSTAIRS BEDROOMS

Intended Life: INDEFINITE, BUT NOT LESS THAN 50 YEARS

Intended Uses: STAIRCASE AND BEDROOMS

Project Location: BARNETT AVE, BEST ISLAND

Legal Description: LOT 25 DP5090 BLK II WAIMEA SD

Estimated Value: \$ 12,000

Contractor: G C WEIR 481 HILL STREET RICHMOND

INSPECTION DETAILS:

16-3-98 Bedrooms completed no fabric inspection
stairs not started

25-5-98 Stairs in place, fire installed all complies
including temporary velvet screen restraint

22-2-99 Completed across not joined.

SIGNED: _____

DATE: _____



Main Office

189 Queen Street
Private Bag 4,
Richmond 7031 N.Z.
Tel (03) 544-8176
Fax (03) 544-7249



**Murchison
Service Centre**

92 Fairfax Street
P.O. Box 53, Murchison
Tel (03) 523-9004
Fax (03) 523-9004



**Motueka
Service Centre**

7 Hickmott Place
P.O. Box 123, Motueka
Tel (03) 528-7700
Fax (03) 528-9751



**Golden Bay
Service Centre**

78 Commercial Street
P.O. Box 74, Takaka
Tel (03) 525-9516
Fax (03) 525-9972

CONDITIONS OF CONSENT 980137

- 1 The owner or person undertaking the building work shall advise of completion of work by returning the "Advice of Completion of Building Work" form which accompanied the consent.
- 2 A copy of this consent is to remain on site at all times and you should ensure that a copy is given to any tradesmen e.g. your builder, plumber and drainlayer..
- 3 All Building Work shall comply with the New Zealand Building Code notwithstanding any inconsistencies which may occur on the Drawings and Specifications.
- 4 This consent will expire if building work is not commenced within 6 months from the date of issue unless a written extension of time is obtained from the Building Inspector.
- 5 The appliance, hearth and flue is to be installed in accordance with the manufacturer's installation specifications (a copy of which is to be on-site for Council inspection purposes) and NZS7421, which includes seismic restraint. WETBACKS DO NOT PROVIDE SEISMIC RESTRAINT.
- 6 Please arrange for final inspection once fire unit installed.
- 7 A craftsman plumber must install any wetback connection to new or existing hotwater cylinders and Council notified once work completed so an inspection can be made.
- 8 No part of the roof framing can be interfered with, without Building Inspector approval.
- 9 Council recommends annual maintenance of the heating appliance installed. Possible replacement of the appliance should be considered at five years.
- 10 The building inspector is to be notified at least one working day prior to the pouring of concrete on site or the laying of flooring.
- 11 The building inspector is to be notified a minimum of one working day for inspection of work prior to installing poles.

□ **Main Office**
189 Queen Street
Private Bag 4,
Richmond 7031 N.Z.
Tel (03) 544-8176
Fax (03) 544-7249

□ **Murchison
Service Centre**
92 Fairfax Street
P.O. Box 53, Murchison
Tel (03) 523-9004
Fax (03) 523-9004

□ **Motueka
Service Centre**
7 Hickmott Place
P.O. Box 123, Motueka
Tel (03) 528-7700
Fax (03) 528-9751

□ **Golden Bay
Service Centre**
78 Commercial Street
P.O. Box 74, Takaka
Tel (03) 525-9516
Fax (03) 525-9972

SUMMARY 980137 [Continued]

- 12 The Building Inspector is to be notified at least one working day before placing any insulation and interior linings to enable a "pre-lining" inspection.
- 13 Construction and wall bracing to comply with NZS3604.
- 14 All glass to comply with NZS 4223.
- 15 The owner and the Builder are responsible for the correct siting of the Building work as specified on the approved plans.
- 16 This Building Consent has no provision for any Sanitary Plumbing and Drainage. A further consent will be required should any of these features be installed

□ **Main Office**

189 Queen Street
Private Bag 4,
Richmond 7031 N.Z.
Tel (03) 544-8176
Fax (03) 544-7249

□ **Murchison
Service Centre**

92 Fairfax Street
P.O. Box 53, Murchison
Tel (03) 523-9004
Fax (03) 523-9004

□ **Motueka
Service Centre**

7 Hickmott Place
P.O. Box 123, Motueka
Tel (03) 528-7700
Fax (03) 528-9751

□ **Golden Bay
Service Centre**

78 Commercial Street
P.O. Box 74, Takaka
Tel (03) 525-9516
Fax (03) 525-9972

Dated: 29th NOVEMBER 1996 19

BETWEEN

GB Clements
Barnett Avenue
BEST ISLAND

Ph. (Bus.) 547 9199

Vendor

(Pvt.) 544 5152

AND

Mark & Dorothy Raffills
1/22 Gladstone Road
RICHMOND

Ph. (Bus.) 544 4975

Purchaser

(Pvt.) 544 2624

AGREEMENT FOR SALE AND PURCHASE OF REAL ESTATE

© This form is copyright to the Real Estate Institute of New Zealand and the Auckland District Law Society

Vendor's solicitor (indicate individual acting)

Duncan Cotterill
PO Box 827
Nelson
Paul Le Gros

Purchaser's solicitor (indicate individual acting)

Deposit paid to

Amount: \$

Date paid:

SALE BY:


The Professionals

Member of the Real Estate Institute of New Zealand

Office: Harte Real Estate (Richmond) Ltd

Address: 195 Queen Street

RICHMOND

Telephone: 544 2311

Manager: Jack Harte

Salesperson: John T Madsen

The Professionals

**Harte Real Estate
(Richmond) Ltd**
M.R.E.I.N.Z.

195 Queen Street
Richmond



John T. Madsen

PH (03) 544-2311
FAX (03) 544-2313
A.H. (03) 544-0789
Mobile (025) 459-554

Attach here

AGREEMENT FOR SALE AND PURCHASE OF REAL ESTATE

This form is approved by the Real Estate Institute of New Zealand and by the Auckland District Law Society.

DATE: 24th NOVEMBER, 1996
VENDOR: GARY BRUCE CLEMENTS & CHRISTINE JOY CLEMENTS
PURCHASER: MARK RAFFILLS & DOROTHY JEAN RAFFILLS

Address of property: BARNETT AVENUE, BEST ISLAND

Legal description: Estate: FREEHOLD (unless otherwise described)

Area: 809m² Lot: 25 DP: 5090 CT: 141/34
BLK II Waimea SD

64501 Fencing Agreement

~~\$115,000 (One hundred & fifteen thousand dollars) MR [Signature]~~
~~\$135,000 (One hundred and thirty five thousand dollars) GJB~~
~~\$120,000 (One hundred & twenty thousand dollars) MR [Signature]~~
~~\$140,000 (One hundred and forty thousand dollars) GJB~~

\$110,000 (ONE HUNDRED & TEN THOUSAND DOLLARS)

Purchase Price: \$ 135,000

Plus GST (if any) OR Inclusive of GST (if any).

(One hundred & thirty five thousand dollars) GJB
Mark Raffills
Dorothy Raffills
If neither is deleted the purchase price includes GST (if any).

Deposit: \$ \$11,000 (ELEVEN THOUSAND DOLLARS) payable to Harte Real Estate (Richmond) Ltd upon this agreement becoming unconditional
Balance of purchase price to be paid or satisfied as follows:

IN CASH ON DATE OF POSSESSION

OIC consent required: Yes/No (refer clause 8.5)

OIC date:

Interest rate for late settlement 15 % p.a.

GST date:

Possession date: 20th December 1996 or sooner or later by mutual agreement

31st March 1997 GJB MR [Signature]
Special conditions: (if any) SEE OVERLEAF

FINANCIAL CONDITIONS

Lender: Amount required: \$

Lender: Amount required: \$

LAST DAY FOR ARRANGING FINANCE:

UNIT TITLE CONTRIBUTIONS

Amount of any unexpended special levies: \$ Vendors portion of any maintenance fund: \$

Amount and frequency of regular contributions: \$ per

Details of tenancies: (if any) Name of tenant: Vacant possession

Rent:

Term:

Right of renewal:

CHATELS: The following chattels if now situated on the property, and valued at \$
(strike out or add as applicable):

, are included in the sale

STOVE TV AERIALS FIXED FLOOR COVERINGS BLINDS CURTAINS DRAPES LIGHT FITTINGS

Rangehood, water pump

water pump MR AS

Sale by (name of real estate agent):

The Professionals

**HARTE REAL ESTATE
(RICHMOND) LTD** MREINZ

It is agreed that the vendor sells and the purchaser purchases the above described property, and the chattels included in the sale, on the terms set out above, on the general conditions attached and any special conditions hereinafter appearing.

12.0 Agent

- 12.1 If the name of a licensed real estate agent is stated on the front page of this agreement it is acknowledged that the sale evidenced by this agreement has been made through that agent whom the vendor appoints as the vendor's agent to effect the sale. The vendor shall pay the agent's charges including GST effecting such sale.

13.0 Goods and Services Tax (GST)

- 13.1 If this agreement provides for the purchaser to pay (in addition to the purchase price stated without GST) any GST which is payable in respect of the supply made under this agreement then:
- (1) The purchaser shall pay to the vendor the GST which is so payable in one sum on the GST date.
 - (2) Where the GST date has not been inserted on the front page of this agreement the GST date shall be the possession date.
 - (3) Where any GST is not so paid to the vendor the purchaser shall pay to the vendor:
 - (a) interest at the interest rate for late settlement on the amount of GST unpaid from the GST date until payment; and
 - (b) any default GST.
 - (4) It shall not be a defence to a claim against the purchaser for payment to the vendor of any default GST that the vendor has failed to mitigate the vendor's damages by paying an amount of GST when it fell due under the GST Act.
 - (5) Any sum referred to in this clause is included in the purchase price interest and other moneys referred to in clause 3.5.
- 13.2 If the supply under this agreement is a taxable supply the vendor will deliver a tax invoice to the purchaser on or before the GST date or such earlier date as the purchaser is entitled to delivery of an invoice under the GST Act.
- 13.3 "Default GST" means any additional GST, penalty or other sum levied against the vendor under the GST Act by reason of non-payment of the GST payable in respect of the supply made under this agreement but does not include any such sum levied against the vendor by reason of a default by the vendor after payment of the GST to the vendor by the purchaser.

14.0 Supply of a Going Concern

- 14.1 If this agreement relates to the sale of a tenanted property then, unless otherwise expressly stated herein, the parties agree that the supply made pursuant to this agreement is the supply of a going concern under Section 11(1)(c) of the Goods and Services Tax Act 1985 on which GST is chargeable at zero per cent. If however, it subsequently transpires that GST is payable in respect of the supply and if this agreement provides for the purchaser to pay (in addition to the purchase price without GST) any GST which is payable in respect of the supply made under this agreement then the provisions of clause 13.0 of this agreement shall apply.

15.0 General

- 15.1 If there is more than one purchaser or vendor, the liability of the purchasers or of the vendors, as the case may be, is joint and several.
- 15.2 Where the purchaser executes this agreement with provision for a nominee, or as agent for an undisclosed principal, or on behalf of a company to be formed, the purchaser shall at all times remain liable for all obligations on the part of the purchaser hereunder.

SPECIAL CONDITIONS OF SALE

- 16.0 This agreement is conditional upon the purchasers arranging finance on terms and conditions satisfactory to the purchasers and advising the vendor or the vendor's solicitor on or before 4pm on Friday 29th November 1996 that this condition has been satisfied. This condition is inserted for the sole benefit of the purchasers.

- 17.0 This agreement is subject to and conditional upon the purchasers' and vendor's solicitors' approval as to title and form on or before Friday 29th November 1996.

18.0 This agreement is subject to and conditional upon the vendors' Relinquishing on terms and conditions satisfactory to themselves on or before 20th December 1996 OR SUCH LATER DATE AS IS AGREED BETWEEN THE PARTIES.

WARNINGS (These warnings do not form part of this contract)

1. This is a binding contract. If either party has any doubts professional advice should be sought **before signing**.
2. Before signing this contract the purchaser should make sure that the status of the property under the Resource Management Act 1991 is satisfactory for the purchaser's intended use of it.
3. If the property is vacant land which is part of a Head Title, subdivided by cross lease, then it is essential that additional development clauses are included in this agreement.

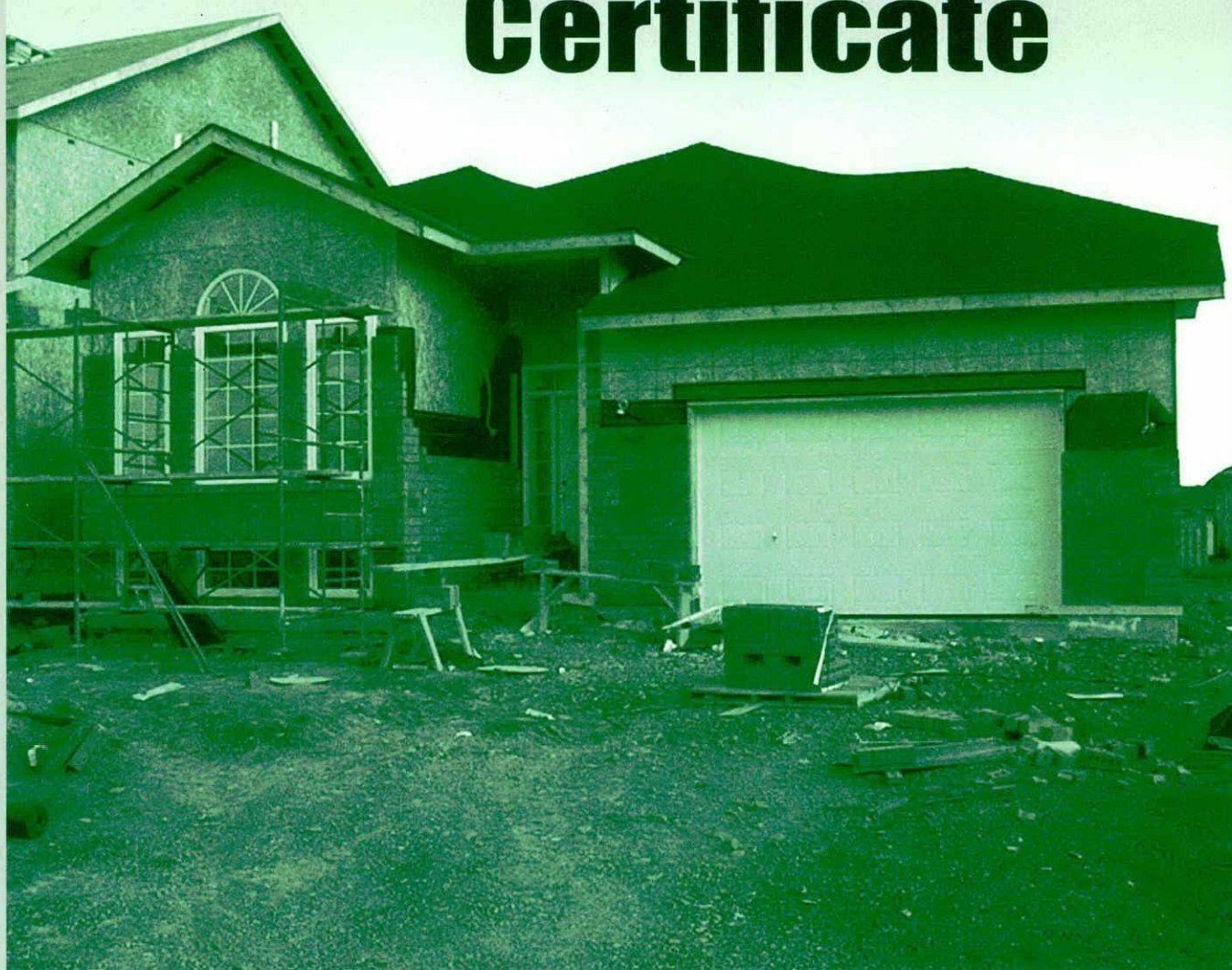
Signature of vendor(s)

Signature of purchaser(s)

E. J. Clements
J. B. Clements

Mark Ruffill
Dorothy Ruffill

Application for Code Compliance Certificate



Here We Are!

RICHMOND

189 Queen Street
Private Bag 4,
Richmond 7031
Ph (03) 543 8400
Fax (03) 543 9524

MOTUEKA

7 Hickmott Place
PO Box 123
Motueka
Ph (03) 528 2022
Fax (03) 528 9751

TAKAKA

78 Commercial St
PO Box 74,
Takaka
Ph (03) 525 0020
Fax (03) 525 9972

MURCHISON

92 Fairfax St,
Murchison
Ph (03) 523 1013
Fax (03) 523 1012

24 Hour

**EMERGENCY
PHONE**

Call your local office



email: info@tdc.govt.nz website: <http://www.tdc.govt.nz>

Application for Code Compliance Certificate

Form 6

Section 92, Building Act 2004

The building consent

Building consent number: 980137
Issued by: TDC

OFFICE USE
Date received stamp

21 APR 2006

BC No. 980137
Date granted

Valuation No.
1938 092400

The owner

Name of owner: MARK + DOROTHY RAFFILLS
Contact person: Mark Raffills
Mailing address: P.O. Box 3352 RICHMOND
Street address/registered office: BARNETT AVE BEST ISLAND
Phone number: Landline: 5442624 Mobile: 027 2154 969
Daytime: 5444975 After hours: —
Facsimile number: 5444951 Email: Mark@drycrust.com Website: —

Evidence of ownership: (copy of certificate of title, lease, agreement for sale and purchase, or other document showing full name of legal owner(s) of the building)

☐ Copy of Certificate of Title ☐ Lease ☒ Agreement of Sale and Purchase ☐ Other

Agent

Name of agent (only required if application is being made on behalf of the owner): _____
Contact person: _____
Mailing address: _____
Street address/registered office: _____
Phone number: Landline: _____ Mobile: _____
Daytime: _____ After hours: _____
Facsimile number: _____ Email: _____ Website: _____
Relationship to owner: _____
First point of contact for communications with the council/building consent authority (state full name, mailing address, phone number(s), facsimile number(s) and email address(es):

Application

All building work to be carried out under the above building consent was completed on (date):

2 SEPTEMBER 2005

The personnel who carried out the building work are as follows (list names, addresses, phone numbers, and (where relevant) registration numbers):

BUILDER: GRAHAM WEIR, 578 OLD OAK ROAD, MAHANA 5403907

PLUMBER: RICHMOND PLUMBING, LOWER QUEEN ST RICHMOND 027 433 2650

DRAINLAYER: DAVIES DRAINLAYING LTD, 636 COASTAL HIGHWAY 544 2101

ELECTRICIAN: WJ ASHTON SERVICES, BEST ISLAND, 544 8440

The following specified systems are contained on the compliance schedule for the building and, in the opinion of the personnel who installed them, are capable of performing to the performance standards set out in the building consent (list specified systems):

I request that you issue a code compliance certificate for this work under section 95 of the Building Act 2004.

The code compliance certificate should be sent to (state which address, and whether owner or agent):

OWNER: Mark Raffills, P.O. Box 3352 RICHMOND

Signature of (owner/agent on behalf of and with the authority of the owner)



Name of person signing

MARK RAFFILLS

Date

13 APRIL 06

Attachments

The following documents are attached to this application:

- ☐ Certificates from the personnel who carried out the work (producer statement from registered trades etc)
- ☐ Certificates that relate to the energy work (gas and electrical certificates)
- ☐ Evidence that specified systems are capable of performing to the performance standards set out in the building consent (alarm, sprinkler, emergency lighting test certificates etc)

Here We Are!

RICHMOND
189 Queen Street
Private Bag 4,
Richmond 7031
Ph (03) 543 8400
Fax (03) 543 9524

MOTUEKA
7 Hickmott Place
PO Box 123
Motueka
Ph (03) 528 2022
Fax (03) 528 9751

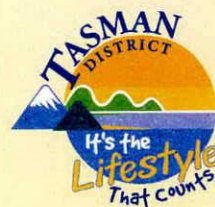
TAKAKA
78 Commercial St
PO Box 74,
Takaka
Ph (03) 525 0020
Fax (03) 525 9972

MURCHISON
92 Fairfax St,
Murchison
Ph (03) 523 1013
Fax (03) 523 1012

email: info@tdc.govt.nz website: <http://www.tdc.govt.nz>

24 Hour
**EMERGENCY
PHONE**

Call your local office



Application for Building Consent

This application is made under Section 33 of the Building Act 1991

To: Tasman District Council

Building Consent No: 980137

Date Issued: 24/12/98

APPLICATION DETAILS

Owner Details*

MARK RAFFILLS

Full name

BARNETT AVE, BEST IS,

Postal Address

RD1 RICHMOND

Contact Name and Address for Service (if different to above)

(Name and Address to which documentation will be sent)

AS ABOVE

Contact Name

Postal Address

Phone 5442624 Fax 5444951

Project Location and Legal Description

Street Address

[REDACTED]

Legal Description (Please attach a certificate of title if possible)

193 8 0924 00

Valuation Number

This Application is for:

☒ Building Consent only,

☐ Both building consent and a project information memorandum.

Project Description

- ☐ Dwelling
- ☒ Alteration with internal stairs, new plumbing and replacement of wood burner.
- ☐ Garage/Shed
- ☐ Heating
- ☐ Commerical/Industrial
- ☐ Plumbing and/or Drainage
- ☐ Other _____

Indicate clearly details of building work,

e.g. New dwelling with internal garage and installation of wood burner.

Intended Use

Family Home
new staircase & banisters
bedrooms

Intended Life

- ☒ Indefinite life but not less than 50 years.
- ☐ Specified as _____ years
- ☐ Demolition

Being Stage _____ of _____ stages

Value of Work

Total (Inc. GST) \$ 12,000

Other Project Details

Floor Area _____ m²

No of Dwellings _____

No of Storeys _____

No of Toilets _____

*Under Section 33 of the Building Act, the applicant must be the owner of the land on which building work is contemplated or a person who or which has agreed in writing, whether conditionally or unconditionally, to purchase the land or any leasehold estate or interest in the land, or to take a lease of the land, while the agreement remains in force.

KEY PERSONNEL

	Name and Address	Phone	Regn. No.
Builder(s)	G. C. WEIR 481 HILL ST.	5441309	
Registered Drainlayer			
Craftsman Plumber			
Building Certifier			
Designer			

Note: The Craftsman Plumber/Registered Drainlayer are to complete a separate advisory sheet. This advisory sheet is to be returned to Council prior to work commencing.

CONFIDENTIALITY

Section 27 of the Building Act states that the application details shall be made available for public inspection. Subsection 3, however, allows an owner to mark plans and specifications as confidential due to copyright or security reasons. Do you wish to mark plans and specifications as confidential? Yes/No

RETICULATED WATER AND SEWERAGE SCHEMES

Depending on the area in which you build, and if you are connecting to the Council's sewerage or water schemes, a connection fee may be payable. For further information, please refer to the "Guide to Building Consents".

DEVELOPMENT IMPACT LEVY

For building work with assessed value greater than \$50,000 (first dwellings exempt) a development impact levy is payable.

PROJECT DETAILS

The project involves the following matters (Cross each application box, if any, and attach relevant information to the duplicate):

- ☐ Location in relation to legal boundaries, and external dimensions of new, relocated or altered buildings.
- ☐ New provision to be made for vehicular access, including parking.
- ☐ Provisions to be made in building over or adjacent to any road or public place.
- ☐ New provisions to be made for disposing of stormwater and wastewater.
- ☐ Precautions to be taken where building work is to take place over existing drains or sewers or in close proximity of wells or watermains.
- ☐ New connections to public utilities.
- ☐ Provisions to be made in any demolition work for the protection of the public, suppression of dust, disposal of debris, disconnection from public utilities, and suppression of noise.
- ☐ Any cultural heritage significance of the building or building site, including whether it is on a marae.

Signed: by/for and on behalf of owner:

Mike Raffills

Position:

OWNER

Date:

9 FEB '98

Please use the following check sheet to assist you in lodging a complete building consent application and to avoid delays in processing. Please attach 2 copies of the information. Tick each box which is relevant and ensure you attach the information. If it is not relevant, please write NA across the box.

INFORMATION TO BE SUPPLIED WITH A BUILDING CONSENT

Project (Description of work): _____
 Site Address: _____
 Building Consent No. (office use): _____

OWNER USE	APPLICATION DETAILS	COUNCIL USE
	1. Consent fee (and levies) paid.	
	2. Building Consent application, fully completed.	
	3. Recent copy of Certificate of Title for building site.	
	4. Copy of any Resource Consent for building site.	

PLANS AND SPECIFICATIONS - 2 COPIES REQUIRED

	1. Fully detailed and dimensioned SITE PLAN including location in relation of streets or landmarks, position of north, site levels, floor height above finished ground level and proposed and existing buildings	
	2. Fully detailed and dimensioned Floor Plans, Elevations, Cross Sections & Construction Details. Show position of all Sanitary Fittings and provide Layout Plan of water supply pipes, waste pipes and soil pipe installations.	
	3. Detailed Specification covering the building, plumbing and drainage works in accord with the Building Code.	
	4. Fully detailed Schedule of Materials confirming durability expectations.	
	5. Roof Truss layout plan and design details from an approved manufacturer.	
	6. Wall & Subfloor Bracing calculations, schedule and layout plan in accordance with NZS 3604:1990. (NB: Subfloor bracing only for piled foundations.)	
	7. Fully detailed Drainage Plan with discharge points, i.e. sewer and stormwater, including gutter and downpipe size and location. In rural areas provide Design Details of Septic Tank and effluent disposal system, including well location. Refer "On-site Waste Water Disposal" booklet.	
	8. Water Supply, indicate on the plans the water supply proposed (e.g. piped from Council supply or private supply). If a private supply is proposed please indicate the method of collecting and storing potable water. Council may require test results to confirm potable supply for systems other than rainwater collection.	
	9. Supply an "as built" plan of reticulated service(s) relevant to questions 7 and 8.	
	10. Hot Water System details: type, storage, capacity, location (on floor plan) and tempering valve detail.	
	11. Producer Statements - if this application for consent relies on any producer statements certifying compliance with the New Zealand Building Code Handbook, a copy must be attached with the application.	
	12. Details of Proposed Storage of hazardous substances and/or processes.	
	13. Fire Safety Design Summary and/or specific fire engineering design.	
	14. Log Fire installation instructions including flue details.	
	15. Compliance Schedule Items. Indicate if any systems it features listed under Section 44 of the Building Act are present.	

For Council Use Only

Checked by:	Initials	Date
Plumbing & Drainage		
Building		
Health		
Land Use		

Approved for Issue of Building Consent:

Technical Officer Bluff D.

Date: 20/2/98

Tax Invoice Sent/...../.....

Fees Payable (GST incl):

Resource Consent - Minor	\$ _____
Building / Plumbing / Drainage	\$ <u>250.00</u>
BRANZ Levy	\$ _____
BIA Levy	\$ _____
Temporary Accommodation Bond	\$ _____
Compliance Schedule	\$ _____
Sewer Connection	\$ _____
Stormwater Connection	\$ _____
Water Connection	\$ _____
Development Impact Levy	\$ _____
TOTAL	\$ <u>250.00</u>

Receipt No. 52941

Paid \$250.00

TASMAN DISTRICT COUNCIL OFFICES			
MAIN OFFICE	MOTUEKA SERVICE CENTRE	GOLDEN BAY SERVICE CENTRE	MURCHISON SERVICE CENTRE
189 Queen Street Private Bag 4, Richmond 7031 Ph: (03) 544-8176 Fax (03) 544-7249	7 Hickmott Place P O Box 123, Motueka Ph: (03) 528-7700 Fax: (03) 528-9751	78 Commercial Street P O Box 74, Takaka Ph: (03) 525-9516 Fax: (03) 525-9972	92 Fairfax Street P O Box 53, Murchison Ph: (03) 523-9004 Fax: (03) 523-9004

PIM / BUILDING CONSENT SCREENING

BC 980137
 Name: Mark Phillips
 Address: Bennett Ave
Best Island
 Valuation Roll No. P38092400

RM _____
 Date Received: 10/2/98
 FI: _____
 FR: _____
 Due Date: _____

Property Enquiry ("G") for new dwellings and commercial.

TRMP Zoning: _____ Is the activity a Permitted Activity: YES/NO

Signed: [Signature] Date: 20/2/98

BUILDING

A01	A05	BG03	BG08	BG14	BG18	BG22	BG27	BG31	BG35
A02	A06	BG04	BG09	BG15	BG19	BG23	BG28	BG32	BG36
A03	BG01	BG05	BG11	BG16	BG20	BC25	BG29	BG33	BG37
A04	BG02	BG06	BG12	BG17	BG21	BC26	BG30	BG34	BG38

Signed: [Signature] Date: 20/2/98

Any Section 44 Systems (e.g. fire alarms, emergency lighting etc)? If Yes: BG 35.

PLUMBING AND DRAINAGE

PD01	PD04	PD05	PD06	PD07	PD08	PD09	PD10	PD11	PD12
------	------	------	------	------	------	------	------	------	------

Toilet Pans No.

Connection to Council Services?

Water
Sewer

Yes/No
Yes/No

Is connection in an area where a connection fee is payable?

Yes/No

PD14 - Generate Invoice

Signed: _____

Date: _____

HEALTH

Signed: _____

Date: _____

OTHER

Signed: _____

Date: _____

Building Checklist

Foundations	Bearers and joints
Insulation	Wall bracing
Lintels	Second floor joists
Cantilever lintels	Purlins
Rafters	Log burner
Garage beam	Daylight angle
Producer Statements	Building height
Subfloor bracing	Setbacks

Plumbing and Drainage Checklist

Sewerage disposal
Stormwater disposal
Water supply

DRAINLAYING FIRM DAVIES DRAINLAYING

BUILDING CONSENT No. _____

PROPERTY OWNER

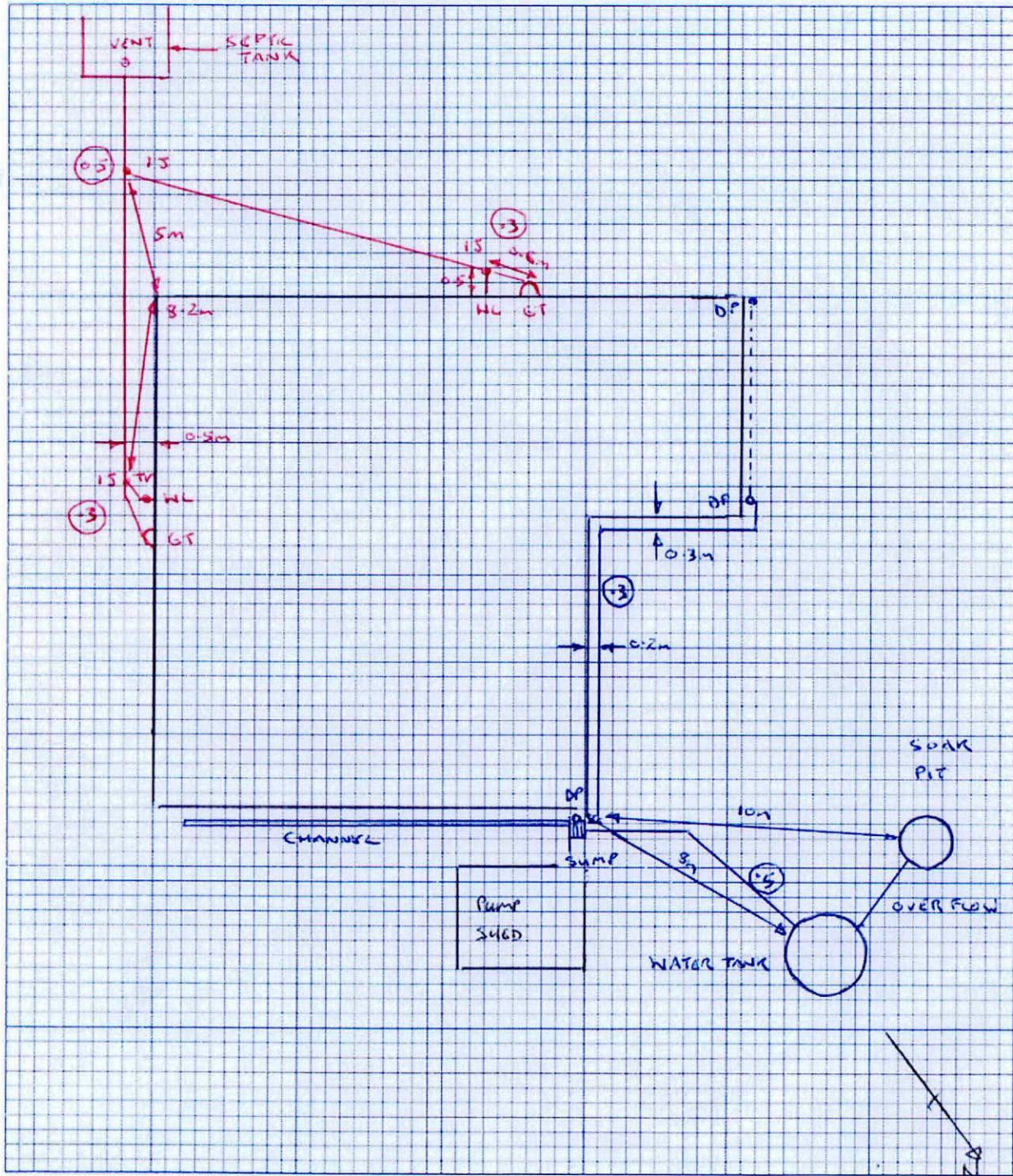
MARK RAFFELLS

LOCATION/STREET BARNETT AVE

DATE _____

TOWNSHIP BEST ISLAND

DRAINAGE PLAN



INSTALLED TO BUILDING CODE
SIGNED BY REGISTERED DRAINLAYER

[Signature]

INSPECTED BY _____

Application for Building Consent

COUNCIL USE ONLY

BC Number

1. What are you applying for? *Tick all applicable*

¹ For PIM only applications, complete Sections 1-7, and 13 only

Follow instructions as per section

- | | |
|---|--|
| <input type="checkbox"/> Building Consent | <input type="checkbox"/> Project Information Memo (PIM) ¹ |
| <input type="checkbox"/> Amendment to Building Consent ² | <input type="checkbox"/> Building Consent using a National Multiple-Use Approval ('MultiProof') ³ |
| <input type="checkbox"/> Staged Consent ² | |

² Please enter existing building consent number below:

³ Please enter National Multiple-Use Approval number below:

2. What building work are you doing? *Tick all applicable*

If your building work is not listed, tick **Other** and provide details (this includes amendments to building consents)

<input type="checkbox"/> Residential		
<input type="checkbox"/> New detached dwelling	<input type="checkbox"/> New multi-residential dwelling (more than 2 household units)	<input type="checkbox"/> Plumbing works
<input type="checkbox"/> Major alterations/additions – any work that includes altering or attaching to the exterior of a building	<input type="checkbox"/> Minor alterations – any internal work that does not include altering the exterior of the building	<input type="checkbox"/> New solid fuel burner
<input type="checkbox"/> Garage/detached carport	<input type="checkbox"/> Other (please provide details below)	
<input type="checkbox"/> Commercial/Industrial		
<input type="checkbox"/> New commercial/industrial building	<input type="checkbox"/> Major alterations/additions – any work that includes altering or attaching to the exterior of a building	<input type="checkbox"/> Seismic strengthening
<input type="checkbox"/> Minor alterations – any internal work that does not include altering the exterior of the building	<input type="checkbox"/> Internal fit-out only (including plumbing and ventilation)	<input type="checkbox"/> Other (please provide details below)

3. Where is the building work? *Complete all fields, enter N/A where not applicable*

What is the street address?	<i>*No street address? State nearest street intersection and distance/direction from that intersection.</i>		
Legal description:	Lot:	DP:	
Building name:			
Location of building within site/block including near street access:			
Does the building or site have any cultural or heritage significance, or is it a marae?	<input type="checkbox"/> Yes	<input type="checkbox"/> No	
<i>If yes, provide details</i>			
Is the subdivision of an existing site involved?			
<input type="checkbox"/> Yes <input type="checkbox"/> No			
<i>If a subdivision is proposed and you have not yet received a s224 certificate, the application will also need to provide any relevant information stating legal description as at the date of application and, if subdivision is proposed, include details of the relevant resource consent number and any proposed lot number.</i>			
<i>If Yes, complete the following:</i>	Resource Consent No.		
	Proposed Lot No.		

4. Who owns the building or land? *Complete all fields*

Owner name:			Title: eg Mr, Mrs, Ms, Dr	
Owner email address:				
Owner contact number:				
Owner mailing address:				
Indicate which of the following Proof of Ownership documents is attached to your application Your document must be less than 3 months' old				
<input type="checkbox"/> Copy of Certificate of Title	<input type="checkbox"/> Copy of Lease Agreement	<input type="checkbox"/> Agreement for Sale and Purchase	<input type="checkbox"/> Other document showing full name of legal owner	
Are you using an Agent?	<input type="checkbox"/> Yes	<input type="checkbox"/> No	<i>If Yes, please also complete the following</i>	
Who is the first point of contact for further correspondence?	<input type="checkbox"/> Agent		<input type="checkbox"/> Owner	
Who is the first point of contact for invoicing?	<input type="checkbox"/> Agent		<input type="checkbox"/> Owner	
Agent name:			Title: eg Mr, Mrs, Ms, Dr	
Agent email:				
Agent contact number:				
Agent mailing address:				

5. Who's involved in the build? Complete all fields per line, or select N/A where not applicable. If you have additional roles to add, please use the table in Appendix A.

	Role	N/A
Trade	Designer	
Name:		
Address:		
Contact No:		
Email:		
Registration No:	LBP:	
Trade	Architect	
Name:		
Address:		
Contact No:		
Email:		
Registration No:	NZRAB:	

6. What are the specifics of the site? Complete all fields

What is the wind zone?					
<input type="checkbox"/> Low	<input type="checkbox"/> Medium	<input type="checkbox"/> High	<input type="checkbox"/> Very High	<input type="checkbox"/> Extra High	<input type="checkbox"/> Specific Design State value below
What is the exposure zone?		<input type="checkbox"/> Low (B)	<input type="checkbox"/> Medium (C)	<input type="checkbox"/> High/Sea spray (D)	
Does the proposed building work cover two or more allotments?					<input type="checkbox"/> Yes <input type="checkbox"/> No
Are there public drains on the site?					<input type="checkbox"/> Yes <input type="checkbox"/> No
Is the site subject to natural or created hazards such as erosion, subsidence, flooding, slips, cut and fill or contamination?					<input type="checkbox"/> Yes <input type="checkbox"/> No
Are there any alterations to land contours (eg earthworks)?					<input type="checkbox"/> Yes <input type="checkbox"/> No
Are there new or altered connections to public utilities?					<input type="checkbox"/> Yes <input type="checkbox"/> No
Are there new or altered locations and/or external dimensions of buildings?					<input type="checkbox"/> Yes <input type="checkbox"/> No
Is there new or altered access for vehicles?					<input type="checkbox"/> Yes <input type="checkbox"/> No
Is the building work over or adjacent to any road or public place?					<input type="checkbox"/> Yes <input type="checkbox"/> No
Does the building work involve the disposal of storm-water or wastewater?					<input type="checkbox"/> Yes <input type="checkbox"/> No
Is the building work over any existing drains or sewers or in close proximity to wells or water mains?					<input type="checkbox"/> Yes <input type="checkbox"/> No
Are there any other matters known to the applicant that may require authorisation from the territorial authority?					<input type="checkbox"/> Yes <input type="checkbox"/> No
If Yes, please provide a summary here					

7. What are the details of the building work? *Complete all fields, or enter N/A if not applicable*

Provide a full description of the building work: <i>Eg 4-bedroom dwelling with multiple cladding types and attached garage</i>						
Estimated value of the building work (including GST):		\$				
If the application is for an amendment to a building consent, please add the additional value if applicable (including GST):		\$		<input type="checkbox"/> N/A		
What is the intended life of the building?		<input type="checkbox"/> 50+ years	<input type="checkbox"/> Limited Life			
If Limited Life, please indicate the intended life of the building:		years				
Have you discussed this project with Council prior to applying?		<input type="checkbox"/> Yes	<input type="checkbox"/> No			
Does the project include Restricted Building Work?		<input type="checkbox"/> Yes	<input type="checkbox"/> No			
Are you applying for Owner/Builder exemption to complete the Restricted Building Work?		<input type="checkbox"/> Yes	<input type="checkbox"/> No			
<i>If Yes, please complete and attach the Statutory Declaration as to Owner Builder form (click here)</i>						
<i>If No, please complete and attach the Memorandum from Licensed Building Practitioner – Certificate of Design Work form for each type of building work being undertaken (click here)</i>						
Total number of floor levels:			Levels below ground:			
Current floor area:			Proposed new floor area:			
<i>If you are making alterations to an existing dwelling, please complete the following:</i>						
Is there any recladding?	<input type="checkbox"/> Yes	<input type="checkbox"/> No	Is recladding covered by a claim under the Financial Assistance Package scheme?	<input type="checkbox"/> Yes	<input type="checkbox"/> No	
If Yes, please provide Financial Assistance Package reference number:						
Does the building work involve a swimming pool?		<input type="checkbox"/> Yes		<input type="checkbox"/> No		
Year first constructed:						
Current lawful established use:						
Proposed use:						
Will the building work result in a change of use of the building?				<input type="checkbox"/> Yes	<input type="checkbox"/> No	
<i>If you are unsure how to determine if a change of use will occur, please refer to the guidance provided by the Ministry of Business, Innovation and Employment: http://www.building.govt.nz/managing-buildings/change-of-use-and-alterations/</i>						
<i>If Yes, please provide details</i>						

8. What clauses of the building code does your building work comply with?

Please read the following carefully

- You are required to indicate what code clause(s) your building work complies with
- Unless otherwise noted below, your application will be assessed under Acceptable Solutions
- If you are using another means of compliance, please provide details of the standard(s) that your building work complies with and the means of compliance in the space provided. Use a separate sheet of paper if necessary.
- If you do not provide all the necessary information to show how your application complies with the Building Code, it will be returned unprocessed.

☐ I understand that this application is to be assessed against Acceptable Solutions, unless otherwise stated in the following section. Please tick to indicate your agreement

<input type="checkbox"/> B1 Structure	<input type="checkbox"/> F1 Hazardous agents on site	<input type="checkbox"/> G5 Interior environment
<input type="checkbox"/> B2 Durability	<input type="checkbox"/> F2 Hazardous building materials	<input type="checkbox"/> G6 Airborne and impact sound
<input type="checkbox"/> C1 Protection from fire	<input type="checkbox"/> F3 Hazardous substances and processes	<input type="checkbox"/> G7 Natural light
<input type="checkbox"/> C2 Prevention of fire occurring	<input type="checkbox"/> F4 Safety from falling	<input type="checkbox"/> G8 Artificial light
<input type="checkbox"/> C3 Fire affecting areas beyond fire source	<input type="checkbox"/> F5 Site safety	<input type="checkbox"/> G9 Electricity
<input type="checkbox"/> C4 Movement to place of safety	<input type="checkbox"/> F6 Visibility in escape routes	<input type="checkbox"/> G10 Piped services
<input type="checkbox"/> C5 Access and safety for fire-fighting operations	<input type="checkbox"/> F7 Warning systems	<input type="checkbox"/> G11 Gas as an energy source
<input type="checkbox"/> C6 Structural stability	<input type="checkbox"/> F8 Signs	<input type="checkbox"/> G12 Water supplies
<input type="checkbox"/> D1 Access routes	<input type="checkbox"/> F9 means of restricting access to residential pools	<input type="checkbox"/> G13 Foul water
<input type="checkbox"/> D2 Mechanical installations	<input type="checkbox"/> G1 Personal hygiene	<input type="checkbox"/> G14 Industrial liquid waste
<input type="checkbox"/> E1 Surface water	<input type="checkbox"/> G2 Laundering	<input type="checkbox"/> G15 Solid waste
<input type="checkbox"/> E2 External moisture	<input type="checkbox"/> G3 Food preparation and prevention of contamination	<input type="checkbox"/> H1 Energy efficiency
<input type="checkbox"/> E3 Internal moisture	<input type="checkbox"/> G4 Ventilation	

Provide details of all Verification Methods being used (include relevant code clause and means of compliance)

Provide details of all Alternative Solutions being used (include relevant code clause and means of compliance) or details of any waivers and modifications (including applicable code clauses)

9. What specified systems are included in your building work? *Complete all fields*

Does your building work involve or affect any Specified Systems (SS)?	<input type="checkbox"/> Yes	<input type="checkbox"/> No
---	------------------------------	-----------------------------

Residential <i>Please complete the following:</i>							N/A	<input type="checkbox"/>
<i>If Yes, please complete Specified System 16 (Cable Car) below</i>								
SS16 Does your building work involve a cable car?				<input type="checkbox"/> Yes	<input type="checkbox"/> No	<i>If Yes, please provide detail below</i>		
		Existing	Altered	Added/New	Removed	Complete this section if the cable car is being altered or added/new		
						Inspection performance standards	Maintenance performance standards	Reporting Frequency
SS16	Cable cars	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>			
<i>Provide any other details</i>								

Commercial/Industrial <i>Please complete the following:</i>		N/A	<input type="checkbox"/>
If applicable, what is the existing compliance schedule number?			
Risk group:			
Total occupancy numbers:			
If yes, please complete Appendix B (Specified Systems)			

10. Does your build require a fire design review?

Certain applications for building consent must be submitted to the New Zealand Fire Service Commission Fire Engineering Unit (FEU) for review. *For commercial/industrial applications please complete the following:*

Is your building of a type defined in the Gazette notice and section 46 of the Building Act 2004?	<input type="checkbox"/> Yes	<input type="checkbox"/> No
---	------------------------------	-----------------------------

11. Have you attached all required documents?

You are required to provide all the necessary documents to support your application. This includes (but is not limited to) the following sections:

- *Section 4: Proof of Ownership*
- *Section 6: Plans showing land and boundary features as required
PIM, development of contribution notice or certificate attached to PIM*
- *Section 7: Statutory Declaration as to Owner Builder form OR Memorandum of Licensed Building Practitioners – Certificate of Design Work (for each type of building work being undertaken)*
- *Section 8: Plans, specifications and other supporting information in relation to the compliance method of the build, eg where the work deviates from an Acceptable Solution method.*

*Please check your application and ensure all the supporting information is attached otherwise your application will be returned **unprocessed**.*

When you are satisfied your application is complete, please complete section 13 and send to your local Building Consent Authority.

If you are unsure about what information to include in your application, a guidance document is available ([click here](#)).

Privacy Information

The information you have provided on this form is required so that your building consent application can be processed under the Building Act 2004. The Council collates statistics relating to issued building consents and has a statutory obligation to forward these regularly to Statistics New Zealand. The Council stores the information on a public register, which must be supplied (as previously determined by the Ombudsman) to whoever requests the information. Under the Privacy Act 1993 you have the right to see and correct personal information the Council holds about you.

12. Your application fees

Your council will charge fees for your consent application. These will include statutory levies payable to BRANZ and the Ministry of Business, Innovation & Employment.

A full fee schedule can be found on the council's website. Please consult this before submitting your application.

13. Have you signed the application?

All the information contained in this application is, to the best of my knowledge, true and correct.

I understand that work must not commence until the building consent is issued and uplifted

Name and signature of the owner/agent on behalf of and with the authority of the owner

Owner/Agent Name:	
Owner/Agent Signature: (Enter your name and tick the acknowledge box if you do not have a digital signature)	
Date:	

Your local council (or its website) will be able to help you with information specific to the site your application covers.

11. Have you attached all required documents?

You are required to provide all the necessary documents to support your application. This includes (but is not limited to) the following sections:

- Section 4: Proof of Ownership
- Section 6: Plans showing land and boundary features as required
PIM, development of contribution notice or certificate attached to PIM
- Section 7: Statutory Declaration as to Owner Builder form OR Memorandum of Licensed Building Practitioners – Certificate of Design Work (for each type of building work being undertaken)
- Section 8: Plans, specifications and other supporting information in relation to the compliance method of the build, eg where the work deviates from an Acceptable Solution method.

Please check your application and ensure all the supporting information is attached otherwise your application will be returned **unprocessed**.

When you are satisfied your application is complete, please complete section 13 and send to your local Building Consent Authority.

If you are unsure about what information to include in your application, a guidance document is available ([click here](#)).

Privacy Information

The information you have provided on this form is required so that your building consent application can be processed under the Building Act 2004. The Council collates statistics relating to issued building consents and has a statutory obligation to forward these regularly to Statistics New Zealand. The Council stores the information on a public register, which must be supplied (as previously determined by the Ombudsman) to whoever requests the information. Under the Privacy Act 1993 you have the right to see and correct personal information the Council holds about you.

12. Your application fees

Your council will charge fees for your consent application. These will include statutory levies payable to BRANZ and the Ministry of Business, Innovation & Employment.


A full fee schedule can be found on the council's website. Please consult this before submitting your application.

13. Have you signed the application?

All the information contained in this application is, to the best of my knowledge, true and correct.

I understand that work must not commence until the building consent is issued and uplifted

Name and signature of the owner/agent on behalf of and with the authority of the owner

Owner/Agent Name:	Zink 2015 Ltd	<div>Tasman District Council BUILDING CONSENT AUTHORITY</div> <div>RECEIVED</div> <div>Date 16/06/17</div>
Owner/Agent Signature: (Enter your name and tick the acknowledge box if you do not have a digital signature)		
Date:	30/05/17	

Your local council (or its website) will be able to help you with information specific to the site your application covers.

Appendix A List of those involved in the build

	Role
<i>Trade</i>	
Name:	
Address:	
Contact number:	
Email:	
Registration number:	
<i>Trade</i>	
Name:	
Address:	
Contact number:	
Email:	
Registration number:	
<i>Trade</i>	
Name:	
Address:	
Contact number:	
Email:	
Registration number:	
<i>Trade</i>	
Name:	
Address:	
Contact number:	
Email:	
Registration number:	
<i>Trade</i>	
Name:	
Address:	
Contact number:	
Email:	
Registration number:	

Appendix B List of Specified Systems (Commercial/Industrial Building Consent Applications)

The specified systems for the building are as follows:

Tick all applicable and outline the performance standards and reporting frequency

The following specified systems are existing, being altered, added to or removed in the course of the building work		Existing	Altered	Added/New	Removed	Complete this section if systems are new, altered or added only		
						Inspection performance standards	Maintenance performance standards	Reporting Frequency
SS1	Automatic systems for fire suppression (eg sprinkler systems) (includes Gas/Flood Systems)	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>			
SS2	Automatic or manual emergency warning systems for fire or other dangers	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>			
SS3	Electromagnetic or automatic doors or windows							
SS3.1	Automatic doors	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>			
SS3.2	Access control doors	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>			
SS3.3	Interfaced fire or smoke doors or windows	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>			
SS4	Emergency lighting systems	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>			
SS5	Escape route pressurisation systems	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>			
SS6	Riser mains for use by fire services	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>			
SS7	Automatic backflow preventers connected to a potable water supply	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>			
SS8	Lifts, escalators, travellers or other systems for moving people or goods within buildings							
SS8.1	Passenger-carrying lifts	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>			

The following specified systems are existing, being altered, added to or removed in the course of the building work		Existing	Altered	Added/New	Removed	Complete this section if systems are new, altered or added only		
						Inspection performance standards	Maintenance performance standards	Reporting Frequency
SS8.2	Service lifts	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>			
SS8.3	Escalators and moving walkways	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>			
SS9	Mechanical ventilation or air conditioning systems	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>			
SS10	Building maintenance units (for providing access to the exterior and interior walls of a building)	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>			
SS11	Laboratory fume cupboards	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>			
SS12	Audio Loops or other assistive listening system							
SS12.1	Audio loops	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>			
SS12.2	FM radio frequency systems and infrared beam transmission systems	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>			
SS13	Smoke control systems							
SS13.1	Mechanical smoke control	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>			
SS13.2	Natural smoke control	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>			
SS13.3	Smoke curtains	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>			
SS14	Emergency power systems for, or signs relating to, a specified system in 1-13 above							
SS14.1	Emergency power systems	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>			

The following specified systems are existing, being altered, added to or removed in the course of the building work		Existing	Altered	Added/New	Removed	Complete this section if systems are new, altered or added only		
						Inspection performance standards	Maintenance performance standards	Reporting Frequency
SS14.2 Signs for systems		<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>			
SS15	Other fire safety systems or features							
SS15.1 Systems for communicating spoken information intended to facilitate evacuation		<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>			
SS15.2 Final exits		<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>			
SS15.3 Fire separations		<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>			
SS15.4 Signs for communicating information intended to facilitate evacuation		<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>			
SS15.5 Smoke separations		<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>			
SS16	Cable cars	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>			

Code Compliance Certificate

BC170597**Form 7: Section 95, Building Act 2004****The building**

Street address of building: 139 Barnett Avenue, Best Island
Legal description of land where building is located: Lot 25 DP 5090
Valuation number: 1938092400
Current, lawfully established, use: Residential home
Year first constructed: 1939

The owner

Name of owner: Syme John Randal & Syme Carol Beverly
Mailing address: 139 Barnett Avenue, RD 1, Richmond 7081
Phone number: Mobile: 021331504
Email address: carolbsyme@gmail.com
First point of contact for communications with the council/building consent authority:
Full Name: Zink 2015 Ltd
Mailing Address: 2 Champion Road, Richmond 7020
Phones:: 035440929
Email: sales@zinkltd.co.nz

Building work

Building consent number: 170597 Issued by: Tasman District Council
Install Woodsman CR NoVo woodburner: Intended Use: Heating

Code compliance

The building consent authority named below is satisfied, on reasonable grounds, that —
(a) the building work complies with the building consent.



Signature
On behalf of: Tasman District Council

Position

Date: 6/07/17



WAIMEA COUNTY COUNCIL

060250
BUILDING P & D PERMIT

189 QUEEN STREET, RICHMOND, NEW ZEALAND
P. O. BOX 3050 TELEPHONE 8176

VALUATION REF. NO.

28/7/87.
DATE:

APPLICATION FOR PERMIT: BUILDING, PLUMBING, DRAINAGE.

OWNER

Name BOYD, RONALD WILLIAM
Mailing Address BEST ISLAND, RICHMOND
R.D.1.
Phone No. 5152. Rich.

BUILDER

Name SELF
Mailing Address R.D.1 BESTS ISLAND
RICHMOND.
Phone No. 5152.

PROPERTY FOR WHICH PERMIT APPLICATION IS MADE

SITE

Street No. BESTS ISLAND
Street Name RICHMOND
Town/District BESTS. ISLAND
Riding APENBY.

LEGAL DESCRIPTION

Valuation Roll No. 19380 - 924.
Lot 25 D. P. 5090
Section _____ Block 11
Survey District WALMEA
Area in ha. _____ m2 _____

DESCRIPTION OF PROPOSED WORK AND MAIN PURPOSE OF USE

Erect Bedroom on existing Dwelling

FLOOR AREA

Whole
Sq. Metres

9.5M

DWELLING UNITS

Number
Erected

1

NATURE OF PERMIT (TICK BOX)

- ☐ NEW BUILDING
— exclude domestic garages and domestic outbuildings
- ☐ FOUNDATIONS ONLY
- ☒ ALTERED, REPAIRED, EXTENDED
— include conversions and resited buildings
- ☐ NEW CONSTRUCTION
OTHER THAN BUILDINGS — include demolitions
- ☐ DOMESTIC GARAGES
AND DOMESTIC OUTBUILDINGS

ESTIMATED
VALUES
\$

Building	<u>2000</u>
Plumbing	
Drainage	
TOTAL	<u>2000</u>

NOTES TO APPLICANT

- Two copies of documents must accompany this application.
- Building Permit documents shall include: site plan, detailed plan, elevations, cross sections and building specifications.

NB: The site plan must show position of building on section and distance from boundaries.

SIGNATURES

BUILDER/PLUMBER/DRAIN LAYER (Delete where not applicable)

NAME BOYD, R.W. REG. NO. _____
SIGNATURE R.W. Boyd DATE 24-7-87
APPLICANT
SIGNATURE R.W. Boyd DATE 24-7-87

FOR OFFICE USE ONLY

LETTER SENT FOR FEES 24/7/87.

FEES PAID: BUILDING \$ 17 — PLUMBING DRAINAGE \$ _____ BRANZ LEVY \$ _____

PAID BY _____ RECEIPT No. _____ DATED _____

CONDITIONS OF PERMIT Work + material to NESS 1900.

ISSUE OF PERMIT APPROVED: RW BUILDING INSPECTOR. DATE _____

P & D APPROVED _____ P & D INSPECTOR DATE _____

WAIMEA COUNTY COUNCIL

SCHEDULE OF FEES

From 1st April 1985

BUILDING

<u>ESTIMATED VALUE OF WORK \$</u>		<u>FEE \$</u>
Value up to	1 000	12.00
1 001 -	2 000	17.00
2 001 -	3 000	25.00
3 001 -	4 000	35.00
4 001 -	5 000	42.00
5 001 -	6 000	52.00
6 001 -	7 000	55.00
7 001 -	8 000	60.00
8 001 -	9 000	65.00
9 001 -	10 000	70.00
10 001 -	12 000	76.00
12 001 -	14 000	83.00
14 001 -	16 000	90.00
16 001 -	18 000	97.00
18 001 -	20 000	105.00
20 001 -	25 000	120.00
25 001 -	30 000	140.00
30 001 -	35 000	155.00
35 001 -	40 000	170.00
40 001 -	50 000	205.00
50 001 -	60 000	240.00
60 001 -	70 000	265.00
70 001 -	80 000	295.00
80 001 -	90 000	315.00
90 001 -	100 000	345.00
100 001 -	120 000	360.00
120 001 -	140 000	380.00
140 001 -	160 000	400.00
160 001 -	180 000	415.00
180 001 -	200 000	430.00

FOR EVERY \$50 000 or PART THEREOF
IN EXCESS OF \$200 000 add \$30.00

PLUMBING & DRAINAGE

IF THE VALUE OF THE PROPOSED
WORK (Excluding materials)
DOES NOT EXCEED - \$

50.00	fee of	\$ 6.00
75.00	-	9.00
100.00	-	12.00
200.00	-	15.00
300.00	-	18.00
400.00	-	21.00
500.00	-	24.00
600.00	-	27.00
700.00	-	30.00
800.00	-	33.00
900.00	-	36.00
1 000.00	-	39.00
1 200.00	-	45.00
1 600.00	-	51.00
1 800.00	-	57.00
2 000.00	-	69.00

IF THE VALUE EXCEEDS \$2 000
THE FEES SHALL BE \$69.00 PLUS
\$6.00 FOR EVERY \$200 OR PART
THEREOF IN EXCESS OF \$2 000.

BUILDING RESEARCH ASSOCIATION OF N.Z. LEVY

The rate is \$1.00 for each \$1 000 (or part thousand) of the total
value of work except that no levy is payable if the total value
is less than \$10 000.

e.g.	Total value of	\$2 500	levy is	Nil
	"	"	"	" Nil
	"	"	"	" \$15.00
		\$4 300		
		\$15 000		

Inspector: M

File No.

Receipt No. 09278

Date Permit Issued 28/7/87

OWNER

Name Don William Boyd

Mailing Address Best Island
R.D.1.
Richmond

BUILDER

Name B.R. Boyd

Mailing Address Best Island
R.D.1.
Richmond

PROPERTY ON WHICH BUILDING IS TO BE ERECTED/DEMOLISHED

SITE

Street No. _____

Street Name _____

Town/District Best Island

Riding Central

LEGAL DESCRIPTION

Valuation Roll No. 19380/924 00

Lot 25 D.P. 5090

Section _____ Block II

Survey District Waima

DESCRIPTION OF PROPOSED WORK AND MAIN PURPOSE OF USE

Erect Bedroom onto Dwelling

FLOOR AREA Whole Sq. Metres 9

DWELLING UNITS Number Erected 1

ESTIMATED VALUES

Building	<u>2,000.00</u>
Plumbing	
Drainage	
TOTAL	<u>2,000.00</u>

NATURE OF PERMIT (TICK BOX)

☐ NEW BUILDING
- exclude domestic garages and domestic outbuildings

☐ FOUNDATIONS ONLY

☒ ALTERED, REPAIRED, EXTENDED, CONVERTED, RESITED
- include installation of heating appliances

☐ NEW CONSTRUCTION
OTHER THAN BUILDINGS - include demolitions

☐ DOMESTIC GARAGES
AND DOMESTIC OUTBUILDINGS

FEES APPLICABLE

Building Permit	\$ <u>1700</u>	Water Connection	\$ _____	Receipt No. <u>09278</u>
Street Damage Deposit	\$ _____	Vehicle Crossing Levy	\$ _____	Date of Payment <u>28/7/87</u>
Building Research Levy	\$ _____	M.S. Plumbing	\$ _____	Authorised Officer <u>agw/pt/460</u>
Plumbing	\$ _____		\$ _____	
Drainage	\$ _____		\$ _____	
Sewer Connection	\$ _____		\$ _____	
TOTAL:	\$ <u>1700</u>			

Special Conditions:

Work and materials to N.Z.S. 1900

Date Inspected	REMARKS (e.g. stage reached with work)
25/8	N.S. 12/10/87 N S
3/88	Closed m OK

APPLICATION FOR CODE COMPLIANCE CERTIFICATE

1. What is the Building Consent? Complete this field

Building consent number:	170597
Issued by: (name of building consent authority)	TDC

2. Who owns the building? Complete all fields, using N/A if a field is not applicable

Owner name:	Carol Syme	Title: e.g. Mr, Mrs, Ms, Dr	
Contact person:	Carol		
Owner mailing address:	139 Barnett Ave RD1 Richmond 7081		
Street address/ registered office:	u		
Owner email address:	carolbsyme@gmail.com		
Owner contact number:	021331504		
Are you using an Agent?	<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No	If Yes, please also complete the following:
Who is the first point of contact for further correspondence?	<input type="checkbox"/> Agent	<input checked="" type="checkbox"/> Owner	
Agent name:	Zink 2015 Ltd		
Agent email:	sales@zinkltd.co.nz		
Agent contact number:	544 0929		
Agent mailing address:	2 Champion Rd Richmond		

3. When was the building work completed? Complete this field

All building work to be carried out under the building consent specified on this form was completed on:	dd/mm/yyyy 28/06/2017
---	--------------------------

4. Who completed the building work? Complete all fields on each line. You will need to complete one line for each building practitioner. Use a separate sheet if necessary.

The licensed building practitioner(s) who carried out/supervised the restricted building work is/are:			
Name	Licensing class	LBP or registration number	Work carried out/ supervised
/			

Name	Licensing class	LBP or registration number	Work carried out/ supervised

Tradespeople who carried out building work other than restricted building work are as follows:

Name (installer).	Address	Contact number	Registration number
Brad Colville	33 Tode Street	021 921130	NZMHA #1984
Plum Line Plumbing	P.O. Box 1505	027 6356139	21714

Please list specified systems installed in the building or use N/A if this section is not applicable ☒ N/A

The following specified systems are contained on the compliance schedule for the building and, in the opinion of the personnel who installed them, are capable of performing to the performance standards set out in the building consent:

5. Declaration

☒ I understand that this application may *only* be made with the owner's approval (tick to indicate agreement)

I request that you issue a code compliance certificate for this work under section 95 of the Building Act 2004. The code compliance certificate should be sent to:

☒ Owner ☐ Agent ☒ Owner address as per Section 2 ☐ Agent address as per Section 2

Name: Brad Colville

Signature: [Signature]

Date: 28/6/17

You can add a digital signature to this document, either using Adobe or your existing digital signature.

Once you have filled out the form, including signatures, please save the application to your computer. You can then submit the application with supporting documentation to your local council.

If you are unsure about what information to include in your application, a guidance document is available (click here).

1939
17
10.

Application for Building Permit.

Date ... 23.7.39-19.58

1939/17/10

To the Building Inspector,
of the WAIMEA COUNTY COUNCIL,
WELSH.

Sir,

Sheweth

that

I hereby apply for permission to construct

Demolish

Demolish

Holiday Cottage

on ... *Best Island* ... *Waima East Island Dist* Riding.
for *PETER SHELLING* of *SUFFOLK R.D.* *STAKE*
(Owner). (Address),
according to locality plan and detailed plans, elevations, cross-sections, and
specifications of building deposited herewith, in duplicate,

Particulars: Lot No. ... *25* ... B.M. ... *5090*
of Land.
Section No. ... *1* ... Field ... *11* *WAIMEA* ... S.D.

Area ... *33* ... roads ... *33* ... perches.

Particulars of Building: Foundations: *concrete piles* ... *tin* ...
Roof: *iron* ... *540* ... sq.ft.

Area of Outbuildings included in this application sq.ft.

Area of existing outbuildings: sq.ft.

Estimated Cost of Building: Building: *778* ... Plumbing & Drainage: *25*
Total: *803*

Proposed purposes for which erection of building is to be used or occupied
(describing separately each part intended for use or occupation for a separate
purpose) *Holiday cottage*

Proposed use or occupation of other part of building:

Nature of ground on which building is to be placed and of the subjacent strata.
..... *sand*

B. 4
D. 1/-

Signature of Applicant

Witnessed by

P. Shelling

Suffolk R.D. Stake

Builder's Name: *Self*

N.B. The locality plan must show position of building on section and distances
from roads, boundaries etc.

Receipt 4770
14-10-39

1939 / 17 / 10

Waimae County Council.

BUILDING PERMIT.

Engineer's Office,

N 1563

Nelson 1939

To Mr.

In pursuance of your application for permit to

in Lot No. D.P. 56/3

Section No.

Block No. S.D., for

Mr.

permission is hereby granted you to carry out the work as proposed in your application, and in accordance with the plans, particulars, and other documents submitted to me, such work to be subject at any time during progress to my inspection and to be carried out in strict conformity with all requirements of the Waimae County Council By-law No. 3, dated the first day of May, 1948, and all other By-laws for the time being in force and of all Acts of Parliament and regulations respectively affecting such work and subject to Building Controller's

Permit No. and subject to Building Emergency Regulations, 1939 and subsequent Building Construction Control Notices.

Dwellings: The location of dwellings must be approved by the Building and Sanitary Inspector before work is commenced.

Building Inspector
for Waimae County Council

Suffolk Rd.,
Stoke, NELSON.
22.12.1958

Waimea County Council,
Nelson.

19.39/17/10

Sirs,

I wish to build a holiday bach during the forthcoming holidays on Lot 25 D P 5090 being pt sec 1, Waimea East Islanda Dist, Blk 11 Waimea S D for which application herewith.

I would be very grateful if you would grant permission to have a rear open space of 15 ft instead of 25 ft as prescribed by County Planning.

I bought this site not knowing this regulation, 25 ft would bring the building into a nasty hollow, liable to flood during a high spring tide. At 15 ft half of the building would still be on higher ground. The remainder of the section is on a rather low level.

Hoping you will look favourably on this request,

I am,

Yours obediently,

P. Shelling.

Specifications

Concrete piles 8 x 8
Sleepers 4 x 2

Floor joists 5 x 2

Outside plates & studs 4 x 2

Inside plates & studs ~~2 x 2~~

Rafters 5 x 2

Perkins 4 x 1 1/2

Weather boards 8 x 3/4

Ginea lining

Iron roof.

Kerosene heaters

1939/17/10

TO BE ERECTED
BACH 15 ft from rear boundary
15 ft from side boundary
5 ft

WAINEA COUNTY COUNCIL

THESE ARE THE PLANS SPECIFICATIONS REFERRED TO

A BUILDING PERMIT NO. 1563.

DATED Jan 16 1939

MAYOR'S INSPECTOR.

[Signature]



WAIMEA COUNTY COUNCIL

189 QUEEN STREET, RICHMOND, NEW ZEALAND
P.O. BOX 3070 TELEPHONE 8176

File Ref: 1938092400
Job No.

WATER SERVICE APPLICATION

To the County Engineer,

I hereby apply for a water service as set out below and I agree to pay all fees and charges relating thereto as laid down by the Waimea County Council from time to time.

DETAILS OF PROPERTY: (refer to rate assessment)

Valuation Reference 19350/780/25
Name of Owner RW & M. Boyd
Address: BEST ISLAND
Rd1 Richmond

SERVICE REQUIRED: (please tick square)

A. Urban Supplies

- (i) Ordinary 15mm domestic connection - $\frac{1}{2}$ charge lot ☐
(ii) Ordinary 15mm domestic connection - new section ☐
(iii) Extraordinary supply - metred ☐

B. Rural Extension from Urban Supply ☒

C. Rural Supply

- (i) First tank connection ☐
(ii) Second tank connection ☐
(iii) Additional tank connections ☐

D. Industrial Supply ☐

COMMENT ON ANY DETAILS

Paid \$400
21-2-83
Receipt No. 19190.

APPLICANT'S NAME RW & M. Boyd

ADDRESS: Best Island Rd1 Richmond

SIGNATURE RW & M. Boyd

Note: To be signed by person to whom all charges are to be directed.

CONNECTION AND SERVICE CHARGESA. URBAN SUPPLIES

- (i) Ordinary 15mm domestic connection - $\frac{1}{2}$ charge lot \$10.00
(ii) Ordinary 15mm domestic connection - new section actual cost
(iii) Extraordinary supply - metred actual cost

Meter Rentals (where meter owned by W.C.C.)

15mm meter	..	..	..	..	..	..	..	..	..	..	\$ 6.00 p.a.
20mm meter	..	..	..	..	..	..	..	..	..	..	\$ 8.00 p.a.
25mm meter	..	..	..	..	..	..	..	..	..	..	\$10.00 p.a.
40mm meter	..	..	..	..	..	..	..	..	..	..	\$20.00 p.a.
50mm meter	..	..	..	..	..	..	..	..	..	..	\$30.00 p.a.
80mm meter	..	..	..	..	..	..	..	..	..	..	\$50.00 p.a.

Meter Testing Fee

15mm and 20mm meters	..	..	..	..	..	..	..	..	..	\$ 20.00
Larger than 20mm meters	..	..	..	..	..	..	..	..	..	actual costs

<u>Re-Connection Fee</u>	\$ 20.00
--------------------------	----	----	----	----	----	----	----	----	----	----------

B. RURAL CONNECTION FROM URBAN SUPPLIES - Connection fee .. \$300.00 Minimum

The following conditions apply:

1. Supply shall be a low pressure rural type
2. Supply limited to 2 cu. m per day
3. Connection only undertaken where it can be substantially financed from the connection fee.
4. Extensions are to provide suitable pipe size for orderly expansion of the urban water scheme.

C. RURAL SUPPLIES

	<u>Dovedale</u>	<u>Redwoods</u>
1. First tank - actual costs plus	\$360	\$550
2. Second tank - actual costs	\$100 min	\$200 min
3. Additional tanks - actual costs	\$ 50 min	\$100 min

D. WAIMEA INDUSTRIAL SUPPLY

1. Connection charges actual costs
2. Service and meter charges - included in water charge

FOR OFFICE USE ONLY

JOB NUMBER _____

1. Approved by County Engineer _____ Date _____
Charges to _____
2. Waterworks Foreman - Issue Job number _____ Date _____
Work complete _____
As Built details actioned _____ Date _____
Water Record card filed _____ Date _____
3. Accounts clerk - charges actioned _____ Date _____
Total charges _____
4. Rates Clerk - rate ledger noted _____ Date _____
5. Drawing Office as Built recorded _____ Date _____
6. Application complete for filing _____ Date _____

Code Compliance Certificate

BC170597**Form 7: Section 95, Building Act 2004****The building**

Street address of building: 139 Barnett Avenue, Best Island
Legal description of land where building is located: Lot 25 DP 5090
Valuation number: 1938092400
Current, lawfully established, use: Residential home
Year first constructed: 1939

The owner

Name of owner: Syme John Randal & Syme Carol Beverly
Mailing address: 139 Barnett Avenue, RD 1, Richmond 7081
Phone number: Mobile: 021331504
Email address: carolbsyme@gmail.com
First point of contact for communications with the council/building consent authority:
Full Name: Zink 2015 Ltd
Mailing Address: 2 Champion Road, Richmond 7020
Phones:: 035440929
Email: sales@zinkltd.co.nz

Building work

Building consent number: 170597 Issued by: Tasman District Council
Install Woodsman CR NoVo woodburner: Intended Use: Heating

Code compliance

The building consent authority named below is satisfied, on reasonable grounds, that —
(a) the building work complies with the building consent.



Signature
On behalf of: Tasman District Council

Position

Date: 6/07/17

ADVICE OF COMPLETION OF BUILDING WORK
Section 43(1), Building Act 1991

*clp this
was the one
I discussed
late last yr.
you said would
be no probabls
cos it was
only a deck
I don't think
inspections
made.*

To: TASMAN DISTRICT COUNCIL

Under Building Consent No.: 971688

From: MARK RAFFILLS
BARNETT AVENUE
BEST ISLAND
R D 1 RICHMOND
Project location: BARNETT AVE, BEST ISLAND
Valn No.: 1938092400
Project descrn: ALTERATIONS, REPAIRS or EXTENSIONS
BEING STAGE 1 OF AN INTENDED 1 STAGES
TO BUILD DECK
Intended life: INDEFINITE, BUT NOT LESS THAN 50 YEARS
Intended uses: DECK

You are hereby advised that

☐ All
☐ Part only as specified in the attached particulars

of the building work under the above building consent is believed to have been completed to the extent required by that building consent.

You are requested to issue

☐ A final
☐ An interim

code compliance certificate accordingly (except where a code compliance certificate has been issued by a building certifier as stated below).

The attached particulars include:

☐ Building certificates
☐ A code compliance certificate issued by a building certifier
☐ Producer statements

Signed by or for and on behalf of the owner:

Name: Mark Raffills

Position: Owner Date: 13-1-98,

Business hours contact phone no.: 544 4975



BUILDING CONSENT SUMMARY 971688

Applicant: MARK RAFFILLS : 5442624
Project location: BARNETT AVE, BEST ISLAND
Legal description: LOT 25 DP5090 BLK II WAIMEA SD

Project descrn: ALTERATIONS, REPAIRS or EXTENSIONS
BEING STAGE 1 OF AN INTENDED 1 STAGES
TO BUILD DECK

Intended life: INDEFINITE, BUT NOT LESS THAN 50 YEARS

Intended uses: DECK

Builder: GRAHAM WEIR 5441349

Valn No.: 1938092400

Date issued: 6/11/97

Overseer: Karl Van Hoppe *CHIA*

FILE

INSPECTION DETAILS:

16.3.98. Additional nail plates + bolts required to
fasten connectors.

Completed OK.

SIGNED:

[Signature]

DATE:

25/5/98



CONDITIONS OF BUILDING CONSENT 971688

- 1 The owner or person undertaking the building work shall advise of completion of work by returning the "Advice of Completion of Building Work" form which accompanied the consent.
- 2 A copy of this consent is to remain on site at all times and you should ensure that a copy is given to any tradesmen e.g. your builder, plumber and drainlayer..
- 3 All Building Work shall comply with the New Zealand Building Code notwithstanding any inconsistencies which may occur on the Drawings and Specifications.
- 4 This consent will expire if building work is not commenced within 6 months from the date of issue unless a written extension of time is obtained from the Building Inspector.

Application for Building Consent

This application is made under Section 33 of the Building Act 1991

To: Tasman District Council

Building Consent No: 971688

Date Issued: 6/11/97

APPLICATION DETAILS

Applicant*

MARK RAFFILL

Full name of applicant

Postal Address

Barnett Ave. Best Island RDI Richmond

Name and Address for Service (if different to above)
(Name and Address to which documentation will be sent)

Contact Name

As above

Postal Address

Phone 5442624 Fax _____

* Under Section 33 of the Building Act, the applicant must be the owner of the land on which building work is contemplated or a person who or which has agreed in writing, whether conditionally or unconditionally, to purchase the land or any leasehold estate or interest in the land, or to take a lease of the land, while the agreement remains in force.

Project Location

Barnett Ave Best Isl.

Street Address

Legal Description

Lot 25 DP5090
1938092400

Valuation Number

This Application is for:

☐ Building Consent only, in accordance with project information memorandum

No. _____

☐ Both building consent and a project information memorandum.

Project Description

- ☐ New Dwellings
- ☒ Alterations to Dwellings(s)
- ☐ Domestic Garage(s)
- ☐ Shed(s) and Other(s)
(e.g. foundations demolition)
- ☐ Heating
- ☐ Commercial / Industrial

Indicate clearly details of building work,
e.g. New dwelling with internal garage and installation
of wood burner.

Intended Use

Deck

Total Estimated Value of Project

Total (Inc. GST) \$ 3,200-00

Intended Life

- ☒ Indefinite life but not less than 50 years.
- ☐ Specified as _____ years
- ☐ Demolition

Being Stage _____ of _____ stages

Plan Zone

PROJECT DETAILS (Complete only if you have not applied separately for a project information memorandum)

This project involves the following matters (tick each applicable box, if any, and attach relevant information in duplicate):

- ☐ Location in relation to legal boundaries, and external dimensions of new, relocated, or altered buildings.
- ☐ New provisions to be made for vehicular access, including parking.
- ☐ Provisions to be made in building over, or adjacent to, any road or public place.
- ☐ New provisions to be made for disposing of stormwater and wastewater.
- ☐ Precautions to be taken where building work is to take place over existing drains or sewers or in close proximity to wells or water mains.
- ☐ New connections to public utilities.
- ☐ Provisions to be made in any demolition work for the protection of the public, suppression of dust, disposal of debris, disconnection from public utilities, and suppression of noise.
- ☐ Any cultural heritage significance of the building or building site, including whether it is on a marae.

BUILDING DETAILS

This application is accompanied by (cross each applicable box and attach relevant documents in duplicate):

The drawings, specifications and other documents according to which the building is proposed to be constructed, to comply with the provisions of the Building Code, with supporting documents, if any, including:

- ☐ Building Certificates
- ☐ Producer Statements
- ☐ References to accreditation certificates issued by the Building Industry Authority
- ☐ References to determinations issued by the Building Industry Authority
- ☐ Proposed procedures, if any, for inspection during construction

KEY PERSONNEL

	Name and Address	Phone	Regn. No.
Builder(s)	GRAHAM WEIR	544 1349	—
Registered Drainlayer			
Craftsman Plumber			
Building Certifier			
Designer			

Note: The Craftsman Plumber / Registered Drainlayer are to complete a separate advisory sheet. This advisory sheet is to be returned to Council prior to work commencing.

STATISTICAL INFORMATION

Floor area: 25.89 m² No. of dwelling units: _____ No. of storeys: _____
Total Site Coverage of ALL buildings: _____

GENERAL

1. Please note that a building consent does not give any form of consent under the Tasman Resource Management Plan. Any such consent should be obtained separately prior to the lodgement of an application for building consent.

2. **Tasman Resource Management Plan (the Plan)**

- (a) A **relocated dwelling** requires a resource consent under Section 16.8 of the plan.

- (b) If building with 200 m of a **coastline** you may require a resource consent under Sections 18.12 or 18.14 of the plan.

Please provide a copy of, or details of, any resource consent obtained which relates to your application for building consent.

3. **Plans and Specifications**

In order for processing to commence the following attachments will be required:

- | | |
|---|--------------------------|
| ★ Two sets of Plans and Specifications; | ★ Accurate Site Plan; |
| ★ Bracing Schedule & Subfloor Bracing; | ★ Cross-section; |
| ★ Certificate of Title; | ★ Truss Number; |
| ★ Accurate On-site Drainage Disposal System Plan; | ★ Schedule of Materials. |

In addition to the structural details required, the plans and sections shall show every floor of the proposed building, the dimensions, position and intended use of the rooms and the situation of the flues, fireplaces, stoves and chimneys. The plans and sections shall further show the levels, both existing and proposed, adjoining the building and the proposed means of water supply.

Drawings required for works such as garages, outbuildings, barns, carports etc. are: site plan, floor plan, cross-sections and two elevations only.

If the land you are building on is the result of a subdivision, please provide details of any building related matter included in that subdivision.

4. **Site Plans are required to show:**

- external boundary dimensions
- adjoining properties with current land use shown (eg. orchard, forestry etc).
An aerial photo would assist.
- location and size of all existing and proposed buildings on the property showing distances to boundaries and between the buildings.
- the position of north.
- if overhead wires are present.
- site access (if new construction)

5. **Have you included the following details in support of this application (if applicable):**

- Two sets of plans and specifications.
- Bracing schedule and subfloor bracing.
- Accurate onsite drainage disposal system plan.
- Proposed water supply.
- Accurate site plan.
- Cross section.

- Truss numbers.
- Schedule of materials.
- Certificate of Title.
- Any subdivision requirements that need to be met.

6. Confidentiality

Section 27 of the Building Act states that the application details shall be made available for public inspection. Subsection 3, however, allows an owner to mark plans and specifications as confidential due to copyright or security reasons.

☐ Confidentiality requested for plans and specifications

7. Connection Fees

Depending on the area in which you build, and if you are connecting to the Council's sewerage or water schemes, a connection fee may be payable. For further information, please obtain the guide titled "Reminder - Sewer and Water Connection Fees" from Council offices.

8. Development Impact Levy

For building work with assessed value greater than \$50,000 (first dwellings exempt) a development impact levy is payable.

Signed: by/for and on behalf of applicant: _____

Position: _____

Date: 24 Oct 1997

TASMAN DISTRICT COUNCIL OFFICES

MAIN OFFICE	MOTUEKA SERVICE CENTRE	GOLDEN BAY SERVICE CENTRE	MURCHISON SERVICE CENTRE
9 Queen Street Private Bag 4, Richmond 7031 Ph: (03) 544-8176 Fax (03) 544-7249	7 Hickmott Place P O Box 123, Motueka Ph: (03) 528-7700 Fax: (03) 528-9751	78 Commercial Street P O Box 74, Takaka Ph: (03) 525-9516 Fax: (03) 525-9972	92 Fairfax Street P O Box 53, Murchison Ph: (03) 523-9004 Fax: (03) 523-9004

For Council Use Only

Checked by:	Initials	Date
Plumbing & Drainage		
Building		
Health		
Land Use		

Fees Payable (GST incl):

Resource Consent - Minor	\$ 75.00
Building / Plumbing / Drainage**	\$ 150.00
BRANZ Levy	\$
BIA Levy	\$
Temporary Accommodation Bond	\$
Compliance Schedule	\$
Sewer Connection	\$
Stormwater Connection	\$
Water Connection	\$
Development Impact Levy	\$
TOTAL	\$ 150.00

Approved for Issue of Building Consent:

Technical Officer: _____

Date: 30/10/97

Tax Invoice Sent/...../.....

Receipt No. 500809 \$225.00

** Council bases its fee on the cost of processing the total building project as follows:

- (a) **Administration:** Receiving and issuing the consent plus checking plans etc. for Building Code compliance.
- (b) **Inspections:** Council is required to inspect certain stages and elements of construction for Building Code compliance.
- (c) **Code Compliance Certificate:** At the project's completion, Council will, if satisfied work complies to the Building Code, issue a certificate, which is an important document for future property dealings.

PIM / BUILDING CONSENT SCREENING

BC 971688
 Name: Mark Phillips
 Address: Barnett Ave
Best Island
 Valuation Roll No. 1938092400

RM _____
 Date Received: 28/10/97
 FI: _____
 FR: _____
 Due Date: _____

Property Enquiry ("G") for new dwellings and commercial.

TRMP Zoning: Residential Is the activity a Permitted Activity: YES ☒ NO
 Signed: Mark Phillips Date: 31/10/97

BUILDING

A01	A05	BG03	BG08	BG14	BG18	BG22	BG27	BG31	BG35
A02	A06	BG04	BG09	BG15	BG19	BG23	BG28	BG32	BG36
A03	BG01	BG05	BG11	BG16	BG20	BC25	BG29	BG33	BG37
A04	BG02	BG06	BG12	BG17	BG21	BC26	BG30	BG34	BG38

Signed: Mark Phillips Date: 30/10/97
 Any Section 44 Systems, (e.g. fire alarms, emergency lighting etc)? If Yes: BG 35.

PLUMBING AND DRAINAGE

PD01	PD04	PD05	PD06	PD07	PD08	PD09	PD10	PD11	PD12
------	------	------	------	------	------	------	------	------	------

Toilet Pans No.

Connection to Council Services?

Water
Sewer

Yes/No
Yes/No

Is connection in an area where a connection fee is payable?

Yes/No

☐ PD14 → Generate Invoice

Signed: _____ Date: _____

HEALTH

Signed: _____

Date: _____

OTHER

Signed: _____

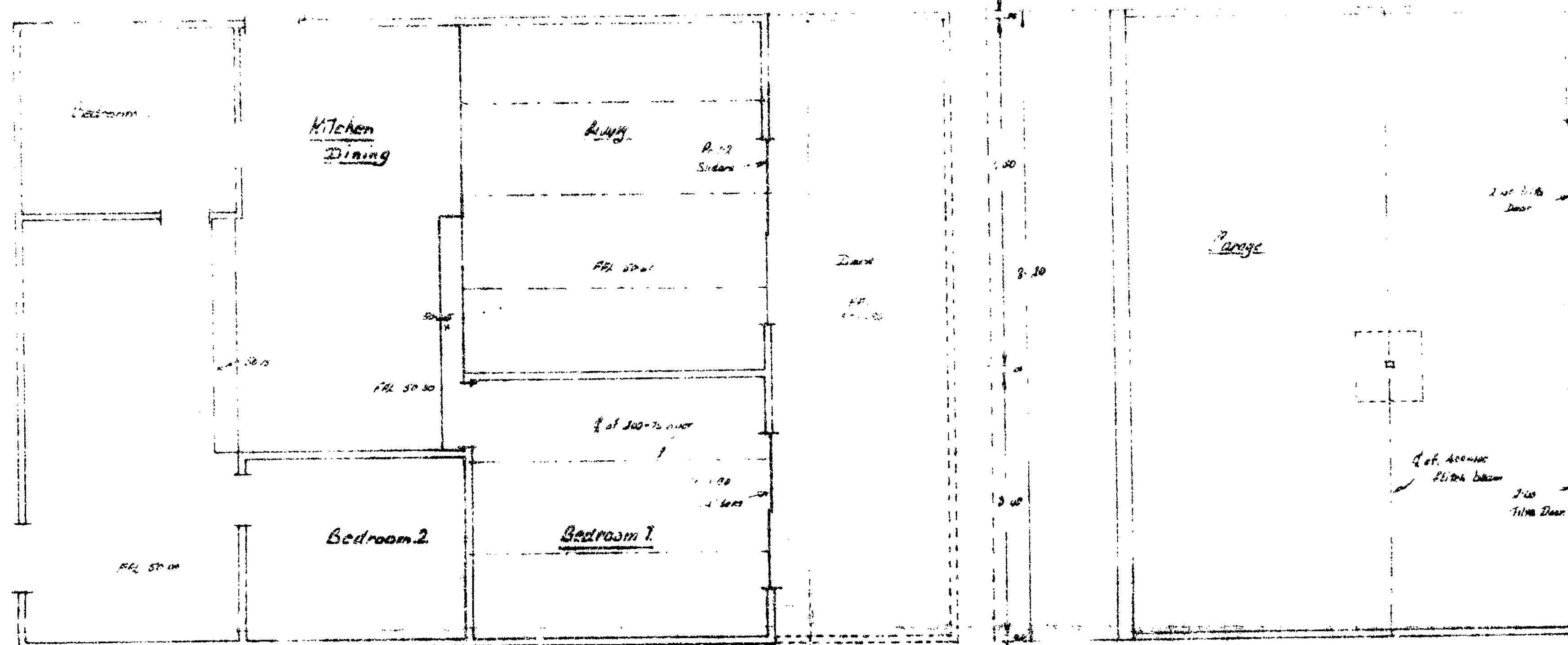
Date: _____

Building Checklist

Foundations	Bearers and joints
Insulation	Wall bracing
Lintels	Second floor joists
Cantilever lintels	Purlins
Rafters	Log burner
Garage beam	Daylight angle
Producer Statements	Building height
Subfloor bracing	Setbacks

Plumbing and Drainage Checklist

Sewerage disposal
Stormwater disposal
Water supply

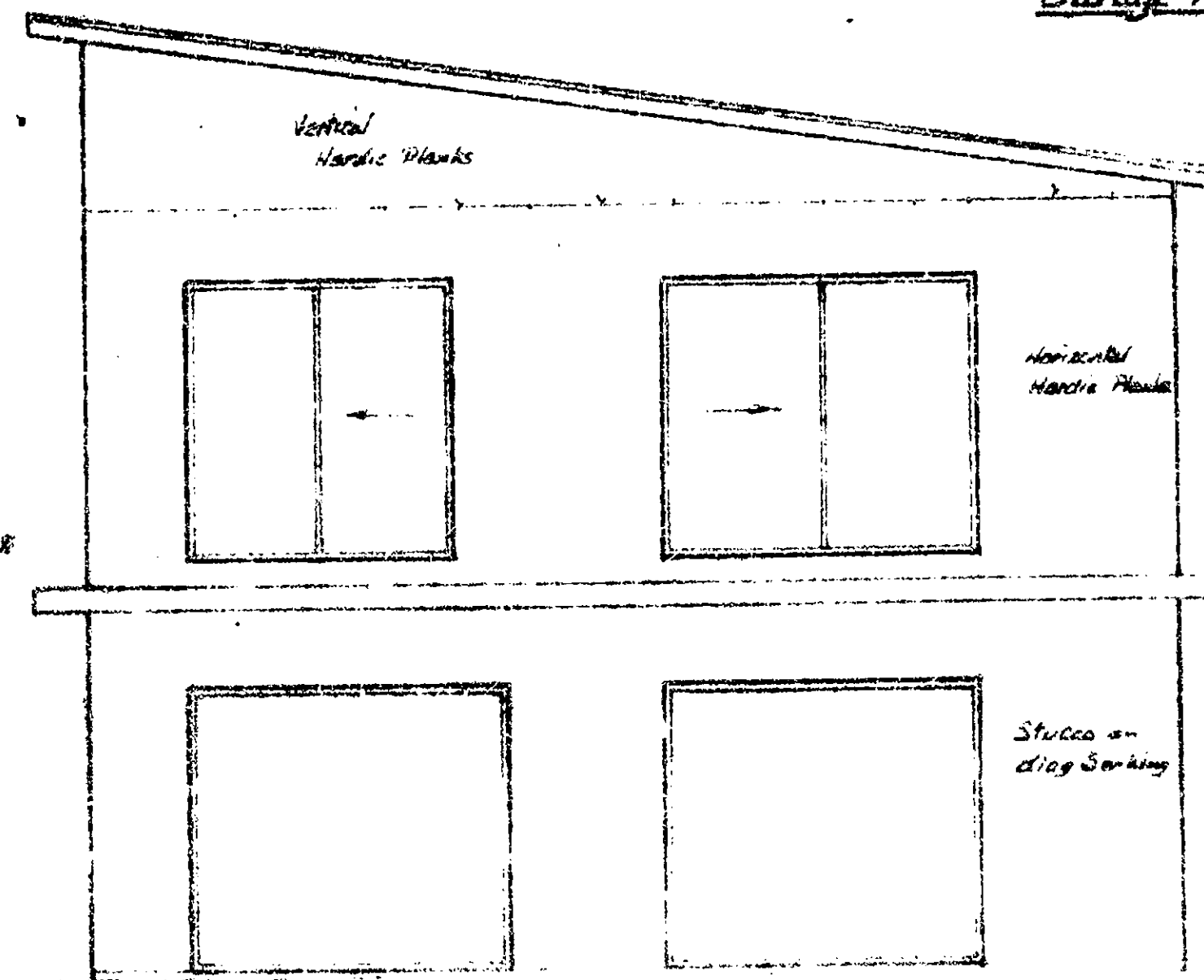
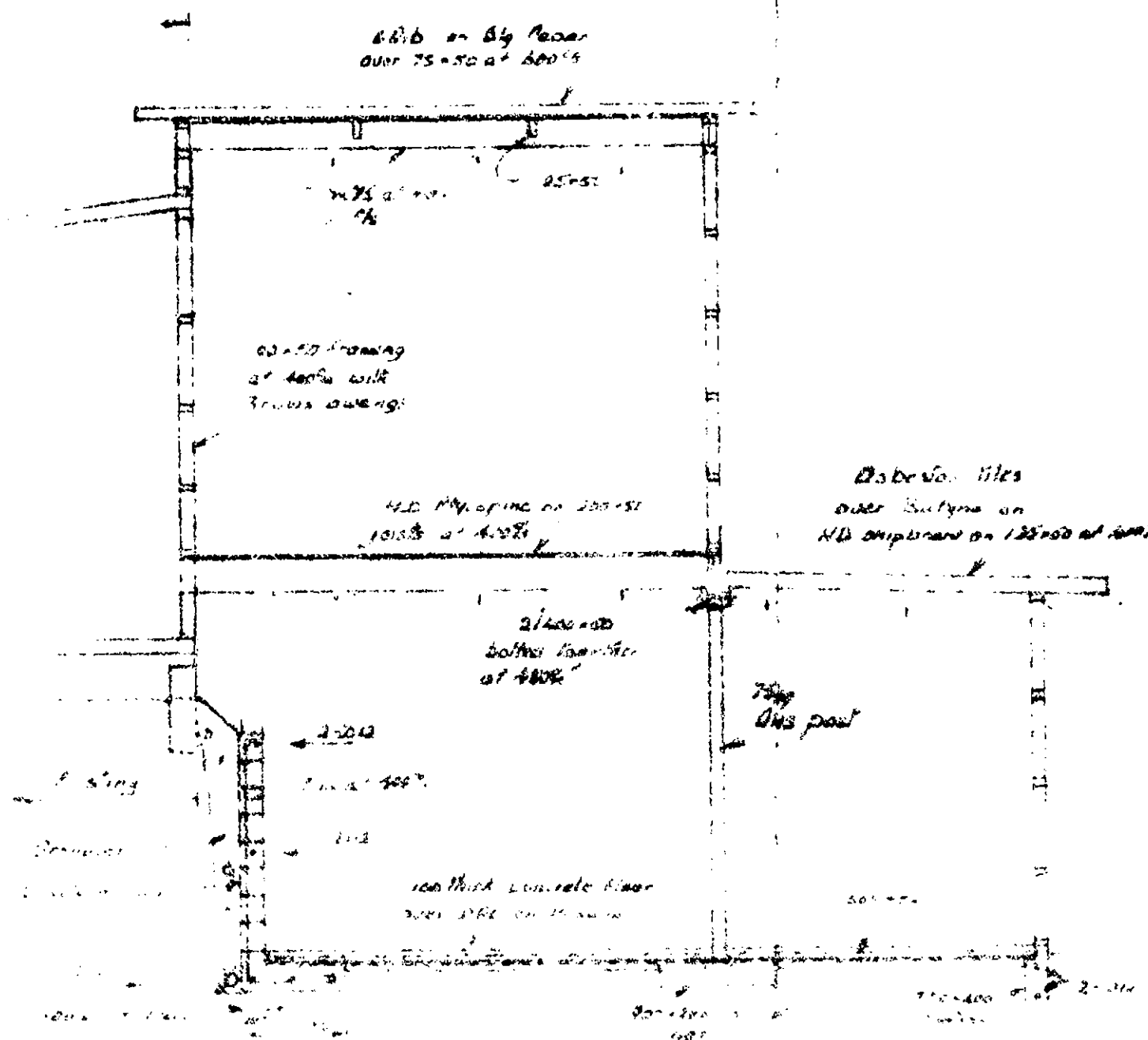


WAIMEA COUNTY COUNCIL
 These are the plan specifications referred to in
 Building Permit No. **64137**
 Dated 10/11/87
 - **ALW.** BUILDING INSPECTOR

Main Floor Plan

Garage Plan

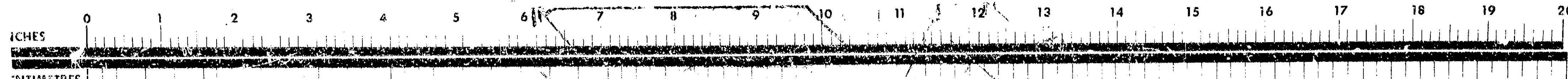
Cross Section
 Typical

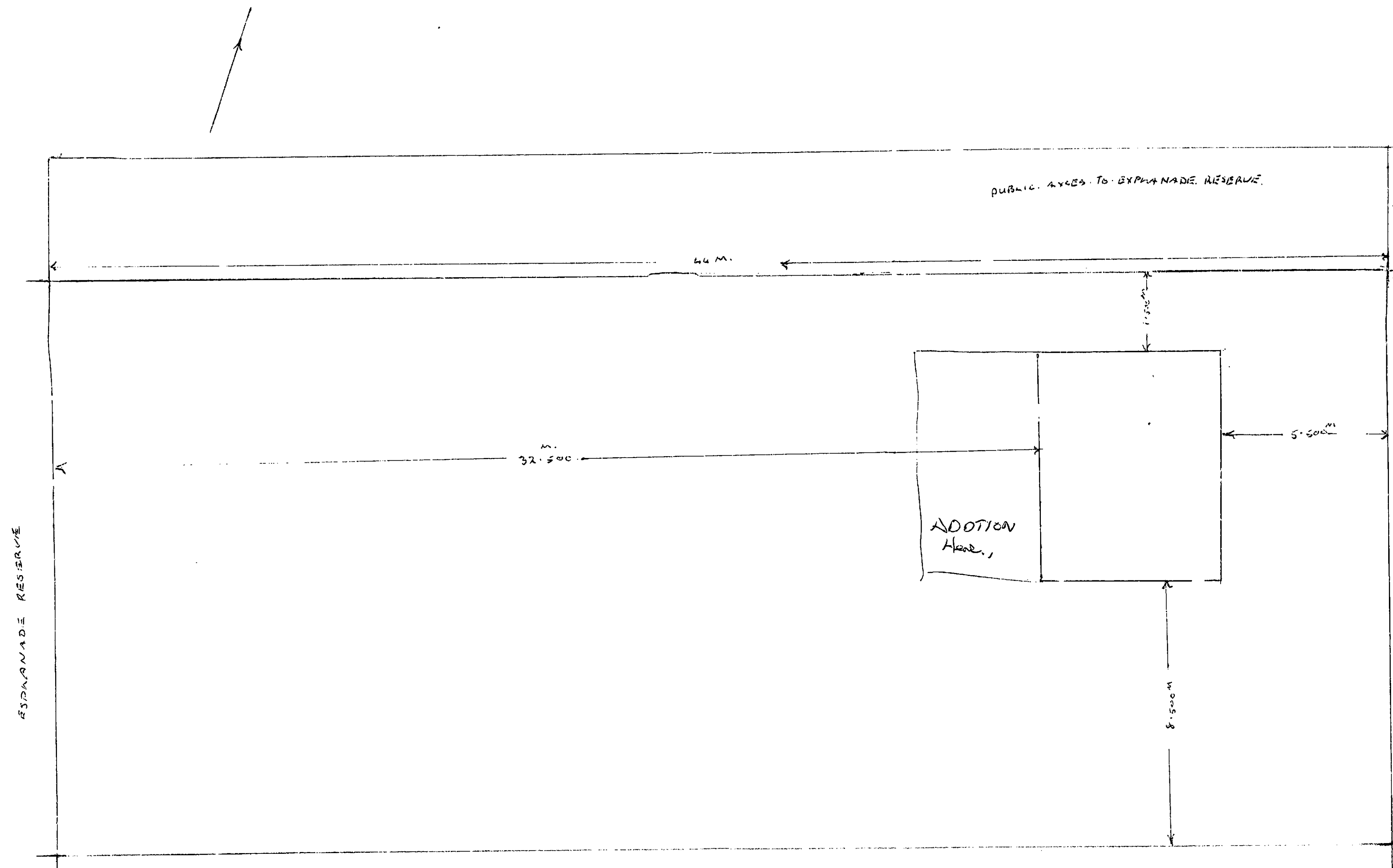


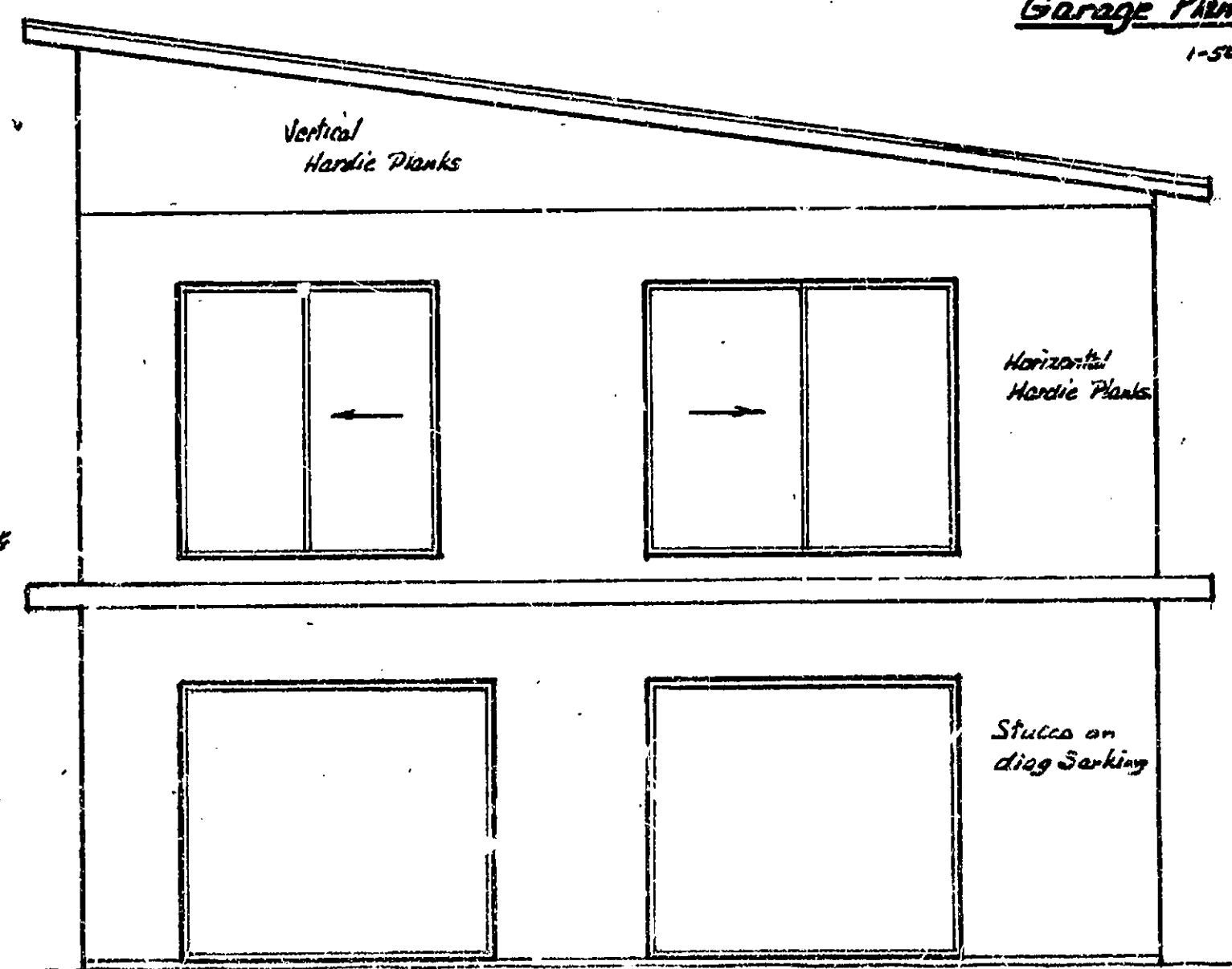
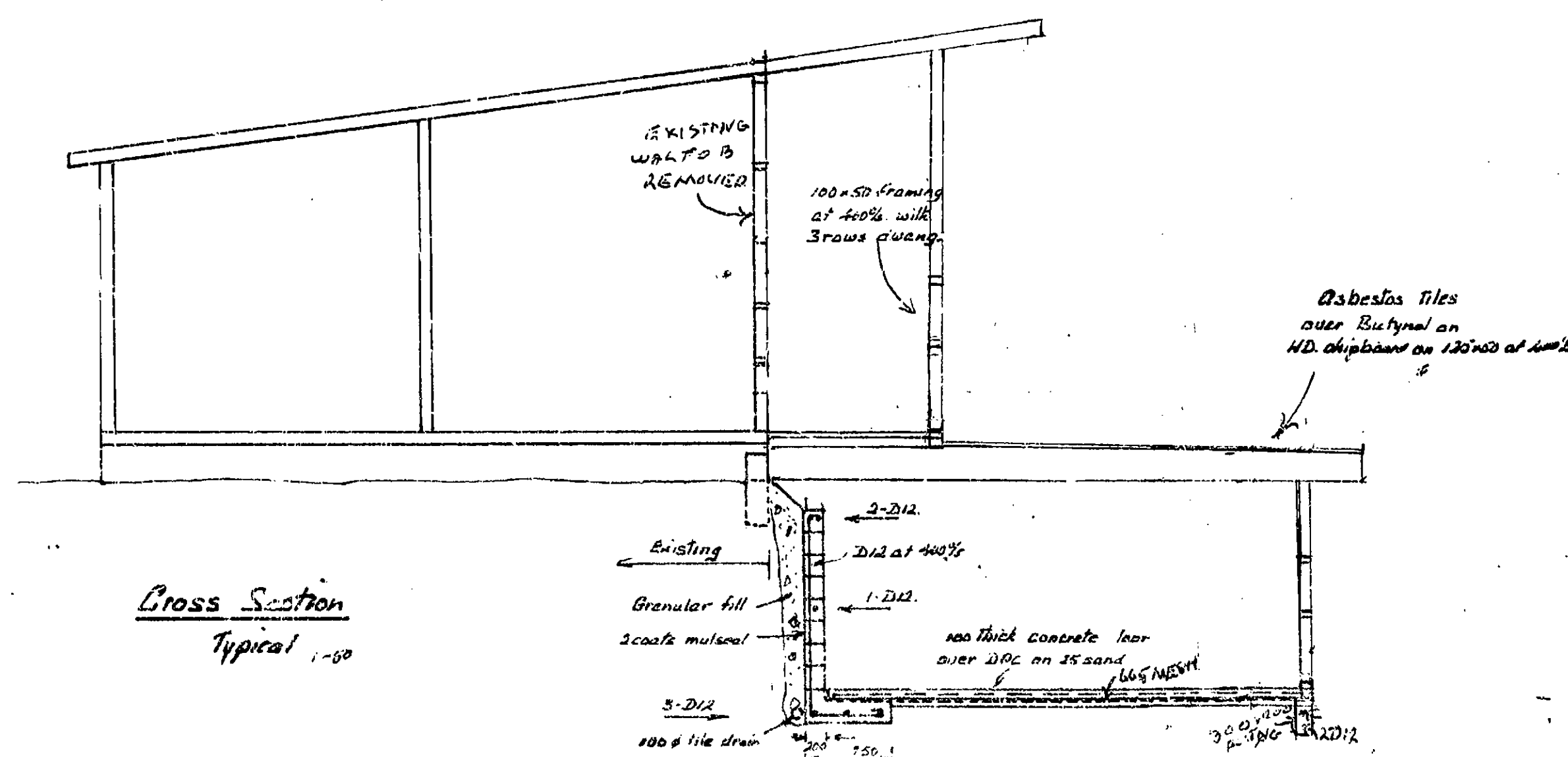
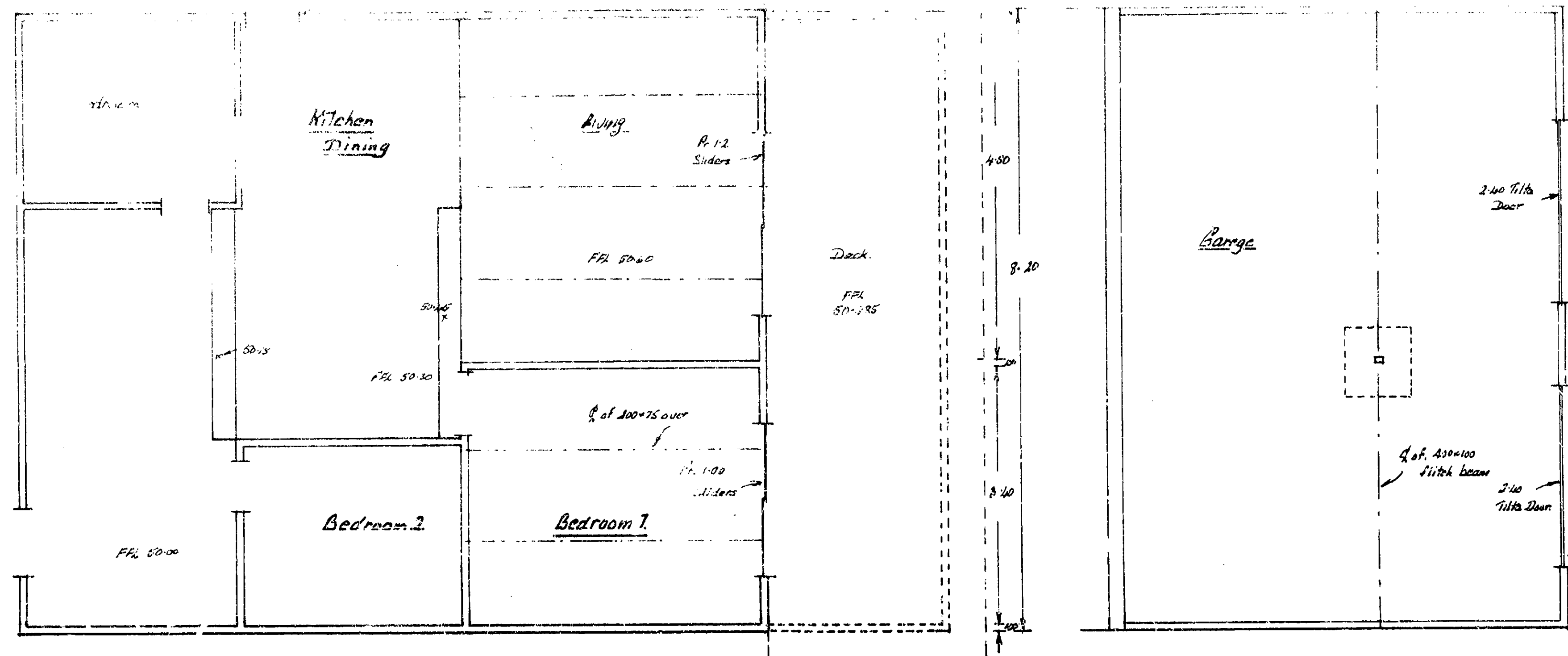
19350/780/25 North Elevation

PROPOSED ADDS and Alterations to Mr. Boyd's House

Locality Rm over 2



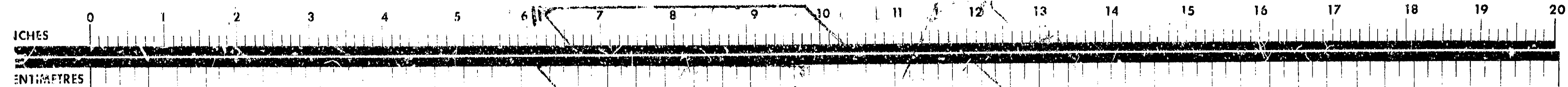




19350/780/25

PROPOSED ADDS and Alterations for Mr. R. Boyd Bests Island.
 R.L. - 5152

19350/780/25			SHEET
1			
DRAWN	CHECKED	SERIES	SERIES OF
DATE 12-9-51	DATE 12-9-51	AS SHOWN	REF



Building Consent**140161**

Form 5: Section 51, Building Act 2004

The building

Street address of building: 139 Barnett Avenue, Best Island
Legal description of land where building is located: Lot 25 DP 5090
Valuation number: 1938092400
Building name: Level/unit number:
Location of building within site block no:

The owner

Name of owner: Bernadette Strickland
Contact person:
Mailing address: 139 Barnett Avenue, RD 1, Richmond 7081
Street address/registered office:
Phone number: Landline: Mobile: 0221607156
Daytime: After hours:
Facsimile number: Email address: bernstrickland@gmail.com
Website:
First point of contact for communications with the council/building consent authority:
Full Name: Gowans Walters & Associates Ltd
Mailing Address: C/- Allan Walters, PO Box 3608, Richmond
Phones:: 5449499
Email: allan@gowanswalters.co.nz

Building work

The following building work is authorised by this building consent:

Deck and verandah addition to dwelling: Intended Use: Housing - detached

This building consent is issued under section 51 of the Building Act 2004. This building consent does not relieve the owner of the building (or proposed building) of any duty or responsibility under any other Act relating to or affecting the building (or proposed building).

This building consent also does not permit the construction, alteration, demolition, or removal of the building (or proposed building) if that construction, alteration, demolition, or removal would be in breach of any other Act.

Building Consent Conditions

The building inspector is to be notified at least one working day prior to the following inspections:

This building consent is issued subject to the following conditions:

The owner or person undertaking the building work shall advise of completion of work by returning the "Application for Code Compliance Certificate" form which accompanied the consent.

A copy of this consent is to remain on site at all times and you should ensure that a copy is given to any tradesmen e.g. your builder, plumber and drainlayer.

A building consent lapses and is of no effect if the building work to which it relates does not commence within 12 months after the date of issue of the building consent or any further period that the building consent authority may allow.

Compliance schedule

A compliance schedule is not required for the building.

Attachments

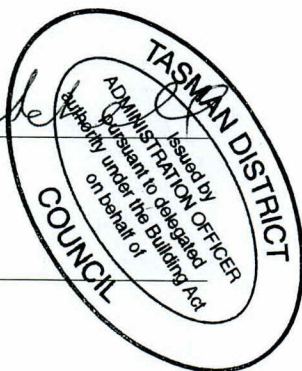
Copies of the following documents are attached to this building consent:

Site Inspection Sheet

Application for Code Compliance Certificate

Signature

Position



On behalf of: Tasman District Council Date: 1/05/14

Additional Information to Building Consent

The owner

Name of owner: Bernadette Strickland

Contact person:

Building work

The following building work is authorised by this building consent:

Deck and verandah addition to dwelling: Intended Use: Housing - detached

The following information accompanies Building Consent 140161 and should be read in conjunction with inspection conditions.

The Building Inspector is to be given 24 hours' notice before carrying out inspections:

It is Council policy to apply a standard charge; however it reserves the right to assess individual cases as required. Additional charges may be requested if costs or inspections incurred exceed the standard.

If this project contains Restricted Building Work (RBW), the details of the site Licensed Building Practitioner (LBP) will be required prior to the first inspection taking place.

At the completion of RBW, and in conjunction with the 'application for code compliance certificate' a Record of Works (RoW) will be required from any site LBP's that have been involved in the project.

The owner or person undertaking the building work shall advise of completion of work by returning the "Application for Code Compliance Certificate" form which accompanied the consent.

A copy of this consent is to remain on site at all times and you should ensure that a copy is given to any tradesmen e.g. your builder, plumber and drainlayer.

A building consent lapses and is of no effect if the building work to which it relates does not commence within 12 months after the date of issue of the building consent or any further period that the building consent authority may allow.

Tasman District Council
Email info@tasman.govt.nz
Website www.tasman.govt.nz
24 hour assistance

Richmond
189 Queen Street
Private Bag 4
Richmond 7050
New Zealand
Phone 03 543 8400
Fax 03 543 9524

Murchison
92 Fairfax Street
Murchison 7007
New Zealand
Phone 03 523 1013
Fax 03 523 1012

Motueka
7 Hickmott Place
PO Box 123
Motueka 7143
New Zealand
Phone 03 528 2022
Fax 03 528 9751

Takaka
14 Junction Street
PO Box 74
Takaka 7142
New Zealand
Phone 03 525 0020
Fax 03 525 9972

Summary of Building Consent

Application

Bernadette Strickland	No.	140161
139 Barnett Avenue	Issue date	1/05/14
RD 1		
Richmond 7081	Overseer	Building Consent Solutions

Project

Description	Dwellings - Alterations & additions Being Stage 1 of an intended 1 Stages Deck and verandah addition to dwelling
Intended Life	Indefinite, but not less than 50 years
Intended Use	Housing - detached
Estimated Value	\$18,000
Location	139 Barnett Avenue, Best Island
Legal Description	Lot 25 DP 5090
Valuation No.	1938092400

01 Siting/Foundations Building profiles in place, trenches dug & steel placed in, any plumbing penetrations put in.

LBP details required prior to inspection

04 Timber Sub-floor Bearers, floor joists, solid blocking, brace connections in - below 600mm S/S, Insulation placed. Prior to flooring being installed.

LBP details required prior to inspection

05 Framing & structure/walls/roof and associated wide lintel and bottom plate fixing before covering in.

LBP details required prior to inspection

07 Pre-line brace/insulation/plumbing: Internal framing and bracing location and fixings and insulation material in place before the walls are lined.

LBP details required prior to inspection

17 Drainage/Sewer/Stormwater: All in-round sewer & storm-water pipes, connections etc before covering up.

29 Final Inspection: Interior/Exterior/Certs CCC New Residential dwelling when construction has been completed & CCC application received with required final documentation

Inspection Details:



**Certificate attached to Territorial Authority Notification -
140161PR**

Section 37, Building Act 2004

**Restrictions on commencing building work
under the Resource Management Act 1991**

The building work referred to in the attached Territorial Authority Notification is also required to have the following resource consent under the Resource Management Act 1991:

Resource Consent is required for non-complying setbacks.

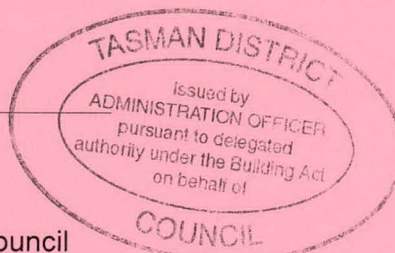
As this resource consent will or may materially affect the building work to which the attached Territorial Authority Notification relates, until it has been granted

**no building work may
proceed**

Failure to comply with the requirements of this notice may result in legal action being taken against you under the Resource Management Act 1991.

Signature

Position



On behalf of: Tasman District Council

Date: 20 March 2014



Territorial Authority Notification
Section 31, Building Act 2004

Application

Bernadette Strickland	No.	140161P
139 Barnett Avenue	Issue date:	20/03/14
RD 1	Application date:	27/02/14
Richmond 7081		

Project

Description:	Dwellings - Alterations & additions Being Stage 1 of an intended 1 Stages Deck and verandah addition to dwelling
Intended Life:	Indefinite, but not less than 50 years
Intended Use:	Housing - detached
Estimated Value:	\$18,000
Location:	139 Barnett Avenue, Best Island
Legal Description:	Lot 25 DP 5090
Valuation No.	1938092400

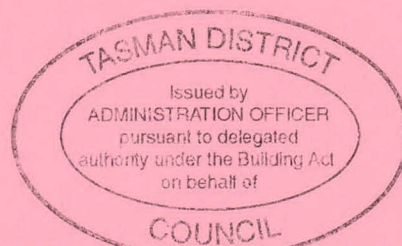
This Territorial Authority Notification is confirmation the proposed project may be undertaken, subject to the provisions of the Building Act 2004, which requires **BUILDING CONSENT TO BE GRANTED AND ISSUED BEFORE ANY BUILDING WORK CAN COMMENCE.**

This Territorial Authority Notification includes:

- ☐ Details of relevant utility systems
- ☐ Notification of any other authorisations which must be obtained before the proposed building work may be undertaken
- ☐ Important information

Signed for and on behalf of the Council:

Name:



Date: 20 March 2014



Territorial Authority Notification [continued]

Engineering

No current issues.

Land Use

Your proposal to construct a roofed entry deck will result in a reduced setback from the MHWS to the west of the site, this is not permitted under rule 18.11.2.1(c)(ii) of the Tasman Resource Management Plan and will require resource consent.

If you wish to discuss this matter further with a Land Use Consent Planner, please phone Tasman District Council Customer Services on (03) 543 8400 and ask to speak to one of the Planners listed below.

For building consents in Richmond, St Arnaud, Wakefield, Brightwater, Murchison or Mapua areas contact:

Mon	Jane Harley	jane.harley@tasman.govt.nz
Tue-Wed	Liz Lightbourne	liz.lightbourne@tasman.govt.nz
Thu-Fri	Jack Andrew	jack.andrew@tasman.govt.nz

Natural Resources

No current issues.

Natural Hazards

Council has no record of the property being affected by flooding, land contamination, land instability or specific earthquake hazards. The property is located on the eastern, seaward facing margin of Best Island, separated from the coastal edge by a Council esplanade reserve. The reserve and seaward frontage of the property (at around 3.5m-4m amsl) may be subject to seawater inundation during periods of high spring tide and storm surge and this risk will increase in a future projected climate change and sea level rise scenario. The house is built on a pile foundation on a ridge of well elevated ground rising to over 4.5m amsl on the western edge of the property. The proposed deck and verandah is located on the west face of the house, also with a pile foundation and is not considered subject to flooding or other hazard risk.

Contaminants

No current issues.



Territorial Authority Notification [continued]

Building

If this project contains Restricted Building Work (RBW), the details of the site Licensed Building Practitioner (LBP) will be required prior to the first inspection taking place.

At the completion of RBW, and in conjunction with the 'Application for Code Compliance Certificate' a Record of Works (RoW) will be required from any site LBP's that have been involved in the project.

Licences

No current issues.

APPLICATION FOR CODE COMPLIANCE CERTIFICATE

1. What is the Building Consent? *Complete this field*

Building consent number:	170597
Issued by: (name of building consent authority)	TDC

2. Who owns the building? *Complete all fields, using N/A if a field is not applicable*

Owner name:	Carol Syme	Title: e.g. Mr, Mrs, Ms, Dr
Contact person:	Carol	
Owner mailing address:	139 Barnett Ave RD1 Richmond 7081	
Street address/ registered office:	u	
Owner email address:	carolbsyme@gmail.com	
Owner contact number:	021331504	
Are you using an Agent?	<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No <i>If Yes, please also complete the following:</i>
Who is the first point of contact for further correspondence?	<input type="checkbox"/> Agent	<input checked="" type="checkbox"/> Owner
Agent name:	Zink 2015 Ltd	
Agent email:	sales@zinkltd.co.nz	
Agent contact number:	544 0929	
Agent mailing address:	2 Champion Rd Richmond	

3. When was the building work completed? *Complete this field*

All building work to be carried out under the building consent specified on this form was completed on:	dd/mm/yyyy 28/06/2017
---	--------------------------

4. Who completed the building work? *Complete all fields on each line. You will need to complete one line for each building practitioner. Use a separate sheet if necessary.*

The licensed building practitioner(s) who carried out/supervised the restricted building work is/are:			
Name	Licensing class	LBP or registration number	Work carried out/ supervised
/			

Name	Licensing class	LBP or registration number	Work carried out/ supervised

Tradespeople who carried out building work other than restricted building work are as follows:

Name (Installer)	Address	Contact number	Registration number
Brad Colville	33 Todeesse St	0211921130	NZHAHA #1984
Plum Line Plumbing	P.O BOX 1505	0276356139	21714

Please list specified systems installed in the building or use N/A if this section is not applicable ☒ N/A

The following specified systems are contained on the compliance schedule for the building and, in the opinion of the personnel who installed them, are capable of performing to the performance standards set out in the building consent:

5. Declaration

☒ I understand that this application may *only* be made with the owner's approval (tick to indicate agreement)

I request that you issue a code compliance certificate for this work under section 95 of the Building Act 2004. The code compliance certificate should be sent to:

☒ Owner ☐ Agent ☒ Owner address as per Section 2 ☐ Agent address as per Section 2

Name:

Brad Colville

Signature:



Date:

28/6/17

You can add a digital signature to this document, either using Adobe or your existing digital signature.

Once you have filled out the form, including signatures, please save the application to your computer. You can then submit the application with supporting documentation to your local council.

If you are unsure about what information to include in your application, a guidance document is available ([click here](#)).

File Note

Valuation No: 1938092400

Property Owner: Bernadette Strickland

Property Address: 139 Barnett Ave, Best Island.

Date: 14th May 2015

From: Simon Kneebone, Building Inspector

Subject: Surface water

Service Request: No service request- came from a meeting with Bernadette while on BCO duty on 13th May 2015

An inspection of the above Property was undertaken at 10.30 Am on 14th May 2015 in response to a to a property inquiry by owner on 13th May 2015

Bernadette came into the TDC main office and was a bit concerned that she had to get a COA for surface water down pipes that had been altered on her property without consent.

There have been two down pipes that have been relocated and a low level earth bund formed around the lower part of Bernadette's property to prevent future surface water flooding, the earth bund would be deemed as natural landscaping.



View of the rear of the property, showing the down pipes in question.

The down pipe work was done since the region had some flooding issues from 2011 onwards.



The two down pipes are into nova coil type drains, these are removed away from the dwelling foundations



Earth bund formed deemed as landscaping



Land falls away from bund and both the neighbouring properties are higher the Bernadette's land, so the two down pipes discharge onto her land and does not affect the neighbouring properties and meets the requirement of E1.



25 September 2013

Bernadette Strickland
139 Barnett Avenue
Best Island RD1
Richmond 7061

FILE 1938092400

Dear Bernadette

You wrote to me recently about concerns you have about drainage around and flooding of your property at 139 Barnett Avenue, Best Island. I've asked Council's Regulatory Manager to provide some advice about your property and its history.

Our records show that the dwelling was first established as a holiday bach in 1959 and has been added to under permits or consents in 1981, 87, 97 and 98. The most recent inspection in 2010 was to sign off the elements of the building consented in 1998. What was accepted practice and the standard applied in 1959, 87, 97 and 98 is not necessarily the practice and standard of today.

The ground clearance issue which has caused some of the flooding issues related to the 1997 consent and not the 1998 consent and was the reason for the 2010 inspection. A drainage plan was provided to an inspector in 2010. That plan was required in order to show that provision had been made for the additional rainwater downpipe. The plan provided was deemed adequate for that purpose by the inspector.

You had additional drainage installed in sometime after December 2011. We have no record of a consent being issued for that work so we don't know what was put in or taken away. You should remedy that and make sure that the work you did is approved.

Having noted all of that the flooding events recently, especially in late April were exceptional. It is unlikely that any realistic amount of drainage would have prevented such low lying land getting inundated.

If you would like your property to be fully compliant can you please start by applying for a Certificate of Acceptance for your new drains and we will progress from there.

Yours sincerely

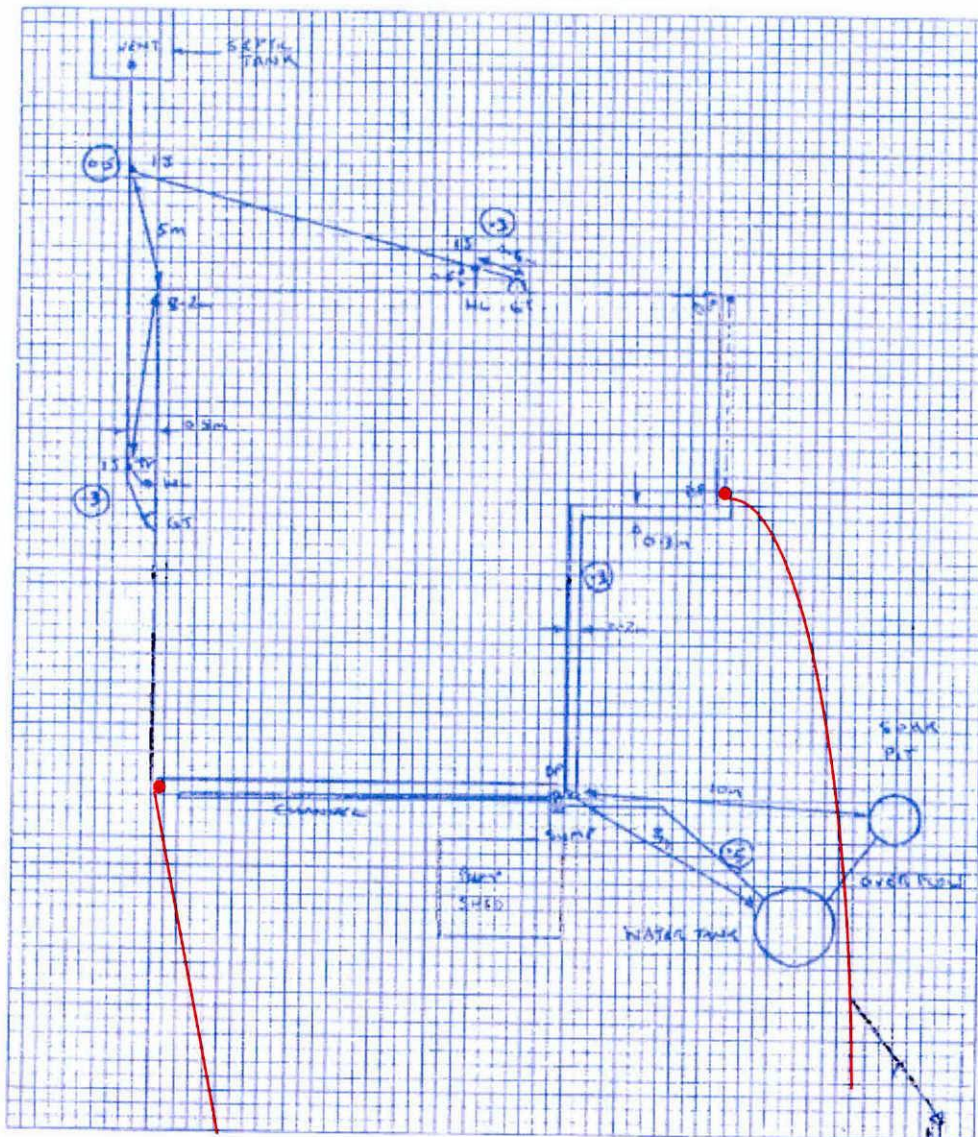


Lindsay McKenzie
Chief Executive

Lindsay's letter

TOWNSHIP BEST ISLAND

DRAINAGE PLAN



INSPECTED BY

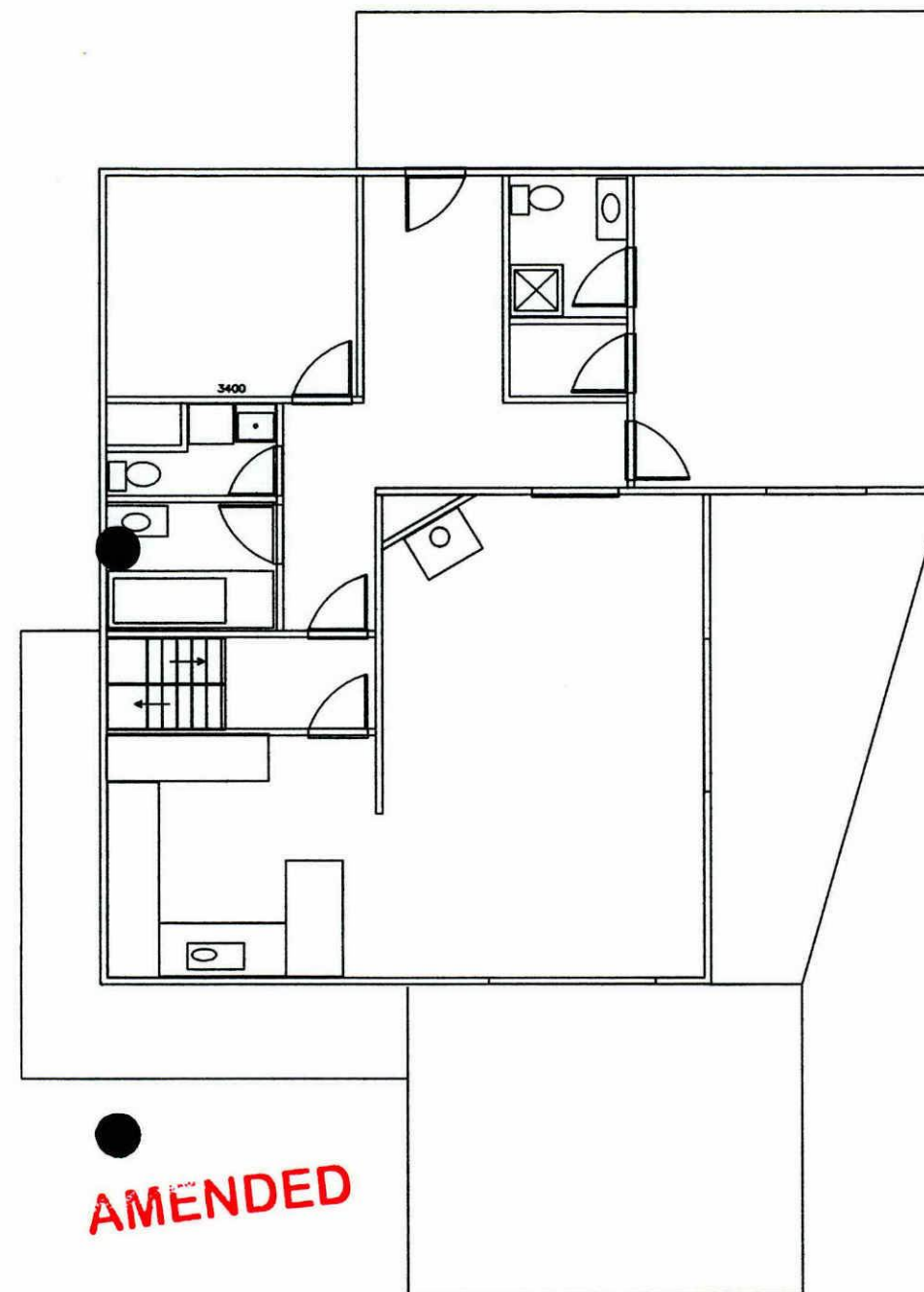
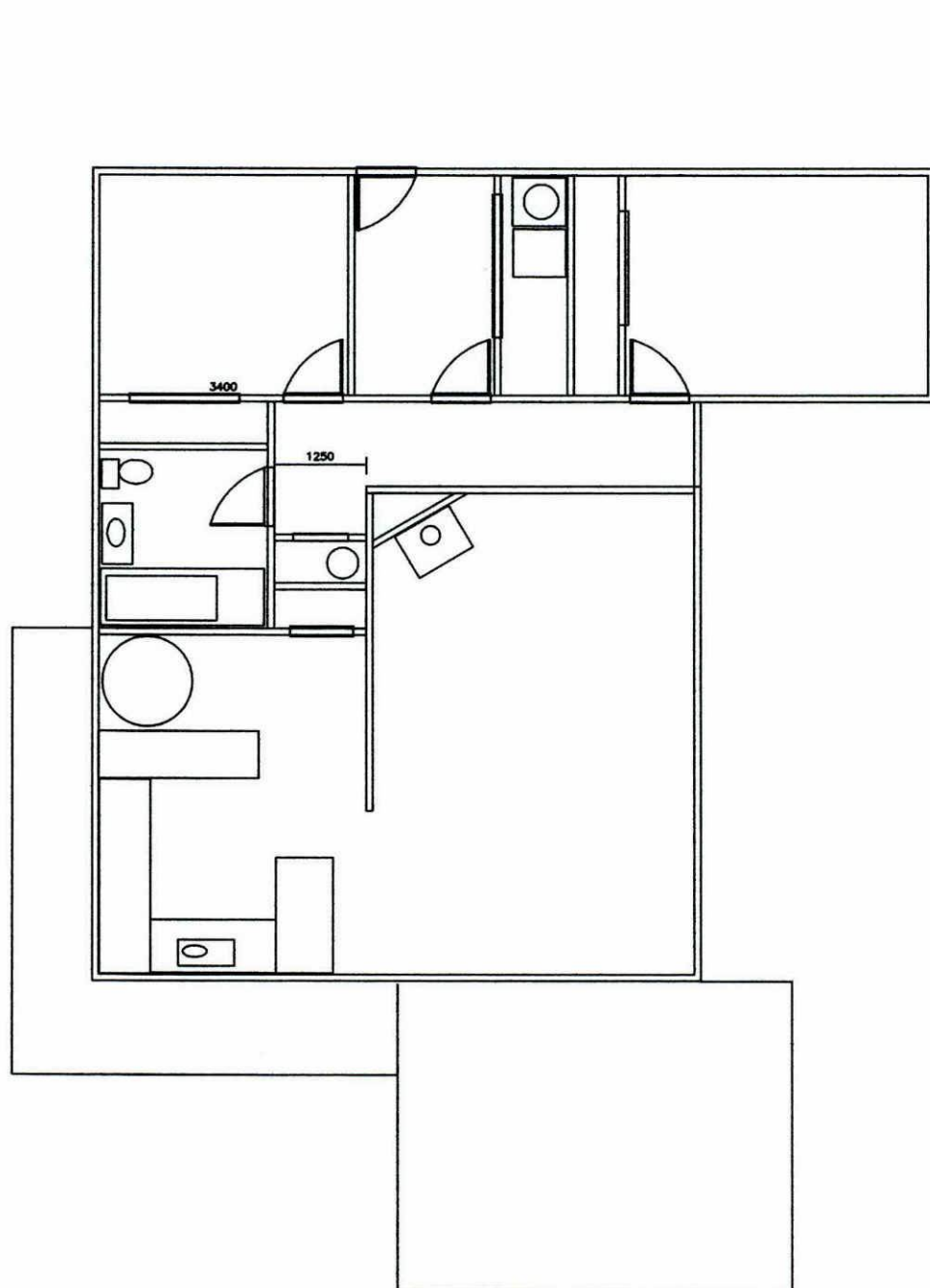
Existing soak pit is still in place, new located down pipes into garden away from the dwelling, discharging onto natural beach gravel sand below, into free draining land.

The down pipes that have been relocated to stop the soak pit from filling up quickly and flooding the basement of area the property in the rare rain events i.e. 1 in 100 year events, as the region as a whole will be effected, the down pipes have no effect discharging on the land and the pipes meet the requirements of Building code clause E1 by not discharging onto neighbouring property or under mining the dwelling foundations.

Although a COA is normally required on drainage work in this case a COA is not required as the nature of the land area is free draining coastal sand/ gravel.

Simon Kneebone

Building inspector



AMENDED

Revised plans and/or
details
received 22-10-09 date
approved 22-10-09 date

BC
no
980137.

General Notes		
No.	Revision/Issue	Date
Firm Name and Address		
Project Name and Address		
Project	Sheet	
Date		
Scale		

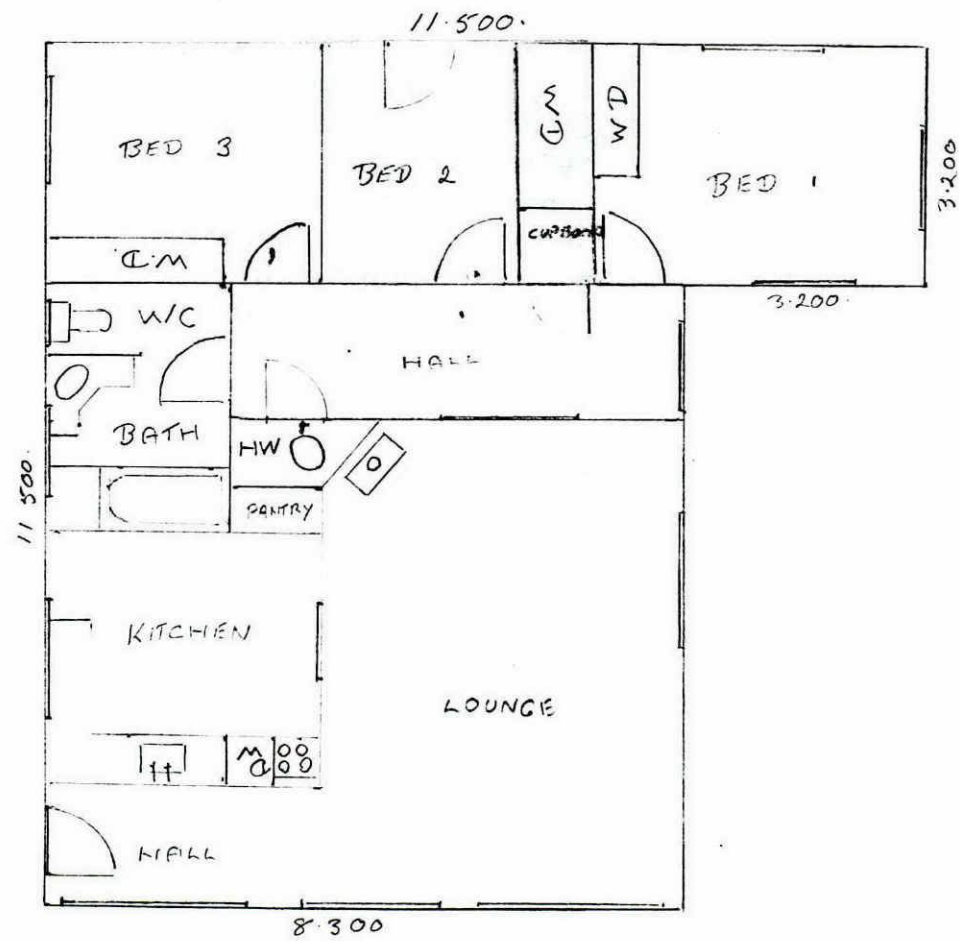
PROPOSED ALTERATIONS & ADDITION

FOR MR & MRS RAFFALLS

BARNETT AVE. BEST ISLAND

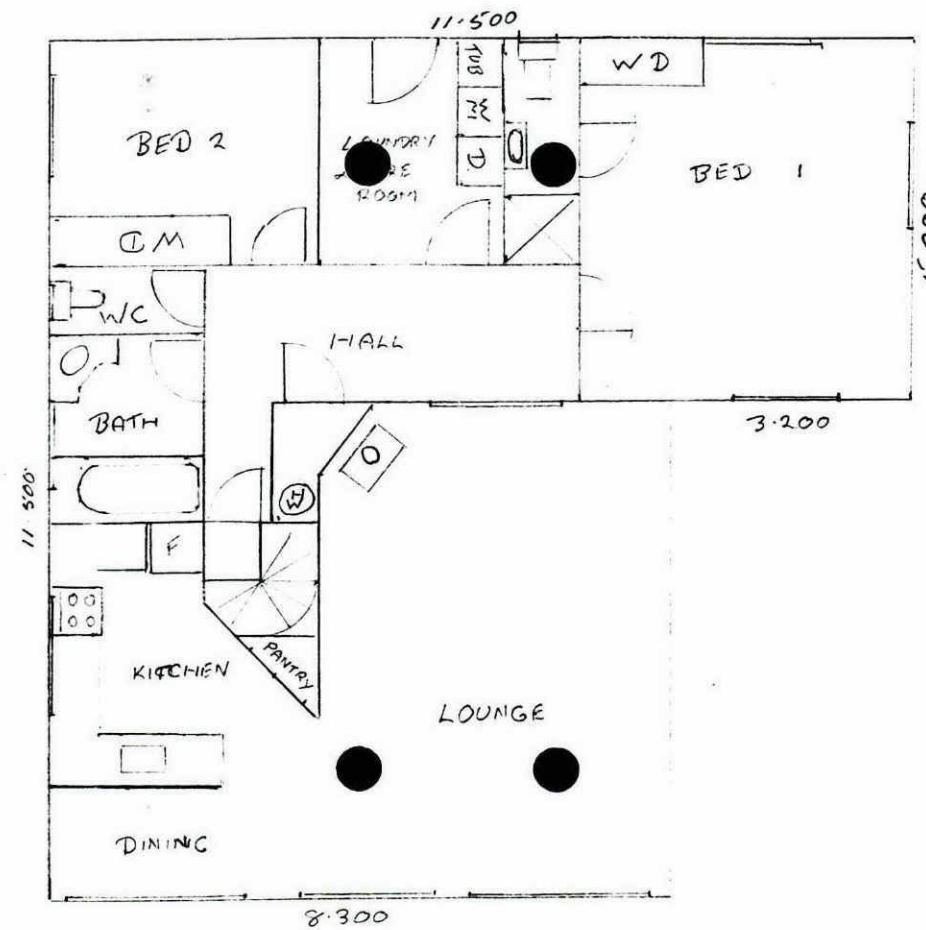
LOT 25 D.P. 5090 BLK 11 WAIMEA, SD

Before

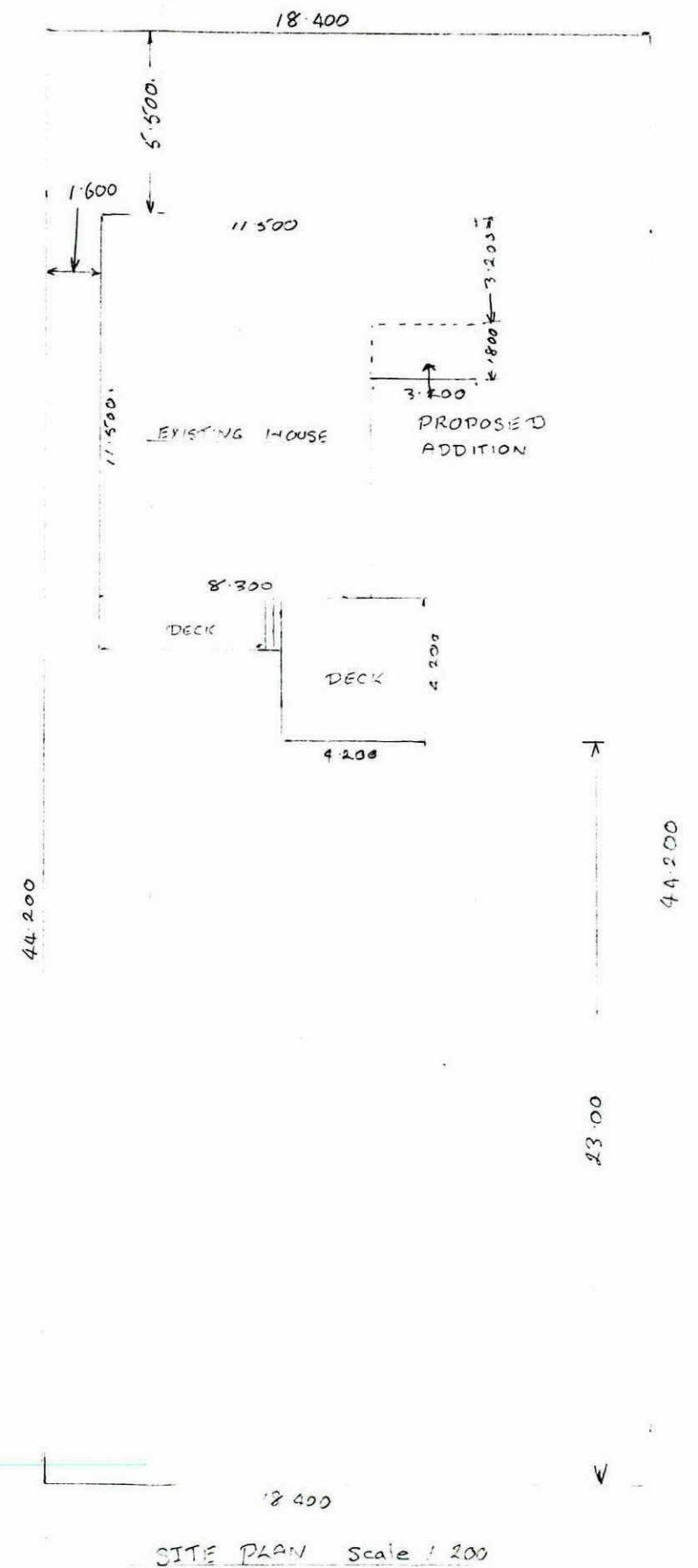


EXISTING FLOOR & BASEMENT PLAN
Scale 1:100

After



PROPOSED FLOOR & BASEMENT PLAN AND ADDITION TO BED 1.
Scale 1:100.



SITE PLAN Scale 1:200

TASMAN DISTRICT COUNCIL
 APPROVED CONSENT DOCUMENT

* THIS DOCUMENT MUST STAY ON JOB UNTIL COMPLETION

* GIVE 24 HOURS NOTICE before any work is covered up.

* Council inspections are required BEFORE any

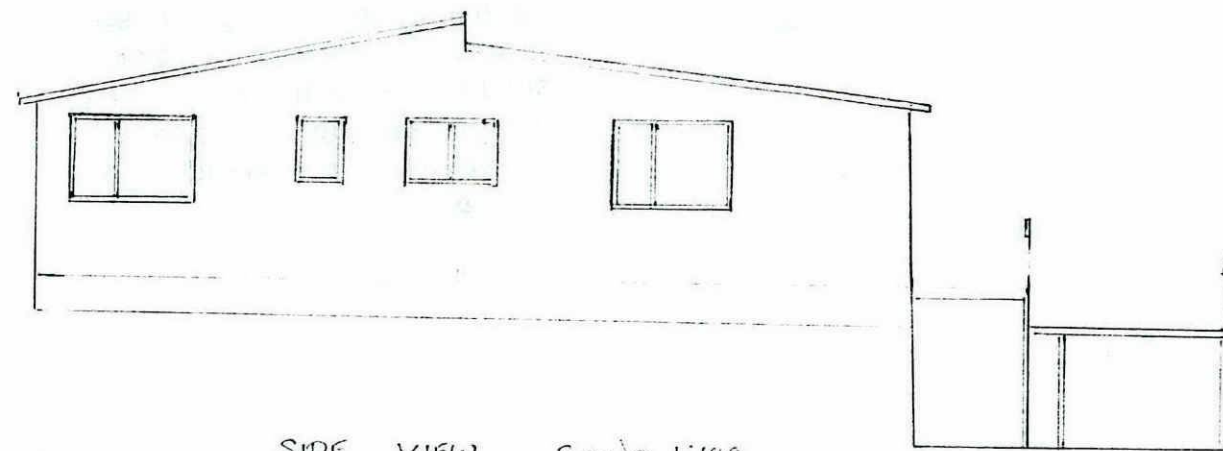
- concrete, masonry infill, grouting, placement
- lining, cladding, roof fixing
- structural frame enclosure
- trim fixing, lining stopping
- plumbing, drainlaying, covering.

* Deviations from this Document requires further approval

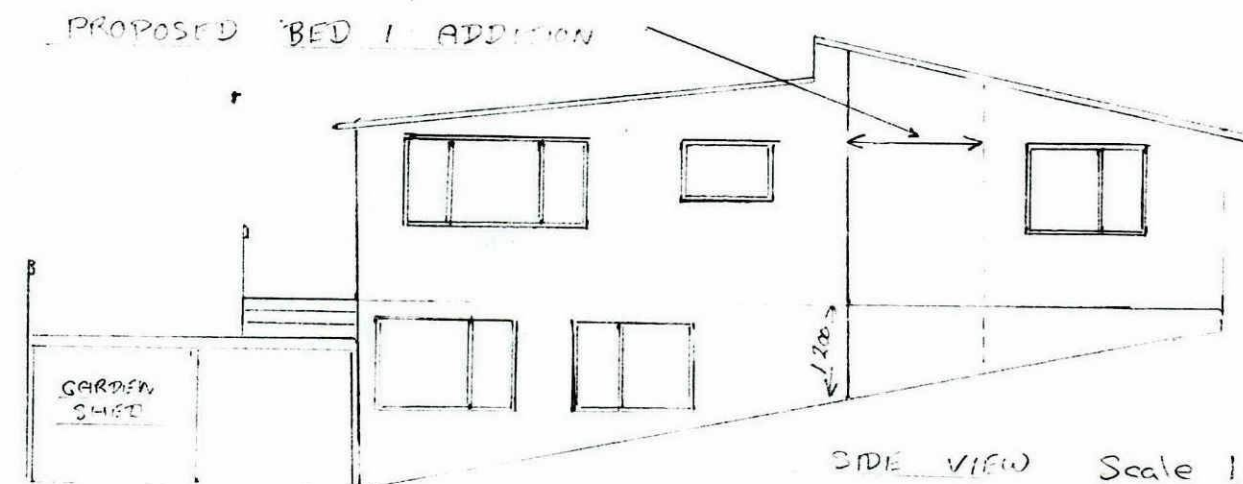
* Consent holder is responsible and liable for any damage as a result of this work being carried out.

* Date: Jul 21 98 Building Consent No. 980137

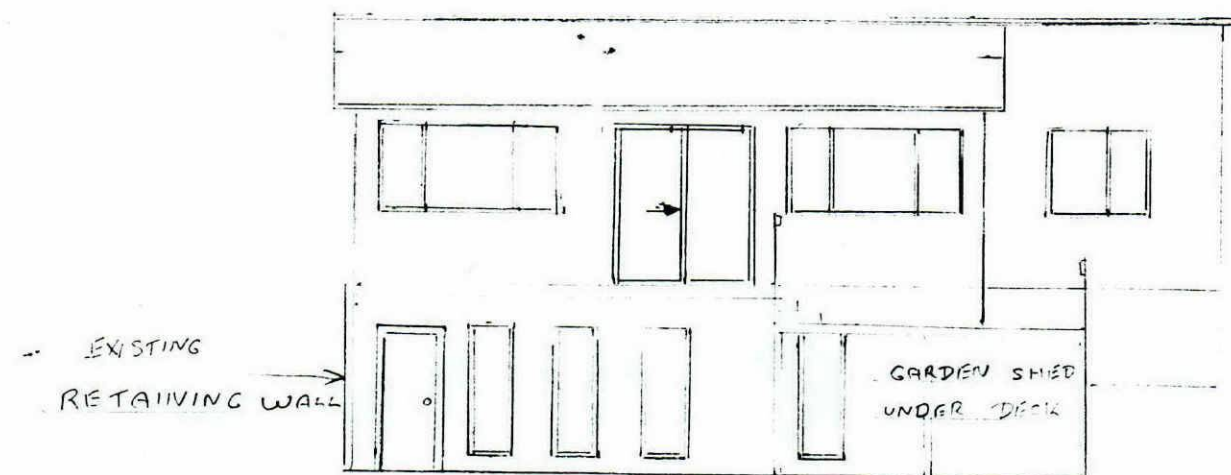
Property owners have a legal obligation under the Plumbers Gasfitters and Drainlayers Act 1978 and the Building Act 1991 to have a craftsman plumber and registered drainlayer carry out their appropriate trade. Failure to do so will lead to legal action.



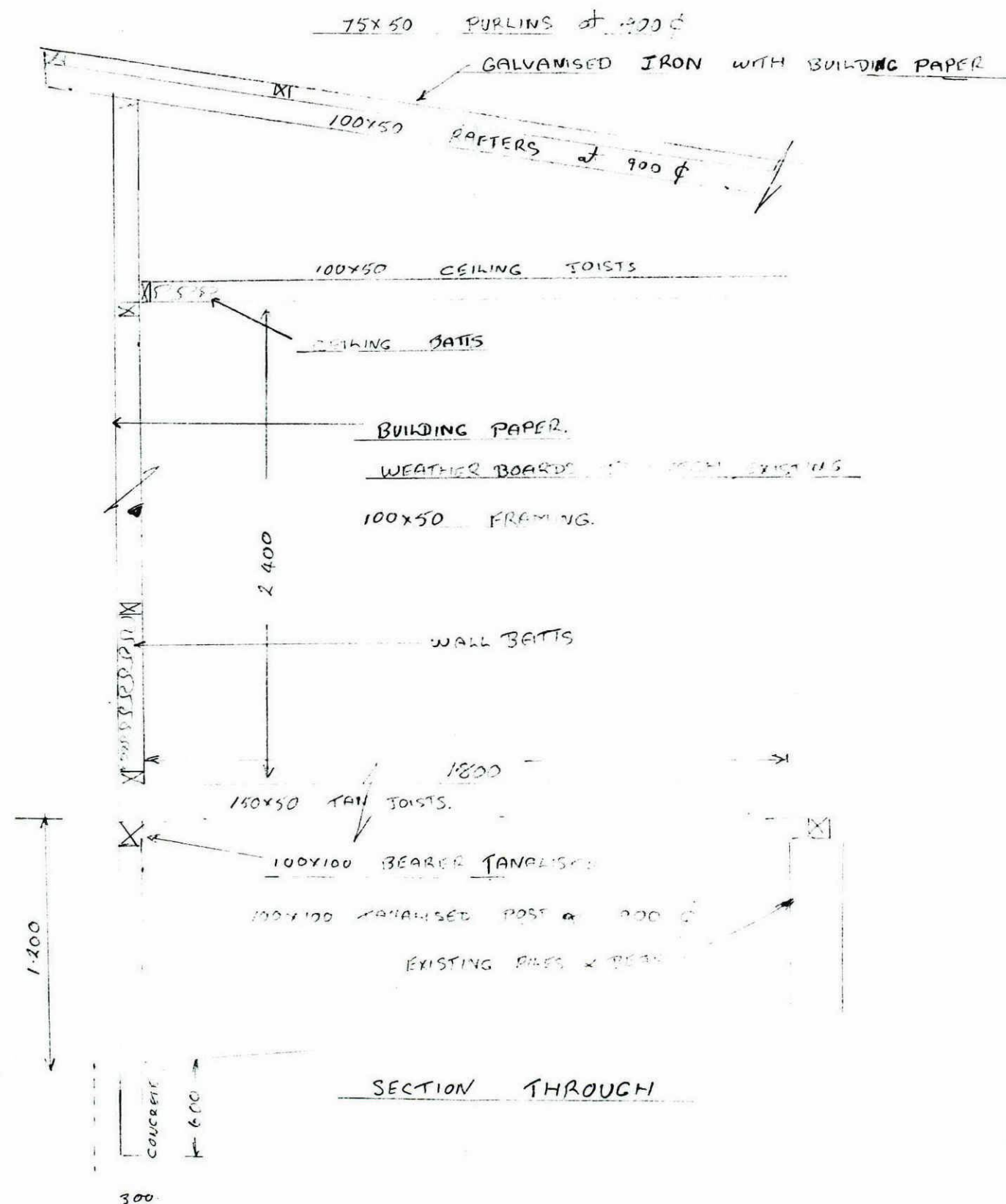
SIDE VIEW Scale 1:100

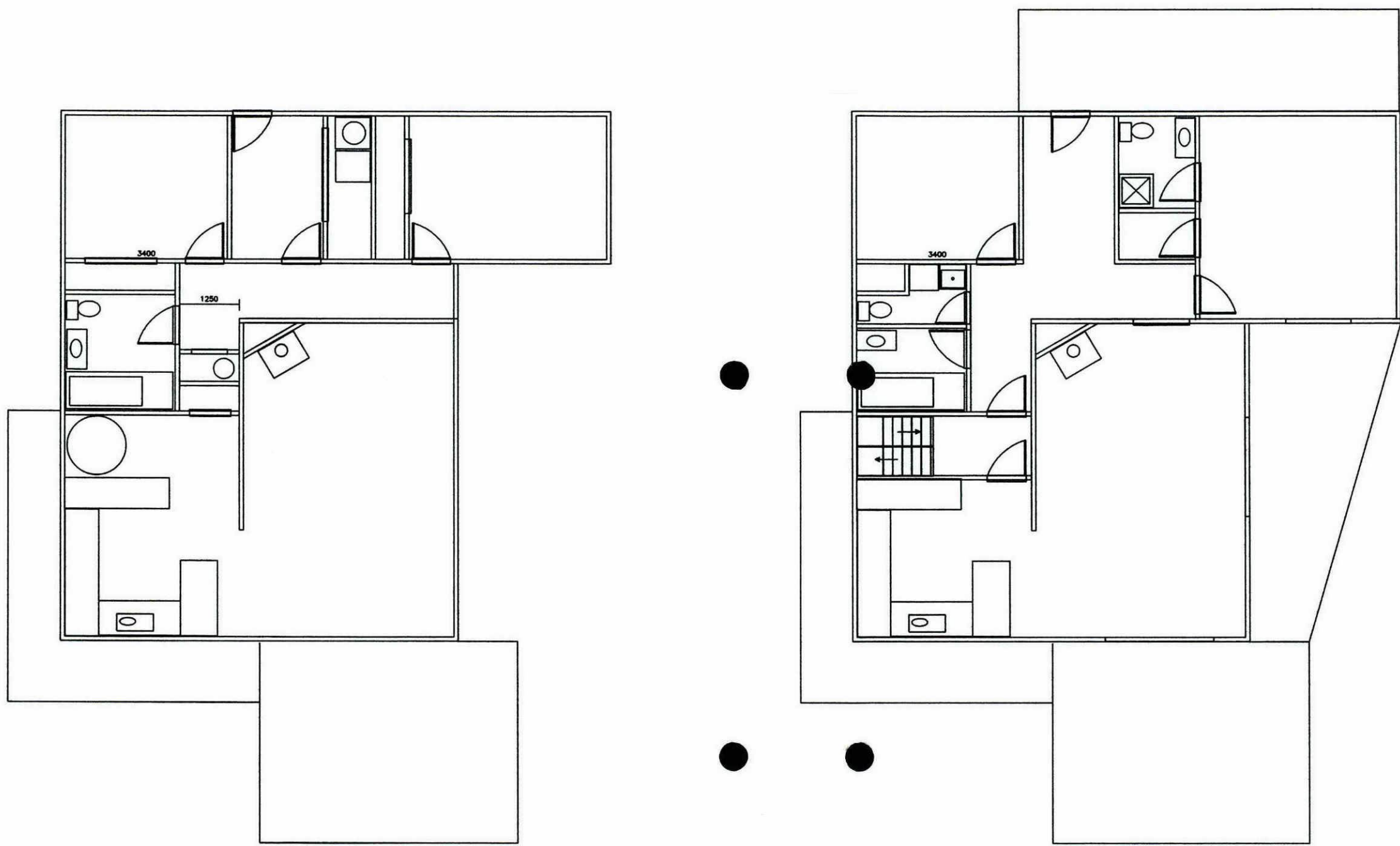


SIDE VIEW Scale 1:100



END VIEW Scale 1:100





General Notes

No.	Revision/Issue	Date

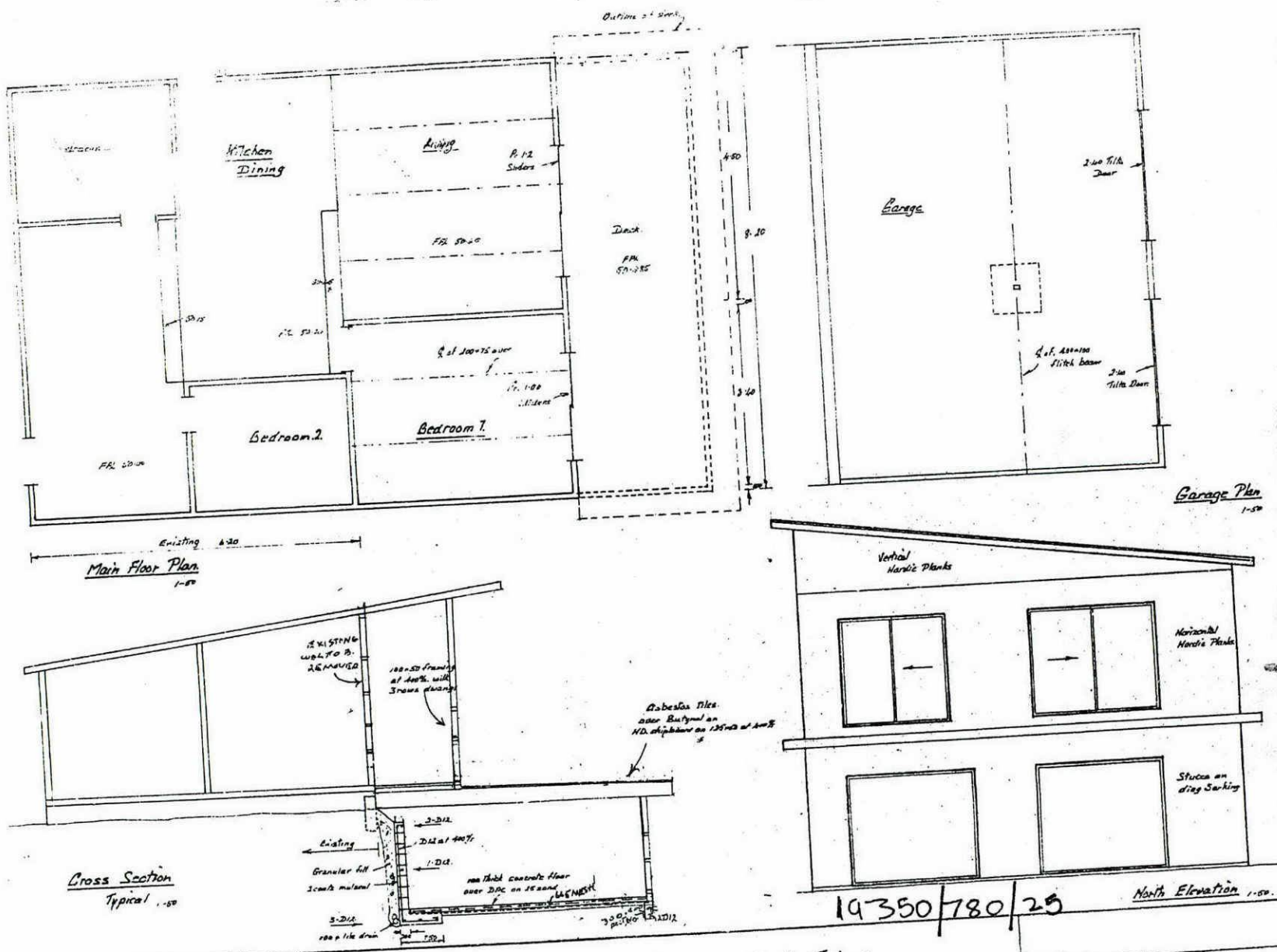
Firm Name and Address

Project Name and Address

Project	Sheet
Date	
Scale	

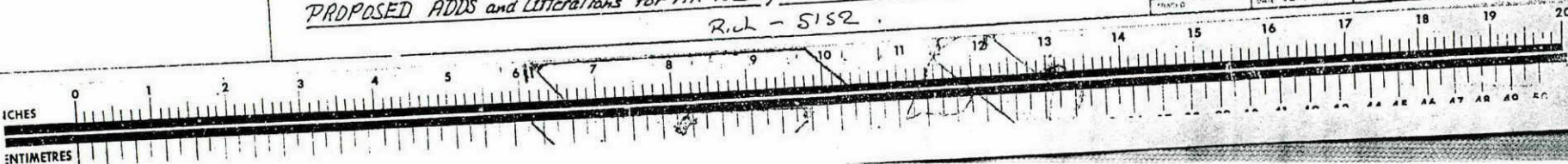
Property owners have a legal obligation under the Plumbers Gasfitters and Drainlayers Act 1978 and the Building Act 1991 to have a craftsman plumber and registered drainlayer carry out their appropriate trade Failure to do so will lead to legal action

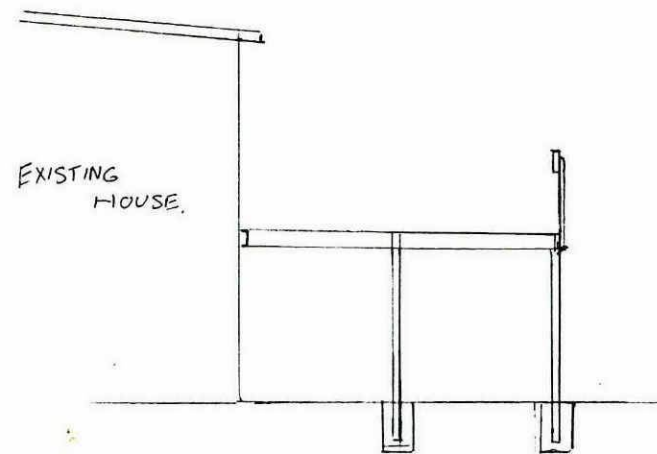
APPROVED DISTRICT COUNCIL
APPROVED CONSENT DOCUMENT
THIS DOCUMENT MUST STAY ON JOB UNTIL
COMPLETION
GIVE 24 HOURS NOTICE before any work is
covered up.
Council inspections are required BEFORE any
concrete, masonry infill, grouting, placement
lining, cladding, roof fixing
structural frame enclosure
trim fixing, lining stopping
plumbing, drainlaying, covering.
Deviations from this Document requires further
approval
Consent holder is responsible and liable for any
damage as a result of the work being carried out
244248 980127



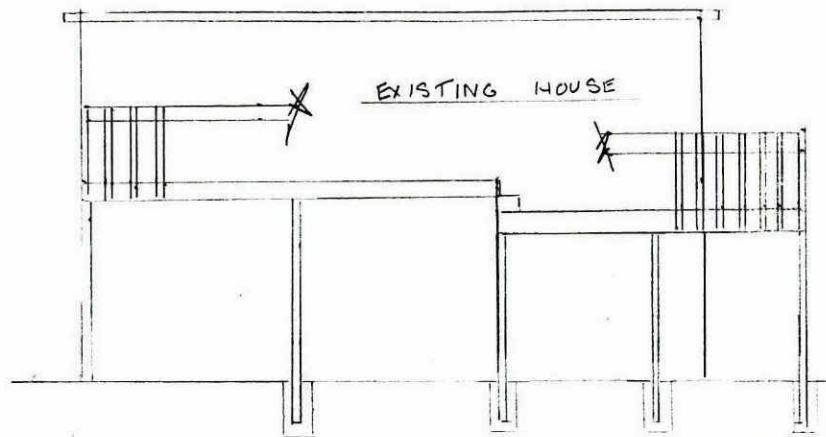
PROPOSED ADDS and Alterations for Mr. R. Boyd Best Island
Rich - 5152

19350/780/25	North Elevation 1:50	SHEET 1
DATE 12.12.18	CHECKED 12.12.18	SCALE 25 shown





Scale 1:100

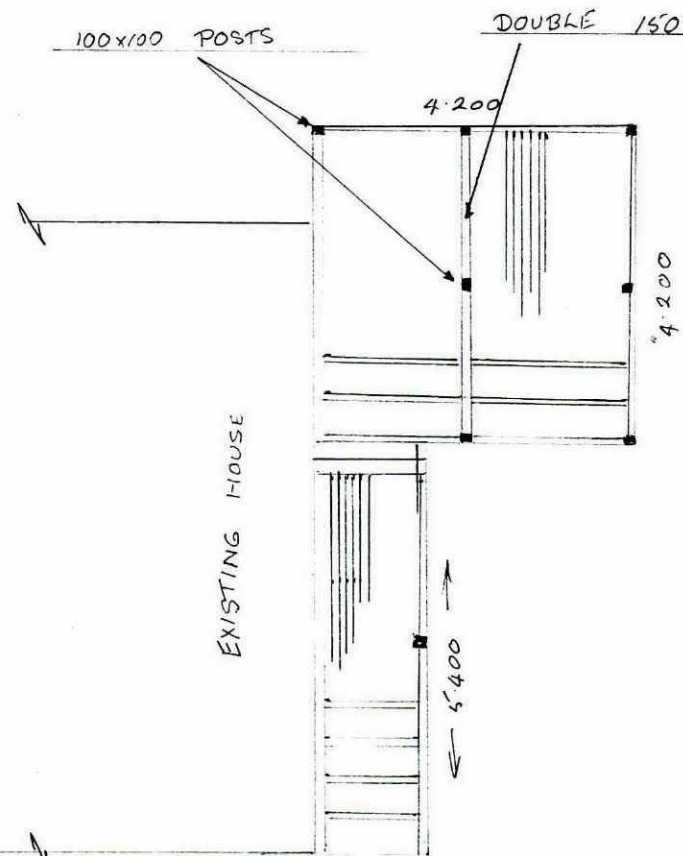


Scale 1:100

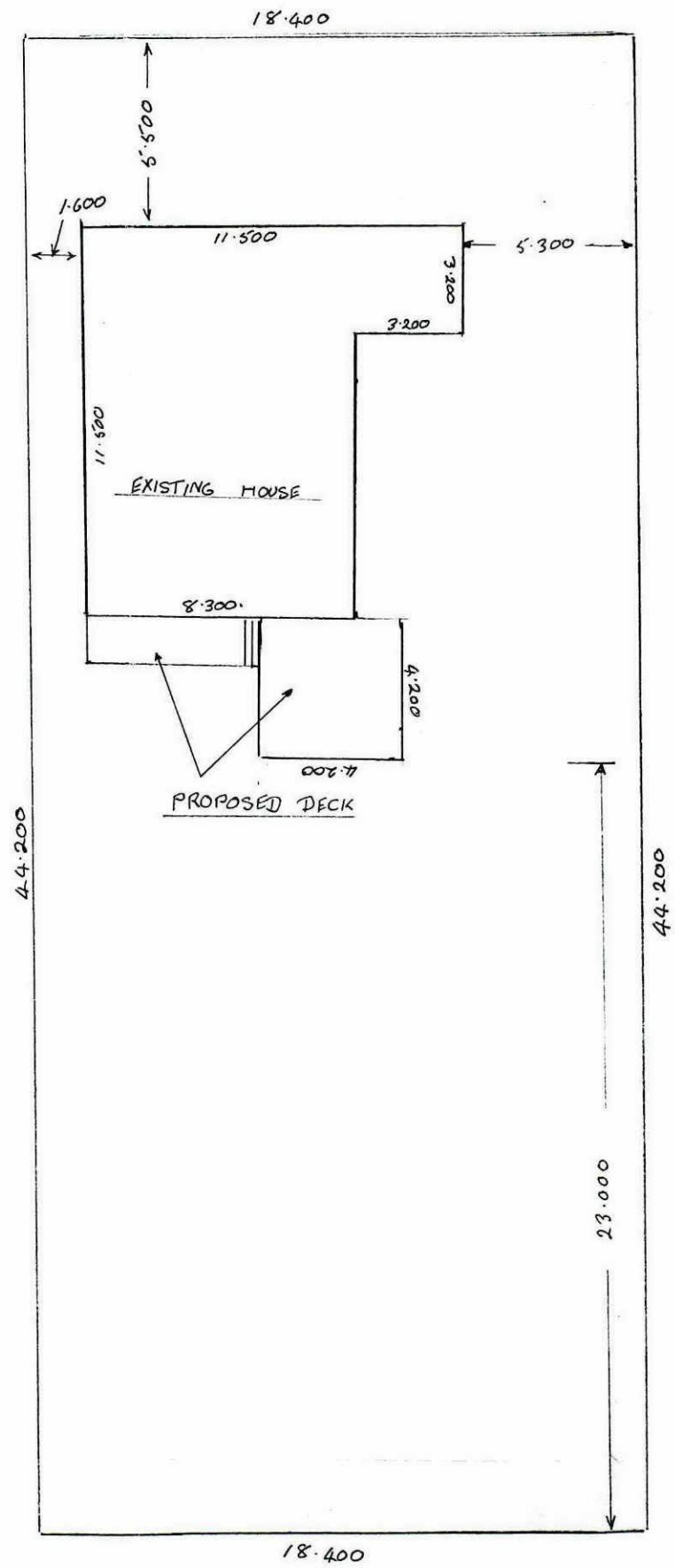
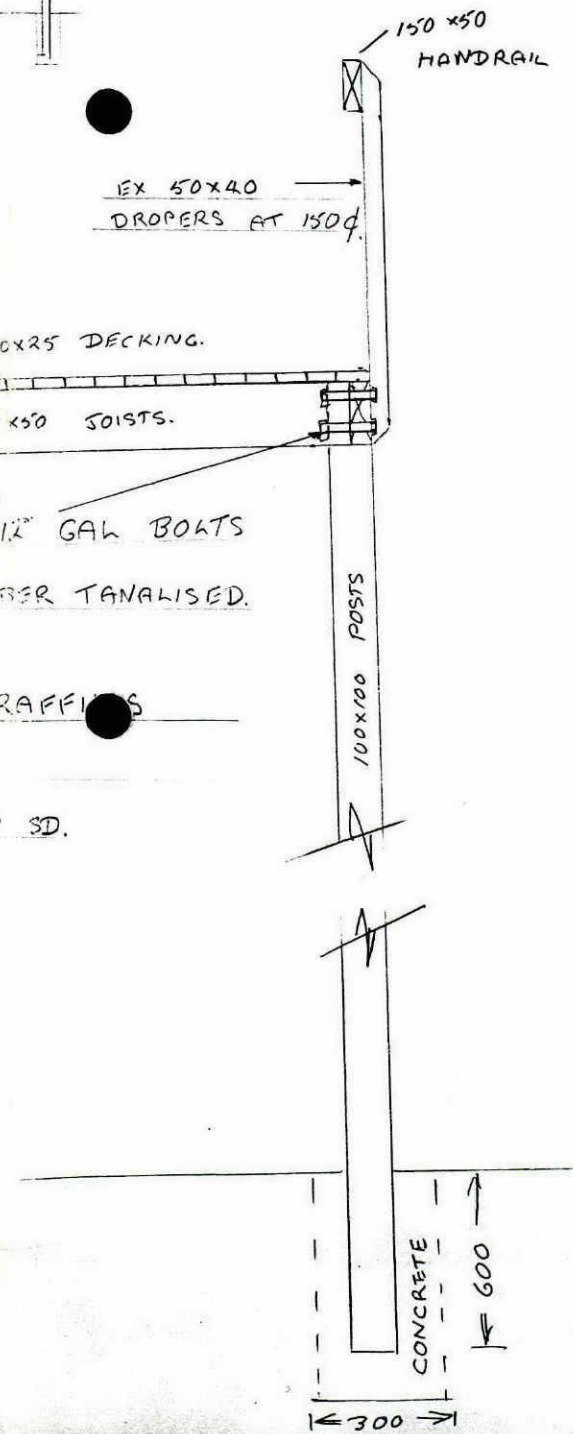
150 x 50 HANDRAIL
EX 50 x 40
DROPPERS AT 1500

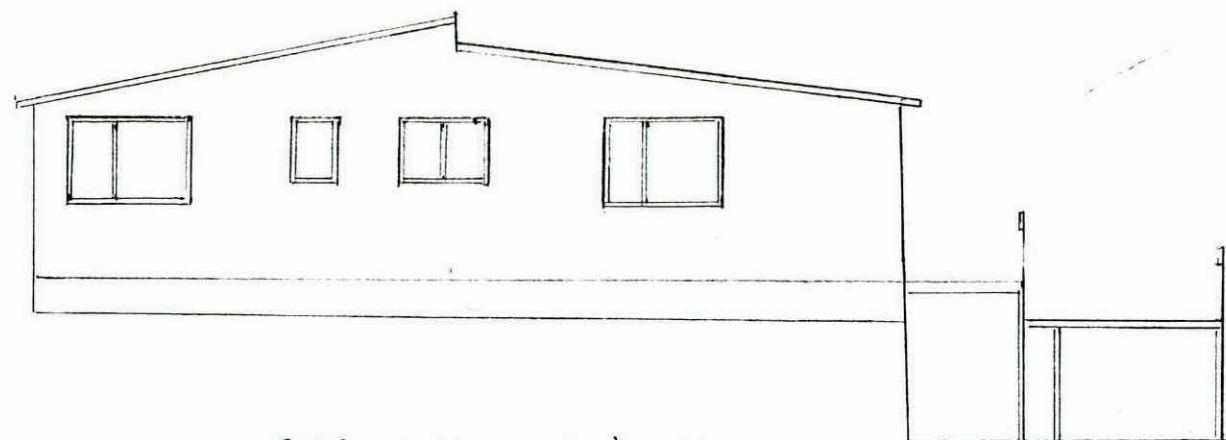
EX 100 x 25 DECKING.
150 x 50 JOISTS.
2/12 GAL BOLTS
ALL TIMBER TANAISED.

PROPOSED DECK FOR MR & MRS RAFFLES
BARNETT AVE. BEST ISLAND.
LOT 25 DP5090 BLK 11 WAIMEA SD.

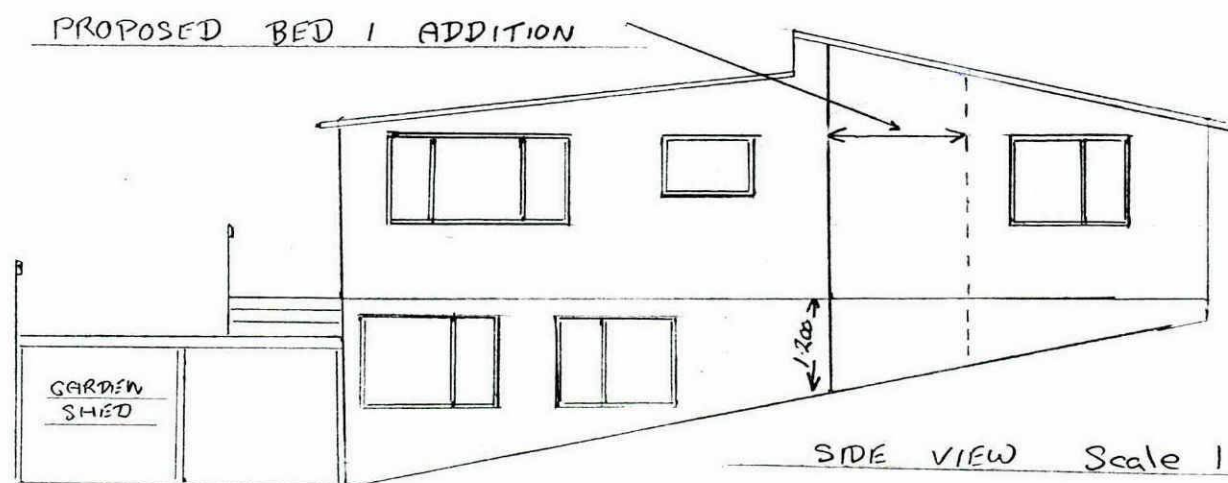


Scale 1:100

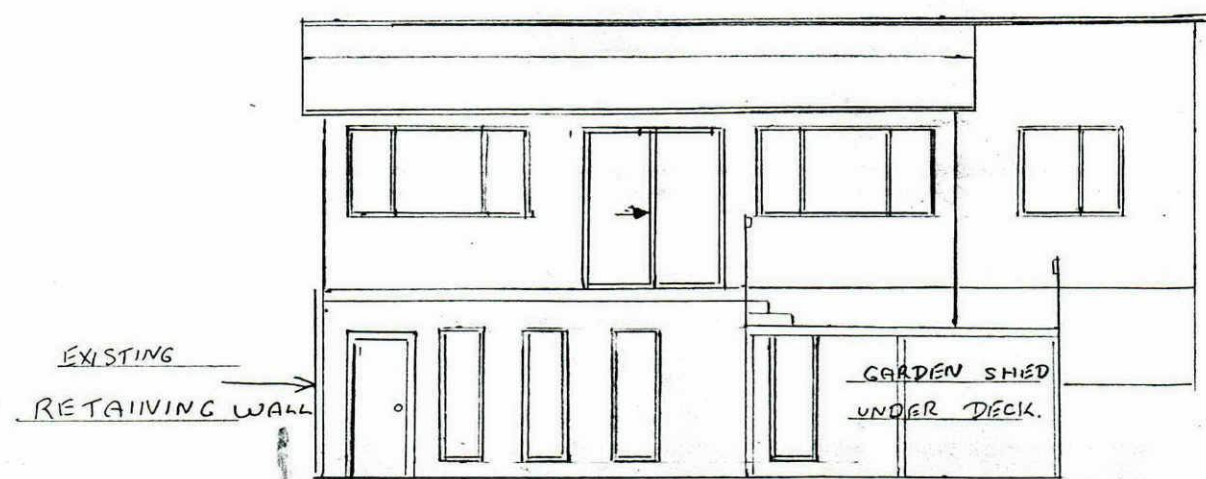




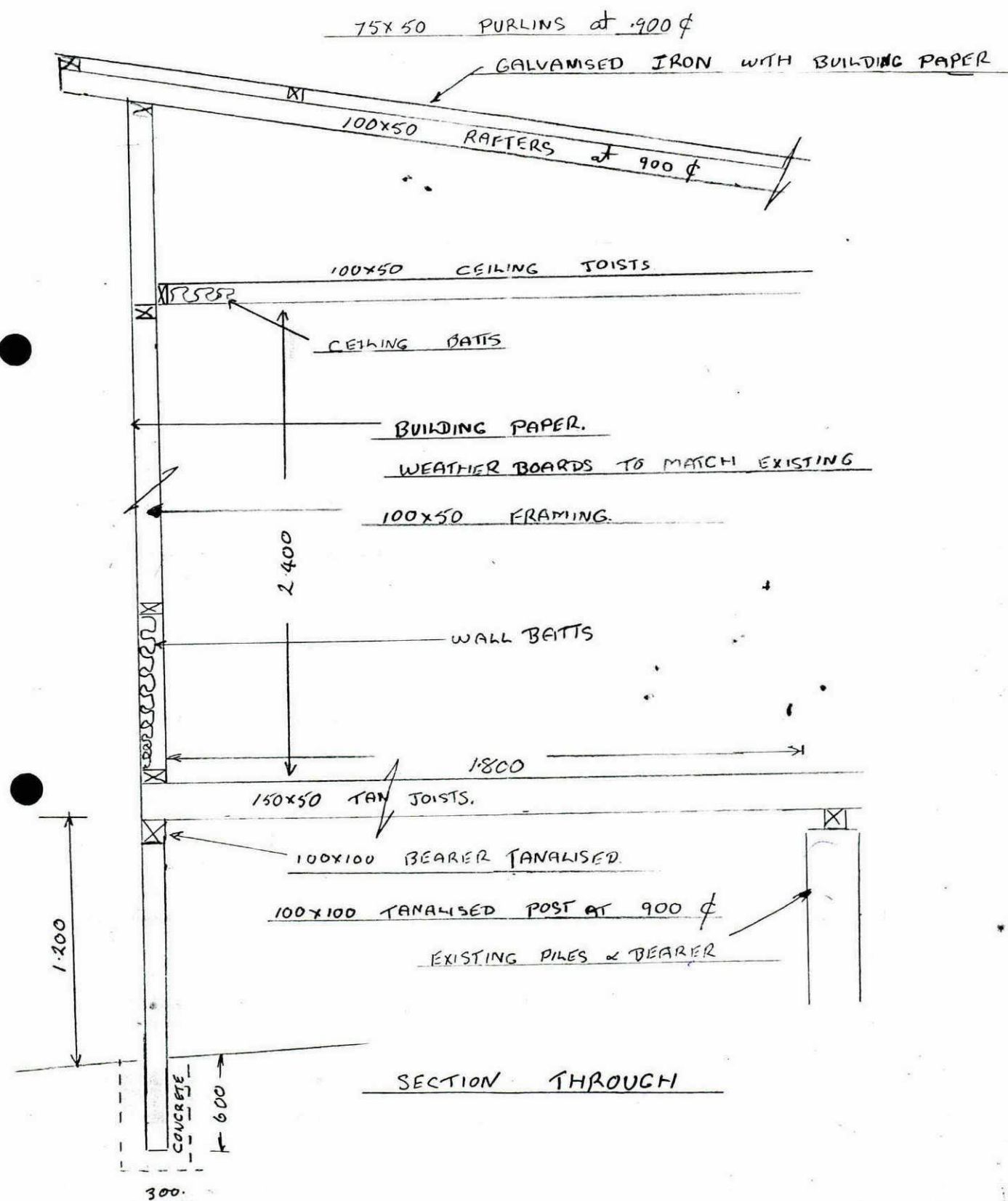
SIDE VIEW Scale 1:100

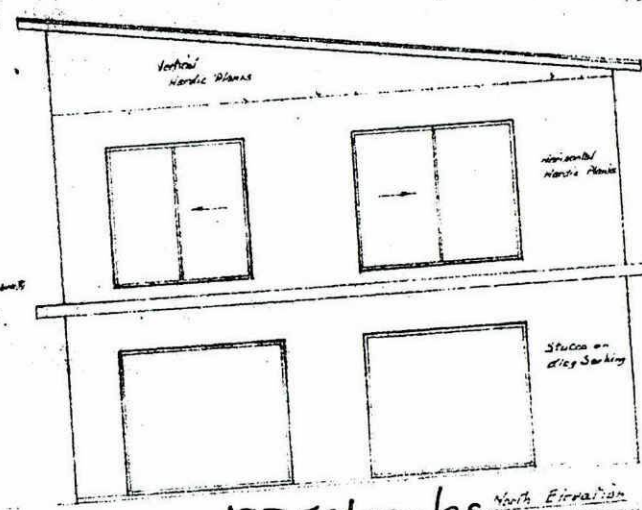
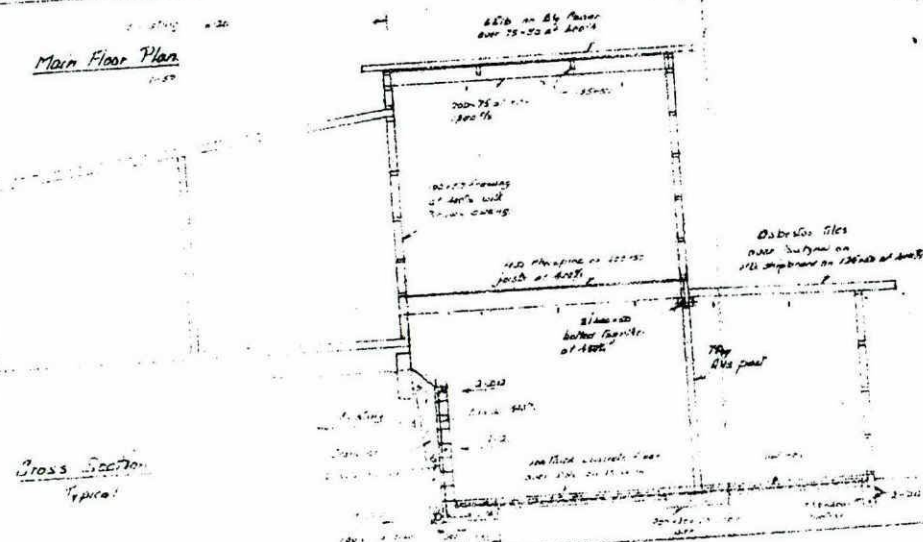
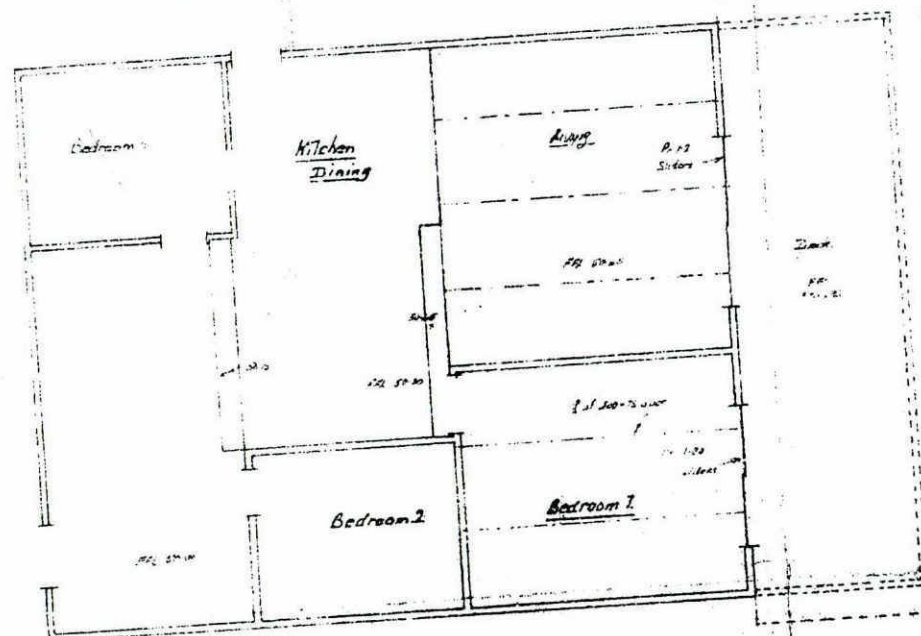


SIDE VIEW Scale 1:100.



END VIEW Scale 1:100.





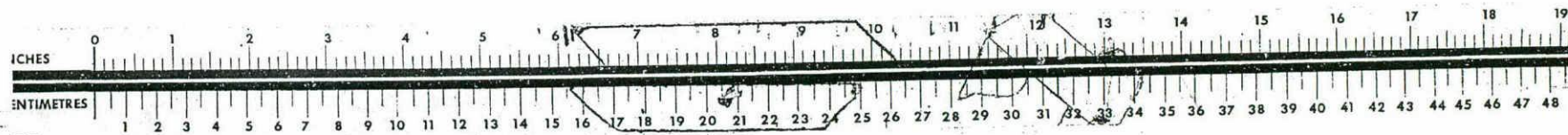
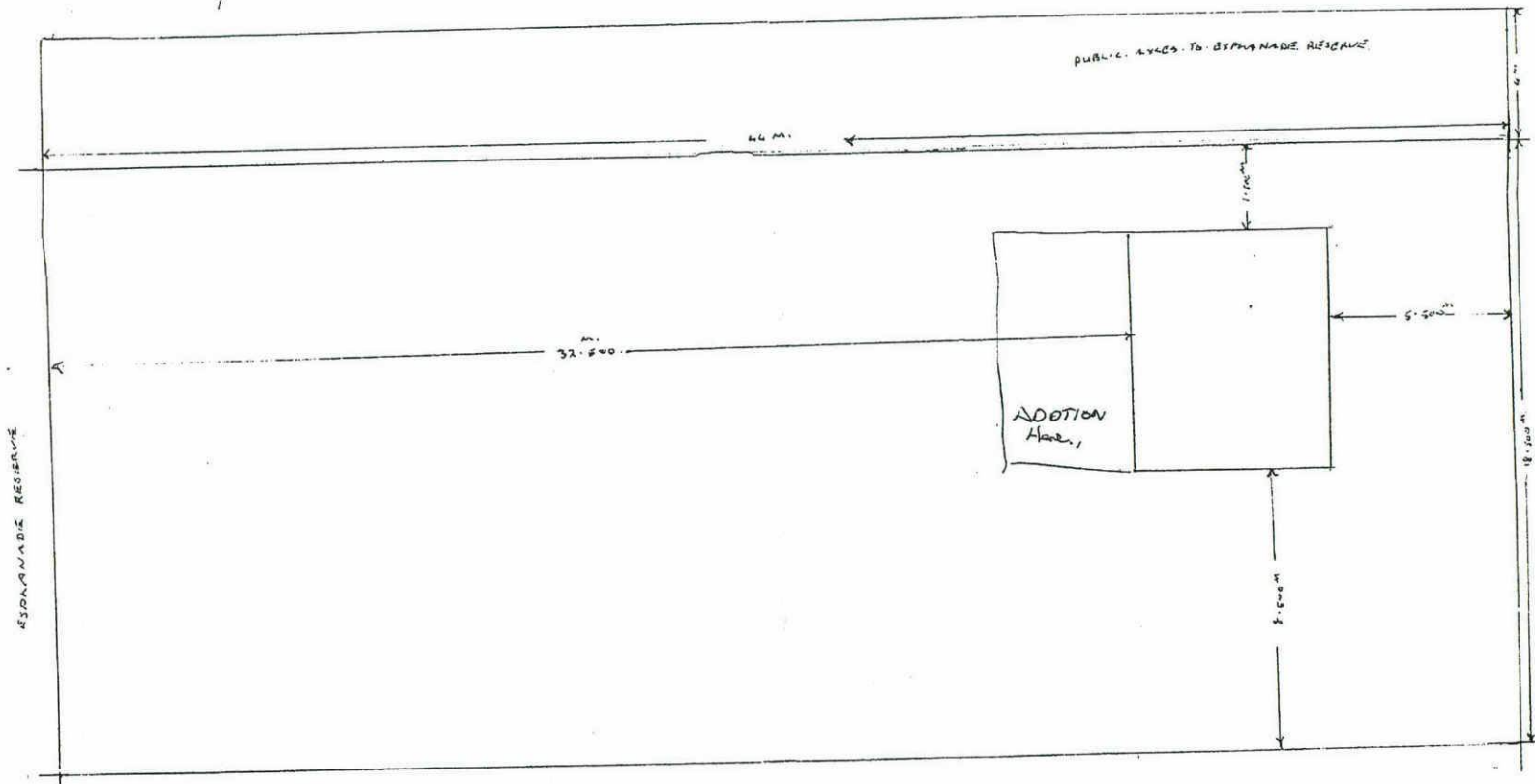
WAIMEA COUNTY COUNCIL
These are the plans specifications referred to in
Building Permit No. 2064B7
Dated 10/11 19 87.
— Agin. BUILDING INSPECTOR.

PROPOSED ADPS and Alterations for Mr. A. Boyd Brats Island
R/L - 5122 Locality

Locality	Plan	OVER
Rich - 5152	13	14



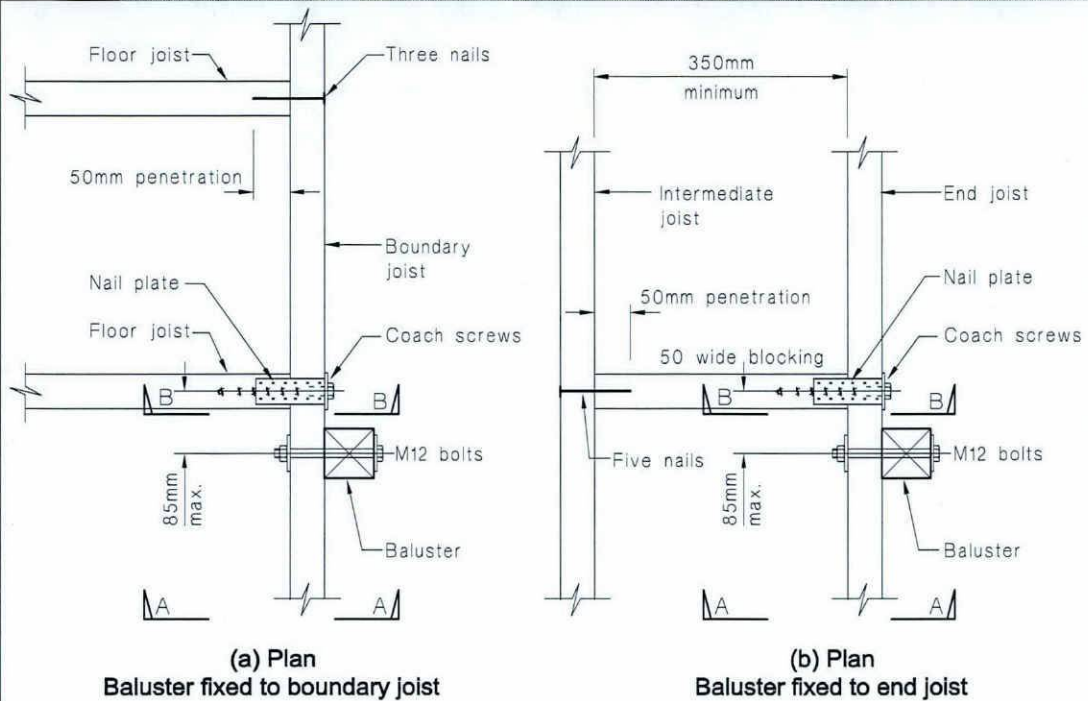
11



Property owners have a legal obligation under the Plumbers Gasfitters and Drainlayers Act 1978 and the Building Act 1991 to have a craftsman plumber and registered drainlayer carry out their appropriate trade Failure to do so will lead to legal action.

TASMAN DISTRICT COUNCIL	
APPROVED CONSENT DOCUMENT	
THIS DOCUMENT MUST STAY ON JOB UNTIL COMPLETION	
1	GIVE 24 HOURS NOTICE before any work is covered up.
2	Council Inspections are required BEFORE any <ul style="list-style-type: none">- concrete, masonry infill, grouting, placement- lining, cladding, roof fixing- structural frame enclosure- trim fixing, lining stopping- plumbing, drainlaying, cover
3	Deviations from this Document requires further approval
4	Consent holder is responsible and liable for any damage as a result of this work being carried out.
24/2/98 Building Consent No. 98037	

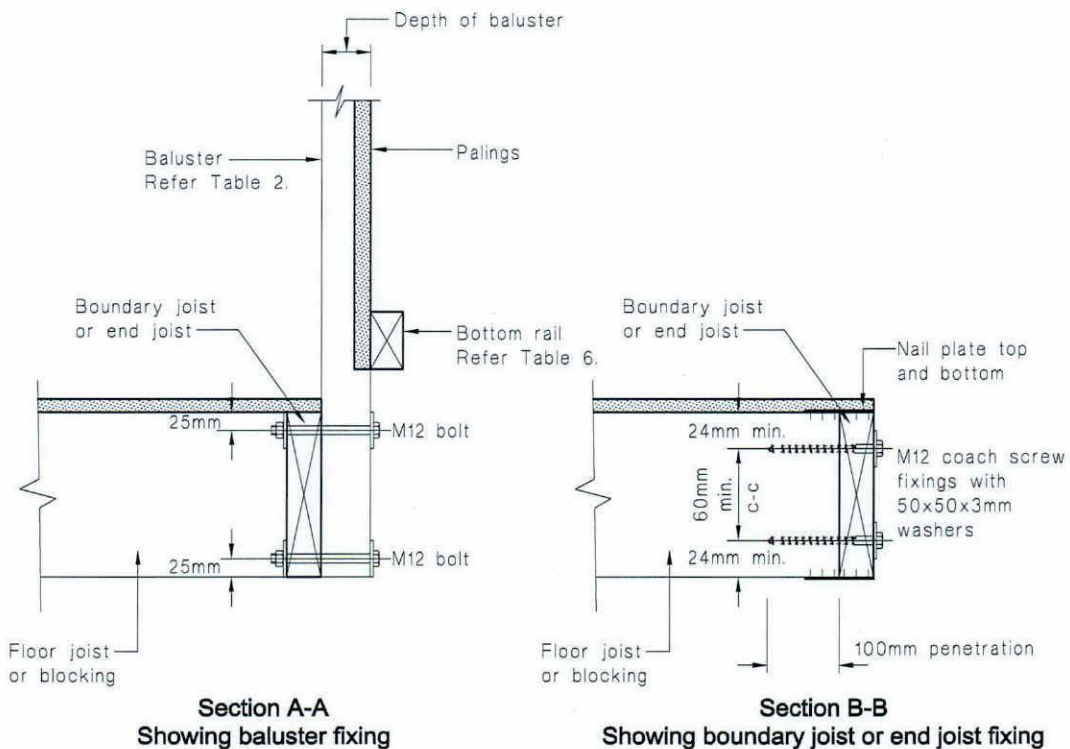
Figure 4: Baluster Fixed to Boundary Joist or End Joist
Paragraphs 2.3.2, 2.3.4, 2.3.5, 2.3.6, and 2.4.1



Amend 2
Aug 1994

Amends 1
and 2

Amend 2
Aug 1994



Amend 1
Sep 1993

Amend 2
Aug 1994

NOTE:
Circular toothed plate connectors (CTP) are not required.

PROPOSED ALTERATIONS & ADDITION

FOR MR & MRS RAFFILLS

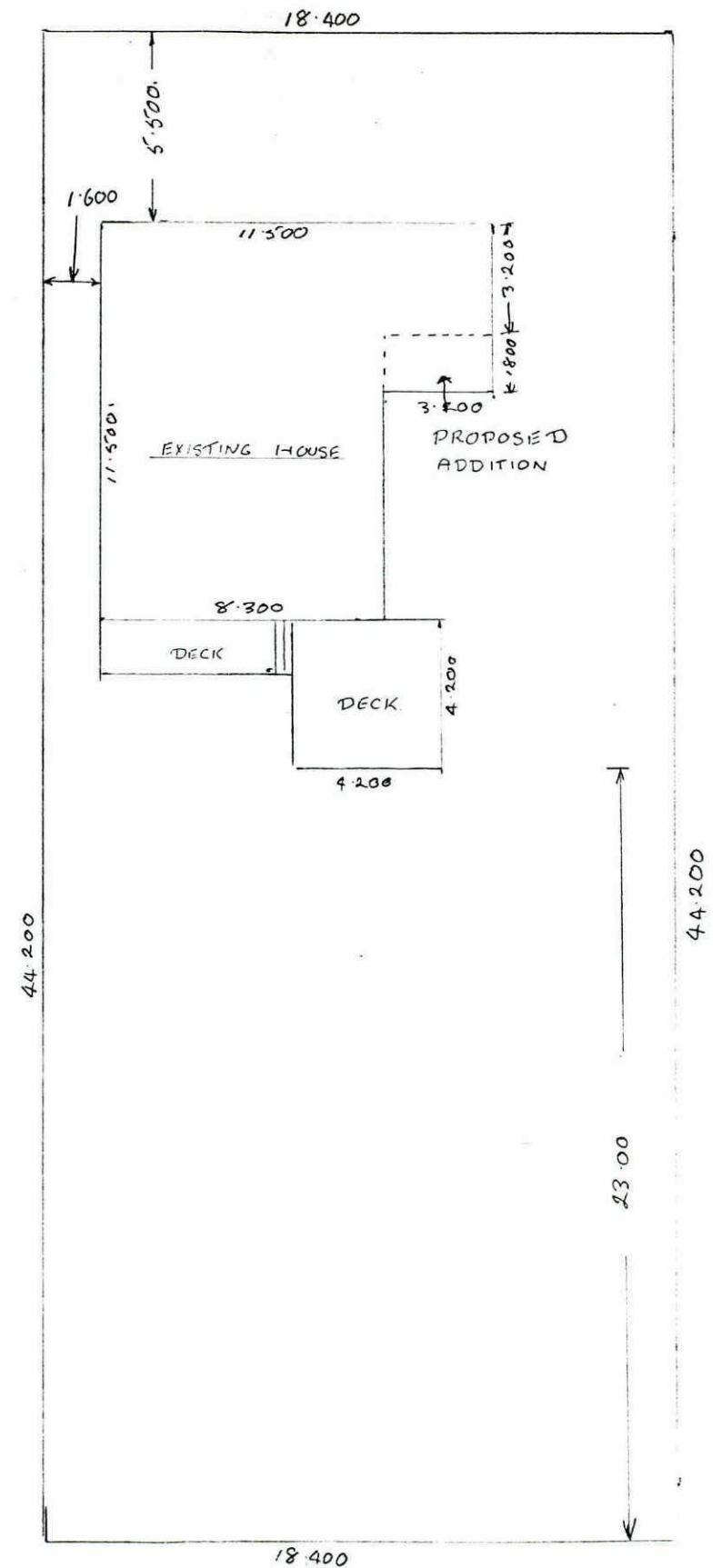
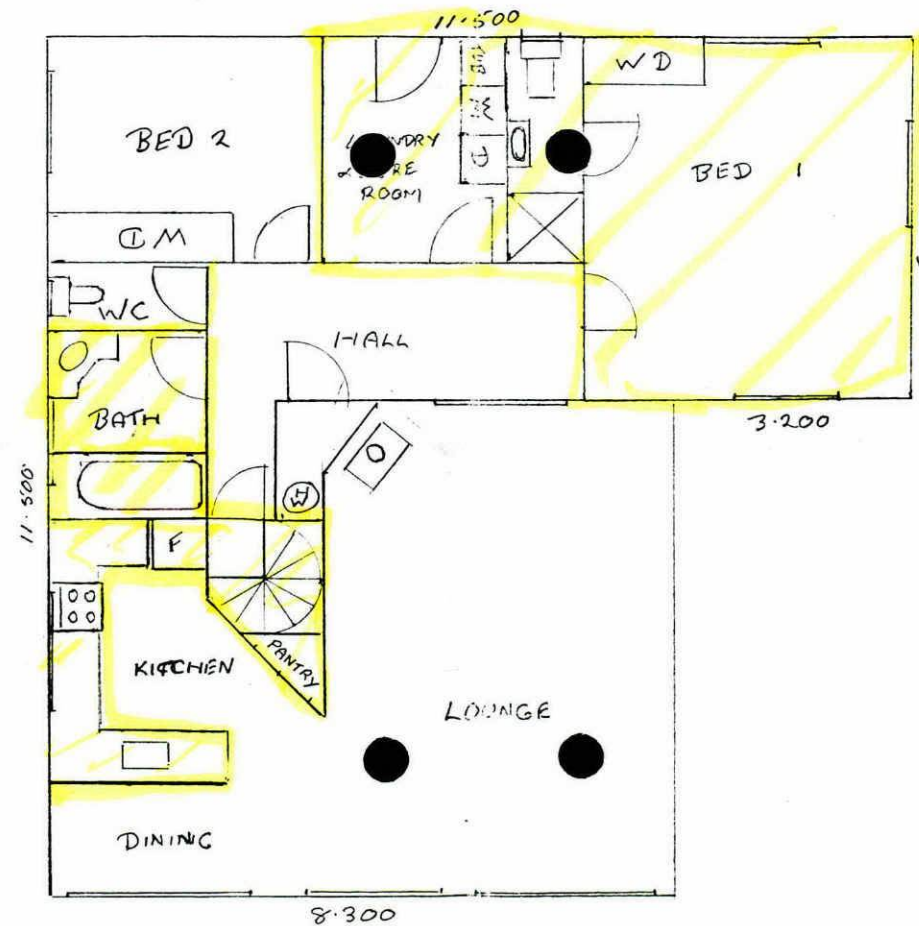
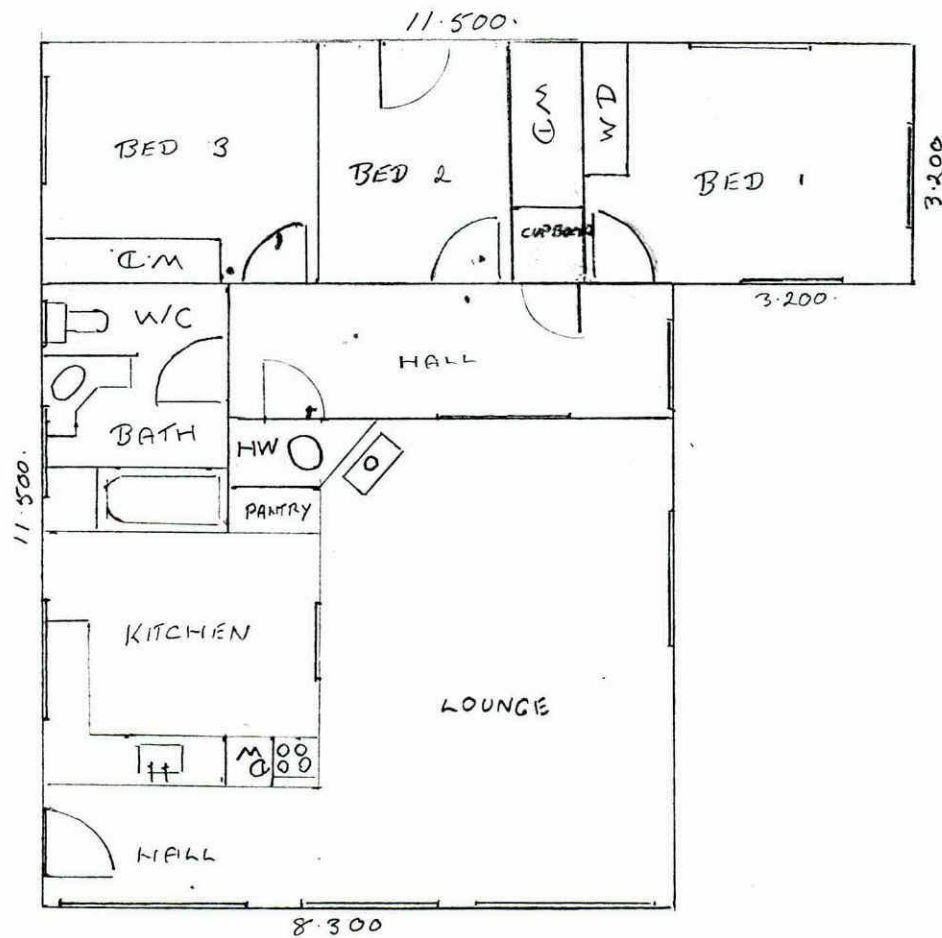
BARNETT AVE. BEST ISLAND

LOT 25 D.P. 5090 BLK 11 WAIMEA ST.

Delete this page
refer to revised plan
dated 22.10.09

Before

After



Property owners have a legal obligation under the Plumbers Gasfitters and Drainlayers Act 1978 and the Building Act 1991 to have a craftsman plumber and registered drainlayer carry out their appropriate trade. Failure to do so will lead to legal action.

Refer to the relevant section of the Building Act 1991

WELLINGTON DISTRICT COUNCIL
APPROVED CONSENT DOCUMENT
THIS DOCUMENT MUST STAY ON JOB UNTIL COMPLETION
● GIVE 24 HOURS NOTICE before any work is covered up.
● Council Inspections are required BEFORE any
- concrete, masonry infill, grouting, placement
- lining, cladding, roof fixing
- structural frame enclosure
- trim fixing, lining stopping
- plumbing, drainlaying, covering.
● Deviations from this Document requires further approval
● Consent holder is responsible and liable for any damage as a result of this work being carried out.
● Date 24/2/98 Building Consent No. 980137

~

APPLICATION FOR CODE COMPLIANCE CERTIFICATE

1. What is the Building Consent? *Complete this field*

Building consent number:	170597
Issued by: (name of building consent authority)	TDC

2. Who owns the building? *Complete all fields, using N/A if a field is not applicable*

Owner name:	Carol Syme	Title: e.g. Mr, Mrs, Ms, Dr
Contact person:	Carol	
Owner mailing address:	139 Barnett Ave RD1 Richmond 7081	
Street address/ registered office:	u	
Owner email address:	carolbsyme@gmail.com	
Owner contact number:	021331504	
Are you using an Agent?	<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No <i>If Yes, please also complete the following:</i>
Who is the first point of contact for further correspondence?	<input type="checkbox"/> Agent	<input checked="" type="checkbox"/> Owner
Agent name:	Zink 2015 Ltd	
Agent email:	sales@zinkltd.co.nz	
Agent contact number:	544 0929	
Agent mailing address:	2 Champion Rd Richmond	

3. When was the building work completed? *Complete this field*

All building work to be carried out under the building consent specified on this form was completed on:	dd/mm/yyyy 28/06/2017
---	--------------------------

4. Who completed the building work? *Complete all fields on each line. You will need to complete one line for each building practitioner. Use a separate sheet if necessary.*

The licensed building practitioner(s) who carried out/supervised the restricted building work is/are:			
Name	Licensing class	LBP or registration number	Work carried out/ supervised
/			

Name	Licensing class	LBP or registration number	Work carried out/ supervised

Tradespeople who carried out building work other than restricted building work are as follows:

Name (Installer)	Address	Contact number	Registration number
Brad Colville	33 Todeesse St	0211921130	NZHHA #1984
Plum Line Plumbing	P.O BOX 1505	0276356139	21714

Please list specified systems installed in the building or use N/A if this section is not applicable ☒ N/A

The following specified systems are contained on the compliance schedule for the building and, in the opinion of the personnel who installed them, are capable of performing to the performance standards set out in the building consent:

5. Declaration

☒ I understand that this application may *only* be made with the owner's approval (tick to indicate agreement)

I request that you issue a code compliance certificate for this work under section 95 of the Building Act 2004. The code compliance certificate should be sent to:

☒ Owner ☐ Agent ☒ Owner address as per Section 2 ☐ Agent address as per Section 2

Name:

Brad Colville

Signature:



Date:

28/6/17

You can add a digital signature to this document, either using Adobe or your existing digital signature.

Once you have filled out the form, including signatures, please save the application to your computer. You can then submit the application with supporting documentation to your local council.

If you are unsure about what information to include in your application, a guidance document is available ([click here](#)).

Building Consent Checklist: File Processing

Application Summary

Date:**Applicant Name:** Bernadette Strickland**BC No:** 140161**Project Location:** 139 Barnett Avenue, Best Island**Valuation No:** 1938092400**Building Type:** Deck and verandah addition to dwelling

File Contents

Part 2: BC Administration – Creation	2
Part 3: Senior BCO – Allocation	3
Part 4: BCO – Review	4
Part 5: BC Administration – Maintenance/Invoice	7
Part 6: BC Administration – Issuing	7
Part 7: Building Inspector – Inspections	8
Part 8: BC Administration – Final Check	9

Part 2: BC Administration – Creation

Application Documents

Building Consent Application	<input checked="" type="checkbox"/>
Architectural Plans/Floor Plan	<input checked="" type="checkbox"/>
Project Specification	<input checked="" type="checkbox"/>
Application Acceptance Guidance Document	<input checked="" type="checkbox"/>
Certificate of Title/Other	<input checked="" type="checkbox"/>
Or (specify):	

BC Administration Signoff

Name: Trudy P Outcome ☒

Date 28-02-14

Part 3: Senior BCO – Allocation

Building category	<input checked="" type="checkbox"/> R1	<input type="checkbox"/> Com1
	<input type="checkbox"/> R2	<input type="checkbox"/> Com2
	<input type="checkbox"/> R3	<input type="checkbox"/> Com3

Allocated to

Is it a building of commercial or industrial nature? ☒

Is a DRU check required/arranged for the fire safety design? ☒

Is a full Compliance Schedule application required/provided? ☒

Is a compliance check required/arranged with the Environmental Health Section (commercial kitchen, camping ground, food, liquor licensing)? ☒

Is a compliance check required/arranged for site contamination? ☒

Is a compliance check required/arranged for land hazards? ☒

Is a compliance check required/arranged for hazardous substances or materials? ☒

Senior BCO Signoff

Name: Cherie Newman

Date: 7-3-14

Outcome ☒

Part 4: BCO – Review

Statements of Expert Opinion (Design)	<input type="checkbox"/>
Design Reports / Calculations (geotechnical, fire, structural, etc)	<input type="checkbox"/>
Processing Checklists	<input checked="" type="checkbox"/>
Further Information Requests	<input checked="" type="checkbox"/>

Building Act Conditions

BI60	This consent is granted pursuant to Section 72 (building on hazard-prone land) of the Building Act and is conditional on the Council notifying the District Land Registrar that this consent is granted pursuant to Section 72. An entry will be made by the District Land Registrar against the Certificate of Title.	<input type="checkbox"/>
BI61	This consent is granted pursuant to Section 75 (building over two or more lots) of the Building Act and conditional on Council notifying the District Land Registrar that this consent is granted pursuant to Section 75. An entry will be made by the District Land Registrar against the affected Certificates of Title.	<input type="checkbox"/>
BI62	This consent is granted subject to a waiver from the requirements of the Building Code in respect of: Click here to enter text.	<input type="checkbox"/>

Additional Information

Building Standard Statements

AI07	A statement of expert opinion review from a chartered professional engineer is required confirming all site inspections as specified in the engineer's schedule have been completed.	<input type="checkbox"/>
AI09	Boundary pegs with string lines need to be in place prior to Building Inspector's arrival during first site inspection.	<input type="checkbox"/>
AI12	This project includes the installation of fire alarms. Fire alarm installations require to be certified by an accredited inspection body. A copy of an Energy Works Certificate for electrical work is required.	<input type="checkbox"/>
AI13	Proprietary exterior plaster claddings shall be applied by an approved applicator and in full compliance with manufacturer's specifications.	<input type="checkbox"/>
AI14	The exterior texture coating applicator shall, on completion of work, provide a statement of expert opinion stating compliance with all aspects of the texture coating products approved application specifications.	<input type="checkbox"/>
AI15	Suitability of ground conditions and foundation bearing are not known. Engineer investigation and design may be required. This will be determined during footing inspection.	<input type="checkbox"/>
AI17	A statement of expert opinion from applicator of wet floor shower/waterproofing membrane, stating compliance with approved application specifications; will be required on completion of work.	<input type="checkbox"/>

Drainage and Plumbing Standard Statements

AD17	On the completion of all drainage work an engineer's as-built plan to scale is to be submitted to the Tasman District Council.	<input type="checkbox"/>
AD21	A statement of expert opinion shall be provided from the solar panel installer stating compliance with the Code of Practice for Manufacture and Installation of Solar Water Heating Systems in New Zealand.	<input type="checkbox"/>

Inspections Required

Is this Restricted Building Work?

(If Yes, then asterisk marks below apply)

Residential

1	Base inspection list for dwelling	Single level Easy site Floor slab	1*	Siting / foundations (for floor slab)	<input type="checkbox"/>
			3*	Concrete floor slab	<input type="checkbox"/>
			5*	Framing and structure / walls and roof	<input type="checkbox"/>
			6*	Post-wrap (building wrap / cavities / flashings	<input type="checkbox"/>
			7*	Pre-line / bracing / insulation / plumbing	<input type="checkbox"/>
			9*	Post-line / bracing	<input type="checkbox"/>
			17	Drainage / sewer / stormwater	<input type="checkbox"/>
			29	Final / interior / exterior certificates	<input type="checkbox"/>
			INCLUDE ALL ITEMS		<input type="checkbox"/>
2	Base inspection list for dwelling	Single level Easy site Timber floor or deck	2*	Siting / piles (foundation piles or poles)	<input checked="" type="checkbox"/>
			4*	Timber subfloor	<input checked="" type="checkbox"/>
			5*	Framing and structure / walls and roof	<input checked="" type="checkbox"/>
			6*	Post-wrap (building wrap / cavities / flashings	<input type="checkbox"/>
			7*	Pre-line / bracing / insulation / plumbing	<input checked="" type="checkbox"/>
			9*	Post-line / bracing	<input type="checkbox"/>
			17	Drainage / sewer / stormwater	<input checked="" type="checkbox"/>
			29	Final / interior / exterior / certificates	<input checked="" type="checkbox"/>
			INCLUDE ALL ITEMS		<input type="checkbox"/>
3	Add-on inspections	Variation claddings	11*	Pre-butynol / deck membrane (flat roof/deck)	<input type="checkbox"/>
			12*	Brick veneer / mid-wall height	<input type="checkbox"/>
			13*	Masonry block wall / infill and clean-outs	<input type="checkbox"/>
			14	Masonry block wall / bond beams	<input type="checkbox"/>
			19*	Stucco / texture / pre-coat	<input type="checkbox"/>
			20*	Stucco / control joints (scratch coat)	<input type="checkbox"/>
			INCLUDE ALL ITEMS		<input type="checkbox"/>
3	Add-on inspections	Heating	27	Solar heating	<input type="checkbox"/>
			24	Heating unit installation (chamber for inbuilt)	<input type="checkbox"/>
			25	Final inspection / inbuilt fire	<input type="checkbox"/>
			26	Final inspection / free-standing fire	<input type="checkbox"/>
			INCLUDE ALL ITEMS		<input type="checkbox"/>
4	Add-on inspections	Various	15	Retaining walls / drainage	<input type="checkbox"/>
			16	Wet area membrane (showers)	<input type="checkbox"/>
			18	On-site effluent disposal	<input type="checkbox"/>
			28	Swimming pool fence	<input type="checkbox"/>
			21	Exterior drained land surfaces (sump, drains, driveway)	<input type="checkbox"/>
			31	Final / small finals / alterations Other (please specify)	<input type="checkbox"/>
			23	Additional non-standard inspection	<input type="checkbox"/>
			INCLUDE ALL ITEMS		<input type="checkbox"/>

Note 1: Those inspections marked * require a Licensed Building Practitioner licence number if the project is identified as Restricted Building Work.

Note 2: For large projects, some of the inspections may need to be repeated. The Building Inspectors will identify this and do a count up at completion.

Sheds

5	Base shed unlined (Two inspections)	Barns Carports Garages single pour concrete	2 3 30	Siting / piles (foundation piles or poles) Concrete floor slab (2 includes 3) Final / garages	<input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/>
				INCLUDE ALL ITEMS	<input type="checkbox"/>
6	Sheds Add-on inspections	Lined sheds Plumbing	1 2 3 4 5 6 7 17	Siting / foundations (for floor slab) Siting / piles (foundation piles or poles) Concrete floor slab Timber subfloor Framing and structure / walls and roof Post-wrap (building wrap / cavities / flashings) Pre-line / bracing / insulation / plumbing Drainage / sewer / stormwater	<input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/>
				INCLUDE ALL ITEMS	<input type="checkbox"/>

Commercial / Industrial Projects

7	Base inspection for commercial / industrial		1 3 5 6 7 9 17 33	Siting / foundations (for floor slab) Concrete floor slab Framing and structure / walls and roof Post-wrap (building wrap / cavities / flashings) Pre-line / bracing / insulation / plumbing Post-line / bracing Drainage / sewer / stormwater Final / commercial / industrial	<input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/>
				INCLUDE ALL ITEMS	<input type="checkbox"/>
8	Commercial Add-on inspections		2 4 8 10 11 35 34	Siting / piles (foundation piles or poles) Timber subfloor Pre-line firewall / rated structure Post-line firewall / rated structure Pre-butynol / deck membrane (flat roof/deck) Certificate for Public Use inspection Compliance Schedule inspection	<input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/>
				INCLUDE ALL ITEMS	<input type="checkbox"/>

Process completed and approved for granting. Application forwarded to Building Control Administration for Issuing. ☐

BCO Signoff

Name: Steve Anps Outcome: Recommended to Grant
Date: 9/11/14

Part 5: BC Administration – Maintenance/Invoice

Post-approval check

Checkboxes signed by BCO and SBCO	<input checked="" type="checkbox"/>
If not, building consent returned to:	<input type="checkbox"/> Owner <input type="checkbox"/> Agent <input type="checkbox"/> Contact
Building consent invoiced	<input checked="" type="checkbox"/>
Invoice No.	60747
Invoice Date	10-4-14
PIM/TAN check issued	<input checked="" type="checkbox"/>

BC Administration Signoff

Name:	Worm
Date	10-4-14

Part 6: BC Administration – Issuing

Section 72 or Section 75 actioned	<input checked="" type="checkbox"/>
Compliance schedule actioned	<input checked="" type="checkbox"/>

BC Administration Signoff

Name:	Lynda m.
Date	1/5/14

Part 7: Building Inspector – Inspections

Inspections

Application for Code Compliance Certificate



Inspection Reports



Warranties / Certificates



As-built Drawings



Statements of Expert Opinion (construction review)



Approved Amendments



Recommend Issue of Code Compliance Certificate



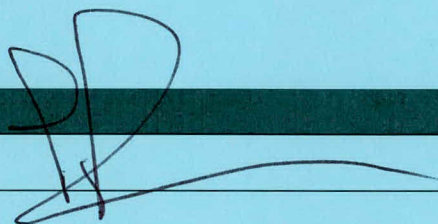
Building Inspector Signoff

Name:

P Farrar

Date

23/6/14



Part 8: BC Administration – Final Check

Final BCA check

Checkboxes signed by Building Inspector



Code Compliance Certificate issued:



Other – Compliance Schedule / Certificate of Public Use



BC Administration Signoff

Name:

Lynda m.

Date

23/6/14

SIR 1409726

ENTERED

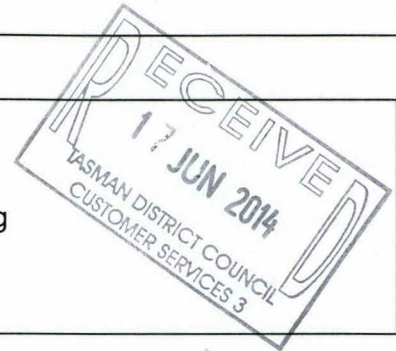
Application for Code Compliance Certificate

Form 6: Section 92, Building Act 2004

FILE

The Building Consent

Building consent number: 140161
Deck and verandah addition to dwelling
Physical address of property: 139 Barnett Avenue, Best Island
Issued by: Tasman District Council



The Owner

Name of owner: Bernadette Strickland
Contact person:
Mailing address: 139 Barnett Avenue, RD 1, Richmond 7081
Street address / registered office:
Phone number: Landline: Mobile: 0221607156
Daytime: After hours:
Facsimile number: E-mail address: bernstrickland@gmail.com
Website:

The following evidence of ownership is attached to this application:

- ☐ Copy of certificate of title
☒ Lease, agreement for sale and purchase
☐ Or other document showing full name of legal owner(s) of the building

First point of contact for communications with the Council / Building Consent Authority:

Full Name: Gowans Walters & Associates Ltd
Mailing Address: C/- Allan Walters, PO Box 3608, Richmond
Phones:: 5449499
Email: allan@gowanswalters.co.nz

Application

All building work to be carried out under the above building consent was completed on

11-6-2014

The personnel who carried out the building work are as follows:

Contractors:

Shawn Bedingham

I request that you issue a Code Compliance Certificate for this work under Section 95 of the Building Act 2004.

The Code Compliance Certificate should be sent to:

Bernadette STRICKLAND

139 Barnett Ave RDI

Richmond Nelson 7081

BM Strickland

Signature

Contact person for final inspection

BM STRICKLAND

Name of person signing

0221607156

Contact phone number(s)

17/06/2014

Date

Attachments

The following documents are attached to this application:

- ☐ Certificates from the personnel who carried out the work
- ☐ Certificates that relate to the energy work
- ☐ Evidence that specified systems are capable of performing to the performance standards set out in the building consent
- ☐ Licensed Building Practitioners – Records of Work (ROW's)

Tasman District Council
Email info@tasman.govt.nz
Website www.tasman.govt.nz
24 hour assistance

Richmond
189 Queen Street
Private Bag 4
Richmond 7050
New Zealand
Phone 03 543 8400
Fax 03 543 9524

Murchison
92 Fairfax Street
Murchison 7007
New Zealand
Phone 03 523 1013
Fax 03 523 1012

Motueka
7 Hickmott Place
PO Box 123
Motueka 7143
New Zealand
Phone 03 528 2022
Fax 03 528 9751

Takaka
14 Junction Street
PO Box 74
Takaka 7142
New Zealand
Phone 03 525 0020
Fax 03 525 9972

1/5/2014.

To whom it may concern,

RE Building Consent : 14016



The estimated value of \$18,000 I think is wrong.

It states the type of work is for deck + verandah addition to dwelling.

The deck is already there + signed off.

It is for 4 posts + the roof to cover approx 18 m².

The builder has charged it at \$5,580 which includes his labour + the his labourer's labour to move shrubs etc., spread soil etc. plus all materials needed.

It would seem more reasonable to come in at \$5,000 for value.

I am going to pay the \$1500 but hope for an amendment and refund.

Thanks for your attention to this matter

Yours sincerely

Bernadette Strickland

M: 0221 607 156.



Bank A/c : 06.0958.0123658.00

Building Consent: 140161**Bernadette Strickland**Previous Next Change Maintain LBP's Inspection Load Print Forms Print Letters [Search](#) Search Resource Consents

PIM/Consent No 140161
 Related PIM/BC No 140161P

The Building

File 11 Key 015219
 Valuation No 1938092400
 General Property Enquiry
 Parcel 115219
 Street Address 139 Barnett Avenue, Best Island
 Legal Description Lot 25 DP 5090
 Floor (m²) 20
 Current Use Dwelling
 Year First Constructed 1959
 Building Category R.1 : Category R1
 Restricted Building Work? Y
 Current Status OK - Awaiting Payment 10/04/14
 Process Days Taken To Issue 19
 Overseer Building Consent Solutions
 Zone Residential

**The Owner**

Name Bernadette Strickland
 Address 139 Barnett Avenue
 RD 1
 Richmond 7081
 Mobile Phone 0221607156
 Email bernstrickland@gmail.com
 Debtor BC140161 Change Applicant Name/Address Edit Debtor Bernadette Strickland
 Customer Bernadette Strickland
 Balance 1,000.00
 Invoice 60747
 Job Costing BC140161

First Point of Contact

Name Gowans Walters & Associates Ltd
 Mailing Address C/- Allan Walters
 PO Box 3608
 Richmond 7050
 Daytime Phone 5449499
 Email allan@gowanswalters.co.nz

Building Work

Type of Work Deck and verandah addition to dwelling
 Intended Use Housing - detached
 Intended Life/Durability INDEFINITE
 Being Stage 1 OF 1
 Stats Code 3100 Dwellings - Alterations & additions
 Estimated Value \$18,000
 Resource Consent?
 Dev Contrib Notice?
 X Coordinates (NZTM) 1613714
 Y Coordinates 5427907
 Will connect to TDC sewer? No
 Yes/No

Charges

Deposit	500.00
Building Consent	1,215.00
Total Charges	1,500.00

Territorial Authority Processing Fee	275.00
BCA Fee	10.00
Total Charges	1,500.00

Status History

Status	Status Date	Status Note
Deadline	10/04/14	
Lodged	27/02/14	
Formally Received	28/02/14	
Further Information Requested	27/03/14	BCS
Information Received	9/04/14	
Recommended to Grant	9/04/14	
Invoiced	10/04/14	60747
OK - Awaiting Payment	10/04/14	

Licensed Building Practitioners

Design	Allan Walters : Gowans Walters & Associates Ltd : BP109465
Phone	035449499
Email	allan@gowanswalters.co.nz
	PO Box 3608, Richmond 7050
Record of Building Work	28/02/14
Non-LBP Contractors	None recorded.

Forms and Letters

Should be saved	
Consent	
Actually saved	
140161 RFI.doc	140161LCL_20140228.docx
140161LIL_20140410.docx	140161LNA_20140228.docx
140161PLECL_20140228.docx	140161Ppim.docx
140161Prm.docx	

Service Requests

1405033	27/03/14 : Customer Enquiry : Bernadette Strickland : BC140161 R.1 Building Category Bernadette
---------	---

Notes

Date	24/03/14
Officer	Cherie Newman
Note	File allocated to BCS - day 16. Steve to uplift today for processing.

Diary Reminders

None found

Standard and Non-Standard Conditions

The owner or person undertaking the building work shall advise of completion of work by returning the "Application for Code Compliance Certificate" form which accompanied the consent.

A copy of this consent is to remain on site at all times and you should ensure that a copy is given to any tradesmen e.g. your builder, plumber and drainlayer.

A building consent lapses and is of no effect if the building work to which it relates does not commence within 12 months after the date of issue of the building consent or any further period that the building consent authority may allow.

Standard and Non-Standard Addenda

Standard and Non-Standard PIM Notes

None found

Inspections

Type	BI37 01 Siting/Foundations Building profiles in place, trenches dug & steel placed in, any plumbing penetrations put in.
Inspected	No
Note	*LBP details required prior to inspection*

Type	BI40 04 Timber Sub-floor Bearers, floor joists, solid blocking, brace connections in - below 600mm S/S, Insulation placed. Prior to flooring being installed.
Inspected	No
Note	*LBP details required prior to inspection*
Type	BI08 05 Framing & structure/walls/roof and associated wide lintel and bottom plate fixing before covering in.
Inspected	No
Note	*LBP details required prior to inspection*
Type	BI13 07 Pre-line brace/insulation/plumbing: Internal framing and bracing location and fixings and insulation material in place before the walls are lined.
Inspected	No
Note	*LBP details required prior to inspection*
Type	BI21 17 Drainage/Sewer/Stormwater: All in-round sewer & storm-water pipes, connections etc before covering up.
Inspected	No
Note	
Type	BI50 29 Final Inspection: Interior/Exterior/Certs CCC New Residential dwelling when construction has been completed & CCC application received with required final documentation
Inspected	No
Note	
Print Summary	
Inspection Points Summary	

Standard and Non-Standard CCC Conditions

None found

Work to be Stopped and Notice to Fix Conditions

None found

RM Certificate

None found

Letter 1 and Letter 2 Paragraphs

None found

© 2013, NCS Software Limited.
All rights reserved.

27th March 2014

Building Consent Number BC 140161

(Please quote this number with all correspondence)

B. Strickland
139 Barnett Ave
Best Island.
c/o frank@gowanswalters.co.nz

APPLICATION FOR; New veranda roof at 139 Barnett Ave.

REQUEST FOR INFORMATION

Building Consent Solutions Ltd has been engaged by Tasman District Council to assist with the processing of Building Consent Applications. **Please send all new information to Building Consent Solutions during this process.**

Your application is currently being processed. For the consent to more clearly demonstrate Building Code and/or legislation compliance, further information is required.

Your application has therefore been placed on hold and cannot proceed further until additional information has been provided.

We request that you provide any new information in duplicate, include a covering letter explaining all changes and where they can be found, and identify them on the drawings.

The additional requirements are as follows:

- ✓ 1. The post footing is an Alternative solution and will require specific design. Wind uplift is the main concern. This may require a check on the existing pile/bearer/deck joist connections etc and the dead weight of the structure to resist any potential wind uplift.

If you have any queries regarding the questions above, or about the time frame, please do not hesitate to contact our office.

Once all of the requested information has been received a further check of the documentation may be required.

Kind Regards

Steve Arps

Steve Arps
Building Consent Solutions Ltd

Phone 546 8387
E mail steve@bcnelson.co.nz
Post PO Box 1810, Nelson, 7010

BC Number: 140161

Project: Veranda

Name and Project Address: Strickland 139 Barnett Ave

Building Consent Checklist

Residential/Habitable

Building Elements	Items to be Checked		Checked	Rechecked	Comments Including Means of Verifying, Endorsements, Conditions, Requirements and Reasons for Decision
General Property Information	PIM etc	Section 37: Resource Consent certificate / attached	23		
		PIM problems resolved / not available / attached to consent	23		
	Ownership	Certificate of title	23		
		2+ Allotments: Sect 75 / Amalgamation	23		
		Any consent notices	23		
	Subdivision	Subdivision conditions	23		
	General	Any protected buildings or trees	23		
		Any special flooding issues	23		
		Wind zone	23		High
		Project value check	23		
Site	Positioning	Siting	23		
		Snow zone	23		
		Corrosion zone 1/2/3	23		N3 < 400m amsl
		Site-specific requirement	23		
	Location	Contours/levels/datum	23		sheet 1.
		Proposed building/s	23		"
		Existing buildings/s	23		"
		Any easements	23		
	Engineering	Hazards on site/S71	23		
		Section 72: Land Subject to erosion, etc	23		
		Flood-prone site MIN FFL.....	23		
	General	Ground bearing	23		
		Fault lines	23		
Specific Design*	Producer Statement	Engineer's name and qualifications	23		
		PS1 or similar, format and correctness	23		
		Producer Statement Scope	23		
	Items Covered	All or parts	23		
Specification	Content	Correct/up to date/relevant	23		
		Claddings/openings/downpipes	23		
Foundations	Concrete Foundations	Depth/width	23		
		Reinforcement/cover	23		


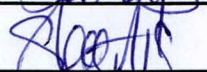
* Use Form BC30 for Specific Engineering Design works other than simple beams, simple retaining walls, or similar

			Chkd	Rechkd	Comments
Floors	Floor Levels	Masonry 150 (FGL) 100 (Paving) Other 225 (FGL) 150 (Paving)	na		
	Concrete Slabs	Thickness/load-bearing	na		
		Compacted fill/DPM	na		
		Reinforcing – mesh, cover, bars and supports	na		
		Tanking: wall DPC: top edge sealing	/		
		Blockwork: steel & foundations 4229	/		
		Shrinkage control	/		
	Timber Floors (Including Decks)	Bearer size, span, spacing	na		existing
	(Including Decks)	Joist size, span, spacing	na		
		Load-bearing walls on floors	na		
		Distance to supports	na		
		Lateral support or blocking	na		
		Subfloor insulation and protection	/		
		Flooring material	/		
		Ground clearances and ventilation	/		
	Pile Foundations	Pile types	na		
		Pile size, span spacing	na		
		Pile to bearer fixings	na		
		Stainless steel fixings if closer than 600mm from ground	/		
		Subfloor bracing	/		
Roofing	Roofing	Pitch/roofing underlay	✓		12° approx
		Timber treatment if under 10 degrees	✓		H3.2
		Roof: truss design and layout	na		
		Point loads/lintel sizes	na		
		Rafters and framing	na		
		Roof bracing	✓	✓	as per table 10.1
		Roof gutters	✓		observed
		Skillion roofs	na		std color steel
		Flat roofs/substrate and membrane	na		
		Roof penetrations and flashings	na	✓	specify local roofy
		Purlin size, span, spacing	na		
		Purlin fixings	na		
		Ridge beams and support	na		wood beams table 10.8
		Truss to plate fixings	na		
Framing	Timber Framing	Timber quality (grade/treatment)	na		3.2 H3.2
		Stud height, size, spacing	na		
		Plate fixings	na		
		Bottom plate DPC	na		
		Lintel and beam size, span	na		
		Lintel point loads	na		
		Lintel and beam fixings	na		
		Post fixings, top and bottom	na		
		Beam size and fixing (eg, verandahs)	na	✓	Post fixings & base alt solution
		Wall bracing	na		also consider wind uplift
		Brace sheets behind stairs and showers	na		
		15 kn concrete anchors used as per Gib requirements	na		
		Ceiling diaphragm	na		
		Ceiling framing/battens	na		
		Lower level deck framing and floor	na		
		Upper storey floor framing	na		
		Upper level deck framing	na		
Claddings*		Type claddings	na		
		Risk matrix	na		
		Cavity	/		
		Stud spacings to suit cladding type	/		

* Refer to Form BC25 for all claddings outside scope of E2/AS1.

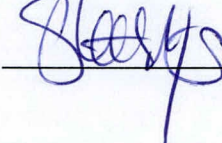
			Chkd	Rechkd	Comments
Cavity	Flashings	Wall, windows, junctions, parapet etc	nc		
		Building wrap and flexi tape	nc		
		Cladding/control joints	/		
Internal Finishes	Linings	Internal wet areas	na		
		Showers/tanking	na		
Plumbing and Drainage	Water System	Potability of water supply	na		
		HWC and valving incl. temp. valves	na		
	Solar Water Heater	Refer to separate checklist BC46	na		
	Waste Pipes	G13 or AS 3500	na		
		Fixtures per waste	na		
		Waste pipes size/gradient	na		
		Waste venting, antisiphonage	na		
	Drainage	Drain size, gradient, depth, cover	na		
		Septic tank or AWTs register no.	na		
		Loading on existing system	na		
		Downpipes and stormwater disposal	✓		to exist system
		Surface water / channel / sumps / subsoil drains-sumps	na		
Blockwork	Block Walls	Design/reinforcing	na		
	Openings	Lintels	na		
General Items	Ventilation	Opening windows/mechanical	na		
	Stairways	Landings/handrails/safety barriers	/		
		Anti-slip D1/AS1/Table 2			
		Stair dimensions/pitch	na		
		Handrails	/		
		Head clearance	/		
	Windows / Doors	Glazing	na		
		Opening restrictors	na		
	Upper Decks	Construction	/		
		Step down to deck	/		
		Drainage and gutters	/		
		Cladding clearance	/		
		Stormwater overflow relief	na		
		Substrate	/		
		Decking material	/		
		Deck weatherproofing	/		
		Barriers	/		
	Fire Safety	Type/location of smoke alarms	✓		noted on drawings
		Garage walls close to boundary	na		
		Internal self-contained flat	na		
	Gas Appliances	Safety precautions (shields, etc)	na		
		Ventilation	na		
	Hob Clearance	Electric or gas	na		
	Insulation	Scheduled method or other	/		
		Glass area/wall area	/		
		Roof lights	/		
		Double glazing	na		
		Wall insulation	/		
		Roof insulation	/		
		Floor insulation	/		
Fires	Installation of heaters	Refer to separate checklist – Form BC46	na		
Alternative Solutions		Items identified	na		
		Appeals and test results	na		

External Works	Retaining Walls	Siting/surcharge			
		Footings and construction	na		
		Subsoil drainage	na		
	Ground Works	Surface water control			
		Any excavation works and fill	na		
		Driveway construction	na		

Signed: 	Date of Check: 27/3/14.
Signed: 	Date of Recheck: 9/4/14

Tasman District Council (Building Consent Authority) has audited this Building Consent application and is satisfied on reasonable grounds that the plans and specifications which accompany this application will meet the provisions of the Building Code. I recommend that Building Consent be granted.

Signed on behalf of the Tasman District Council:

Name: Steve Arps Signature:  Date: 9/4/14

Engineering and PIM/TAN Checklist

Application Summary

Date
Applicant Name Bernadette Strickland
BC No 140161P
Project Location 139 Barnett Avenue, Best Island
Valuation No 1938092400
Land Area
Building Type Deck and verandah addition to dwelling

File Contents and Reports Required

Part 1: Engineering

Part 2: Land Use

Part 3: Natural Resources ☒ Yes / ☐ No Mike Mackiggan / Leif Pigott / Pete Keyanonda

Part 4: Natural Hazards ☒ Yes / ☐ No Eric Verstappen / Glenn Stevens

Part 5: Contaminants ☒ Yes / ☐ No Paul Sheldon

Part 6: Hazardous Substances ☒ Yes / ☐ No Paul Sheldon

Part 7: Licences ☒ Yes / ☐ No EHOs

Part 8: Other: ☒ Yes / ☐ No Who:

Recheck on new/revised plans ☐ Yes / ☐ No

duke 10/3/14
EW 20/3

NOTES:

- 1 Engineering PIM and Building PIM done by others
- 2 Environmental Health PIM required for buildings which are:
 - Food Premises (where food or drink is prepared or sold)
 - Liquor Licensing premises (where alcohol is sold)
 - Camping Grounds (where people pay a fee to camp on the land)
 - Hairdressers (both commercial salons or home salons)
 - Funeral Directors (funeral parlours or mortuary rooms)
 - Offensive trades (rubbish collection, sewage tank suckers, offal treatment, or anything else noisome)
- 3 Buildings which have an "unsecured" potable water supply (roof water tank, stream, spring, well, bore) require a note in either the building PIM, or by way of an RFI during the BC process.

Part 1: Engineering

Easements - check those which apply

S01	Your proposed building is located within Council's sewer easement area and needs to be resited clear of the easement.	<input type="checkbox"/>
S02	Your proposed building is located within Council's stormwater easement area and needs to be resited clear of the easement.	<input type="checkbox"/>
S03	Your proposed building is located within Council's stormwater secondary flow path easement area and needs to be resited clear of the secondary flow path to ensure run-off is not impeded in an extreme rain event.	<input type="checkbox"/>

Services – check those which apply

S10	A Council reticulated sewer lateral has been extended on to your site to provide connection for your development.	<input type="checkbox"/>
S11	A Council reticulated stormwater lateral has been extended on to your site to provide connection for your development.	<input type="checkbox"/>
S12	A Council water meter is in position to service your site.	<input checked="" type="checkbox"/>
S13	Council reticulated sewer is in vicinity to service your site/development. You need to complete a Council wastewater connection application form in order to gain a connection to your property. See form appended.	<input type="checkbox"/>
S14	Council reticulated stormwater is in vicinity to service your site/development. You need to complete a Council stormwater connection application form in order to gain a connection to your property. See form appended.	<input type="checkbox"/>
S15	Council reticulated water is in vicinity to service your site/development. You need to complete a Council water service connection application form in order to gain a connection to your boundary or tank. See form appended	<input type="checkbox"/>

Vehicle Access - check those which apply

S20	There is no existing vehicle access crossing to serve your site/development. You need to complete a vehicle access crossing permit application form in order to gain approval to obtain access to your site. See form appended.	<input type="checkbox"/>
S21	Your proposed plans show the extension of the existing vehicle access crossing. You need to complete a vehicle access crossing permit application form in order to gain approval to carry out this work. See form appended.	<input type="checkbox"/>
S22	Your proposed plans show the relocation of the existing vehicle access crossing. You need to complete a vehicle access crossing permit application form in order to gain approval to carry out this work. See form appended.	<input type="checkbox"/>
S23	The Council's District Plan requires that a vehicle access crossing is sealed from the edge of the road it adjoins for a distance of 10.0 metres into private land. According to information held at Council your vehicle access crossing does not meet this rule and will need to be upgraded. Please complete the vehicle access crossing permit application form enclosed and return to Council for approval prior to undertaking any work.	<input type="checkbox"/>

Tasman District Council Services and Charges

Reticulated Sewer	<input type="checkbox"/>	Number of Connections:
Reticulated Sewer – Pohara/St Arnaud exemption area	<input type="checkbox"/>	<i>No connection fee applies</i>
Reticulated Water Supply	<input checked="" type="checkbox"/>	Connection Fee applies NO
Reticulated Stormwater	<input type="checkbox"/>	<i>No connection fee applies</i>

Comments
Engineer Signoff

Name	ALEX GRIGG	Outcome	COMPLETED
Date	4/3/14		

Part 2: Land Use

Zone, Area and Title Checks

Designations NONE

Features NONE

Roading Hierarchy N/A
~~Consent Notice/BLR no/LAR~~ NONE

If LAR, BC applicant to get Roading Authority confirmation that access is correct.

ZONE: RESIDENTIAL Choose an item.

Permitting – ALL ZONES

Y N

Activity ☒ ☐

Height ☒ ☐

Coverage (___ %) ☒ ☐

Permitting – Zone Specific

Only complete the section that relates to this consent's zone.

Residential

Y N

Y N

One dwelling ☒ ☐ ~~Outdoor living space or~~ ☐ ☐
~~Density~~ ☐ ☐ ~~First floor deck space~~ ☐ ☐
~~Waimea Village~~ ☐ ☐ ~~Deck over 2m and 4m from bdry~~ ☐ ☐
~~Sleepout <36 m³~~ ☐ ☐ ~~Detached bldg. <6m has 2.5 step~~ ☐ ☐
~~Milnthorpe~~ ☐ ☐ Daylight over/around ☒ ☐
~~Access/loading/turning/parking~~ ☐ ☐ ☐ ☒
Setbacks ~~Road Boundary~~ ☐ ☐ Internal Boundary ☒ ☐
~~1m from access~~ ☐ ☐
Dwellings ~~25m rural~~ ☐ ☐ ~~Rivers~~ ☐ ☐
~~10m from industrial zones~~ ☐ ☐ ~~50m from Old Wharf Rd, Mot~~ ☐ ☐
~~20m from archaeological sites~~ ☐ ☐

Rural 1 or Rural 3

Y N

Y N

Sleepout ☐ ☐ R3 – rain tank ☐ ☐

23,000L water tank ☐ ☐ R3 in building location ☐ ☐

New dwelling/workers acc – consent required ☐ ☐ 45000l fire fighting water storage ☐ ☐
Setbacks Setbacks? ☐ ☐ Hort plant setback ☐ ☐

Adjoin res zone/R3 - daylight ☐ ☐ 500m quarry setback ☐ ☐

Rural 2 or Rural Residential		Y	N		Y	N
Sleepout		<input type="checkbox"/>	<input type="checkbox"/>	Dwellings - 23,000L water tank	<input type="checkbox"/>	<input type="checkbox"/>
Workers acc – consent required		<input type="checkbox"/>	<input type="checkbox"/>	Mapua/Waimea rain tank	<input type="checkbox"/>	<input type="checkbox"/>
45000l fire fighting water storage		<input type="checkbox"/>	<input type="checkbox"/>			
Setbacks	Setbacks?	<input type="checkbox"/>	<input type="checkbox"/>	Hort plant setback	<input type="checkbox"/>	<input type="checkbox"/>
	Adjoin res zone - daylight	<input type="checkbox"/>	<input type="checkbox"/>	500m quarry setback	<input type="checkbox"/>	<input type="checkbox"/>

Industrial/Rural Industrial		Y	N		Y	N
Docks/Bays		<input type="checkbox"/>	<input type="checkbox"/>	Storage screened	<input type="checkbox"/>	<input type="checkbox"/>
1.8m fence/wall		<input type="checkbox"/>	<input type="checkbox"/>	2m plants	<input type="checkbox"/>	<input type="checkbox"/>
Bund		<input type="checkbox"/>	<input type="checkbox"/>			
Setbacks	Road	<input type="checkbox"/>	<input type="checkbox"/>	Rivers/cea/mhws	<input type="checkbox"/>	<input type="checkbox"/>
	Bund	<input type="checkbox"/>	<input type="checkbox"/>	Zones/reserves	<input type="checkbox"/>	<input type="checkbox"/>

Mixed Business/CB/COMM/TS		Y	N		Y	N
Outdoor storage		<input type="checkbox"/>	<input type="checkbox"/>	Adjoin res zone – hours 7-11	<input type="checkbox"/>	<input type="checkbox"/>
Indoor storage		<input type="checkbox"/>	<input type="checkbox"/>	2m plants	<input type="checkbox"/>	<input type="checkbox"/>
Storage screened		<input type="checkbox"/>	<input type="checkbox"/>	Daylight over	<input type="checkbox"/>	<input type="checkbox"/>
Setbacks		<input type="checkbox"/>	<input type="checkbox"/>	Docks/Bays	<input type="checkbox"/>	<input type="checkbox"/>
Setbacks	Road	<input type="checkbox"/>	<input type="checkbox"/>	Rivers/cea/mhws	<input type="checkbox"/>	<input type="checkbox"/>
	Bund	<input type="checkbox"/>	<input type="checkbox"/>	Zones/reserves	<input type="checkbox"/>	<input type="checkbox"/>
	Adjoin res zone - daylight	<input type="checkbox"/>	<input type="checkbox"/>			
CB ONLY	Shop frontage built to sides	<input type="checkbox"/>	<input type="checkbox"/>	Verandah continued	<input type="checkbox"/>	<input type="checkbox"/>
TS ONLY	Wall length <15m	<input type="checkbox"/>	<input type="checkbox"/>	Salisbury Road landscaping	<input type="checkbox"/>	<input type="checkbox"/>
	Daylight	<input type="checkbox"/>	<input type="checkbox"/>	Mapua relocatable	<input type="checkbox"/>	<input type="checkbox"/>

Open Space		Y	N		Y	N
3m setback		<input type="checkbox"/>	<input type="checkbox"/>	Daylight over	<input type="checkbox"/>	<input type="checkbox"/>

Recreation		Y	N		Y	N
Daylight over		<input type="checkbox"/>	<input type="checkbox"/>	1m plants between parks & roads	<input type="checkbox"/>	<input type="checkbox"/>
3m setback		<input type="checkbox"/>	<input type="checkbox"/>	Lighting not visible from roads	<input type="checkbox"/>	<input type="checkbox"/>

Conservation		Y	N		Y	N
10m setback		<input type="checkbox"/>	<input type="checkbox"/>			

Area Information		Y	N		Y	N
Special Area		SOWDA CEA				
Activity permitted?		<input checked="" type="checkbox"/>	<input type="checkbox"/>	Building permitted?	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Section 37 Building Act 2004: Select One

- Resource Consent NOT Required ☐ Proposed building work is permitted activity or resource consent granted.
Comments:
-
- Resource Consent Required ☐ No building work may proceed until resource consent has been obtained
☐ Building work may only proceed **to the extent stated below**, until resource consent has been obtained
Comments:

Any Other Items

Please note any additional items here.

REWORKING STAIRCASE FROM MAINS. IN CH

Land Use Consultant Signoff

Name MARK RUMBY Outcome RM CHAT REVIAM
Date 6/3/14

Consent Planner Counter-sign for Section 37 Certificates

Name Ro Cudby Section 37 requirement confirmed, pursuant to the delegated authority of Tasman District council (Territorial Authority)
Date 7/3/14

Part 3: Natural Resources

Details

Zone: Residential Size: 809m²
Area: SWAD1 Title Issued date: 10 March 1958
Consent Notices:

Natural Resource Checks – which sections do I complete?

- A. Is the wastewater reticulated, **and** the wastewater volume the same or less? If you answered "No", complete **Sections 1 & 3**. Otherwise continue.
- B. Is stormwater reticulated, **and** the stormwater volume the same or less? If you answered "No", complete **Section 2 & 3**. Otherwise complete **Section 4**.
- C. Are there other issues unrelated to Wastewater, Stormwater, Land Disturbance or Hazardous Material? If yes, complete **Section 5**.

Section 1: Wastewater and Stormwater	Y	N		Y	N
Discharge in WMA	<input type="checkbox"/>	<input type="checkbox"/>	WW volume < 2000 litres per day	<input type="checkbox"/>	<input type="checkbox"/>
In SDWDA and treated to BOD20 TSS30	<input type="checkbox"/>	<input type="checkbox"/>	Discharge > 20m from water & bore	<input type="checkbox"/>	<input type="checkbox"/>
In SDWDA and dose loaded to field	<input type="checkbox"/>	<input type="checkbox"/>	Discharge > 1.5m from boundary	<input type="checkbox"/>	<input type="checkbox"/>
Treated to BOD 150 TSS 150	<input type="checkbox"/>	<input type="checkbox"/>	Discharge > 0.5m from winter g'water	<input type="checkbox"/>	<input type="checkbox"/>
Loading rate etc good with no breakout	<input type="checkbox"/>	<input type="checkbox"/>	Sampling point provided	<input type="checkbox"/>	<input type="checkbox"/>
Design and operation meets standards	<input type="checkbox"/>	<input type="checkbox"/>			

Section 2: Wastewater and Stormwater	Y	N		Y	N
In R1/R2/Open Space/Cons/Recreation zone	<input type="checkbox"/>	<input type="checkbox"/>	Site used for hazardous substances	<input type="checkbox"/>	<input type="checkbox"/>
Discharge pre-98 in other zones	<input type="checkbox"/>	<input type="checkbox"/>	Destruction of habitats in water	<input type="checkbox"/>	<input type="checkbox"/>
SW could contribute to/cause erosion	<input type="checkbox"/>	<input type="checkbox"/>	Films, scum/foams, susp'd material	<input type="checkbox"/>	<input type="checkbox"/>
SW could contribute to/cause flooding	<input type="checkbox"/>	<input type="checkbox"/>	Drainage into coastal waters/sinkhole	<input type="checkbox"/>	<input type="checkbox"/>
SW into same catchment as diverted from	<input type="checkbox"/>	<input type="checkbox"/>	Obstruction of fish passage	<input type="checkbox"/>	<input type="checkbox"/>

Section 3: Wastewater and Stormwater -Outcome

Wastewater complies?

Relevant wastewater clause in the TRMP:

Stormwater complies?

Relevant stormwater clause in the TRMP:

36.4.2.1 (3) ✓

Section 4: Land Disturbance and Hazardous Material	Y	N		Y	N
LDA1: meets conditions	<input type="checkbox"/>	<input type="checkbox"/>	HAZ: HFSP ratio < PA limit	<input type="checkbox"/>	<input type="checkbox"/>
LDA2 :batter/excavation height <1.5m	<input type="checkbox"/>	<input type="checkbox"/>	HAZ: fuel storage <5000 litres	<input type="checkbox"/>	<input type="checkbox"/>
LDA2: meets all other conditions	<input type="checkbox"/>	<input type="checkbox"/>	HAZ: meets all other conditions	<input type="checkbox"/>	<input type="checkbox"/>

Section 5: Any Other Items

Please note any additional items here.

Section 6: Relevant Resource Consents

Consent	Type
Consent	Type
Consent	Type
Consent	Type
Consent	Type

Consent Planner Signoff

Name Mike Hestiggen Outcome

Date 10/3/14

Part 4: Natural Hazards

Comments (optional):

Natural Hazards Signoff

Name

Outcome

Date

Part 5: Contaminants

Comments (optional):

Contaminants Signoff

Name

Outcome

Date

Part 6: Hazardous Substances

Comments (optional):

Hazardous Substances Signoff

Name

Outcome

Date

Part 7: Licences

Comments (optional):

Licences Signoff

Name

Outcome

Date

Part 8: Other Checks

Comments (optional):

Other Signoff

Name

Outcome

Date

Eric Verstappen

To: BC Admin
Subject: BC140161 - Strickland 139 Barnett Ave Best Island

Council has no record of the property being affected by flooding, land contamination, land instability or specific earthquake hazards. The property is located on the eastern, seaward facing margin of Best Island, separated from the coastal edge by a Council esplanade reserve. The reserve and seaward frontage of the property (at around 3.5m-4m amsl) may be subject to seawater inundation during periods of high spring tide and storm surge and this risk will increase in a future projected climate change and sea level rise scenario. The house is built on a pile foundation on a ridge of well elevated ground rising to over 4.5m amsl on the western edge of the property. The proposed deck and verandah is located on the west face of the house, also with a pile foundation and is not considered subject to flooding or other hazard risk.



COMPUTER FREEHOLD REGISTER UNDER LAND TRANSFER ACT 1952



Search Copy

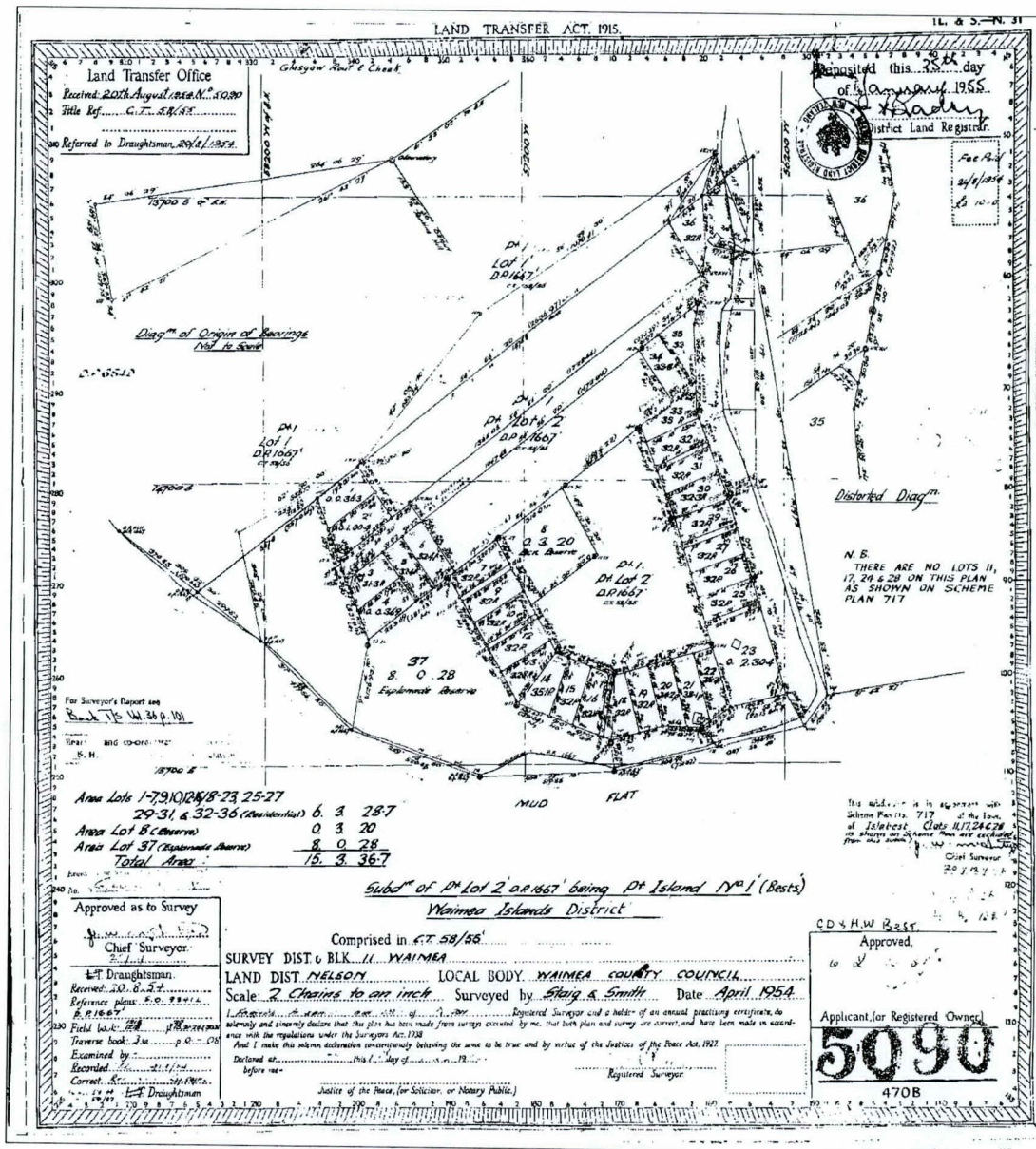
R. W. Muir
Registrar-General
of Land

Identifier NL141/34
Land Registration District Nelson
Date Issued 12 March 1958

Prior References
NL58/55

Estate Fee Simple
Area 809 square metres more or less
Legal Description Lot 25 Deposited Plan 5090
Proprietors
Bernadette Mary Strickland

Interests
Fencing Agreement in Transfer 64561 - 12.3.1958





COMPUTER FREEHOLD REGISTER UNDER LAND TRANSFER ACT 1952



Search Copy

R. W. Muir
Registrar-General
of Land

Identifier NL141/34
Land Registration District Nelson
Date Issued 12 March 1958

Prior References
NL58/55

Estate Fee Simple
Area 809 square metres more or less
Legal Description Lot 25 Deposited Plan 5090
Proprietors
Bernadette Mary Strickland

Interests
Fencing Agreement in Transfer 64561 - 12.3.1958

LAND TRANSFER ACT 1915

1880 1890 1900 1910 1920 1930 1940 1950 1960 1970 1980 1990 2000

Land Transfer Office

Received 20th August 1954 A.N. 5090

Title Ref. C.T. 58/55

Referred to Draughtsman, 20th/8/1954

Deposited this 28th day of January 1955

Heads

District Land Registrar

Fee Paid 25/1/1955

£ 10 0

For Surveyor's Report see Book To Vol 26 p. 101

Scale: 1 inch = 100 feet

Area Lots 1-79/102/8/23 25-27

29-31 & 32-36 (Residential) 6.3 287

Area Lot 8 (Cave) 0.3 20

Area Lot 37 (Residential) 8.0 28

Total Area 15.3 367

N.B. THERE ARE NO LOTS II, 24 & 28 ON THIS PLAN AS SHOWN ON SCHEME PLAN 717

This plan is in agreement with Scheme Plan 717 of the Town of Takahāhā. Date 17/2/1954

Dist Surveyor 20/1/54

Subdⁿ of Pt Lot 2 of 1967 being Pt Island IV^o (Bests)

Waimea Islands District

Comprised in C.T. 58/55

SURVEY DIST. BLK. II, WAIMEA

LAND DIST. NELSON LOCAL BODY, WAIMEA COUNTY COUNCIL

Scale: 2 Chains to an inch Surveyed by *Starg & Smith* Date April 1954

And I make this solemn declaration conscientiously believing the same to be true and by virtue of the Powers Act 1927

Declared before me this 1st day of January 1955

Registered Surveyor

Approved as to Survey

Chief Surveyor

E.T. Draughtsman

Received 20.8.54

Reference page 5.8.9.1.2

Field book 200

Traverse book 200

Examined by

Recorded by

Corrected by

CD 4 H.W. Best

Approved

Applicant (or Registered Owner)

5090

4708

Building Consent Checklist: Application Acceptance

BC 140161

Part 1: Customer Service Officer to Complete

Application Details

Applicant Name: B Strickland

Site Address: 139 Barnett Ave, Best Island

Valuation No: 1938092400 Project Value: \$ 18,000.00

X Co-ordinate: 1613714 Y Co-ordinate: 5427907

Project Type:
Verandah addition

Square Meterage: 20 No. WC Pans: 0

Tick one: ☒ This is a new application, or
☐ This is an amendment to existing BC no.:

Checklist

- ✓ Application form completed and signed
- ✓ Certificate of Title (all pages) – copy less than 3 months old
- ✓ Two copies of submitted documents (Drawings and Specifications)
- ✓ Extra copy of floor plans (for Quotable Value)

✓ Deposit Paid Receipt No: 738695
GL: 3201100101

Deposit Received by Mail/Internet

- ✓ Pre-lodgement checklist completed and signed

If any of the relevant information is NOT present and complete in the Building Consent application, Tasman District Council reserves the right to decline receipt of the application.

Customer Service Officer Signoff

Name: Nikki Shepherd Outcome: Application Accepted

Date: 27/02/2014

[Print Form](#)

Building Consent Pre-Lodgement Checklist: RESIDENTIAL

About this checklist

- This checklist is required for all BC applications. The applicant should identify if, and where, information is shown on the plan drawings.
- This is to help the Building Consent Authority (BCA) check the completeness of the application before it can be accepted for processing.
- This is not a check of correctness or compliance; compliance checks are done later, and the process may be suspended if any non-compliant items are identified.
- If required information is missing, the application cannot be lodged and we will advise you of the identified deficiencies. The application can be resubmitted once all the required information is present.
- The first 30 minutes of our check are free. A checking fee will be charged after that.

Instructions and Example

- *Applicants must fill in all shaded areas*
- *Note the location/page number of the drawings in shaded columns below, as shown:*

EXAMPLE	Sheet	N/A	Office use	This section ok <input type="checkbox"/>
Shows legal boundaries, easements, access	010	<input type="checkbox"/>	<input type="checkbox"/>	
Datum, spot levels or contours and North point	011	<input type="checkbox"/>	<input type="checkbox"/>	
All existing buildings		<input checked="" type="checkbox"/>	<input type="checkbox"/>	
Location of new buildings and distance to boundaries	011	<input type="checkbox"/>	<input type="checkbox"/>	

Checklist

Project Description	URBANOAN ADDITION TO EXISTING HOUSE
Address	139 BALWINT AVE - BOST ISLAND
Owner	BORNADOTTO STRICKLAND
Project includes Restricted Building Work?	

If this project includes Restricted Building Work:	Sheet	N/A	Office use	This section ok <input type="checkbox"/>
Names and registration numbers of Licensed Building Practitioner (LBP) designers (<i>compulsory</i>)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Names and registration numbers of LBP site workers If N/A, please indicate when and how these will be provided?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Certificate of work provided by the designer	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	

Application Form	Yes/No	Office use	This section ok <input type="checkbox"/>
Two sets of plans and specifications provided	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
Legal description completed	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
Description of work accurate	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
Specified life applied	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
Value of work provided and accurate	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
Application form completed and correct, including compliance list on pages 4 and 5	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
Application form signed and dated	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
Certificate of Title provided with any consent notices	<input checked="" type="checkbox"/>	<input type="checkbox"/>	

Design Basis	Sheet	N/A	Office use	This section ok <input type="checkbox"/>
Wind zone	31	<input type="checkbox"/>	<input type="checkbox"/>	
Earthquake zone	31	<input type="checkbox"/>	<input type="checkbox"/>	
Snow zone	31	<input type="checkbox"/>	<input type="checkbox"/>	
Corrosion zone	31	<input type="checkbox"/>	<input type="checkbox"/>	
E2 Risk Matrix	3	<input checked="" type="checkbox"/>	<input type="checkbox"/>	

Drawings	Yes/No	Office use	This section ok <input type="checkbox"/>
Plans to acceptable standard, ie: to scale, no graph paper, no pencil drawings, no single line drawings (refer to DBH "Guide to applying for a building consent")	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
Contents page provided and drawing sheets cross-referenced	<input checked="" type="checkbox"/>	<input type="checkbox"/>	

Specifications	Yes/No	Office use	This section ok <input type="checkbox"/>
The specifications are job-specific and meaningful, with a Contents page		<input type="checkbox"/>	
Includes all supporting information, including product manufacturers' specifications		<input type="checkbox"/>	
Specification notes also shown on drawings	<input checked="" type="checkbox"/>	<input type="checkbox"/>	

Demolition Work	Sheet	N/A	Office use	This section ok <input type="checkbox"/>
Shows if building is to be removed or demolished		<input checked="" type="checkbox"/>	<input type="checkbox"/>	
If demolished, shows a full site plan showing all safety protection measures to be taken, services capped off		<input type="checkbox"/>	<input type="checkbox"/>	
Shows how any hazardous materials are to be safely disposed of (landfill site, etc)		<input type="checkbox"/>	<input type="checkbox"/>	

Site Plan	Sheet	N/A	Office use	This section ok <input type="checkbox"/>
Shows legal boundaries, easements, access	31	<input type="checkbox"/>	<input type="checkbox"/>	
Datum, spot levels or contours and North point	31	<input type="checkbox"/>	<input type="checkbox"/>	
Any excavation works, fill, retaining walls and surface water control measures		<input checked="" type="checkbox"/>	<input type="checkbox"/>	
All existing buildings	31	<input type="checkbox"/>	<input type="checkbox"/>	
Location of new buildings and distance to boundaries	31	<input type="checkbox"/>	<input type="checkbox"/>	
Infrastructure locations (sewer, water and stormwater laterals) or effluent field locations	31	<input checked="" type="checkbox"/>	<input type="checkbox"/>	

Floor Plan	Sheet	N/A	Office use	This section ok <input type="checkbox"/>
If alteration work, shows separate plans for existing and for new	32	<input type="checkbox"/>	<input type="checkbox"/>	
Layout fully dimensioned	32	<input type="checkbox"/>	<input type="checkbox"/>	
Rooms identified		<input checked="" type="checkbox"/>	<input type="checkbox"/>	
Windows, doors and lintel sizes shown	32	<input type="checkbox"/>	<input type="checkbox"/>	
Mechanical ventilation details where no opening windows		<input checked="" type="checkbox"/>	<input type="checkbox"/>	
Smoke detectors or fire alarm locations	32	<input type="checkbox"/>	<input type="checkbox"/>	
Heating unit appliance		<input checked="" type="checkbox"/>	<input type="checkbox"/>	
Type of shower		<input checked="" type="checkbox"/>	<input type="checkbox"/>	

Foundation Plan	Sheet	N/A	Office use	This section ok <input type="checkbox"/>
Full foundation layout plan provided		<input checked="" type="checkbox"/>	<input type="checkbox"/>	
Concrete slab – details including reinforcing (500E reference shown), hardfill, DPC, control joints, slab thickenings		<input type="checkbox"/>	<input type="checkbox"/>	
Timber floors – pile layout, location and bracing, subfloor framing, sizes, timber treatments and connectors		<input type="checkbox"/>	<input type="checkbox"/>	
Any special stainless steel where needed		<input type="checkbox"/>	<input type="checkbox"/>	
Ventilation and protection of underfloor insulation		<input type="checkbox"/>	<input type="checkbox"/>	

Cross Section and Details	Sheet	N/A	Office use	This section ok <input type="checkbox"/>
At least two full cross sections provided	32	<input type="checkbox"/>	<input type="checkbox"/>	
All complex areas detailed		<input type="checkbox"/>	<input type="checkbox"/>	
All timber framing sizes and spacings shown with timber species, and treatments	32	<input type="checkbox"/>	<input type="checkbox"/>	
All uplift connectors specified	32	<input type="checkbox"/>	<input type="checkbox"/>	
Insulation materials		<input checked="" type="checkbox"/>	<input type="checkbox"/>	
Details of all wall and roof areas		<input checked="" type="checkbox"/>	<input type="checkbox"/>	
Details of all foundations		<input checked="" type="checkbox"/>	<input type="checkbox"/>	
Details of any upper floors and balconies, decks and barriers		<input checked="" type="checkbox"/>	<input type="checkbox"/>	
All window and door flashings details		<input checked="" type="checkbox"/>	<input type="checkbox"/>	
All roof penetrations details		<input checked="" type="checkbox"/>	<input type="checkbox"/>	
Any flashings between different claddings, and new/existing if an addition		<input checked="" type="checkbox"/>	<input type="checkbox"/>	
For any stairs, full stair and barrier details		<input checked="" type="checkbox"/>	<input type="checkbox"/>	
Claddings and any drainage cavities detailed		<input checked="" type="checkbox"/>	<input type="checkbox"/>	
Flashing of windows, doors, junction, balcony, parapet, interior / exterior corner penetrations detailed		<input checked="" type="checkbox"/>	<input type="checkbox"/>	

Elevations	Sheet	N/A	Office use	This section ok <input type="checkbox"/>
Shows all claddings and any control joints	33	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
Doors and windows (window opening direction and any safety or special glass)		<input checked="" type="checkbox"/>	<input type="checkbox"/>	
Accurate ground lines and floor levels (consistent with that on site plan)	33	<input type="checkbox"/>	<input type="checkbox"/>	
Any ventilators for subfloor spaces		<input checked="" type="checkbox"/>	<input type="checkbox"/>	
References to any cross section details on other pages		<input checked="" type="checkbox"/>	<input type="checkbox"/>	

Roof Framing	Sheet	N/A	Office use	This section ok <input type="checkbox"/>
Roof framing and bracing layouts	53	<input type="checkbox"/>	<input type="checkbox"/>	
For trusses, full truss design, PS1 and plan provided		<input checked="" type="checkbox"/>	<input type="checkbox"/>	
For flat roofs, full substrate and membrane details and surface water control details		<input checked="" type="checkbox"/>	<input type="checkbox"/>	

Interior Works	Sheet	N/A	Office use	This section ok <input type="checkbox"/>
Bracing design and bracing plan		<input checked="" type="checkbox"/>	<input type="checkbox"/>	
Thermal insulation details provided (scheduled method or calculation)		<input type="checkbox"/>	<input type="checkbox"/>	
Details for any wet area membranes (showers and tiled areas)		<input type="checkbox"/>	<input type="checkbox"/>	
Gas appliances –clearances, ventilation, bottle locations and restraints		<input type="checkbox"/>	<input type="checkbox"/>	

Specific Design	Sheet	N/A	Office use	This section ok <input type="checkbox"/>
Completed and legible Producer Statement covering all SED works		<input checked="" type="checkbox"/>	<input type="checkbox"/>	
Engineer appropriately qualified (CPEng)		<input type="checkbox"/>	<input type="checkbox"/>	
Inspection schedule for site monitoring		<input type="checkbox"/>	<input type="checkbox"/>	
Engineer's calculations provided		<input type="checkbox"/>	<input type="checkbox"/>	

Plumbing and Drainage	Sheet	N/A	Office use	This section ok <input type="checkbox"/>
Shows which plumbing and drainage rules apply		<input checked="" type="checkbox"/>	<input type="checkbox"/>	
Waste pipe sizes, gradients, and venting		<input checked="" type="checkbox"/>	<input type="checkbox"/>	
Hot water cylinder details and valving, restraints/support		<input type="checkbox"/>	<input type="checkbox"/>	
Sewer and stormwater drains, gradients, invert levels, traps and venting		<input type="checkbox"/>	<input type="checkbox"/>	
Full design report and details for any on-site-wastewater system		<input type="checkbox"/>	<input type="checkbox"/>	
Details of any solar heating system or wetback system, location identified and manufacturer's specification included		<input type="checkbox"/>	<input type="checkbox"/>	
Full stack system details for multi-storey buildings (including an isometric diagram)		<input type="checkbox"/>	<input type="checkbox"/>	
Stormwater discharge method and surface water control		<input type="checkbox"/>	<input type="checkbox"/>	
Shows how potable water is protected against contamination (backflow)		<input type="checkbox"/>	<input type="checkbox"/>	

Additional Information	Sheet	N/A	Office use	This section ok <input type="checkbox"/>
Alternative solutions are clearly identified and of sufficient detail to assess compliance		<input checked="" type="checkbox"/>	<input type="checkbox"/>	
Swimming pool fencing, drainage, etc shown		<input type="checkbox"/>	<input type="checkbox"/>	
Solid fuel heater location identified and manufacturer's specification incl.		<input type="checkbox"/>	<input type="checkbox"/>	

Hazardous Substances Stored on Site	Sheet	N/A	Office use	This section ok <input type="checkbox"/>
Verifies that a test certifier location certificate / preliminary test certifier letter provided		<input checked="" type="checkbox"/>	<input type="checkbox"/>	

Office Use Only – Building Consent Officer Signoff

Name	Outcome		
Date	(1)	(2)	(3)
Process Duration	(1)	(2)	(3)

Application for Building Consent and/or Project Information Memorandum (PIM)

Section 33 or Section 45, Building Act 2004

BC 140161

Instructions

OFFICE USE
Date received:

- Use this form if you are applying for a Building Consent only; OR a PIM only; OR both.
 - Building Consent only:** complete Parts A, C, D, E, F, and G*.
 - PIM only:** complete Parts A, B, C, E, F.
 - Building Consent and a PIM:** complete parts A, B, C, D, E, F, and G*.
- *G applies only to commercial applications or properties which include specified systems.
- For assistance with this application form, please refer to the notes on the last page.

Part A

The Building

Street address of building 139 BARNETT AVE BOAT ISLAND
Note: for structures that do not have a street address, state the nearest street intersection and the distance and direction from that intersection.

Legal description of land where building is located
Note: state legal description as at the date of application and, if the land is proposed to be subdivided, include details of relevant lot numbers and subdivision consent. LOT 25 DP 5090

Building name, if applicable _____

Location of building within site/block number _____
Note: include nearest street access or valuation number

Number of levels _____
Note: include ground level and any levels below ground

Level/unit number, if applicable _____

Area _____
Note: this is the total floor area; indicate area affected by the building work if less than the total area 20m²

Number of WC pans _____
Note: only count new toilets, not existing ones 0

Current, lawfully established use: _____
Note: include number of occupants per level and per use if more than one Residing

Year first constructed _____
Note: approximate date is acceptable, e.g. 1920s or 1960-1970 1959

The Agent (only required if the application is being made by another party on behalf of the owner)

Name of Agent _____

Contact Person (put N/A if the applicant is an individual) _____

Mailing address _____

Street address/registered office _____

Phone numbers: Daytime _____
 Mobile _____

Email _____

Website _____

Relationship to owner (state details of the authorisation from the owner to make the application on the owner's behalf) _____

The Owner


Name of Owner	BERNARDOTTE STRICKLAND		
Contact Person	BERNARDOTTE STRICKLAND		
Mailing address	139 BALNOTT AVE RD 1 RICHMOND 7081		
Street address/registered office			
Phone numbers:	Daytime		
	Mobile	0221 607 156	
Email			
Website			
Evidence of ownership <i>I.E., copy of certificate of title, lease, agreement for sale and purchase, or other document showing full name of legal owner(s) of the building)</i>	<input type="checkbox"/>	Copy of Certificate of Title (less than 3 months old)	
	<input type="checkbox"/>	Agreement for sale and purchase	
	<input type="checkbox"/>	Lease	
	<input type="checkbox"/>	Other	

First Point of Contact (only required if not the owner or the agent)

First point of contact for communications with Council	GOWENS WALTERS & ASSOC LTD		
Contact Person (put N/A if the applicant is an individual)	ALAN WALTERS		
Mailing address	Box 3608 RICHMOND 7050		
Street address/registered office			
Phone numbers:	Daytime	544 9499	
	Mobile		
Email	alan@gowenswalters.co.nz		
Website			
Relationship to owner (state details of the authorisation from the owner to make the application on the owner's behalf)	DESIGNER		

Application

I request that you issue a (tick one box)	<input type="checkbox"/>	Project Information Memorandum only
	<input type="checkbox"/>	Project Information Memorandum & Building Consent
	<input type="checkbox"/>	Building Consent for PIM no. _____ for the building work described in this application
	<input checked="" type="checkbox"/>	Building Consent only



Signature of owner/agent (delete one) on behalf of and with the authority of the owner

Part B

Project Information Memorandum Supporting Information

(To be completed unless a PIM Has already been provided)

- ☐ Subdivision Application Number
- ☐ Resource Consent Application Number
- ☐ Alterations to land contours
- ☐ New or altered connections to public utilities
- ☒ New or altered locations and/or external dimensions of buildings
- ☐ New or altered access for vehicles
- ☐ Building work over or adjacent to any road of public place
- ☐ Disposal of stormwater and wastewater
- ☐ Building work over any existing drains or sewers, or in close proximity to wells or water mains

Other matters known to the applicant that may require authorisation from the territorial authority:

Part C

The Project

Describe the building work. Provide sufficient description of the building work to enable scope of work to be fully understood. If necessary, refer to an attached document setting out the description.

- ☐ New
- ☒ Alteration *DECK & VERANDA ADDITION TO EXISTING HOUSE*
- ☐ Relocation

Will the building work result in a change of use of the building?

If yes, provide details of new use:

Intended life of the building if less than 50 years _____ years

Estimated value of the building work on which the building levy \$ *18,000*
(including GST; state estimated value as defined in Section 7 of the Building Act 2004).

List building consents previously issued for this project, if any:

Issued by	Date Issued	Consent Number

Part D

Building Consent

- ☐ Plans and specifications are attached to this application. NOTE: all plans and specifications must meet the minimum requirements set out in the Regulations or required by the Building Consent Authority)

The building work will comply with the Building Code as follows:
If you are unsure which clauses are applicable, talk to the BCA or your architect.

Clause	Means of compliance (refer to the relevant compliance document(s), or detail of alternative solution in the plans and specifications; if not applicable, put N/A)			
<input checked="" type="checkbox"/> B1 Structure	<input checked="" type="checkbox"/> B1/AS1 <input type="checkbox"/> N/A	<input type="checkbox"/> NZS 3604 Other:	<input type="checkbox"/> NZS 4203	<input type="checkbox"/> NZS4229
<input checked="" type="checkbox"/> B2 Durability	<input checked="" type="checkbox"/> B2/AS1 <input type="checkbox"/> N/A	<input type="checkbox"/> NZS 3101 Other:	<input type="checkbox"/> NZS 3602	<input type="checkbox"/> NZS 3604
<input type="checkbox"/> C1-7 Fire	<input type="checkbox"/> C/VM1 <input type="checkbox"/> C/VM2 <input type="checkbox"/> C/AS7	<input type="checkbox"/> C/AS1 <input type="checkbox"/> C/AS4 <input type="checkbox"/> N/A	<input type="checkbox"/> C/AS2 <input type="checkbox"/> C/AS5 Other:	<input type="checkbox"/> C/AS3 <input type="checkbox"/> C/AS6
<input type="checkbox"/> D1 Access Routes	<input type="checkbox"/> D1/AS1 <input type="checkbox"/> N/A	<input type="checkbox"/> NZS 4121 Other:		
<input type="checkbox"/> D2 Mechanical Installations for Access	<input type="checkbox"/> D2/AS1 <input type="checkbox"/> N/A	<input type="checkbox"/> NZS 4332 Other:	<input type="checkbox"/> EN 81	<input type="checkbox"/> EN 115
<input type="checkbox"/> E1 Surface Water	<input type="checkbox"/> E1/AS1 <input type="checkbox"/> N/A	<input type="checkbox"/> AS/NZS 3500.3 Other:		
<input checked="" type="checkbox"/> E2 External Moisture	<input checked="" type="checkbox"/> E2/AS1 <input type="checkbox"/> N/A	<input type="checkbox"/> Specific Design and testing Other:		
<input type="checkbox"/> E3 Internal Moisture	<input type="checkbox"/> E3/AS1 <input type="checkbox"/> N/A	Other:		
<input type="checkbox"/> F1 Hazardous Agents on Site	<input type="checkbox"/> F1/AS1 <input type="checkbox"/> N/A	Other:		
<input type="checkbox"/> F2 Hazardous Building Materials	<input type="checkbox"/> F2/AS1 <input type="checkbox"/> N/A	<input type="checkbox"/> NZS 4223 Other:		
<input type="checkbox"/> F3 Hazardous Substances and Processes	<input type="checkbox"/> F3/AS1 <input type="checkbox"/> N/A	Other:		
<input type="checkbox"/> F4 Safety from Falling	<input type="checkbox"/> F4/AS1 <input type="checkbox"/> N/A	<input type="checkbox"/> FSP Act Other:		
<input type="checkbox"/> F5 Construction and Demolition Hazards	<input type="checkbox"/> F5/AS1 <input type="checkbox"/> N/A	Other:		
<input type="checkbox"/> F6 Lighting for Emergency	<input type="checkbox"/> F6/AS1 <input type="checkbox"/> N/A	Other:		
<input checked="" type="checkbox"/> F7 Warning Systems	<input checked="" type="checkbox"/> F7/AS1 <input type="checkbox"/> N/A	<input type="checkbox"/> AS/NZS 1668 Other:	<input type="checkbox"/> NZS 4512	<input type="checkbox"/> NZS4515
<input type="checkbox"/> F8 Signs	<input type="checkbox"/> F8/AS1 <input type="checkbox"/> N/A	Other:		

<input type="checkbox"/> G1 Personal Hygiene	<input type="checkbox"/> G1/AS1 <input type="checkbox"/> N/A	Other:
<input type="checkbox"/> G2 Laundering	<input type="checkbox"/> G2/AS1 <input type="checkbox"/> N/A	Other:
<input type="checkbox"/> G3 Food Preparation and Prevention of Contamination	<input type="checkbox"/> G3/AS1 <input type="checkbox"/> N/A	Other:
<input type="checkbox"/> G4 Ventilation	<input type="checkbox"/> G4/AS1 <input type="checkbox"/> N/A	Other:
<input type="checkbox"/> G5 Interior Environment	<input type="checkbox"/> G5/AS1 <input type="checkbox"/> N/A	Other:
<input type="checkbox"/> G6 Airborne and Impact Sound	<input type="checkbox"/> G6/AS1 <input type="checkbox"/> N/A	Other:
<input type="checkbox"/> G7 Natural Light	<input type="checkbox"/> G7/AS1 <input type="checkbox"/> N/A	Other:
<input type="checkbox"/> G8 Artificial Light	<input type="checkbox"/> G8/AS1 <input type="checkbox"/> N/A	Other:
<input type="checkbox"/> G9 Electricity	<input type="checkbox"/> G9/AS1 <input type="checkbox"/> N/A	Other:
<input type="checkbox"/> G10 Piped Services	<input type="checkbox"/> G10/AS1 <input type="checkbox"/> N/A	<input type="checkbox"/> NZS 5261 Other:
<input type="checkbox"/> G11 Gas as an Energy Source	<input type="checkbox"/> G11/AS1 <input type="checkbox"/> N/A	Other:
<input type="checkbox"/> G12 Water Supplies	<input type="checkbox"/> G12/AS1 <input type="checkbox"/> N/A	<input type="checkbox"/> AS/NZS 3500.2 <input type="checkbox"/> AS/NZS 3500.5 Other:
<input type="checkbox"/> G13 Foul Water	<input type="checkbox"/> G13/AS1 <input type="checkbox"/> N/A	<input type="checkbox"/> AS/NZS 3500.2 <input type="checkbox"/> BS 5572 Other:
<input type="checkbox"/> G14 Industrial Liquid Waste	<input type="checkbox"/> G14/AS1 <input type="checkbox"/> N/A	Other:
<input type="checkbox"/> G15 Solid Waste	<input type="checkbox"/> G15/AS1 <input type="checkbox"/> N/A	Other:
<input type="checkbox"/> H1 Energy Efficiency	<input type="checkbox"/> H1/AS1 <input type="checkbox"/> NZS 4218 <input type="checkbox"/> NZS 4243 <input type="checkbox"/> NZS4214 <input type="checkbox"/> ALF Design Manual <input type="checkbox"/> N/A	Other:

Waiver/modification to New Zealand Building Code required for the following parts of the Code:

Part E

Attachments

Indicate which documents are attached to this application

- | | |
|---|---|
| <input type="checkbox"/> Project Information Memorandum | <input checked="" type="checkbox"/> Evidence of Ownership |
| <input type="checkbox"/> Development Contribution Notice | <input checked="" type="checkbox"/> Application Fee |
| <input type="checkbox"/> Certificate attached to Project Information Memorandum | <input type="checkbox"/> None |
| <input checked="" type="checkbox"/> Plans and Specifications (please list): | |

Plans & Specs Detail

Part F

Key Personnel

Builder		Registered Drainlayer	
Name TBA		Name	
Daytime Phone		Daytime Phone	
Mobile		Mobile	
After hours Phone		After hours Phone	
Email		Email	
Registration/LBP No		Registration No	
Designer		Registered Plumber	
Name Aimee Watson GWA 150		Name	
Daytime Phone 544 9499		Daytime Phone	
Mobile		Mobile	
After hours Phone		After hours Phone	
Email		Email	
Registration No BP 109465		Registration No	

Part G

Compliance Schedule

Do not fill in this section if this is an application for a Project Information Memorandum only.

- ☒ There are no specified systems* in the building OR
- ☐ There are new specified systems* in this building
If so, complete form BC41 Application for Compliance Schedule, and attach OR
- ☐ There is an existing Compliance Schedule for this building
If so, complete form BC11 Application for Amendment to Compliance Schedule, and attach.

*Specified systems are defined in Regulations. If you are not sure whether your building has specified systems, talk to the BCA or to your architect.



INSPECTION REPORT

Name: **Bernadette Strickland**

Consent No: **BC140161**

Address: **139 Barnett Avenue, Best Island**

Inspected by: Paul Farrar

On **23/06/2014** at **9:00 a.m.** this site was inspected pursuant to the Building Act 2004 (section 222/230) and the Local Government Act 2004 (Section 174). The purpose of the inspection was:

31 FINAL SMALL FINALS/ALTERATIONS

Notes Summary: Final on new verandah to existing dwelling.

Profiled metal roof with clear panels.

Strap bracing to roof.

Glulam verandah beam fixed to posts with T brackets and bolts.

Rafters fixed to beam and ribbon plate with SS joist hangers.

EP plywood braces in place nailed at 150mm centres.

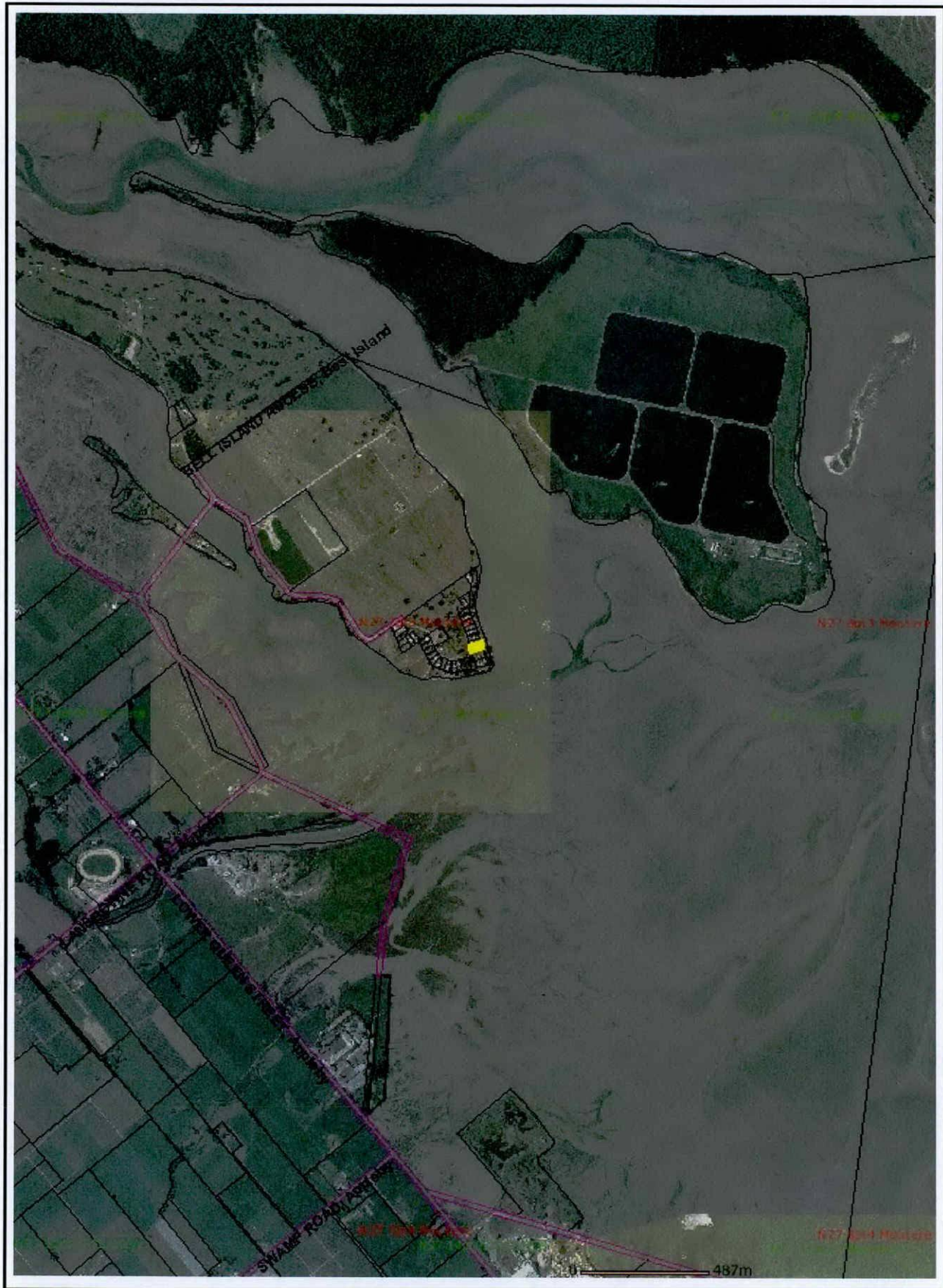
Rainwater taken into existing downpipe and dispersed through novacoil into garden.

Smoke alarms fitted.

As per consent the CCC can be issued.





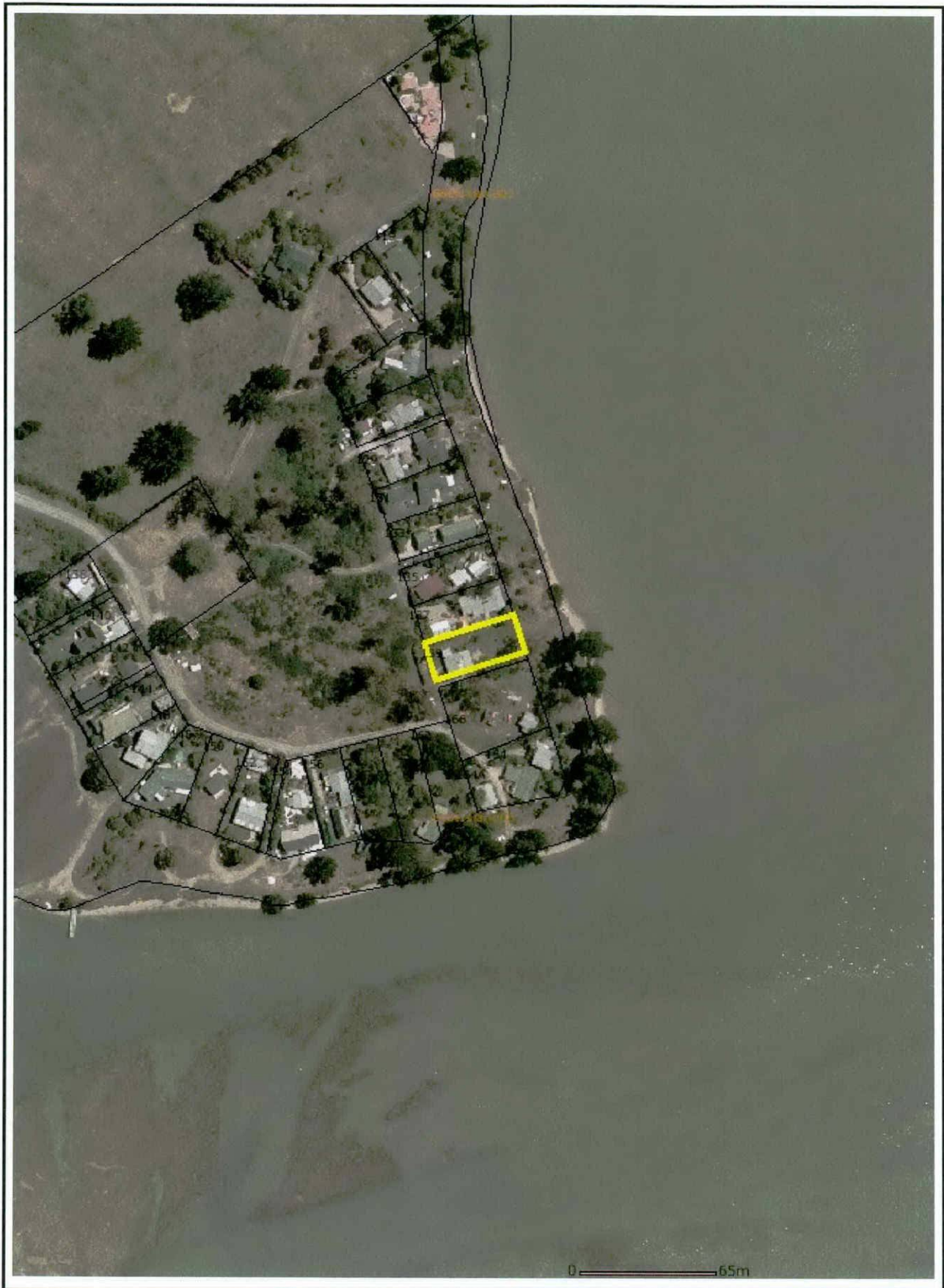


ExploreTasmanMap

7/1/2008 **DISCLAIMER:**

This map is derived from ExploreTasman and has generally been compiled from data generated by and supplied to the TDC. It has no legal status and is known to be incomplete. To ascertain the exact location of any item, TDC advises that the customer arrange onsite verification. TDC will not be liable for any damages or loss whatsoever suffered from the use of this information.

Cadastre sourced from Land Information New Zealand data. Crown Copyright reserved.



ExploreTasmanMap

7/1/2008 DISCLAIMER:

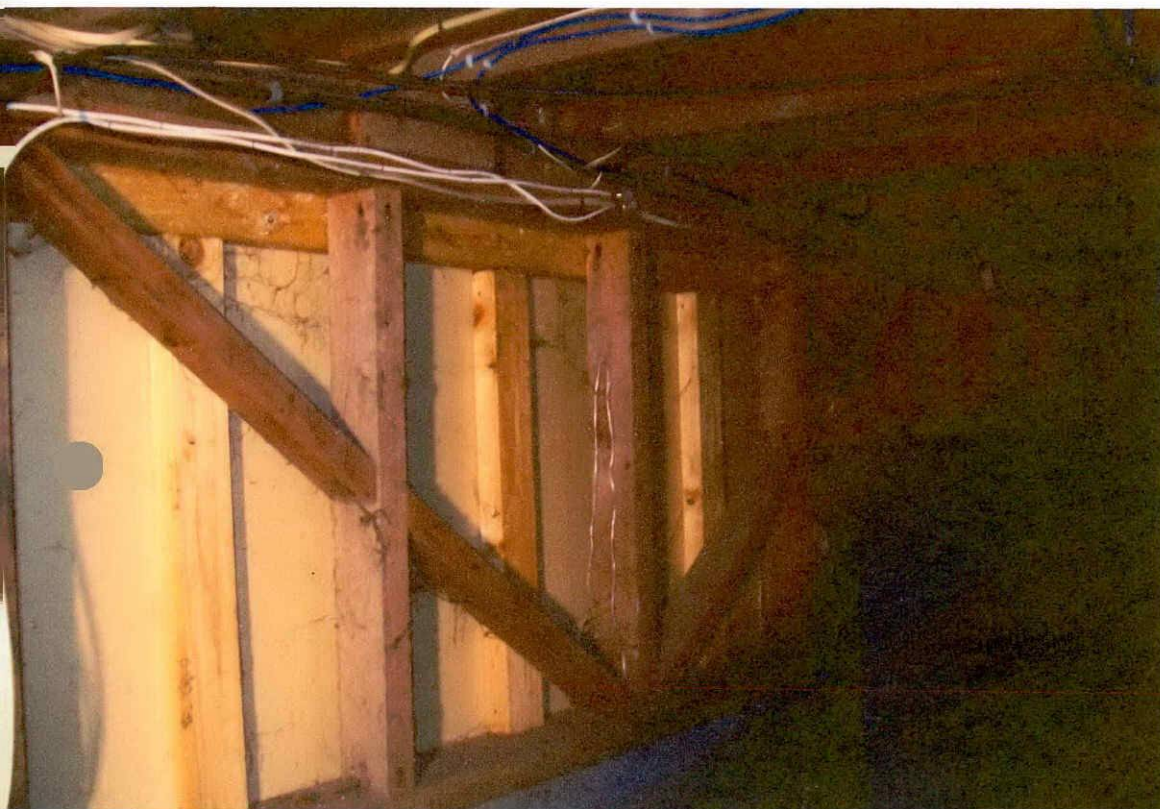
This map is derived from ExploreTasman and has generally been compiled from data generated by and supplied to the TDC. It has no legal status and is known to be incomplete. To ascertain the exact location of any item, TDC advises that the customer arrange onsite verification. TDC will not be liable for any damages or loss whatsoever suffered from the use of this information.

Cadastre sourced from Land Information New Zealand data. Crown Copyright reserved.









Tasman District Council
BUILDING / PHOTO RECORD

BC No: 080137

Date: 22-10-09 Time: 1.30

Officer: Math Feely

Signed: [Signature]

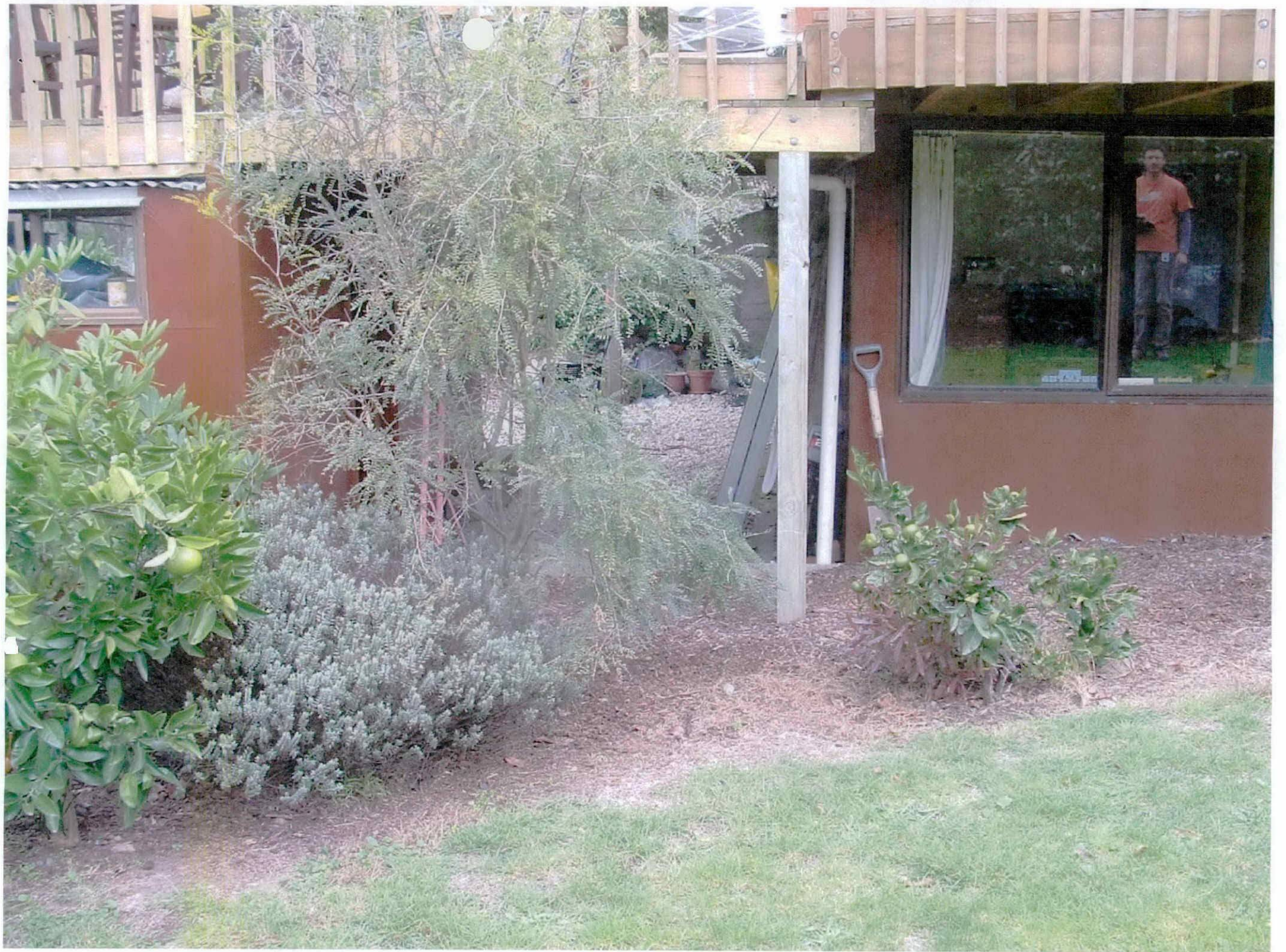






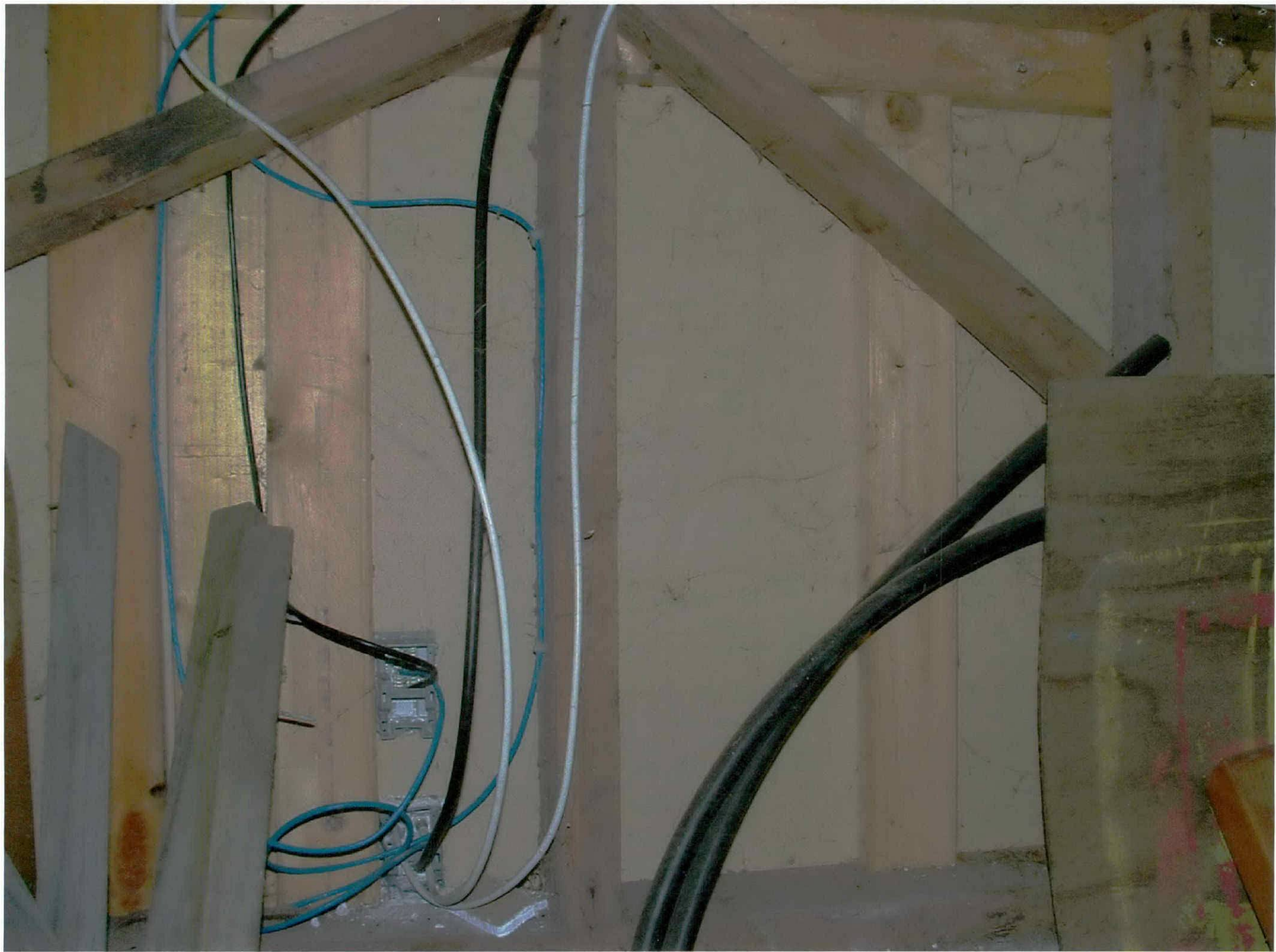


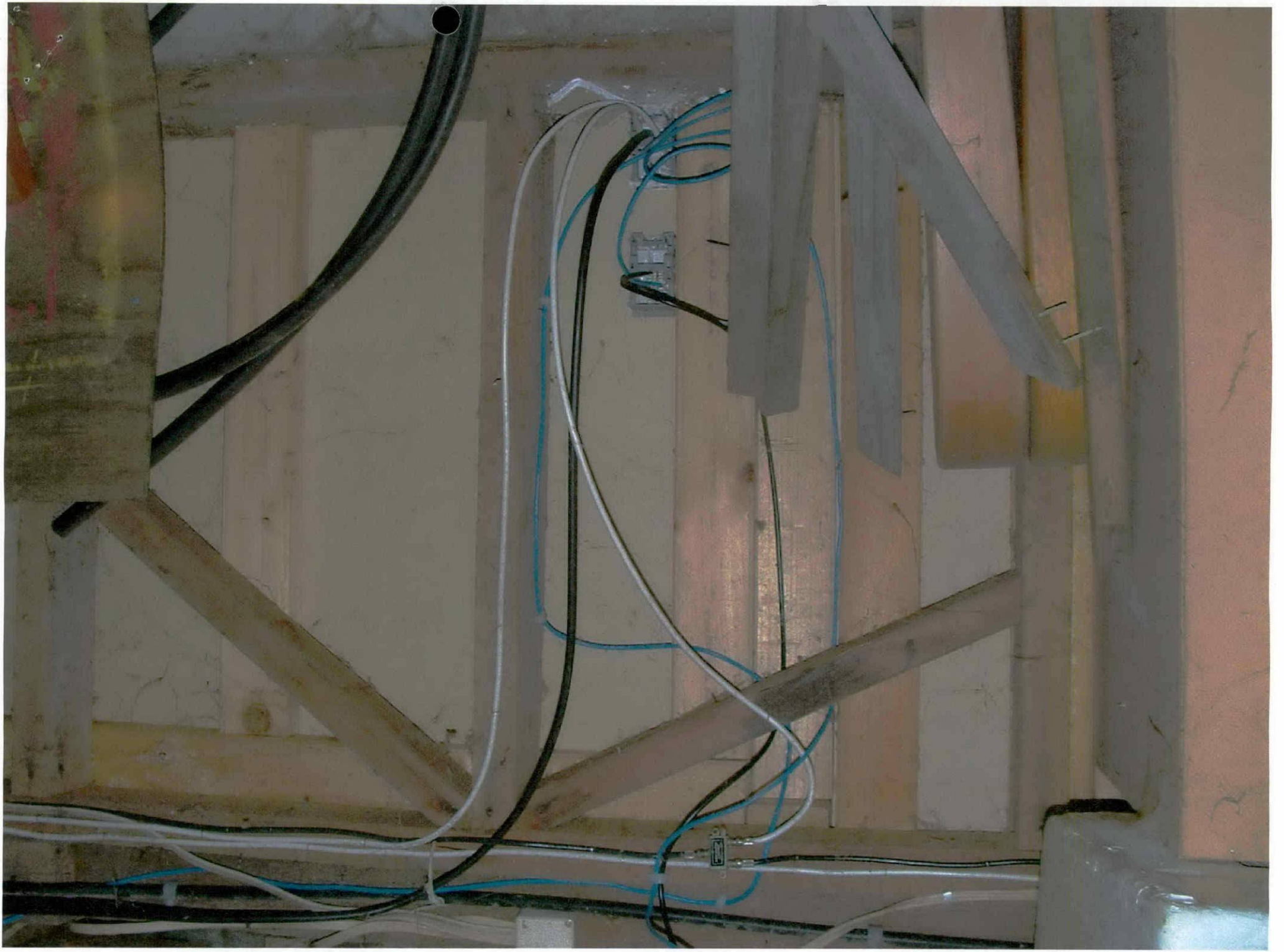


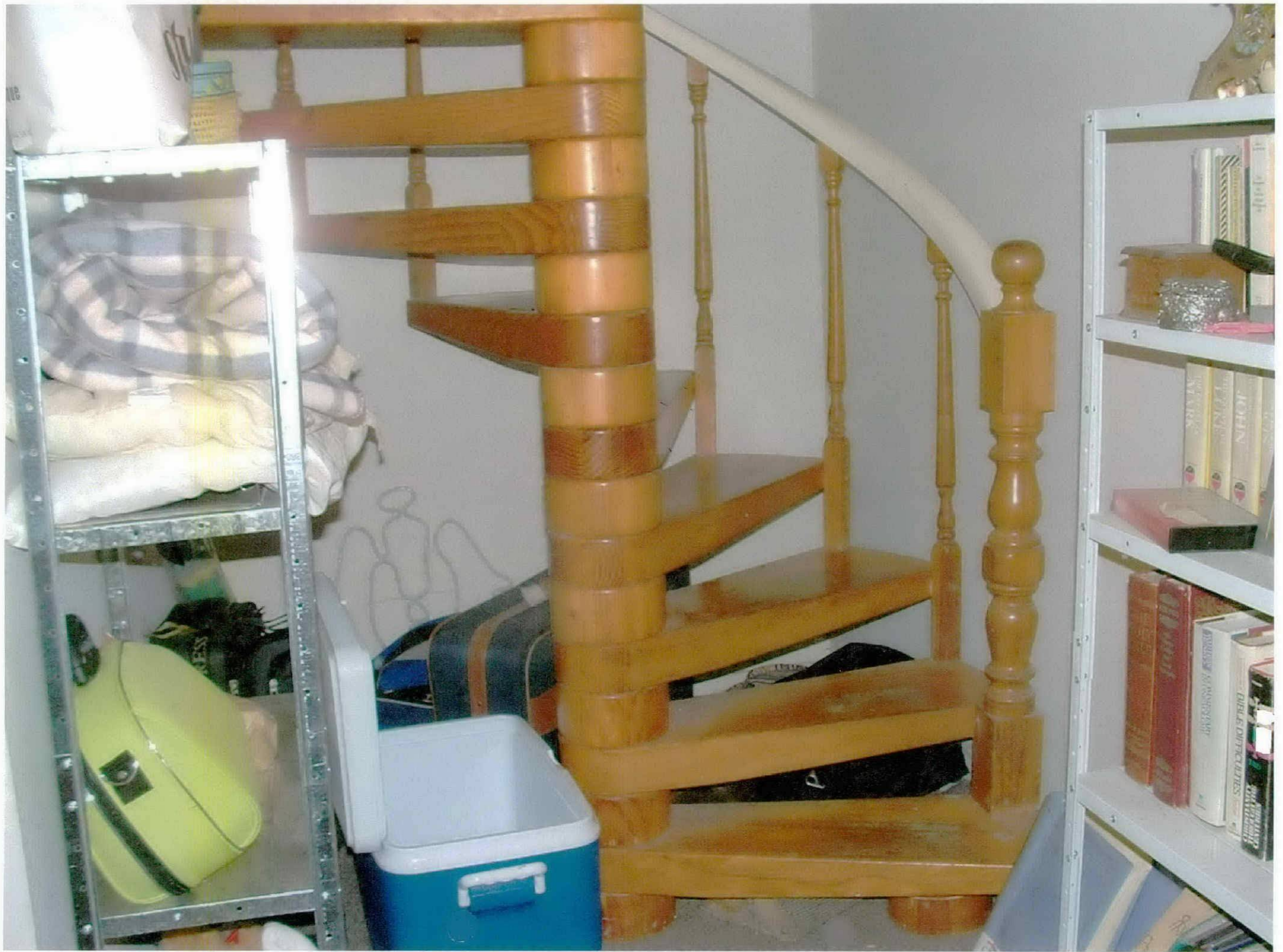














25 September 2013

Bernadette Strickland
139 Barnett Avenue
Best Island RD1
Richmond 7081

COPY
FILE

1938092400

Dear Bernadette

You wrote to me recently about concerns you have about drainage around and flooding of your property at 139 Barnett Avenue, Best Island. I've asked Council's Regulatory Manager to provide some advice about your property and its history.

Our records show that the dwelling was first established as a holiday bach in 1959 and has been added to under permits or consents in 1981, 87, 97 and 98. The most recent inspection in 2010 was to sign off the elements of the building consented in 1998. What was accepted practice and the standard applied in 1959, 87, 97 and 98 is not necessarily the practice and standard of today.

The ground clearance issue which has caused some of the flooding issues related to the 1997 consent and not the 1998 consent and was the reason for the 2010 inspection. A drainage plan was provided to an inspector in 2010. That plan was required in order to show that provision had been made for the additional rainwater downpipe. The plan provided was deemed adequate for that purpose by the inspector.

You had additional drainage installed in sometime after December 2011. We have no record of a consent being issued for that work so we don't know what was put in or taken away. You should remedy that and make sure that the work you did is approved.

Having noted all of that the flooding events recently, especially in late April were exceptional. It is unlikely that any realistic amount of drainage would have prevented such low lying land getting inundated.

If you would like you property to be fully compliant can you please start by applying for a Certificate of Acceptance for your new drains and we will progress from there.

Yours sincerely



Lindsay McKenzie
Chief Executive



Tasman District Council

189 Queen Street, Richmond 7020

building.support@tasman.govt.nz

03 543 8400

BC170597

Alpha ID: 170597

Application Type: Building Consent

Site Address: 139 Barnett Avenue, Best Island

Project Description: Install Woodsman CR NoVo woodburner

Project Status: Code Compliance Certificate Issued

Table of Contents

File Notes

File Notes Log	1
----------------	---

Blog ID: 81492**Author:** System**Created:** 2017-07-03 00:00:00

Notes: Fire Free-standing Final [Pass] Pete Fitzgerald | 3 July 2017 - Monday
 SUMMARY: 26 Final Inspection: Fire Free-standing -- Fire installed by brad colville all clearances meet requirments, three smoke alarms installed, water temp is 48deg, new flashing meets E2 requirments. fire is ready to light, please issue CCC[Pass] Make and Model - Woodsman ECR novo — Pete Fitzgerald[Pass] Hearth correct clearance — Pete Fitzgerald[Pass] Woodsman ECR novo — Pete Fitzgerald[Pass] Wetback installed by - plumber - Front line plumbing — Pete Fitzgerald[Pass] Flue shield fitted — Pete Fitzgerald[Pass] Inner flue secure in place and riveted SS — Pete Fitzgerald[Pass] Framing in roof correct — Pete Fitzgerald[Pass] Hush-type smoke detectors installed - Three — Pete Fitzgerald[Pass] Inspector completed a visual risk assessment for — Pete Fitzgerald

Blog ID: 127211**Author:** System**Created:** 2017-05-31 00:00:00

Notes: Migrated ES Notes:
 No deposit received as of 31/05
 Noted By: Debbie Woodley | 2017-05-31

Blog ID: 127212**Author:** System**Created:** 2017-07-06 00:00:00

Notes: Migrated ES Notes:
 CCC sent Via Mail as per request in Aplication
 Noted By: Krystle Bang | 2017-07-06

Blog ID: 183768**Author:** System

Created: 2020-03-20 02:32:36

Notes: API added 'Project at End Other' block for the following reason: System set this project as read-only as the project is at end.

Blog ID: 190453

Author: System

Created: 2020-04-25 03:21:15

Notes: Covid-19 Site Inspection Check

- If you are feeling unwell - do not attend site.
- Sanitise Hands
- Put on PPE
- Clean Equipment that is to be taken on site
- Upon Request Provide Site Manager with your Covid-19 Plan
- Sign the Site Register - All people entering the site must do this (tip - photograph site register)
- Complete Site Induction
- Follow Site Protocols maintaining Physical Distancing at all times
- While on site consider the Durability of Exposed Materials
- On completion Sign Out and Sanitise Hands
- Clean Equipment on completion of inspection
- To assist tracking Maintain a Record of Daily Contacts.

<https://www.building.govt.nz/covid-19/get-prepared-for-working-at-alert-level-3>

Blog ID: 312847

Author: System

Created: 2022-09-01 15:34:13

Notes: API removed 'Project at End Other' block for the following reason: Unarchived to recompile project documents (2022-09-01 15:34:13).



Code Compliance Certificate

Section 95, Building Act 2004

FILE

Application

MARK RAFFILLS
139 BARNETT AVENUE
R D 1 BESTISLAND
RICHMOND

No.	980137
Issue date	9/03/10
Overseer	NLR Cliff Dockery

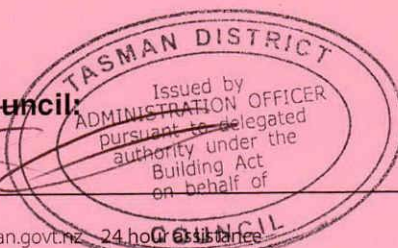
Project

Description	Dwellings - Alterations & additions Being Stage 1 of an intended 1 Stages STAIRCASE, DOWNSTAIRS BEDROOMS & LOG BURNER
Intended Life	Indefinite, but not less than 50 years
Intended Use	STAIR CASE, BEDROOMS AND LOG BURNER
Estimated Value	\$12,000
Location	BARNETT AVE, BEST ISLAND
Legal Description	LOT 25 DP5090 BLK II WAIMEA SD
Valuation No.	1938092400

This is a final Code Compliance Certificate issued in respect of all the building work under the above building consent.

Signed for and on behalf of the Council:

Name: _____



Date: 9-3-10

Building Consent

170597

Form 5: Section 51, Building Act 2004

The building

Street address of building: 139 Barnett Avenue, Best Island
Legal description of land where the building is located: Lot 25 DP 5090
Valuation number: 1938092400
Building name: Level/unit number:
Location of building within site block no:

The owner

Name of owner: C B Syme
Contact person:
Mailing address: 139 Barnett Avenue, RD 1, Richmond 7081
Street address/registered office:
Phone number: Landline: Mobile: 021331504
Daytime: After hours:
Email address: carolbsyme@gmail.com

First point of contact for communications with the council/building consent authority:
Full Name: Zink 2015 Ltd
Mailing Address: 2 Champion Road, Richmond 7020
Phones:: 035440929
Email: sales@zinkltd.co.nz

Building work

The following building work is authorised by this building consent:
Install Woodsman CR NoVo woodburner.
Intended Use: Heating

IMPORTANT NOTE: In accordance with the Building Act 2004, this Building Consent will lapse and have no effect 12 months from the date of issue if the building work to which it relates does not commence, or an extension to this period has not been agreed with the building consent authority.

This building consent is issued under section 51 of the Building Act 2004. This building consent does not relieve the owner of the building (or proposed building) of any duty or responsibility under any other Act relating to or affecting the building (or proposed building).

This building consent also does not permit the construction, alteration, demolition, or removal of the building (or proposed building) if that construction, alteration, demolition, or removal would be in breach of any other Act.

This building consent is subject to the following conditions: N/A

Compliance schedule

A compliance schedule is not required for the building.

Attachments

Copies of the following documents are attached to this building consent:

Site Inspection Sheet
Application for Code Compliance Certificate
Additional Information



On behalf of: Tasman District Council Date: 16/06/17

Additional Information to Building Consent

The owner

Name of owner: C B Syme

Contact person:

Building work

The following building work is authorised by this building consent:

Install Woodsman CR NoVo woodburner: Intended Use: Heating

Contractor: Hot Installations (Brad and Roger) bc_element@hotmail.com : R: 021876962 B: 0211921130

The following information accompanies Building Consent 170597 and should be read in conjunction with inspection conditions.

General Requirements

The Building Inspector is to be given 24 hours' notice before carrying out inspections.

It is Council policy to apply a standard charge, however it reserves the right to assess individual cases as required. Additional charges may be requested if costs or inspections incurred exceed the standard.

If this project contains Restricted Building Work (RBW), the details of the site Licensed Building Practitioner (LBP) will be required prior to the first inspection taking place.

At the completion of RBW, and in conjunction with your Application for Code Compliance Certificate, a Record of Works (RoW) will be required from any site LBP's that have been involved in the project.

The owner or person undertaking the building work shall advise of completion of work by returning the Application for Code Compliance Certificate form which accompanied this consent.

A copy of this consent is to remain on site at all times and you should ensure that a copy is given to any tradesmen e.g. builder, plumber and drainlayer.

Please note: all requested documents will be required prior to booking a final inspection. Your Application for Code Compliance Certificate will be required after all building work has been completed.

Code Compliance Certificate

Section 43, Building Act 1991

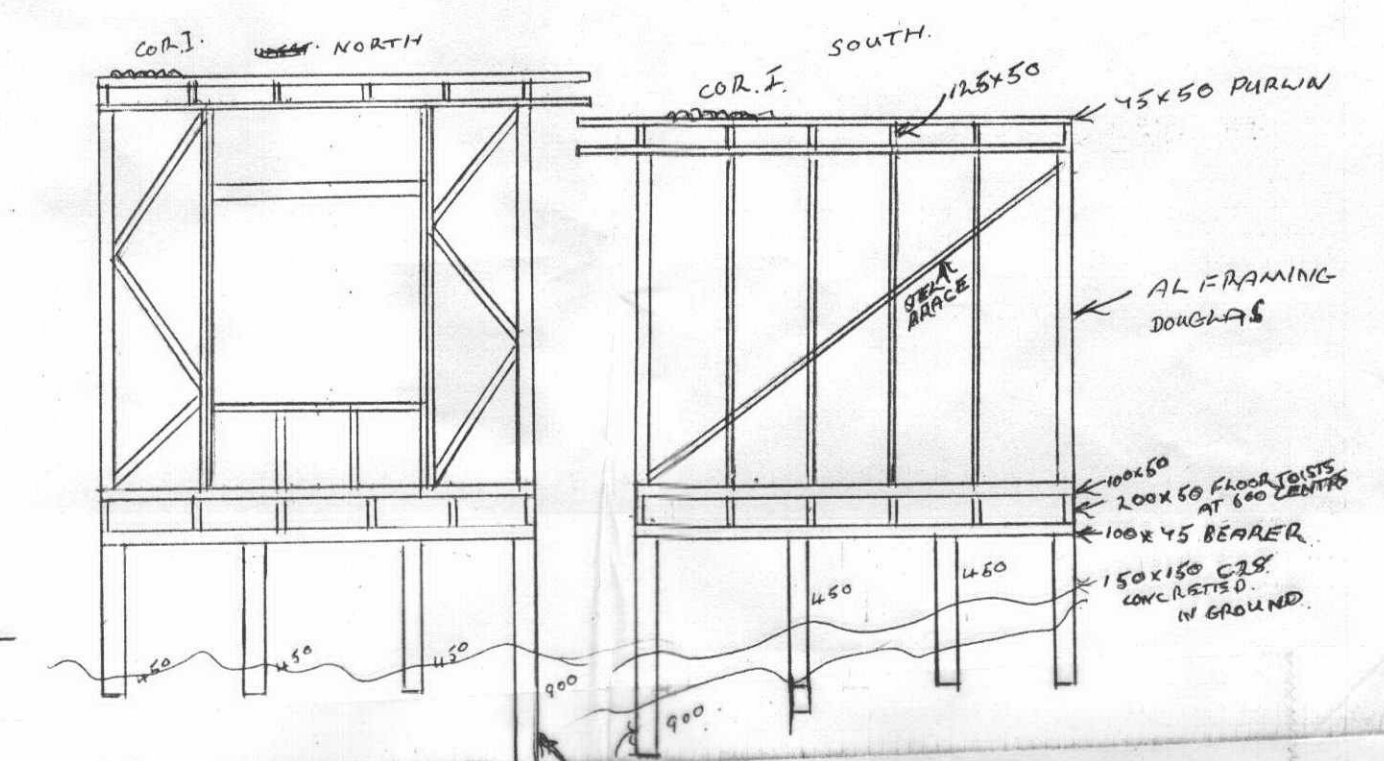
Application

MARK RAFFILLS	No.	971688
BARNETT AVENUE	Issue date	28/05/98
BEST ISLAND		
R D 1 RICHMOND	Overseer	Karl Van Hoppe

Project

Description	Dwellings - Alterations & additions Being Stage 1 of an intended 1 Stages TO BUILD DECK
Intended Life	Indefinite, but not less than 50 years
Intended Use	DECK
Estimated Value	\$3,000
Location	BARNETT AVE, BEST ISLAND
Legal Description	LOT 25 DP5090 BLK II WAIMEA SD
Valuation No.	1938092400

This is a final Code Compliance Certificate issued in respect of all the building work under the above building consent.



WAIMEA COUNTY COUNCIL
These are the plans
specifications referred to in
Building Permit **E-060250**
Dated **28/7 1987**.
DEB. BUILDING INSPECTOR

PROPOSED
EXTENSION
R.W. BOYD
BISTS ISLAND

APPLICATION FOR CODE COMPLIANCE CERTIFICATE

1. What is the Building Consent? *Complete this field*

Building consent number:	170597
Issued by: (name of building consent authority)	TDC

2. Who owns the building? *Complete all fields, using N/A if a field is not applicable*

Owner name:	Carol Syme	Title: e.g. Mr, Mrs, Ms, Dr
Contact person:	Carol	
Owner mailing address:	139 Barnett Ave RD1 Richmond 7081	
Street address/ registered office:	u	
Owner email address:	carolbsyme@gmail.com	
Owner contact number:	021331504	
Are you using an Agent?	<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No <i>If Yes, please also complete the following:</i>
Who is the first point of contact for further correspondence?	<input type="checkbox"/> Agent	<input checked="" type="checkbox"/> Owner
Agent name:	Zink 2015 Ltd	
Agent email:	sales@zinkltd.co.nz	
Agent contact number:	544 0929	
Agent mailing address:	2 Champion Rd Richmond	

3. When was the building work completed? *Complete this field*

All building work to be carried out under the building consent specified on this form was completed on:	dd/mm/yyyy 28/06/2017
---	--------------------------

4. Who completed the building work? *Complete all fields on each line. You will need to complete one line for each building practitioner. Use a separate sheet if necessary.*

The licensed building practitioner(s) who carried out/supervised the restricted building work is/are:			
Name	Licensing class	LBP or registration number	Work carried out/ supervised
/			

Name	Licensing class	LBP or registration number	Work carried out/ supervised

Tradespeople who carried out building work other than restricted building work are as follows:

Name (Installer)	Address	Contact number	Registration number
Brad Colville	33 Todeesse St	0211921130	NZHAHA #1984
Plum Line Plumbing	P.O BOX 1505	0276356139	21714

Please list specified systems installed in the building or use N/A if this section is not applicable ☒ N/A


The following specified systems are contained on the compliance schedule for the building and, in the opinion of the personnel who installed them, are capable of performing to the performance standards set out in the building consent:

5. Declaration

☒ I understand that this application may *only* be made with the owner's approval (tick to indicate agreement)

I request that you issue a code compliance certificate for this work under section 95 of the Building Act 2004. The code compliance certificate should be sent to:

☒ Owner ☐ Agent ☒ Owner address as per Section 2 ☐ Agent address as per Section 2

Name:	Brad Colville
Signature:	
Date:	28/6/17

You can add a digital signature to this document, either using Adobe or your existing digital signature.

Once you have filled out the form, including signatures, please save the application to your computer. You can then submit the application with supporting documentation to your local council.

If you are unsure about what information to include in your application, a guidance document is available ([click here](#)).

For Office Use:

Resource Consent

Application No. _____

Resource Management Act 1991
Written Approval of Person(s) likely to be Adversely Affected

PART A - TO BE COMPLETED BY THE APPLICANT

Applicant's Name: Mark Raphael

I have applied to the Tasman District Council for a resource consent to: (Describe activity)

Build a Deck.

The property to which this application relates is: (street address; legal description; locality; place name etc.).

Bonnett Ave. Best Island

lot 23 DP 9090

PART B - TO BE COMPLETED BY PERSON OR ORGANISATION GIVING APPROVAL

Name of person or organisation giving approval:

Full name: FREDERIKA & DONALD RANKIN

Position if applicable: Neighbour.

Address: Best Island, Lot 26

Daytime telephone: 544 1056

I/we, the owner/~~occupier~~ (delete one) of the following property:

Address (if different from above): _____

Legal Description: Lot 26

I/we hereby acknowledge that:

1. A copy of the application and an assessment of effects on the environment has been seen.
2. A copy of the site plan or other relevant plan (which is attached) has been signed.
3. The proposed development is supported and written approval in terms of the Resource Management Act 1991, is given.
4. The applicant is authorised to give this written approval to the Tasman District Council.
5. It is understood that in considering the application, the Council will not take into account any actual or potential effect on my/our interests unless notice (in writing) is given to Council stating that the approval is withdrawn.

Signed: _____

Date: 5/11/97

For Office Use:

Resource Consent

Application No. _____

Resource Management Act 1991 **Written Approval of Person(s) likely to be Adversely Affected**

PART A - TO BE COMPLETED BY THE APPLICANT

Applicant's Name: _____

Mark Rappil s

I have applied to the Tasman District Council for a resource consent to: (Describe activity)

Build a Deck

The property to which this application relates is: (street address; legal description; locality; place name etc.).

Barnett Ave Best Island

lot 25 DP 5090

PART B - TO BE COMPLETED BY PERSON OR ORGANISATION GIVING APPROVAL

Name of person or organisation giving approval:

Full name: _____

JE Robinson

Position if applicable: _____

NEIGHBOUR

Address: _____

23 BARNETT AVE

BESTS ISLAND

Daytime telephone: _____

544 8119 / 544 0047 (SHIFT WORK)

I/we, the owner/occupier (delete one) of the following property:

Address (if different from above): _____

Legal Description: _____

LOT 1 DP 8686

I/we hereby acknowledge that:

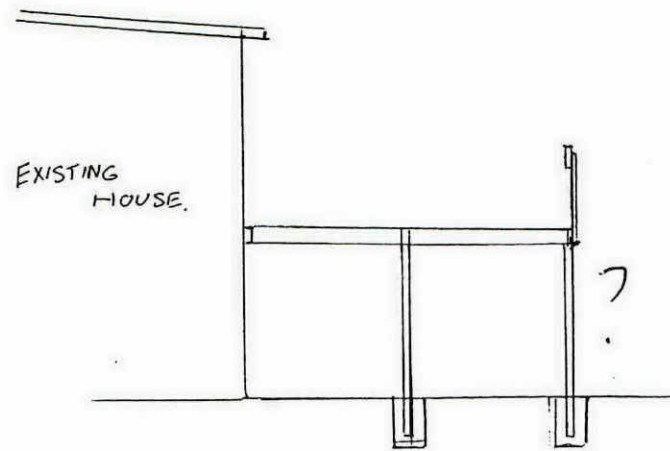
1. A copy of the application and an assessment of effects on the environment has been seen.
2. A copy of the site plan or other relevant plan (which is attached) has been signed.
3. The proposed development is supported and written approval in terms of the Resource Management Act 1991, is given.
4. The applicant is authorised to give this written approval to the Tasman District Council.
5. It is understood that in considering the application, the Council will not take into account any actual or potential effect on my/our interests unless notice (in writing) is given to Council stating that the approval is withdrawn.

Signed: _____

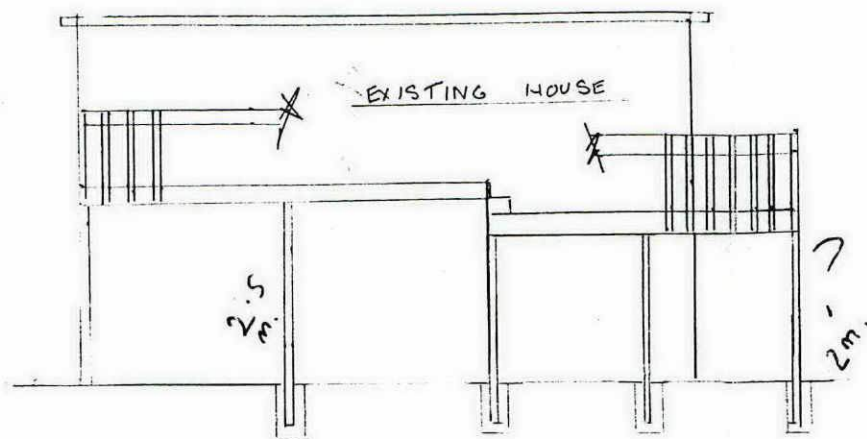
[Signature]

Date: _____

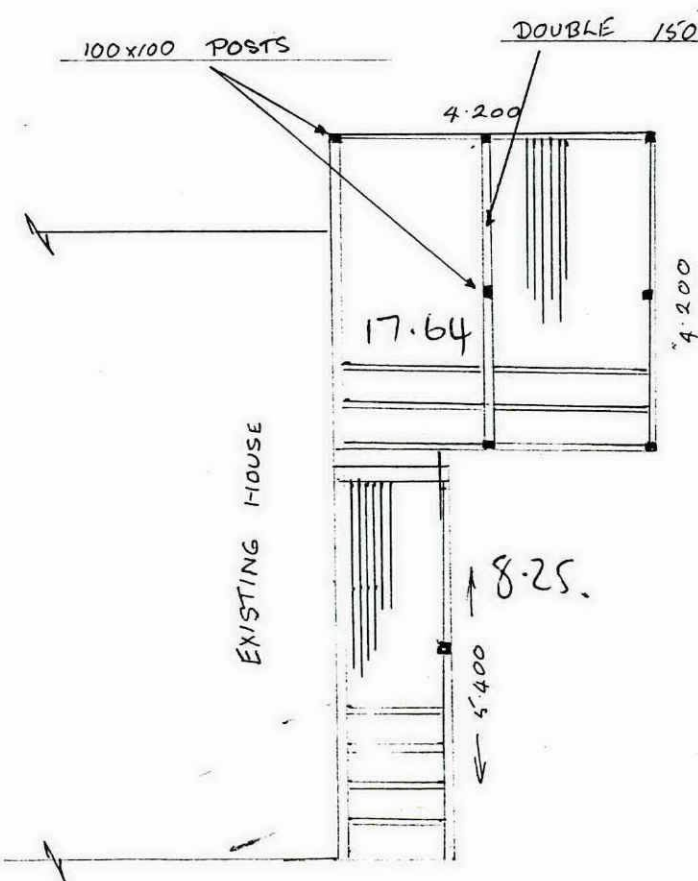
5-11-97



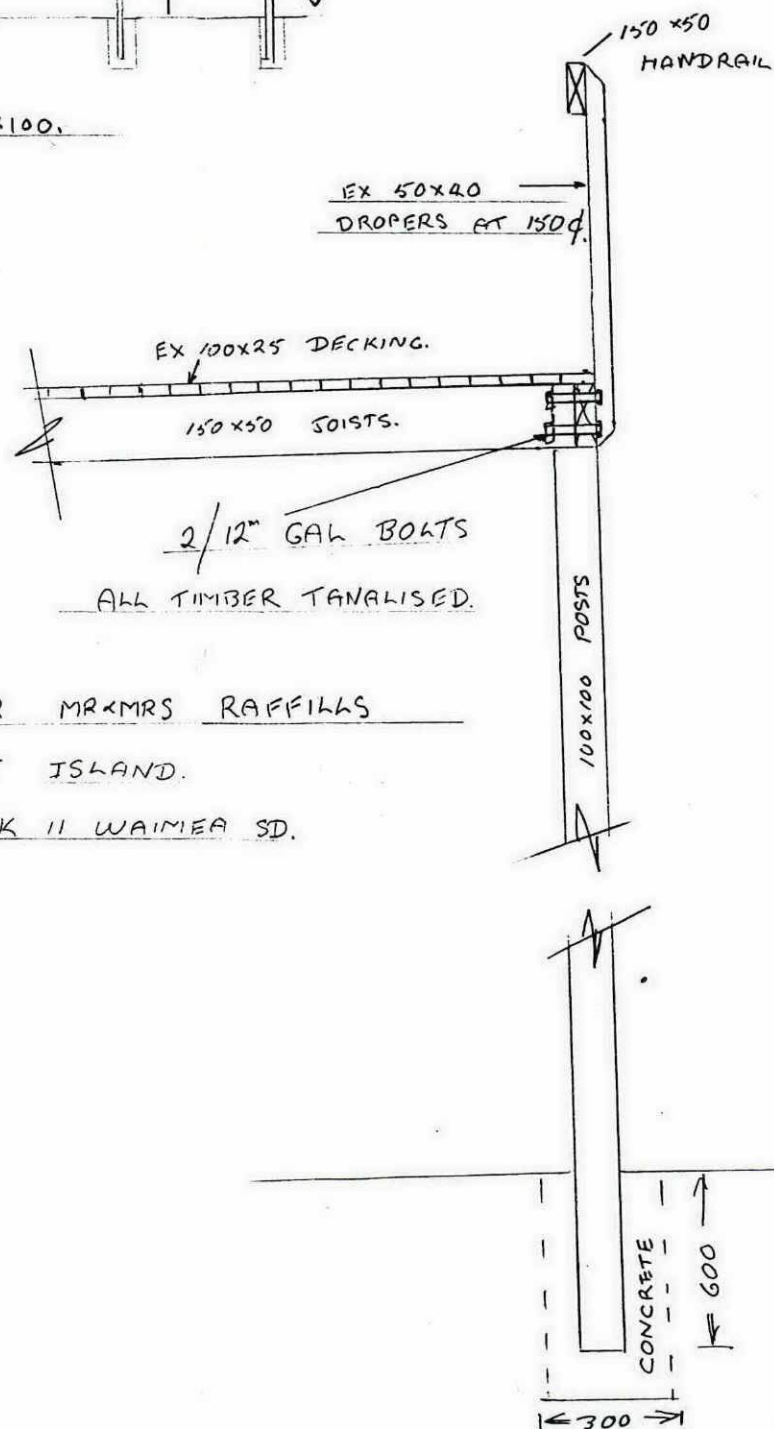
Scale 1:100



Scale 1:100



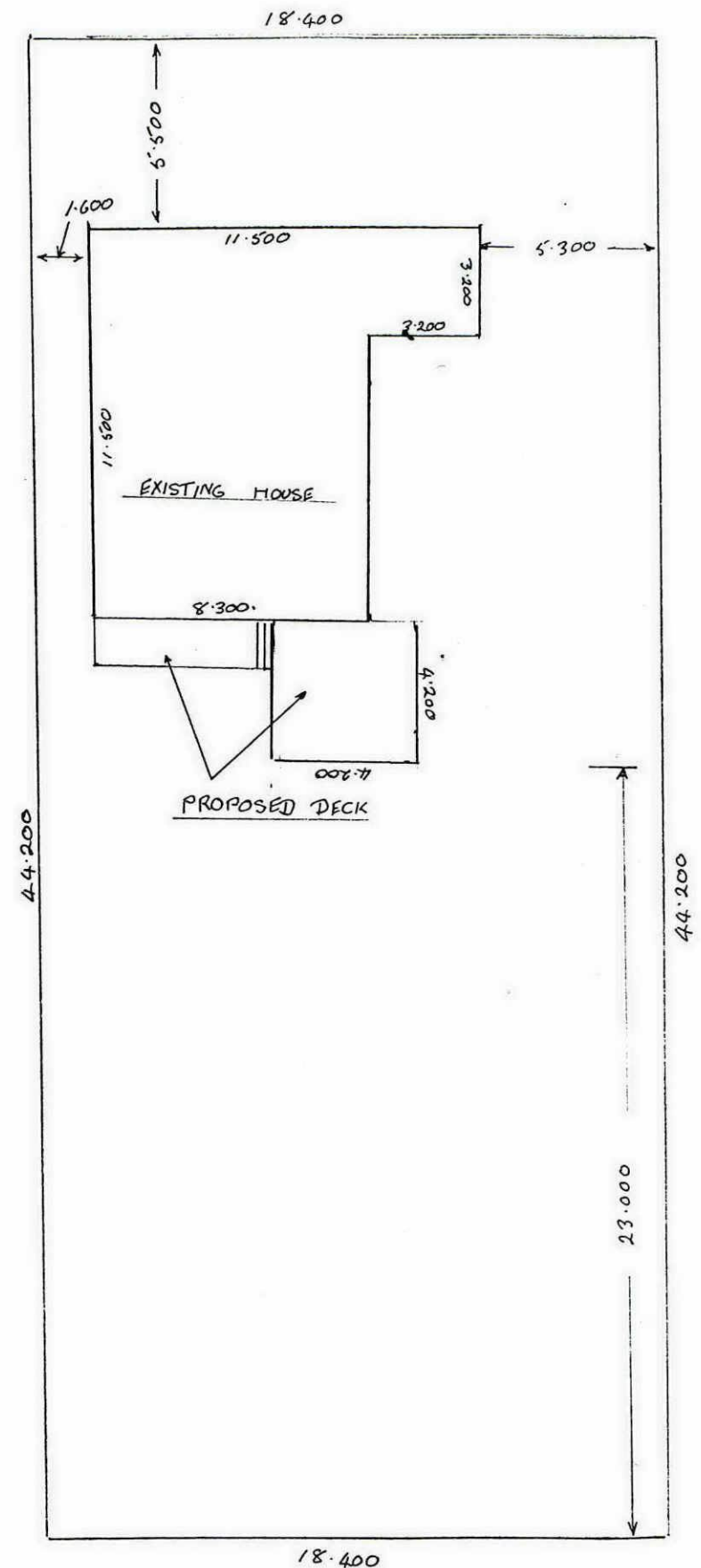
Scale 1:100



PROPOSED DECK FOR MR & MRS RAFFILLS

BARNETT AVE. BEST ISLAND.

LOT 25 DP5090 BLK 11 WAIMEA SD.



Code Compliance Certificate

Form 7: Section 95, Building Act 2004

The building

Street address of building: 139 Barnett Avenue, Best Island

Legal description of land where building is located: Lot 25 DP 5090

Valuation number: 1938092400

Building name:

Location of building within site/block number: Level/unit number:

Current, lawfully established, use: Dwelling

Year first constructed: 1959

FILE

The owner

Name of owner: Strickland Bernadette Mary

Contact person:

Mailing address: 139 Barnett Avenue, RD 1, Richmond 7081

Street address/registered office:

Phone number: Landline: Mobile: 0221607156

Daytime: After hours:

Facsimile number: Email address: bernstrickland@gmail.com

Website:

First point of contact for communications with the council/building consent authority:

Full Name: Gowans Walters & Associates Ltd

Mailing Address: C/- Allan Walters, PO Box 3608, Richmond

Phones: 5449499

Email: allan@gowanswalters.co.nz

Building work

Building consent number: 140161

Issued by: Tasman District Council

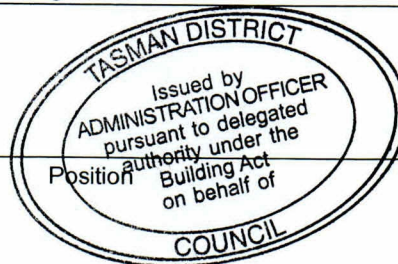
Deck and verandah addition to dwelling: Intended Use: Housing - detached

Code compliance

The building consent authority named below is satisfied, on reasonable grounds, that —

(a) the building work complies with the building consent.

Signature
On behalf of: Tasman District Council



Date: 23/06/14



INSPECTION REPORT

Name: **Zink 2015 Ltd**

Consent No: **BC170597**

Address: **139 Barnett Avenue, Best Island**

Inspected by: Pete Fitzgerald

On **3/07/2017** at **3:12 p.m.** this site was inspected pursuant to the Building Act 2004 (section 222/230) and the Local Government Act 2004 (Section 174). The purpose of the inspection was:

26 FINAL INSPECTION: FIRE FREE-STANDING WHEN FREE-STANDING FIRE HAS BEEN COMPLETELY INSTALLED & SMOKE ALARMS FITTED

Notes Summary: Fire installed by brad colville all clearances meet requirments, three smoke alarms installed, water temp is 48deg, new flashing meets E2 requirments. fire is ready to light, please issue CCC

Next Inspection:

APPLICATION FOR CODE COMPLIANCE CERTIFICATE

1. What is the Building Consent? *Complete this field*

Building consent number:	170597
Issued by: (name of building consent authority)	TDC

2. Who owns the building? *Complete all fields, using N/A if a field is not applicable*

Owner name:	Carol Syme	Title: e.g. Mr, Mrs, Ms, Dr
Contact person:	Carol	
Owner mailing address:	139 Barnett Ave RD1 Richmond 7081	
Street address/ registered office:	u	
Owner email address:	carolbsyme@gmail.com	
Owner contact number:	021331504	
Are you using an Agent?	<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No <i>If Yes, please also complete the following:</i>
Who is the first point of contact for further correspondence?	<input type="checkbox"/> Agent	<input checked="" type="checkbox"/> Owner
Agent name:	Zink 2015 Ltd	
Agent email:	sales@zinkltd.co.nz	
Agent contact number:	544 0929	
Agent mailing address:	2 Champion Rd Richmond	

3. When was the building work completed? *Complete this field*

All building work to be carried out under the building consent specified on this form was completed on:	dd/mm/yyyy 28/06/2017
---	--------------------------

4. Who completed the building work? *Complete all fields on each line. You will need to complete one line for each building practitioner. Use a separate sheet if necessary.*

The licensed building practitioner(s) who carried out/supervised the restricted building work is/are:			
Name	Licensing class	LBP or registration number	Work carried out/ supervised

Name	Licensing class	LBP or registration number	Work carried out/ supervised

Tradespeople who carried out building work other than restricted building work are as follows:

Name (Installer)	Address	Contact number	Registration number
Brad Colville	33 Todeesse St	0211921130	NZHAHA #1984
Plum Line Plumbing	P.O BOX 1505	0276356139	21714

Please list specified systems installed in the building or use N/A if this section is not applicable ☒ N/A

The following specified systems are contained on the compliance schedule for the building and, in the opinion of the personnel who installed them, are capable of performing to the performance standards set out in the building consent:

5. Declaration

☒ I understand that this application may *only* be made with the owner's approval (tick to indicate agreement)

I request that you issue a code compliance certificate for this work under section 95 of the Building Act 2004. The code compliance certificate should be sent to:

☒ Owner ☐ Agent ☒ Owner address as per Section 2 ☐ Agent address as per Section 2

Name:	Brad Colville
Signature:	
Date:	28/6/17

You can add a digital signature to this document, either using Adobe or your existing digital signature.

Once you have filled out the form, including signatures, please save the application to your computer. You can then submit the application with supporting documentation to your local council.

If you are unsure about what information to include in your application, a guidance document is available ([click here](#)).

John Randal Syme
 Carol Beverly Syme
 139 Barnett Avenue
 RD 1
 Richmond 7081

RATES INVOICE
Tax Invoice/Credit Note

(G.S.T) Reg No 51-076-806

Instalment Number	4 of 4
Instalment Date	1 May 2017
Rating Year	1 July 2016 to 30 June 2017
VALUATION ROLL NUMBER	19380-92400
Capital Value	\$490,000
Land Value	\$250,000
Area	809 sq m
Location	139 Barnett Avenue, Best Island
Legal Description	LOT 25 D P 5090 BLK II WAIMEA S D

Paying by Internet Banking?

 Pay into Bank Account No: 12-3193-0002048-03
 Use this reference: 19380-92400

STATEMENT OF ACCOUNT

 Payments received after 13 April
 2017 are not included in this
 statement

Balance owing at 1 July 2016	\$0.00
Plus previous instalments charged	\$2,454.50
Plus penalty charges (GST exempt)	\$0.00
Plus/less adjustments	\$0.00
Less remissions	\$0.00
Less payments since 1 July 2016	\$2,454.50CR
This instalment (Includes \$106.72 GST)	\$818.20

TOTAL NOW DUE	\$818.20
LAST DATE FOR PAYMENT	22 May 2017

 Any portion of the current instalment remaining unpaid after 22 May 2017 will incur
 a 10% penalty of up to \$81.82

Total Annual Rates	\$3,272.70
Total Annual Remissions	\$0.00
Amount to clear rates to 30 June 2017	\$818.20

Sign up to receive rates invoices by email at

<http://www.tasman.govt.nz/link/rates-by-email>

Details of rates shown overleaf

Please note any change of postal address below:

RATES REMITTANCE ADVICE

Valuation Roll Number	19380-92400
Name	John Randal Syme
Instalment	4 of 4
TOTAL NOW DUE	\$818.20
LAST DATE FOR PAYMENT	22 May 2017
Amount to clear rates to 30 June 2017	\$818.20

AMOUNT PAID

☐ If a receipt is required, please **RETURN THE ENTIRE FORM** and tick this box.


Act as Agent Authority

I Carol Syme (Client/Property owner) allow Zink Ltd to act as an agent.

This allows Zink Ltd to submit and oversee the consent purchase for a solid fuel burner.

Regards,

CB Syme (Client Signature)
28/5/17 Date

Zink Ltd

2 Champion Road

Nelson

03 5440929

enquiries@gowanswalters.co.nz
fax: 03-544-9488
tel: 03-544-9499

Gowans Walters & Associates Ltd

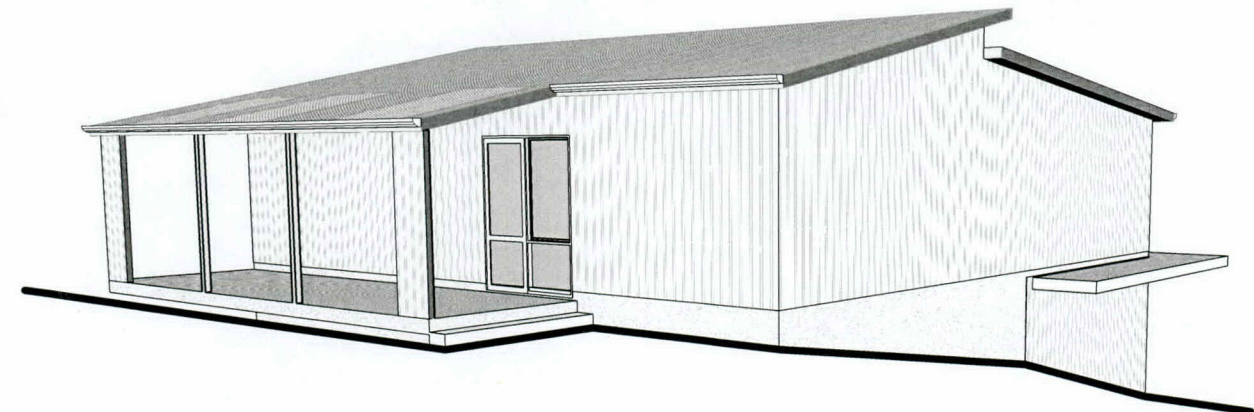
building designers

SCHEDULE OF DRAWINGS

Sheet No.	Sheet Name	Rev. No.	Rev. Date
00	COVER SHEET		No Revision
01	SITE PLAN		No Revision
02	FLOOR PLAN	B	9/5/14
03	ELEVATIONS	B	9/5/14

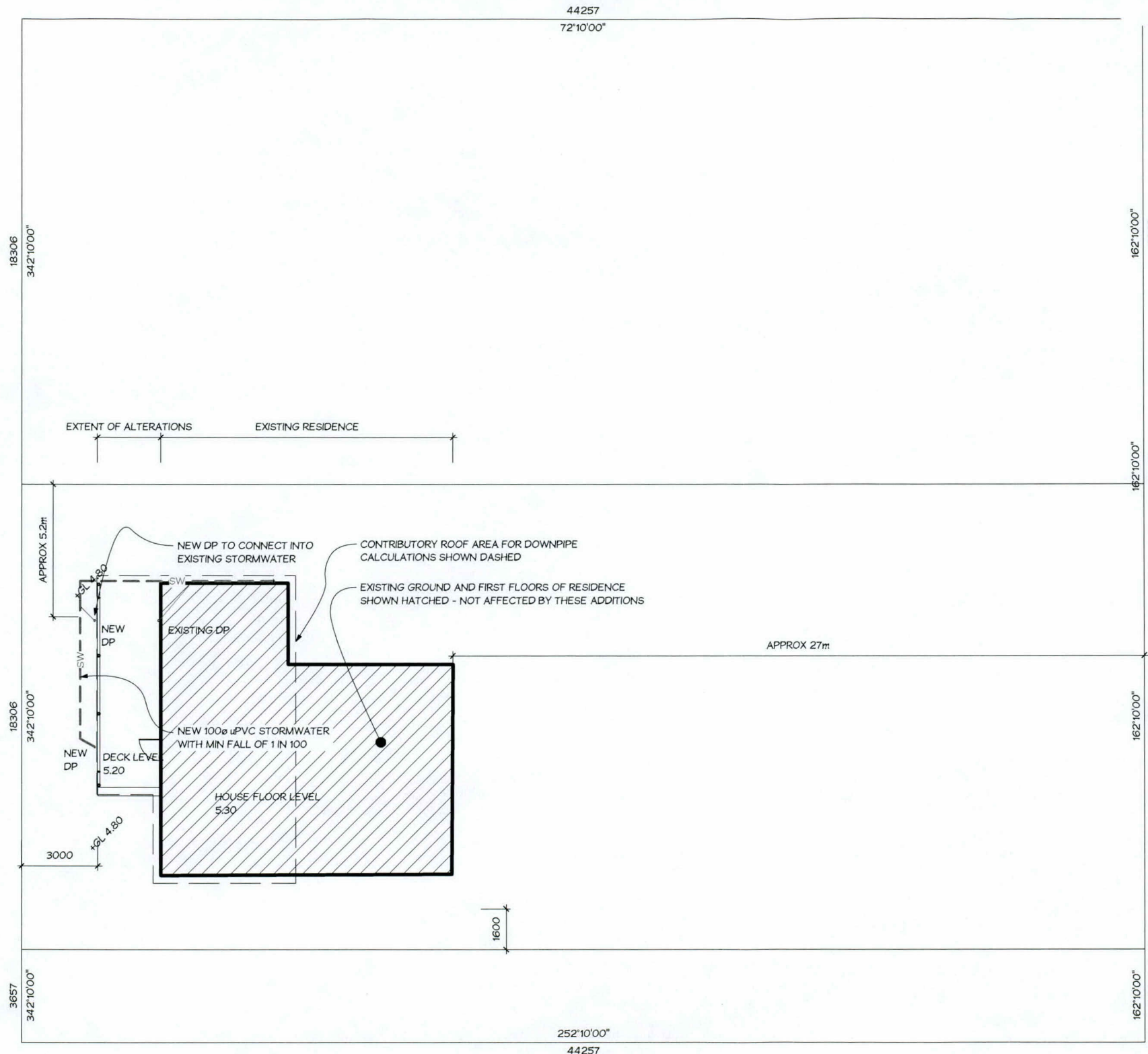


AMENDED



ALTERATIONS TO ENTRY DECK
at: 139 BARNETT AVENUE, BEST ISLAND
for: BERNADETTE STRICKLAND

139 BARNETT AVENUE



SITE PLAN 1:200

Legal Description

Lot 25 DP 5090
Site Area: 809m²

Planning

Zone: RESIDENTIAL
SPECIAL DOMESTIC WASTEWATER
DISPOSAL AREA

Area for Coverage: 131.3m²
Coverage: 16.2%

Notes:

Wind Zone: HIGH
Earthquake Zone: 2
Snow Zone: N3
Corrosion Zone: D

WIND ZONE CALC	
Wind Region	A
Lee Zone	No
Ground Roughness	Open
Site Exposure	Exposed
Topographic Class	T1
WIND ZONE	HIGH

DOWNPIPE CALCULATIONS

ROOF PLAN AREA: 89.4m²
ROOF PITCH: 12/8

MAXIMUM ROOF PLAN AREA PER 80Ø DOWNPIPE TO
COMPLY WITH THE NEW ZEALAND BUILDING CODE -
E1/AS1 = 85m²

$$\frac{89.4\text{m}^2}{85\text{m}^2} = 2 - 80\text{Ø DOWNPIPES (MIN)}$$



AMENDED

SITE LEGEND

F.F.L. FINISHED FLOOR LEVEL
GL GROUND LEVEL
EL EXISTING LEVEL
PL PROPOSED LEVEL
LID LID LEVEL
INV INVERT LEVEL
DP DOWNPIPE

**Gowans Walters
& Associates Ltd**

tel: 03-544-9499
fax: 03-544-9488
enquiries@gowanswalters.co.nz

building designers

project

**ALTERATIONS TO ENTRY DECK
at: 139 BARNETT AVENUE, BEST ISLAND
for: BERNADETTE STRICKLAND**



rev | date | details

scale(s) at A3

1:200

sheet title

SITE PLAN

sheet

01 of 03

drawn SJC

date FEB 2014

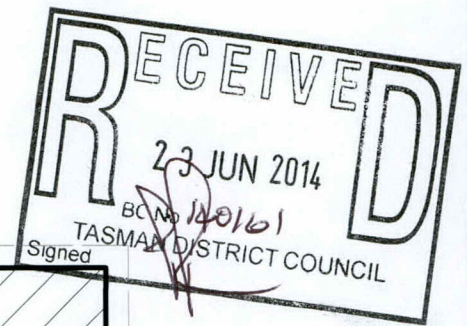
job no. 13379 (WD05)

by

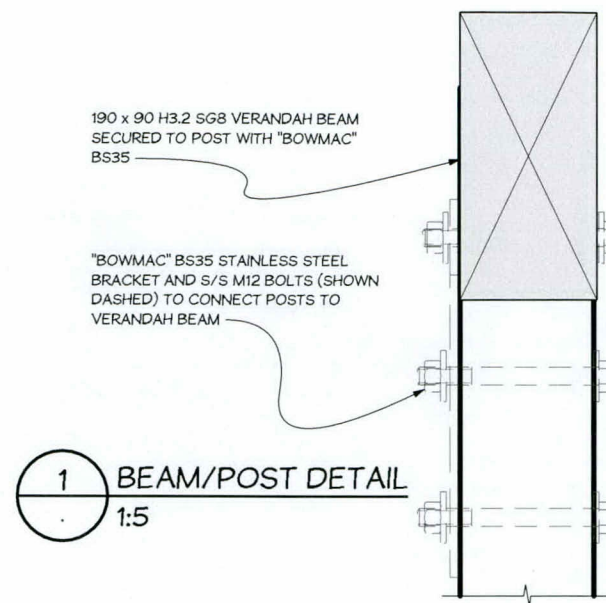
NOTES

DIMENSIONS

ALL DIMENSIONS ARE TO FRAMING UNLESS OTHERWISE STATED.



AMENDED

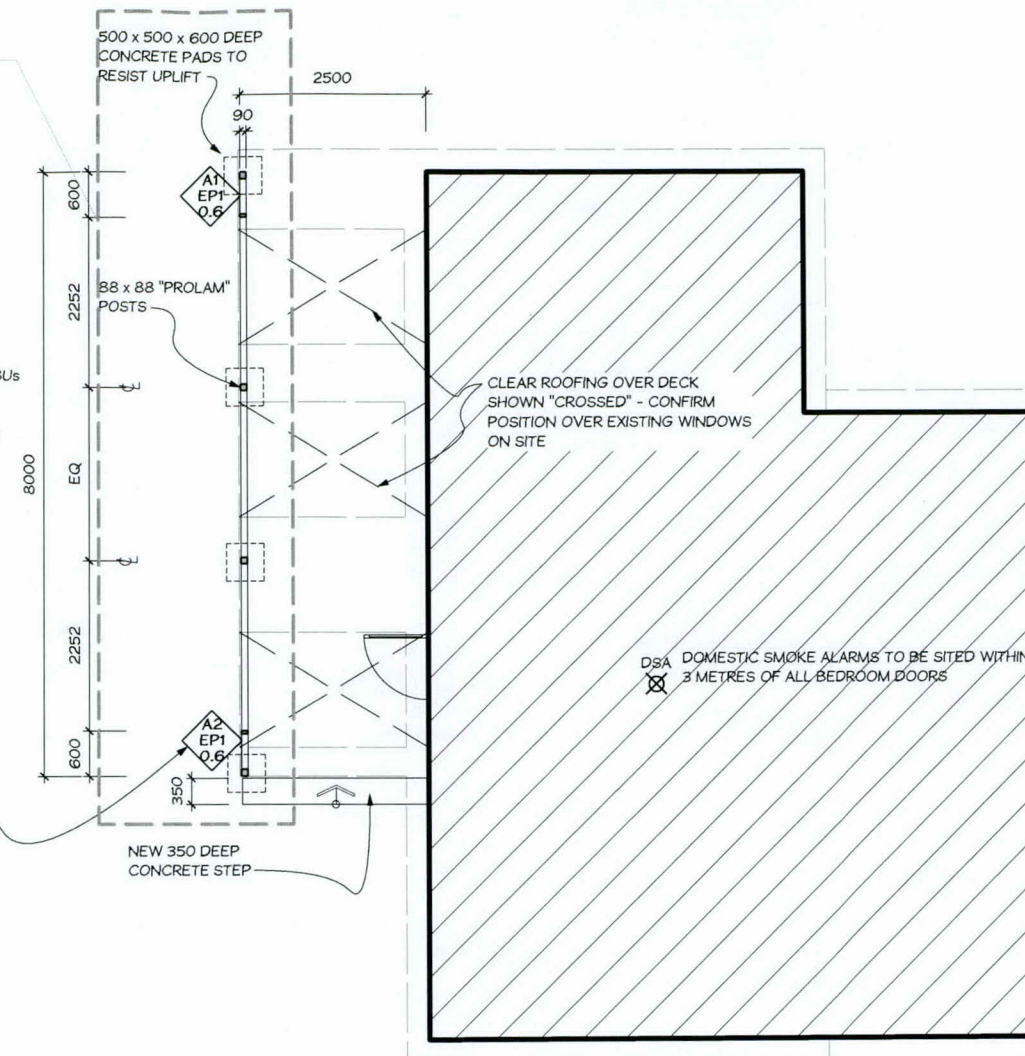


BRACING:

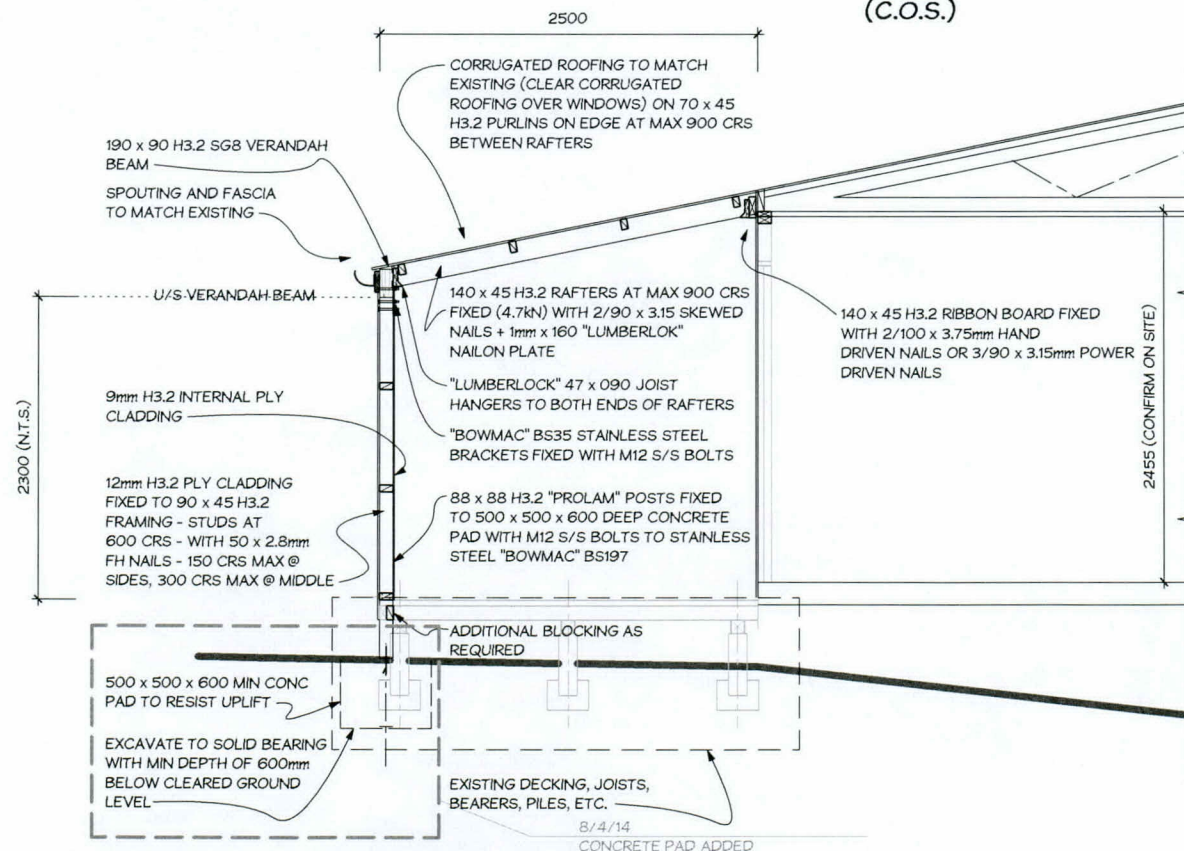
BRACING UNITS REQUIRED
= 8.0m x 15 = 120 BU's

BRACING UNITS PROVIDED
= 2 x 78 = 156 BU's

600 WIDE "ECOPLY" BRACED PANELS



APPROX 12° (C.O.S.)

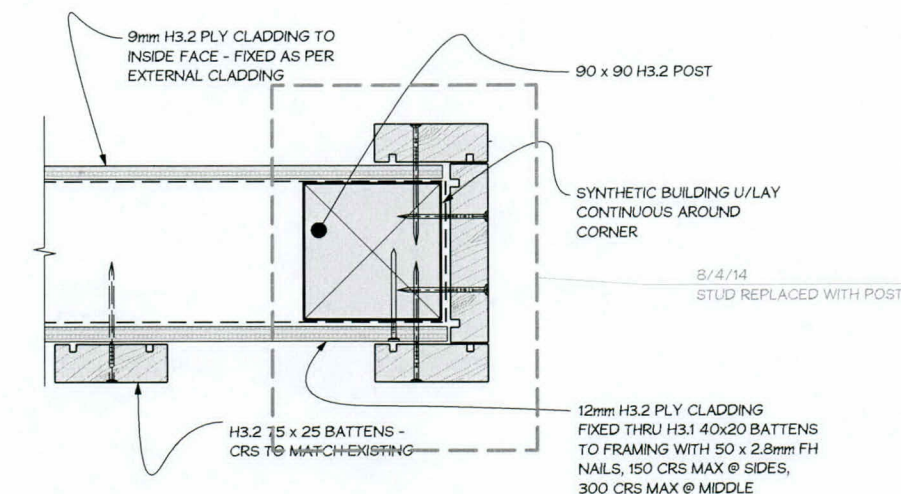


TYPICAL CROSS SECTION 1:50

FLOOR PLAN 1:100

LEGEND

DSA DOMESTIC SMOKE ALARM COMPLYING WITH ANY OF THE FOLLOWING STANDARDS: UL217, ULC-S531, AS3786 OR BS5446 - PART 1



2 EXTERNAL CORNER DETAIL 1:5

Gowans Walters & Associates Ltd

tel: 03-544-9499
fax: 03-544-9488
enquiries@gowanswalters.co.nz

building designers

project

ALTERATIONS TO ENTRY DECK
at: 139 BARNETT AVENUE, BEST ISLAND
for: BERNADETTE STRICKLAND



B 9/5/14 ROOF CONFIGURATION ADJUSTED TO SJC
MATCH BUILDER'S ON-SITE MEASUREMENTS
A 8/4/14 CONCRETE PADS ADDED
rev date details SJC by

scale(s) at A3

1:100; 1:50; 1:5

sheet title

FLOOR PLAN

sheet

02 B of 03

drawn SJC

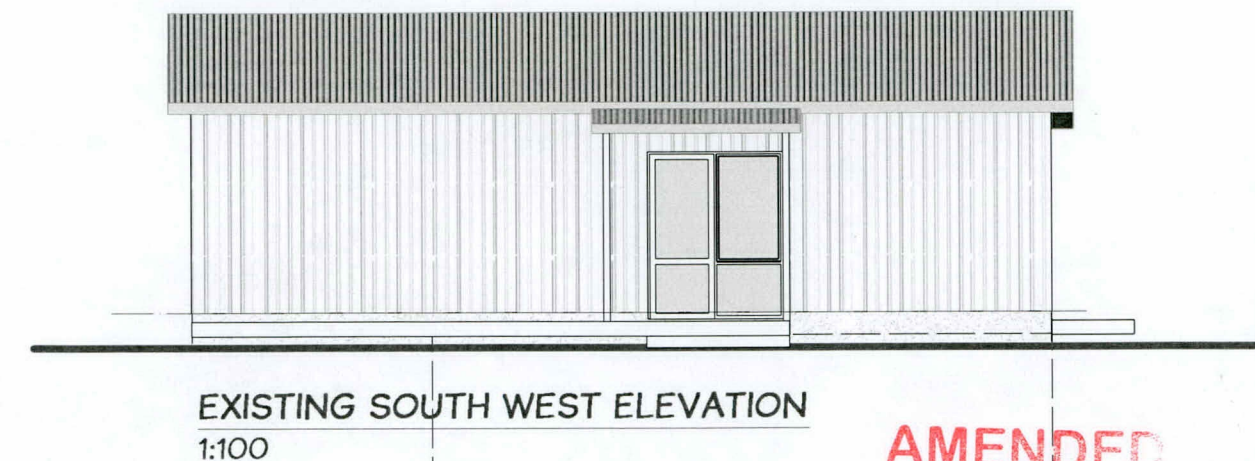
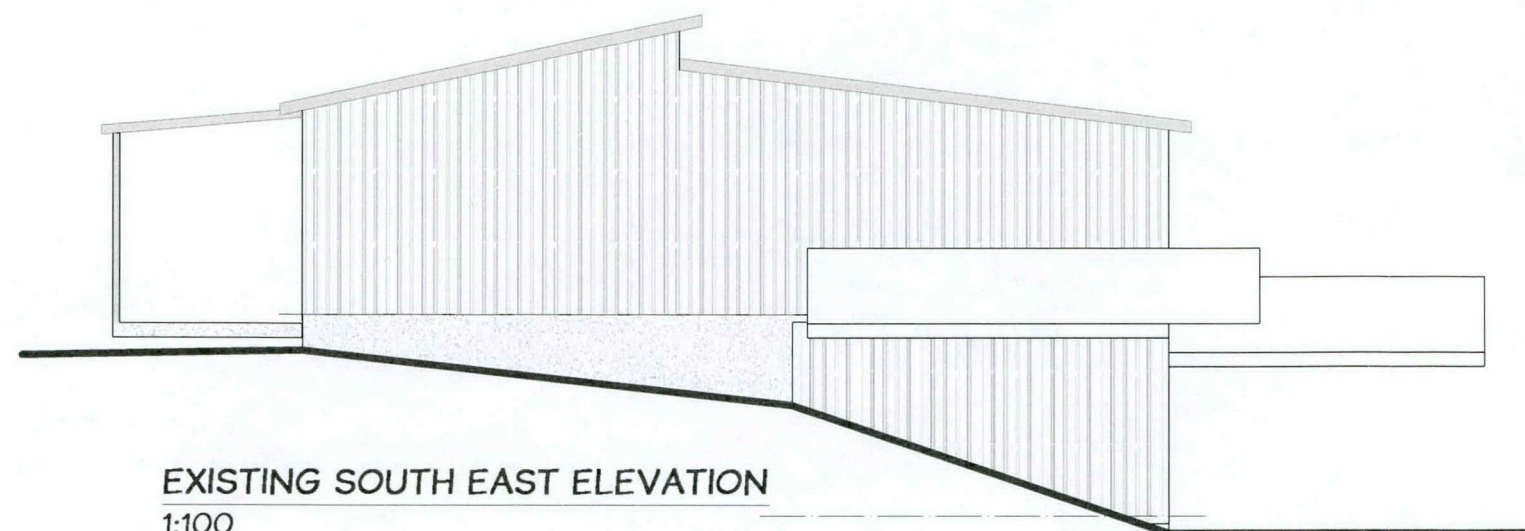
date FEB 2014

job no. 13379 (WD05)

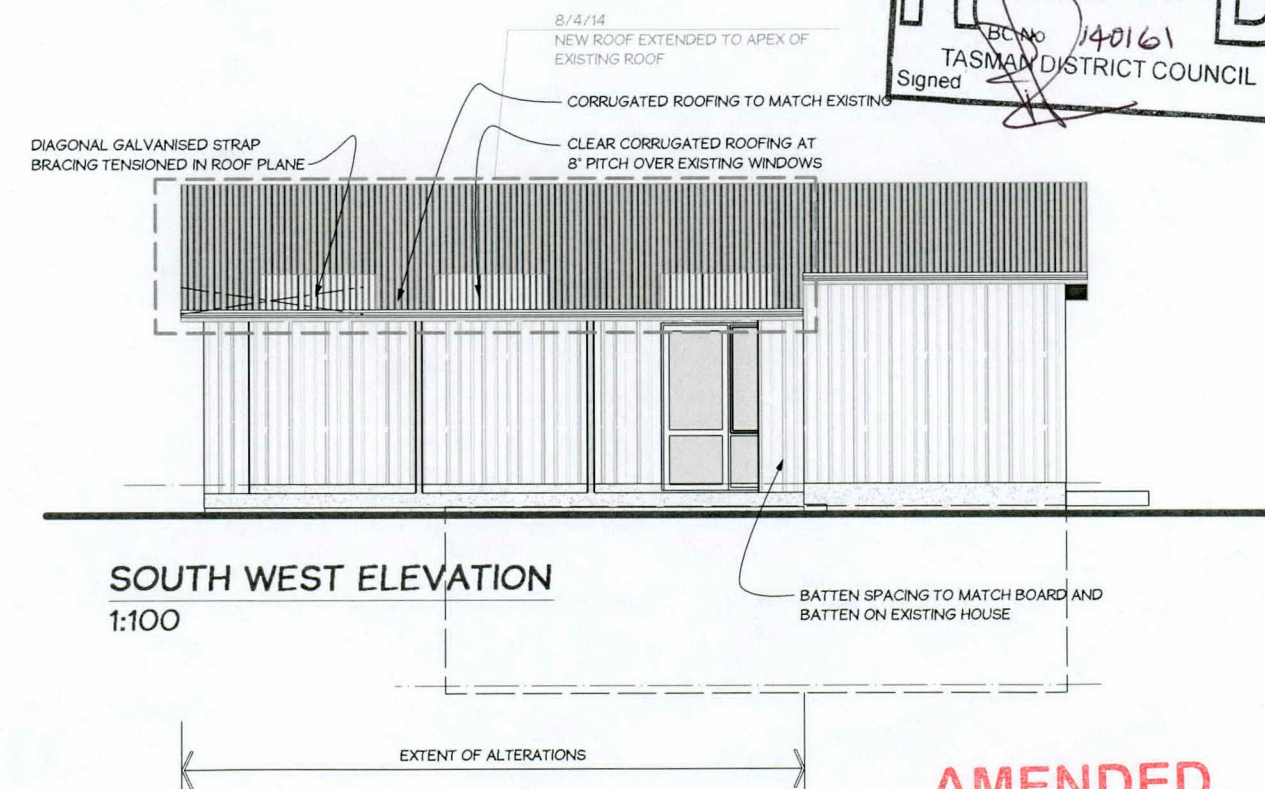
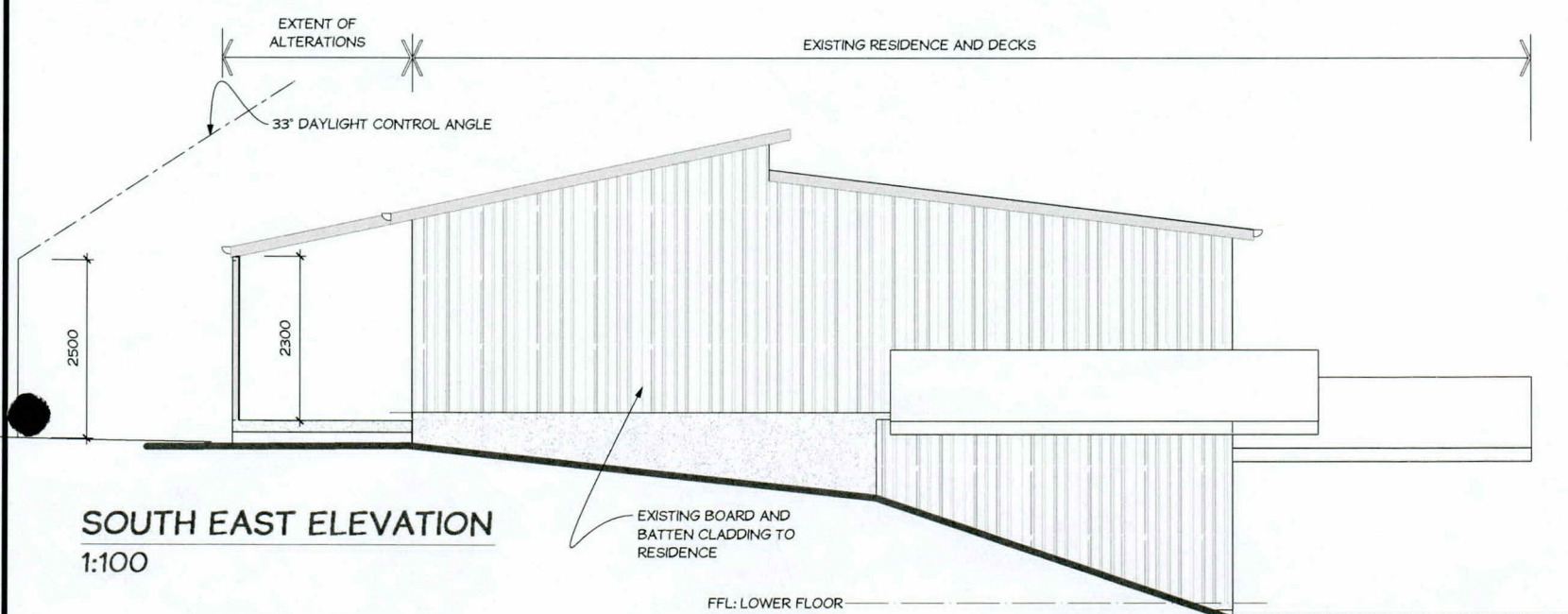
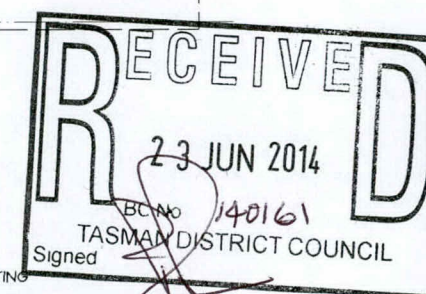
NOTES

ROOF BRACING

ALL GABLE ROOFS SHALL HAVE 1 PAIR OF DIAGONALLY OPPOSED 25 x 0.6mm GALVANISED MILD STEEL STRAPS WITH 8kN TENSIONER FOR EVERY 50m² - REFER TO SPECS FOR DETAILS



AMENDED



AMENDED

**Gowans Walters
& Associates Ltd**

building designers

tel: 03-544-9499
fax: 03-544-9488
enquiries@gowanswalters.co.nz

project

**ALTERATIONS TO ENTRY DECK
at: 139 BARNETT AVENUE, BEST ISLAND
for: BERNADETTE STRICKLAND**



B	9/5/14	ROOF CONFIGURATION ADJUSTED TO SJC MATCH BUILDER'S ON-SITE MEASUREMENTS	
A	8/4/14	NEW ROOF EXTENDED + DETAIL ADDED	SJC
rev	date	details	by

scale(s) at A3

1:100

sheet title

ELEVATIONS

sheet

03 B of 03

drawn SJC

date FEB 2014

job no. 13379 (WD05)

3.2 ECOPLY® & SHADOWCLAD® BRACING SPECIFICATIONS SUMMARY

Carter Holt Harvey® Woodproducts has a range of bracing specifications called the EP bracing series. The EP bracing series simplifies the design and construction of bracing elements using plywood, by itself or in conjunction with GIB® Plasterboard.

Historical Ecoply bracing elements (referred to as the SP bracing series in previous versions of Ecoply literature) can still be used in bracing design if desired and can be downloaded from www.chhwoodproducts.co.nz, however, the EP bracing series offers the following benefits:

- Higher bracing performance per metre than historical SP elements
- Reduced number of element types and simplified naming system
- Single sided and double sided bracing elements
- Special EPGs bracing element design for where plywood cladding comes to soffit line within 300 mm of top plate
- High performance bracing element utilising GIB® Standard plasterboard
- A single type, GIB Handibrac®, hold-down for all bracing elements
- Direct fix or cavity construction
- Simplified construction
- Specifications for each bracing element type

TABLE 9: SUMMARY P21 RATINGS FOR 2.4 M HIGH ECOPLY® AND SHADOWCLAD® WALL ELEMENTS

EPI	0.6 m	7 mm Ecoply or 12 mm Shadowclad® one side	130	130
EP2	0.6 m	7 mm Ecoply or 12 mm Shadowclad each side	145	150
EPG	0.4 m	7 mm Ecoply or 12 mm Shadowclad one side and 10 mm GIB® Standard plasterboard other side	120	125
	1.2 m		150	150
EPGs	0.4 m	7 mm Ecoply or 12 mm Shadowclad one side* and 10 mm GIB® Standard plasterboard other side	100	120
	1.2 m		150	120

* Plywood side of element must be a maximum of 300 mm below top plate

Note: Bracing and other technical information has been specifically tested using Ecoply and Shadowclad branded structural plywood. This information cannot be used with any other plywood brand and bracing data must be sought directly from the specific plywood manufacturer.

More information

The following pages provide a full specification of EP bracing elements. Copies of specifications can be down loaded from www.chhwoodproducts.co.nz

NZS 3604 provides the method of calculating demand on a building and calculation sheets are available from BRANZ or GIB® EzyBrace™ software is available as a free download from www.gib.co.nz. Information is available at www.chhwoodproducts.co.nz which can be placed in the custom elements of GIB® EzyBrace™ for ease of calculation.



Ecoply® Bracing Systems are designed to meet the requirements of the NZBC and have been tested and analysed using the P21 method referenced in NZ3604 listed as an acceptable solution B1/AS1 Structure. Testing was carried out using Ecoply, Shadowclad and Laserframe MSG8 timber framing manufactured by Carter Holt Harvey Limited trading as Carter Holt Harvey Woodproducts New Zealand, and GIB® products manufactured by Winstone Wallboards Ltd. Substituting materials may compromise performance of the system. GIB® and GIB HandiBrac® are registered trade marks of Fletcher Building Holdings Ltd.

3.3 ECOPLY® BRACING SPECIFICATION – EPI

SINGLE SIDED STRUCTURAL PLYWOOD BRACE

EPI	0.6 m	7 mm Ecoply® or Ecoply Barrier one side	125	130
-----	-------	---	-----	-----

Framing

Wall framing must comply with:

- NZBC B1 - Structure: AS1 Clause 3 Timber (NZS 3604:2011)
- NZBC B2 - Durability: AS1 Clause 3.2 Timber (NZS 3602)

Framing dimensions and height are as determined by the NZS 3604 stud and top plate tables for load bearing and non load bearing walls. Kiln dried verified structural grade timber must be used. Machine stress graded timber, such as Laserframe®, is recommended.

Bottom plate fixing

Use GIB HandiBrac® hold-down connections at each end of the bracing element. Refer to manufacturer installation instructions supplied with the connectors for correct installation instructions and bolt types to be used for either concrete or timber floors. Within the length of the bracing element, bottom plates are fixed in accordance with the requirements of NZS 3604.

Lining

One layer of 7 mm Ecoply plywood or Ecoply® Barrier fixed directly to framing or over cavity battens. If part sheets are used, ensure nailing at required centres is carried out around the perimeter of each sheet or part sheet. A 2-3 mm expansion gap should be left between sheets.

Fastening the Ecoply®

Fasteners

Fasten with 50 x 2.8 mm galvanised or stainless steel flat head nails for direct fix, or 60 x 2.8 mm over cavity battens. Place fasteners no less than 7 mm from sheet edges.

Fasteners for H3.2 CCA treated Ecoply

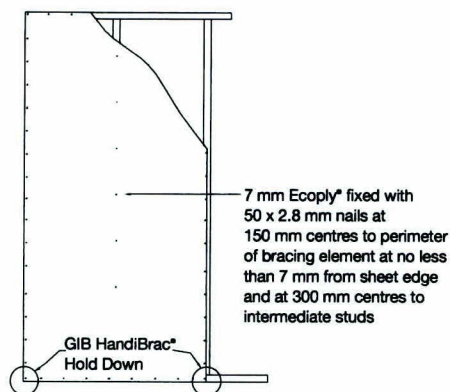
Where fasteners are in contact with H3.2 CCA treated timber or plywood, fasteners shall be a minimum of hot dip galvanised.

In certain circumstances stainless steel fasteners may be required. Refer to table 8 of the Ecoply Specification and Installation Guide for these circumstances and further fastener selection advice.

Where stainless steel nails are required, annular grooved nails must be used.

Fastening centres

Fasteners are placed at 150 mm centres around the perimeter of each sheet and 300 mm centres to intermediate studs. Where more than one sheet forms the brace element each sheet must be nailed off independently.



Ecoply® Bracing Systems are designed to meet the requirements of the New Zealand Building Code and have been tested and analysed using the P21 method referenced in NZS 3604:2011 listed as an acceptable solution B1/AS1 Structure. Testing was carried out using Ecoply and Laserframe SG8 timber framing manufactured by

Carter Holt Harvey Limited trading as CHH Woodproducts New Zealand, and GIB® products manufactured by Winstone Wallboards Ltd. Substituting materials may compromise performance of the system. GIB® and GIB HandiBrac® are registered trade marks of Fletcher Building Holdings Ltd.

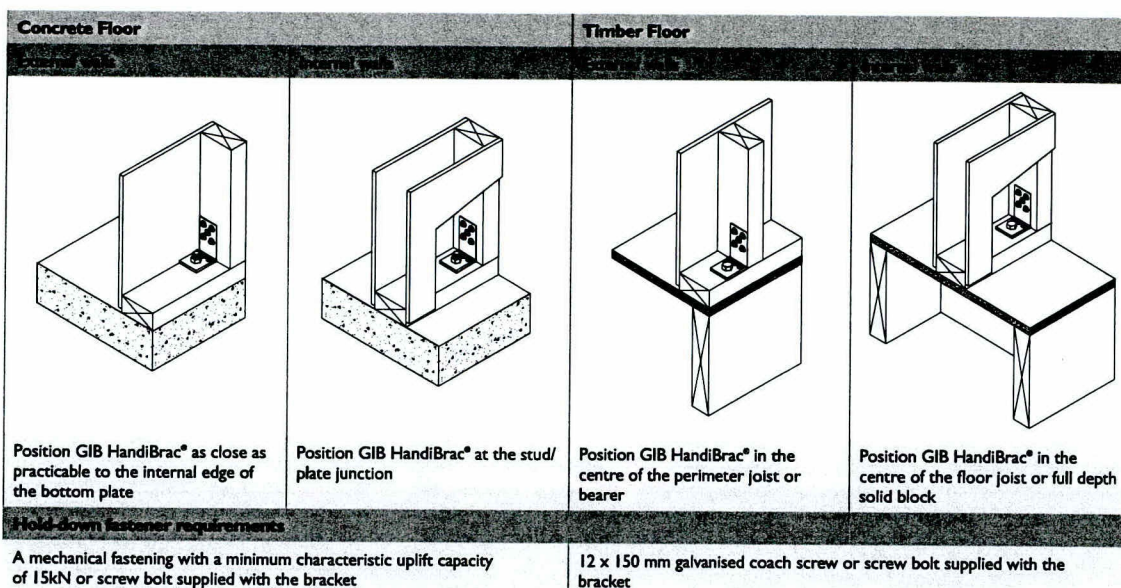
3.7 GIB HANDIBRAC® - RECOMMENDED INSTALLATION METHOD

Developed in conjunction with MiTek™ NZ, the GIB HandiBrac® has been tested for use as a hold-down in all EP bracing elements.

- The GIB HandiBrac® registered design provides for quick and easy installation
- The GIB HandiBrac® provides a flush surface for the wall linings

because it is fitted inside the framing. There is no need to check in the framing as recommended with conventional straps

- The GIB HandiBrac® is suitable for both new and retrofit construction
- The design also allows for installation and inspection at any stage prior to fitting internal linings



Reproduced with the permission of Winstone Wallboards Ltd

3.8 STRUCTURAL CEILING DIAPHRAGMS

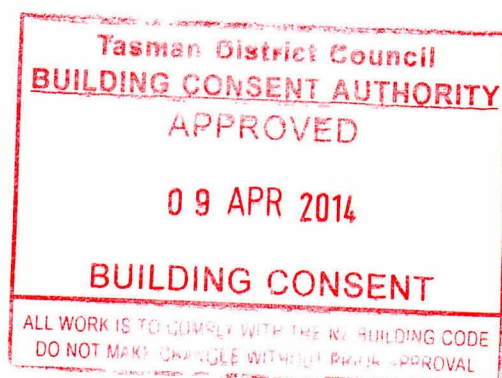
Diaphragms are used to transfer lateral loads to braced walls and allow for greater spacing between bracing lines. Diaphragms do not have a BU rating themselves.

Plywood diaphragms are an acceptable solution as described in section 13 NZS 3604 13.5.2 and allows for plywood not less than 6 mm thick and a minimum of three ply for:

- Diaphragms not steeper than 25 degrees to the horizontal and not exceeding 10 metres long under light or heavy roofs and;
- Diaphragms not steeper than 45 degrees to the horizontal and not exceeding 7.5 metres long under light or heavy roofs

Ceiling Diaphragms are constructed as follows:

- The length of diaphragm shall not exceed twice its width measured between supporting walls
- The ceiling lining must consist of plywood over the entire area of the diaphragm
- Complete sheets with a minimum size of 1800 x 900 must be used
- Framing size and spacing must comply with NZS 3604
- Fastener size should comply with Table 7 of this publication. E.g. 40 mm x 2.5 mm flat head nails for 7 mm and 9 mm EcoPLY
- Fastening is at 150 mm centres around the perimeter of each sheet and at 300 mm centres to intermediate framing
- Fixings are no closer than 10 mm from sheet edges
- Perimeter ceiling framing must be connected to wall framing by a perimeter 140 mm x 35 mm ribbon plate nailed to the top of the top plate or alternative such as a 0.55 mm thick steel angle or proprietary steel channel



(owners)

MA + BD Gilgile. +
AB + DE Barclay
Best Island
RD /
Richmond.

Pt 2
4.6461
DP 1667
900

8
3541
DP 5090
909
Rec. Reserve

2mm x 2000
= 4000mm
= 4m
wide

INSET
Scale: 1: 2,000

1 RMP
"Coastal and
Residential"
Winnipeg
Residential A

1988092400.

open space

JE Robinson
Barrett Ave
RD / Best Island
Richmond.



tasman

district council

Writer's Direct Dial No. (03) 543 7205

E-mail: lindsay.mckenzie@tasman.govt.nz

Ref: C786

25 September 2013

**COPY
FILE**

1938092400

Bernadette Strickland
139 Barnett Avenue
Best Island RD1
Richmond 7081

Dear Bernadette

You wrote to me recently about concerns you have about drainage around and flooding of your property at 139 Barnett Avenue, Best Island. I've asked Council's Regulatory Manager to provide some advice about your property and its history.

Our records show that the dwelling was first established as a holiday bach in 1959 and has been added to under permits or consents in 1981, 87, 97 and 98. The most recent inspection in 2010 was to sign off the elements of the building consented in 1998. What was accepted practice and the standard applied in 1959, 87, 97 and 98 is not necessarily the practice and standard of today.

The ground clearance issue which has caused some of the flooding issues related to the 1997 consent and not the 1998 consent and was the reason for the 2010 inspection. A drainage plan was provided to an inspector in 2010. That plan was required in order to show that provision had been made for the additional rainwater downpipe. The plan provided was deemed adequate for that purpose by the inspector.

You had additional drainage installed in sometime after December 2011. We have no record of a consent being issued for that work so we don't know what was put in or taken away. You should remedy that and make sure that the work you did is approved.

Having noted all of that the flooding events recently, especially in late April were exceptional. It is unlikely that any realistic amount of drainage would have prevented such low lying land getting inundated.

If you would like your property to be fully compliant can you please start by applying for a Certificate of Acceptance for your new drains and we will progress from there.

Yours sincerely

Lindsay McKenzie
Chief Executive



INSPECTION REPORT

Name: **Zink 2015 Ltd**

Consent No: **BC170597**

Address: **139 Barnett Avenue, Best Island**

Inspected by: Pete Fitzgerald

On **3/07/2017** at **3:12 p.m.** this site was inspected pursuant to the Building Act 2004 (section 222/230) and the Local Government Act 2004 (Section 174). The purpose of the inspection was:

26 FINAL INSPECTION: FIRE FREE-STANDING WHEN FREE-STANDING FIRE HAS BEEN COMPLETELY INSTALLED & SMOKE ALARMS FITTED

Notes Summary: Fire installed by brad colville all clearances meet requirments, three smoke alarms installed, water temp is 48deg, new flashing meets E2 requirments. fire is ready to light, please issue CCC

Next Inspection:



INSPECTION REPORT

Name: **Zink 2015 Ltd**

Consent No: **BC170597**

Address: **139 Barnett Avenue, Best Island**

Inspected by: Pete Fitzgerald

On **3/07/2017** at **3:12 p.m.** this site was inspected pursuant to the Building Act 2004 (section 222/230) and the Local Government Act 2004 (Section 174). The purpose of the inspection was:

26 FINAL INSPECTION: FIRE FREE-STANDING WHEN FREE-STANDING FIRE HAS BEEN COMPLETELY INSTALLED & SMOKE ALARMS FITTED

Notes Summary: Fire installed by brad colville all clearances meet requirments, three smoke alarms installed, water temp is 48deg, new flashing meets E2 requirments. fire is ready to light, please issue CCC

Next Inspection:

Floor Area

RATIONS & ADDITION

RAFFALLS

EST ISLAND

BLK 11 WAIMEA, SD

basement 41.5
 First 105.7
 147.2

Conservatory 19.0
 Deck 40
 166.2

shed 10
 After

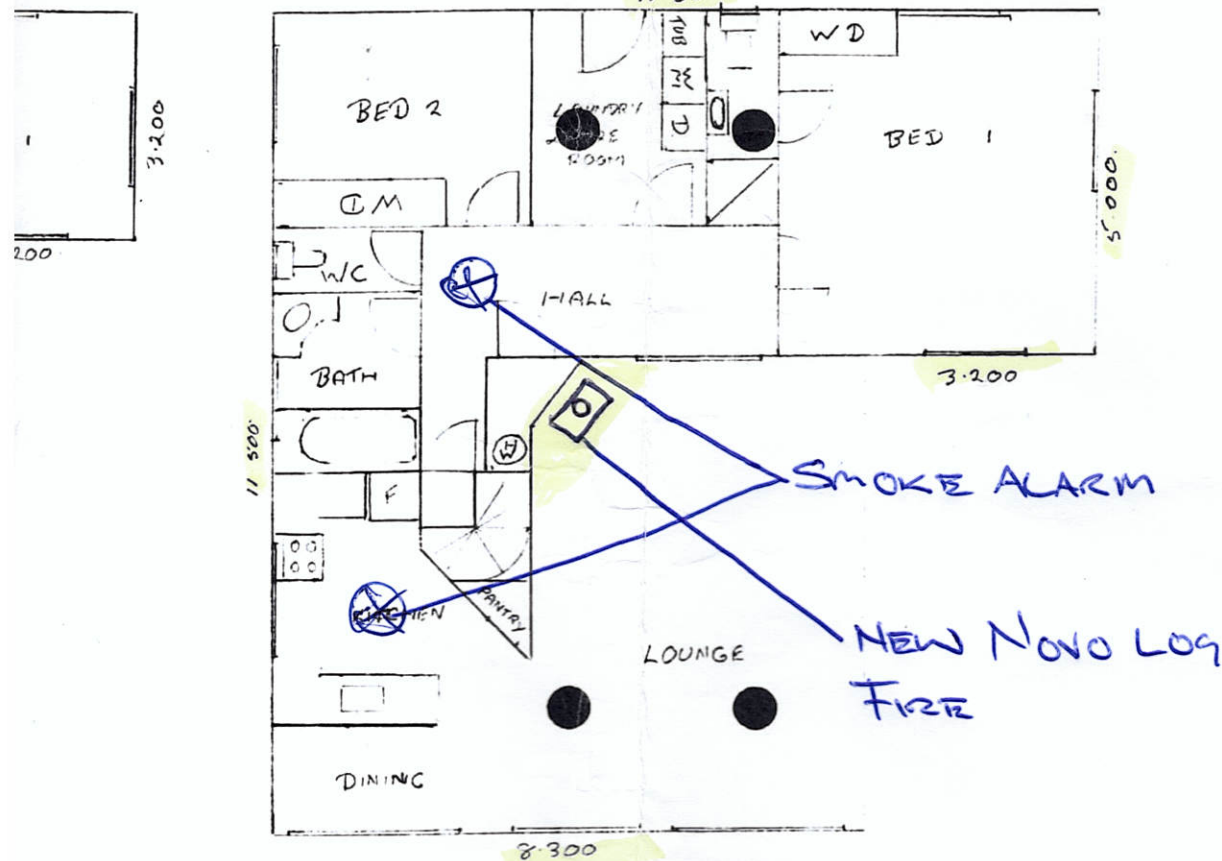
Tasman District Council
 BUILDING CONSENT AUTHORITY
 APPROVED DRAWINGS

Consent Number BC 170597

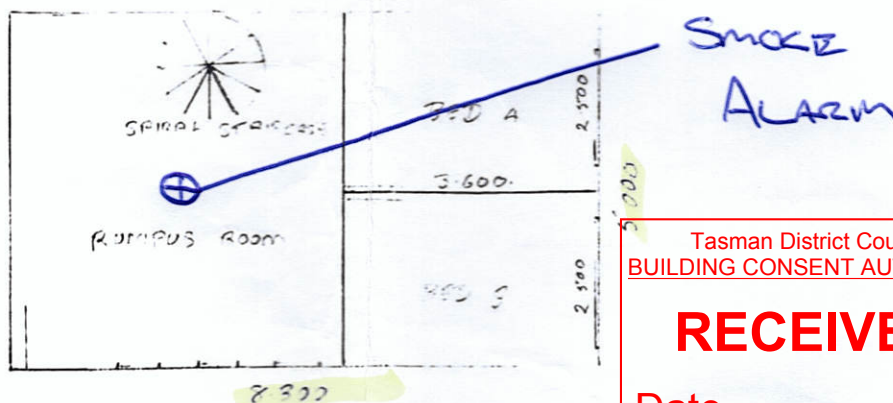
Signed *midnight*

Date 16/06/2017

ALL WORK IS TO COMPLY WITH THE NZ BUILDING CODE
 DO NOT MAKE CHANGES WITHOUT PRIOR APPROVAL



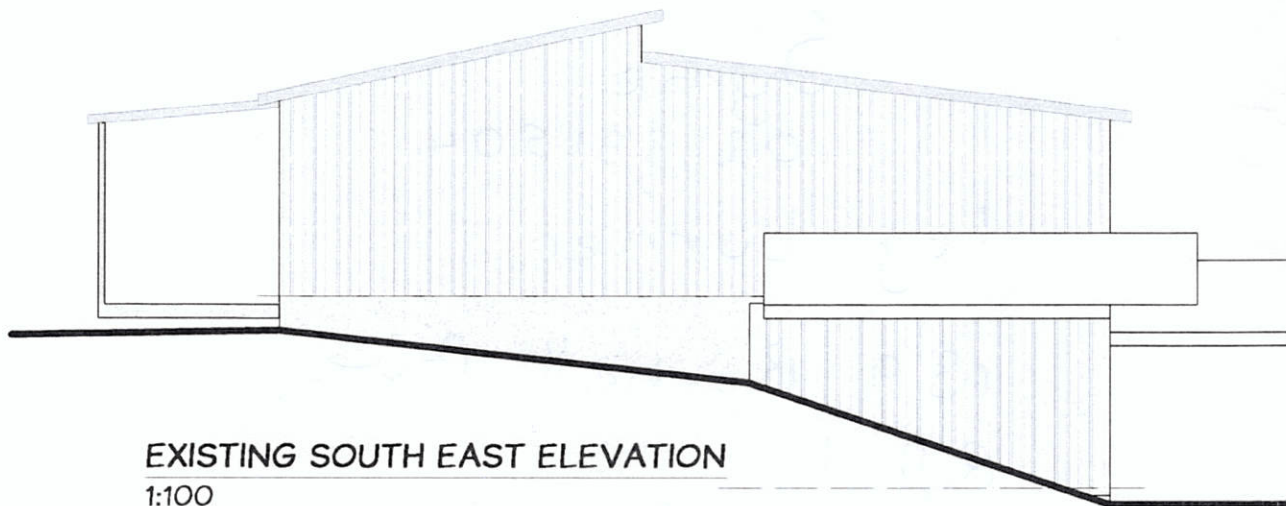
PROPOSED FLOOR & BASEMENT PLAN AND ADDITION TO BED 1.
 Scale 1:100.



Tasman District Council
 BUILDING CONSENT AUTHORITY

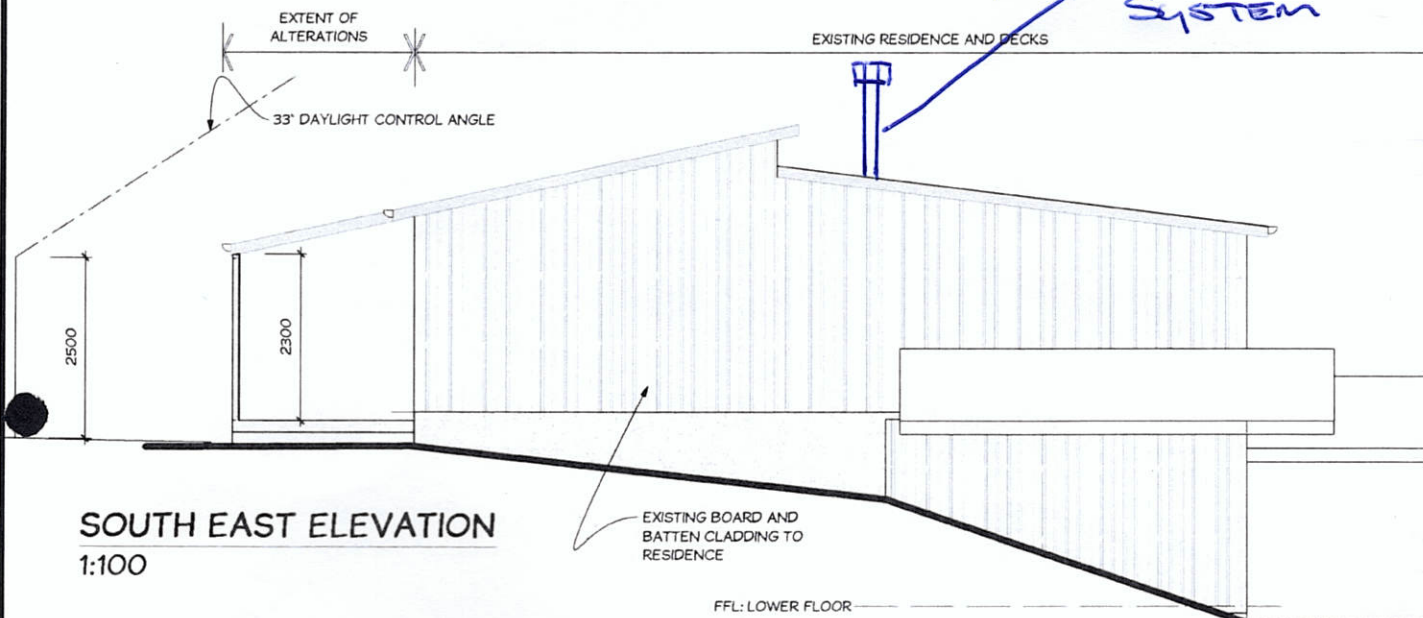
RECEIVED

Date 16/06/17



EXISTING SOUTH EAST ELEVATION

1:100

NEW HEATSAVER FLU
SYSTEM

SOUTH EAST ELEVATION

1:100

Tasman District Council
BUILDING CONSENT AUTHORITY**RECEIVED**

Date 16/06/17

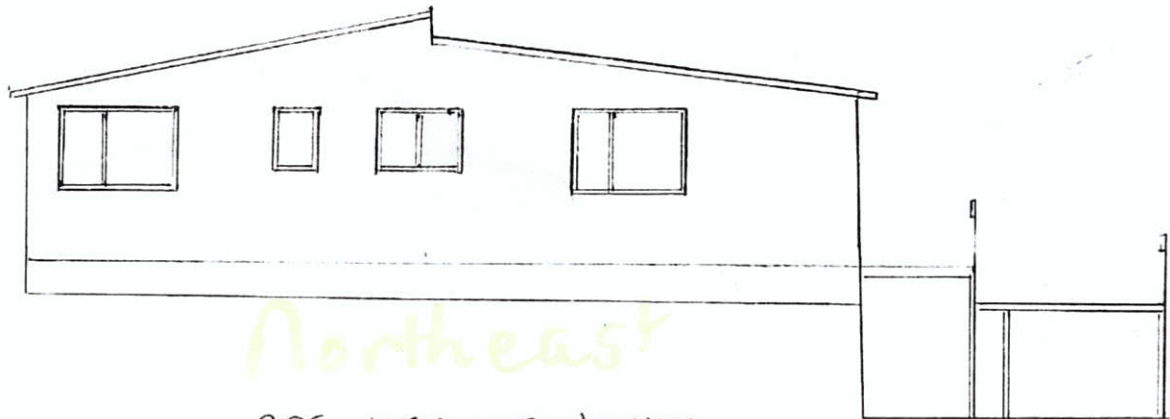
**Gowans Walters
& Associates Ltd**

building designers

tel: 03-544-9499
fax: 03-544-9488
enquiries@gowanswalters.co.nz

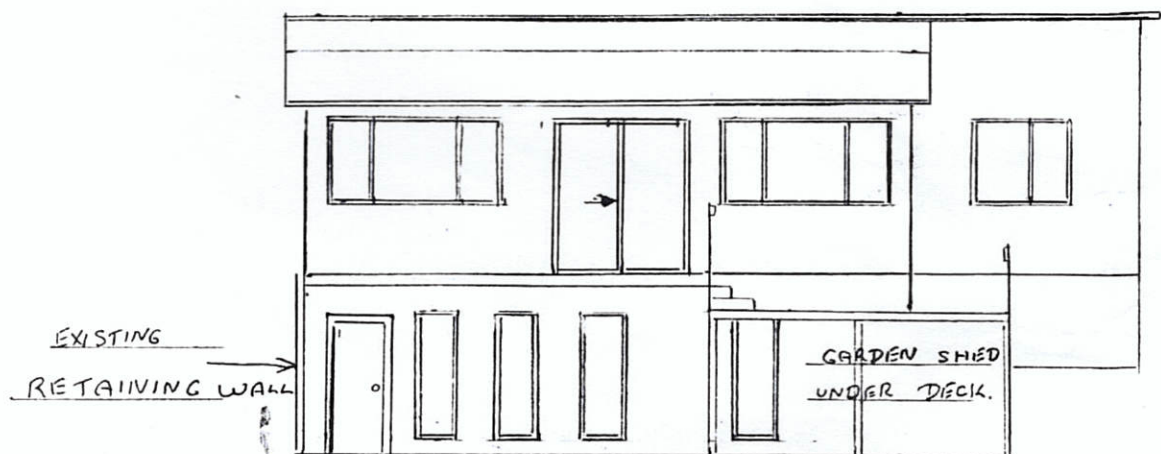
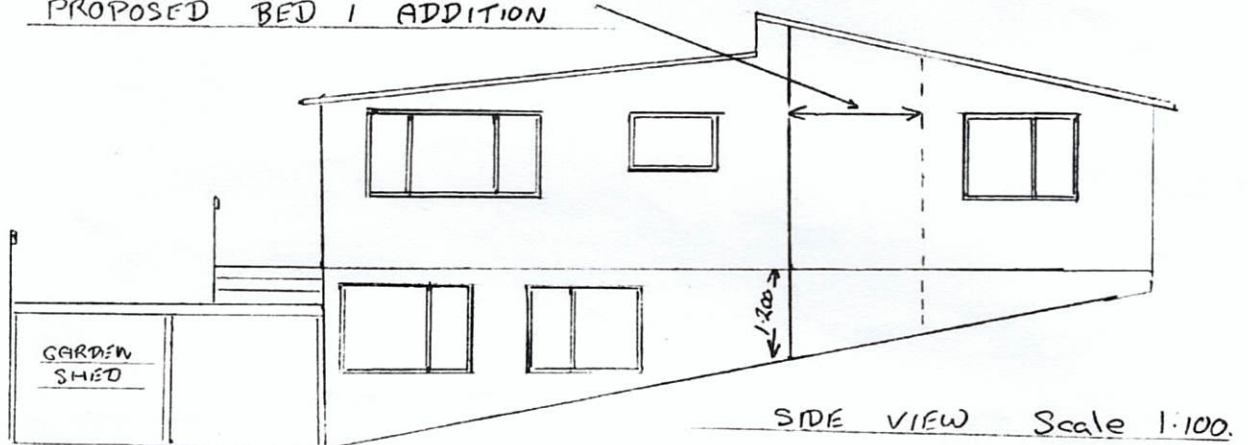
project

**ALTERATIONS TO ENTRY DECK
at: 139 BARNETT AVENUE, BEST ISLAND
for: BERNADETTE STRICKLAND**LICENSED BUILDING
INSPECTOR



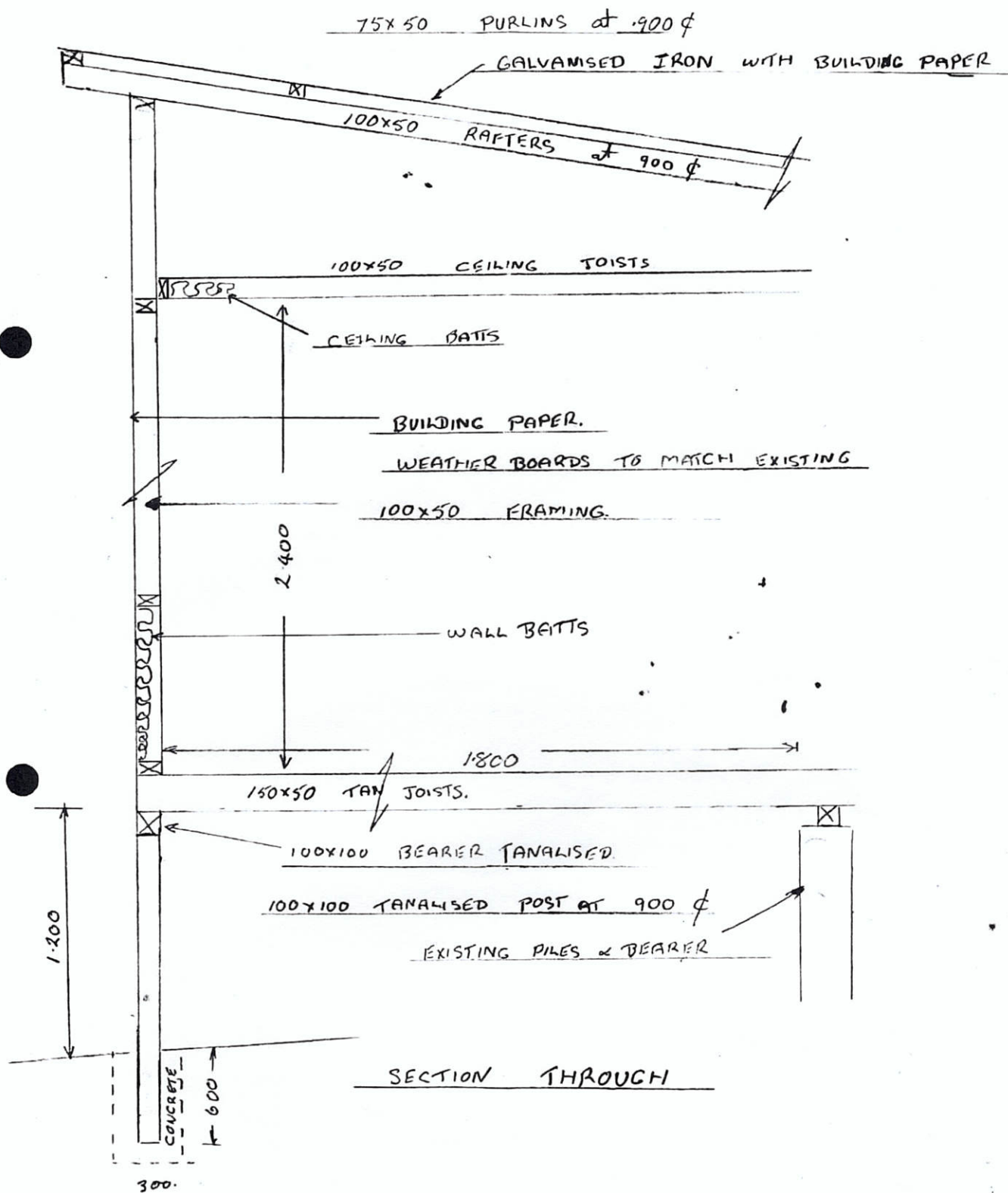
SIDE VIEW Scale 1:100

PROPOSED BED 1 ADDITION



END VIEW Scale 1:100.

SEASIDE



Memorandum from licensed building practitioner: Certificate of design work
Section 30C or section 45, Building Act 2004

The building**JOB No 13379**

Street address of building: 139 Barnett Ave

Best Island**The owner**

Name: B Strickland

Address 139 barnett Ave Best Island RD 1 Richmond

Telephone number: 0221607 156

Email address:

Identification of design work that is restricted building work

I carried out or supervised the following design work that is restricted building work:

Design work that is restricted building work	Description	Carried out/ supervised	Reference to plans and specifications
<i>[Tick]</i>	<i>[If appropriate, provide details of the restricted building work]</i>	<i>[Specify whether you carried out this design work or supervised someone else carrying out this design work]</i>	<i>[If appropriate, specify references]</i>

Primary structure

Foundations and subfloor framing	()		() Carried out (✓) Supervised	
Walls	(✓)	Timber framed	() Carried out (✓) Supervised	
Roof	(✓)	rafters	() Carried out (✓) Supervised	
Columns and beams	(✓)	verandah	() Carried out (✓) Supervised	
Bracing	(✓)	Sheet bracing	() Carried out (✓) Supervised	
Other	()		() Carried out () Supervised	

External moisture management systems

Damp proofing	()		() Carried out (✓) Supervised	
Roof cladding or roof cladding system	(✓)	<i>Long run</i>	() Carried out (✓) Supervised	
Ventilation system (for example, subfloor or cavity)	()		() Carried out () Supervised	
Wall cladding or wall cladding system	(✓)	<i>plywood</i>	() Carried out (✓) Supervised	
Waterproofing	()		() Carried out () Supervised	
Other	()		() Carried out () Supervised	

Fire safety systems

Emergency warning systems, evacuation and fire service operation systems, suppression or control systems, or other	()		() Carried out () Supervised	
--	-----	--	-----------------------------------	--

Note: The design of fire safety systems is only restricted building work when it involves small-to-medium apartment buildings as defined by the Building (Definition of Restricted Building Work) Order 2011.

Note: continue on another page if necessary.

Are waivers or modifications of the building code required? () Yes (✓) No

If Yes, provide details of the waivers or modifications below:

Clause	Waiver/modification required
<i>[List relevant clause numbers of building code]</i>	<i>[Specify nature of waiver or modification of building code]</i>

Note: continue on another page if necessary.

Issued by

Name: Allan Walters

LBP or registration number: BP 109465



THE BUILDING

Street address: 139 Barnett Ave R D I
Suburb: Best Island
Town/City: RICHMOND Postcode: 7081

THE PROJECT

Building consent number: 140161

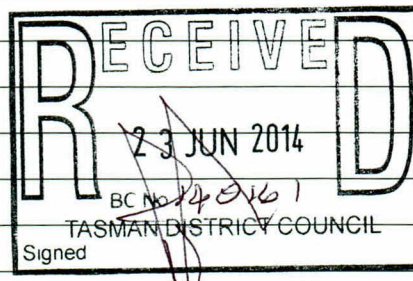
THE OWNER(S)

Name(s): Bernadette Mary STRICKLAND
Mailing address: 139 Barnett Ave RDI
Suburb: Best Island PO Box/Private Bag:
Town/City: RICHMOND Postcode: 7081
Phone number: 0221607156 Email address: bernstrickland@gmail.com

RECORD OF WORK THAT IS RESTRICTED BUILDING WORK

PRIMARY STRUCTURE

Work that is restricted building work Tick	Description of restricted building work If necessary, describe the restricted building work	Carried out or supervised Tick <input checked="" type="checkbox"/> whether you carried out the RBW or supervised someone else.
Foundations and subfloor framing	500 x 500 x 600 Covered with Bowmac BS147 Bracket	<input type="radio"/> Carried out <input checked="" type="radio"/> Supervised
Walls	Two 600 mm ply bracing panels	<input type="radio"/> Carried out <input checked="" type="radio"/> Supervised
Roof	Diagonal strap bracing	<input type="radio"/> Carried out <input checked="" type="radio"/> Supervised
Columns and beams	90x90 posts stainless bolts 190x90 prolam beam fixed with Bowmac T Brackets - SS	<input type="radio"/> Carried out <input checked="" type="radio"/> Supervised
Bracing		<input type="radio"/> Carried out <input checked="" type="radio"/> Supervised
Other		<input type="radio"/> Carried out <input type="radio"/> Supervised





WOODSMAN

Warming kiwi homes since 1887.

Tasman District Council
BUILDING CONSENT AUTHORITY
APPROVED DOCUMENTS

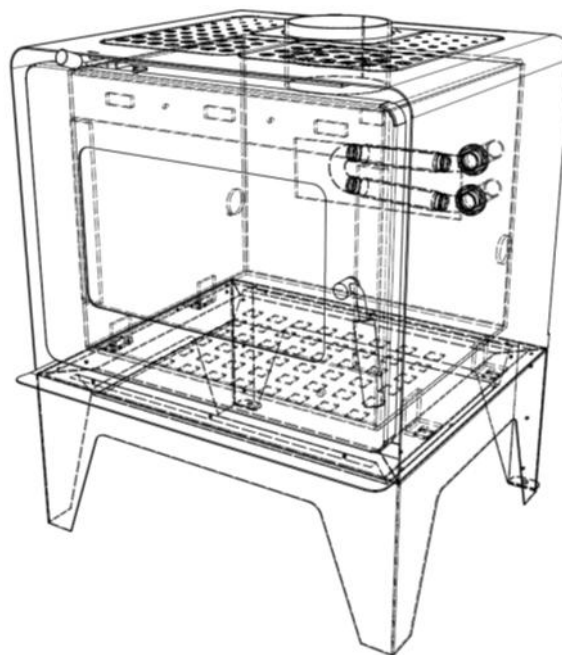
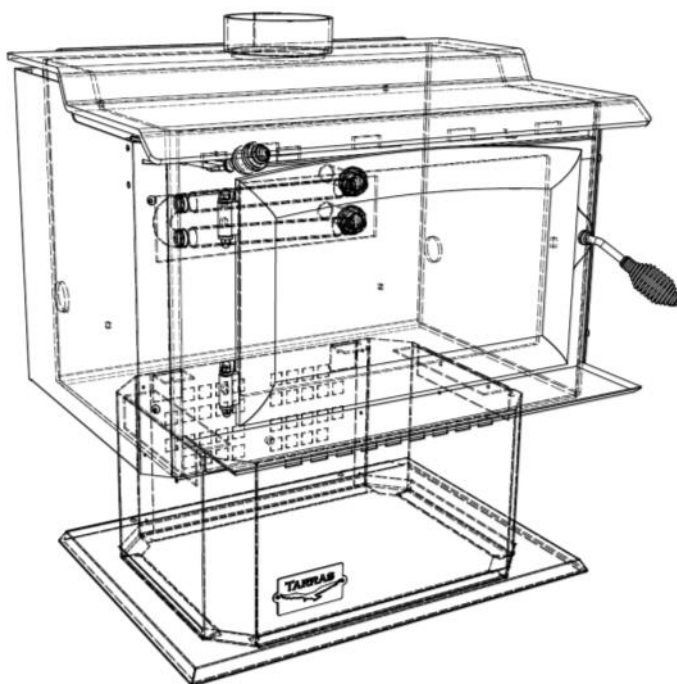
Consent Number BC 170597

Signed *[Signature]*

Date 16/06/2017

ALL WORK IS TO COMPLY WITH THE NZ BUILDING CODE
DO NOT MAKE CHANGES WITHOUT PRIOR APPROVAL

Specifications and Installation Instructions for Woodsman Solid Fuel Burners



The installation of any Woodsman solid fuel burner requires a Building Consent prior to installation commencing. We recommend the installation of a Woodsman solid fuel burner or flue system be undertaken by the holder of a current SFAIT (Solid Fuel Appliance Installation Technician) qualification issued by the NZHHA (NZ Home Heating Association Inc.).

www.nzhha.co.nz

Proudly Manufactured By:



Harris Home Fires
41 Braddon St
Addington
Christchurch 8024
New Zealand
Email sales@hhf.co.nz

P O Box 4043
Christchurch 8140
New Zealand

Phone 03 366 1796
Freephone 0800 3661796
Fax 03 366 1795

Contents

	PAGE
Testing and Certification	3
Clearances	4 & 5
Flue Shields	6
Ceiling Heights	6
Flue Shield Deflector	6
Floor Protector/Hearth Graph (Graph 1)	7
Rear Deflector	7
Dimensions	8
Reducing Clearances	9
Installation Instructions	10
Floor Protector Materials	10
Minimum Flue Height	11
Flue Installation Details	11
Sealing Flue Joints	12
Fitting The Wetback To The Firebox	13

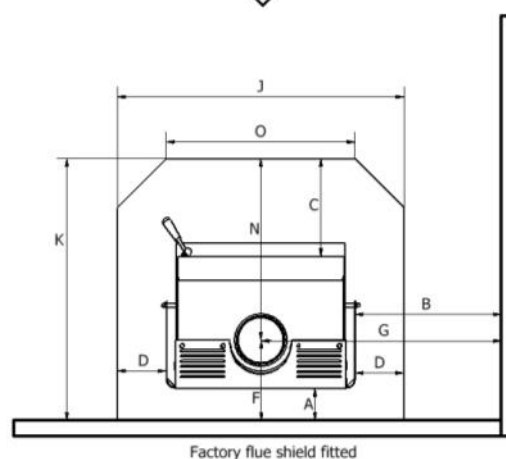
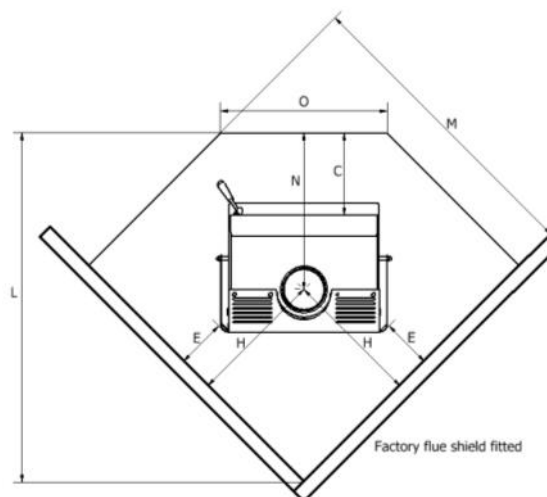
Testing and Certification

MODEL	AS/NZS 2918:2001, APP B	AS/NZ 2918:2001, APP E	AS/NZS 4012:1999	AS/NZS 4013:1999	ECan Cert Number
ECR NoVo	Complies	N/A	67%	0.9g/kg	153733
ECR NoVo Wet	Complies	N/A	65%	0.9g/kg	155148
Totara	Complies	Complies	67%	0.9g/kg	110220
Matai ECR MkIII	Complies	N/A	71%	0.7g/kg	102148
Matai ECR MkV	Complies	N/A	65%	0.7g/kg	102454
IMF	Complies	Complies	N/A	3.9g/kg	N/A
Flare - Wood	Complies	N/A	68%	0.97g/kg	134775
Flare - Wood WB	Complies	N/A	65%	0.89g/kg	135021
Flare - Multi	Complies	N/A	N/A	N/A	N/A
RMF	Complies	N/A	83%	3.9g/kg	N/A
Strongman	Complies	N/A	N/A	N/A	N/A
Aspen	Complies	N/A	71%	0.5g/kg	111306
Aspen WB	Complies	N/A	65%	0.5g/kg	111307
Brunner MKII	Complies	N/A	71%	0.5g/kg	142896
Brunner MKII WB	Complies	N/A	65%	0.5g/kg	142897
Tasman MKII	Complies	N/A	71%	0.5g/kg	142898
Tasman MKII WB	Complies	N/A	65%	0.5g/kg	142899
Tarras MKIII	Complies	N/A	69%	0.37g/kg	143492
Tarras MKIII WB	Complies	N/A	65%	0.5g/kg	143494

Minimum Safe Installation Clearances to COMBUSTIBLE Materials

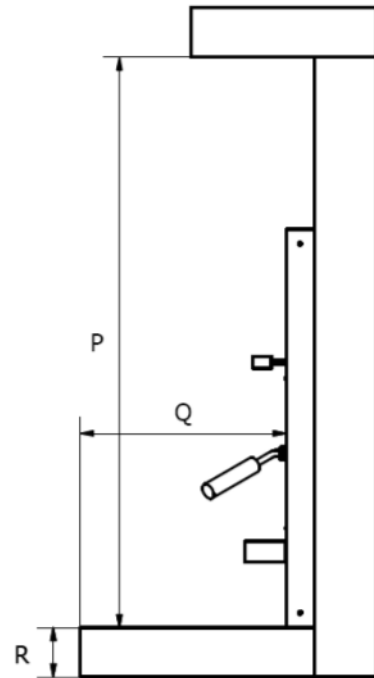
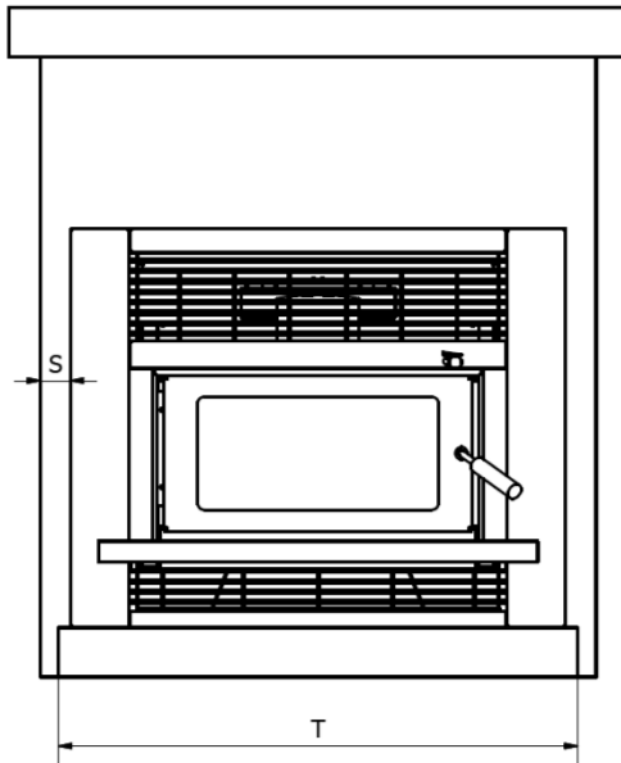
	BRUNNER MKII & TASMAN MKII	BRUNNER MKII & TASMAN MKII With Rear Deflector Fitted (see Page 7)	FLARE-WOOD	FLARE-MULTI	TARRAS MKIII	TARRAS MKIII With Rear Deflector Fitted (see Page 7)
A	200	120	100	100	230	160
B	450	450	320	350	480	460
C	300	300	300	300	300	300
D	118	118	110	110	67	67
E	230	240	120	150	250	220
F	345	265	281	281	372	302
G	758	758	635	665	863	843
H	535	545	449	479	611	581
J	850	850	850	850	898	898
K	1025	945	933	933	1052	982
L	1437	1451	1287	1329	1544	1500
M	1220	1230	1122	1152	1304	1274
N	680	680	652	652	680	680
O	615	615	600	600	600	600
Flue Shield Requirements (See Page 6)	1200 With flue shield deflector fitted	1200 With flue shield deflector fitted	1200 With flue shield deflector fitted	1200 With flue shield deflector fitted	1200 With flue shield deflector fitted	1200 With flue shield deflector fitted

	ECR MkIII, MkIV, MkV	ECR NoVo With Rear Deflector Fitted (see Page 7)	ASPEN	RMF	STRONGMAN
A	100	110	255	125	300
B	400	490	435	500	875*
C	300	300	300	300	GRAPH 1
D	150	115	118	150	150
E	200	200	230	180	380
F	251	265	404	276	441
G	690	800	743	790	1233**
H	512	517	521	492	711
J	880	850	850	880	1015
K	807	792	1084	832	1364
L	1280	1259	1417	1252	1928
M	1110	1049	1219	1060	1616
N	556	527	680	556	923
O	580	450	615	580	715
Flue Shield Requirements (See Page 6)	900	1200	1200	900	1200



Dimensions **A**, **B** & **E** are taken from the combustible wall to the closest point of the appliance including panels
 Dimension **C** is measured from the edge of the hearth to the closest point of the firebox door frame as in AS/NZS 2918:2001 3.3.2

Minimum Safe Installation Clearances to COMBUSTIBLE Materials



	IMF	Totara
P	980	1060*
Q	Graph 1	Graph 1
R	Graph 1	Graph 1
S	50	50
T	840	840

* Dimension P can be 920mm with a factory supplied heat deflector fitted

Ceiling Heights

All Woodman free standing fires have been tested and approved to AS/NZ 2918:2001 App B with a ceiling height of 2.4m and with the factory flue shield fitted in the below configurations. In some cases, the top of the flue shield terminates within 600mm of the ceiling height (refer to AS/NZ 2918:2001 **4.5.2**) but all ceiling temperatures did not exceed the allowable limit in these cases and are therefore able to be installed. Reports are available on request for Councils.

If the ceiling height is less than 2.4m, then heat shielding is required as per AS/NZ 2918:2001 Table 3.2

Factory Flue Shields

Standard 900mm high flue shield:

ECR MKIII & RMF

Standard 1200mm high flue shield:

Brunner, Tasman, Aspen, ECR NoVo & Strongman

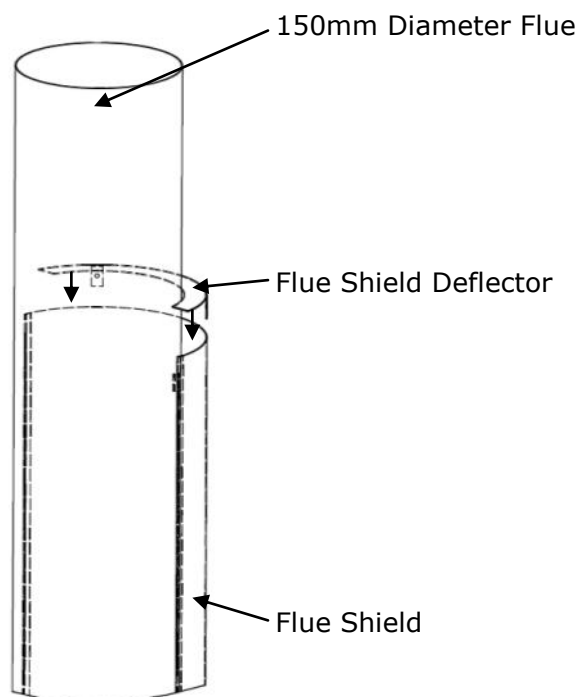
1200mm high flue shield with flue shield deflector (REQUIRED)

Tarras MKII, Tarras MKIII, Brunner/Tasman MKII & Flare (All Variants) - See Below

***IMPORTANT** - Flue shields should be no further than 10mm off the top of the fire box*

Fitting the Flue Shield Deflector

for Tarras MKII, Tarras MKIII, Brunner/Tasman MKII and Flare (All Variants)



To fit the heat shield deflector:

- Place the deflector on top of the heat shield and ensure no large gaps
- Fix in place by securing the tabs with rivets to the heat shield

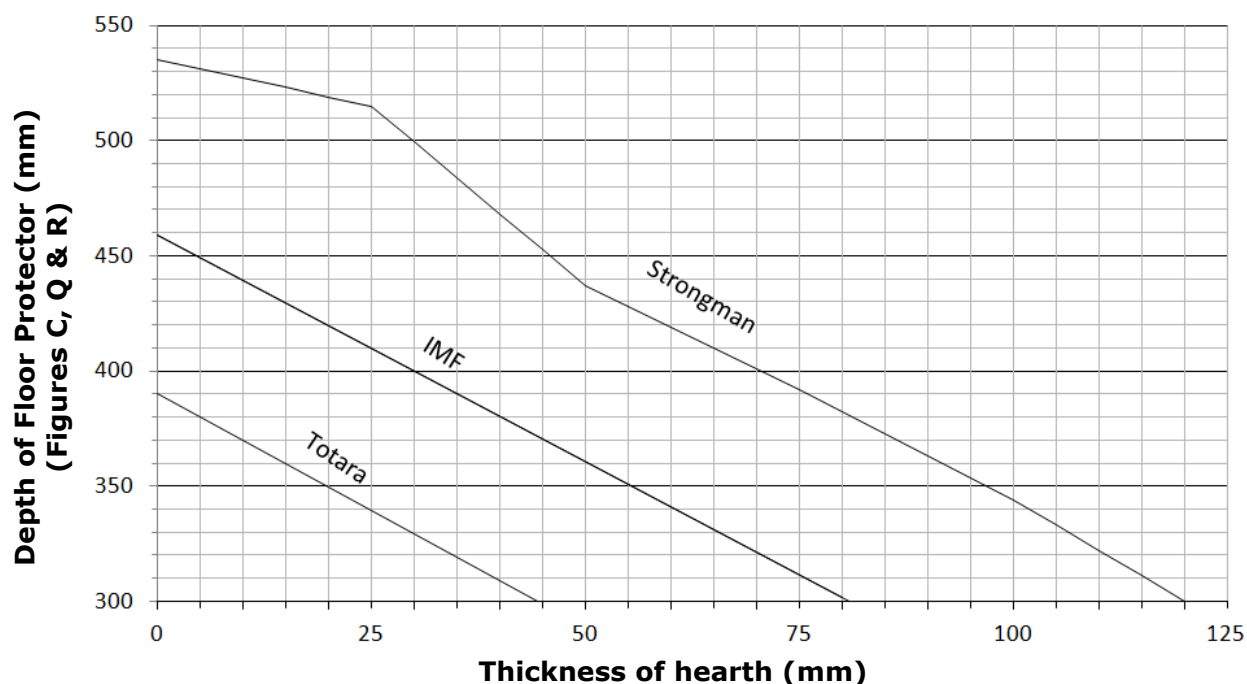
WARNING

This part is required to be installed on the listed models with ALL types of flue kits. Failure to do so, may cause the ceiling to over heat. The part is located in the fire itself and not the flue kit packaging.

Floor Protector Graph

Graph 1

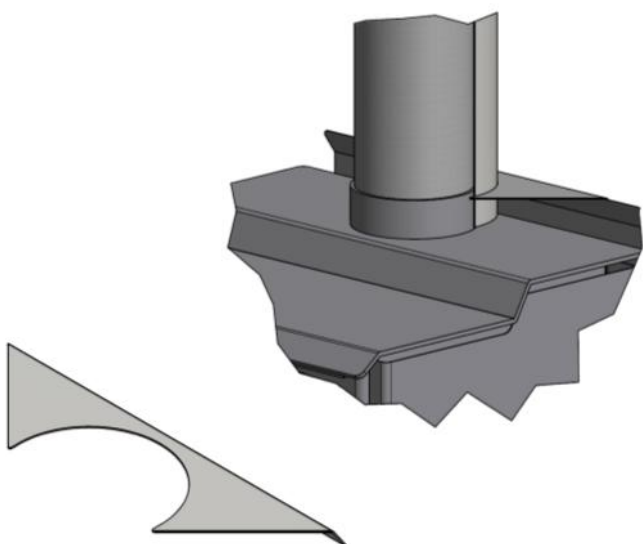
Floor Protector Sizes



This graph refers to Page 4 dimension C and Page 5 dimension Q & R.

The floor protector distance out in front of the fire (taken from the door), is dependent on the thickness of the floor protector. The thicker the floor protector is above the surrounding combustible floor, the less this distance is out in front of the fire.

Rear Deflector



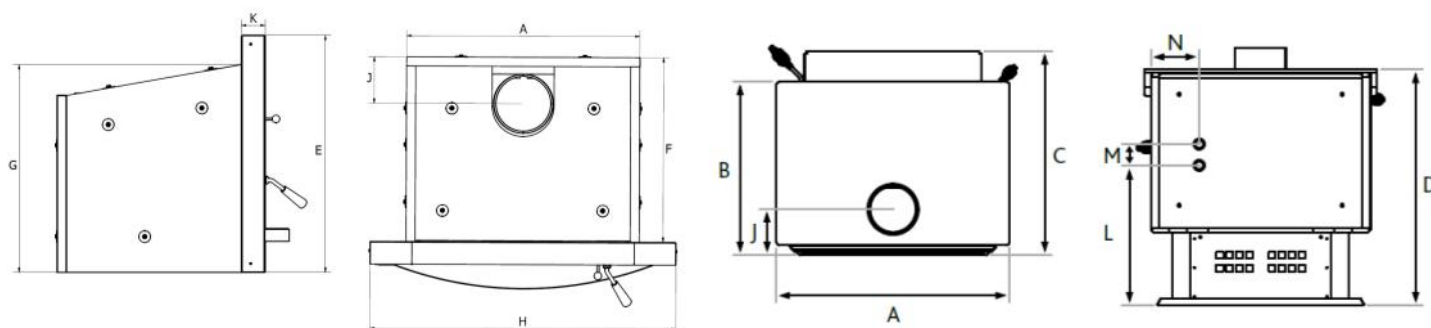
The rear deflector is used for reducing rear clearances for applicable fires (see page 4 for details). It is located loose in the firebox.

To fit the rear deflector, simply attach it to the rear shield of the fire using 2 rivets in the predrilled holes.

The rear deflector should be positioned tight up against the flue shield as shown.

Available for:
Brunner MKII, Tasman MKII, ECR NoVo
& Tarras MKIII

Dimensions



		TOTARA	ECR MKIII, V	ECR NoVo	BRUNNER MKII & TASMAN MKII	TARRAS MKIII	FLARE WOOD	FLARE MULTI	RMF	STRONG- MAN	IMF Deluxe
A	Overall Stove Width	642	580	620	615	765	630	630	580	715	590
B	Stove Depth Door Frame to Rear		390	382	525	522	540	540	390	521	
C	Overall Stove Depth Ledge to rear		450	466	630	640	602	602	450	590	
D	Overall Stove Height		620	705	757	772	764	764	620	695	
E	Insert Fascia Height	650									740
F	Insert Depth	506									480
G	Insert Maximum Height	570									590
H	Insert Fascia Width	840									850
J	Flue Centre to Back of Unit	136	150	155	145	142	181	181	150	141	115
K	Insert Fascia Depth	62									120/6 5
L	Wetback Height		283	414	478	479	502	502			
M	Wetback Centres		130	65	65	65	65	65			
N	Wetback Position		290	108	107	180	133	133			

Disclaimer;

While every attempt is made to ensure this information is as accurate as possible, a tolerance of +/- 5mm should be allowed for in these dimensions

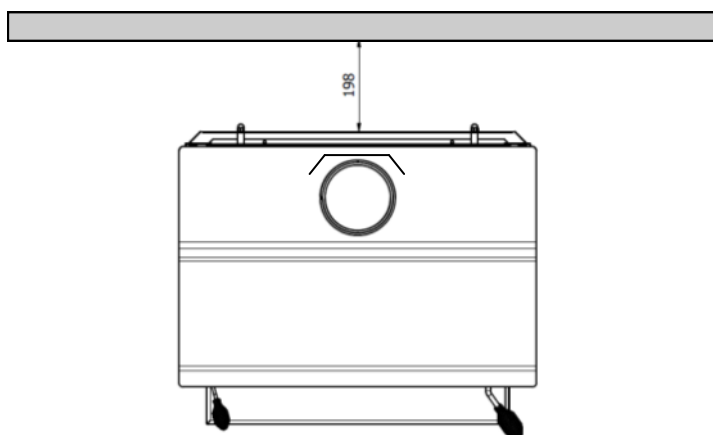
Reducing Clearances

The clearances that are provided on page 4 are to combustible materials. You can safely reduce those clearances by following the instructions located in AS/NZS 2918:2001 table 3.1 and 3.2

You can reduce the clearances by placing a non-combustible heat shield, with an air gap behind it and vented top and bottom, between the fire and the combustible wall. Masonry may be used as a heat shield material. The heat shield must extend a minimum of **450mm** beyond the top of the appliance and must be of appropriate width to ensure that the unshielded rear clearance is adhered to beyond the sides of the heat shield. See example below.

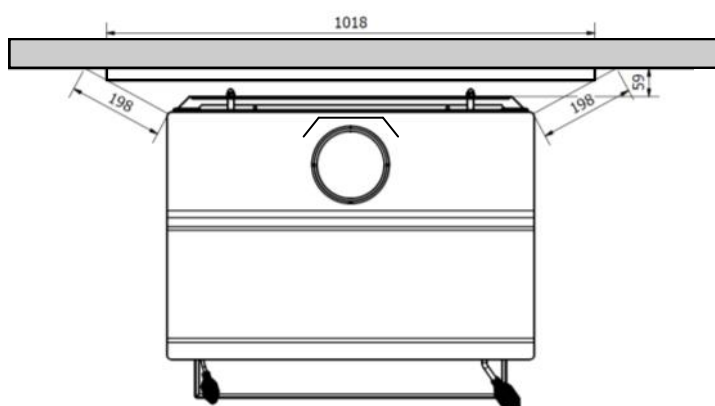
Clearance factors for heat shields which are within 45 degrees of the vertical

Heat Shield Construction	Minimum Air Gap Dimension	Clearance Factor
Single layer of continuous material	12mm	0.4
Single layer of continuous material	25mm	0.3
Two spaced layers of continuous material	12mm + 12mm	0.2



Unshielded Dimension for
Woodsman Tarras MKII

Rear Clearance - 198mm (combustible to stove)



Heat shield with 25mm air gap with
Woodsman Tarras MKII

Heat Shield - Single layer of continuous material with 25mm air gap.
Size 1018mm wide x 1222mm high

Reduced Rear Clearance - 59mm
(combustible to stove)

Calculation: **198mm x 0.3 = 59mm**

WARNING - This is only an example, you must refer to the full AS/NZS 2918:2001 document for more details and consult your local building inspector. Where heat shields are used to reduce appliance dimensions, additional flue shielding may be required (refer 4.5.2).

Installation Instructions

This appliance should only be installed by a trained and NZHHA qualified installer.

Warning: the appliance and flue system shall be installed in accordance with AS/NZS 2918 and the appropriate requirements of relevant building code/codes.

Warning: appliances installed in accordance with this standard shall comply with the requirements of AS/NZS 4013 where required by the regulatory authority, i.e. the appliance shall be identifiable by a compliance plate with the marking "Tested to AS/NZS 4013".

Any modification of the appliance that has not been approved in writing by the testing authority is considered to be in breach of the approval granted for compliance with AS/NZS 4013.

Caution: mixing of appliance or flue system components from different sources or modifying the dimensional specification of components may result in hazardous conditions. Where such action is considered, the manufacturer should be consulted in the first instance.

Caution: cracked and broken components e.g. glass panels or ceramic tiles, may render the installation unsafe.

- Maintain a clearance of at least 1 metre between front of the appliance and building structure or any other substantial immovable object.
- If the appliance is installed on a heat sensitive floor, the floor should be protected with an insulation floor protector, which shall extend entirely beneath the heater. For the correct floor protector extension, refer to dimension C in FIG 1 & 2.
- Your appliance shall be seismically restrained, including the floor protector using the provided holes or brackets. The restraints should be sufficient enough to resist a seismic loading equal to 0.4 times the mass of the appliance. We recommend a minimum of 8mm dynabolts on concrete floors and 8mm coach screws for wooden floors of appropriate length.

Minimum Material Specifications For Floor Protectors on a Floor of Combustible Material

MODEL	SPECIFICATION
ASPEN	9mm Eterpan LD + 8mm ceramic tiles (or equivalent)
FLARE (All Variants) ECR (MkIII, IV, V) RMF TOTARA*	8mm ceramic tiles only (or equivalent)
STRONGMAN	24mm Eterpan LD (or equivalent)
BRUNNER MKII TASMAN MKII TARRAS MKIII ECR NoVo	Ash Floor Protector. Any non-combustible material of any thickness

*The Totara is also approved with 1mm sheet steel with a 10mm spacing above combustible material. For use when extending hearths.

Minimum Flue Height

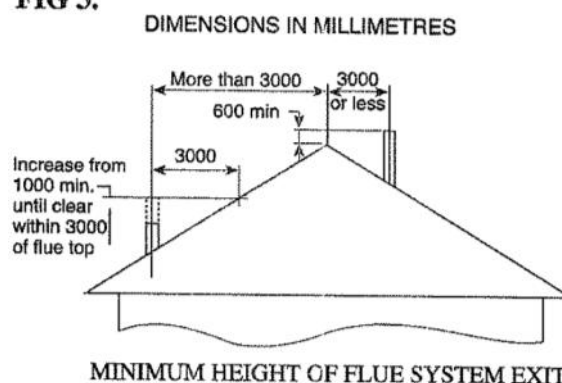
The top of the flue system should be at least 600mm above the highest point of the roof ridgeline, if the point of intersection of the flue system and the roofline is less than 3 metres from the ridgeline horizontally.

If the point of intersection of the flue system and the roofline is greater than 3 metres horizontally, the top of the flue system shall be at least 1 metre above the point of intersection with the roofline. (refer FIG 3)

The total flue height should be no less than 4.6m from the level of the hearth.

These are considered to be **minimum dimensions**, and depending on local conditions, **taller flue system heights may be required for satisfactory performance.**

FIG 3.



Flue Installation Detail

Your Woodsman appliance should be installed with a HeatSaver Flue System.

A HeatSaver Flue System is available from all authorised Woodsman dealers throughout New Zealand.

The HeatSaver Flue System contains a complete installation drawing and correct clearances from the ceiling level up. Minimum clearances from the appliance to nearby combustible surfaces are given in FIGS 1 & 2.

Use of a flue system other than a genuine HeatSaver Flue System may affect the safety of the installation, and may affect your Woodsman warranty.

Insist on a genuine HeatSaver Flue System.

Installation requirements for Woodsman fireplace inserts and flue system where timber framing is less than 50mm from the chimney structure.

Installation should be carried out by a qualified installer who will ensure:

- That the minimum clearances determined by tests in accordance with AS/NZS 2918:2001 are complied with to prevent overheating of nearby combustibles.
- That the minimum opening size of **600mm wide x 600mm high x 500mm deep** is available when firebricks are removed, and that extra provision also be made for plumbing where a hot water booster is fitted (where permitted).
- That any flue requirements specific to the model being installed are met in full - refer HeatSaver Flue System Instructions.
- Where the fireplace opening is in a heat sensitive wall, a non-metallic heat resistant material shall extend not less than 50mm beyond each side of the appliance and 150mm beyond the top of the appliance.
- Clearance of at least 1 metre between the front of the appliance and building structure, or any other substantial material object.
- That the insulating floor protector of non-combustible material is provided, extending not less than the dimensions shown in the chart. (Refer Table 2)
- A fireplace appliance shall not be connected to a flue common with an open fireplace.

Sealing Flue Joints

IMPORTANT

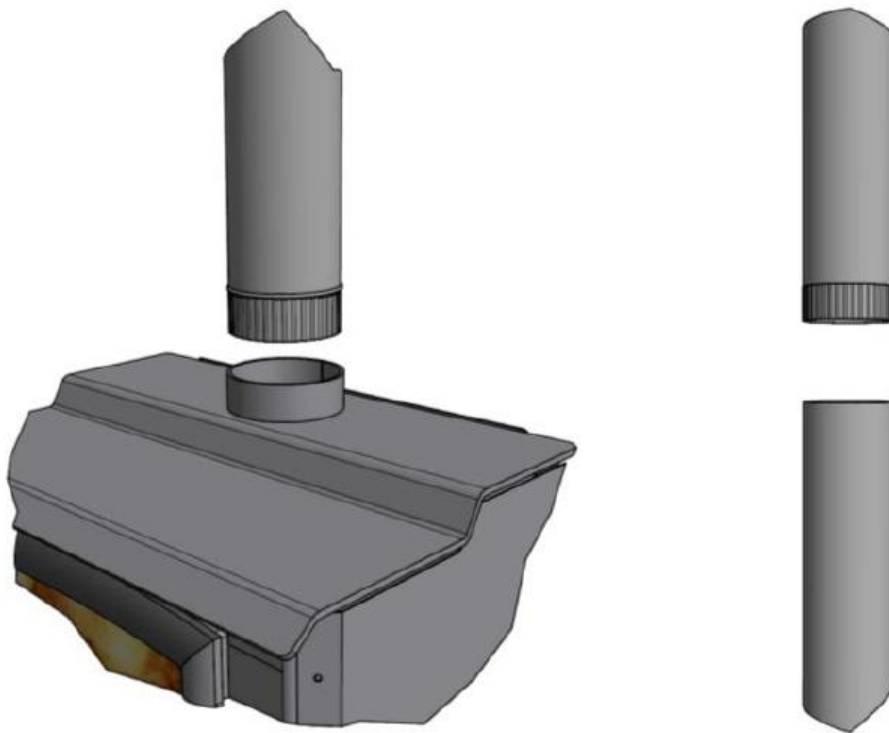
All Flue Joints Are Required To Be Sealed Using Flue Cement

It is extremely important that ALL flue joints are sealed at the time of installation using flue cement or a suitable exhaust cement.

If flue joints are not sealed properly, it can lead to performance issues with the fire such as;

- Lower heat output of the fire, due to decreased performance
- Blocked flue
- Smoke coming out the door when open, due to decreased suction
- Hard to light

The formation of soot and creosote will not seal the flues, especially on the lower lengths, as the high temperatures inhibit its formation.



Any issues that arise as a result of the flues not being sealed, are not covered by the warranty and are not the responsibility of the manufacturer.

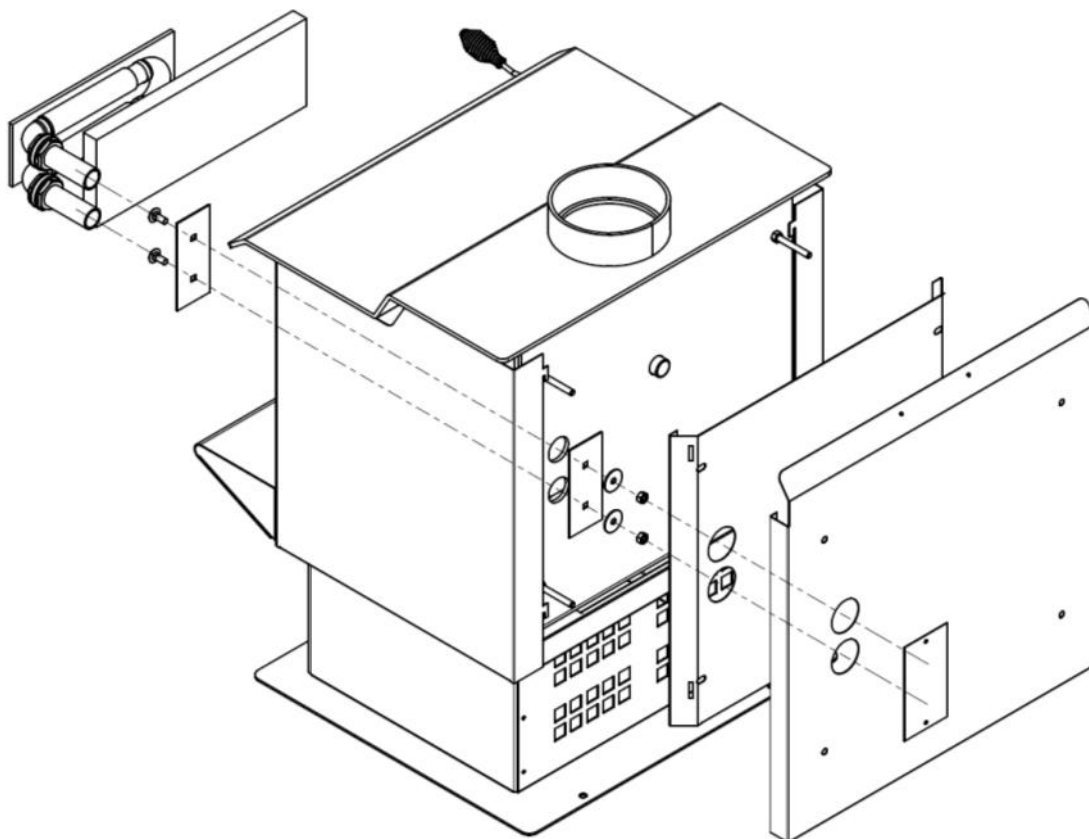
It is the installers responsibility to ensure that this is done at the time of installation.

Fitting the Wetback To The Firebox

Instructions for fitting a loose wetback to the firebox where the fire has been pre-punched with wetback holes.

- Remove knock-outs and cover plates in the rear panels
- Remove top rear firebrick
- Undo coach bolts on firebox plug to expose wetback holes
- Cut rear firebrick with a saw only enough to expose the wetback holes on the inside and to allow for the placement of the wetback in front of the brick
- Remove 1 nut off each wetback tube
- Place wetback into fire with firebrick behind it
- Replace nuts onto the rear of the wetback. Ensure the wetback is level before tightening using a 40mm tube socket

This task should be completed before the fire is positioned in place.



Note: Rear panels do not need to be removed if a tube socket is used for tightening

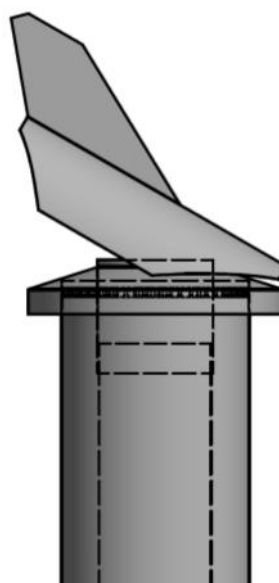
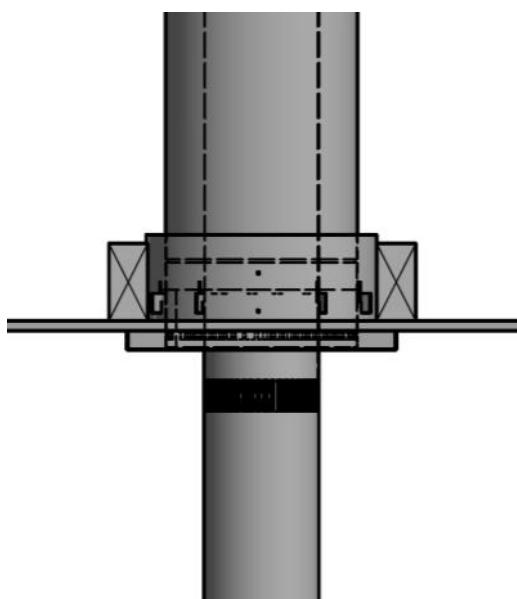
WETBACK WARNINGS:

- Do not connect to an unvented hot water system.
- **NEVER** burn the appliance without the wetback connected to the water system. This will immediately damage the wetback and void the warranty.
- AS/NZS 2918:2001 states; "all water connections to an appliance shall be in accordance with the appropriate requirements of AS 3500.4.1 or NZS 4603 and the regulatory authority, as appropriate".

HeatSaver Flue Kit

Installation Instructions

For Solid Fuel Appliances



The installation of any Woodsman solid fuel burner requires a Building Consent prior to installation commencing. The installation of a Woodsman solid fuel burner or flue system MUST be undertaken by the holder of a current SFAIT (Solid Fuel Appliance Installation Technician) qualification issued by the NZHHA (NZ Home Heating Association Inc.). www.nzhha.co.nz

KEEP THESE INSTRUCTIONS FOR FUTURE REFERENCE

Proudly Manufactured By:

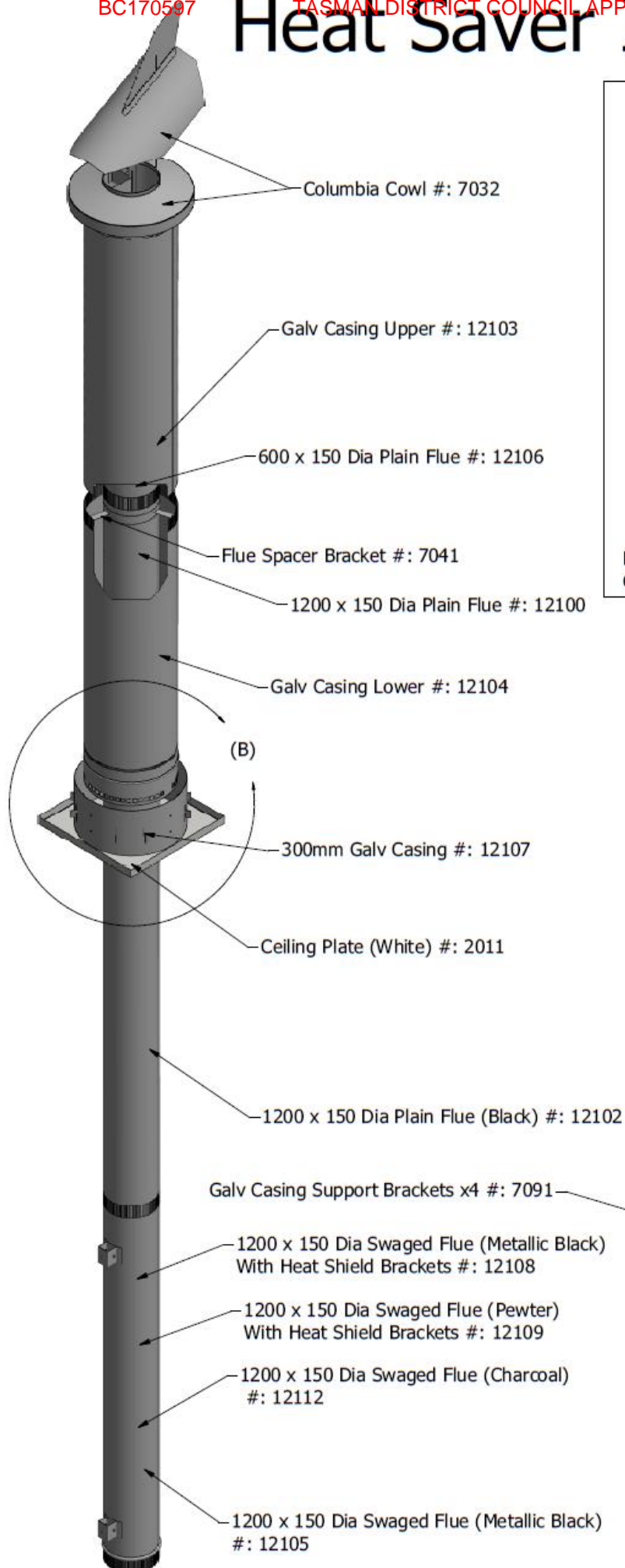


Harris Home Fires
41 Braddon St
Addington
Christchurch 8024
New Zealand
Email sales@hhf.co.nz

P O Box 4043
Christchurch 8140
New Zealand

Phone 03 366 1796
Freephone 0800 3661796
Fax 03 366 1795

Heat Saver II Flue Kit



Extension Set

Galv Casing Extension
#: 12101

Plain Flue Extension
#: 12100

Internal Extensions

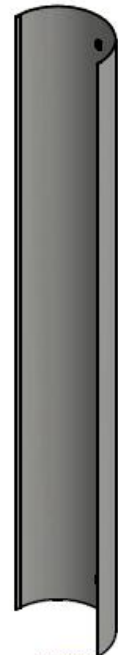
Metallic Black 1200 #: 12102

Charcoal 1200 #: 12111

Pewter 1200 #: 12110

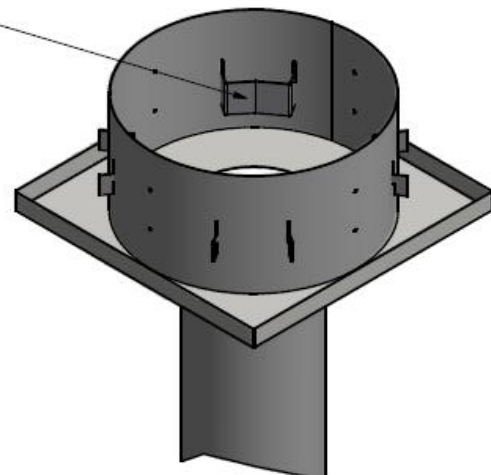


900mm
Heat Shield
#: 7170



1200mm
Heat Shield
#: 7100

(B)



INSTALLATION INSTRUCTIONS

- This HeatSaver flue system is tested and certified to AS/NZS 2918:2001 Appendix F, which means it is approved for use on all solid fuel appliances with a flue diameter of 150mm.
- A copy of the Laboratory Test Certificate for this HeatSaver Flue System is included as part of these Installation Instructions, (refer to paperwork with flue kit).
- Installation of any solid fuel appliance should only be carried out by suitably trained and qualified personnel.
- Position the stove to the desired position, always ensuring that the manufacturer's minimum clearances to combustibles are complied with.
- Check that there are no roofline ridges or valleys in the way, or if they cannot be avoided, that the installer knows how to weatherproof the penetration and reinstate the full strength of the structure.
- At the ceiling level, construct a square frame of 300mm x 300mm internal dimensions and cut away the ceiling materials from the inside of this frame.
- Lower the 300mm flue pipe casing into this frame and nail in place when the bottom edge is 25mm below the ceiling level and the 8 nail holes provided are touching the timber frame.
- Check all 4 locating brackets are securely in place and drop 250mm diameter lower casing in place. This will naturally settle so it protrudes 25mm below the ceiling.
- Make roof penetration, assemble and fit required flue length and install with upper casing. Secure all joins with at least 3 stainless steel rivets or self tapping screws.
- Frame and brace upper installation as required and flash the roof to shield penetration.
- Fit ceiling plate to ceiling.
- When trimming the stainless steel flue length, remember to allow for expansion when flue is hot.
- Fix the bottom section of the HeatSaver Columbia Cowl in place and then attached top section by bending tab away from the shaft to allow the top section to slide down onto the washer. Bend tab back in place once done. Do not over bend tab so that it touched the shaft. See page 6
- Secure the flue to the fire, drill through flue neck on fire and secure with 2 to 3 s/s screws or rivets.
- **All flue joints should be sealed using a flue cement. (see page 4)**

IMPORTANT

All Flue Joints Are Required To Be Sealed Using Flue Cement

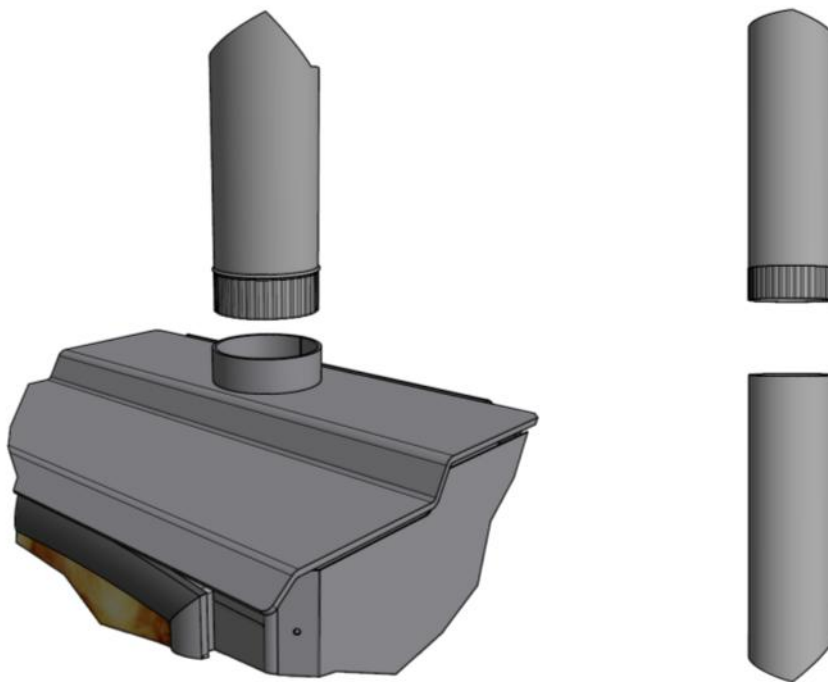
It is extremely important that ALL flue joints are sealed at the time of installation using flue cement or a suitable exhaust cement.

Woodsman fires are designed and tested with all flue joints sealed.

If flue joints are not sealed properly, it can lead to performance issues with the fire such as;

- Lower heat output of the fire, due to decreased performance
- Blocked flue
- Smoke coming out the door when open, due to decreased suction
- Hard to light

The formation of soot and creosote will not seal the flues, especially on the lower lengths, as the high temperatures inhibit its formation.



Any issues that arise as a result of the flues not being sealed, are not covered by the warranty and are not the responsibility of the manufacturer.

It is the installer's responsibility to ensure that this is done at the time of installation.

Fitting Factory Flue Shields

Your HeatSaver Flue System comes standard with a factory flue shield of one of 2 types;

- **900mm high**, contains 1 x painted metal strap. This is used for the Woodsman ECR, Blaze, Boston, Manhattan, RMF and Milford.
- **1200mm high**, This is suitable for the Woodsman Brunner, Tasman, Aspen, Tar-ras, Strongman and other branded fires which can use 1200mm high single heat shields.

Fitting the 900mm High Flue Shield

1. The heat shield has 2 'tabs' at the bottom which corresponds to 2 slots on the fire behind the flue neck. Insert the tabs.
2. Take the metal strap and fold the two ends around the flue until the meet at the back of the flue at about the height of the top of the heat shield.
3. Hold both ends together and push the tabs through the single slot at the back of the heat shield and fold out tabs to secure in place.

Fitting the 1200mm high heat shield

Your lower length of painted flue already has 2 location brackets attached.

1. Ensure these brackets are facing towards the back wall and centralised.
2. Secure the flue shield in place with screws



1200mm Flue Shield

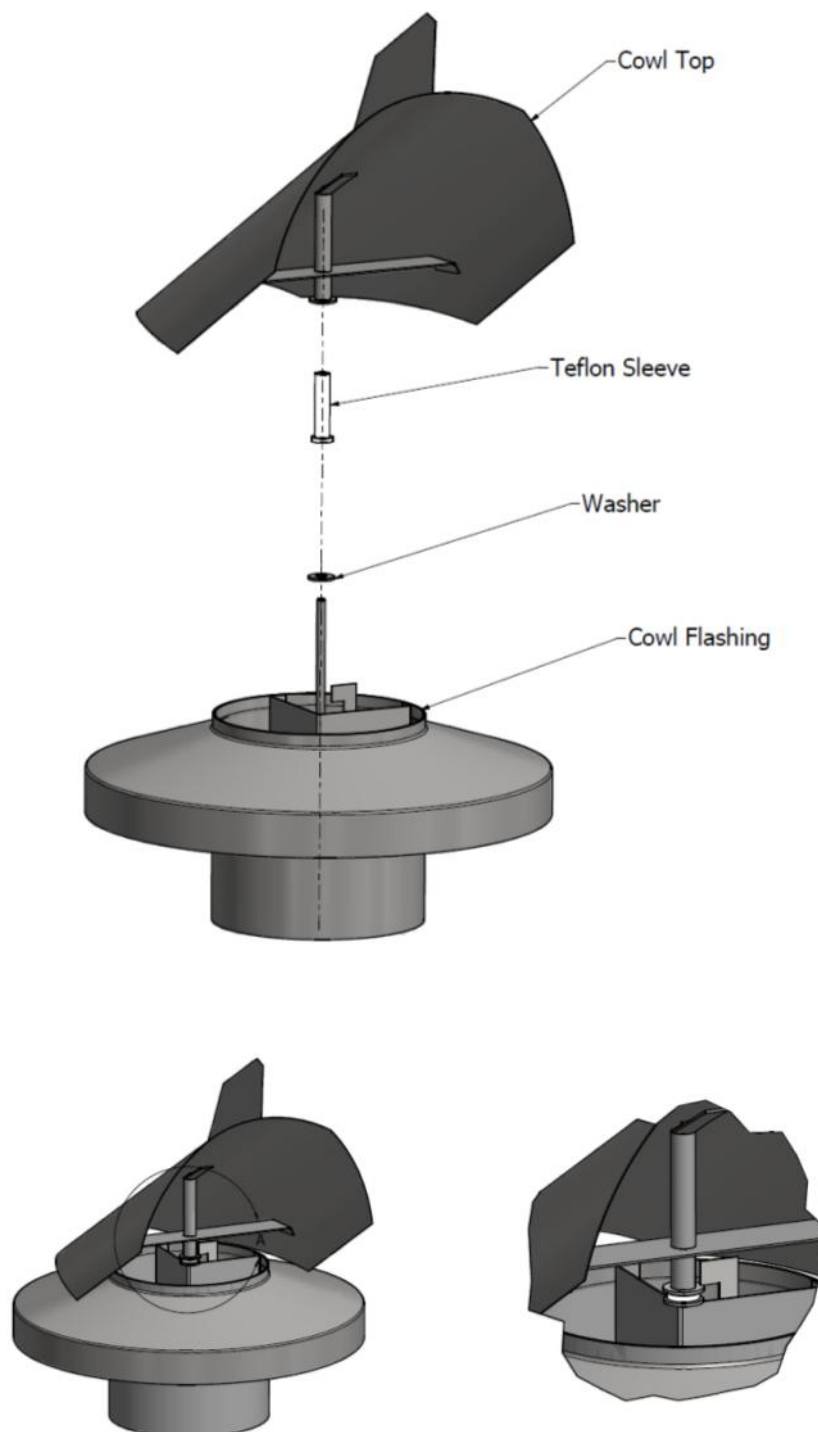


900mm Flue Shield

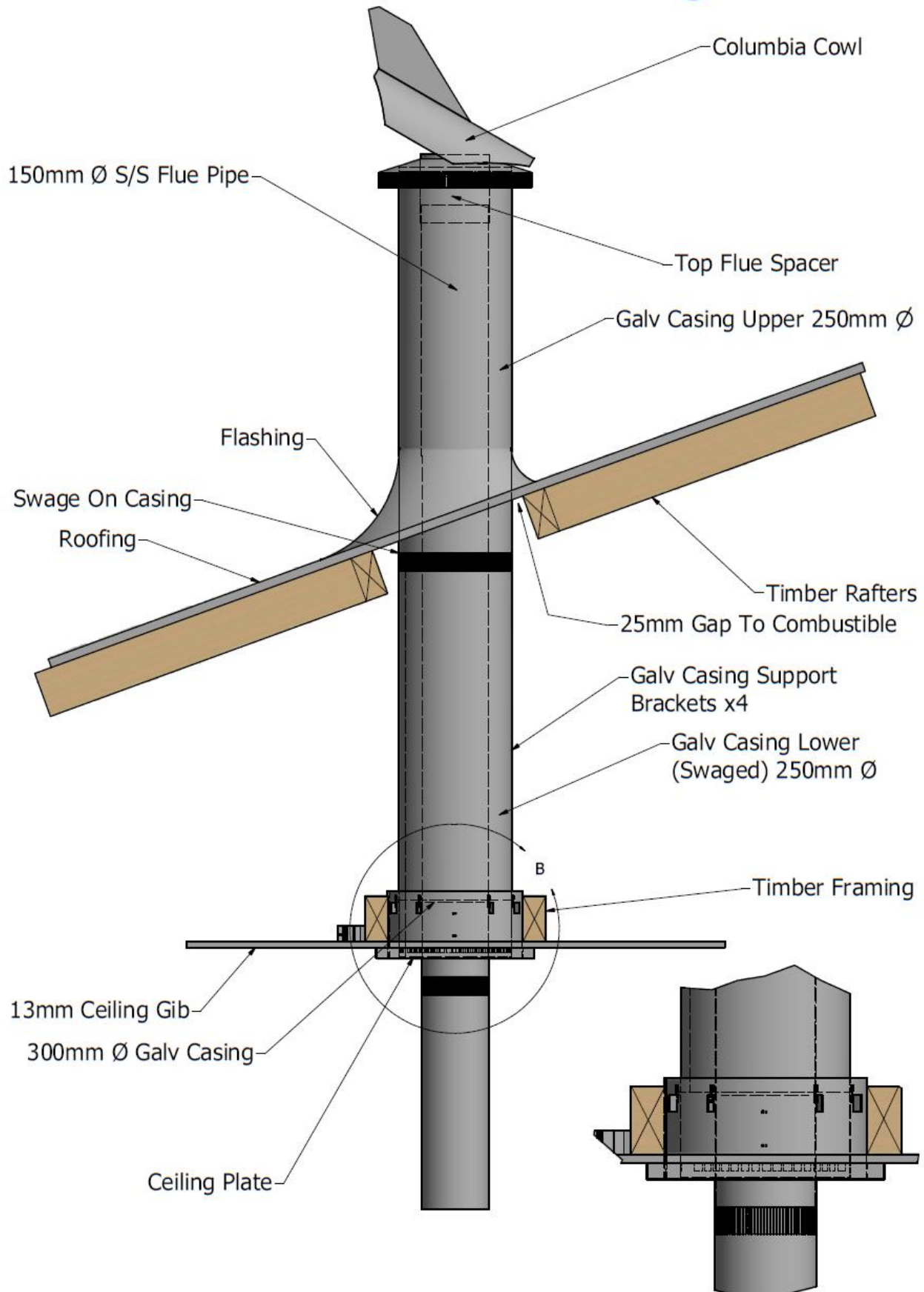
IMPORTANT - Flue shields should be no further than 10mm off the top of the fire box

Columbia Cowl

Your Columbia Cowl is fitted with a Teflon Sleeve to reduce noise and wear. The Teflon Sleeve may need to be replaced over the life of the fire and should be checked during an annual service or when the flue is cleaned. If the shaft is dry and dirty, it should be cleaned back to a bare metal finish and a thin layer of graphite or high temperature grease applied before replacing the Teflon Sleeve. Older versions of the Columbia Cowl do not have a Teflon Sleeve and require re-greasing one to two times a year



Standard Ceiling



No Cavity (Requires Sloping Ceiling Kit)

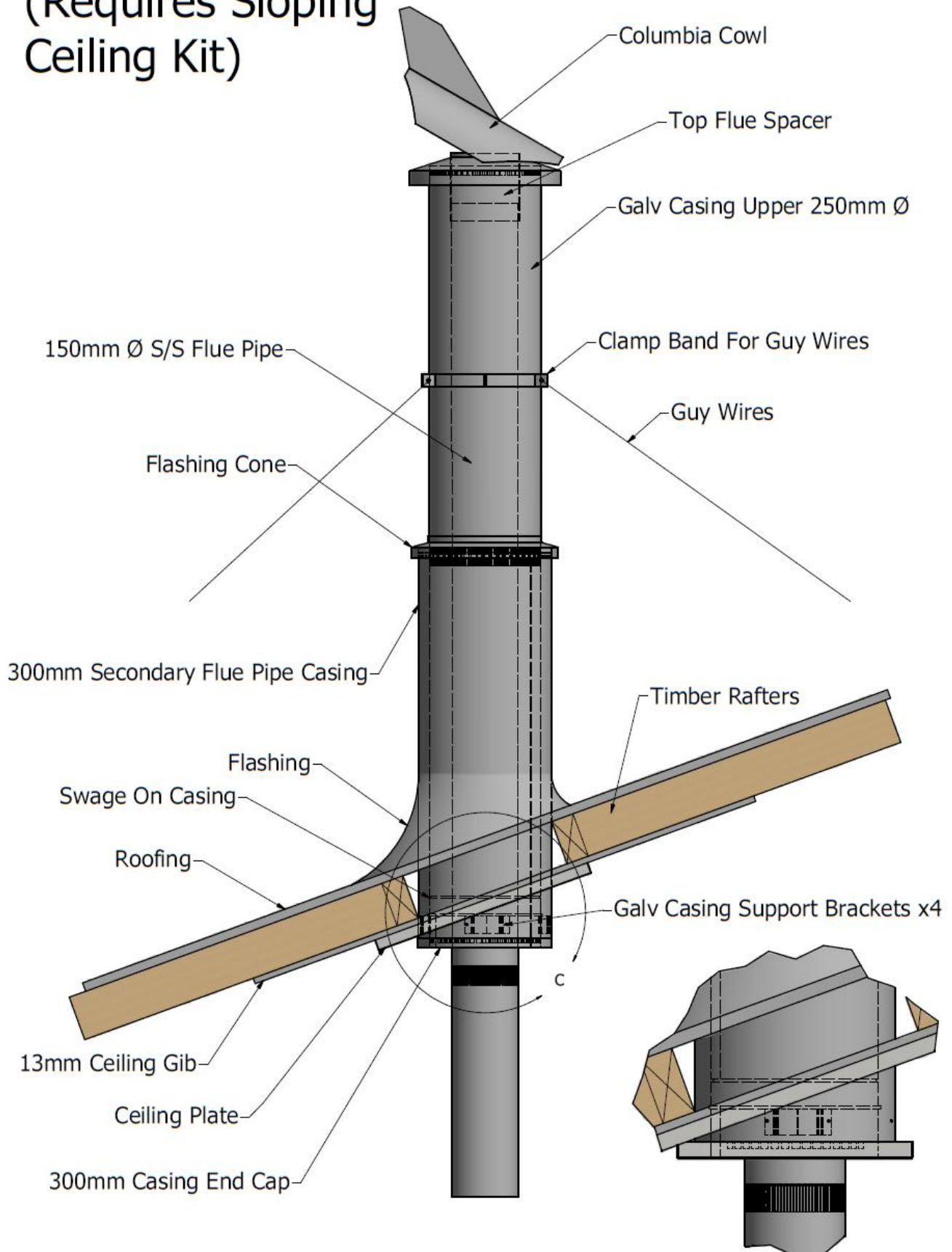
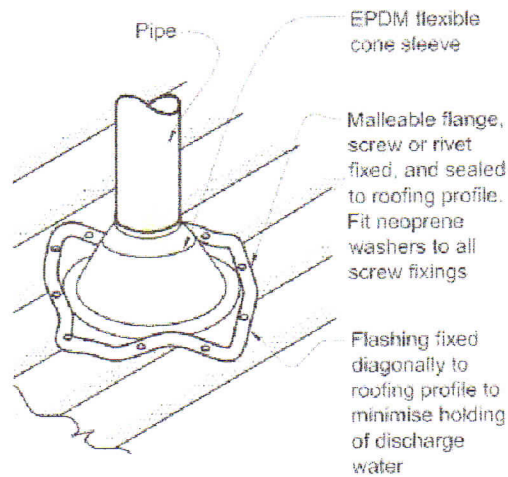


Figure 53: Flashing for small pipesParagraphs 8.1.10, 8.4.17, 8.6.2.5
and 9.6.3.6**NOTE:**

- (1) Max. roof pitch for this flashing 45°, minimum pitch 10° if base of flange covers one or more complete troughs.
- (2) For pipes up to 85 mm diameter.

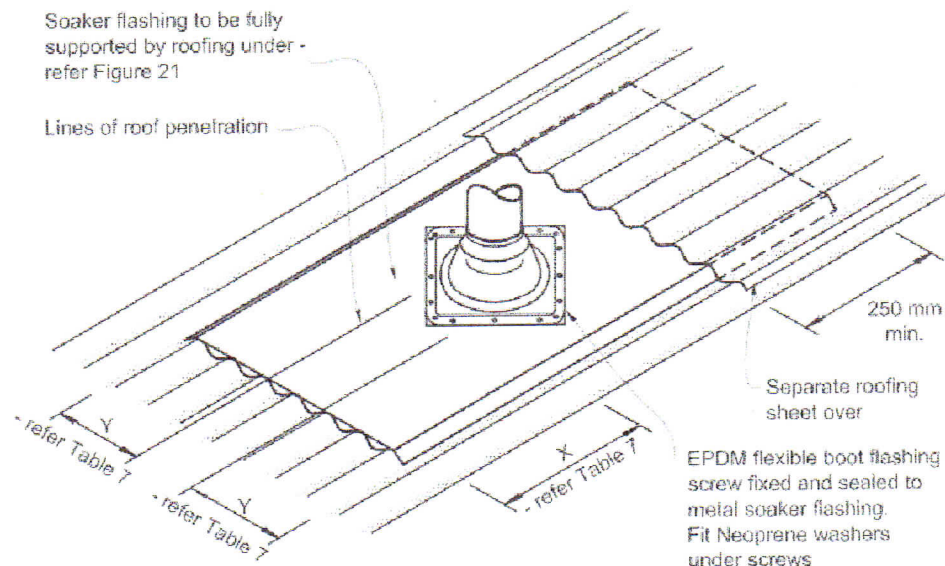
Amend 5
Aug 2011**Figure 54: Soaker flashing for pipe penetrations**

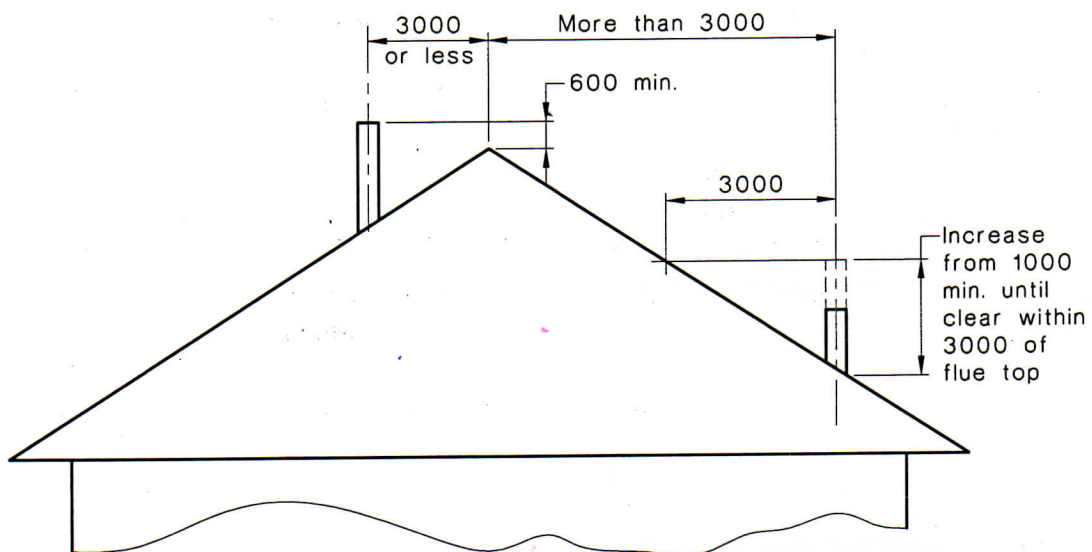
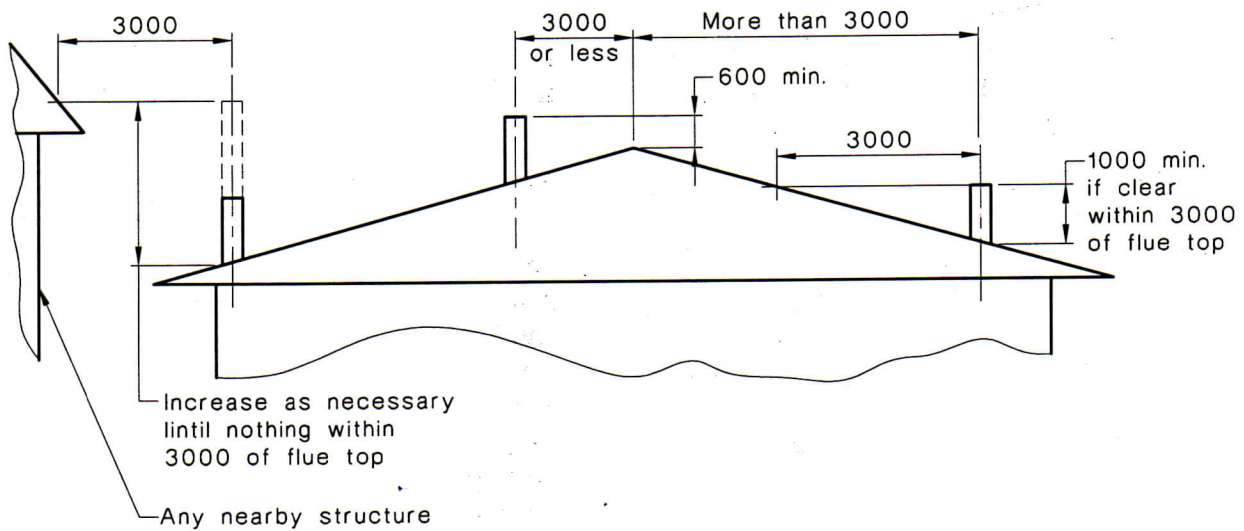
Paragraph 8.4.17

- NOTE: (1) Suitable for pipes from 86 mm to 500 mm diameter.
- (2) Suitable only for roof pitches of 10° or more.

Soaker flashing to be fully supported by roofing under - refer Figure 21

Lines of roof penetration

Errata 2
Dec 2011Amend 2
Jul 2005Amend 2
Jul 2005Amend 5
Aug 2011



DIMENSIONS IN MILLIMETRES

FIGURE 4.9 MINIMUM HEIGHT OF FLUE SYSTEM EXIT



P.O. Box 687, NELSON,
NEW ZEALAND

PHONE (03) 547 7347
FAX (03) 547 2909
EMAIL: info@appliedresearch.co.nz
WEB: www.appliedresearch.co.nz

Report 09/1943

January 27th, 2009

Page 1/1

Customer: W.H. Harris Ltd.
41 Braddon St.
P.O. Box 4043
CHRISTCHURCH

P701/1

COPY

Accreditation

Laboratory Registration Number 395

This laboratory is accredited by International Accreditation New Zealand (IANZ). The tests reported herein have been performed in accordance with the terms of our accreditation. This accreditation does not extend to any opinions or any interpretations of test results contained in this report.



IANZ has a Mutual Recognition Arrangement (MRA) with the National Association of Testing Authorities (NATA), Australia, such that both organizations recognize accreditations by IANZ and NATA as being equivalent. Users of test reports are recommended to accept test reports in the name of either accrediting body.

Compliance Certificate

Appliance: HeatSaver 150 mm Diameter Flue Kit

Test Standard: AS/NZS2918:2001 Appendix F

Full Report: 02/749R

(The full report contains the information on the test methods, details of the appliance tested and the results of the test)

This report:

Prepared by: W. S. Webley

Approved by: W. S. Webley

Release Date:

W S Webley
W S Webley
2/3/09

This report must not be reproduced except in full. Results are based on material and information supplied by the client. Applied Research Services Ltd shall not be liable in respect of any loss or damage (including consequential loss or damage) resulting from the use of reports prepared by them. Results issued in electronic form are subject to confirmation by issue of final report.