

RICHMOND BOROUGH COUNCIL
APPLICATION FOR BUILDING PERMIT

Date: 17-3-86

To: Borough Inspector
 RICHMOND BOROUGH COUNCIL

Sir,
 I hereby apply for a permit to 2099
Build a house
 (describe nature of work)

for: RW + SF STUART (Owner) at: 6 Milne Place
 as detailed on the Site Plan TWO (2) SETS OF DRAWINGS AND SPECIFICATIONS attached herewith.

DESCRIPTION OF LAND TO BE BUILT ON: Rate Assessment No. _____
 Lot 14 DP _____ Section _____ Block _____ Land Area 688 sqm. m²
 (new ofline subdivision)

PARTICULARS OF BUILDING:
 Gross Floor Area new work 127.12 m² Site coverage of principal building 18.48% m²
 Site coverage of accessory building _____ m² Total site coverage 127.12 %

PROPOSED USE OF BUILDING:
 Indicate if building is Private Private - Rent or Lease _____ For Sale _____

VALUE OF WORK (See over)	FEES PAYABLE
(a) Value of Building (less Drainage & Plumbing) \$ <u>80,000</u>	Building Permit \$ <u>320.00</u> <u>240.00</u>
(b) Total Value of Drainage & Plumbing \$ <u>8,000.00</u>	
(c) Combined Value of above (a & b) \$ <u>88,000.00</u>	BRANZ Levy \$ <u>88.00</u>
(d) Value of Drainage & Plumbing less materials \$ <u>2,200.00</u>	Drainage & Plumbing Permit \$ <u>82.00</u> <u>22.00</u>
(e) Potential damage to public property (estimated) \$ _____	Indemnity Deposit \$ <u>300.00</u> <u>250.00</u>
(f) Development value for Reserves Levy assessment \$ _____	Reserves Levy \$ _____
(g) Development servicing upgrading costs \$ _____	Services Levy \$ <u>790.00</u>
	TOTAL PAYABLE \$ <u>600.00</u>

*Notes: Dwg. Pby
 fee paid \$85.00
 rec. 9870. 20-3-86
 Balance fee owing
 790 - 600 = \$190*

Name & Address of Owner R.W. + S.F. STUART. 11 Dorset St. Richmond
 Name & Address of Builder Stevens + McKenzie 11 Selbourne Ave Richmond
 Name & Address of Drainlayer N. Ching 4 Balmoral Pl, Stoke
 Name & Address of Plumber J. McDowell Rests Island.
 Name & Address of Applicant R.W. STUART 11 Dorset St. Richmond.
 Signed by Applicant _____ Date 17-3-86.

FOR OFFICE USE
 Check Description of Land Drainage & Plumbing Permit Application
 Fees Paid \$600.00 Receipt No. 9768 Date 18-3-86.
 Notices sent for further detail: Further fee \$105.

APPROVALS Town Planning 25 20/3/86 Health [Signature] Drainage 21 MAR 1986
 Building & Structural _____
 ENDORSEMENTS FOR PERMIT _____

D033036

BUILDING PERMIT FEES

<u>Estimated Value of Work</u>	<u>Fee</u>
Up to \$10,000	\$9 per \$1,000
\$10,000 to 20,000	\$5 per \$1,000
\$20,000 to \$100,000	\$3 per \$1,000
Thereafter	\$1 per \$1,000

8000.
90
50
180
20

DRAINAGE & PLUMBING PERMIT FEES

<u>Total Value of Works (Minus retail costs of materials)</u>	<u>Fee</u>
Up to \$200	\$15
Thereafter up to \$1,000	\$5 per \$100
From \$1,001 to \$2,000	\$5 per \$200
From \$2,001	\$1 per \$100

2200.
15
40
25
2
82

BUILDING RESEARCH LEVY

\$1.00 for each \$1,000 (or part thereof) value of complete works project.
If complete value of project is less than \$10,000, NO LEVY IS PAYABLE.

STREET, FOOTWAY AND PUBLIC PLACES INDEMNITY DEPOSIT

\$250 minimum for all new work of total value \$10,000 or more or, if unusually heavy machinery or plant is used, a deposit may be required in any case, and of an amount fixed by the Engineer.

DEVELOPMENT RESERVES LEVY (Section 294 Local Government Act)

A Commercial, Industrial or Administrative Development is a building project of construction or alteration and includes fixed plant and all site works of a total value of more than \$100,000. A reserves levy is payable to Council at the rate of 0.5% of the total value.

A Residential Development is a building construction or alteration project which results in more than 2 dwelling units per allotment for which a reserves levy is made equal to 20 sq.m of lot area per unit more than two.

DEVELOPMENT SERVICES LEVY (Section 283 Local Government Act)

Where a development project may necessitate an upgrading of drainage, water supply or access services to the project, a fair and reasonable contribution from the developer may be required.

21 APR 1981

Inspector: M _____

File No. _____

Receipt No. 9768 / 30

Date Permit Issued 21 / 3 / 86

OWNER

Name R W Stuart

Mailing Address 11 Dorset Street
Richmond

BUILDER

Name Stevens & McKenzie

Mailing Address 11 Selbourne Avenue
Richmond

PROPERTY ON WHICH BUILDING IS TO BE ERECTED/DEMOLISHED

SITE

Street No. 6

Street Name Milne Place

Town/District Richmond

Riding _____

LEGAL DESCRIPTION

Valuation Roll No. _____

Lot 14 D.P. _____

Section _____ Block _____

Survey District _____

DESCRIPTION OF PROPOSED WORK AND MAIN PURPOSE OF USE

Erect New Dwelling

FLOOR AREA		DWELLING UNITS	
Whole Sq. Metres	<u>127</u>	Number Erected	<u>1</u>

ESTIMATED VALUES \$		
	Building	<u>80000</u>
Plumbing	<u>8000</u>	
Drainage		
TOTAL	<u>88000</u>	

NATURE OF PERMIT (TICK BOX)

NEW BUILDING
- exclude domestic garages and domestic outbuildings

FOUNDATIONS ONLY

ALTERED, REPAIRED, EXTENDED
- include conversions and resited buildings

NEW CONSTRUCTION OTHER THAN BUILDINGS - include demolitions

DOMESTIC GARAGES AND DOMESTIC OUTBUILDINGS

FEES APPLICABLE

Building Permit	\$ <u>320</u>	Water Connection	\$ _____
Street Damage Deposit	\$ <u>300</u>	Vehicle Crossing Levy	\$ _____
Building Research Levy	\$ <u>88</u>	M.S. Plumbing	\$ _____
Plumbing	\$ <u>82</u>		\$ _____
Drainage	\$ _____		\$ _____
Sewer Connection	\$ _____	TOTAL:	\$ <u>790</u>

Receipt No. 9768 / 30

Date of Payment 18 / 4 / 86

Authorised Officer _____



Special Conditions: _____

Date Inspected	REMARKS (e.g. stage reached with work)

2 MAR 1986

Building Permit Application Check List

Address of Work: 6 Melrose Ave.
Name of Owner: Ross Stewart
Name of Permit Applicant: [Signature]

Date of Check:
Checked by: [Signature]

1 FORMS AND PRELIMINARIES:

- (a) Application form complete
(c) Drainage and Plumbing Application
(e) Building Projects Authority Certificate
(g) Street number allocated
(i) Work values
(k) Specifications
(m) (Chapt. 3) Existing Buildings: change of use, alterations and additions comply, seismic comply, demolition
(n) Developments levies, Reserves contribution > \$100,000 or > 2 Flats
(p) Title endorsement if permit allows for slippage, etc.
(q) Access for disabled - premises applicable, paths, parking, ramps, entry doors, steps, toilets, handrails, comply NZS4121, new construction, major reconst.
(t) Street crossings, access to property, private works
(v) Factory Commercial Premises Act requirements: clothing storage, rest room, cleaning store
(x) Timber quality, TPA Std, subfloor, poles, exterior, balcony
(b) Planning consent given
(d) Craftsman Plumber & Regd. Drainlayer's names
(f) ALL fees paid. Receipt No.s OK
(h) Designer's name and qualifications
(j) 2 plan sets - same, complete, quality
(l) Site inspection - ground support, strata, top soil depth, slope stability, catchments and surface flooding, vegetation
(o) Refusal of Permit - interferes with subdivision, land not suitable, damage from erosion, slippage, subsidence, inundation
(r) Flats plan approval requirements
(s) Subject to NZS3604:1981, or Design requirements NZS1900
(u) Private works reqd, water, drainage, access, etc.
(w) Accessory building proposals, site, F.R.R., neighbour OK, coverage
(y) Special areas, foundation design
(z) Queen St. door fixings

2 SITE PLANNING AND DESIGN

- (i) Locality plan - scale, neighbourhood relativity, streets, reserves, adjacent building development, new building
(ii) Site plan - new development, existing buildings, yards, site works, site dimensions (Length bearing area)
(iii) Site Engineering
(a) Existing, new, contours, excavations and fills, extended to adjoining sites
(b) Drive construction, carparks, cross sections and profiles from street kerb, drainage and kerbs
(c) Sewer, stormwater drainage, dimensioned plans, profiles and levels, protection, cover
(d) Approved drain connections levels established, basements & r.o.w.
(e) Site and adjacent land drainage, field drains, soakage pit tests
(f) Water supply plan, meter installation, back flow preventor, multi-units
(g) Land stability, retaining walls
(h) Land support capacity, strata detail
(i) Existing premises comply drainage, plumbing

Site Servicing

- (a) Power and telephone underground plans
(b) Easements for drainage, water, access

3 PLANS

- (a) Foundation
(b) Basement
(c) All floors and services
(d) Roof, incl drainage

4 ELEVATIONS

- (a) Footing outlines
(b) Detail description & dimensions, materials, finishes, bracings
(c) External services, plumbing systems, flues, access and egress, vents, roof drainage

5 CROSS SECTIONS

- (a) Each different structural element
(b) Differing whole building elements
(c) Fixing, ties, straps, reinforcement, bracing

6 STRUCTURAL DETAIL

- (a) Structural connections
(b) Reinforcing and bracing elevations and plans
(d) Trusses and node detail, truss plans, roof bracing, fixing, ties
(g) Foundation drainage, connections, drainage courses
(i) Burners, fireplaces, flues
(k) Joinery design and dimensions
(m) Verandah, balcony, terrace construction
(o) Slab on ground const. foundations, vapour barriers, bearing walls, site fill, slab shrinkage
(q) Battens, purlins, fixing timbers, walings

7 HEALTH STANDARDS

- (a) Number and isolation of WCs
(b) Room sizes, heights, bed spaces
(c) Lighting, ventilation, heating
(d) Plumbing & drainage trapping, venting
(e) Combined drains, greater than one building
(g) Insulation
(h) Room combinations, areas, residential reqs. Chapt. 4
(j) Underfloor and cavity ventilation
(l) Weather proofing, roof falls & flashings, expansion & catchments

8 FIRE AND EGRESS

- (a) Occupancy class, type construction
(b) Size fire compartment
(c) FRR exterior walls, distances and ratings
(d) % openings
(e) Parapets
(h) Roof space restriction
(f) FRR frames, floors, panels, fire doors, windows, (NZS 1188)
(g) Separation occupancies
(j) FRR eaves & projections
(k) Party walls
(i) Surface finishes
(m) Sprinkler concessions
(n) Number of exitways
(o) Exits, width units
(p) Cul-de-sacs
(q) Internal, external stairs
(r) Protection exits
(s) Lighted exit signs
(t) Alarms, emergency lighting
(u) Escapeways
(v) Places of Assembly, spec. conds.
(w) Theatres, cinemas, spec. conds.
(x) Multi-storey buildings, spec. conds.
(y) Fire prevention - first aid, hoses
(z) Shops - spec. conds.
(al) Accommodation Dwellings, (motels, etc.) spec. conds.

Advice of Permit Approval

P.O. Box 3027,
RICHMOND.

R W Stuart
11 Dorset Street
RICHMOND

date: 21 March 1986
Building file: 6 Milne Pl

Job Erect New Dwelling

Dear Sir,

The application for permit approval for the work of
the above _____ for
yourself _____ at 6 Milne Place, Richmond

_____ has been processed and approved.
Your permit No. D033036 is available upon receipt here
of the following:

- 1) Further fees \$105.00.

(Return this note with Fees)

Yours faithfully,

Dinah New
RW
R.W. Sharplin
BOROUGH INSPECTOR

Office use:

Fee Paid \$ 105.00 Receipt No. 30 Date Rec'd 1-4-86

130

Specification

Specification of Work
to be done and materials
to be used in the
erection and completion
of

New House

For

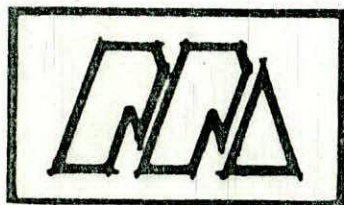
Mr R.Stuart

At

Milne Place Richmond

Legal Description
of Site

lot 14



Neville R.Malcolm
Building Design Ltd.
134 Bridge Street
NELSON

Job No.1966

Date March 1986

Copyright



PRELIMINARY & GENERAL

The Contractor

The Contractor is required to provide all plant, tools, labour and materials to complete the work in the best trade manner in accordance with this Specification and its accompanying drawings. Any apparent ambiguities in this Specification or discrepancies between the requirements of the Drawings and Specifications shall be referred to the Owner or Draughtsman for interpretation.

Sub-Contractors

The Contractor may appoint specialist Sub-Contractors to undertake sections of the work but shall be responsible for their good workmanship and their co-ordination with his own and other tradesmen.

This must not construe that the Owner is involved in separate contract with those so appointed and the Owner in turn shall not directly negotiate with or instruct the Sub-Contractors unless he has the Contractor's authority so to do.

Permits

Obtain all permits and pay all fees required.

Protection

The Contractor shall allow to protect all public and private property throughout the construction period and shall make good any damage.

Maintenance

The Contractor shall at his own expense, maintain the works in thorough repair during construction and for a maintenance period of 30 days after certified completion of the job. The Contractor shall rectify all faults in workmanship and materials notified to him by the Owner, during this period.

Site

The site shall be visited prior to tendering and no claim will subsequently be allowed for any extra work due to lack of knowledge of site conditions, nature of sub soil or any other matter.

Materials

All materials of every description shall be new and the best of their respective kinds specified. Where materials of the particular size, brand or manufacture specified are not procurable when required, substitution of other materials may be permitted, but only by special written permission of the Owner and agreed adjustment in cost.

Standards

The methods of construction and the type, quality and sizes of materials used to complete the work shall not be less than laid down in the N.Z.S.S. 1900 chapter 6:1 1978 and N.Z.S. 3604:1978 as required by the local authority under whose jurisdiction the work falls and all other relevant bylaws, standards and regulations.

Nett Sums

The nett sums allowed in this Specification are 'nett' and the Contractor or Sub-Contractor must allow for all cartage, fixing and profit he requires to all such items.

Completion

Throughout the construction period the Contractor shall keep the site as tidy as possible and give due consideration to the occupants of neighbouring properties, particularly in the question of obstruction and noise.

On completion of the work the whole site shall be left clear and the building, paths and steps etc clean and ready for use.

Insurance

Throughout the construction period the Contractor shall hold himself and the Owner covered against all claims and losses that may arise in connection with the Contract.

Temporary Services

The Contractor shall arrange for all temporary services, pay all fees in connection therewith and remove same on completion of Contract.

Workmanship

The whole of the works shall be executed by competent tradesmen in accordance with best trade practice with materials of the grades and qualities as specified.

Progress Payments

The Contract is subject to the provisions of the Wages Protection and Contractor's Liens Act 1939, and its amendments, and the employer is hereby authorised to retain out of the Contract price such sums for such periods as the said Act and its amendments, directs to be his duty. The rates of payment shall be 90% of certified value of the work actually done and 90% of the certified value of materials on the site which are to be included in the permanent work.

Retention during the maintenance period shall be at the rate of 5%.

Time For Completion

The Tenderer in his Tender shall state his date for the completion of the whole of the Contract. The Contractor must accept responsibility for his Sub-Contracts being completed on time.

Claims for extension of time due to abnormal weather conditions, site conditions, fire, strikes, earthquakes will be considered.

Drawings and Specifications

Any written dimensions on the Drawings shall be taken in preference to measurements by scaling.

The subdivision of the Specification into sections and clauses is for convenience only and has no bearing on the interpretation of any clause. All clauses in all sections apply to the entire Contract and whereas reasonable care is taken to classify under each trade the onus is on each trade to make themselves conversant with all clauses which may affect their work.

Standard Drawings as follows and as appended form part of this Specification and shall be read in conjunction with other Drawings.

Where work is indicated on drawings but not in specification or visa versa it shall be deemed to be included in contract as if it were included in both.

Drainage

All existing drainage and connection points have been ascertained from existing records or on site inspection where this has been possible. The drawings provide no guarantee that existing drains are located exactly where shown. It shall be the Contractor's responsibility in all cases to ensure that these drains are located on site by excavation before any building work is commenced.

Supervision

It is a requirement of the N.Z. Standard Design Codes that the Design Engineer, or his appointed representative, supervise all structural work. Supervision in this context means general supervision only and shall include such periodic supervision as may be necessary to ensure that the structural work is being executed generally in accordance with the design. N.Z.S.S.623 forms part of this contract and under clause 13.1 authorises the design Engineer to make variations to work in progress.

All supervision and variation costs shall be met by the Principal.

EXCAVATION

Allow for all bulk excavation as indicated on drawings.

All excavated material except top soil shall be removed from the site as part of the Contract, unless otherwise advised.

Excavate for all foundations and driveway as required.

Should any soft patches be discovered, the Contractor may be required to do additional work, to be paid for as an extra to the Contract.

The Contractor shall place and consolidate backfilling round all foundations.

MASONRY & PLASTERING

MASONRY (where applicable)

Construct all masonry as detailed

All work shall be carried out by competent blocklayers. Only first class workmanship will be accepted. All masonry work shall conform to the relevant clauses of N.Z.S. 1900 6:2 and N.Z.S. 1900 9:2.

All block work shall be in stretcher bond.

Wall Veneer	70 series brick
Colour	selected by Owner
Pointing	to match

PLASTERING (where applicable)

Terraces, porches, steps etc	- steel float finish plaster
Exposed foundations	- stipple finish plaster
Stucco finish	- stipple finish to approval

CONCRETE & REINFORCING

Concrete

Construct all concrete work as shown on the Drawings.

Concrete shall be pre-mixed or site mixed to provide 17.5 MPa crushing strength at 28 days standard cured.

Reinforcement shall be deformed bars or plain round bars as indicated on the drawings and shall be clean and free from rust, scale, oil or paint.

All Floor slabs shall be finished with a power float or steel trowel to a smooth even finish.

CARPENTRY & JOINERY

Timber

All timber shall be in the best of the several grades and kinds specified and in accordance with N.Z.S.S. 3631 classification and of grading of N.Z. Building Timbers. Notwithstanding the grade of timber specified any piece of timber with defects which effect the strength or soundness of the work shall not be used.

Classification and grading of timber shall be in accordance with N.Z.S. 3602. The following types and grades of timber shall be used:-

- | | |
|--|---|
| Roof framing | - douglas fir equivalent to No.1 framing |
| Wall framing | - douglas fir equivalent to No.1 framing |
| Sub floor framing | - radiata pine C8 OR douglas fir if 2.100 or more above ground level. |
| Timber trim, fascias, barges etc | - D.A. rimu treated C7. |
| Interior finishing timbers | - D.A. rimu clear. |
| Exterior deck framing, Decking, balustrading | - radiata pine c 3 treated |
| | - radiata pine treated C7. |

Provide and fix continuous two-ply bituminous fabric damp-course between all timber and concrete which would other be in contact, OR alternatively use T.P.A. C3 treated timber in such situations without any D.P.C.

Gauging

All framing timbers in walls and partitions shall be gauged in width to produce regular plane surfaces to linings.

Priming

Before fixing, prime with red lead primer all joints, laps and abutting of exterior finishing timbers, all surfaces of external timber door and window frames.

Finish

All exposed timber shall be dressed to a smooth surface. Internal joinery and finishing timbers shall be brought to a smooth and even surface by sandpapering.

Sheathings

Materials shall be applied with the highest standard of workmanship and made entirely weatherproof.

All materials shall be fixed in strict accordance with the manufacturers recommendations.

Exterior - sheathing brick, rustic boarding

underlining building paper

Interior - refer schedule

Flooring

20mm high density particle board joints only sanded at completion of job.

Finishings

Cornice - standard timber

Skirting - ex 75 x 12 top edge bevelled 15°

Architraves - grooved liners

Windows

All windows shall be of standard anodised aluminium construction fully glazed to builder's choice.

All window sashes shall be complete with friction stays and furniture.

Windows to bathrooms, W.C. etc to be glazed in obscure glass.

Doors

	Type	Finish
exterior	aluminium slider aluminium casement	-
interior main	hollow core flush panel	-
wardrobe	aluminium slider	-
garage	tilta	-

All doors shall be hung on loose pin f.b. hinges.

Hardware

Allow the nett sum of \$ 450.00 for supply of hardware.

Wardrobes

2 ex 300 x 25 shelves and 20 diameter galvanised pipe hanging rail.

Linen Cupboard

Four full depth 20mm particle board shelves.

Hot Water Cupboard

Two slatted airing shelves above H.W.C. and four slatted airing shelves beside H.W.C. where applicable

Stairs Ex 300 x 50 strings
Ex 250 x 50 treads
Ex 25 risers
Handrail selected by Owner.

Kitchen Cupboards

To later detail

Shaving Cabinet

Provide 450 high x 525 x ex 150 deep cupboard with intermediate shelf and two sliding glass mirror doors in P.V.C. track

Ceiling Manhole

Provide 600 x 600 lift-out type to each roof space.

Insulation

Ceiling - R 2.2 rating where exposed rafters.
(1.6 to trussed ceiling.)
Fill insulation shall be of the ratings shown.

Exterior walls - R 1.6 rating.

Ground floor - double sided perforated aluminium foil draped 100mm minimum between joists.

Additional Information

Room	Wall lining		Ceiling Lining		Door Finishes
	Material	Finish	Material	Finish	
kitchen	gibraltarboard	wallpaper	micelangelo	paint	polyurethane
dining	ditto	ditto	ditto	ditto	ditto
family	ditto	ditto	ditto	ditto	ditto
lounge	ditto	ditto	ditto	ditto	ditto
entry	ditto	ditto	ditto	ditto	ditto
laundry	ditto	ditto	ditto	ditto	ditto
bedroom 4	ditto	ditto	ditto	ditto	ditto
bathroom ground floor	ditto	ditto	ditto	ditto	ditto
bedrooms 1-3	ditto	ditto	particle board	ditto	ditto
gallery	ditto	ditto	ditto	ditto	ditto
bathroom first floor	ditto	ditto	ditto	ditto	ditto
shower	seratone	-	seratone	-	-

SCHEDULE OF FINISHES

ROOFING

Roofing material as shown on drawings.

Corrugated iron shall be laid on building paper.

Metal tiles shall be laid on No.15 saturated felt.

Underlay to concrete tiles is not required where roof pitch exceeds 25°.

ELECTRICAL

Main

Bring power supply from Local Authority reticulation by underground route to main switchboard.

Cable shall be of adequate size for the required load and meet Local Supply Authority requirements.

Switchboard

Provide and instal a standard pattern Gael or equivalent switchboard cabinet with hinged door.

Switchboard shall be suitably labelled with suitable labelling to facilitate easy identification of switchgear and circuits connected thereto.

Lights

Instal all lighting fittings and switches as shown on the drawings.

Lighting switches shall be P.D.L. 200 series rocker type white colour switches flush mounted and fixed at a height of 1.200 to centre above floor level.

Incandescent lighting to flat ceilings shall be P.D.L. batten holders fixed to ceiling complete with 100 watt coiled filament 'pearl' type lamps and plastic ivory coloured 225mm flat conical shades.

Incandescent lighting to exposed beam and sloping ceilings shall be pendant type with ivory coloured P.D.L. ceiling rose and bayonet fittings suspended on white flex.

Socket Outlets

All wall switch socket outlets shall be single or double, P.D.L. 200 series ivory 10 amp flush mounted.

Electric Stove

Allow the nett sum of \$ 2500 for supply of wall oven and hot plates

Heaters

PLUMBING & DRAINLAYING

General

All work shall be done according to best trade practice and in accordance with Local Authority and the 'Drainage and Plumbing Regulations 1978'.

Stormwater & Sewer

Connect as shown. Pipes shall be either pipes with rubber ring jointing or UPVC 110mm O.D. laid in accordance with manufacturers recommendations.

Plumbing

Spouting Klass

Downpipes P.V.C.

Wastes & Traps

Connect all fittings with appropriate size Dux polypropylene wastes and traps in accordance with Dux Code of Practice.

Water Supply

All water pipes shall be Qest Dux or similar.

Supply Tank

Nura 135 litre.

Hot Water Cylinder

180 litre standard with wetback connections where indicated on plan.

Sink Bench

Formica top with coved upstand and stainless steel sink T.V. shape.

Bath (where shown on drawings)

Plix white or pressed steel as All white.

Shower Tray (where shown on drawings)

Stainless steel.

W.C.Pan

White china with Dux or similar seat and flap and Dux centre flush with front tripper.

Shower Mixing Valve

Topliss valve with topliss rose fitted

Soap Trays

Plix SH5 fitted above bath and to shower.

Taps

Methven crystalline.

Two hose taps to each house or flat.

Vanity or Hand Basin

Provide standard formica top vanity with cupboards under as indicated on plan.

PAINING & PAPERHANGING

Paint to various surfaces where used shall be as follows.

Refer to the schedule of finishes under 'carpentry'.

All colours shall be as selected by the Owner.

All paintwork shall be of three coat application.

Exterior

Sheathing - fibrolite products, concrete foundations	- 2 coats semi gloss acrylic
Exposed dressed timbers, spoutings & downpipes	- gloss paint
Exposed beams and other rough sawn timbers	- 2 coat stain
Round poles and roofing	- no painting

Interior

Walls - hardboard	- hi-gloss enamel
Ceilings - insulating board - particle board	- matt paint
Exposed beams etc	- 2 coat stain
Flooring	- no finish

Additional Information

Wallpaper - allow P.C. sum of \$17.00 per roll for wallpaper.

INSTALLATION INSTRUCTIONS



GENERAL

The heater must be installed in accordance with NZS 7421:1972 or as directed by the local Building Inspector. The By-laws usually require that a Building Permit is obtained before installation and we recommend that you advise your Insurance Company that you are having the heater installed.

The minimum clearances shown are necessary to prevent overheating of nearby combustibles and the drying out of timber in the house structure. Tests have been carried out to verify that the heater complies with all requirements when properly installed.

The four M12 x 25 mm bolts supplied as feet for the plinth must be used in all cases. The heat shields in the plinth must be used in all cases.

Both of the above are necessary to prevent overheating under the hearth.

N.B. For installations outside New Zealand please check local authority requirements.

THE HEARTH

This must be made from an insulating and incombustible material, such as concrete or brick at least 50 mm thick.

The heater should be set on the hearth so that the hearth protrudes at least 330 mm in front of the heater plinth. The hearth must also protrude at least 258 mm on each side of the heater plinth. A suitable minimum hearth size is 920 mm deep x 941 mm wide x 50 mm thick.

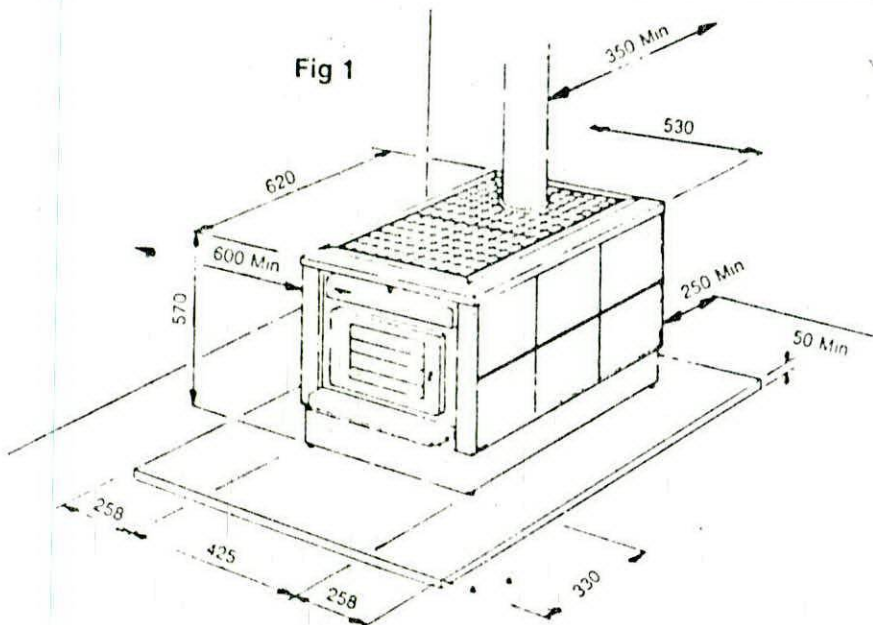
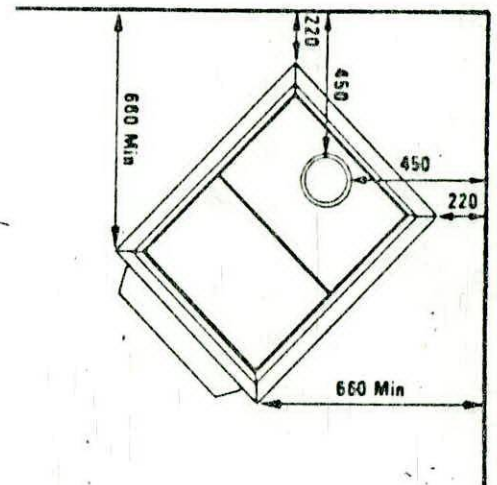


Fig 2



CLEARANCES (see Fig 1)

The minimum clearance from the back of the heater to combustible materials is 250 mm. The minimum clearance from the sides of the heater to combustible materials is 600 mm. (Gibraltar Board and the like on timber studs are classed as combustible materials).

The minimum clearance from the bare flue to combustibles is 350 mm.

The minimum clearance from the top of the heater to the ceiling above is 1600 mm.

The minimum clearance for a corner installation are:—

Flue 450 mm from combustibles

Rear heater corners 220 mm from combustibles

For these clearances to apply, the centre line of the heater must bisect a 90° corner, as in Fig 2.

Should it be necessary, methods of reducing the above clearances by means of heat shields can be found in NZ Standard 7421:1972, refer to Clause 304 "Protective Screens". If using these methods, care must be taken to comply exactly with the requirements and conditions of this Standard.

THE FLUE

It is important that the flue should be vertical and without any bends. Any restrictions, or leaks, can cause smoking under certain conditions due to poor draught. Joints between sections should be securely fixed using self tapping screws. All joints must be airtight, use flue seal if necessary. The flue cowl should be at least 600 mm above the highest ridge of the roof to ensure the draught is not affected by pressure zones caused by wind currents on the house. When the flue is installed through a flat roof, the cowl should be at least 1500 mm above the ridge. Note that any roof with a pitch angle of less than 30° is treated as a flat roof for the purposes of pressure zones. At joints the smaller diameter of each flue section should be at the bottom to mate with the normal diameter section below. Suitable materials for the flue are 1.2 mm panel steel or 0.6 mm stainless steel.

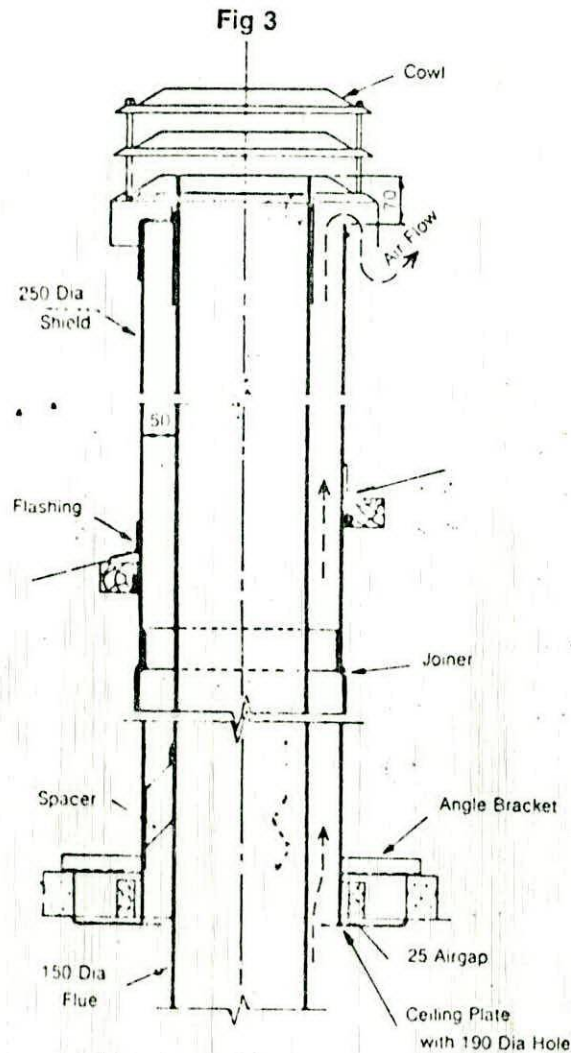
The minimum length of flue on which the heater will operate satisfactorily is 3600 mm. This is the length supplied in the standard flue kit, though extension lengths are available.

FLUE SHIELDING

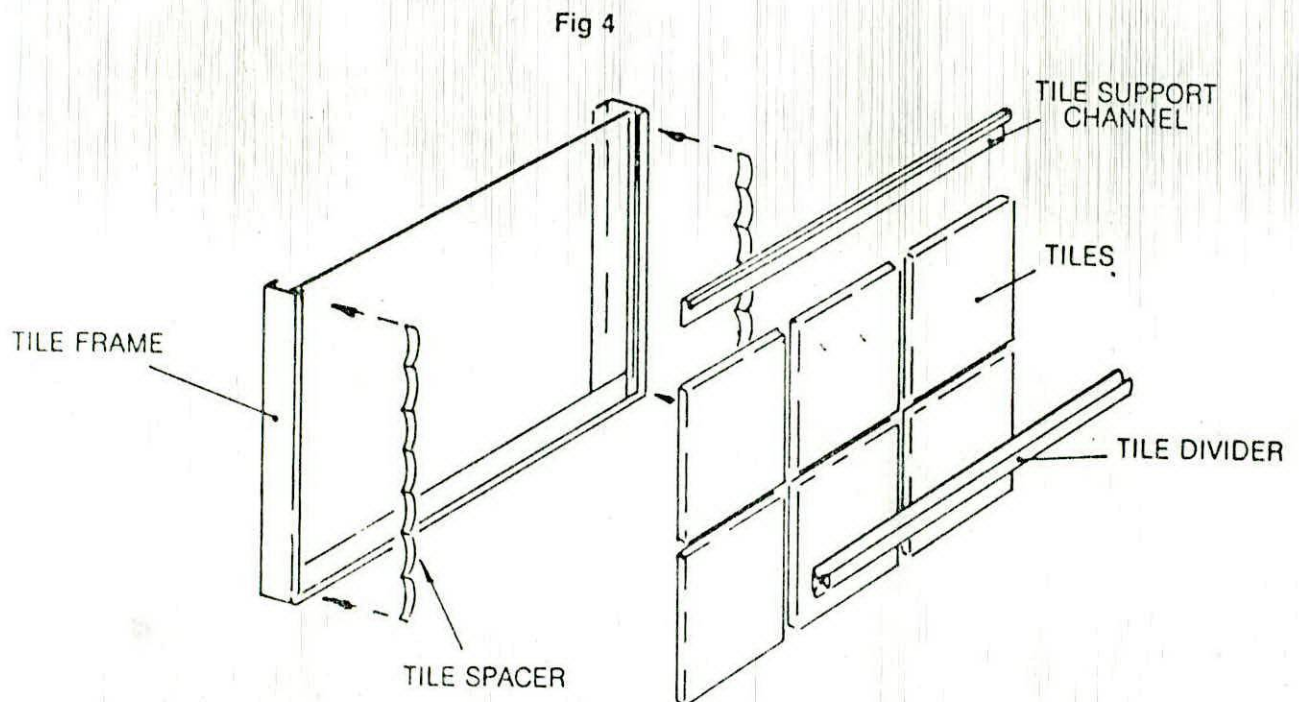
A shield must be fitted to prevent the hot flue from contacting any timber or other combustibles in the roof space. A free air passage of 50 mm must be left between the flue and shielding as shown in Fig 3. In addition the ceiling plate should have a 190 mm hole for the flue to pass through. This allows enough clearance for the cooling air to enter and circulate freely.

The portion of the flue extending above the roof line must be shielded all the way. Failure to do this will cause chilling of the hot gases and can cause the flue to become blocked. Fig 3. shows how the shielding extends from the ceiling plate up to the cowl. If the flue length is increased, the shielding length must be increased to match it. The shielding is 0.6 mm galvanised steel. A flue kit meeting the above specifications is available from your Kent Dealer. Ask for the Tile Fire flue kit.

1. Select the location of the heater bearing in mind the wall to heater clearance distances required.
2. Check the route for the flue which should be clear of roof timbers.
3. Mark the flue centre on the ceiling and plumb to position the hearth. Install the hearth.
4. Cut the holes in the ceiling and roof for the flue shield. Fit timber nogs round the holes allowing for 25 mm air gap between the flue shield and timber.
5. The 250 mm flue shield should extend from the ceiling plate upwards to terminate 70 mm below the top of the flue. Either calculate the correct length of flue shield and cut it to size, or temporarily position the heater and flue so that the correct length can be measured.
The flue shield is supplied in two separate lengths together with a joiner.
6. **N.B.** The joiner must be fitted with the smaller diameter uppermost inside the shield as shown in Fig 3. Attach the flue shield and joiner with self tapping screws.
7. Fix the flue shield into place with the long angle brackets supplied using self tapping screws and flash it to the roof using lead flashing, or a 'Deklite' flashing cone -- ask your dealer for details.
8. Make sure the three heat deflector baffles are in position. Two are under the heater on the inside of the plinth and one is between the heat exchanger and the rear of the cabinet. Make sure the four mounting and levelling feet are in place, one under each corner of the plinth.



8. Before fitting the flue to the heater, fit the 12 ceramic tiles as follows:-
 - A. Ensure the heater is now in its final position.
 - B. Remove the two top decorative metal panels. They lift straight up.
 - C. Remove the top metal surround by carefully lifting it straight up.
 - D. Carefully place 3 ceramic tiles in a row along the bottom groove in each side. Fit the end tiles first, placing the tile tensioning springs in position while doing so. The springs fit vertically at each end of the tile rows, to prevent excess tile movement. If tiles are oversized, springs can be discarded.
 - E. Slide the aluminium tile divider down on top of these tiles so that the narrow edge faces outwards. The groove on the tile divider should fit over the top of the tiles.
 - F. Carefully slide the remaining 3 tiles for each side down on top of the tile divider.
 - G. Fit the tile support channels onto the top row of tiles. See Fig. 4.
 - H. Fit the top surround in place making sure it is properly located at each corner.
 - I. Place the two top decorative metal panels back in position.



9. Place the ceiling plate, flanges upwards, carefully over the heater flue stub. It is suggested that both finishes be protected by placing plastic sheet between heater and ceiling plate. The ceiling plate can now rest on top of the heater while the flue is being installed. This makes the flue easier to install and helps prevent the flue paint from being scratched.
10. Install the flue.

All joints must be fastened with at least 3 self tapping screws spaced evenly around. All flue joints must be airtight. Use flue seal if necessary.

The flue sections are assembled with the smaller diameter ends nearest the heater and the larger diameter ends towards the cowl.

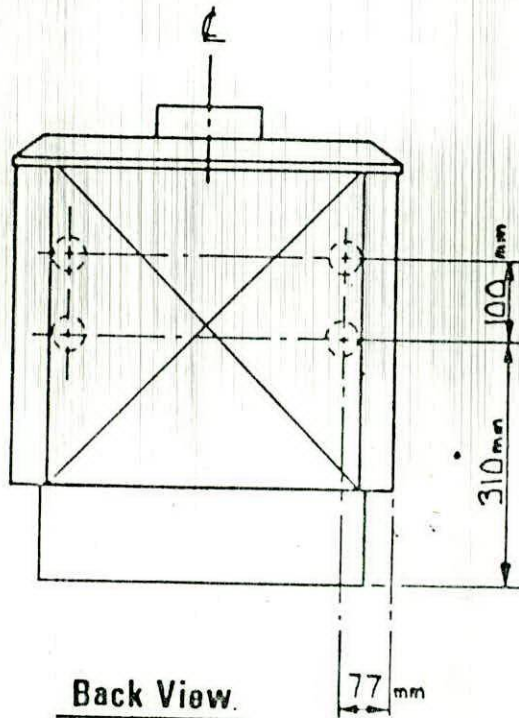
The bottom section of the flue is swaged but uncrimped. This must be attached to the heater (swaged end first) using self tapping screws. The 3 spacers must be fitted to the flue so that they are located just above the bottom of the flue shield when the flue is installed - see Fig 3. It is important that these spacers are located equally around the flue, thus keeping the flue central in the flue shield.
11. Fix the cowl to the top of the flue as shown in Fig 3, and retain with self tapping screws. The air flow shown must not be reduced in any way. (See earlier section on "Flue Shielding").

Note: The flue cowl is designed to fit so that the flue goes all the way up inside the spigot. To enable this to fit properly the flue shield should finish 70 mm below the top of the flue. The three brackets on the cowl should be on the outside of the flue shield.
12. Raise the ceiling plate and fix it to the ceiling so that the flue is central in the hole. Take care when raising the ceiling plate into position, to avoid damage to flue surface finish.

The Tile Fire hot water booster is not designed to take over the total water heating load — it is simply a booster to reduce the amount of power normally used for hot water heating.

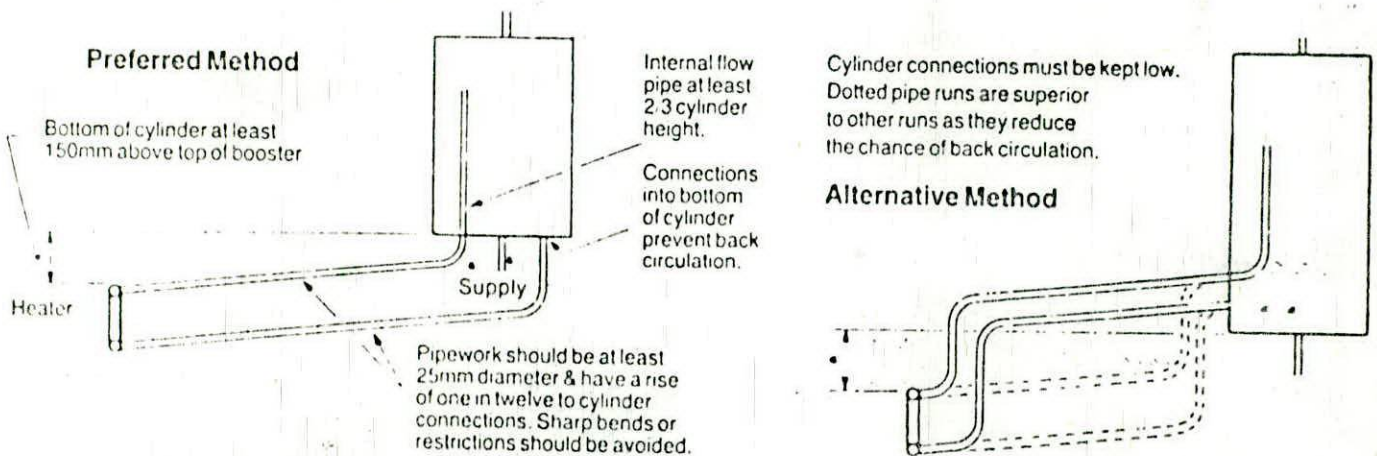
1. The Tile Fire Heat Exchanger has pre-punched knock-outs on either side. These can be removed with swift, firm blows with a heavy ball pein hammer. This is best done prior to fitting the heat exchanger into the fireplace. If the knock-outs cannot be removed, drill around the knock-out with a small drill, and try again.

Hot Water Booster Mounting Positions.



Back View.

HOT WATER BOOSTER INSTALLATION



2. The water booster must be fitted as shown in the sketch.
3. The hot water booster can be fitted on either side of the heater.
4. The positioning of the booster is critical.
5. It is very important to make sure the hot water booster is not damaged by logs when refuelling.
6. Also it may be noticed that when the hot water booster is fitted the fire tends to lean away from the booster; this condition is quite normal.

NOTE:

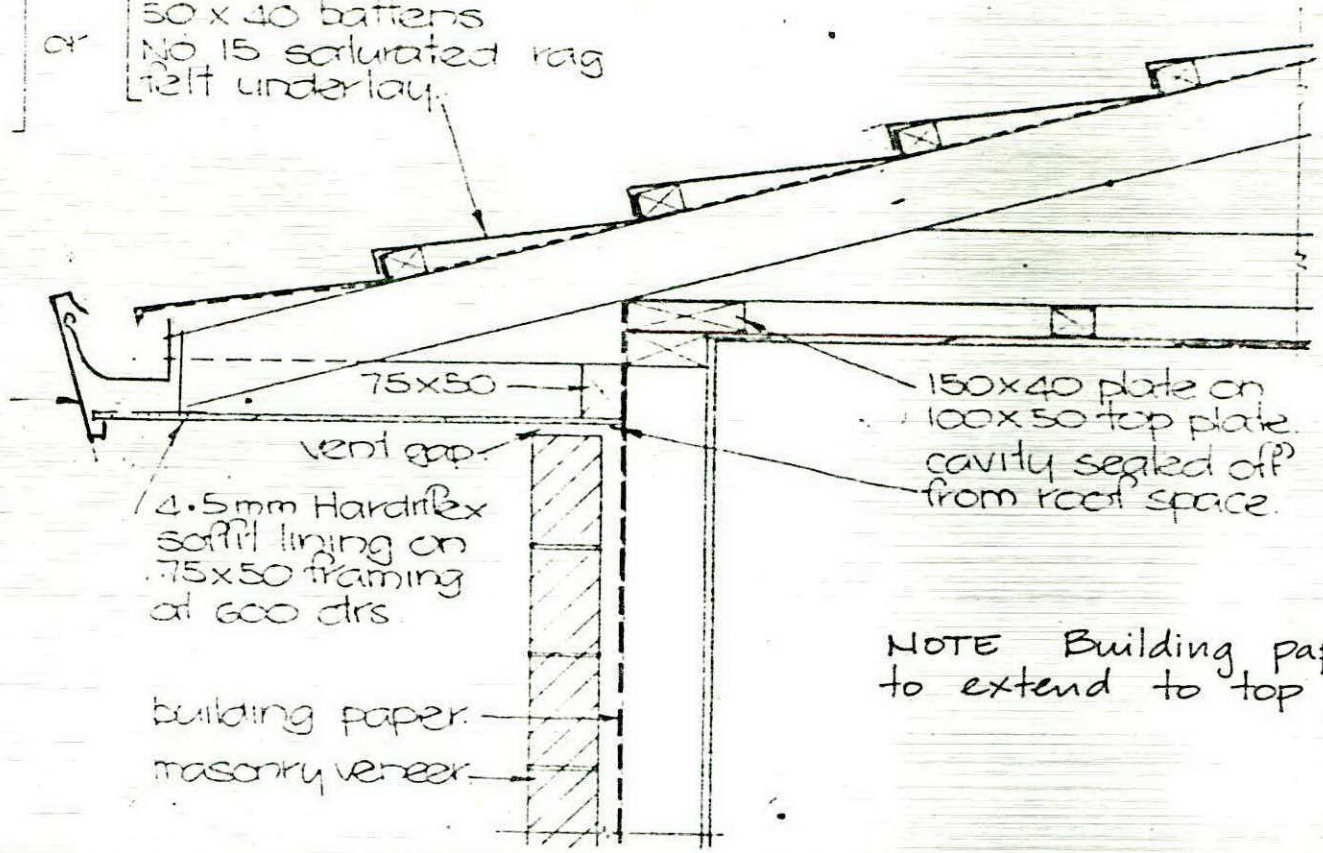
- Only a Kent hot water booster should be used.
- Only one booster must be fitted to the unit.
- The booster system must be used only for heating domestic hot water — not radiators, for pool heating, or the like.

0.45 corrugal iron
building paper or
netting
75x50 purlins
at 600 ctrs.

or

roof tiles
50 x 40 battens
No 15 saturated rag
felt underlay.

Klass
fascia



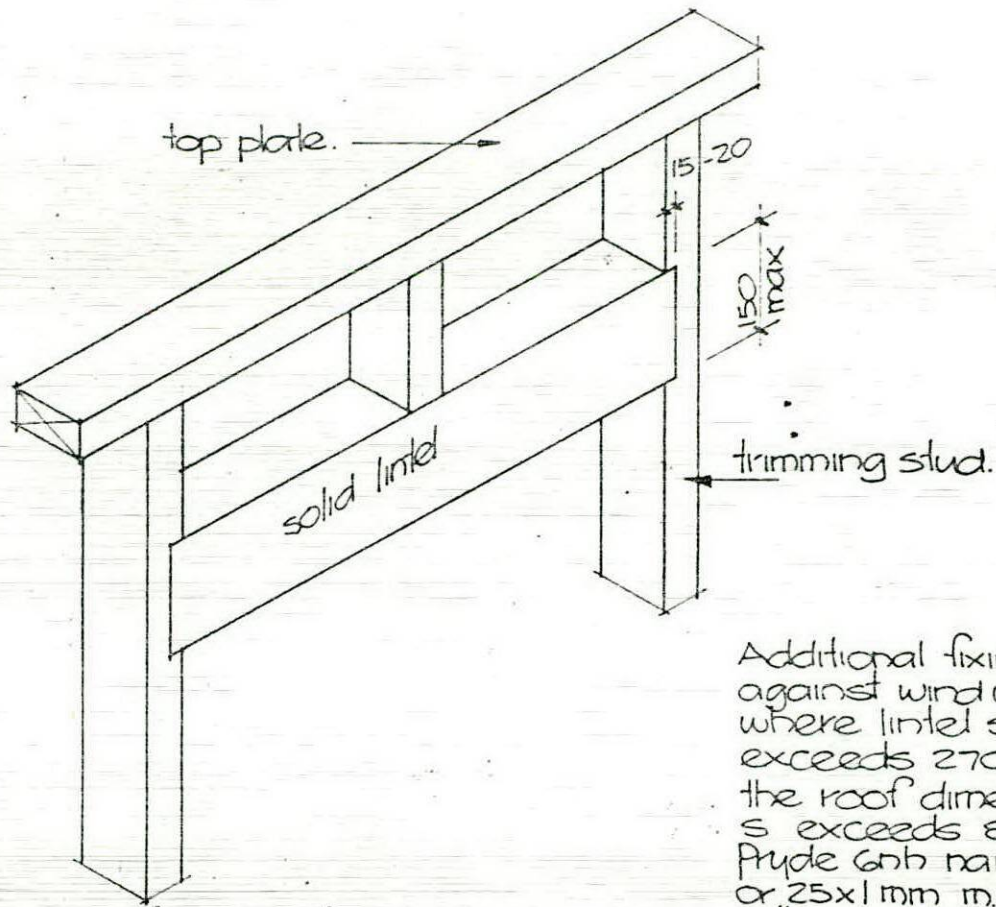
NOTE Building paper
to extend to top plate.

SR 106

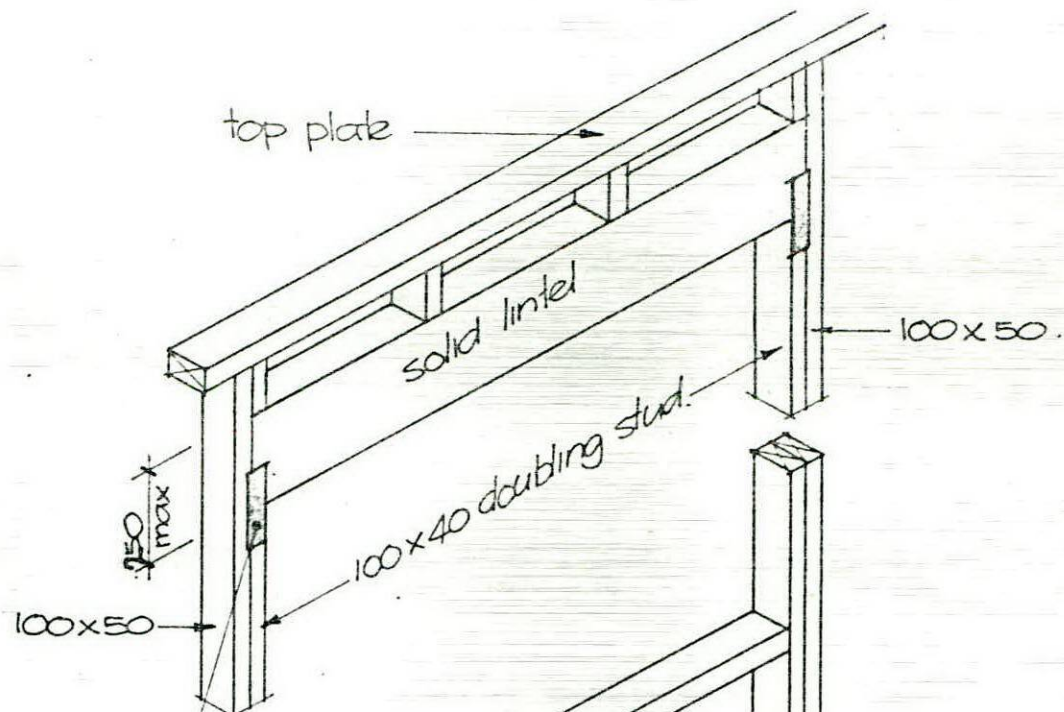
STANDARD SOFFIT DETAIL
MASONRY WALL VENEER - METAL TILE ROOF.

NEVILLE & MALCOLM
BUILDING DESIGN SERVICE
134 BRIDGE ST NELSON

DRAWN
TMENZIES
AUG 1979

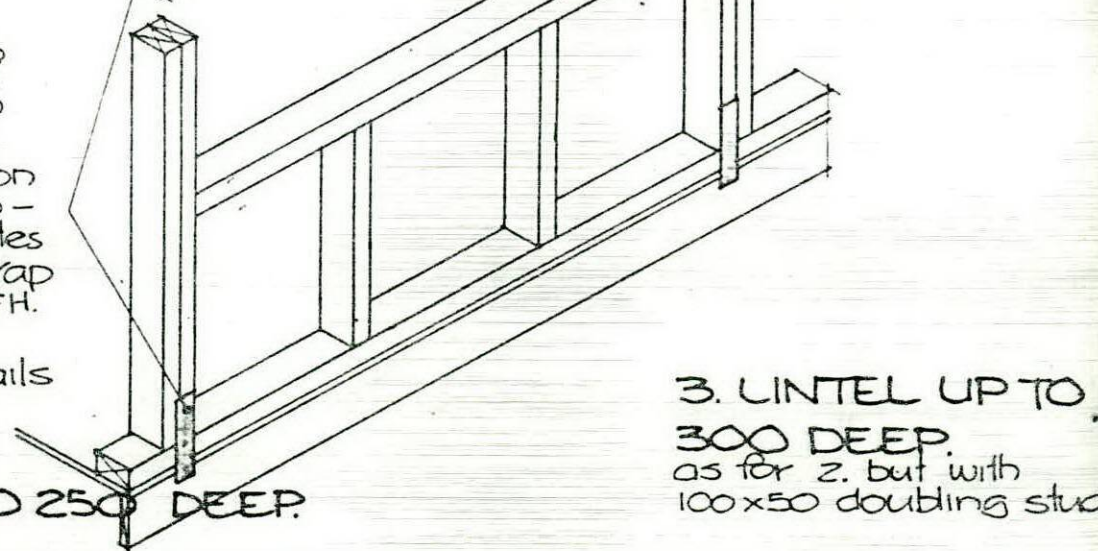


1. LINTEL UP TO 150 DEEP.



Additional fixing against wind uplift where lintel span exceeds 2700 & the roof dimension s exceeds 8000 - Pryde 6th nail plates or 25x1mm m.s strap with 6- 30x2.5 F.H. nails into stud & 6- 30x2.5 F.H. nails into blocking or boundary joist.

2. LINTEL UP TO 250 DEEP.



3. LINTEL UP TO 300 DEEP. as for 2. but with 100x50 doubling stud



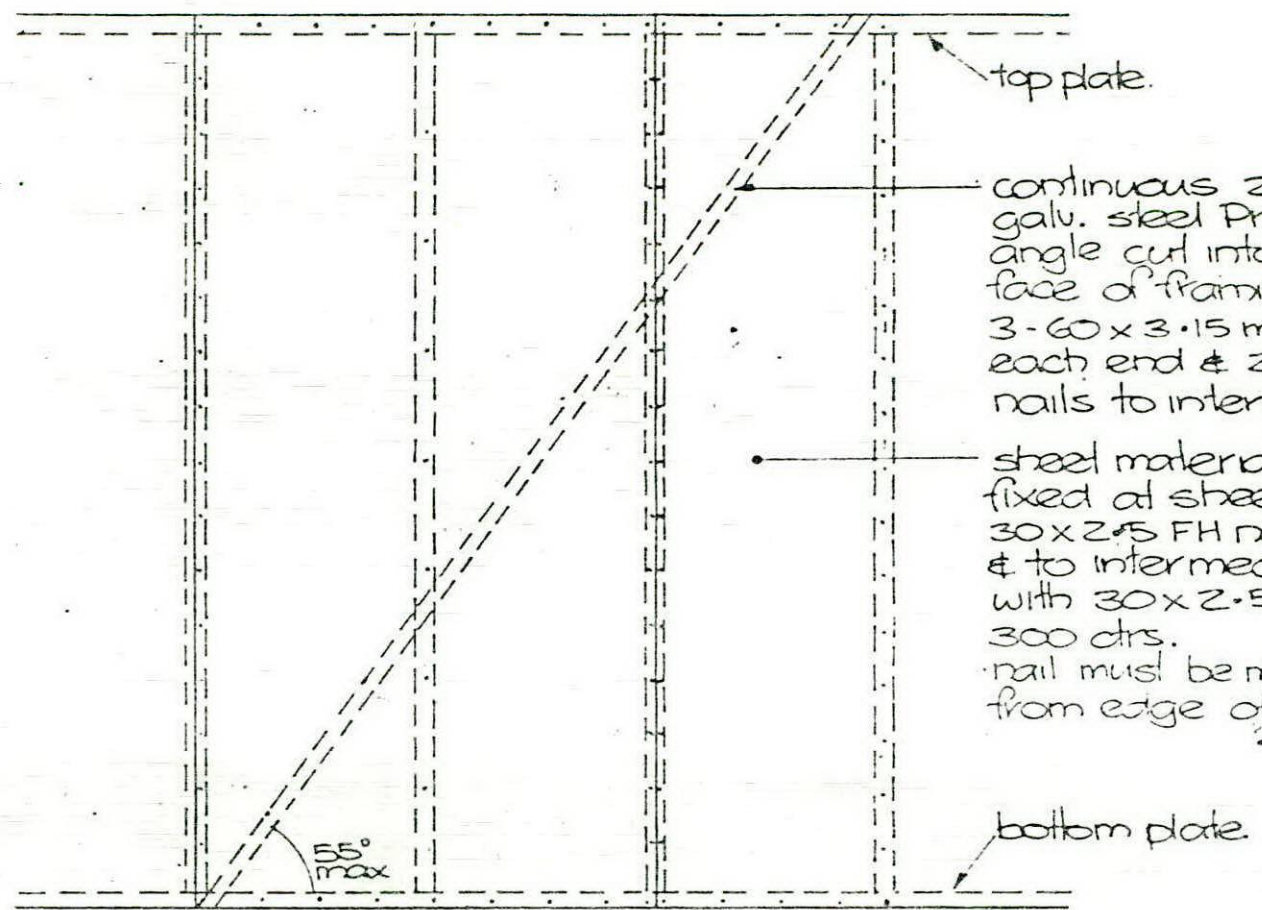
Neville R. Malcolm,
Building Design Service,
134 Bridge Street, Nelson.
Drawn by: T. MENZIES.

LINTEL FIXING

SW105

AUGUST 1979

extent of steel material min 1.700
 (for stud height of 2450)
 for length see calculation sheet



continuous 22x22x1.2 galv. steel Pryde bracing angle cut into outside face of framing. fix with 3-60x3.15 mm nails at each end & 2-60x3.15 mm nails to intermediate studs.

steel material to inside face fixed at sheet edges with 30x2.5 FH nails at 150 ctrs & to intermediate studs with 30x2.5 FH nails at 300 ctrs. nail must be minimum of 10mm from edge of sheet.

NOTE:
 sheet bracing shall be of one of the following materials.

- 6mm plywood.
- 4.75mm hardboard
- 6mm bison board
- 10mm medium density particle board
- 9.5mm gib board.

TYPE 1 BRACE
 Rating (bracing units per metre of element length)
 42 in single or top story
 50 in any other location.

TYPE 2 BRACE
 As for type 1 but with steel material to both sides.
 Rating 62 in single or top story
 74 in any other location.

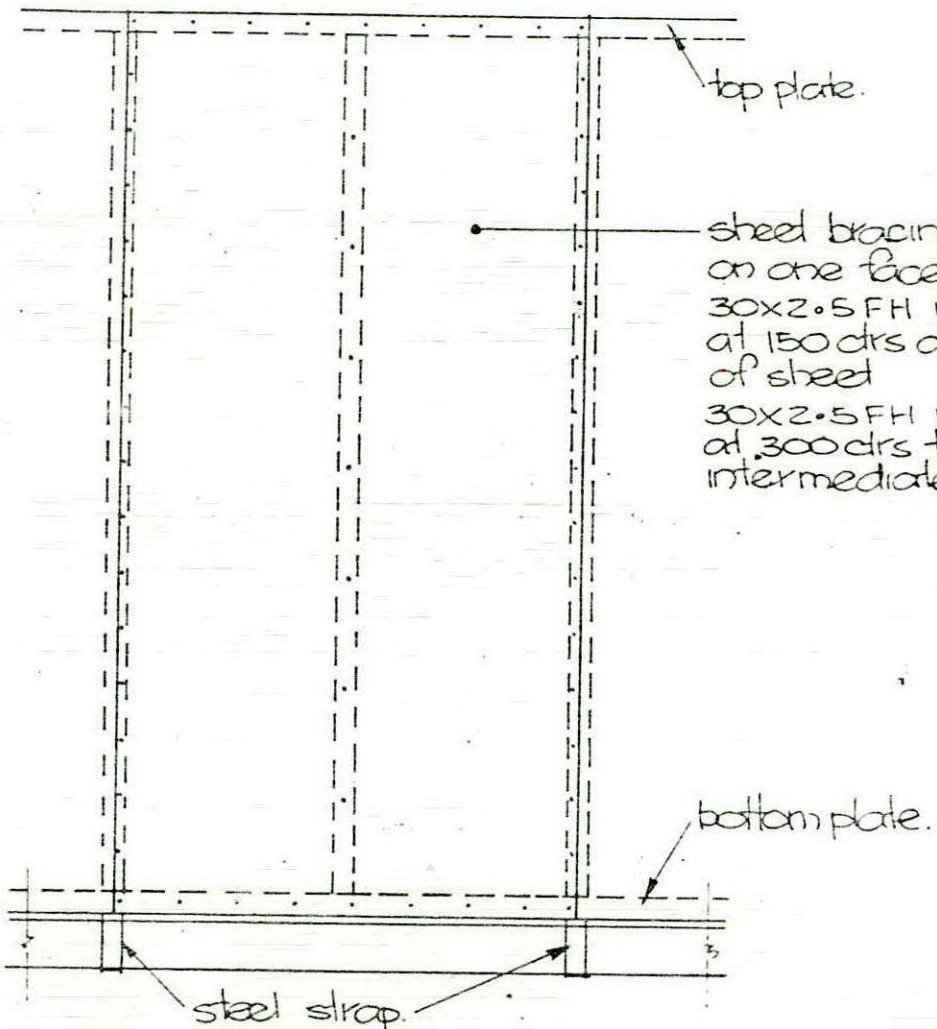


Neville R. Malcolm,
 Building Design Service,
 134 Bridge Street, Nelson.
 Drawn by: T. MENZIES.

WALL BRACING
 TYPE 1. TYPE 2.

SW104
 AUGUST 1979.

refer to calculation sheet for length req'd.



top plate.

sheet bracing on one face.
 30x2.5 FH nails at 150 ctrs at edge of sheet
 30x2.5 FH nails at 300 ctrs to intermediate studs.

bottom plate.

steel strap.

TYPE 8 BRACE.
 rating (bracing units per metre of element length) = 67 in any location.

NOTE:

stud, plates & dwangs may be reduced in width max. 10 mm to accommodate sheet bracing material.

sheet bracing shall be of one of the following materials:

- a. 6mm plywood.
- b. 4.75 mm hardboard.
- c. 6 mm bisonboard.
- d. 10 mm medium density particle bbl.

TYPE 9 BRACE.
 as for type 8 brace but element to exceed 1800
 Rating 83 in any location.



Neville R. Malcolm,
 Building Design Service,
 134 Bridge Street, Nelson.
 Drawn by T. MENZIES.

WALL BRACING
TYPE 8. TYPE 9.

SW103
 AUGUST 1979

(CIRCLE whichever is applicable)

NAME: R. Stuart

ADDRESS: Milne Place

STOREY: Single or Uppermost
Lower of two or middle of three
Lower of three

ROOF TYPE: Light Heavy

ROOF PITCH: 0° - 25° / 26° - 45°

WIND AREA: High / Medium / Low

W = 55 B.U.'s/m

EARTHQUAKE ZONE: A B / C

E = 5 B.U.'s/m²

ROOF OR BUILDING LENGTH

BL = 16.5 m

ROOF OR BUILDING WIDTH

BW = 9.5 m

GROSS ROOF OR BUILDING PLAN AREA

GPA = 157 m²

EARTHQUAKE: B.U.'s ALONG AND ACROSS

	EQ	WIND
E x GPA	= 5 x 157 = 785	B.U.'s
W x BW	= 55 x 9.5 = 523	B.U.'s
W x BL	= 55 x 16.5 = 908	B.U.'s

WIND: B.U.'s ALONG

WIND: B.U.'s ACROSS

SKETCH PLAN (external and internal walls) :

Total B.U.'s Required	Well Line		Well Bracing Elements Provided				
	Label	Minimum B.U.'s Required	Label No.	Type	Rating B.U.'s/m	Length (m)	B.U.'s Provide
ACROSS	L	16.8 x 10	1	8	67	.9	60
			2	8	67	.9	60
			3	8	67	1.5	100
		168	Sub-total				
	M		4	1	42	2.1	88
			5	8	67	1.8	120
			6	1	42	2.6	109
		70	Sub-total				
	N		7	8	67	1.2	80
			8	1	42	2.2	92
			9	8	67	1.2	80
		168	Sub-total				
	O						
		Sub-total					
P							
		Sub-total					
Q							
		Sub-total					
R							
		Sub-total					
S							
		Sub-total					
T							
		Sub-total					
U							
		Sub-total					
785	TOTAL			TOTAL		789	

NAME -
1
Total B.U.'s
Required

2	3	4					7	8
		Well Line		Well Bracing Elements Provided				
Label	Minimum B.U.'s Required	Label No.	Type	Rating B.U.'s/m	Length (m)	B.U.'s Provided		
ALONG	A	10	1	42	2.4	100		
		11	1	42	2.4	100		
		83					Sub-total	200
	B		12	1	42	2.4	100	
			13	1	42	2.4	100	
		70					Sub-total	200
	C		14	1	42	2.4	100	
			15	1	42	2.4	100	
		70					Sub-total	200
	D		16	8	67	1.5	100	
			17	1	42	2.4	100	
		70					Sub-total	200
E		18	8	67	1.5	100		
		19	8	67	1.5	100		
	83					Sub-total	200	
F								
						Sub-total		
G								
						Sub-total		
H								
						Sub-total		
908	TOTAL				TOTAL	1000		

(CIRCLE whichever is applicable)

NAME: R. Stuart

ADDRESS: milne Place

STOREY: Single or Uppermost
Lower of two or middle of three
Lower of three

ROOF TYPE: Light Heavy

ROOF PITCH: 0° - 25° / 26° - 45°

WIND AREA: High / Medium / Low

W = 14 B.U.'s/m

EARTHQUAKE ZONE: A / B / C

E = 2 B.U.'s/m²

ROOF OR BUILDING LENGTH

BL = 13 m

ROOF OR BUILDING WIDTH

BW = 6 m

GROSS ROOF OR BUILDING PLAN AREA

GPA = 78 m²

EARTHQUAKE: B.U.'s ALONG AND ACROSS

	EQ	WIND
E x GPA	= 2 x 78 = 156	B.U.'s
W x BW	= 14 x 6 = 84	B.U.'s
W x BL	= 14 x 13 = 182	B.U.'s

WIND: B.U.'s ALONG

WIND: B.U.'s ACROSS

SKETCH PLAN (external and internal walls):

NAME Total B.U.'s Required	Wall Line		Wall Bracing Elements Provided					
	Label	Minimum B.U.'s Required	Label No.	Type	Rating B.U.'s/m	Length (m)	B.U.'s Provided	
ALONG	A	6+10	26	1	42	1.5	63	
		60	Sub-total					63
	B			27	1	42	2.4	100
		70	Sub-total					100
	C			28	1	42	2.0	84
		70	Sub-total					84
D			29	1	42	2.0	84	
	60	Sub-total					84	

182	TOTAL		TOTAL	331
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ACROSS	L	13+10	20	1	55	1.5	82	
			21	1	55	1.5	82	
		130	Sub-total					164
	M			22	1	30	2.0	60
				23	1	30	2.0	60
		70	Sub-total					120
	N			24	1	55	1.2	66
				25	1	55	1.2	66
		130	Sub-total					132
O								
		Sub-total						
P								
		Sub-total						

156	TOTAL		TOTAL	466
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Richmond Borough Council



9 CAMBRIDGE STREET, RICHMOND

TELEPHONE (0544) 8059

Address all correspondence to:

THE TOWN CLERK,
P.O. BOX 3027,
RICHMOND, NELSON,
NEW ZEALAND.

Ref. No.:

6/2/1

If calling please ask for:

R W Sharplin

25 September 1986

file

Mr R Stuart
6 Milne Place
RICHMOND

Dear Sir

RE: BRACING ELEMENTS - NEW DWELLING

This is to confirm my advice to you that existing gib board fixing does not meet Building Bylaw requirements (which adopts manufacturer's fixing details).

Would you please attend to fixing of wall linings in accordance with the approved bracing schedule, and manufacturer's instructions (enclosed).

A reference to waste pipe venting requirement of your plumber is attached.

Yours faithfully

R W Sharplin
BOROUGH INSPECTOR

Enc

Richmond Borough Council



9 CAMBRIDGE STREET, RICHMOND

TELEPHONE (0544) 8059

Address all correspondence to:

THE TOWN CLERK,
P.O. BOX 3027,
RICHMOND, NELSON,
NEW ZEALAND.

Ref. No.:

6/6/1

If calling please ask for:

R W Sharplin

25 September 1986

The Manager
McDowell Plumbing
PO Box 3248
RICHMOND


Dear Sir

RE: R STUART, 6 MILNE PLACE, RICHMOND

I have tried to contact you informally concerning your installation of single stack plumbing system in R Stuart's new dwelling. You must be aware that such a system is not permitted by the Drainage and Plumbing Regulations.

Would you please attend to separately venting each waste pipe joining the foul water soil pipe from upstairs fittings, to the standard of the Regulations. Note that proprietary values, such as the Hunter Value, are not permitted. Please advise when completed.

Yours faithfully


R W Sharplin
BOROUGH INSPECTOR

GIBRALTAR BOARD ADHESIVE AND NAIL FIXING SYSTEM RECOMMENDATIONS FOR FIXING WALL LININGS

INTRODUCTION

Adhesive fixing has been introduced to produce a clean unbroken surface on Gibraltar Board walls. Adhesive and partial nail fixing eliminates up to 50% of the nails required thus reducing the possibility of nail popping. Reduces the possibility of loose boards caused by

improper nailing.

Bridges minor framing irregularities.

Adhesive fixing of Gibraltar Board cannot be used for fire rated partitions. Refer separate Winstone specifications.

WALL BRACING

The wall bracing performance of adhesive and nail fixed Gibraltar Board has been demonstrated by test to be equivalent to nail fixed board. Bracing values listed in table 20 of NZS 3604 apply equally

for adhesive and nail fixed Gibraltar Board. Refer B.R.A.N.Z. Appraisal Certificate entitled "Gibraltar Board Adhesive and Nail Fixing System."

FRAMING REQUIREMENTS

Minimum requirements for timber framing include the following:

1. Framing must meet the standards specified by local building codes, it should be straight, true and of uniform dimensions and must be erected in true alignment. The moisture content of the timber framing should not be greater than 24% at the time of lining in accordance with NZS 3602.
2. Service pipes, including waste outlets etc. must

not protrude beyond the framing. Water pipes and electrical wiring should be located inside the framing in such a position that metal fasteners e.g. nails and screws will not penetrate them during board fixing.

3. Stud spacings for 9.5mm and 12.5mm Gibraltar Board not to exceed 600mm centres.
-

WALL ALIGNMENT

It is advisable to use nogs or dwangs at 800mm centres maximum for the horizontal and vertical fixing of Gibraltar Board. Nogs, dwangs, or other means should be used to control or minimise movement or twisting of studs.

FIXING METHODS

Adhesive

'Gib Fix' Multi Purpose Water Based Construction adhesive. Available in 375ml cartridge, 1 litre and 4 litre pails. Apply daubs of adhesive 25mm in diameter by 10mm thick. See diagrams for horizontal or vertical fixing.

Positioning of Board

Fix sheets hard up to the ceiling line. Joints between sheets should be touch fitted and not forced together. For horizontally fixed sheets the top sheet should be fixed first and all vertical butt joints staggered by at least 600mm. All sheets

should be lifted above floor line to leave a 10mm gap.

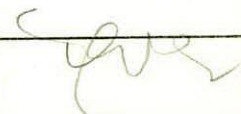
Nails (sheet edges only)

For 9.5mm Gibraltar Board use 30mm x 2.5mm Winstone Gib Clouts.

For 12.5mm Gibraltar Board use 40mm x 2.5mm Winstone Gib Clouts.

Nails should not be closer than 12mm in from the edge of the board and must be driven in straight to a secure bed in the timber.

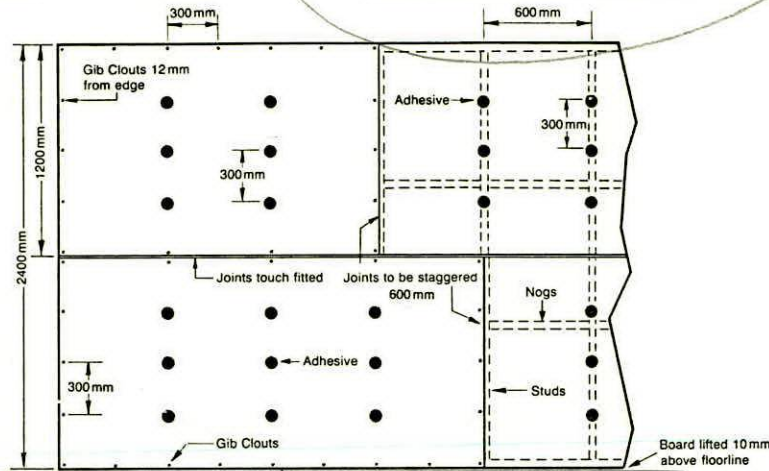
See diagrams for horizontal or vertical fixing.



HORIZONTAL FIXING

Apply glue daubs at 300mm centres on each stud in the field of each sheet.
All vertical joints of sheets to be nailed at 300mm centres maximum and at 300mm centres along top and bottom plates. Horizontal joints between sheets nailed at maximum 600mm centres on each stud.

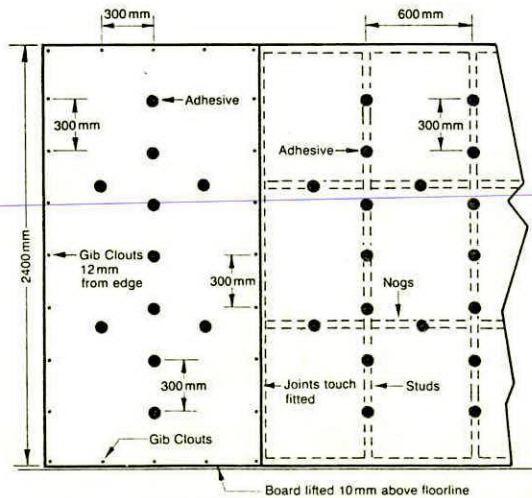
For braced walls additional nails are required. Around the perimeter of the bracing element, that is the top and bottom plates and vertical studs enclosing the bracing element, sheets to be nailed at 150mm centres. Glue pattern remains the same as for unbraced walls.
ALL JOINTS MUST BE TAPED



VERTICAL FIXING

Apply glue daubs at 300mm centres on each stud in the field of each sheet and in the centre of each nog. The perimeter of each sheet to be nailed at 300mm centres.

For braced walls additional nails are required. Around the perimeter of the bracing element, that is the top and bottom plates and vertical studs enclosing the bracing element, sheets to be nailed at 150mm centres. Glue pattern remains the same as for unbraced walls.
ALL JOINTS MUST BE TAPED



JOINTING AND FINISHING

1. All joints should be filled with Gib Bedding Compound and taped with Gib Reinforcing Tape and finished with Gib Finishing Compound. Refer separate Winstone specification Gib Jointing Compounds.
2. All joints must be lightly sanded using a 180 grit sand paper and dusted free of dust before painting commences.
3. Where Gib Board is to be painted it should be sealed with Gib Sealer or with a sealer as

4. It has been shown that badly designed lighting can spoil the appearance of a flat surface and similar effects can also be obtained when gloss paints are used. High gloss paints should be avoided where possible. Where oil based paints are used it is recommended to sand between coats.

LIMITATION CLAUSES

Gibraltar Board should not be used where it will be exposed to excessive moisture.
For Fire Rated Systems, reference must be made to separate Winstone specifications.

All external walls and ceilings shall be lined with Gib Foil to form a vapour barrier in accordance with NZS 3602.

TECHNICAL SERVICE

To support its sales organisation, Winstone Ltd. operates a technical service. Work is done in the field, with the support of Winstone Wallboards Ltd., Technical Department.
Specialist staff are available to advise on problems

at the planning stage and in situations not fully covered by technical publications. Technical service and advice can be obtained directly from any Winstone Branch or any Gib-Board stockist.

PRODUCT TRAINING

Winstone Wallboards Ltd. provide:
Courses of instruction on all Winstone Ltd. Gib products and systems to operatives and others in the building industry. In addition to its main role of teaching site operatives the school organises

specialty designed lectures and seminars for specialist audiences, such as architects, surveyors, clerks of works and contractors' supervisory staff. Details are available from Winstone Ltd.

GIBRALTAR BOARD DIMENSIONS

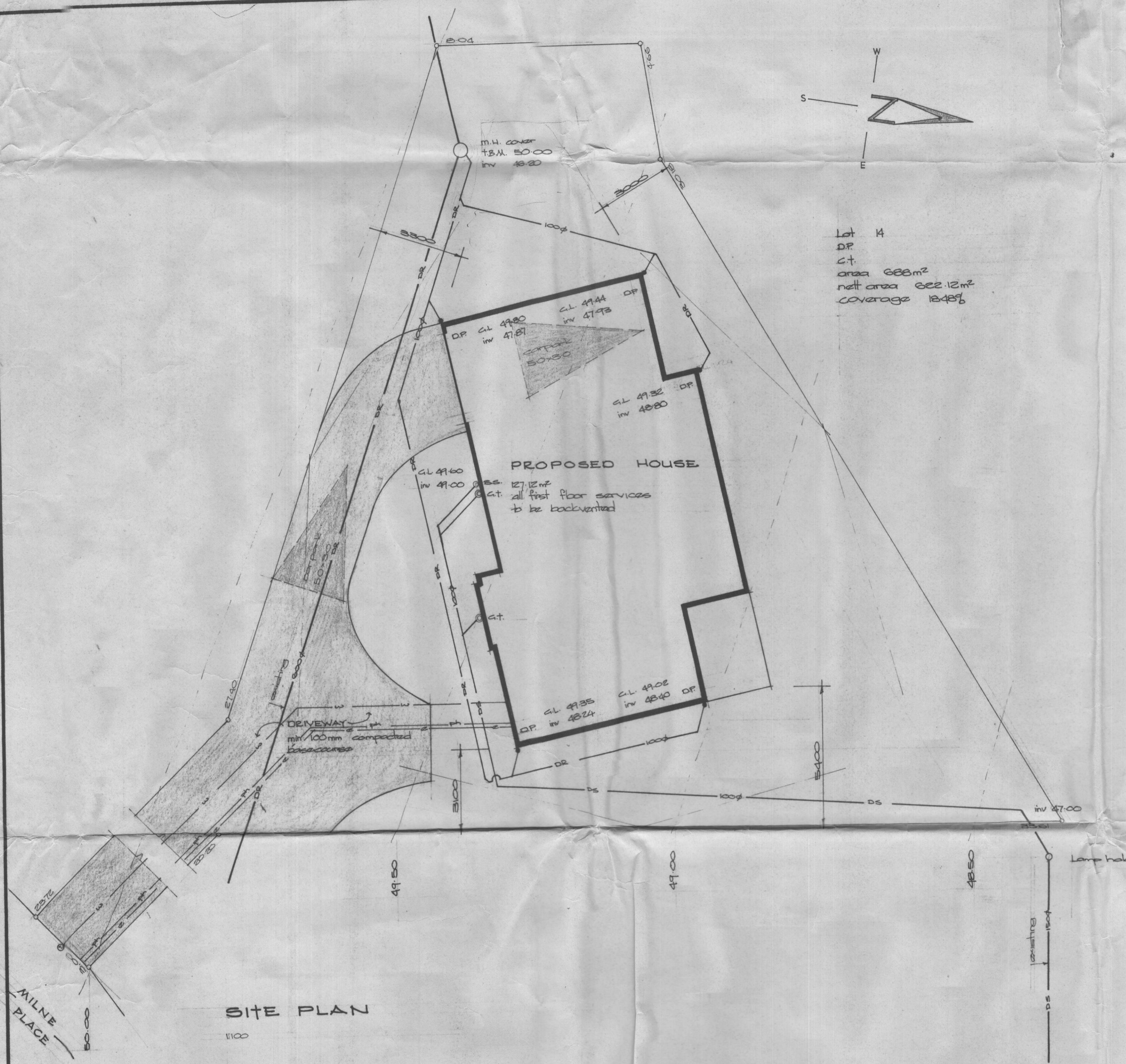
Gibraltar Board Grade	Thickness	Width	Length
Standard Gibraltar Board 'Tapered' Edge	9.5mm	1200mm	2400mm
	"	"	2700mm
	"	"	3000mm
	"	"	3300mm*
Available ex Auckland	"	"	3600mm
Wellington and Christchurch	"	"	3900mm*
factories	"	"	4200mm
	"	"	4800mm†
Available ex Auckland, Wellington	12.5mm	1200mm	2400mm
and Christchurch factories	"	"	2700mm
† Not available Auckland	"	"	3000mm
* Not available Christchurch	"	"	3600mm

GIBRALTAR BOARD PRODUCTS
Manufactured by Winstone Wallboards Ltd.
Distributed by Winstone Limited

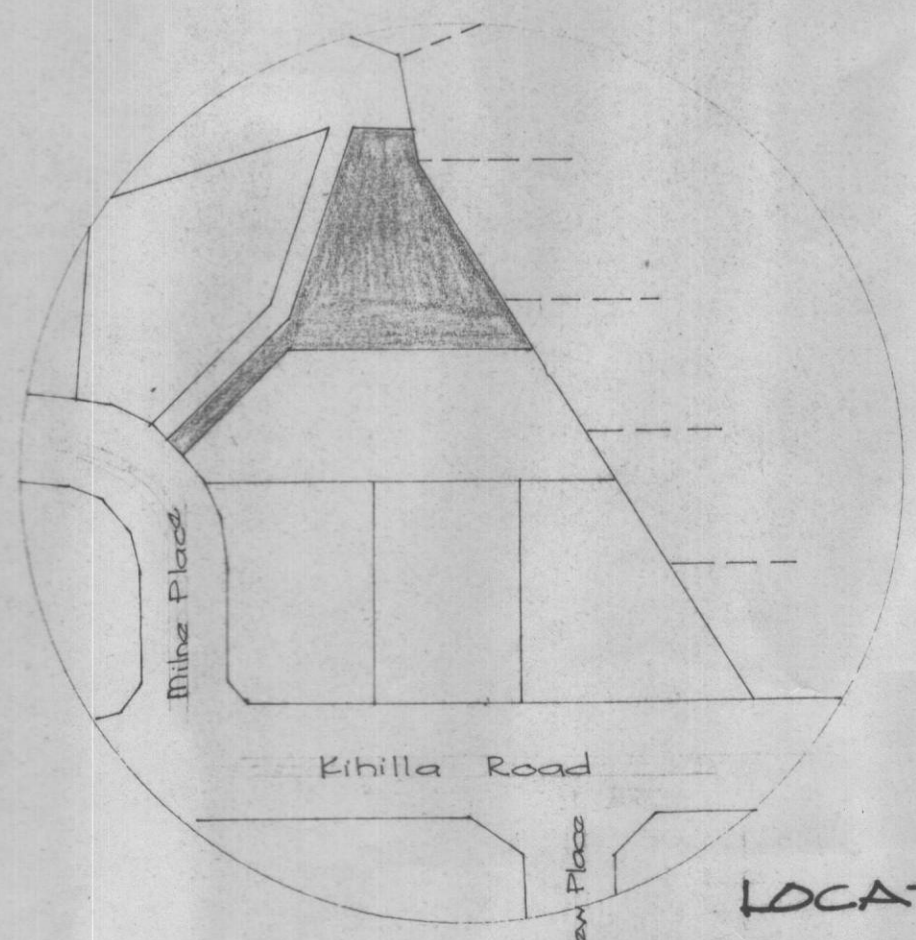


Auckland 592-809
Christchurch 792-132
Hamilton 495-999
Wellington 845-609
Whangarei 82-099
Branches and distributors throughout New Zealand.

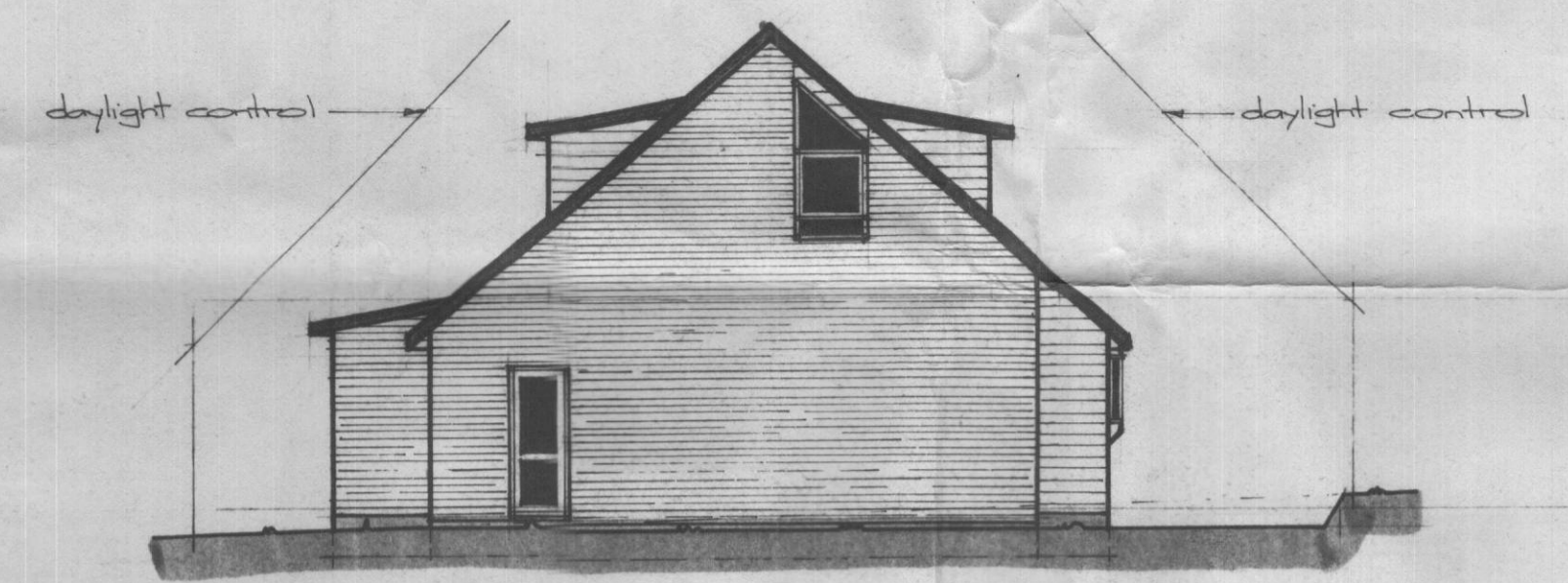
The information contained is correct and no liability is accepted for any loss which may be sustained arising from the use of any of the information.



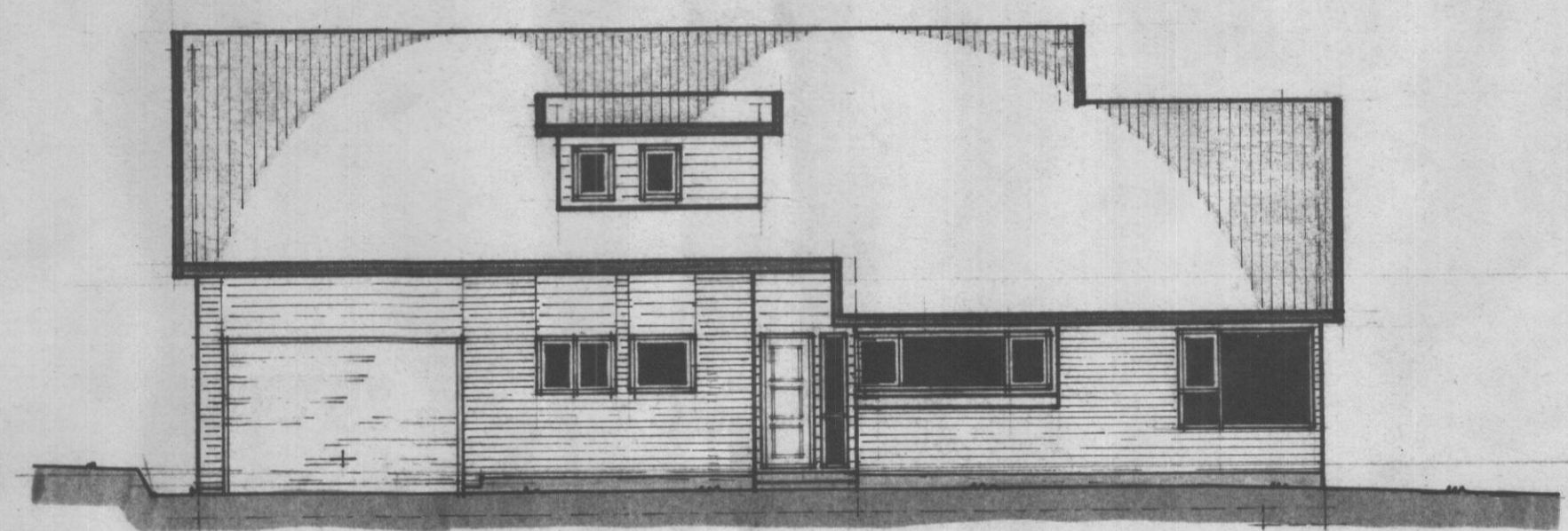
SITE PLAN
1:100



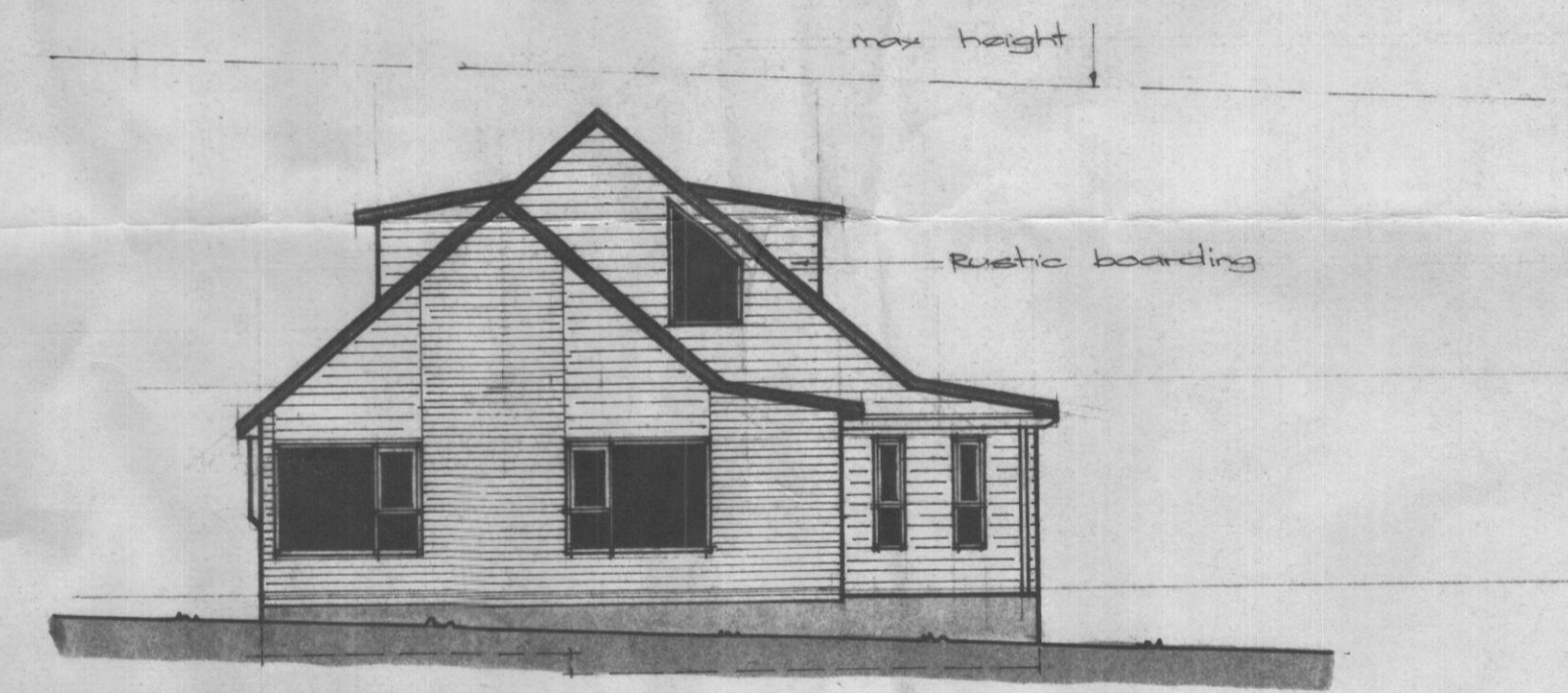
LOCATION PLAN



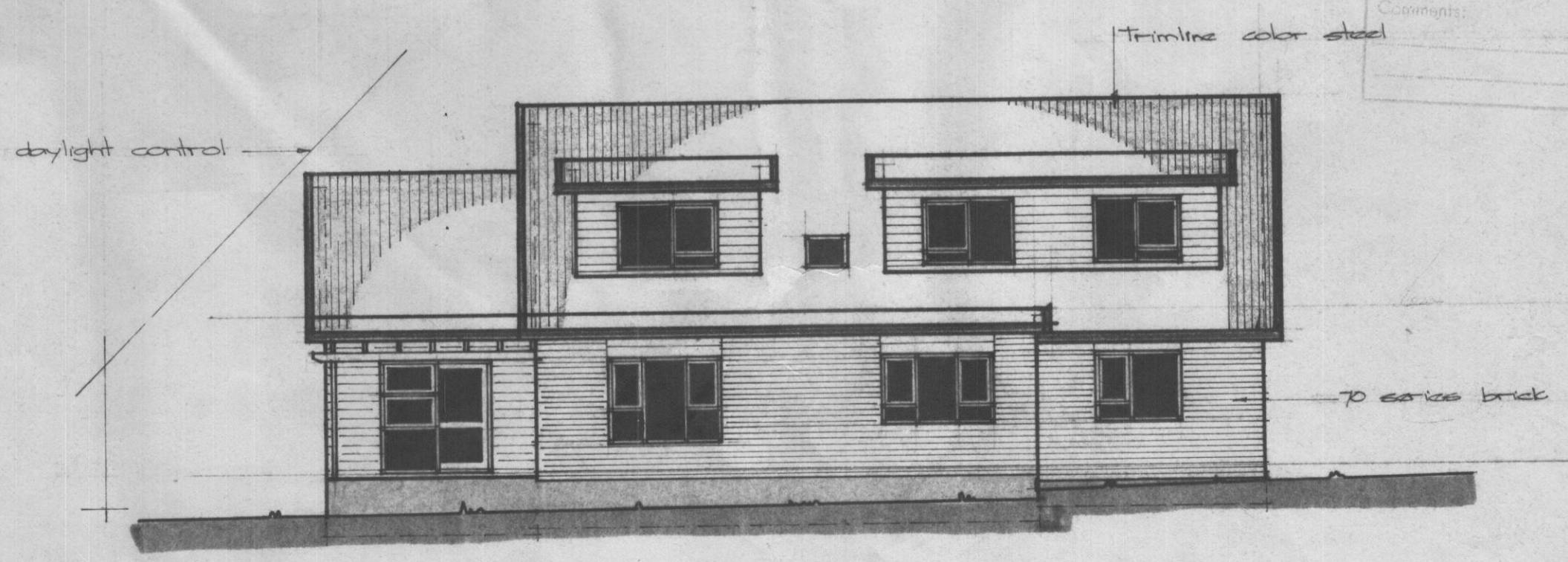
WEST ELEV
1:100



SOUTH ELEV
1:100



EAST ELEV
1:100



NORTH ELEV
1:100

Richmond Council
Building Permit Approval
21 MAR 1986
S. Arps

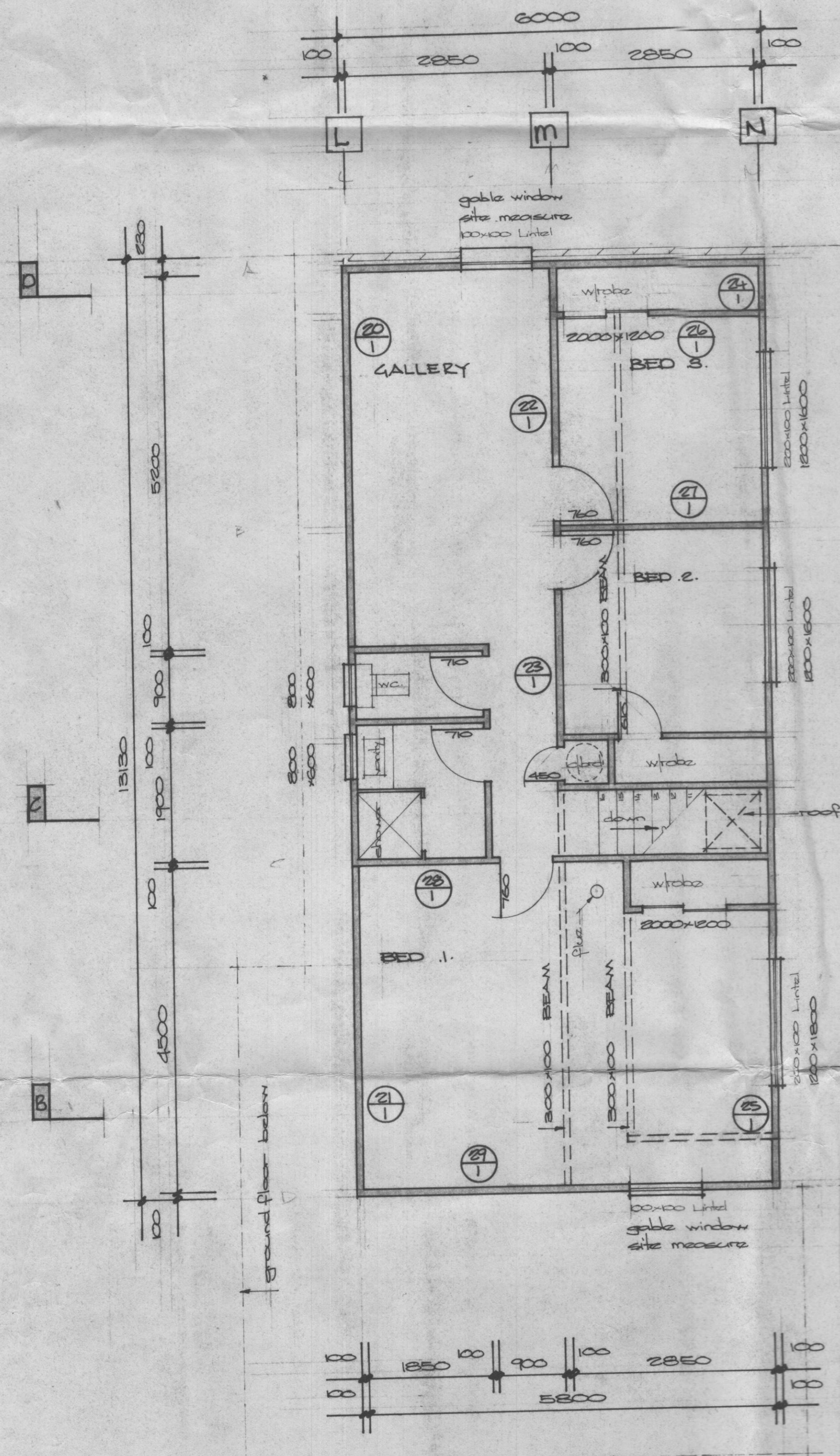


PROPOSED HOUSE FOR R. STUART.
AT MILNE PLACE RICHMOND.

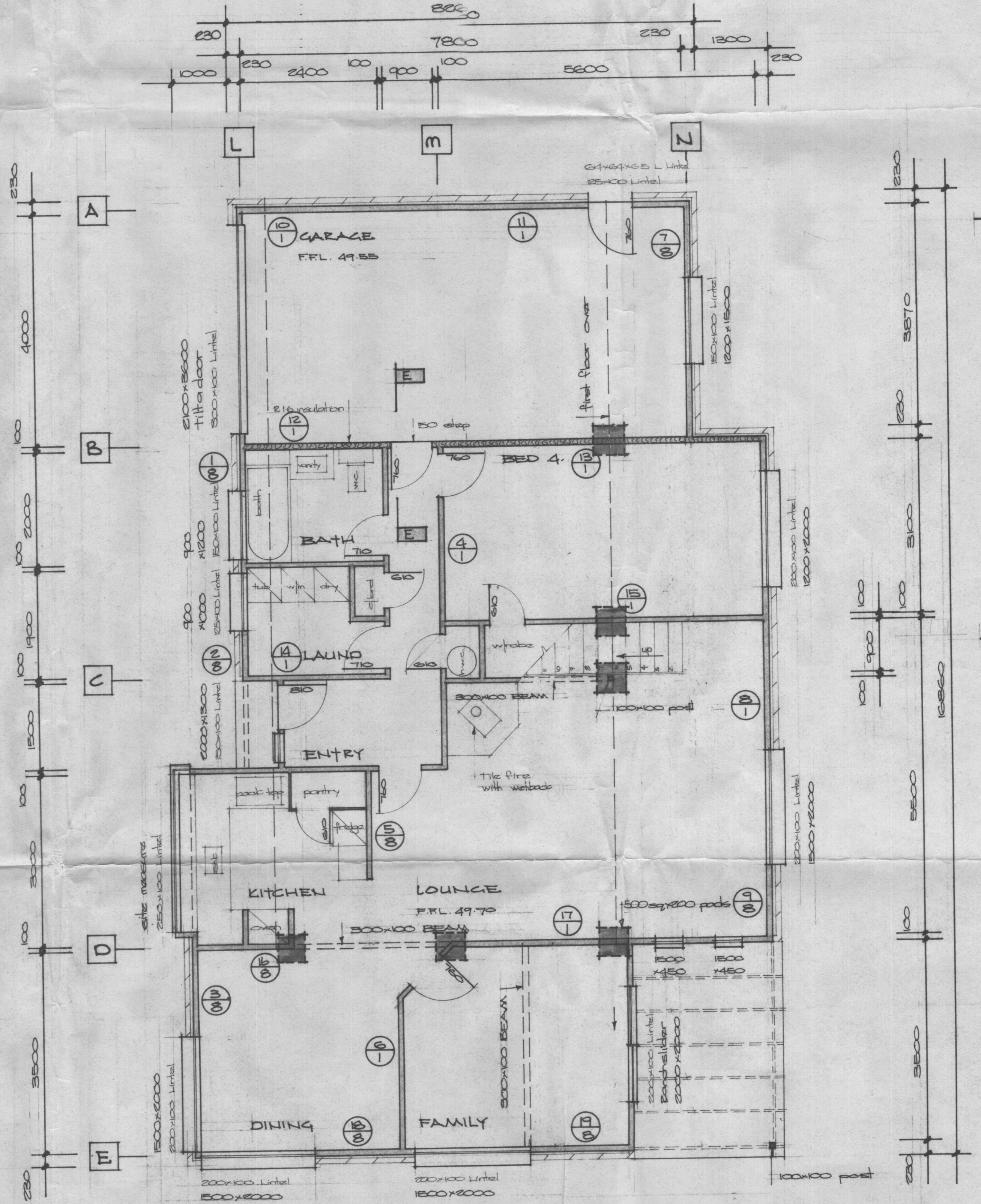
Neville R. Malcom,
Building Design Ltd
134 Bridge Street, Nelson.
Drawn by: S. Arps

Job No. 196b
March 1986

Dwg. No. 1
In set of 3



FIRST FLOOR
150



GROUND FLOOR
150

- (1/8) Brace number
Brace type
- A — Bracing Line

NOTE
 2-100x50 studs under an end
 of a beam support point
 2-in nail plates to an connection



PROPOSED HOUSE FOR
AT MILNE PLACE

R. STUART.
RICHMOND.



Neville R. Malcolm,
Building Design Ltd
134 Bridge Street, Nelson.
Drawn by: S. Arps

Job No. 1966
March 1986

Dwg. No. 2
In set of 3

RICHMOND BOROUGH COUNCIL

Application for Drainage/Plumbing Permit

D.R. for Pbg - Jmg [unclear]
 21 MAR 1986

TO: Borough Inspector
 RICHMOND BOROUGH COUNCIL

File No 6 *Blue file.*

Sir,

I hereby apply for a permit to undertake Drainage/Plumbing work as indicated by the description (tick detail), at the land described hereunder, and as detailed in the 2 sets of plans and specifications attached.

Description of work: To drain + plumb dwelling house for RW + SF. STUART
Milne Place Lot 14.

DRAINAGE

Sewer	New work	<u>34</u> m	<input checked="" type="checkbox"/>	Alteration	<input type="checkbox"/>	Repair	<input type="checkbox"/>
Stormwater	New work	<u>30</u> m	<input checked="" type="checkbox"/>	Alteration	<input type="checkbox"/>	Repair	<input type="checkbox"/>
Septic Tank	New work	_____ m	<input type="checkbox"/>	Alteration	<input type="checkbox"/>	Repair	<input type="checkbox"/>

PLUMBING

Water Service Hot Cold Meter
Sanitary State how many of each.
 WC's _____ Urinals _____ Other Fittings _____ Soil Pipes _____

DESCRIPTION OF LAND: Val. No. _____ Lot 14 DP _____

No. and Name of Street of work: Milne Place.

Name and Address of Owner: R.U. & S.F. STUART 11 Dorset St. Richmond.

Name and Address of Regd. Drainlayer: N. CHING 4. Belmont Plc. Stolce.

Name and Address of Craftsman Plumber: MC DOWELL PLUMBING

PO BOX 3248 RICHMOND

(a) Total value of completed work \$ 8000.00 Fee payable on (b)
 (b) Value of work (minus retail costs of materials) \$ 2500.00 (see over) \$ 85.00

Signature of Qualified Applicant: [Signature]

Reg. No: 10126 Date: 17-3-86

NOTE: Permits will be applied for and issued to the Qualified Persons doing the work.

FOR OFFICE USE

Check description of land
 Permit No: 2456/2457
 Date of Issue: 21-3-86

Fees Paid: 85.00 Date: 20-03-86
 Receipt No: 9870
 Approved Notice Despatched: 22-8-86

3881 RAM 1 S

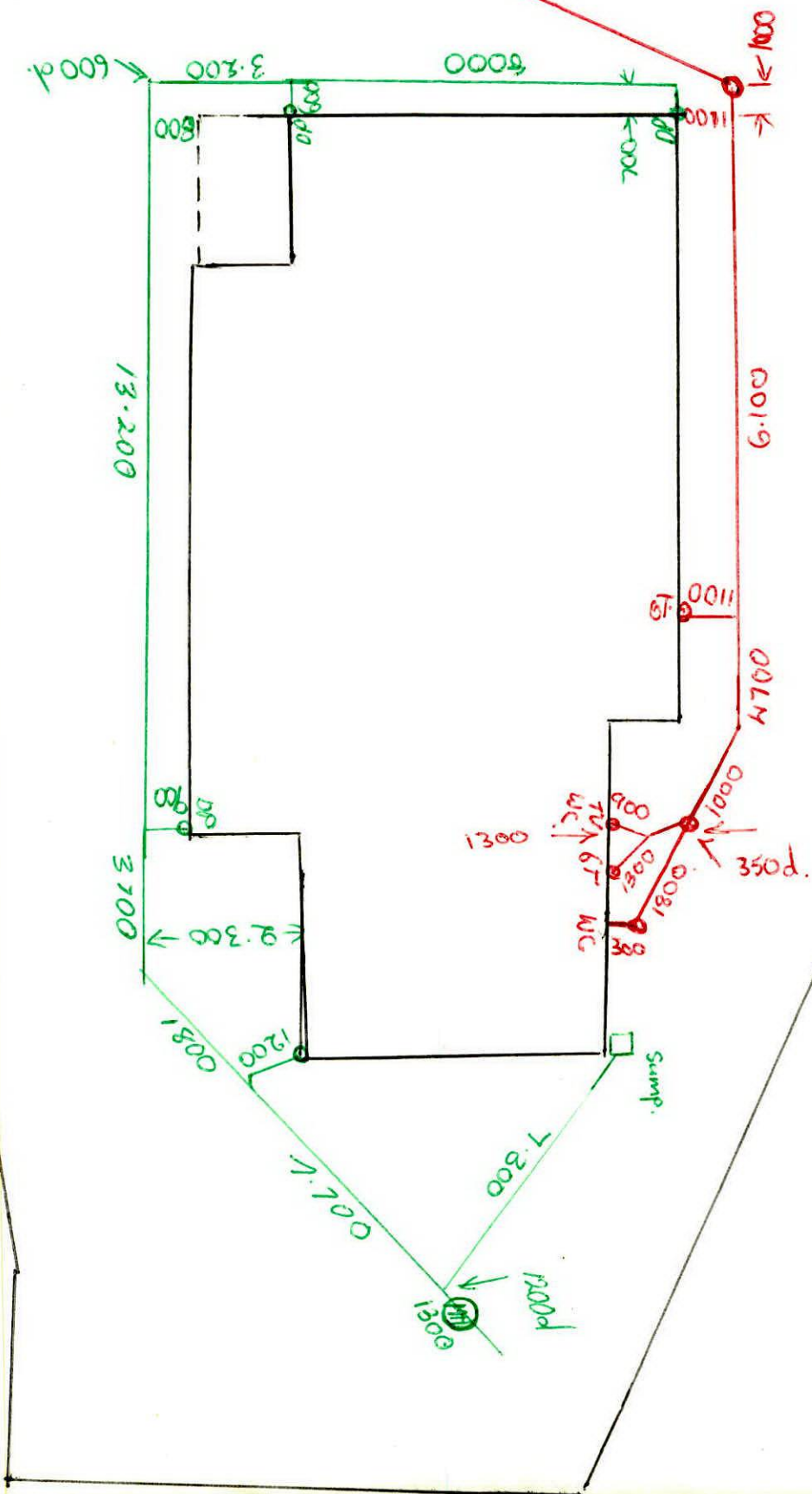
<u>Total Value of Works</u>		
<u>(Minus Retail Cost of Materials)</u>		<u>Fee</u>
up to:	\$ 200	15.00
	300	20.00
	400	25.00
	500	30.00
	600	35.00
	700	40.00
	800	45.00
	900	50.00
	1,000	55.00
	1,200	60.00
	1,400	65.00
	1,600	70.00
	1,800	75.00
	2,000	80.00

Plus \$1.00 additional fee per \$100.00 of work
(Minus Materials) value.

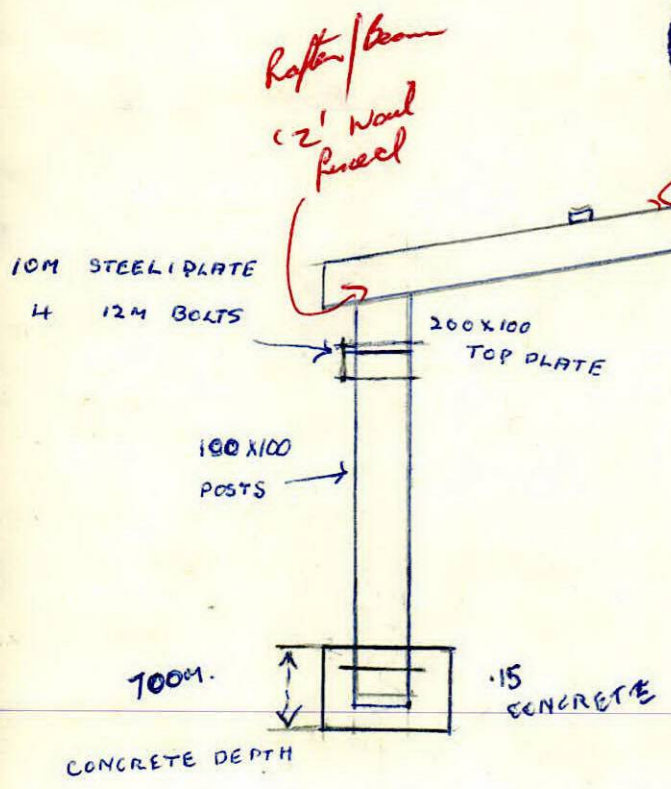
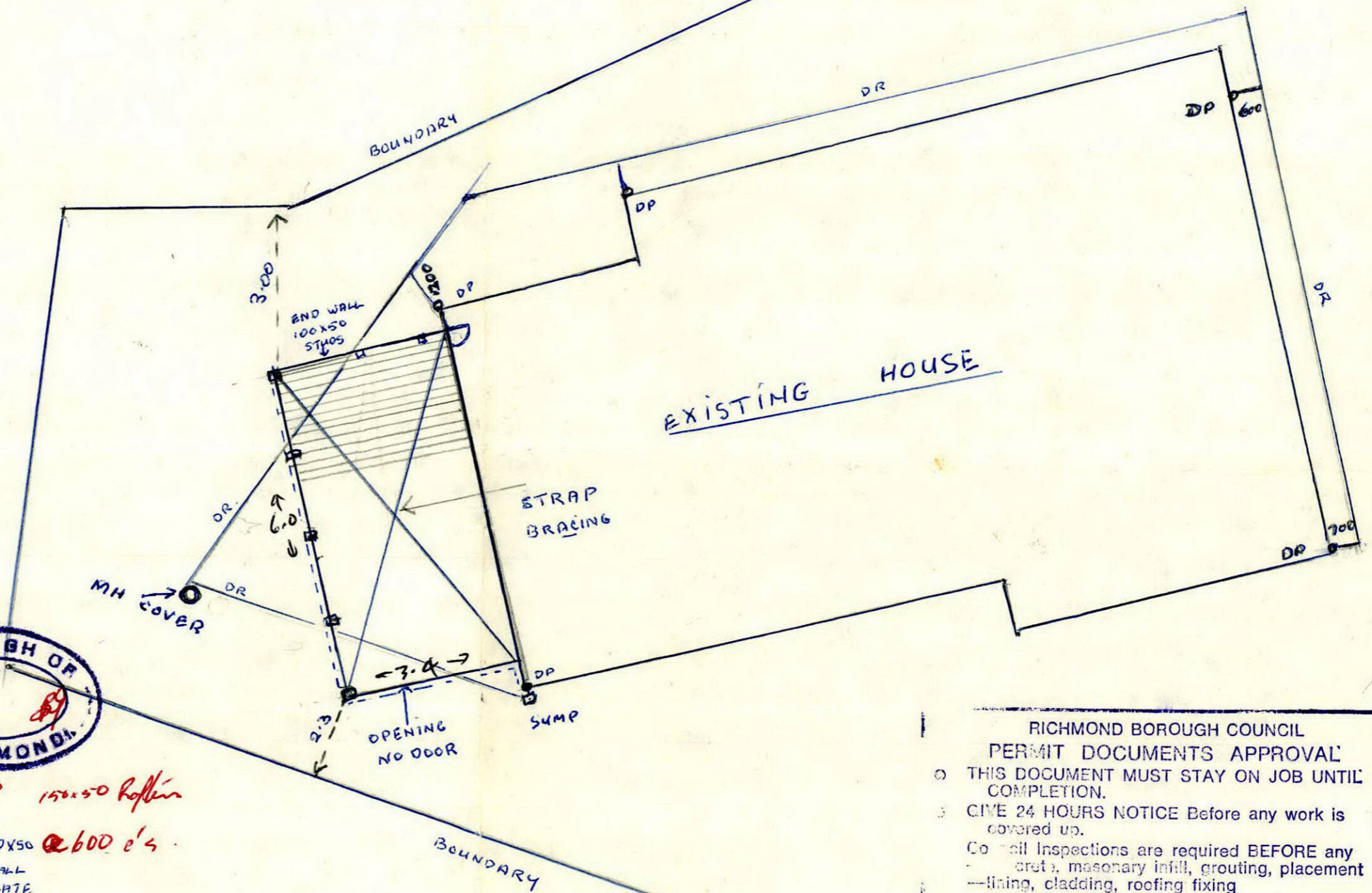
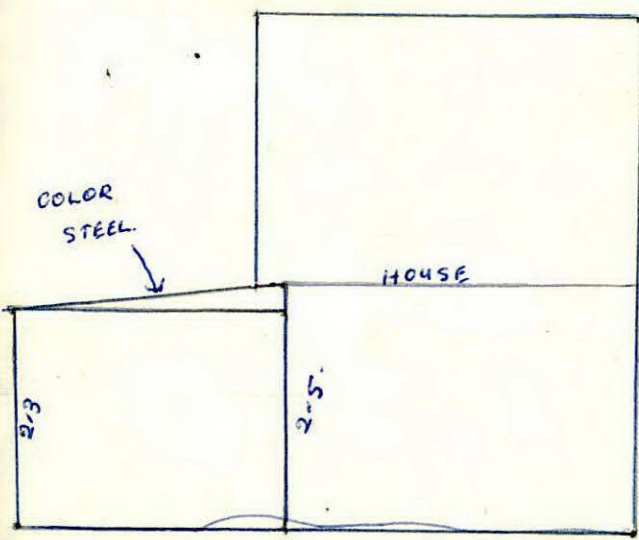
"SKETCH PLAN — NOT TO SCALE"

Driveway
to Milne Rd

41500
Lamp
hole
11900
800d.



AREA 6882
 HOUSE COVERAGE 18.48



- PURLINS 75 X 50 750 φ
- RAFTERS 150 X 50 600 φ
- BEAM 200 X 100
- ROOF COLOR STEEL
- BUILDING PAPER + NETTING

RICHMOND BOROUGH COUNCIL
 PERMIT DOCUMENTS APPROVAL

- THIS DOCUMENT MUST STAY ON JOB UNTIL COMPLETION.
- GIVE 24 HOURS NOTICE Before any work is covered up.
- Council Inspections are required BEFORE any
 - concrete, masonry infill, grouting, placement
 - lining, cladding, roofing fixing
 - structural frame enclosure
 - tim fixing, lining stopping
 - climbing, drainlaying, covering.
- Deviations from this Document requires further approval.
- Conditions of Permit Approval:

18 MAY 1988

Approval Date Approving Officer *[Signature]*

M.R & P.L. SHIRTLIFF

PROPOSED CARPORT.

NO 6 MILNE PLACE

DRIVE TO
 ↓
 MILNE PLACE

32/1

RECEIVED

31 JAN 1990

Tasman District Council
RICHMOND

6 MILNE PLACE

Jan 29th 1990.

TASMAN

DISTRICT COUNCIL

Dear Sir,

Last year we forwarded plans of a fence which we suggested could be constructed between our property & a walkaway leading from Milne Place. To date I have not received a reply to.

However I must confess to an interview with Mr. Williams who stated that the council would consider sharing the cost in the following financial year.

While some changes could be made to the plan forwarded I would appreciate some indication of the council's intention as we would like something done.

I would also mention the fact

that in order to keep the walkway
tidy we have been requested
to mow the area many times and
I don't think this is very fair.

yours Faithfully

P. H. + M. R. Shirliff

1961087800

~~R 3271~~

R A Williams

7 February 1990

Mr P L Shirtliff
6 Milne Place
RICHMOND

Dear Mr Shirtliff

RE: FENCE MILNE PLACE

Your letter has been forwarded on to me, as fencing comes within my jurisdiction.

I was led to believe during our discussion of the boundary fence on your property and Councils, the fence would be erected in early April, as Council had insufficient funds to undertake any fencing this financial year.

I will send the building maintenance officer to see you to inspect the alterations you require. You will be aware however that it is a boundary fence and both parties have to reach an agreement.

During our discussions I informed you that the Reserves Department would take the responsibility of mowing this access and I was under the impression that this had happened. ~~on~~ investigation with the staff who undertake these duties, they inform me that every time they come to do the mowing, it has been done.

I would suggest that you stop mowing now as the mowing will be done when the staff do the circuit.

Yours faithfully

R A Williams
PARKS & RESERVES SUPERINTENDENT

Application for Building Consent

This application is made under Section 33 of the Building Act 1991

To: Tasman District Council

Building Consent No: 962143

Date Issued: 16-12-96

APPLICATION DETAILS

Applicant*

LINDSAY GORDON CAMPBELL

Full name of applicant

6 MILNE PLACE

Postal Address

RICHMOND

Name and Address for Service (if different to above)
(Name and Address to which documentation will be sent)

Contact Name

Postal Address

Phone

Fax

*Under Section 33 of the Building Act, the applicant must be the owner of the land on which building work is contemplated or a person who or which has agreed in writing, whether conditionally or unconditionally, to purchase the land or any leasehold estate or interest in the land, or to take a lease of the land, while the agreement remains in force.

Project Location

6 MILNE PLACE

Street Address

RICHMOND

Legal Description

LOT 14 DP 12551

8

Valuation Number

19610 - 87800

FILE

This Application is for:

Building Consent only, in accordance with project information memorandum

No. _____

Both building consent and a project information memorandum.

Project Description

- New Dwellings
- Alterations to Dwellings(s)
- Domestic Garage(s)
- Shed(s) and Other(s)
(e.g. foundations demolition)
- Heating
- Commercial / Industrial

Indicate clearly details of building work, e.g. New dwelling with internal garage and installation of wood burner.

Intended Use

ADDITION OF ENSUITE OFF
MAIN BEDROOM WITH SHOWER
VANITY & TOILET

Total Estimated Value of Project

Total (Inc. GST) \$ 4000

Intended Life

- Indefinite life but not less than 50 years.
- Specified as _____ years
- Demolition

Being Stage _____ of _____ stages

Plan Zone

PROJECT DETAILS (Complete only if you have not applied separately for a project information memorandum)

This project involves the following matters (tick each applicable box, if any, and attach relevant information in duplicate):

- Location in relation to legal boundaries, and external dimensions of new, relocated, or altered buildings.
- New provisions to be made for vehicular access, including parking.
- Provisions to be made in building over, or adjacent to, any road or public place.
- New provisions to be made for disposing of stormwater and wastewater.
- Precautions to be taken where building work is to take place over existing drains or sewers or in close proximity to wells or water mains.
- New connections to public utilities.
- Provisions to be made in any demolition work for the protection of the public, suppression of dust, disposal of debris, disconnection from public utilities, and suppression of noise.
- Any cultural heritage significance of the building or building site, including whether it is on a marae.

BUILDING DETAILS

This application is accompanied by (cross each applicable box and attach relevant documents in duplicate):

The drawings, specifications and other documents according to which the building is proposed to be constructed, to comply with the provisions of the Building Code, with supporting documents, if any, including:

- Building Certificates
- Producer Statements
- References to accreditation certificates issued by the Building Industry Authority
- References to determinations issued by the Building Industry Authority
- Proposed procedures, if any, for inspection during construction

KEY PERSONNEL

	Name and Address	Phone	Regn. No.
Builder(s)	Russell Kerstake 40 Borden Road	5449404	
Registered Drainlayer	Neil King Drainlayers		
Craftsman Plumber	Mathew Ellis		
Building Certifier			
Designer			

Note: The Craftsman Plumber / Registered Drainlayer are to complete a separate advisory sheet. This advisory sheet is to be returned to Council prior to work commencing.

STATISTICAL INFORMATION

Floor area: _____ m² No. of dwelling units: _____ No. of storeys: _____

Total Site Coverage of ALL buildings: _____

GENERAL

1. Please note that a building consent does not give any form of consent under the Tasman Resource Management Plan. Any such consent should be obtained separately prior to the lodgement of an application for building consent.
2. **Tasman Resource Management Plan (the Plan)**
 - (a) A **relocated dwelling** requires a resource consent under Section 16.8 of the plan.
 - (b) If building with 200 m of a **coastline** you may require a resource consent under Sections 18.12 or 18.14 of the plan.

Please provide a copy of, or details of, any resource consent obtained which relates to your application for building consent.

3. Plans and Specifications

In order for processing to commence the following attachments will be required:

- | | |
|---|--------------------------|
| ★ Two sets of Plans and Specifications; | ★ Accurate Site Plan; |
| ★ Bracing Schedule & Subfloor Bracing; | ★ Cross-section; |
| ★ Certificate of Title; | ★ Truss Number; |
| ★ Accurate On-site Drainage Disposal System Plan; | ★ Schedule of Materials. |

In addition to the structural details required, the plans and sections shall show every floor of the proposed building, the dimensions, position and intended use of the rooms and the situation of the flues, fireplaces, stoves and chimneys. The plans and sections shall further show the levels, both existing and proposed, adjoining the building and the proposed means of water supply.

Drawings required for works such as garages, outbuildings, barns, carports etc. are: site plan, floor plan, cross-sections and two elevations only.

If the land you are building on is the result of a subdivision, please provide details of any building related matter included in that subdivision.

4. Site Plans are required to show:

- external boundary dimensions
- adjoining properties with current land use shown (eg. orchard, forestry etc).
An aerial photo would assist.
- location and size of all existing and proposed buildings on the property showing distances to boundaries and between the buildings.
- the position of north.
- if overhead wires are present.
- site access (if new construction)

5. Have you included the following details in support of this application (if applicable):

- Two sets of plans and specifications.
- Bracing schedule and subfloor bracing.
- Accurate onsite drainage disposal system plan.
- Proposed water supply.
- Accurate site plan.
- Cross section.

- Truss numbers.
- Schedule of materials.
- Certificate of Title.
- Any subdivision requirements that need to be met.

6. **Confidentiality**

Section 27 of the Building Act states that the application details shall be made available for public inspection. Subsection 3, however, allows an owner to mark plans and specifications as confidential due to copyright or security reasons.

Confidentiality requested for plans and specifications

7. **Connection Fees**

Depending on the area in which you build, and if you are connecting to the Council's sewerage or water schemes, a connection fee may be payable. For further information, please obtain the guide titled "Reminder - Sewer and Water Connection Fees" from Council offices.

8. **Development Impact Levy**

For building work with assessed value greater than \$50,000 (first dwellings exempt) a development impact levy is payable.

Signed: by/ for and on behalf of applicant: _____

(Russell Kestlake)

Position: _____

Builder

Date: _____

10/12/96

TASMAN DISTRICT COUNCIL OFFICES			
MAIN OFFICE	MOTUEKA SERVICE CENTRE	GOLDEN BAY SERVICE CENTRE	MURCHISON SERVICE CENTRE
189 Queen Street Private Bag 4, Richmond 7031 Ph: (03) 544-8176 Fax (03) 544-7249	7 Hickmott Place P O Box 123, Motueka Ph: (03) 528-7700 Fax: (03) 528-9751	78 Commercial Street P O Box 74, Takaka Ph: (03) 525-9516 Fax: (03) 525-9972	92 Fairfax Street P O Box 53, Murchison Ph: (03) 523-9004 Fax: (03) 523-9004

For Council Use Only

Checked by:	Initials	Date
Plumbing & Drainage		
Building		
Health		
Land Use		

Fees Payable (GST incl):

Resource Consent - Minor	\$ _____
Building / Plumbing / Drainage**	\$ _____
BRANZ Levy	\$ _____
BIA Levy	\$ _____
Temporary Accommodation Bond	\$ _____
Compliance Schedule	\$ _____
Sewer Connection	\$ _____
Stormwater Connection	\$ _____
Water Connection	\$ _____
Development Impact Levy	\$ _____
TOTAL	\$ _____

Approved for Issue of Building Consent:

Technical Officer _____

(Signature) for K.V.I.

Date: _____

13/12/96

Tax Invoice Sent/...../.....

Receipt No.

** Council bases its fee on the cost of processing the total building project as follows:

- Administration:** Receiving and issuing the consent plus checking plans etc. for Building Code compliance.
- Inspections:** Council is required to inspect certain stages and elements of construction for Building Code compliance.
- Code Compliance Certificate:** At the project's completion, Council will, if satisfied work complies to the Building Code, issue a certificate, which is an important document for future property dealings.

PIM / BUILDING CONSENT SCREENING

BC 962143
 Name: Lindsay Campbell
 Address: 6 Mihe Place
Richmond
 Valuation Roll No. 1961087800

RM _____
 Date Received: 13-12-96
 FI: _____
 FR: _____
 Due Date: _____

ATTACHMENTS

- | | |
|--|---|
| <ul style="list-style-type: none"> <input type="checkbox"/> Consent Application <input type="checkbox"/> Plumbing and drainage details <input type="checkbox"/> Two sets of Plans <input type="checkbox"/> Two sets of Specifications <input type="checkbox"/> Bracing Schedule <input type="checkbox"/> Cross Section <input type="checkbox"/> Schedule of Materials | <ul style="list-style-type: none"> <input type="checkbox"/> Contractors <input type="checkbox"/> Certificate of Title <input type="checkbox"/> Accurate Site Plan <input type="checkbox"/> Drainage Details <input type="checkbox"/> Water tank - Make and Size <input type="checkbox"/> Truss Number <input type="checkbox"/> Sub-floor bracing |
|--|---|

TASMAN RESOURCE MANAGEMENT PLAN

Zoning: _____

Is the activity a Permitted Activity: YES/NO


Signed: _____ Date: _____

BUILDING

Foundations	Bearers and joints
Insulation	Wall bracing
Lintels	Second floor joists
Cantilever lintels	Purlins
Rafters	Log burner
Garage beam	Daylight angle
Producer Statements	Building height
Subfloor bracing	Setbacks

A01	BG06	BG17	BG27
A02	BG08	BG18	BG28
A03	BG09	BG19	BG29
A04	BG11	BG20	BG30
BG01	BG12	BG21	BG31
BG02	BG13	BG22	BG32
BG03	BG14	BG23	BG33
BG04	BG15	BC25	BG34
BG05	BG16	BC26	BG35

Any Section 44 Systems, (e.g. fire alarms, emergency lighting etc)? Lighting + Ventilation, + Insulation to B/C Required.

Signed:  Date: 13/12/96

PLUMBING AND DRAINAGE

Sewerage disposal ✓
Stormwater disposal
Water supply

PD01 ✓	PD07 ✓	PD10
PD04 ✓	PD08 ✓	PD11
PD05 ✓	PD09	PD12
PD06 ✓		

Connection Fee:

Toilet Pans No.

ONE

(PD06 ~~New Dwelling~~ New Ensuite)

Signed: _____

Date: _____

HEALTH

Signed: J.I.F

Date: 13/12/96

OTHER

Signed: _____

Date: _____

OTHER TASMAN RESOURCE MANAGEMENT PLAN MATTERS

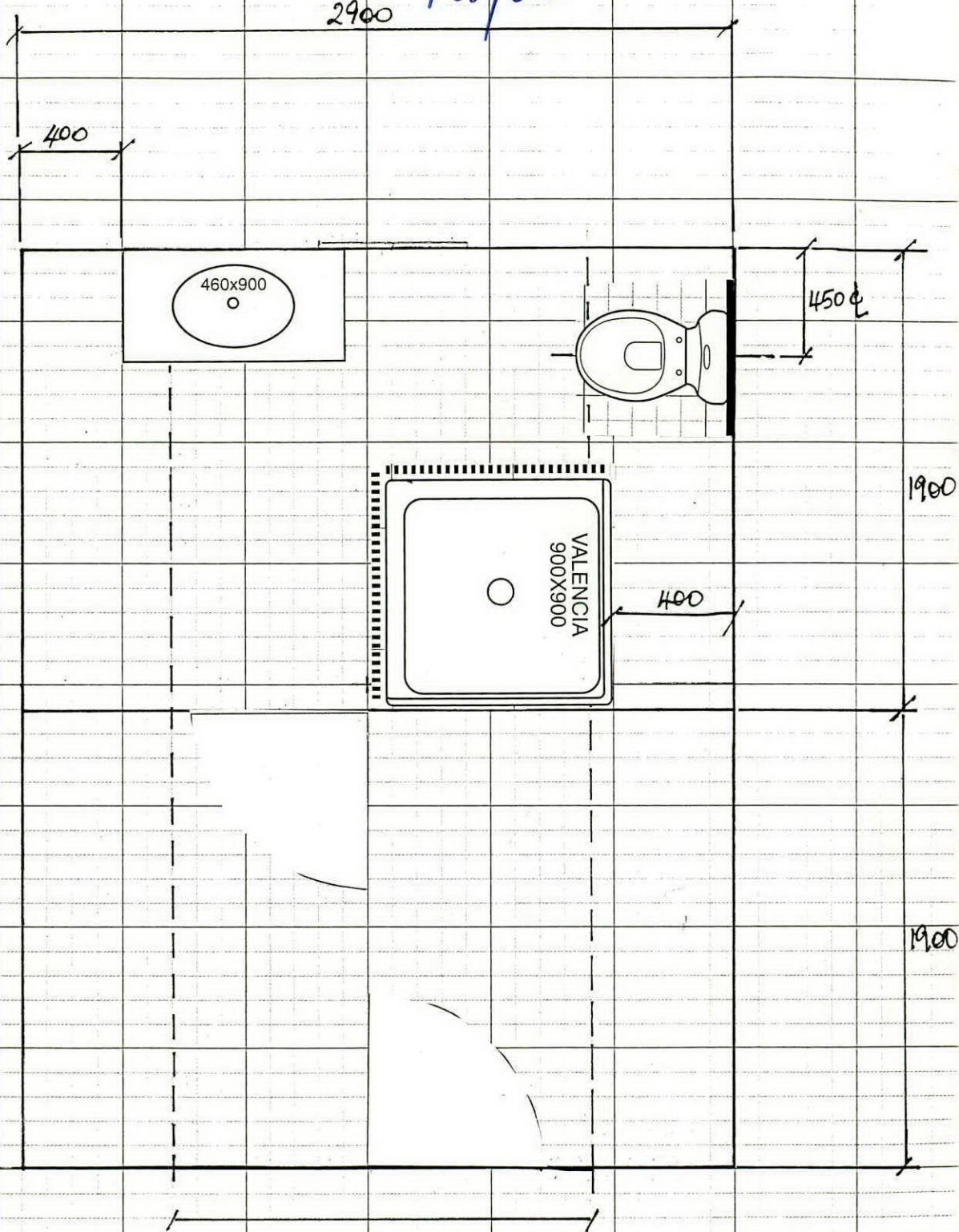
Number of residential units per site: _____
Total site coverage of all buildings: _____
Financial contribution (16.5) _____
Relocated dwelling (16.8) _____
Earthquake hazard (16.9) _____
Historic Place / Arch site (18.1) _____

Landscape Priority (18.3) _____
Land Disturbance (18.6) _____
Residential Restriction Area (18.9) _____
Flood Hazard Area (18.11) _____
Coastal Issues (18.12 or 18.14) _____
Slope Instability (18.15) _____

**CHECK THE PROPERTY ON THE PLANNING MAPS TO PROVIDE MANY ANSWERS TO ABOVE.
ALSO A COMPUTER PROPERTY ENQUIRY WILL ASSIST.**

GRAPH PAPER

Proposed layout



Bedroom side

1 metre =

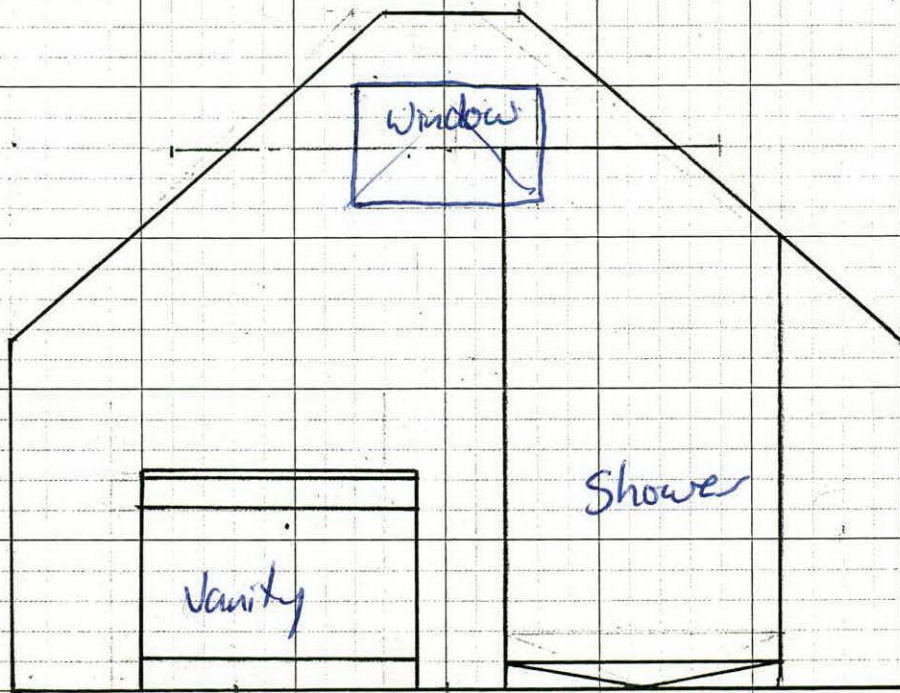


Vogue

caroma

plumbing world
EXPERIENCE IT!

Side elevation.



1 metre =



Vogue

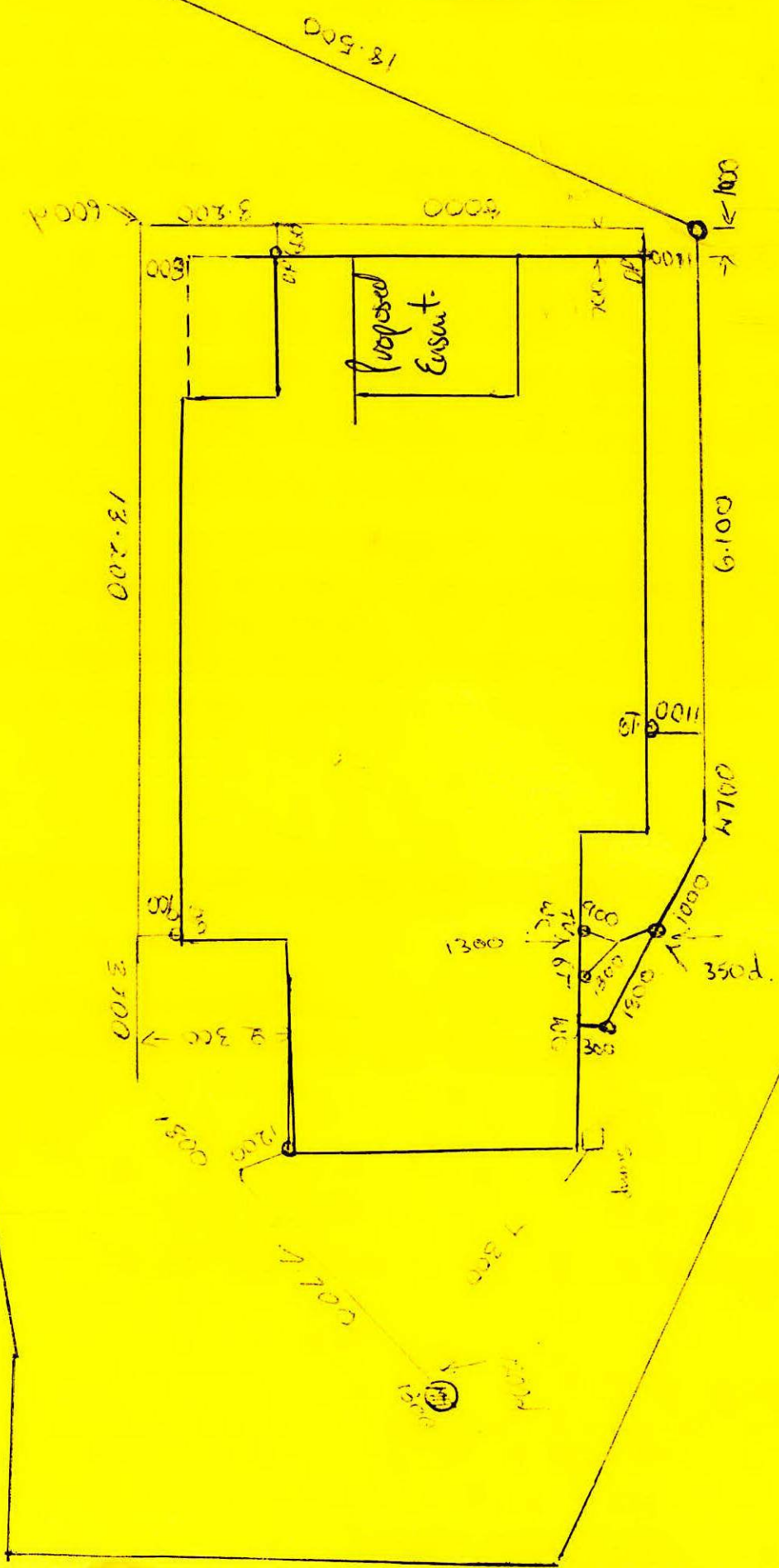
caroma

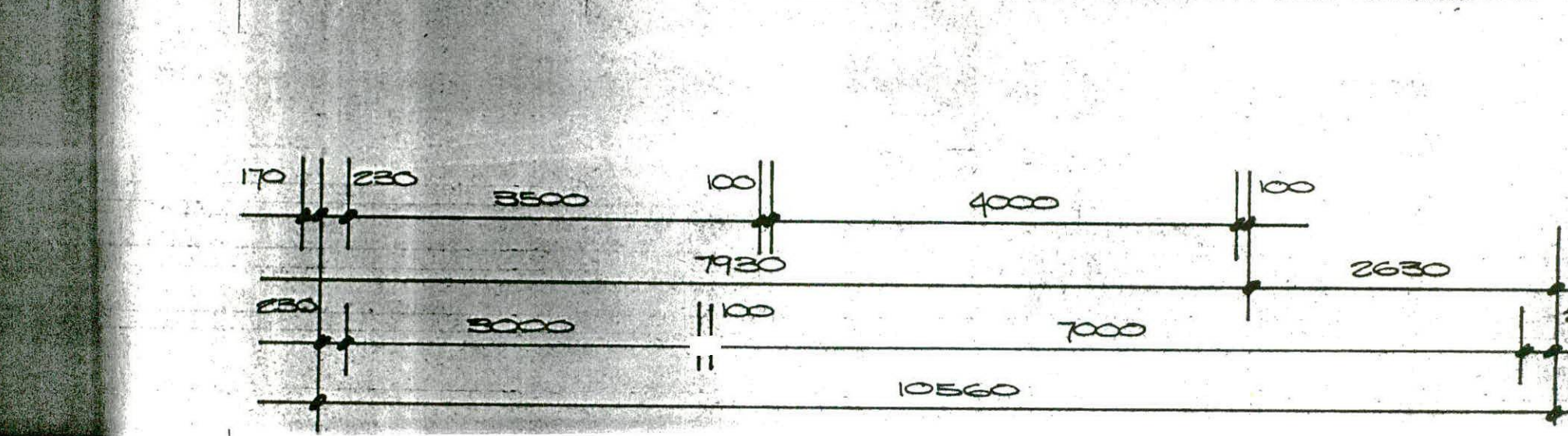
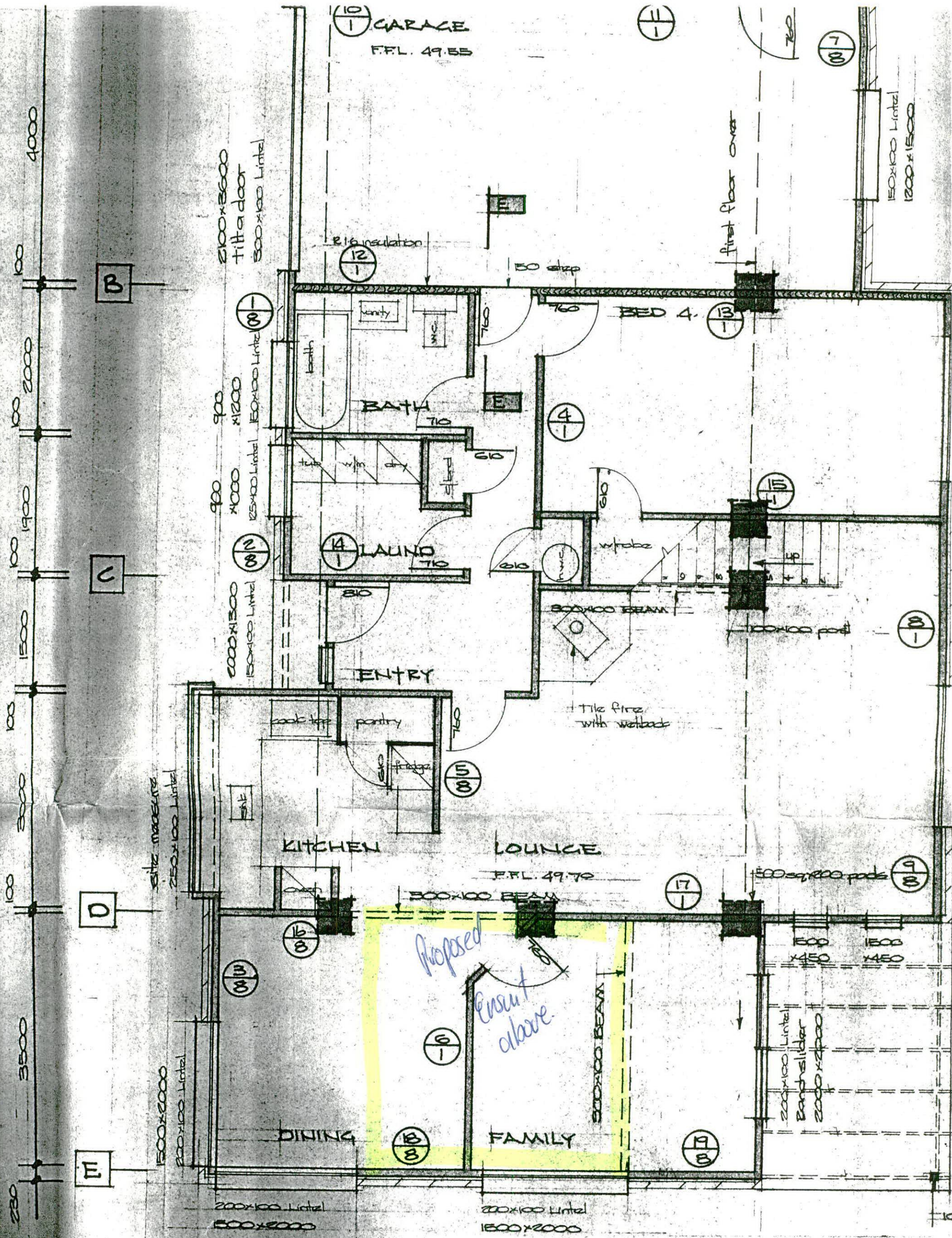
plumbing world
EXPERIENCE IT!

"SKETCH PLAN — NOT TO SCALE"

Driveway
to Milne R. →

500 ft
1.1
Camp
Hick





GARAGE
F.F.L. 49.55

first floor over

230
3500
100
3000
100
1500
100
1900
100
2000
100
4000

A
B
C
D
E

200x300
Tilt a door
300x100 Lintel

900
1000
1200
125x100 Lintel
150x100 Lintel

200x1300
150x100 Lintel

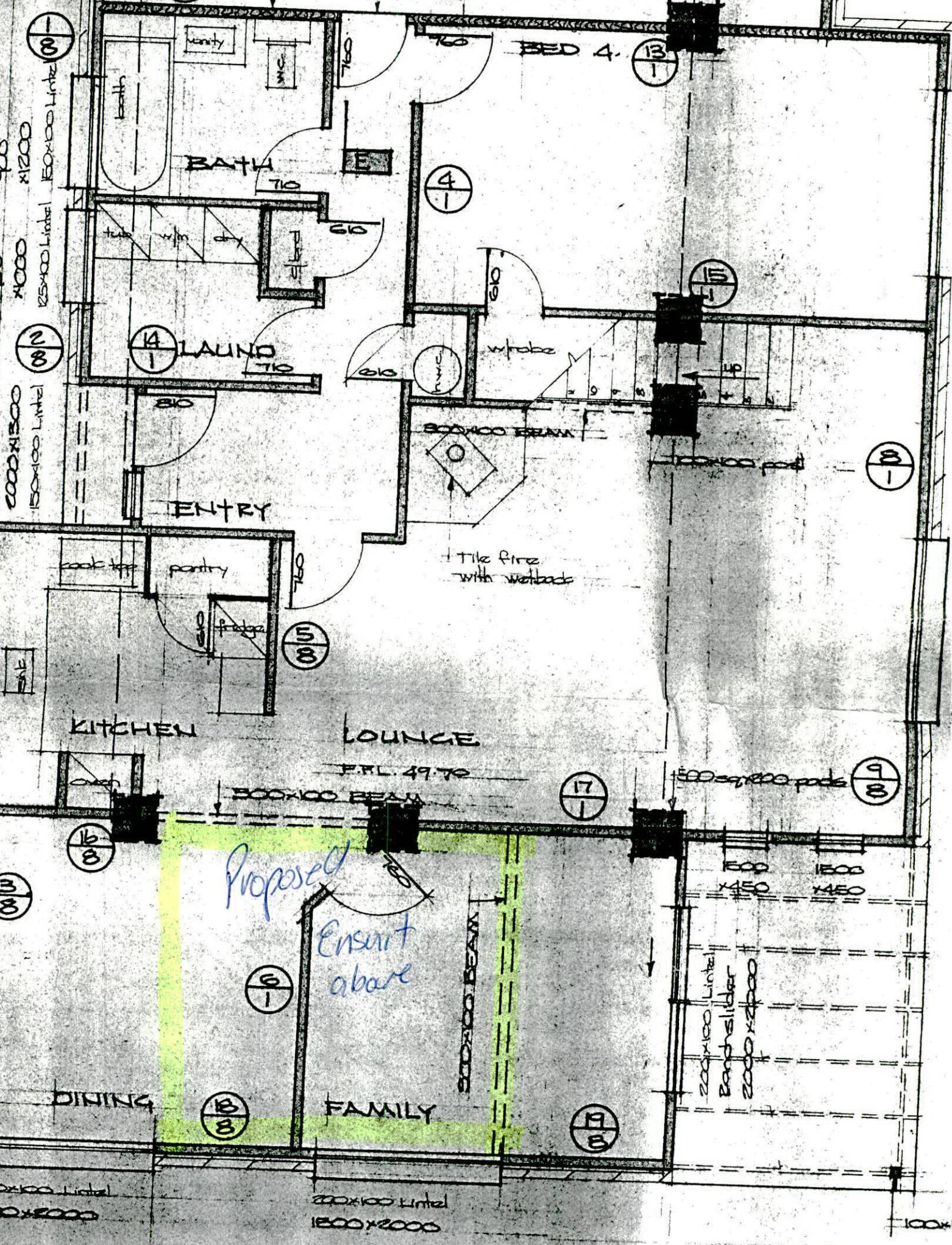
slitz window
250x100 Lintel

1500x2000
200x100 Lintel

200x100 Lintel
500x2000

200x100 Lintel
1800x2000

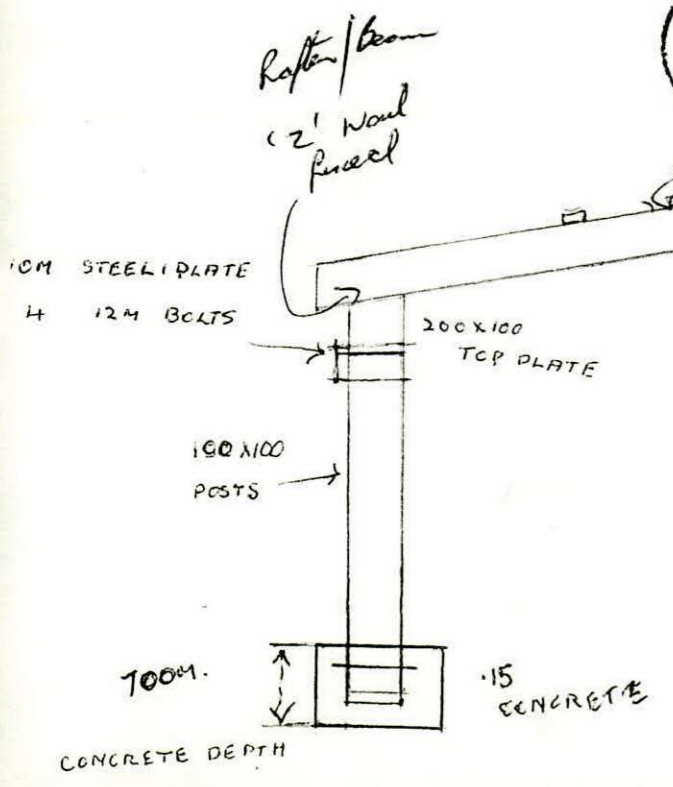
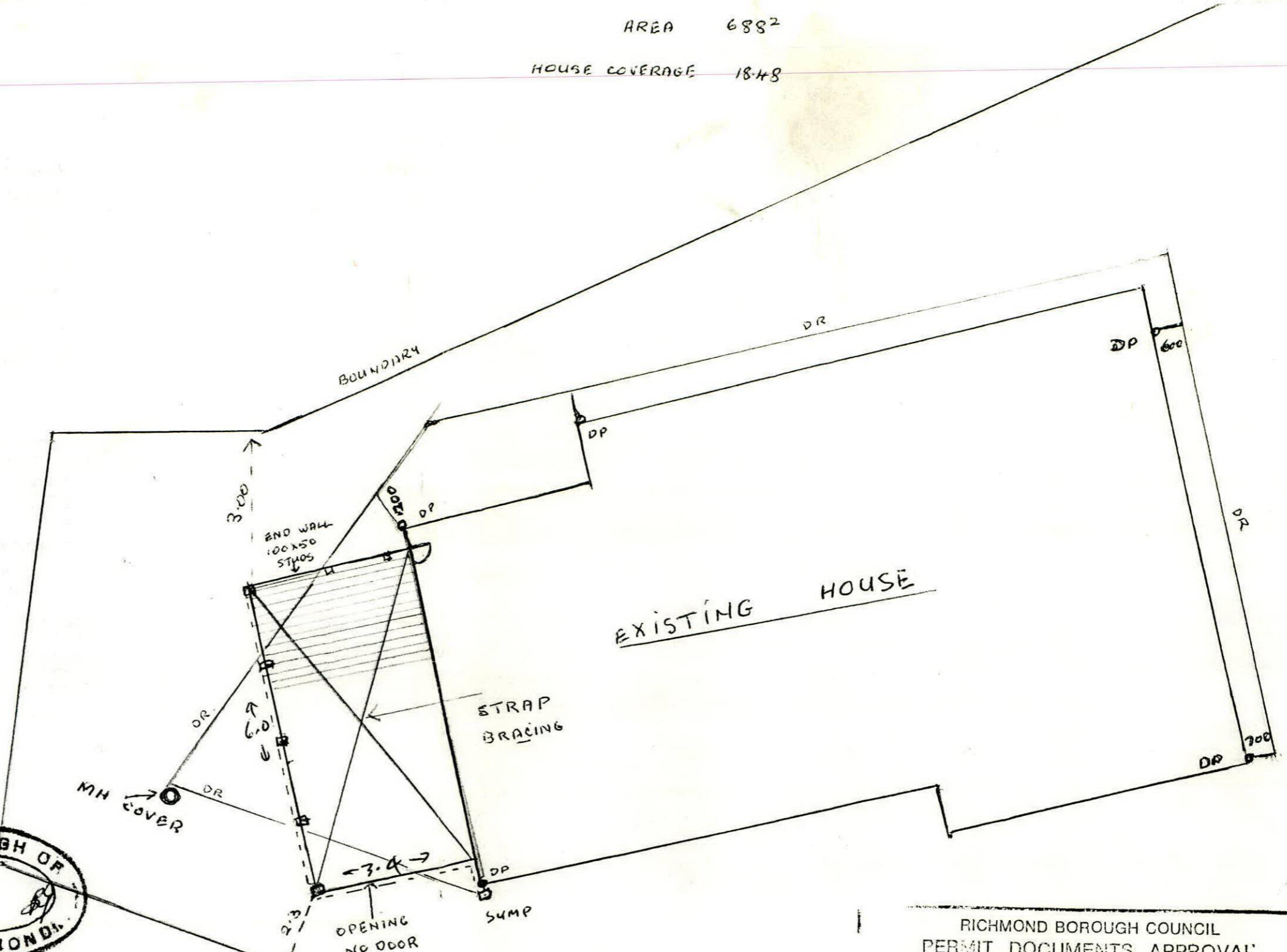
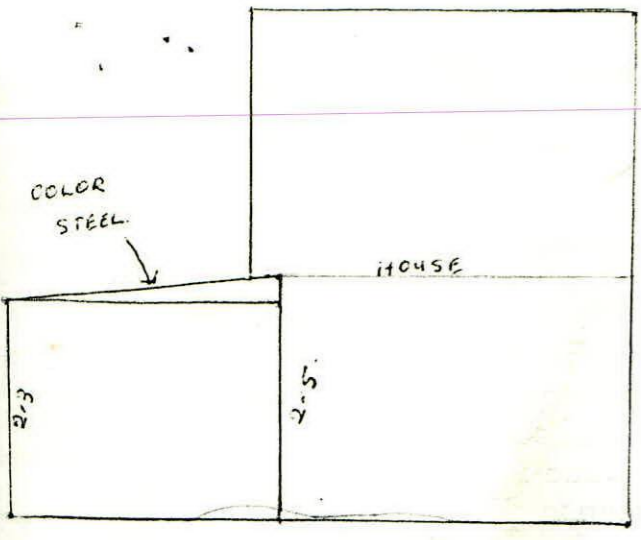
150x100 Lintel
1200x1500



Proposed
Insert above

170
230
3500
100
1920
230
5000
100
4000
7000
10560
100
2630
230

AREA 6882
 HOUSE COVERAGE 1848



150x50 Rafter
 @ 600 c/s

- PURLINS 75x50 750¢
- RAFTERS 150x50 600¢
- BEAM 200x100
- ROOF COLOR STEEL
- BUILDING PAPER & NETTING

M.R & P.L. SHIRTLIFF

RICHMOND BOROUGH COUNCIL
 PERMIT DOCUMENTS APPROVAL

THIS DOCUMENT MUST STAY ON JOB UNTIL COMPLETION.

GIVE 24 HOURS NOTICE Before any work is covered up.

Council Inspections are required BEFORE any

- masonry infill, grouting, placement
- lining, cladding, roofing fixing
- structural frame enclosure
- trim fixing, lining stopping
- plumbing, drainlaying, covering.

Deviations from this Document requires further approval.

Conditions of Permit Approval:

18 MAY 1988

Approval Date Approving Officer *[Signature]*

PROPOSED CARPORT.

RIVE TO
 - MILNE PLACE

Property owners have a legal obligation under the Plumbers Gasfitters and Drainlayers Act 1978 and the Building Act 1991 to have a craftsman plumber and registered drainlayer carry out their appropriate trade Failure to do so will lead to legal action

**TASMAN DISTRICT COUNCIL
APPROVED CONSENT DOCUMENT**

THESE ARE THE PLANS / SPECIFICATIONS REFERRED TO IN BUILDING CONSENT No: 962143

- THIS DOCUMENT MUST STAY ON JOB UNTIL COMPLETION
- GIVE 24 HOURS NOTICE before any work is covered up
- Council inspections are required BEFORE any:
concrete, masonry infill, grouting, placement, lining, cladding,
roof fixing, structural frame enclosure, trim fixing, lining stopping,
plumbing, drainlaying, covering.
- Deviations from this Document require further approval
- Consent holder is responsible and liable for any damage as a result of this work being carried out.

● Date: 16.12.96 Building Consent No. 962143

SIGNED: [Signature]



Tasman District Council

189 Queen Street, Richmond 7020

building.support@tasman.govt.nz

03 543 8400

BC250239

Alpha ID: 250239

Application Type: Building Consent

Site Address: 6 Milne Place, Richmond

Project Description: Install a freestanding wood burner

Project Status: Code Compliance Certificate Issued

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Form 7: Code Compliance Certificate	95

Form 2:

Application for project information memorandum and/or building consent

SECTION 33 OR SECTION 45, BUILDING ACT 2004

The building

Street address of the building 6 Milne Place, Richmond 7020

Legal description of land where building is located

Legal description LOT 14 - DP 12551

Valuation roll numbers 1961087800

Other legal description Lot 14 DP 12551

Building name Main building

Location of building within site/block number No information provided

Number of levels 2

Number of occupants undefined

Level/unit number No information provided

Area Total: 230m², Change: 0m²

Current, lawfully established, use 2.0.2 Housing Detached dwelling with undefined occupants

Year first constructed 1986

Will the building work result in a change of use of the building? No

Intended life of the building 50+ years

The owner

Name of owner Lindsay Gordon and Anthea Faye Campbell

Mailing address 6 Milne Place, Richmond 7020

Street address/registered office	6 Milne Place, Richmond 7020
Landline	0212778941
Mobile	0212778941
Facsimile number	No information provided
Email address	mlcinvestment@gmail.com
Website	No information provided
The following evidence of ownership is attached to this application	Other document showing full name of legal owner

The agent

Name of agent	Tasman Bay Chimney Services Ltd
Contact person	Teresa McKay
Mailing address	117 Bartlett Road, Hope, Richmond 7081
Street address/registered office	117 Bartlett Road, Hope, Richmond 7081
Landline	0210773487
Mobile	0210773487
Facsimile number	No information provided
Email address	tasmanbaychimneys@gmail.com
Website	No information provided

First point of contact for communications with the council/building consent authority

Full name	Tasman Bay Chimney Services Ltd
Mailing address	117 Bartlett Road, Hope, Richmond 7081
Landline	0210773487
Mobile	0210773487
Facsimile number	No information provided
Email address	tasmanbaychimneys@gmail.com

Application

I request that you issue a building consent for the building work described in this application.

Application Type	Building Consent - Form 2
------------------	---------------------------

Reference Code	BLD2025051332
Applicant Name	Teresa McKay
Applicant Role	Agent, Assessment Primary Contact, Inspections Primary Contact, CCC Primary Contact
Pre-application reference number	N/A
Signature of agent on behalf of and with the authority of the owner	Teresa McKay
Date	Mar 27, 2025

The project

Description of the building work

Replacing an existing fire with a Masport Kaituna Pedestal and Masport Flue System (2 storey chimney will be triple skinned all the way and passes through a wardrobe up stairs

List building consents previously issued for this project (if any) None

Estimated value of the building work on which the building levy will be calculated (including goods and services tax): \$5000

Restricted building work

Will the building work include any restricted building work? no

Building consent

The following plans and specifications are attached to this application

1. Floor Plan - 6 Milne Place Richmond.pdf

The building work will comply with the building code as follows

Clause	Means of compliance	Waiver/modification required
B1 Structure	AS1	
B2 Durability	AS1	
E2 External moisture	AS1	
F7 Warning systems	AS1	

Compliance schedule

There are no specified systems in the building.

Attachments

Evidence of ownership

Rates - 6 Milne Place Richmond.pdf

Plans and specifications

Floor Plan - 6 Milne Place Richmond.pdf

Other

Kaituna Pedestal, Roofline Diagram, Soaker Dektite, Masport Flue Specs Combined Council Docs.pdf

Date Submitted: Thursday, 27 March 2025

FORM PLG 1

National Environmental Standard (NES) for Assessing and Managing Contaminants in Soil to Protect Human Health

For assistance in answering these questions please refer to (PLG 1A)

Please note that any inaccuracies may result in the applicant being in breach of the Resource Management Act 1991 and/or exposed to liability if the site is subsequently found to be contaminated, including being liable for remedial works.

Is the building work and all associated activities:

Changing the use of the land?

NO

(Please note that "changing the use of the land" includes erecting a dwelling on an area of land which previously had no dwelling erected upon it.)

Disturbing soil?

N/A

*(more than 25m³ per 500m² of land) or removing soil? (more than 5m³ per 500m² of land)
(e.g.: foundations, on-site effluent treatment and disposal systems, wells or bores)*

For more information on this process please contact the Duty Planner on (03) 543 8400 or go the Ministry for the Environment website: <http://www.mfe.govt.nz/laws/standards/contaminants-in-soil/>



Signature

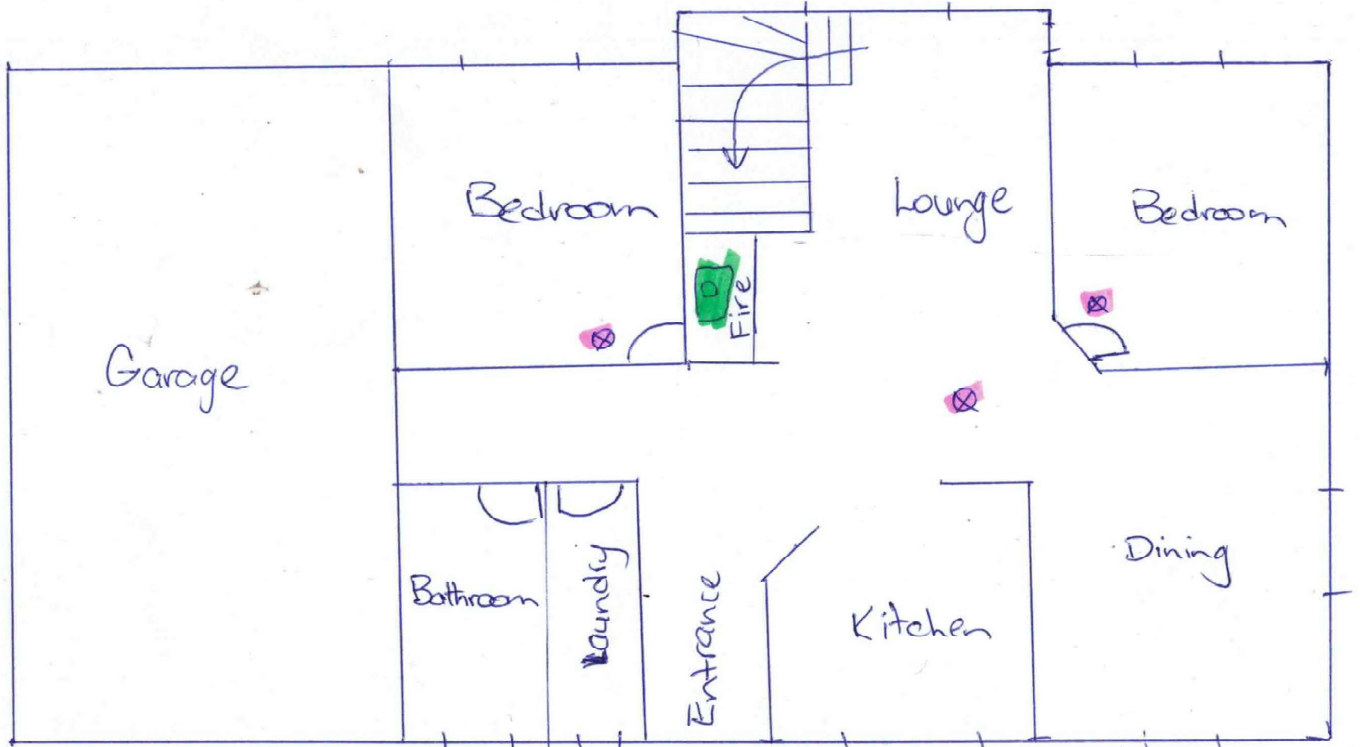
The name below as AGENT has the authority for the application to proceed to processing and accept the associated charges.

Signed By:

Teresa Mckay

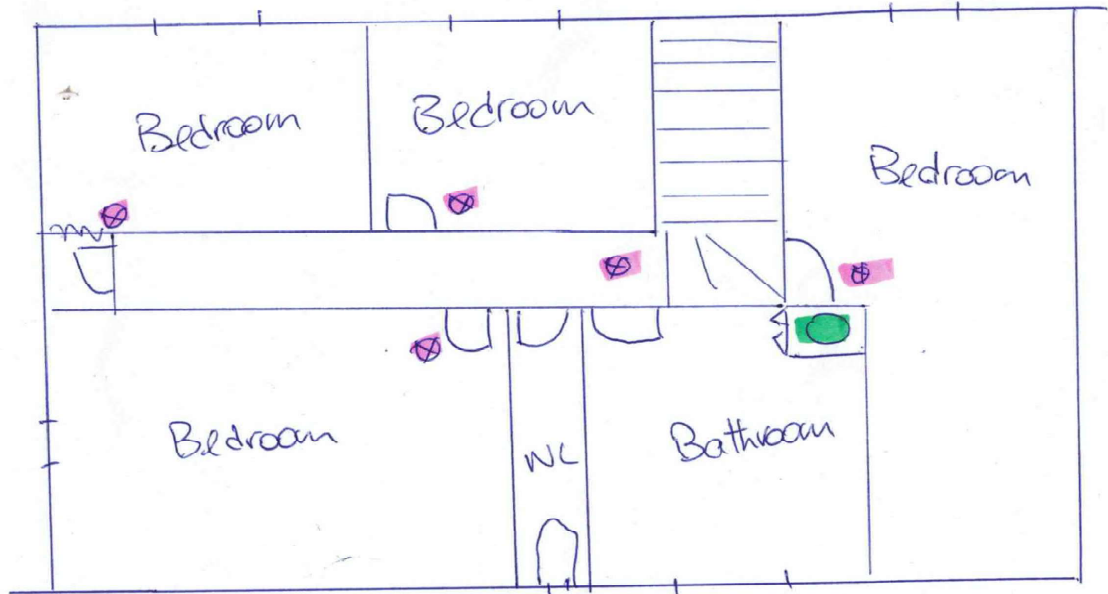
2025-03-27 13:39

The Agent will be the first point of contact for communications with the Council/Building Consent authority regarding this application / building work and will receive all correspondence including all invoices.



6 Milne Place Richmond - GROUND FLOOR.

☒ Smoke alarms - interconnecting



6 Milne Place Richmond - TOP FLOOR
⊗ interconnecting smoke alarms
● Fire penetration on second floor



Te Kaunihera o

te tai o Aorere

189 Queen Street, Private Bag 4, Richmond 7050

Ph 03 543 8400, Fax 03 543 9524

Email: rates@tasman.govt.nz

Lindsay Gordon Campbell
Anthea Faye Campbell
6 Milne Place
Richmond 7020

RATES INVOICE

Tax Invoice / Credit Note	(G.S.T) Reg No 51-076-806
Instalment Number	3 of 4
Instalment Date	25 January 2025
Rating Year	1 July 2024 to 30 June 2025
VALUATION ROLL NUMBER	19610-87800
Capital Value	\$890,000
Land Value	\$395,000
Area	688 sq m
Location	6 Milne Place Richmond
Legal Description	LOT 14 DP 12551

Paying by Internet Banking?

Pay into Bank Account No: 12-3193-0002048-03

Use this reference: 19610-87800

STATEMENT OF ACCOUNT

Payments received after 9 March 2025
are not included in this statement

Balance owing at 1 July 2024	\$0.37CR
Plus previous instalments charged	\$2,262.22
Plus penalty charges (GST exempt)	\$0.00
Plus/less adjustments	\$0.00
Less remissions	\$0.00
Less payments since 1 July 2024	\$3,127.56CR
This instalment (Includes \$147.54 GST)	\$1,131.12

TOTAL NOW DUE \$265.41
LAST DATE FOR PAYMENT 20 February 2025

This account will be paid by your Weekly Fixed direct debit of \$87.30

Total Annual Rates \$4,524.45
Total Annual Remissions \$0.00
Amount to clear rates to 30 June 2025 \$1,396.52

Details of rates shown overleaf



Te Kaunihera o

te tai o Aorere

Please note any change of postal address below:

Valuation Roll Number

19610-87800

Name

Lindsay Gordon Campbell
Anthea Faye Campbell

If a receipt is required, please **RETURN THE ENTIRE FORM** and tick this box.

This notice is for your information only.
Your account will be paid by Direct Debit as arranged.

ANNUAL RATES ASSESSMENT

DESCRIPTION OF RATES LEVIED	RATING CATEGORY DETERMINATION	FACTOR	VALUE OF FACTOR	RATE/CHARGE	AMOUNT
General Rate	Districtwide	Capital Value	890,000	0.2043c/\$CV	1,818.27
Uniform Annual General Charge	Districtwide	Fixed Amount	1	\$394.00/prope	394.00
Wastewater - 1st Pan	Service Prov	Fixed Amount	1	\$766.93/pan	766.93
WaimeaComDam-Env&ComBen-Distri	Districtwide	Fixed Amount	1	\$107.09/prope	107.09
WaimeaComDam-Enviro&ComBen-ZOB	Location	Capital Value	890,000	0.0097c/\$CV	86.33
Refuse/Recycling Rate	Location	Fixed Amount	1	\$152.54/prope	152.54
Shared Facilities Rate	Districtwide	Fixed Amount	1	\$65.86/proper	65.86
Mapua Rehabilitation Rate	Districtwide	Fixed Amount	1	\$4.53/propert	4.53
Museums Facilities Rate	Districtwide	Fixed Amount	1	\$79.35/proper	79.35
District Facilities Rate	Districtwide	Fixed Amount	1	\$139.34/prope	139.34
Urban Wat.Supply- Serv Chge	Service Provision-meter	Fixed Amount	1	\$437.99/meter	437.99
Regional River Works - Area Z	Location	Land Value	395,000	0.0141c/\$LV	55.70
Stormwater UDA	Location	Capital Value	890,000	0.0468c/\$CV	416.52
Total Annual Rates (incl GST)				\$4,524.45	

METERED WATER SUPPLY ASSESSMENT

A charge of \$3.56 per cubic metre of water supplied will be made for your water supply.

If you have metered water it will be invoiced separately at six monthly intervals and the final date for payment will be the 20th of the month following the invoice date. A penalty of 10% will be added to the amount of metered water rates remaining unpaid on the day after the due date for payment.

RATING INFORMATION

1. EXPLANATION OF RATES INSTALMENT SYSTEM

	Instalment Date	Due Date	Period Covered
INSTALMENT 1	25 July	20 August	1 Jul - 30 Sept
INSTALMENT 2	25 October	20 November	1 Oct - 31 Dec
INSTALMENT 3	25 January	20 February	1 Jan - 31 Mar
INSTALMENT 4	25 April	20 May	1 Apr - 30 Jun

Each instalment is one quarter of the Total Annual Rates payable for the year.

2. ADDITIONAL CHARGE ON UNPAID RATES:

- A penalty of 10% will be added to the amount of rates remaining unpaid on the day after the above due dates for payment.
- A penalty of 5% will be added to rates that remain unpaid from previous years as at the date 5 working days after the date on which the Council passes a resolution authorising penalties, and an additional penalty will be added at six monthly intervals thereafter.

3. PROPERTY SALES

Please urgently notify your solicitor if:

- You have sold this property and this assessment is still in your name.
 - You have recently purchased this property and this assessment shows rate arrears.
- Until either of the above situations are corrected, you are responsible for the rates.

4. SUBDIVISIONS

If a property is subdivided during a rating year the assessment details remain the same until the next rating year. It is the responsibility of the original owner to settle the rates with the Council.

5. INSPECTION AND OBJECTION TO RATING INFORMATION AND RECORDS

As the ratepayer for this rating unit you have the right to inspect Council's Rating Information Database and rates records and object on certain grounds set out in the Local Government (Rating) Act 2002. All objections will be determined by Council.

6. REMISSION AND RATES RELIEF POLICIES

A summary of Council's remission policies/rates relief policies are included with the rates assessment/invoice for instalment one and are available on request, and on our website.

COUNCIL OFFICES

Tasman District Council	Email: rates@tasman.govt.nz	Website: www.tasman.govt.nz	24 hour assistance
Richmond	189 Queen Street, Private Bag 4, Richmond 7050, New Zealand		Phone 03 543 8400 Fax 03 543 9524
Murchison	92 Fairfax Street, Murchison 7007, New Zealand		Phone 03 523 1013 Fax 03 523 1012
Motueka	7 Hickmott Place, PO Box 123, Motueka 7143, New Zealand		Phone 03 528 2022 Fax 03 528 9751
Takaka	78 Commercial Street, PO Box 74, Takaka 7142, New Zealand		Phone 03 525 0020 Fax 03 525 9972

Tasman District Council
Private Bag 4
Richmond 7050
New Zealand

PAYMENT OPTIONS

CASH/EFTPOS: Pay at any Council office

CREDIT CARD: Pay at any Council office or online at www.tasman.govt.nz/services/pay-online (fees apply).

DIRECT DEBIT: Can be weekly, fortnightly, monthly, quarterly or annually.

TELEPHONE/INTERNET BANKING: Bank Details on previous page.

NAMES AND POSTAL ADDRESS SUPPRESSION:

Under the provision of the Local Government (Rating) Act 2002 the names and postal address details of property owners held on the Rating Information Database will be available to any member of the public. However you will have the right to request that this information is withheld from the general public. If you wish to have your name and postal address data withheld from the information available to the public, please contact our Rates Department.

Please use your Valuation Roll as a reference when paying rates. Your water account when paying water.



KAITUNA

Ultra-low Emission Burner Installation & Operation Manual

Pedestal, Ash, Leg and Woodstacker models

**THIS MANUAL CONTAINS IMPORTANT INFORMATION.
PLEASE KEEP IT IN A SAFE PLACE FOR FUTURE REFERENCE.**

Manufactured in New Zealand by:
GLEN DIMPLEX NEW ZEALAND LIMITED
P.O. Box 58473, Botany, Manukau - 2163
Ph: 0800 666 2824
Fax: 09 274 8472
Email: sales@glendimplex.co.nz
Web: www.glendimplex.co.nz

Part No. 599753

*Glen Dimplex New Zealand Ltd reserves the right to change specifications, the content of this manual, or the design of its product without prior notice.

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1. Introduction

Congratulations!

You are now the owner of a **MASPORT KAITUNA** Ultra Low Emission wood Burner designed and developed by Glen Dimplex New Zealand Ltd.

Firstly, thank you for purchasing a Masport appliance.

Your new generation wood fire has been designed to provide you with all the warmth and comfort needed whilst having ULTRA LOW emissions to dramatically reduce the impact on the environment. Environment Canterbury has approved the installation of this burner throughout New Zealand, as it bears the MASPORT brand, it promises to provide you with the economy, safety, efficiency and quality.

To make the most out of your appliance, installing, operating, and maintaining the burner correctly is important. Please read this installation and operations manual **carefully** before installing or operating your Kaituna ULEB. Please take the time to understand the basic principles of this new burner which uses the latest combustion technology.

The bricks fitted in this burner are of a ceramic composition, they store invaluable heat to be released towards the end of the burn cycle while also reflecting heat into the ember bed creating a high combustion environment as well as increasing the radiant heat through the door glass. The baffle is made of stainless steel and supplies secondary air to aid the combustion process making for a cleaner hotter burn. This type of construction makes the heat durable and can reduce service costs in the long run.

2. Items supplied with the fire.

- 1 x Masport ceiling plate
- 1 x St/St Main Baffle
- 6 x Ceramic Bricks
- 1 x Installation and Operation Manual which includes.
 - The Technical and Clearance Specification.
 - Installation guidelines
 - The Brick & Baffle Layout

3. Handling and Transport

The Kaituna appliance has a **Net weight of 130kg.**

Masport recommends that a minimum of 2 people handle the heater while moving it around and in positioning.

It is also recommended that suitable handling and safety equipment be used where applicable, removing items like the baffle, bricks and the door will help reduce the weight of the heater during installation process.

Supplied in a wooden crate to reduce the risk of transport damage, if there is any visible damage to the crate, please inspect the heater and notify your retailer if there is any damage.

4. Notes

- The installation of the Kaituna ULEB requires a building consent before installation commences. Check with your local Building Authority whether there are any additional requirements before installing.
- The burner and flue system shall be installed in accordance with AS/NZS 2918:2018 and appropriate requirements of the relevant local building codes.
- Masport highly recommends NZHHA trained SFAIT (Solid Fuel Appliance Installation technician) installer to install your burner. Your dealer or heating specialist will be able to help with recommendations and advice on permits/consents required for the installation in your area.

- Please read carefully all the dimensions and recommendations provided in the technical specification section of this manual. The dimensions given comply with the required safety standard AS/NZS 2918:2018.
- For safety, operational and warranty compliance, altering the appliance in any way, should not be attempted, no modifications are permissible.
- Please ensure that only components approved by Masport heating New Zealand are used on the installation, as substitutes may adversely affect performance and might nullify compliance with the requirements of AS/NZS 2918 safety standards.
- The Kaituna burner was tested using a Masport flue system, it is recommended that it is installed using a Masport flue system or a flue system that has been tested and complies with AS/NZS 2918:2018 Appendix F. All Masport burners have been tested using a Masport double flue shield and this must be used with your installation.
- Masport recommends that the flue system must be serviced annually by a NZHHA trained service agent.

4.1 Cautions

- This appliance is not intended for use by persons (including children) with reduced physical, sensory, or mental capabilities or lack of experience and knowledge unless they have been given supervision or instruction concerning the use of the appliance by a person responsible for their safety.
- Do not leave children unattended near the alighted fire and keep them well away from the fire when in use. Supervise young children to ensure that they do not play with the appliance.
- Do not use flammable liquids or aerosols to start or rekindle the fire. Also, do not use such flammable materials near this appliance when operating.
- Always keep clothing, firewood, furnishing, and other combustible materials at a safe distance from the fire.
- Do not touch any part of the fire other than the door handle and the air control when in use, as all other parts can be extremely hot.
- A Cracked/broken door glass makes operation of the heater unsafe. Do not operate the fire with a cracked/broken door glass.
- Do not attempt to clean or maintain the fire when in use or with hot embers in the combustion chamber. Ensure that embers and all other parts of the fire have cooled down completely before starting ash removal or other maintenance.
- Do not use the fire if there is a malfunction, a suspicion of breakage, or unusual noises. Contact your Masport dealer or customer service team at Glen Dimplex, New Zealand.
- This appliance should always be operated & maintained as per instructions in this manual.
- The Ashpan should only be used once the heater is cool and safe to do so.

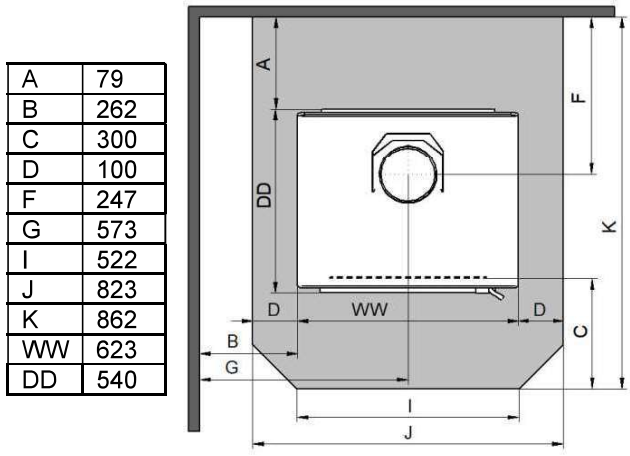
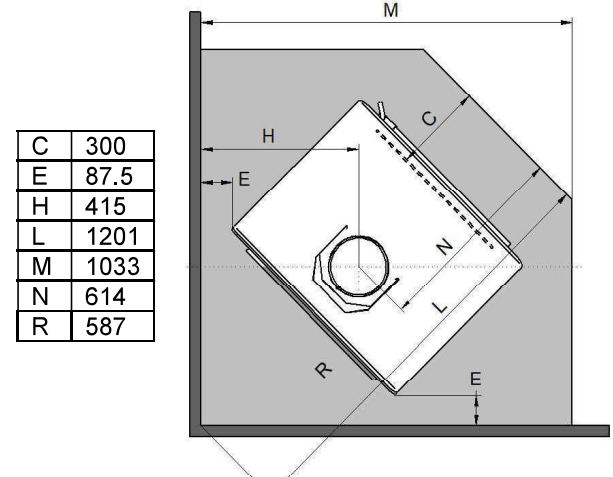
Failure to follow above warnings, cautionary measures and instruction given in this installation and operation manual will void the Masport Heating warranty of this product.

5. Masport Kaituna ULEB–Technical Specifications-All Variants

Approx. Heating Capacity	Small to Medium Homes (2~3 Bedrooms)
--------------------------	--------------------------------------

KAITUNA burner model has been tested and complies with the following standards & tests: Environment Canterbury's Real-life test - Canterbury test method CM1 NZ National Environmental Test Standards - AS/NZS 4012:2014 and AS/NZS 4013:2014. NZ National Environmental Safety Test Standard - AS/NZS 2918:2018					
Overall Dimensions	623mm Wide x 540mm Deep x 714mm High				
Net Weight of the Burner	130 kg				
Test Method	Average Max Heat Output	Emissions mg/MJ	Emissions g/kg	Efficiency %	Authorization No
Real-Life Test Canterbury Method V1.6 (ULEB)		33 mg/MJ	-	-	CRC 234633 - Pedestal CRC 234634 - Leg CRC 234635 - Ash CRC 234636 - Wood Stacker
National Environment Standard AS/NZS 4012/13:2014	8.7 KW	-	0.56 g/kg	65%	CRC 234629 - Pedestal CRC 234630 - Leg CRC 234631 - Ash CRC 234632 - Wood Stacker

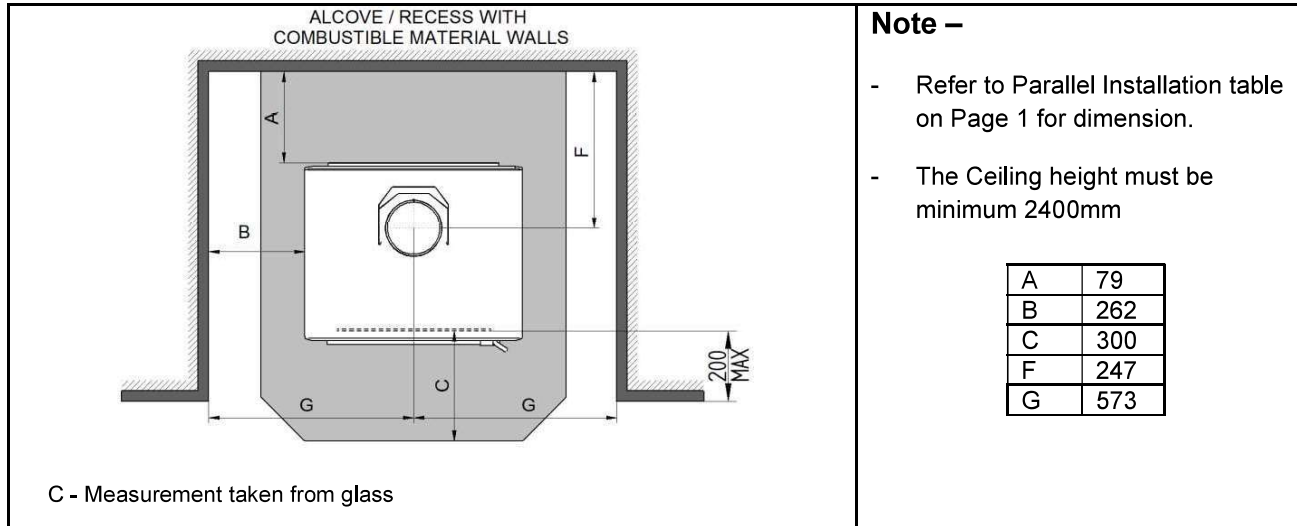
Flue Shield	900mm Long Masport SS Double Flue Shield
Flue System	Std 4.2M Long, 150mm Masport Flue System or Flue System that has been tested to and comply with AS/NZS 2918:2001 Appendix F ** For installation in Canterbury & South of Canterbury, we recommend extending 200 outer casings within 250~300 from flue termination. Also, we recommend not to use Masport Opti or equivalent flue kits in this area, as they take ceiling or external cold air and cool the flue casings, leading to accelerated creosote build-up in the main flue pipe.
Floor Protector Requirement	Ash Floor Protector
Suitable Masport Steel Floor Protectors	Parallel- 998901 Corner- 998904 or 998909

Minimum Clearances to Combustibles and Floor Protector Dimensions: Parallel, Corner & Alcove configurations with Minimum 2.4m ceiling height																																					
Parallel Installation	Corner Installation																																				
 <table border="1" data-bbox="170 1396 332 1732"> <tr><td>A</td><td>79</td></tr> <tr><td>B</td><td>262</td></tr> <tr><td>C</td><td>300</td></tr> <tr><td>D</td><td>100</td></tr> <tr><td>F</td><td>247</td></tr> <tr><td>G</td><td>573</td></tr> <tr><td>I</td><td>522</td></tr> <tr><td>J</td><td>823</td></tr> <tr><td>K</td><td>862</td></tr> <tr><td>WW</td><td>623</td></tr> <tr><td>DD</td><td>540</td></tr> </table> <p>C - Measurement taken from glass</p>	A	79	B	262	C	300	D	100	F	247	G	573	I	522	J	823	K	862	WW	623	DD	540	 <table border="1" data-bbox="852 1438 990 1648"> <tr><td>C</td><td>300</td></tr> <tr><td>E</td><td>87.5</td></tr> <tr><td>H</td><td>415</td></tr> <tr><td>L</td><td>1201</td></tr> <tr><td>M</td><td>1033</td></tr> <tr><td>N</td><td>614</td></tr> <tr><td>R</td><td>587</td></tr> </table> <p>C - Measurement taken from glass</p>	C	300	E	87.5	H	415	L	1201	M	1033	N	614	R	587
A	79																																				
B	262																																				
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D	100																																				
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WW	623																																				
DD	540																																				
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E	87.5																																				
H	415																																				
L	1201																																				
M	1033																																				
N	614																																				
R	587																																				

Seismic Restraint - In New Zealand it is required that the wood burner and floor protector are secured to prevent shifting in the event of an earthquake. This is best done by fastening the wood burner right through the protector to the floor, using 8mm DynaBolts or 8mm coach screws or equivalent toggle fasteners for wooden floors of appropriate lengths. Seismic holes are at the rear of the burner.

5.1 Installation in Alcove/Recess situation

The Kaituna Burner Models have been tested for Alcove (recess) made of combustible material and complied to the safety standards AS/NZS 2918:2018



NOTE: Any variation to the specified clearances must be done in accordance with AS/NZ 2918 Section 3

5.2 Reducing Clearances

The clearances to combustible specified in section 5.0 of this manual can be reduced by following guidelines specified in AS/NZS 2918:2018 table 3.1 & 3.2.

Clearance factors for heat shield which is within 45 degrees of the vertical

Heat Shield Construction	Minimum Air Gap Dimension	Clearance Factor
Single layer of continuous material	12mm	0.4
Single layer of continuous material	25mm	0.3
Two spaced layers of continuous material	12mm+12mm	0.2

Clearance factors for heat shield which is more than 45 degrees off the vertical

Heat Shield Construction	Minimum Air Gap Dimension	Clearance Factor
Single layer of continuous material	12mm	0.8
Single layer of continuous material	25mm	0.6

6. Ash Hearth Requirements

The Kaituna has been tested and met the minimum requirement for an ash hearth set out in AS/NZS 2918: 2018.

This heater weighs approximately 130kg so ensure that the floor structure is sufficient to withstand this weight, materials used for the floor protector must also be able to withstand the weight and not crack nor break.

7. Unpacking

Remove the shipping wooden crate and packing material around the burner. Remove the loose pieces from within the firebox. Remove and discard the screws holding the wood fire to the shipping pallet.

8. Positioning

Refer to minimum clearances in the above table. Note that the testing was carried out with a ceiling height of 2.4mtrs from the ground.

Any proposed deviation from the specified clearances or installation configurations should in accordance with AS/NZ 2918:2018

9. Flue Requirements

A minimum 4.2M long, 150mm diameter Masport flue system or flue system tested in accordance with AS/NZS 2918:2018, Appendix F shall be used with a 900mm long Masport double skin flue shield.

It is highly recommended that the 200 inner casing of Masport flue system be extended to within 250~300mm below the top of the 250mm outer casing.

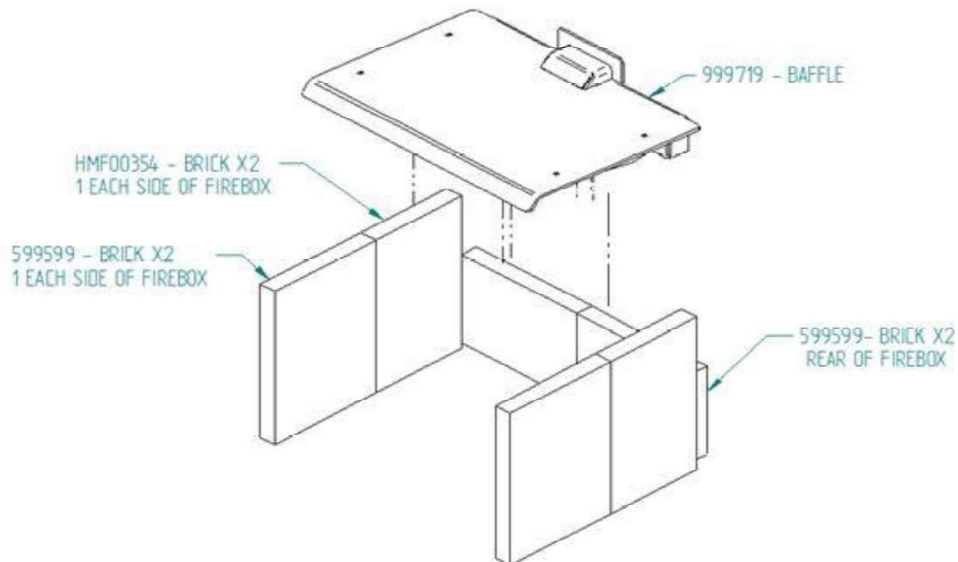
Please note that the environment may have an impact on how the flue system performs and may need additional components added to remedy these issues, flue casings other than std height must be braced in accordance with relevant building codes.

Flue installations other than a std vertical type are not recommended. however, if an installation requires offsets guidelines are set out with AS/NZS 2918:2018 and must be followed.

All flue pipe joints, and the flue spigot must be sealed using an appropriate fire cement, all flue pipes must be secured using 3x 3.25mm stainless steel rivets.

Be sure that flue pipes have been sealed as this can cause issues with the draw and a lack of performance from the heater.

10. Brick and Baffle Layout



Before the first light-up, ensure that the burner is correctly installed and signed off by an approved installer or local council and all local council's wood fire permit requirements have been completed satisfactorily and all components have been fitted to the heater.

11. First burn & paint curing

Once your heater has been installed and meets the requirements of a consented installation you are ready to have your first burn.

It is important to start off with a couple of small burns and not to over fuel the heater, this is because the paint will require curing. During this process the paint will emit a blue-ish colored smoke, so it is important to have adequate ventilation during this process. Continue to run the heater until there is no more smoke, each burn can be progressively hotter and until the curing process is completed.

12. Fuel

The quality of the firewood you burn can considerably affect the performance of your burner. Moisture content, tree species, and log size are the main factors affecting the performance of the wood burner. Masport recommends using softwood, cutting your wood to a size to fit into the fire box and has a moisture content of 16 – 25% range is preferable, also loading your wood in a front to back orientation is better for performance and a cleaner burn.

DO NOT BURN

- Wood that has been treated with preservatives or impregnated with chemicals or glue.
- Chipboard, particleboard, or laminated board
- Painted, stained, or oiled.
- Driftwood or other salt impregnated wood

Burning such materials is not good for the environment, it can also damage the firebox and put you at the risk of voiding the warranty of your Masport heater.

In NZ, radiata pine or macrocarpa are the most commonly available softwood species suitable as firewood. Other hardwood species like eucalyptus (blue gum) can also be mixed with softwood to achieve longer burns.

12.1 Wood Moisture

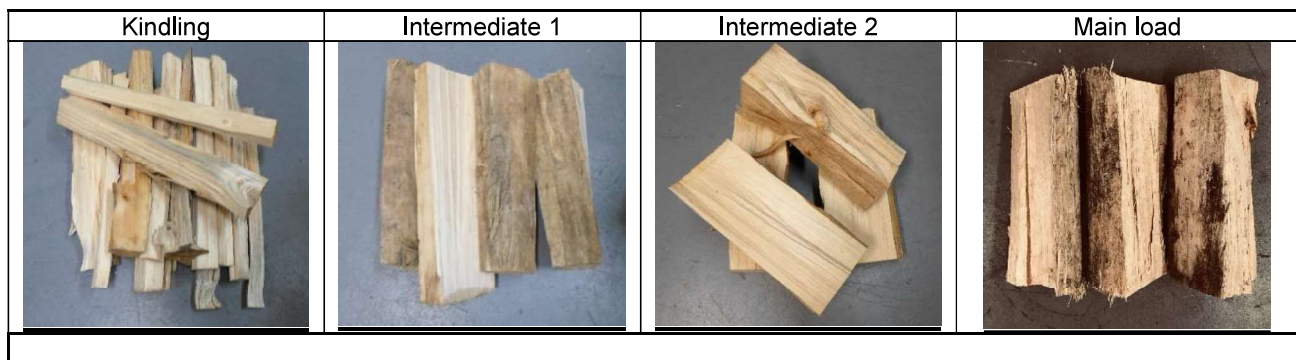
A wood moisture meter is the best way to check the moisture content of the firewood. Split a piece of wood and then press the metering prongs firmly into the long side of a split piece to test moisture content. 16-25% percent of moisture content is ideal.

If you purchase firewood, ask for dry seasoned wood and get it checked from your wood merchant.

13.1 Kindling, intermediate and main wood loading details

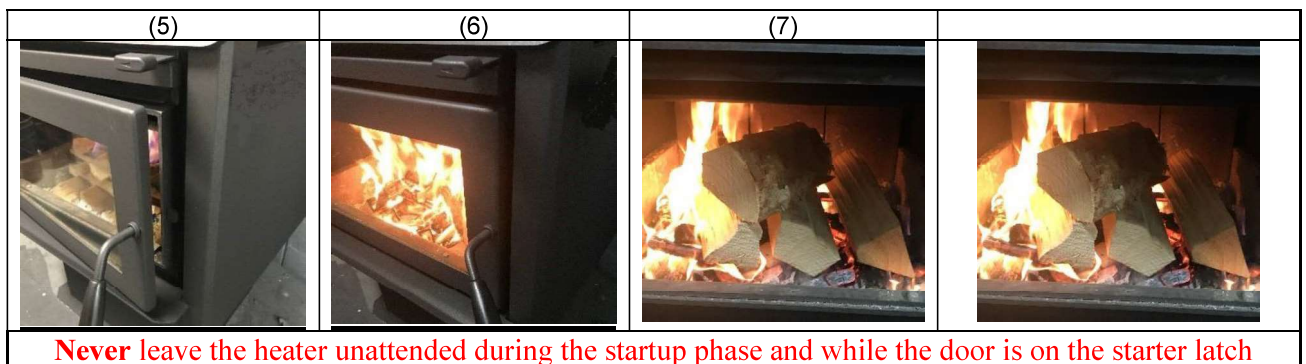
Seasoned firewood pieces approx. 250mm long in various sizes should be used in the Masport Kaituna.

- Kindling – 16 pieces cut to 1.0 kg approx.
- intermediate 1 load – 4 pieces total 1.2 kg, approx.
- intermediate 2 load – 4 pieces total 2.5kg approx.
- main load – 3 pieces 3kg approx.



13.2 Initial light-up with kindling and intermediate load

1. Make sure the air control is set in the "HIGH" position.
2. Place the intermediate load 1 evenly across the base of the heater in a front to back direction.
3. Place the kindling pieces on top of the 4 logs, they should be stacked 4x4x4x4 as in image 3.
4. Use 2 firelighters on the top of the kindling, one in the middle and one at the rear.
5. Light the rear fire lighter than the middle fire lighter, leave the door on the safety starter latch for approx 5-10 mins making sure the Kindling is well alight, now close the door.



13.3 Intermediate load 2 and main loads

6. Approximately 35mins after lighting the heater intermediate 2 can be loaded into fire.
7. Subsequent main loads should be loaded when the fuel in the heater has burnt down to good embers, and there is minimal flame in the heater.

13.4 Controlling the heat output.

Once the main load has a well-established flame the air control can now be adjusted to a lower setting. Do not turn the air control directly from the high setting to low, adjust to approximately half setting wait for around 5-10mins the adjust to the lowest setting. Adjusting directly from high to low will starve the fire of oxygen and result in a poor burn.

13.5 Refueling

Refueling is best done when most of the flame has died down and there is a good ember bed in the heater with minimal flame, always turn the heater air control to high and leave it there for a few minutes so the flue gasses can increase creating a good flue draught. Open the door slowly and not fast this will stop any combustion gasses from being pulled into the room.

Place your next main load into the heater as efficiently as you can and close the door as soon as possible, again this will reduce the risk of gasses coming back into the room.

- IT IS IMPORTANT THAT THE HEATER IS NOT USED IF THE GLASS IS BROKEN
- DO NOT USE FLAMMABLE LIQUIDS OR AEROSOLS TO START OR REKINDLE THE BURNER
- DO NOT OPERATE THE HEATER IF EXCESSIVE SMOKE ENTERS THE ROOM

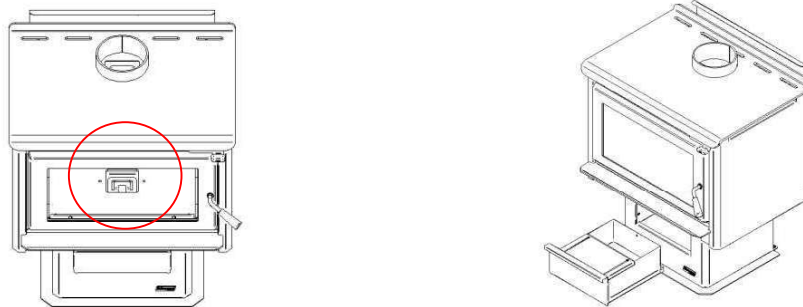
14. Ash

Maintaining a good ash level will help the heater to operate more effectively, too much ash will reduce the usable volume within the heater and effect performance so ensure that the ash does not reach the level of the ash lip, always leave approx. 20mm of ash in the heater when cleaning the heater as this acts as an insulator and allows air to pass into the embers aiding the combustion process.

Note when emptying ash always do it when the heater is cold and always use a steel bucket, or the ash box on the ash model. Dispose of the ash ONLY when it is cold.

ASHBOX

The Kaituna ash box is incorporated into the pedestal, to empty ash remove the ashplug from inside the firebox and proceed to push the ash into the cavity. Once you have removed sufficient ash, clean around the ash plug surface and reinsert it back into firebox. **IT IS IMPORTANT** to ensure the ash plug seat is clean to make sure there are no air leaks around it. Remove the ash box and dispose of the ash.



15. Optimizing the best performance from your heater.

- Using clean dry wood will help with ignition and the combustion process.
- Maintaining a good hot ember bed at the start of each refueling will reduce pollutants and help with efficiency.
- Do not overfill the firebox as this will reduce air paths through the fuel and will not allow the heater to perform as intended.
- Using more medium sized pieces of wood as opposed to very large pieces will give a better burn and will help keep the burn clean.
- Always open the air control to fully open position before refueling, do not run the heater on the low setting permanently, and after long periods on the low setting, it is recommended the heater is run on high to burn away any unwanted built up of particulate within the heater and flue system.

NOTE

For the heater to perform optimally it must have a good air supply, in today's airtight homes this can be an issue, so it is advised that an adequate supply of fresh air is directed into the room that the heater is located in.

16. Maintenance

Maintaining a clean glass

Prolonged low burns, dirty wood and wet wood will cause the glass to blacken, this can be burnt off by running the heater on the high setting for a good period. Alternatively, when the heater is cold the glass can be cleaned by using damp newspaper and ash, glass cleaner and a ceramic glass-cleaning pad.

Cleaning the heater externally

Using a soft **DRY** cloth or soft paintbrush, gently dust/wipe the painted surfaces. Under no circumstances use wet Cloths or chemical sprays on the paint, this may cause issues with the finish of your heater. Please note that the paint used on this heater will dull off over a period and can be touched up Annually.

Door latch adjustment

Open the main fuel loading door.

To adjust the tension on the door rope and have a good seal, the door catch pin can be moved forward and back, loosen the securing bolt on the inside of the firebox, move the pin toward the rear of the fire and re-tighten, repeat until a good seal has been achieved.

Testing the door seal while adjusting the spindle, Sandwich a strip of paper between the firebox edge and Seal, pull the paper gently and as you do there should be a resistance on the paper, adjust the Spindle until you are satisfied a good seal has been made. The paper should be jammed or slide with effort when the seal is good or sufficient.

Carry out this test on all four sides of the door to ensure the seal is even on all sides.

Door and Door Glass Seals

The main door seal should be checked periodically and if required will need to be replaced. Over time the door and glass seals will degrade and cause air to leak into the firebox. This excess air can affect the performance of the burner and possibly cause damage to the burner components. Air leaks can also cause blackening of the glass.

Heat Output Control (Air Slide)

The air control on the burner should move freely, if at any time this becomes sticky have a service technician inspect and make the appropriate adjustments to free it up.

Firebox Ceramic Bricks

The ceramic refractory bricks in your Kaituna burner are an essential component for achieving a clean and efficient burn. These bricks may degrade/break or crack depending on usage, if cracks are visible but the brick is still secure then there is no need to replace them but if they degrade significantly or fall apart then they will require replacement. The bricks are held in place using the brackets welded to the firebox sides and the rear. see **section 10** (brick and baffle layout).

Baffle

- The stainless-steel baffle used in Kaituna is made of durable stainless steel, it has a rear air intake chute, which needs to be fitted properly into the slot on the back wall of the fire. For flue cleaning, this baffle must be removed as described below.
- First, pull forward the front baffle slightly to disengage the rear chute from the slot on the rear wall. Then push it to one side so that the baffle is off the other side's support. Keep dropping and tilting the other side to dislodge it entirely from the supports and then manoeuvre the baffle out of the firebox.
- For replacing the baffle, reverse the steps mentioned above.
- Check that the baffle is locked and hard up against the rear wall of the firebox.

Flue Inspection & Cleaning

The flue system should be checked at least once a year and be swept by a professional chimney sweep. If a flue system is becoming excessively blocked or needs more frequent cleaning, investigate the installation, fuel, and operation of the burner with the help of a professional. First, remove all the ceramic bricks and the baffle. This will enable to drop and collect all the chimney dirt into the firebox without removing the main flue pipe. Once the chimney sweep operation is complete, clean the firebox chamber properly replace the baffle then the bricks, both the air tubes and the bricks.

17. Replacement Parts

Some components used in the KAITUNA are considered replaceable. These parts will wear out or degrade over time. The life of these parts will vary upon

- How frequently fire is used.
- Type of fuel.
- Moisture content in the wood
- Environmental effects

The following items are considered as operational consumable and hence replaceable items.

- Bricks
- Baffle
- Front Air Deflector
- Seals - Main Door Seal and Door Glass Seal
- Door Glass

These replaceable parts should be replaced when it is deemed that they are no longer fit for purpose, running your burner with worn or broken parts may result in poor performance, an increase in fuel consumption, and even damage the burner's firebox or other vital parts. We highly recommend a frequent visual inspection of these parts be carried out to determine whether replacement is required.

18. Common Issues and Problem Solving

Blackening of the door glass –

Blackening of the glass is due to poor combustion, reasons can be.

wet wood- heater being run on low setting for long periods- leaking door seals-incorrectly fitted components-poor flue draught-lack of combustion air.

Only burn dry wood with an approximate moisture content of 25% or less.

Make sure to run the heater on high occasionally to burn off creosote buildup on the glass.

Have the door and glass seals checked and replaced as required.

Have the heater inspected to ensure correct fitment of internal parts.

Have the heater installation checked remedy reasons for lack of flue draught.

Remedy the reason for a lack of air into the room where the heater is situated.

Smoke entering the room –

Smoke entering the room can be caused by several conditions, a lack of flue temperature, air starvation/ negative pressure in the room, incorrect flue system/ terrain, pitch of the roof, staggered roofs, poor wood quality, installation issues and/or blocked flues.

Running the heater on a higher setting to increase the flue temperature especially when refuelling the heater.

Always make sure the room has an adequate air supply i.e., fresh air inlet, make sure there are no extractor fans running and or heat transfer kits.

Different flue terminations, extending the flue making sure there are no large trees around.

Make sure that the wood you are using has the correct moisture, is not too hard/dense and is not too resinous.

Have the installation checked and making sure that all flue joints are sealed, the correct flue lengths have been used, the flue termination is adequate, and all heater components are fitted.

Have the flue cleaned regularly, some situations may call for more frequent cleaning.

Paint –

Paint fade, flaking and surface marks can be common issues with paint.

Paint fade is a normal process mostly seen in the hotter areas of the heater; this can be easily fixed at the end of the season with a touch up using STOVE BRIGHT metallic black paint.

Flaking paint can be caused by the use of chemical sprays/ cleaners or impurities in the paint.

Consult your local dealer to have this inspected.

Surface marks can mostly be resolved with touching up the heater with the use of STOVE.

BRIGHT metallic black paint.

Be sure to ONLY use a soft DRY cloth to clean your heater, the use of any other products May damage the paint on the heater.

NEVER use a wet or damp cloth to clean your heater.

Noise general

Expansion noises, environmental noise and excessive noise

General expansion noise or ticking is a normal part of a wood heater and occurs during initial heating up and when the heater cools off.

Environmental noise caused by wind passing over the flue system at an acceptable level, however excessive noise i.e., load bangs constant expansion noise can be the result of a poor Installation, consult your local Masport representative to have this looked at in the first Instance.

Noise created by environmental influences can be resolved by changes to the System is flue terminations.

Performance issues

Can be a result of installation issues, poor wood quality, where the heater is situated and environmental influences.

If you suspect your heater is not performing, contact your local MASPORT representative and have them examine all factors to try and resolve this issue.

19. Flue Termination Requirements

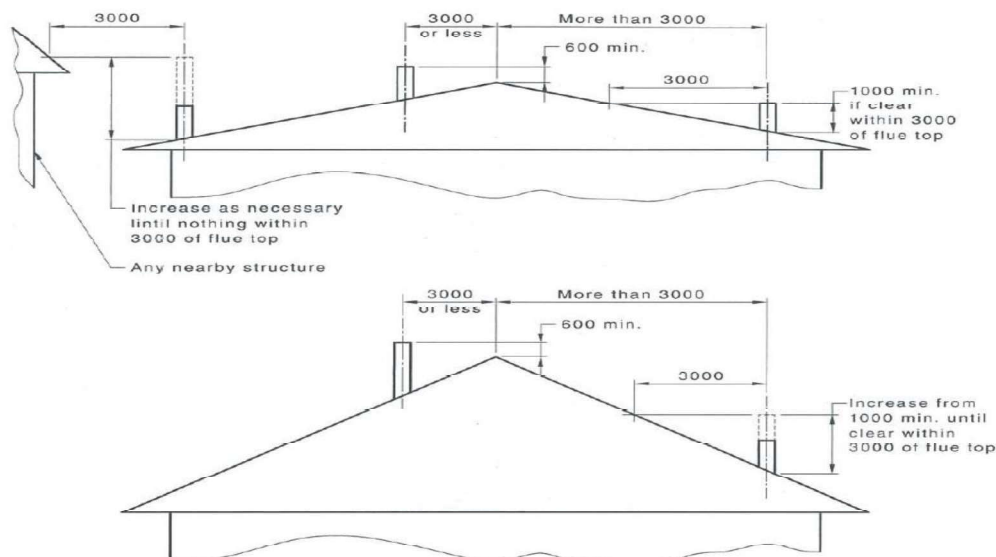


Figure 3.3.1



WARRANTY FOR MASPORT ULTRA-LOW EMISSION BURNER

This warranty is provided in New Zealand by Glen Dimplex New Zealand Ltd and in Australia by Glen Dimplex Australia Pty Ltd. (together referred to as “Glen Dimplex”)

This warranty is provided to the first domestic purchaser of a MASPORT KAITUNA Ultra-low Emission Burner. It applies from the date of purchase, from or through an authorized Logaire Fire Distributor in relation to each product or component for the period below.

TYPE OF PART	WARRANTY (In Years)	
	PARTS	LABOUR
BURNER'S STEEL FIRE BOX	15	5
STAINLESS STEEL BAFFLE	2	2
CERAMIC BRICKS	2	2
DOOR GLASS & SEAL	2	2
DOOR LOCKING MECHANISM PARTS	1	1
INTERNAL & EXTERNAL PAINT FINISH	1	1
GLEN DIMPLEX FLUE SYSTEM	1	1

During the warranty period, Glen Dimplex will repair or replace (at its option) any Logaire Wood Fire which is found to be defective in materials or workmanship. Repairs will be carried out by an approved Logaire Heating Service Agent.

What is covered under this warranty?

- Repair or replacement of parts
- Labour costs relating to the Wood Burner
- Reasonable transport or travel costs.

Consumers may have additional rights under the Consumer Guarantees Act 1993 (New Zealand) or the Australian Trade Practices Act 1974 including the Australian Consumer Law.

Conditions

This warranty does not apply and will be void where:

- The Wood Burner is not installed in accordance with AS/NZS2918/:2018 or any building code or consent.
- The Wood Burner is not installed by a qualified specialist installer.
- Any electrical work has not been carried out by a Registered Electrician.
- The Wood Burner has been moved and reinstalled or has been modified in a manner that is not consistent with the Installation Guide or the Owner's Manual.
- The Wood Burner has not been installed, operated, or maintained according to the Installation and Operations Manual.
- The Wood Burner is used for business use in any way.

What is not covered under the terms of the warranty.

- Wear and tear, including wear and tear through normal use on multi-fuel fire grates and cast-iron firebox liners.
- Labour costs relating exclusively to components not manufactured by Glen Dimplex.
- Damage caused by incorrect use or the burning of treated or painted wood, driftwood or other fuels which are not recommended.
- Travel costs for a distance greater than 50 km from the nearest approved Logaire Heating Service Agent. (The location of the Wood Fire must be advised to Glen Dimplex or its sales agents at the time of purchase or using warranty registration form)
- Defects, malfunctions, or failures caused by incorrect installation, poor installation, normal wear and tear, misuse, neglect, accidental damage, or failure to follow operating instructions in the Owner's Manual (including fuel selection, product operation and maintenance instructions), repairs or modifications by persons not authorised by Glen Dimplex, use of parts not supplied by Glen Dimplex, or damage or other events which have occurred since the product left the control of Glen Dimplex.
- Direct, indirect, or consequential losses or special damages of any kind (including costs of collection and delivery) other than repair or replacement of products or components under this warranty, where any goods are acquired or used for the purposes of a business.
- Performance issues due to site environmental conditions such as insufficient or excessive draught, down draft. Issues created due to such conditions are noise from the fire, smoke spillage into the room.

How to obtain warranty service?

- Completed Warranty registration form (previous page) needs to be mailed within 30 days of installation to your Glen Dimplex Warranty Registration Department.
- Warranty Claims must be made at the place of purchase.
- Reasonable proof of purchase date is required to make a warranty claim. You should keep your purchase receipt.
- Warranty repair will be completed according to the normal work practices of the service agent.
- Make the faulty part(s) available to Glen Dimplex for inspection so that the validity of the claim can be established by them.

Manufactured in New Zealand by:

GLEN DIMPLEX NEW ZEALAND LTD

NZ Registration No – 1506305

P.O. Box 58473, Botany,

Manukau, Auckland 2163

Phone: 0800 666 2824

Fax: 09 274 8472

Email: sales@glendimplex.co.nz

Web : www.glendimplex.co.nz

GLEN DIMPLEX WARRANTY REGISTRATION **MASPORT KAITUNA ULTRA LOW EMISSION BURNER**

Thank you for purchasing a Masport Fire. We ask you to complete the following information and return to the Glen Dimplex Warranty Registration Department on the following address:

New Zealand : P O Box 58473, Botany, Manukau 2163, Auckland

Mr / Mrs / Miss / Ms

Name: _____

Address: _____

_____ Post Code: _____

Telephone: _____ Fax: _____

Email _____

Model: _____ Serial Number: _____

Retailer: _____ Purchase Date: _____

Price: _____

Installed By: _____ Date Installed: _____

We at Glen Dimplex strive to provide you with quality products and have a continuous product development program. To help achieve our objectives to our mutual benefit we would welcome your feedback on the following questionnaire.

Question	Please tick appropriate remark			
1.General presentation of Product	<input type="checkbox"/> Excellent	<input type="checkbox"/> Good	<input type="checkbox"/> Ok	<input type="checkbox"/> Needs to Improve
2.Styling and Looks	<input type="checkbox"/> Excellent	<input type="checkbox"/> Good	<input type="checkbox"/> Ok	<input type="checkbox"/> Needs to Improve
3.Packaging	<input type="checkbox"/> Excellent	<input type="checkbox"/> Good	<input type="checkbox"/> Ok	<input type="checkbox"/> Needs to Improve
4.Is documentation easy to follow and informative?	<input type="checkbox"/> Excellent	<input type="checkbox"/> Good	<input type="checkbox"/> Ok	<input type="checkbox"/> Needs to Improve
5.Fixtures & Fittings (Loose parts)	<input type="checkbox"/> In order	<input type="checkbox"/> Items missing	<input type="checkbox"/> Needs to Improve	
6.Do you currently own Masport or Dimplex product?	<input type="checkbox"/> Yes	<input type="checkbox"/> No	Which? -	
7.Why did you decide on Masport? (Tick one or more options)	<input type="checkbox"/> Knew this brand		<input type="checkbox"/> Suggested by Friend	
	<input type="checkbox"/> Dealer recommended		<input type="checkbox"/> Better Price	
	<input type="checkbox"/> Performance		<input type="checkbox"/> Features	
8.Other Comments	_____			

Privacy Act Notice: the owner named on the Warranty Registration consents and agrees that Glen Dimplex may retain and use the information in this warranty card, including details about the owner for marketing and development purposes. The owner also agrees that Glen Dimplex may also share purposes with [intended recipients of such information]. In accordance with the New Zealand Privacy Act 1993 and the Australian Privacy Act 1988, the owner shall have the right to request the correction of, as well as inspect, all personal information held by Glen Dimplex on that owner.

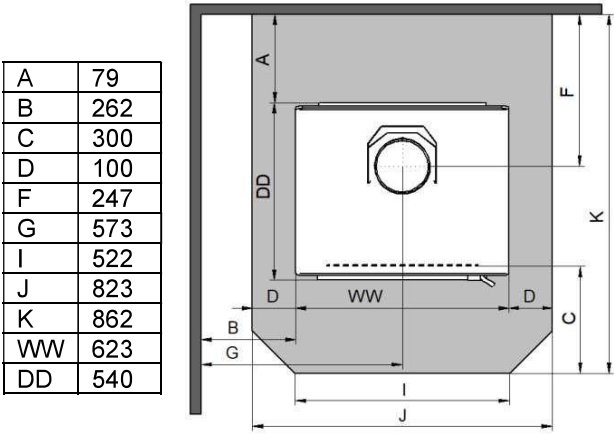
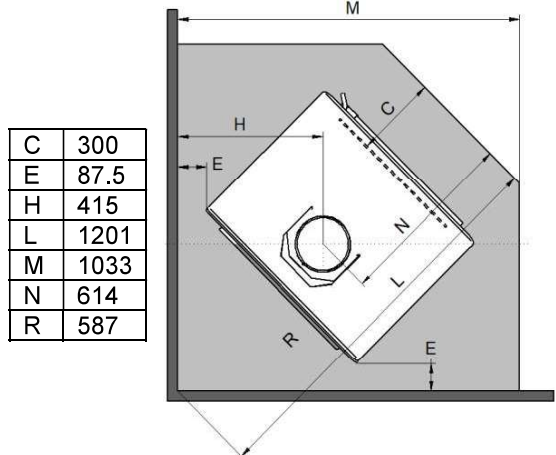
**Please cut and mail this completed form within 30 days of installation to your
Glen Dimplex Warranty Registration Department at the above address**

5. Masport KAITUNA ULEB–Technical Specifications - All Variants

Approx. Heating Capacity		Small to Medium Homes (2-3 Bedrooms)			
KAITUNA burner model has been tested and complies with the following standards & tests: Environment Canterbury’s Real-life test - Canterbury test method CM1 NZ National Environmental Test Standards - AS/NZS 4012:2014 and AS/NZS 4013:2014. NZ National Environmental Safety Test Standard - AS/NZS 2918:2018					
Overall Dimensions	623mm Wide x 540mm Deep x 714mm High				
Net Weight of the Burner	130 kg				
Test Method	Average Max Heat Output	Emissions mg/MJ	Emissions g/kg	Efficiency %	Authorisation No
Real-Life Test Canterbury Method V1.6 (ULEB)		33mg/MJ	-	-	CRC 234633 - Pedestal CRC 234634 - Leg CRC 234635 - Ash CRC 234636 - Wood Stacker
National Environment Standard AS/NZS 4012/13:2014	9kW	-	0.56g/kg	65%	CRC 234629 - Pedestal CRC 234630 - Leg CRC 234631 - Ash CRC 234632 - Wood Stacker

Flue Shield	900mm Long Masport SS Double Flue Shield
Flue System	Std 4.2M Long, 150mm Masport Flue System or Flue System that has been tested to and comply with AS/NZS 2918:2018 Appendix F ** For installation in Canterbury & South of Canterbury, we recommend extending 200 outer casings within 250~300 from flue termination. Also, we recommend not to use Masport Opti or equivalent flue kits in this area, as they take ceiling or external cold air and cool the flue casings, leading to accelerated creosote build-up in the main flue pipe.
Floor Protector Requirement	Ash Floor Protector
Suitable Masport Steel Floor Protectors	Parallel - 998901 Corner - 998904 OR 998909

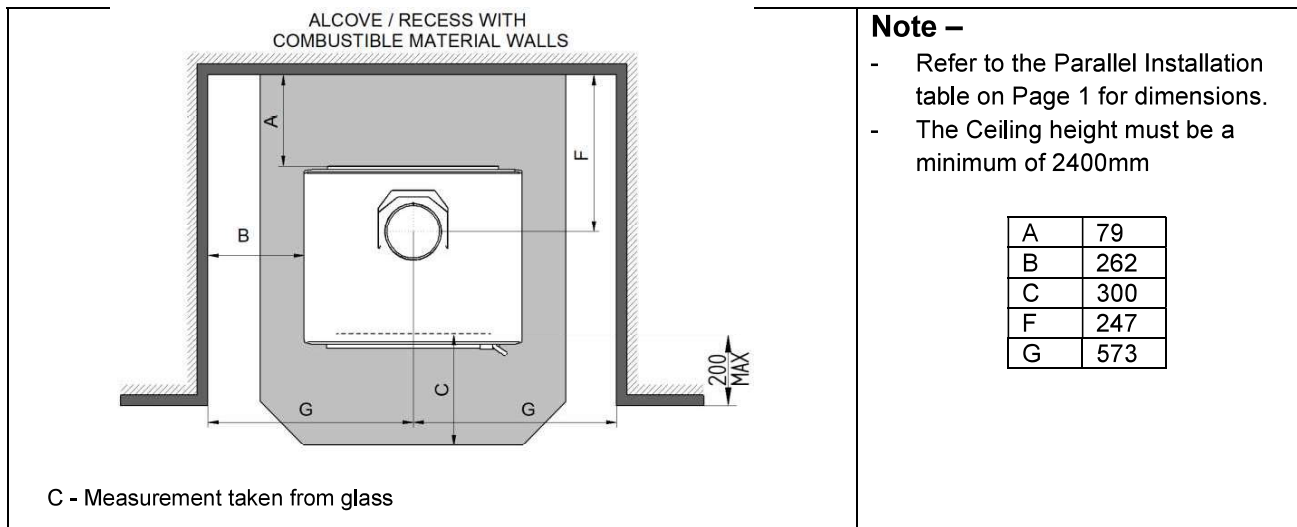
Minimum Clearances to Combustibles and Floor Protector Dimensions: Parallel, Corner and Alcove configurations with a Minimum of 2.4m ceiling height

Parallel Installation	Corner Installation																																				
 <table border="1" data-bbox="170 1312 332 1648"> <tr><td>A</td><td>79</td></tr> <tr><td>B</td><td>262</td></tr> <tr><td>C</td><td>300</td></tr> <tr><td>D</td><td>100</td></tr> <tr><td>F</td><td>247</td></tr> <tr><td>G</td><td>573</td></tr> <tr><td>I</td><td>522</td></tr> <tr><td>J</td><td>823</td></tr> <tr><td>K</td><td>862</td></tr> <tr><td>WW</td><td>623</td></tr> <tr><td>DD</td><td>540</td></tr> </table> <p>C - Measurement taken from glass</p>	A	79	B	262	C	300	D	100	F	247	G	573	I	522	J	823	K	862	WW	623	DD	540	 <table border="1" data-bbox="860 1354 1006 1575"> <tr><td>C</td><td>300</td></tr> <tr><td>E</td><td>87.5</td></tr> <tr><td>H</td><td>415</td></tr> <tr><td>L</td><td>1201</td></tr> <tr><td>M</td><td>1033</td></tr> <tr><td>N</td><td>614</td></tr> <tr><td>R</td><td>587</td></tr> </table> <p>C - Measurement taken from glass</p>	C	300	E	87.5	H	415	L	1201	M	1033	N	614	R	587
A	79																																				
B	262																																				
C	300																																				
D	100																																				
F	247																																				
G	573																																				
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J	823																																				
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E	87.5																																				
H	415																																				
L	1201																																				
M	1033																																				
N	614																																				
R	587																																				

Seismic Restraint - In New Zealand, it is required that the wood burner and floor protector are secured to prevent shifting in the event of an earthquake. This is best done by fastening the wood burner right through the protector to the floor, using 8mm DynaBolts or 8mm coach screws or equivalent toggle fasteners for wooden floors of appropriate lengths. Seismic holes are at the rear of the burner.

5.1 Installation in Alcove/Recess situation

The KAITUNA Burner Models have been tested for Alcove (recess) made of combustible material and complied with the safety standards AS/NZS 2918:2018

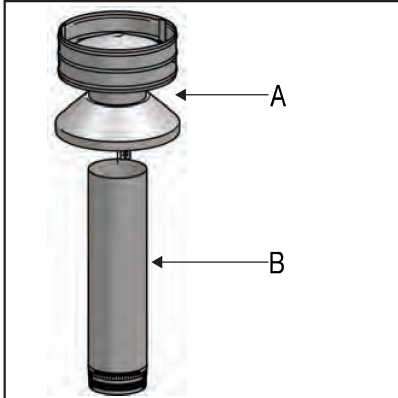


GDFLU012M

Free Standing Flue Kit 150 With Combination Cowl

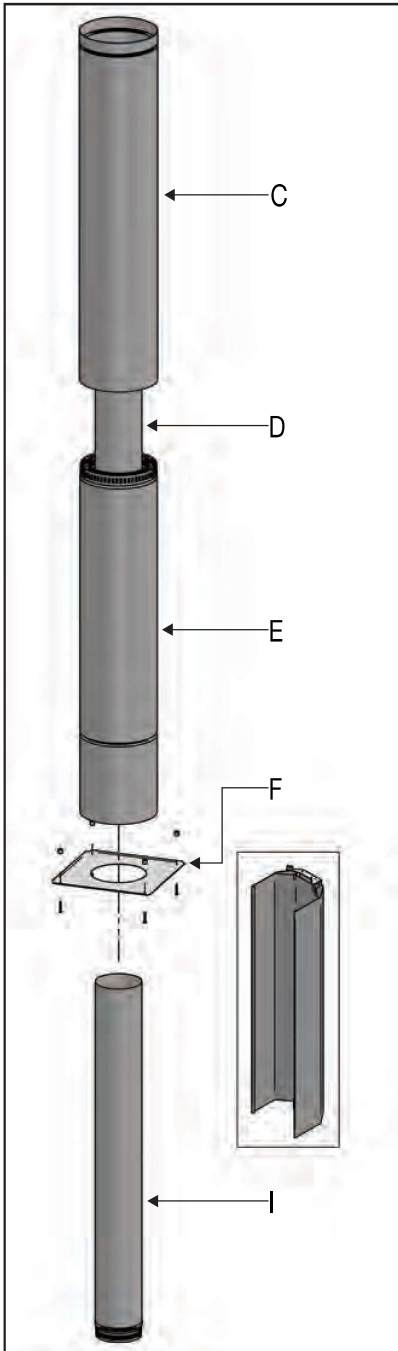
(With 1200mm Long Outer Slip Extension & 1200mm Long Double Flue Shield)

ROOF TERMINATION KIT 951909



A	1 X 150 Anti Down Draft Combination	951916
B	1 X Flue 150mm x 600mm - 50mm to Swage, SS	951208
C	1 X Outer Shield Case - 1200mm OD 253mm	951222
D	1 X Flue 150 x 1200 -50mm to Swage- SS	951200
E	1 X Comb. Casing - 200/250/1200, Galv	951903
F	1 X Ceiling Plate 345 x 345mm SS	951515
I	2 X FLUE 150 x 1200 - S/S - VHT	951252V02
	4 X Ceiling Plate Ceramic Spacers	551207
	4 X Screw 10GX1-1/2" PAN POZI ZP	521651
	Flue Shield Installation Instruction	MFI00739
	150 4.2m Free Standing Install Instruction	591224

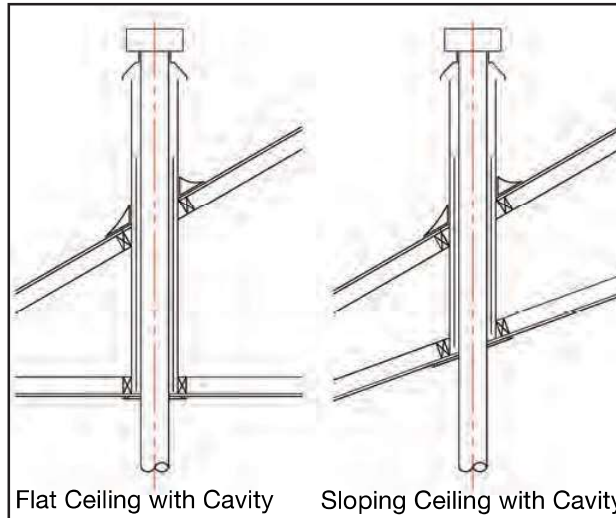
STARTER PACK 951908



MFIAC093 - 1200 Long Double Flue Shield

(Can be ordered separately)

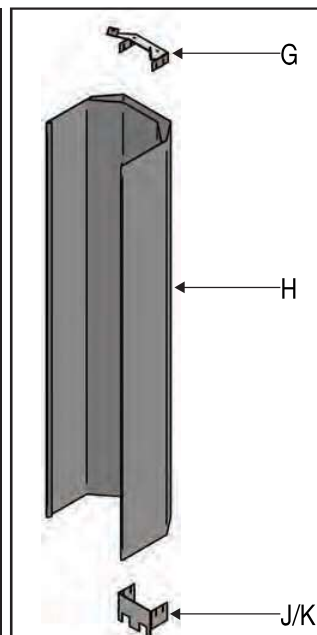
G	1 X MFI Flue Shield Top Bracket	MFI00097
H	1 X DD Double Flue Shield 1200mm	MFIAC091
J	1 X MFI Flue Shield Bottom Bracket (Convection)	MFI00098
K	1 X MFI Flue Shield Bottom Bracket (Radiant)	MFI00099



Flat Ceiling with Cavity

Sloping Ceiling with Cavity

MFIAC093



This flue kit has been tested and complies to AS/NZS 2918:2001, Appendix F test.

Diagram C AS/NZS 2918:2001 pg 37

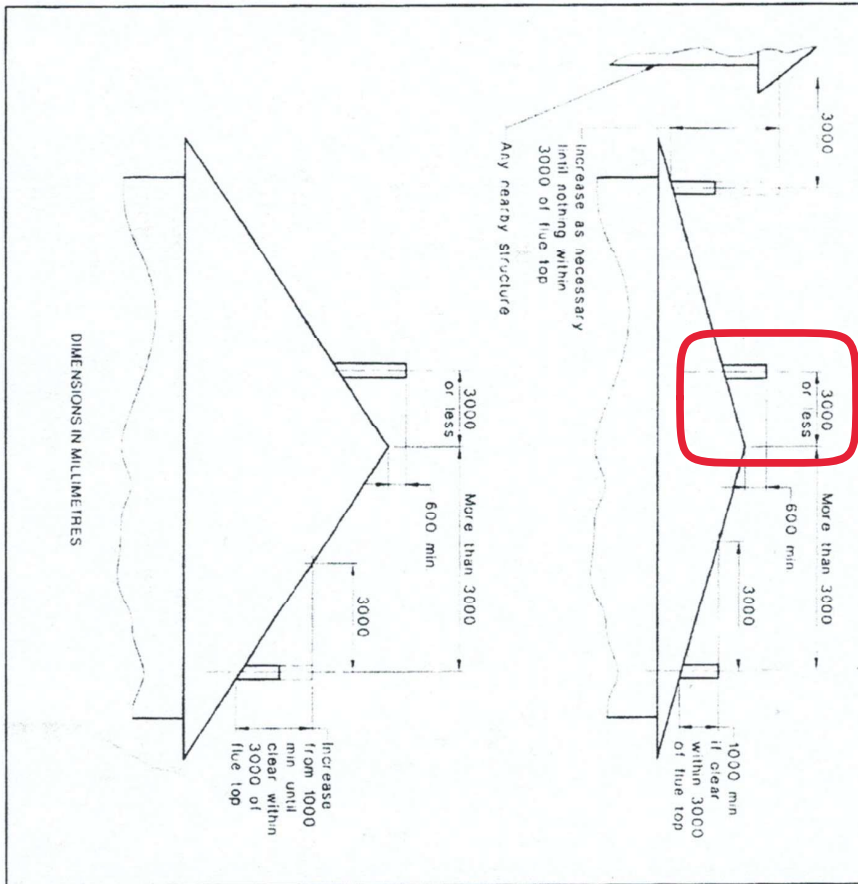
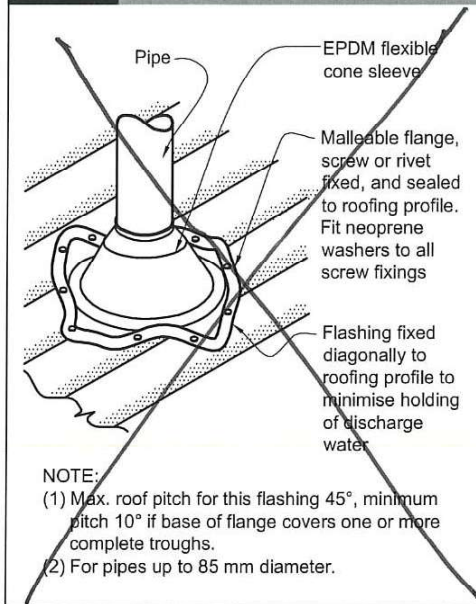
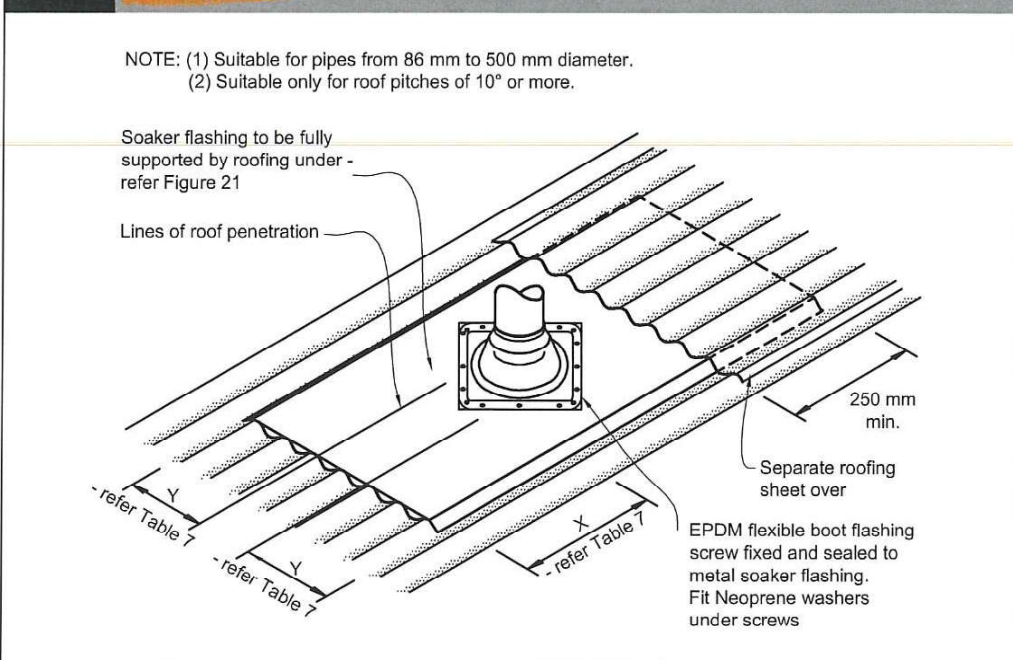


Figure 53: Flashing for small pipes
 Paragraphs 8.3.10, 8.4.17, 9.6.8.5 and 9.6.9.6



Amend 5
 Aug 2011

Figure 54: Soaker flashing for pipe penetrations
 Paragraph 8.4.17



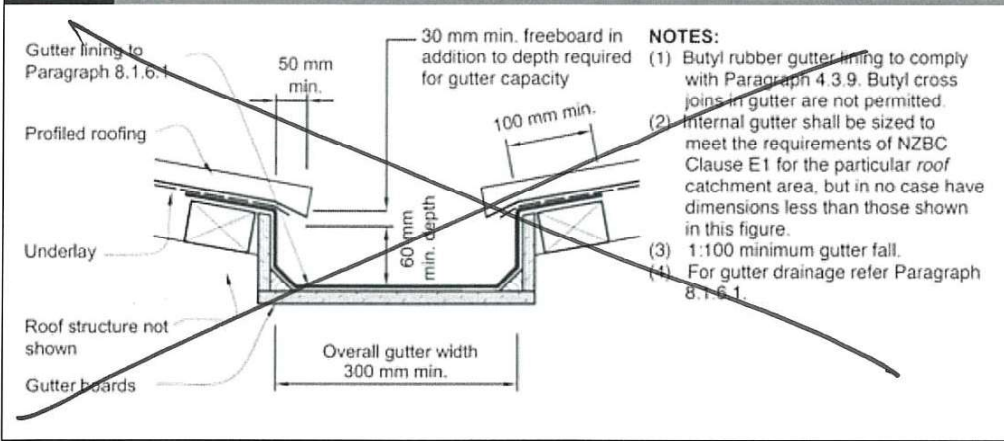
Errata 2
 Dec 2011

Amend 2
 Jul 2005

Amend 2
 Jul 2005

Amend 5
 Aug 2011

Figure 52: Internal gutter for profiled metal
Paragraphs 4.3, 4.5, 8.1.6.1 and 8.4.16



Amend 2
Jul 2005

Amends
5 and 10

8.4.17 Roof penetrations

The maximum length of profiled *roof cladding* above penetrations shall be as shown in Table 17.

The edge of roofing penetrations over 200 mm wide shall be supported in either direction with additional *framing* as shown in Figure 21.

Roof penetrations shall be flashed as follows:

- a) Pipe penetrations up to 85 mm shall be flashed using an *EPDM boot flashing* as shown in Figure 53,
- b) Pipe penetrations up to 500 mm shall be flashed using a *soaker flashing* and *EPDM boot flashing* as shown in Figure 54,

Amend 5
Aug 2011

Amend 2
Jul 2005

- c) Rectangular penetrations up to 1200 mm wide shall be flashed using a *soaker type flashing* as shown in Figure 55.

COMMENT:

Penetrations on lower pitched *roofs*, larger penetrations, or needing specialised complex *flashings* will require *specific design* to suit the particular circumstances.

The New Zealand Metal Roof and Wall Cladding Code of Practice should be consulted for guidance.

Amend 2
Jul 2005

Table 17: Catchment areas for profiled metal
Paragraphs 8.1.7, 8.4.17, Table 9, Figure 22

Penetration width	Maximum roof length above penetration in metres		
	Corrugated	Trapezoidal	Trough profile
800 to 1200 mm	4 m	8 m	16 m
600 to 800 mm	6 m	12 m	18 m (refer Note)
400 to 600 mm	8 m	16 m	18 m (refer Note)
0 to 400 mm	12 m	18 m (refer Note)	18 m (refer Note)

NOTE: Limited to 18 m as per the limitations of this Acceptable Solution.

Amend 5
Aug 2011

27 March 2025

Dear Sir/Madam

REQUEST FOR FURTHER INFORMATION - VETTING

REFERENCE: BC250239

LOCATION: 6 Milne Place, Richmond

PROJECT: Install freestanding wood burner

We have carried out some initial checks of your application and require the following information before we can accept it for processing.

Main building

Deposit / Fee

Please arrange payment of the deposit fee to complete the s45 lodgment process. The deposit/fee for the application is \$560.00.

If you are unable to respond to this request within 10 working days, please let us know, as if we don't hear from you, your application may be refused.

If we have missed any of the information, please let us know its location so that it can be re-checked. Please contact us if you have any questions.

Yours sincerely

Lara Gordon

Building Support Officer

On behalf of Tasman District Council

BC250239 | 24 Jul 2025

Vetting Started Date: 27/03/2025 01:58 pm

Vetting Completed Date: 27/03/2025 02:06 pm

Vetting Status: Completed

VETTING CHECKLIST - MAIN BUILDING - R1 to R3				
Complexity: Solid Fuel Burning Appliance only - AUDIT	Y/N	User	Date	Notes
Application Form : Has the application form been properly completed?	Y	LGo	27/03/2025 02:03 pm	The application form is correctly completed.
Deposit / Fee: Has the appropriate deposit / fee been paid?	N	LGo	27/03/2025 02:03 pm	Please arrange payment of the deposit fee to complete the s45 lodgment process. The deposit/fee for the application is \$560.00.
	VRFI	LGo	27/03/2025 02:05 pm	Please arrange payment of the deposit fee to complete the s45 lodgment process. The deposit/fee for the application is \$560.00.
	Y	LGo	27/03/2025 02:06 pm	Deposit notification sent
Evidence of Ownership / Owner's Permission: Has the applicant provided a current Record of Title or evidence of ownership that is in the owner's name; OR if the application has been submitted by an agent is owner's permission provided? If Title is not yet available a subdivision scheme plan is required. If the legal description for subdivision is not available please ensure that the parent title is recorded on the application.	Y	LGo	27/03/2025 02:03 pm	Copy of rates provided
Floor Plans: Do floor plans provide the requisite information to enable a compliance decision? (ensure information includes the location of smoke detectors and electrical layout)	Y	LGo	27/03/2025 02:04 pm	Floor plans show all rooms clearly identified and labelled Floor plan shows smoke alarms
Approvals from Other Authorities: Does this application involve approvals from other Authorities; and if so have these been provided?	N/A	LGo	27/03/2025 02:04 pm	This question does not apply to this project.
Solid Fuel Appliance: Is adequate documentation provided?	Y	LGo	27/03/2025 02:05 pm	Information provided, clearances, flue & penetrations.
Miscellaneous:	N/A	LGo	27/03/2025 02:04 pm	There are no miscellaneous matters.

01 April 2025

Lindsay and Anthea Campbell
6 Milne Place
Richmond 7020

Dear Lindsay and Anthea Campbell

REQUEST FOR FURTHER INFORMATION

REFERENCE: BC250239

LOCATION: 6 Milne Place, Richmond

PROJECT: Install a freestanding wood burner

Thank you for your building consent application. We have reviewed it and we need some more information to make sure the proposed work meets the requirements of the Building Act 2004.

We are required to process your application within 20 working days, however this time is paused until you provide the below information:

Main building

Domestic Solid Fuelburning Appliances

Specifications provided do not appear to be the most recent up to date specifications (21/11/2023). Please provide the latest specifications, see manufacturers website for guidance.

Solid Fuel Burning Appliance: Miscellaneous

Please provide detailing for the mid floor penetration and first level flue guarding and ventilation for what appears to be a cupboard surrounding the flue. For guidance see AS/NZS 2918: 2018 4.5.3.

Please ensure all items are addressed in a single response, and that this includes:

- A covering note outlining the response to each item
- Revised documents that clearly identify changes (e.g. referenced by revision clouds and document versions)
- Files that are in PDF format and to scale
- Only provide information specifically relating to this project

If you are unable to respond within 20 working days, please get in contact, as we may refuse to grant the consent if we do not hear from you. If you have any questions please contact me on 03 543 8400.

You may receive requests for further information from other areas of Council, and these should be addressed separately to this request.

Yours sincerely

Shannon Aram

Building Technical Officer - Inspections
On behalf of **Tasman District Council**

01 April 2025

Lindsay and Anthea Campbell
6 Milne Place
Richmond 7020

Dear Lindsay and Anthea Campbell

REQUEST FOR FURTHER INFORMATION

REFERENCE: BC250239

LOCATION: 6 Milne Place, Richmond

PROJECT: Install a freestanding wood burner

Thank you for your building consent application. We have reviewed it and we need some more information to make sure the proposed work meets the requirements of the Building Act 2004.

We are required to process your application within 20 working days, however this time is paused until you provide the below information:

Main building

Solid Fuel Burning Appliance: Miscellaneous

Please provide detailing for the mid floor penetration and first level flue guarding and ventilation for what appears to be a cupboard surrounding the flue. For guidance see AS/NZS 2918: 2018 4.5.3.

RFI response 1/4/2025 - Please provide further information around ventilation to what appears to be a cupboard that the flue is passing through. For guidance see AS/NZS 2918: 2018 4.5.3.

Please ensure all items are addressed in a single response, and that this includes:

- A covering note outlining the response to each item
- Revised documents that clearly identify changes (e.g. referenced by revision clouds and document versions)
- Files that are in PDF format and to scale
- Only provide information specifically relating to this project

If you are unable to respond within 20 working days, please get in contact, as we may refuse to grant

the consent if we do not hear from you. If you have any questions please contact me on 03 543 8400.

You may receive requests for further information from other areas of Council, and these should be addressed separately to this request.

Yours sincerely

Shannon Aram

Building Technical Officer - Inspections
On behalf of **Tasman District Council**

MAIN BUILDING - R1 TO R3 COMPLEXITY: SOLID FUEL BURNING APPLIANCE ONLY - Processing - AUDIT				
Y/N	User	Date	Notes	
HEATING APPLIANCES				
Solid Fuel Burner				
Heater - BC Complexity / Competence (Reg 10 & 18 of BCA Regs 2006): Has the correct building complexity been allocated to this project and is it within the scope of your assessed competence? Do not select X or N/A. If processing of this project is to be undertaken under supervision then ensure that this is recorded in the file notes.	Y	SAm	01/04/2025 07:27 am	Complexity: this is correctly assigned, and I have the necessary competence to undertake this task. I am in training and being supervised by Dawn Rosie. The rates document provided dated 25/1/2025 is within 3 months of the application. The owner names and legal description, Lot 14 Deposited Plan 12551 are correct, checked from GIS property search and online property file Classified use: Housing (Woodburner) Property size 0.0688 HA clean air approved wood burner only.
Heater: F5: Construction and Demolition Hazards: Does the proposal confirm that provisions will be initiated on site to safeguard people from injury, and other property from damage, caused by construction or demolition site hazards?	Y	SAm	01/04/2025 07:27 am	F5 - Construction and demolition hazards: This proposal provides evidence that provisions will be initiated on site to safeguard people from injury, and other property from damage caused by construction activity. Contractors and employees have individual responsibility under the Health and Safety at Work Act 2015 to ensure the site is managed in a safe manner.
Heater: Act Provisions: Does the proposal satisfy Building Act legislative requirements?				
Heater: Act Provisions - Prompt List:		SAm	01/04/2025 07:28 am	
1. s28 - Warnings and bans: Can the building consent authority exercise its powers under s28 and issue building consent for the building work relating to this application? Please do not select N/A for this question.				
2. s67 - 70: Is adequate reasoning for request for waiver / modification provided and have associated legal obligations been satisfied? Please select N/A if Waiver or Modification is not required. See Reference Notes	Y	SAm	01/04/2025 07:28 am	Checked Form 2, no waiver/ modification selected.
3. s112 - Alterations to existing building: If this proposal involves alteration, then does it demonstrate on reasonable grounds that after alteration the building will:(a) comply, as nearly as reasonably practicable, with provisions that relate to means of escape from fire, and access & facilities for people with disabilities (if required by Section 118); and(b) continue to comply with the other provisions of the building code to at least the same extent as before alteration? Select N/A if this proposal does not involve alteration to an existing building.				
Heater: Act Provisions - Prompt List:	Y	SAm	01/04/2025 07:30 am	
1. s28 - Warnings and bans: Can the building consent authority exercise its powers under s28 and issue building consent for the building work relating to this application? Please do not select N/A for this question.	Y	SAm	01/04/2025 07:30 am	Sec 28: Warnings and bans: there are no warnings or bans - the BCA can exercise its powers under s28 and issue building consent for the building work relating to this building consent, doing so will not result in a person breaching provisions of this section. There are no known warnings or bans. Checked MBIE website. The application is for a simple wood burner which there are no warnings or bans for the proposed model.
2. s67 - 70: Is adequate reasoning for request for waiver / modification provided and have associated legal obligations been satisfied? Please select N/A if Waiver or Modification is not required. See Reference Notes	Y	SAm	01/04/2025 07:30 am	Checked Form 2, no waiver/ modification selected.
3. s112 - Alterations to existing building: If this proposal involves alteration, then does it demonstrate on reasonable grounds that after alteration the building will:(a) comply, as nearly as reasonably practicable, with provisions that relate to means of escape from fire, and access & facilities for people with disabilities (if required by Section 118); and(b) continue to comply with the other provisions of the building code to at least the same extent as before alteration? Select N/A if this proposal does not involve alteration to an existing building.	Y	SAm	01/04/2025 07:30 am	Sec 112: compliance with the provisions that relate to means of escape from fire is demonstrated as shown on floor plan for 2 story dwelling. S112 - Installation of new wood burner. DEOP is less than 35m, smoke alarms clearly shown in appropriate locations as per NZS 4514:2021, S2. 2.1, 2.2.2 to be checked on site by BI.

MAIN BUILDING - R1 TO R3 COMPLEXITY: SOLID FUEL BURNING APPLIANCE ONLY - Processing - AUDIT				
	Y/N	User	Date	Notes
Domestic Solid Fuelburning Appliances: Does the application demonstrate compliance with provisions of NZBC Clause C2 - Prevention of Fire Occurring. Note: Compliance with AS/NZS 2918:2018, as modified by Para 7.1.2 of C/AS1 is deemed to meet these provisions. If this application is not installed in an existing chimney then please turn off the Chimney - Inbuilt Inspection before granting building consent.				
Domestic Solid Fuelburning Appliances - Prompt List:	N	SAm	01/04/2025 07:46 am	
1. Built-in appliance: Does documentation verify that the appliance and flue system will be installed in a space that is: a) cleaned, b) structurally sound and c) compliant with provisions for B1 - Structure and B2 - Durability? Select N/A for this question if this application is not for a fireplace insert or a built-in appliance.	N/A	SAm	01/04/2025 07:46 am	Built-in appliance: this application is for a free standing appliance so this question does not apply to this Project.
2. Location: Does documentation show the proposed location of the appliance? Information should include: a) scale floor plan with rooms labelled, and b) the location of appliance in relation to windows, doors, curtains and walls etc.	Y	SAm	01/04/2025 07:46 am	Location: The proposed location of the appliance is clearly identified on the floor plan in the lounge room.
3. Documentation: Do specifications and installation instructions demonstrate compliance with NZBC C2 - Prevention of Fire Occurring, or with AS/NZS 2918:2018 as modified by Para 7.1.2? Information should include: a) appliance testing and approval details, b) installation information including (i) permitted clearances to heat sensitive materials, (ii) floor protector (hearth) installation and seismic restraint details, (iii) flue installation details identifying location/ height / bracing above roof level and flue penetration details through walls / ceilings/ floors / roofs etc.	N	SAm	01/04/2025 07:46 am	Please provide the most recent specifications. See manufacturers website for guidance.
4. Structure (B1 & B2): Do details demonstrate that: a) the structure will support imposed loads, b) structural stability will not be compromised where flues penetrate structural elements (walls / ceilings / roofs etc), and c) compliance with B2 - Durability provisions will be satisfied?				
5. External moisture (E2): Do envelope penetration and flashing details demonstrate compliance with provisions of E2 and AS/NZS 2918?				
6. Ventilation (G4): Do ventilation details demonstrate compliance with G4/AS1 (this includes ventilation to false chimneys)?				
7. Emissions: Will the proposed appliance satisfy National / Regional Emission Standards?	Y	SAm	01/04/2025 07:46 am	Emissions: documentation confirms that the proposal will comply with National / Regional Emission Standards. Proposed fire is Masport Kaituna, environment.govt.nz clean air approved 234629. Property less than 2 ha (0.0688), existing .0688), existing fireplace visible on street view and on building permit 1186991 therefore considered lawfully existing,
8. Smoke detectors (C): Does the proposed type and location of smoke detectors demonstrate compliance?				
9. Means of escape: Are means of escape provisions satisfied - (sufficient escape routes, complying travel length distances, free from obstructions, free of locking devices)				
Domestic Solid Fuelburning Appliances - Prompt List:	N	SAm	01/04/2025 07:49 am	
1. Built-in appliance: Does documentation verify that the appliance and flue system will be installed in a space that is: a) cleaned, b) structurally sound and c) compliant with provisions for B1 - Structure and B2 - Durability? Select N/A for this question if this application is not for a fireplace insert or a built-in appliance.	N/A	SAm	01/04/2025 07:49 am	Built-in appliance: this application is for a free standing appliance so this question does not apply to this Project.
2. Location: Does documentation show the proposed location of the appliance? Information should include: a) scale floor plan with rooms labelled, and b) the location of appliance in relation to windows, doors, curtains and walls etc.	Y	SAm	01/04/2025 07:49 am	Location: The proposed location of the appliance is clearly identified on the floor plan in the lounge room.

MAIN BUILDING - R1 TO R3 COMPLEXITY: SOLID FUEL BURNING APPLIANCE ONLY - Processing - AUDIT	Y/N	User	Date	Notes
3. Documentation: Do specifications and installation instructions demonstrate compliance with NZBC C2 - Prevention of Fire Occurring, or with AS/NZS 2918:2018 as modified by Para 7.1.2? Information should include: a) appliance testing and approval details, b) installation information including (i) permitted clearances to heat sensitive materials, (ii) floor protector (hearth) installation and seismic restraint details, (iii) flue installation details identifying location/ height / bracing above roof level and flue penetration details through walls / ceilings/ floors / roofs etc.	N	SAm	01/04/2025 07:49 am	Please provide the most recent specifications. See manufacturers website for guidance.
4. Structure (B1 & B2): Do details demonstrate that: a) the structure will support imposed loads, b) structural stability will not be compromised where flues penetrate structural elements (walls / ceilings / roofs etc), and c) compliance with B2 - Durability provisions will be satisfied?	Y	SAm	01/04/2025 07:49 am	Structure of the dwelling will not be compromised by this installation (simple install to existing dwelling to avoid trusses and rafters - BI to confirm) Two story installation. New SFH - durability of 5 years will be achieved for appliance. Boot (Dektite) flashing to soaker achieves 15 years, in service history as per E2/AS1.
5. External moisture (E2): Do envelope penetration and flashing details demonstrate compliance with provisions of E2 and AS/NZS 2918?				
6. Ventilation (G4): Do ventilation details demonstrate compliance with G4/AS1 (this includes ventilation to false chimneys)?				
7. Emissions: Will the proposed appliance satisfy National / Regional Emission Standards?	Y	SAm	01/04/2025 07:49 am	Emissions: documentation confirms that the proposal will comply with National / Regional Emission Standards. Proposed fire is Masport Kaituna, environment.govt.nz clean air approved 234629. Property less than 2 ha (0.0688), existing .0688), existing fireplace visible on street view and on building permit 1186991 therefore considered lawfully existing,
8. Smoke detectors (C): Does the proposed type and location of smoke detectors demonstrate compliance?				
9. Means of escape: Are means of escape provisions satisfied - (sufficient escape routes, complying travel length distances, free from obstructions, free of locking devices)				
Domestic Solid Fuelburning Appliances - Prompt List:	N	SAm	01/04/2025 07:55 am	
1. Built-in appliance: Does documentation verify that the appliance and flue system will be installed in a space that is: a) cleaned, b) structurally sound and c) compliant with provisions for B1 - Structure and B2 - Durability? Select N/A for this question if this application is not for a fireplace insert or a built-in appliance.	N/A	SAm	01/04/2025 07:55 am	Built-in appliance: this application is for a free standing appliance so this question does not apply to this Project.
2. Location: Does documentation show the proposed location of the appliance? Information should include: a) scale floor plan with rooms labelled, and b) the location of appliance in relation to windows, doors, curtains and walls etc.	Y	SAm	01/04/2025 07:55 am	Location: The proposed location of the appliance is clearly identified on the floor plan in the lounge room.
3. Documentation: Do specifications and installation instructions demonstrate compliance with NZBC C2 - Prevention of Fire Occurring, or with AS/NZS 2918:2018 as modified by Para 7.1.2? Information should include: a) appliance testing and approval details, b) installation information including (i) permitted clearances to heat sensitive materials, (ii) floor protector (hearth) installation and seismic restraint details, (iii) flue installation details identifying location/ height / bracing above roof level and flue penetration details through walls / ceilings/ floors / roofs etc.	N	SAm	01/04/2025 07:55 am	Please provide the most recent specifications. See manufacturers website for guidance.
4. Structure (B1 & B2): Do details demonstrate that: a) the structure will support imposed loads, b) structural stability will not be compromised where flues penetrate structural elements (walls / ceilings / roofs etc), and c) compliance with B2 - Durability provisions will be satisfied?	Y	SAm	01/04/2025 07:55 am	Structure of the dwelling will not be compromised by this installation (simple install to existing dwelling to avoid trusses and rafters - BI to confirm) Two story installation. New SFH - durability of 5 years will be achieved for appliance. Boot (Dektite) flashing to soaker achieves 15 years, in service history as per E2/AS1.
5. External moisture (E2): Do envelope penetration and flashing details demonstrate compliance with provisions of E2 and AS/NZS 2918?	Y	SAm	01/04/2025 07:55 am	Figure 54 E2/AS1 provided for corrugate iron roof and specification confirms suitability at roof pitch, soaker flashing with EPDM boot.

MAIN BUILDING - R1 TO R3 COMPLEXITY: SOLID FUEL BURNING APPLIANCE ONLY - Processing - AUDIT				
	Y/N	User	Date	Notes
6. Ventilation (G4): Do ventilation details demonstrate compliance with G4/AS1 (this includes ventilation to false chimneys)?	Y	SAm	01/04/2025 07:55 am	Ventilation: details demonstrate compliance with G4.3.5 The quantities of air supplied for ventilation shall meet the additional demands of any fixed combustion appliances. SORG exiting window and ventilation to room will supply sufficient air quantity.
7. Emissions: Will the proposed appliance satisfy National / Regional Emission Standards?	Y	SAm	01/04/2025 07:55 am	Emissions: documentation confirms that the proposal will comply with National / Regional Emission Standards. Proposed fire is Masport Kaituna, environment.govt.nz clean air approved 234629. Property less than 2 ha (0.0688), existing .0688), existing fireplace visible on street view and on building permit 1186991 therefore considered lawfully existing,
8. Smoke detectors (C): Does the proposed type and location of smoke detectors demonstrate compliance?	Y	SAm	01/04/2025 07:55 am	Smoke detectors - Documentation demonstrates that the smoke detector type and location will satisfy compliance provisions for C/AS1 2.2.1 and correct location to comply with NZS 4514 2021 section 2.2.
9. Means of escape: Are means of escape provisions satisfied - (sufficient escape routes, complying travel length distances, free from obstructions, free of locking devices)	Y	SAm	01/04/2025 07:55 am	Referred to floor plan, DEOP achievable for either interconnected/non-interconnected smoke alarms.
Domestic Solid Fuelburning Appliances - Prompt List:	N	SAm	01/04/2025 07:57 am	
1. Built-in appliance: Does documentation verify that the appliance and flue system will be installed in a space that is: a) cleaned, b) structurally sound and c) compliant with provisions for B1 - Structure and B2 - Durability? Select N/A for this question if this application is not for a fireplace insert or a built-in appliance.	N/A	SAm	01/04/2025 07:57 am	Built-in appliance: this application is for a free standing appliance so this question does not apply to this Project.
2. Location: Does documentation show the proposed location of the appliance? Information should include: a) scale floor plan with rooms labelled, and b) the location of appliance in relation to windows, doors, curtains and walls etc.	Y	SAm	01/04/2025 07:57 am	Location: The proposed location of the appliance is clearly identified on the floor plan in the lounge room.
3. Documentation: Do specifications and installation instructions demonstrate compliance with NZBC C2 - Prevention of Fire Occurring, or with AS/NZS 2918:2018 as modified by Para 7.1.2? Information should include: a) appliance testing and approval details, b) installation information including (i) permitted clearances to heat sensitive materials, (ii) floor protector (hearth) installation and seismic restraint details, (iii) flue installation details identifying location/ height / bracing above roof level and flue penetration details through walls / ceilings/ floors / roofs etc.	N	SAm	01/04/2025 07:57 am	Please provide the most recent specifications. See manufacturers website for guidance.
4. Structure (B1 & B2): Do details demonstrate that: a) the structure will support imposed loads, b) structural stability will not be compromised where flues penetrate structural elements (walls / ceilings / roofs etc), and c) compliance with B2 - Durability provisions will be satisfied?	Y	SAm	01/04/2025 07:57 am	Structure of the dwelling will not be compromised by this installation (simple install to existing dwelling to avoid trusses and rafters - BI to confirm) Two story installation. New SFH - durability of 5 years will be achieved for appliance. Boot (Dektite) flashing to soaker achieves 15 years, in service history as per E2/AS1.
5. External moisture (E2): Do envelope penetration and flashing details demonstrate compliance with provisions of E2 and AS/NZS 2918?	Y	SAm	01/04/2025 07:57 am	Figure 54 E2/AS1 provided for corrugate iron roof and specification confirms suitability at roof pitch, soaker flashing with EPDM boot.
6. Ventilation (G4): Do ventilation details demonstrate compliance with G4/AS1 (this includes ventilation to false chimneys)?	Y	SAm	01/04/2025 07:57 am	Ventilation: details demonstrate compliance with G4.3.5 The quantities of air supplied for ventilation shall meet the additional demands of any fixed combustion appliances. SORG exiting window and ventilation to room will supply sufficient air quantity.

MAIN BUILDING - R1 TO R3 COMPLEXITY: SOLID FUEL BURNING APPLIANCE ONLY - Processing - AUDIT	Y/N	User	Date	Notes
7. Emissions: Will the proposed appliance satisfy National / Regional Emission Standards?	Y	SAm	01/04/2025 07:57 am	Emissions: documentation confirms that the proposal will comply with National / Regional Emission Standards. Proposed fire is Masport Kaituna, environment.govt.nz clean air approved 234629. Property less than 2 ha (0.0688), existing .0688), existing fireplace visible on street view and on building permit 1186991 therefore considered lawfully existing,
8. Smoke detectors (C): Does the proposed type and location of smoke detectors demonstrate compliance?	Y	SAm	01/04/2025 07:57 am	Smoke detectors - Documentation demonstrates that the smoke detector type and location will satisfy compliance provisions for C/AS1 2.2.1 and correct location to comply with NZS 4514 2021 section 2.2.
9. Means of escape: Are means of escape provisions satisfied - (sufficient escape routes, complying travel length distances, free from obstructions, free of locking devices)	Y	SAm	01/04/2025 07:57 am	Referred to floor plan, DEOP achievable for either interconnected/non-interconnected smoke alarms.
Domestic Solid Fuelburning Appliances - Prompt List:	N	SAm	01/04/2025 11:46 am	
1. Built-in appliance: Does documentation verify that the appliance and flue system will be installed in a space that is: a) cleaned, b) structurally sound and c) compliant with provisions for B1 - Structure and B2 - Durability? Select N/A for this question if this application is not for a fireplace insert or a built-in appliance.	N/A	SAm	01/04/2025 11:46 am	Built-in appliance: this application is for a free standing appliance so this question does not apply to this Project.
2. Location: Does documentation show the proposed location of the appliance? Information should include: a) scale floor plan with rooms labelled, and b) the location of appliance in relation to windows, doors, curtains and walls etc.	Y	SAm	01/04/2025 11:46 am	Location: The proposed location of the appliance is clearly identified on the floor plan in the lounge room.
3. Documentation: Do specifications and installation instructions demonstrate compliance with NZBC C2 - Prevention of Fire Occurring, or with AS/NZS 2918:2018 as modified by Para 7.1.2? Information should include: a) appliance testing and approval details, b) installation information including (i) permitted clearances to heat sensitive materials, (ii) floor protector (hearth) installation and seismic restraint details, (iii) flue installation details identifying location/ height / bracing above roof level and flue penetration details through walls / ceilings/ floors / roofs etc.	N	SAm	01/04/2025 11:46 am	Specifications provided do not appear to be the most recent up to date specifications (21/11/2023). Please provide the latest specifications, see manufacturers website for guidance.
4. Structure (B1 & B2): Do details demonstrate that: a) the structure will support imposed loads, b) structural stability will not be compromised where flues penetrate structural elements (walls / ceilings / roofs etc), and c) compliance with B2 - Durability provisions will be satisfied?	Y	SAm	01/04/2025 11:46 am	Structure of the dwelling will not be compromised by this installation (simple install to existing dwelling to avoid trusses and rafters - BI to confirm) Two story installation. New SFH - durability of 5 years will be achieved for appliance. Boot (Dektite) flashing to soaker achieves 15 years, in service history as per E2/AS1.
5. External moisture (E2): Do envelope penetration and flashing details demonstrate compliance with provisions of E2 and AS/NZS 2918?	Y	SAm	01/04/2025 11:46 am	Figure 54 E2/AS1 provided for corrugate iron roof and specification confirms suitability at roof pitch, soaker flashing with EPDM boot.
6. Ventilation (G4): Do ventilation details demonstrate compliance with G4/AS1 (this includes ventilation to false chimneys)?	Y	SAm	01/04/2025 11:46 am	Ventilation: details demonstrate compliance with G4.3.5 The quantities of air supplied for ventilation shall meet the additional demands of any fixed combustion appliances. SORG exiting window and ventilation to room will supply sufficient air quantity.
7. Emissions: Will the proposed appliance satisfy National / Regional Emission Standards?	Y	SAm	01/04/2025 11:46 am	Emissions: documentation confirms that the proposal will comply with National / Regional Emission Standards. Proposed fire is Masport Kaituna, environment.govt.nz clean air approved 234629. Property less than 2 ha (0.0688), existing .0688), existing fireplace visible on street view and on building permit 1186991 therefore considered lawfully existing,

MAIN BUILDING - R1 TO R3 COMPLEXITY: SOLID FUEL BURNING APPLIANCE ONLY - Processing - AUDIT				
	Y/N	User	Date	Notes
8. Smoke detectors (C): Does the proposed type and location of smoke detectors demonstrate compliance?	Y	SAm	01/04/2025 11:46 am	Smoke detectors - Documentation demonstrates that the smoke detector type and location will satisfy compliance provisions for C/AS1 2.2.1 and correct location to comply with NZS 4514 2021 section 2.2.
9. Means of escape: Are means of escape provisions satisfied - (sufficient escape routes, complying travel length distances, free from obstructions, free of locking devices)	Y	SAm	01/04/2025 11:46 am	Referred to floor plan, DEOP achievable for either interconnected/non-interconnected smoke alarms.
Domestic Solid Fuelburning Appliances - Prompt List:	Y	SAm	01/04/2025 02:46 pm	RFI Response
1. Built-in appliance: Does documentation verify that the appliance and flue system will be installed in a space that is: a) cleaned, b) structurally sound and c) compliant with provisions for B1 - Structure and B2 - Durability? Select N/A for this question if this application is not for a fireplace insert or a built-in appliance.	N/A	SAm	01/04/2025 02:46 pm	Built-in appliance: this application is for a free standing appliance so this question does not apply to this Project.
2. Location: Does documentation show the proposed location of the appliance? Information should include: a) scale floor plan with rooms labelled, and b) the location of appliance in relation to windows, doors, curtains and walls etc.	Y	SAm	01/04/2025 02:46 pm	Location: The proposed location of the appliance is clearly identified on the floor plan in the lounge room.
3. Documentation: Do specifications and installation instructions demonstrate compliance with NZBC C2 - Prevention of Fire Occurring, or with AS/NZS 2918:2018 as modified by Para 7.1.2? Information should include: a) appliance testing and approval details, b) installation information including (i) permitted clearances to heat sensitive materials, (ii) floor protector (hearth) installation and seismic restraint details, (iii) flue installation details identifying location/ height / bracing above roof level and flue penetration details through walls / ceilings/ floors / roofs etc.	Y	SAm	01/04/2025 02:46 pm	Specifications provided do not appear to be the most recent up to date specifications (21/11/2023). Please provide the latest specifications, see manufacturers website for guidance. RFI resolved 1/4/2025 - Masport Kaituna wood fire specifications provided, current version (9/2024). Specification references NZS2918:2018. Clearances are specified and can be achieved. Hearth size / type specified and seismic fixing (bolts). 150 mm Flue specifications provided, flue installation detailing provided complete with diagram C, NZS2918:2001. Flue penetration - confirmed roof cladding - greater than 10 degrees, soaker flashing with EPDM boot detail provided reflects fig 54 of E2/AS1 and appropriate for installation for corrugate iron roof.
4. Structure (B1 & B2): Do details demonstrate that: a) the structure will support imposed loads, b) structural stability will not be compromised where flues penetrate structural elements (walls / ceilings / roofs etc), and c) compliance with B2 - Durability provisions will be satisfied?	Y	SAm	01/04/2025 02:46 pm	Structure of the dwelling will not be compromised by this installation (simple install to existing dwelling to avoid trusses and rafters - BI to confirm) Two story installation. New SFH - durability of 5 years will be achieved for appliance. Boot (Dektite) flashing to soaker achieves 15 years, in service history as per E2/AS1.
5. External moisture (E2): Do envelope penetration and flashing details demonstrate compliance with provisions of E2 and AS/NZS 2918?	Y	SAm	01/04/2025 02:46 pm	Figure 54 E2/AS1 provided for corrugate iron roof and specification confirms suitability at roof pitch, soaker flashing with EPDM boot.
6. Ventilation (G4): Do ventilation details demonstrate compliance with G4/AS1 (this includes ventilation to false chimneys)?	Y	SAm	01/04/2025 02:46 pm	Ventilation: details demonstrate compliance with G4.3.5 The quantities of air supplied for ventilation shall meet the additional demands of any fixed combustion appliances. SORG exiting window and ventilation to room will supply sufficient air quantity.
7. Emissions: Will the proposed appliance satisfy National / Regional Emission Standards?	Y	SAm	01/04/2025 02:46 pm	Emissions: documentation confirms that the proposal will comply with National / Regional Emission Standards. Proposed fire is Masport Kaituna, environment.govt.nz clean air approved 234629. Property less than 2 ha (0.0688), existing .0688), existing fireplace visible on street view and on building permit 1186991 therefore considered lawfully existing,
8. Smoke detectors (C): Does the proposed type and location of smoke detectors demonstrate compliance?	Y	SAm	01/04/2025 02:46 pm	Smoke detectors - Documentation demonstrates that the smoke detector type and location will satisfy compliance provisions for C/AS1 2.2.1 and correct location to comply with NZS 4514 2021 section 2.2.

MAIN BUILDING - R1 TO R3 COMPLEXITY: SOLID FUEL BURNING APPLIANCE ONLY - Processing - AUDIT				
	Y/N	User	Date	Notes
9. Means of escape: Are means of escape provisions satisfied - (sufficient escape routes, complying travel length distances, free from obstructions, free of locking devices)	Y	SAm	01/04/2025 02:46 pm	Referred to floor plan, DEOP achievable for either interconnected/non-interconnected smoke alarms.
RFI Discussions:				<p>Domestic Solid Fuelburning Appliances: Does the application demonstrate compliance with provisions of NZBC Clause C2 - Prevention of Fire Occurring. Note: Compliance with AS/NZS 2918:2018, as modified by Para 7.1.2 of C/AS1 is deemed to meet these provisions. If this application is not installed in an existing chimney then please turn off the Chimney - Inbuilt Inspection before granting building consent.</p> <p>[Identified Date: 01/04/2025 07:46 am Resolved Date: 01/04/2025 02:46 pm]</p> <p>Specifications provided do not appear to be the most recent up to date specifications (21/11/2023). Please provide the latest specifications, see manufacturers website for guidance.</p> <p>[01/04/2025 01:12 pm] Teresa McKay</p> <p>Attached are the latest instructions.</p>
Solid Fuel Burner: G12: Wet back / Water Booster: Does the proposal for the installation of the wet back / water booster system demonstrate compliance with G12 & H1.2b)?				
Solid Fuel Burner: G12: Wet back / Water Booster - Prompt List:	N/A	SAm	01/04/2025 07:56 am	
1. Design: Does the design and schematic demonstrate compliance with provisions of building code clauses G12 & H1?	N/A	SAm	01/04/2025 07:56 am	
2. Specification: Do these identify: a) complying materials, b) open vented cylinder, c) copper pipework, d) that the storage vessel is of appropriate size, e) pipe work is correctly sized, f) length of runs comply, g) provision for expansion to non-vented systems without discharge of hot water, h) insulation of pipe runs, i) sufficient support for the system and comply seismic restraint?	N/A	SAm	01/04/2025 07:56 am	
3. Venting: Is venting compliant?	N/A	SAm	01/04/2025 07:56 am	
4. Temperature control: Is the proposal for temperature control compliant and does it identify that the temperature is sufficient to avoid growth of legionella bacteria and to avoid scalding?	N/A	SAm	01/04/2025 07:56 am	
5. Drainage & pressure relief: Is a compliant solution provided to satisfy drainage and pressure relief provisions?	N/A	SAm	01/04/2025 07:56 am	
6. B2: Does the proposal demonstrate compliance with durability provisions and is sufficient access available to enable service and maintenance?	N/A	SAm	01/04/2025 07:56 am	
7. Protection: Does the proposal satisfy building code provisions for protection of the water supply?	N/A	SAm	01/04/2025 07:56 am	
8. H1 - Energy: Will the proposal facilitate the efficient use of hot water, and limit heat loss?	N/A	SAm	01/04/2025 07:56 am	
Supplementary Processing Notes:		SAm	01/04/2025 07:56 am	No wet back identified within application.
Solid Fuel Burning Appliance: Miscellaneous: Please select the cross if you wish to raise an RFI for an item that may not clearly fit into any other category.	N	SAm	01/04/2025 07:50 am	Please provide detailing for the mid floor penetration and first level flue guarding.
		SAm	01/04/2025 11:47 am	User cleared the answer for this question.
	N	SAm	01/04/2025 11:48 am	Please provide detailing for the mid floor penetration and first level flue guarding. For guidance see AS/NZS 2918: 2018 4.5.3.
		SAm	01/04/2025 11:55 am	Please provide detailing for the mid floor penetration and first level flue guarding and ventilation for what appears to be a cupboard surrounding the flue. For guidance see AS/NZS 2918: 2018 4.5.3.
		SAm	01/04/2025 11:56 am	User cleared the answer for this question.
	N	SAm	01/04/2025 11:56 am	Please provide detailing for the mid floor penetration and first level flue guarding and ventilation for what appears to be a cupboard surrounding the flue. For guidance see AS/NZS 2918: 2018 4.5.3.
	RFI	SAm	01/04/2025 11:56 am	Please provide detailing for the mid floor penetration and first level flue guarding and ventilation for what appears to be a cupboard surrounding the flue. For guidance see AS/NZS 2918: 2018 4.5.3.

MAIN BUILDING - R1 TO R3 COMPLEXITY: SOLID FUEL BURNING APPLIANCE ONLY - Processing - AUDIT	Y/N	User	Date	Notes
	RFI	SAm	01/04/2025 02:51 pm	Please provide detailing for the mid floor penetration and first level flue guarding and ventilation for what appears to be a cupboard surrounding the flue. For guidance see AS/NZS 2918: 2018 4.5.3.
	N	SAm	01/04/2025 02:51 pm	Please provide detailing for the mid floor penetration and first level flue guarding and ventilation for what appears to be a cupboard surrounding the flue. For guidance see AS/NZS 2918: 2018 4.5.3. RFI response 1/4/2025 - Please provide further information around ventilation to what appears to be a cupboard that the flue is passing through. For guidance see AS/NZS 2918: 2018 4.5.3.
	RFI	SAm	01/04/2025 02:52 pm	Please provide detailing for the mid floor penetration and first level flue guarding and ventilation for what appears to be a cupboard surrounding the flue. For guidance see AS/NZS 2918: 2018 4.5.3. RFI response 1/4/2025 - Please provide further information around ventilation to what appears to be a cupboard that the flue is passing through. For guidance see AS/NZS 2918: 2018 4.5.3.
	Y	SAm	03/04/2025 10:28 am	RFI Response: RFI resolved 3/4/2025 - Floor penetration detail provided, discussed the cupboard size with the agent who confirmed the dimensions of the cupboard is greater than 1m2 therefore not requiring additional ventilation as required by AS/NZS 2918:2018 4.5.3. Discussed with agent the flue through this cupboard will be triple skinned and mesh guarded to a height of 1200mm.
RFI Discussions:	<p>Solid Fuel Burning Appliance: Miscellaneous: Please select the cross if you wish to raise an RFI for an item that may not clearly fit into any other category.</p> <p>[Identified Date: 01/04/2025 07:50 am Resolved Date: 03/04/2025 10:28 am]</p> <p>Please provide detailing for the mid floor penetration and first level flue guarding and ventilation for what appears to be a cupboard surrounding the flue. For guidance see AS/NZS 2918: 2018 4.5.3.
 RFI response 1/4/2025 - Please provide further information around ventilation to what appears to be a cupboard that the flue is passing through. For guidance see AS/NZS 2918: 2018 4.5.3.</p> <p>[01/04/2025 01:12 pm] Teresa McKay Attached are the 2nd storey penetration specs and the flue guard is a perforated screen that is 1200mm high, going from the floor on the second storey.</p> <p>[02/04/2025 08:14 am] Teresa McKay I submitted this document yesterday</p>			

Processing Time Clock Start Date: 27/03/2025 02:06 pm

Decision To Grant: BC250239 by Shannon Aram @ 03/04/2025 10:42 am

Documentation demonstrates compliance with the Building Code and Building Act 2004. Requests for further information have been addressed and reasons for these have been recorded in each instance. Building Consent can be granted and issued on payment of the appropriate fees and levies.

BC250239: RFI Customer Portal Responses

Domestic Solid Fuelburning Appliances: Does the application demonstrate compliance with provisions of NZBC Clause C2 - Prevention of Fire Occurring. Note: Compliance with AS/NZS 2918:2018, as modified by Para 7.1.2 of C/AS1 is deemed to meet these provisions. If this application is not installed in an existing chimney then please turn off the Chimney - Inbuilt Inspection before granting building consent.

Specifications provided do not appear to be the most recent up to date specifications (21/11/2023). Please provide the latest specifications, see manufacturers website for guidance.

[Identified Date: 2025-04-01 07:46:54 | Resolved Date: 2025-04-01 14:46:33]

Discussions:

[2025-04-01 13:12:18] Teresa McKay (Customer)

Attached are the latest instructions.

Solid Fuel Burning Appliance: Miscellaneous: Please select the cross if you wish to raise an RFI for an item that may not clearly fit into any other category.

Please provide detailing for the mid floor penetration and first level flue guarding and ventilation for what appears to be a cupboard surrounding the flue. For guidance see AS/NZS 2918: 2018 4.5.3.

RFI response 1/4/2025 - Please provide further information around ventilation to what appears to be a cupboard that the flue is passing through. For guidance see AS/NZS 2918: 2018 4.5.3.

[Identified Date: 2025-04-01 07:50:32 | Resolved Date: 2025-04-03 10:28:04]

Discussions:

[2025-04-01 13:12:18] Teresa McKay (Customer)

Attached are the 2nd storey penetration specs and the flue guard is a perforated screen that is 1200mm high, going from the floor on the second storey.

[2025-04-02 08:14:29] Teresa McKay (Customer)

I submitted this document yesterday

Form 5

Building consent - BC250239

Section 51, Building Act 2004

The building

Street address of building:	6 Milne Place, Richmond
Legal description of land where building is located:	LOT 14 DP 12551
Building name:	Main building
Location of building within site/block number:	6 Milne Place, Richmond 7020
Level/unit number:	0

The owner

Name of owner:	Lindsay and Anthea Campbell
Contact person:	
Mailing address:	6 Milne Place Richmond 7020
Street address/registered office:	
Phone number:	Landline: Mobile: 0212778941
Daytime:	No information provided
After hours:	No information provided
Facsimile number:	No information provided
Email address:	mlcinvestment@gmail.com
Website:	No information provided
First point of contact for communications with the building consent authority:	
Teresa McKay (Tasman Bay Chimney Services Limited); Mailing Address: 117 Bartlett Road RD 1 Richmond 7081; Mobile: 0210773487; Email: tasmanbaychimneys@gmail.com	

Building work

The following building work is authorised by this building consent:

Install a freestanding wood burner

This building consent is issued under section 51 of the Building Act 2004. This building consent does not relieve the owner of the building (or proposed building) of any duty or responsibility under any other Act relating to or affecting the building (or proposed building). This building consent also does not permit the construction, alteration, demolition, or removal of the building (or proposed building) if that construction, alteration, demolition, or removal would be in breach of any other Act.

Conditions

This building consent is subject to the following conditions:

Section 90 - Inspections by Building Consent Authorities: (1) Every building consent is subject to the condition that agents authorised by the building consent authority for the purposes of this section are entitled, at all times during normal working hours or while building work is being done, to inspect-

- (a) land on which building work is being or is proposed to be carried out; and
- (b) building work that has been or is being carried out on or off the building site; and
- (c) any building.

(2) The provisions (if any) that are endorsed on a building consent in relation to inspection during the carrying out of building work must be taken to include the provisions of this section.

(3) In this section, inspection means the taking of all reasonable steps to ensure that building work is being carried out in accordance with a building consent.

Copies of all site reports/records must be provided to the BCA as work proceeds for their records, please upload these to the correct building consent via the Objective portal.

Inspections

The following inspections are required:

- Final

Documents required

Final

- C: Solid fuel heater - Installers Declaration

Compliance schedule

A compliance schedule is not required for this building.

Attachments

Copies of the following documents are attached to this building consent:

- Advice notes

Shannon Aram

Position: Building Technical Officer - Inspections

On behalf of: Tasman District Council

Issue Date: 05 May 2025

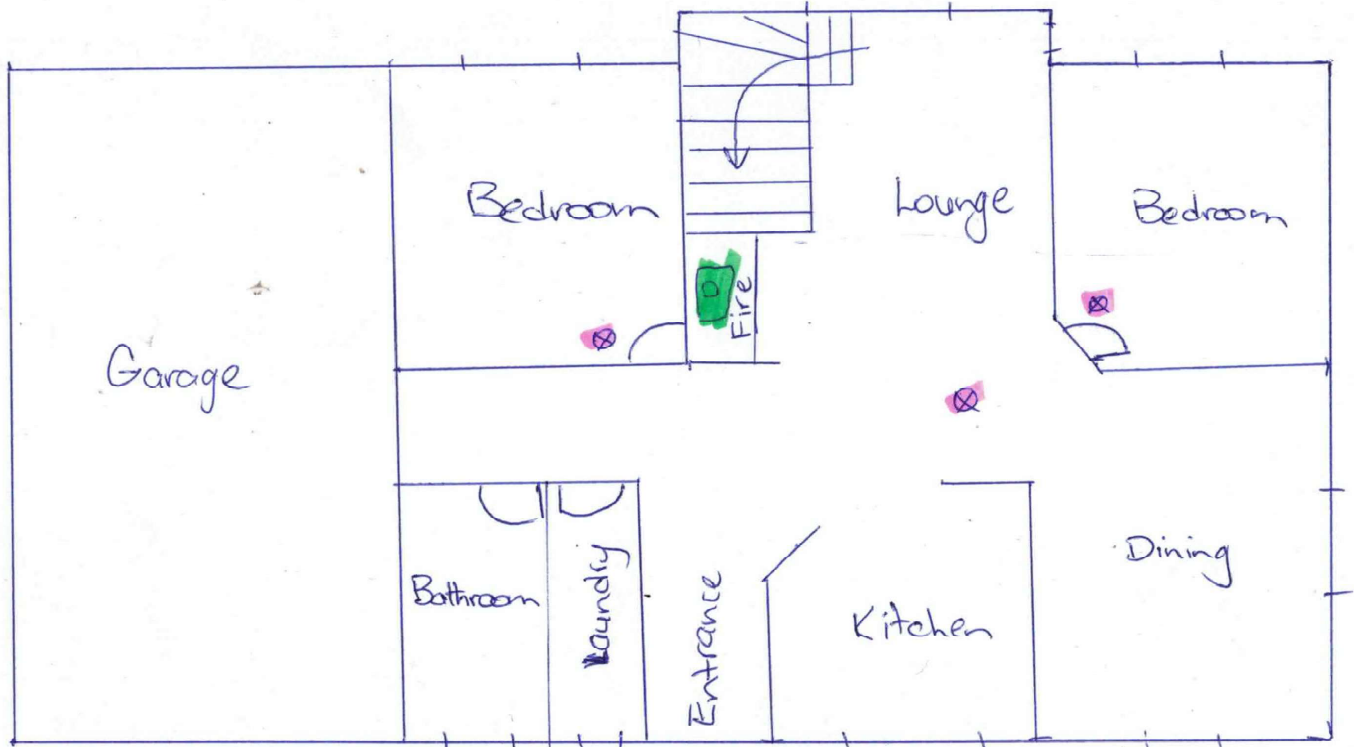
Advice notes

Solid Fuel Burning Appliance: It is the owners responsibility to ensure any curtains, drapes or other such combustibles which would present risk of fire are kept tied back so as not to encroach within the safety clearance of the appliance.

Hazardous Materials: Due to the age of the existing building there is a likelihood it may contain asbestos containing material. The nature of the proposed building works means you will need to consider compliance with the Health and Safety at Work (Asbestos) Regulations 2016.

Any enquiries should first be directed to WorkSafe NZ (<https://worksafe.govt.nz/about-us/contact-us/>, or phone 0800 030 040), and detailed information is also available at <https://worksafe.govt.nz/topic-and-industry/asbestos/working-with-asbestos> and <http://asbestosaware.co.nz>

Site Safety: Please ensure all appropriate site safety measures are provided throughout the contract works to comply with NZ Building Code Clause F5 and all occupational safety and health requirements.



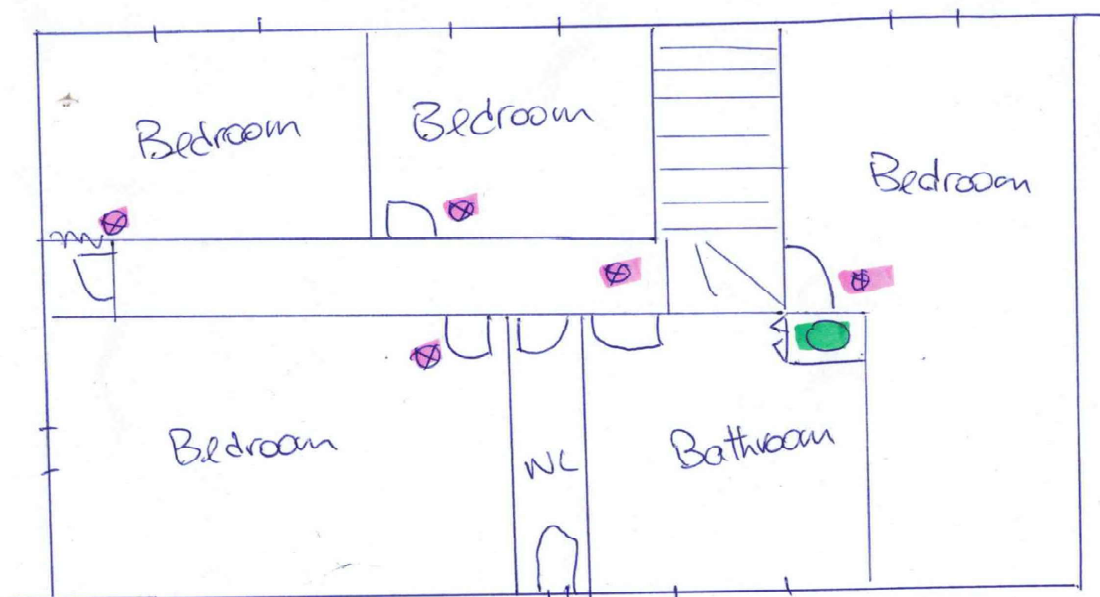
6 Milne Place Richmond - GROUND FLOOR.

☒ Smoke alarms - interconnecting

Tasman District Council
BUILDING CONSENT AUTHORITY

APPROVED BUILDING
CONSENT DOCUMENTATION

ALL WORK IS TO COMPLY WITH THE NZ BUILDING CODE
DO NOT MAKE CHANGES WITHOUT PRIOR APPROVAL



6 Milne Place Richmond - TOP FLOOR

- ⊗ interconnecting smoke alarms
- Flue penetration on second floor



KAITUNA

Ultra-Low Emission Burner Installation & Operation Manual

Pedestal, Ash, Leg and Woodstacker models



**THIS MANUAL CONTAINS IMPORTANT INFORMATION.
PLEASE KEEP IT IN A SAFE PLACE FOR FUTURE REFERENCE.**

Manufactured in Australia by:
GLEN DIMPLEX AUSTRALIA PTY LTD

Distributed in New Zealand by:
GLEN DIMPLEX NEW ZEALAND LIMITED
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Date: 16th SEP 2024

Part No. 599753 v1.0

*Glen Dimplex New Zealand Ltd reserves the right to change specifications, the content of this manual, or the design of its product without prior notice.

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1. Introduction

Congratulations!

You are now the owner of a **MASPORT KAITUNA** Ultra-Low Emission Burner, designed and developed by Glen Dimplex New Zealand Ltd.

Firstly, thank you for purchasing a Masport Heating appliance.

Your new generation wood fire has been designed to provide you with all the warmth and comfort needed whilst having ULTRA LOW emissions to dramatically reduce the impact on the environment. Environment Canterbury has approved the installation of this burner throughout New Zealand, as it bears the MASPORT brand, it promises to provide you with economy, safety, efficiency and quality.

To make the most out of your appliance, installing, operating, and maintaining the burner correctly is important. Please read this installation and operations manual **carefully** before installing or operating your KAITUNA ULEB. Please take the time to understand the basic principles of this new burner which uses the latest combustion technology.

The bricks fitted in this burner are of a ceramic composition, they store invaluable heat to be released towards the end of the burn cycle while also reflecting heat into the ember bed creating a high combustion environment as well as increasing the radiant heat through the door glass. The baffle is made of stainless steel and supplies secondary air to aid the combustion process making for a cleaner hotter burn. This type of construction makes the heat durable and can reduce service costs in the long run.

2. Items supplied with the fire.

- 1 x Masport ceiling plate
- 1 x St/St Main Baffle
- 6 x Ceramic Bricks
- 1 x Installation and Operation Manual which includes.
 - The Technical and Clearance Specification.
 - Installation guidelines
 - The Brick & Baffle Layout

3. Handling and Transport

The KAITUNA appliance has a **Net weight of 130kg.**

Masport recommends that a minimum of 2 people handle the heater while moving it around and in positioning.

It is also recommended that suitable handling and safety equipment be used where applicable, removing items like the baffle, bricks and the door will help reduce the weight of the heater during the installation process.

Supplied in a wooden crate to reduce the risk of transport damage, if there is any visible damage to the crate, please inspect the heater and notify your retailer if there is any damage.

4. Notes

- The installation of the KAITUNA ULEB requires building consent before installation commences. Check with your local Building Authority whether there are any additional requirements before installing.
- The burner and flue system shall be installed in accordance with AS/NZS 2918:2018 and the appropriate requirements of the relevant local building codes.
- Masport highly recommends NZHHA trained SFAIT (Solid Fuel Appliance Installation technician) installer to install your burner. Your dealer or heating specialist will be able to help with recommendations and advice on permits/consents required for the installation in your area.
- Please read carefully all the dimensions and recommendations provided in the technical

specification section of this manual. The dimensions given comply with the required safety standard AS/NZS 2918:2018.

- For safety, operational and warranty compliance, altering the appliance in any way, should not be attempted, no modifications are permissible.
- Please ensure that only components approved by Masport Heating New Zealand are used on the installation, as substitutes may adversely affect performance and might nullify compliance with the requirements of AS/NZS 2918 safety standards.
- The KAITUNA burner was tested using a Masport flue system, it is recommended that it is installed using a Masport flue system or a flue system that has been tested and complies with AS/NZS 2918:2018 Appendix F. All Masport burners have been tested using a Masport double flue shield and this must be used with your installation.
- Masport recommends that the flue system must be serviced annually by a NZHHA trained service agent.

4.1 Cautions

- This appliance is not intended for use by persons (including children) with reduced physical, sensory, or mental capabilities or lack of experience and knowledge unless they have been given supervision or instruction concerning the use of the appliance by a person responsible for their safety.
- Do not leave children unattended near the alighted fire and keep them well away from the fire when in use. Supervise young children to ensure that they do not play with the appliance.
- Do not use flammable liquids or aerosols to start or rekindle the fire. Also, do not use such flammable materials near this appliance when operating.
- Always keep clothing, firewood, furnishing, and other combustible materials at a safe distance from the fire.
- Do not touch any part of the fire other than the door handle and the air control when in use, as all other parts can be extremely hot.
- A Cracked/broken door glass makes the operation of the heater unsafe. Do not operate the fire with a cracked/broken door glass.
- Do not attempt to clean or maintain the fire when in use or with hot embers in the combustion chamber. Ensure that embers and all other parts of the fire have cooled down completely before starting ash removal or other maintenance.
- Do not use the fire if there is a malfunction, a suspicion of breakage, or unusual noises. Contact your Masport dealer or customer service team at Glen Dimplex, New Zealand.
- This appliance should always be operated and maintained as per instructions in this manual.
- The Ashpan should only be used once the heater is cool and safe to do so.

Failure to follow above warnings, cautionary measures and instructions given in this Installation and Operation Manual will void the Masport Heating warranty of this product.

5. Masport KAITUNA ULEB–Rural-Technical Specifications - All Variants

Approx. Heating Capacity	Small to Medium Homes (2-3 Bedrooms)
--------------------------	--------------------------------------

KAITUNA burner model has been tested and complies with the following standards & tests: Environment Canterbury's Real-life test - Canterbury test method CM1 NZ National Environmental Test Standards - AS/NZS 4012:2014 and AS/NZS 4013:2014. NZ National Environmental Safety Test Standard - AS/NZS 2918:2018					
Overall Dimensions	623mm Wide x 540mm Deep x 714mm High				
Net Weight of the Burner	130 kg				
Test Method	Average Max Heat Output	Emissions mg/MJ	Emissions g/kg	Efficiency %	Authorisation No
Real-Life Test Canterbury Method V1.6 (ULEB)		33mg/MJ	-	-	CRC 234633 - Pedestal CRC 234634 - Leg CRC 234635 - Ash CRC 234636 - Wood Stacker
National Environment Standard AS/NZS 4012/13:2014	9kW	-	0.56g/kg	65%	CRC 234629 - Pedestal CRC 234630 - Leg CRC 234631 - Ash CRC 234632 - Wood Stacker

Flue Shield	900mm Long Masport SS Double Flue Shield
Flue System	Std 4.2M Long, 150mm Masport Flue System or Flue System that has been tested to and comply with AS/NZS 2918:2018 Appendix F ** For installation in Canterbury & South of Canterbury, we recommend extending 200 outer casings within 250~300 from flue termination. Also, we recommend not to use Masport Opti or equivalent flue kits in this area, as they take ceiling or external cold air and cool the flue casings, leading to accelerated creosote build-up in the main flue pipe.
Floor Protector Requirement	Ash Floor Protector
Suitable Masport Steel Floor Protectors	Parallel - 998901 Corner – 998904 OR 998909

Minimum Clearances to Combustibles and Floor Protector Dimensions: Parallel, Corner and Alcove configurations with a Minimum of 2.4m ceiling height																																					
Parallel Installation	Corner Installation																																				
<table border="1"> <tr><td>A</td><td>79</td></tr> <tr><td>B</td><td>262</td></tr> <tr><td>C</td><td>300</td></tr> <tr><td>D</td><td>100</td></tr> <tr><td>F</td><td>247</td></tr> <tr><td>G</td><td>573</td></tr> <tr><td>I</td><td>522</td></tr> <tr><td>J</td><td>823</td></tr> <tr><td>K</td><td>862</td></tr> <tr><td>WW</td><td>623</td></tr> <tr><td>DD</td><td>540</td></tr> </table> <p>C - Measurement taken from glass</p>	A	79	B	262	C	300	D	100	F	247	G	573	I	522	J	823	K	862	WW	623	DD	540	<table border="1"> <tr><td>C</td><td>300</td></tr> <tr><td>E</td><td>87.5</td></tr> <tr><td>H</td><td>415</td></tr> <tr><td>L</td><td>1201</td></tr> <tr><td>M</td><td>1033</td></tr> <tr><td>N</td><td>614</td></tr> <tr><td>R</td><td>587</td></tr> </table> <p>C - Measurement taken from glass</p>	C	300	E	87.5	H	415	L	1201	M	1033	N	614	R	587
A	79																																				
B	262																																				
C	300																																				
D	100																																				
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E	87.5																																				
H	415																																				
L	1201																																				
M	1033																																				
N	614																																				
R	587																																				
<p>Seismic Restraint - In New Zealand, it is required that the wood burner and floor protector are secured to prevent shifting in the event of an earthquake. This is best done by fastening the wood burner right through the protector to the floor, using 8mm DynaBolts or 8mm coach screws or equivalent toggle fasteners for wooden floors of appropriate lengths. Seismic holes are at the rear of the burner.</p>																																					

5.1 Installation in Alcove/Recess situation

The KAITUNA Burner Models have been tested for Alcove (recess) made of combustible material and complied with the safety standards AS/NZS 2918:2018

ALCOVE / RECESS WITH
COMBUSTIBLE MATERIAL WALLS

C - Measurement taken from glass

Note –

- Refer to the Parallel Installation table on Page 5 for dimensions.
- The Ceiling height must be a minimum of 2400mm

A	79
B	262
C	300
F	247
G	573

NOTE: Any variation to the specified clearances must be done in accordance with AS/NZ 2918 Section 3

5.2 Reducing Clearances

The clearances to combustible specified in section 5.0 of this manual can be reduced by following guidelines specified in AS/NZS 2918:2018 table 3.1 & 3.2.

Clearance factors for heat shield which is within 45 degrees of the vertical

Heat Shield Construction	Minimum Air Gap Dimension	Clearance Factor
Single layer of continuous material	12mm	0.4
Single layer of continuous material	25mm	0.3
Two spaced layers of continuous material	12mm+12mm	0.2

Clearance factors for heat shield which is more than 45 degrees off the vertical

Heat Shield Construction	Minimum Air Gap Dimension	Clearance Factor
Single layer of continuous material	12mm	0.8
Single layer of continuous material	25mm	0.6

6. Ash Hearth Requirements

The KAITUNA has been tested and met the minimum requirement for an ash hearth set out in AS/NZS 2918:2018.

This heater weighs approximately 130 kg so ensure that the floor structure is sufficient to withstand this weight, materials used for the floor protector must also be able to withstand the weight and not crack nor break.

7. Unpacking

Remove the shipping wooden crate and packing material around the burner. Remove the loose pieces from within the firebox. Remove and discard the screws holding the wood fire to the shipping pallet.

8. Positioning

Refer to minimum clearances in the above table. Note that the testing was carried out with a ceiling height of 2.4mtrs from the ground.

Any proposed deviation from the specified clearances or installation configurations should be in accordance with AS/NZ 2918:2018

9. Flue Requirements

A minimum 4.2m long, 150mm diameter Masport flue system or flue system tested in accordance with AS/NZS 2918:2018, Appendix F shall be used with a 900mm long Masport double skin flue shield.

It is highly recommended that the 200 inner casing of Masport flue system be extended to within 250~300mm below the top of the 250mm outer casing.

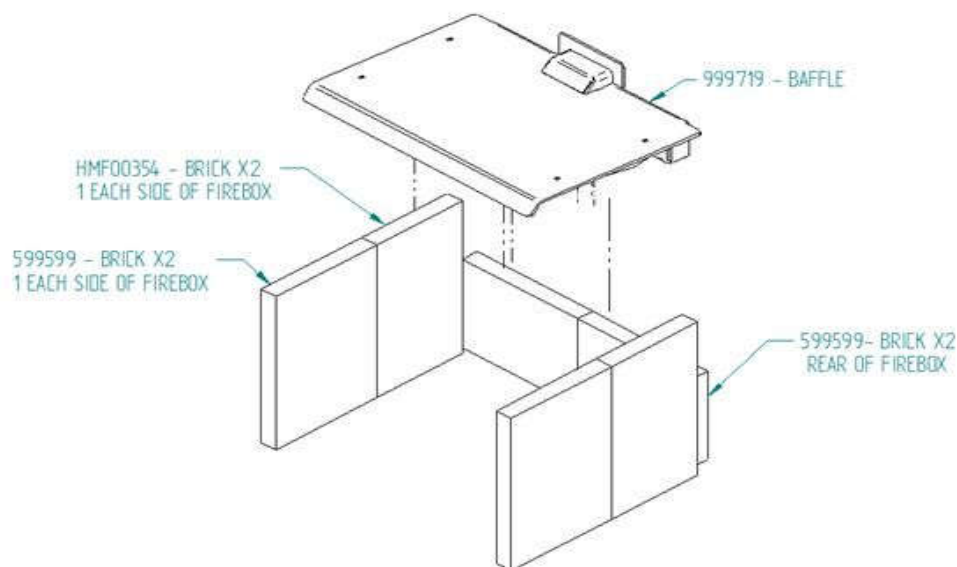
Please note that the environment may have an impact on how the flue system performs and may need additional components added to remedy these issues, flue casings other than standard height must be braced in accordance with relevant building codes.

Flue installations other than a standard vertical type are not recommended. However, if an installation requires offsets guidelines are set out with AS/NZS 2918:2018, it must be followed.

All flue pipe joints, and the flue spigot must be sealed using an appropriate fire cement, all flue pipes must be secured using 3x 3.25mm stainless steel rivets.

Be sure that flue pipes have been sealed as this can cause issues with the draw and a lack of performance from the heater.

10. Brick and Baffle Layout



Before the first light-up, ensure that the wood burner is correctly installed and signed off by an approved installer or local council. All local council's wood fire permit requirements have been completed satisfactorily and all components have been fitted to the heater.

11. First burn & paint curing

Once your heater has been installed and meets the requirements of a consented installation you are ready to have your first burn. It is important to start off with a couple of small burns and not to over fuel the heater, this is because the paint will require curing. During this process, the paint will emit blue-ish coloured smoke, so it is important to have adequate ventilation during this process. Continue to run the heater until there is no more smoke, each burn can be progressively hotter until the curing process is completed.

12. Fuel

The quality of wood burnt can have a considerable effect on the performance of your wood burner. Moisture content, wood species and log size are the main factors affecting the performance of the burner. **Masport recommends the use of softwood** in the ULEB appliance, however, a combination of softwood and hardwood is also acceptable. A wood moisture range of 16-25% is ideal and a front-to-back loading orientation is advised. Following the above will give you a cleaner more efficient burning heater.

DO NOT BURN:

- *Wood that has been treated with preservatives or impregnated with chemicals or glue.*
- *Chipboard, particleboard, or laminated board*
- *Painted, stained, or oiled.*
- *Driftwood or other salt-impregnated wood*

Burning such materials is not good for the environment, it can also damage the firebox and put you at the risk of voiding the warranty of your Masport heater.

In NZ, radiata pine or macrocarpa are the most commonly available softwood species suitable as firewood. Other hardwood species like eucalyptus (blue gum) can also be mixed with softwood to achieve longer burns.

12.1 Wood Moisture

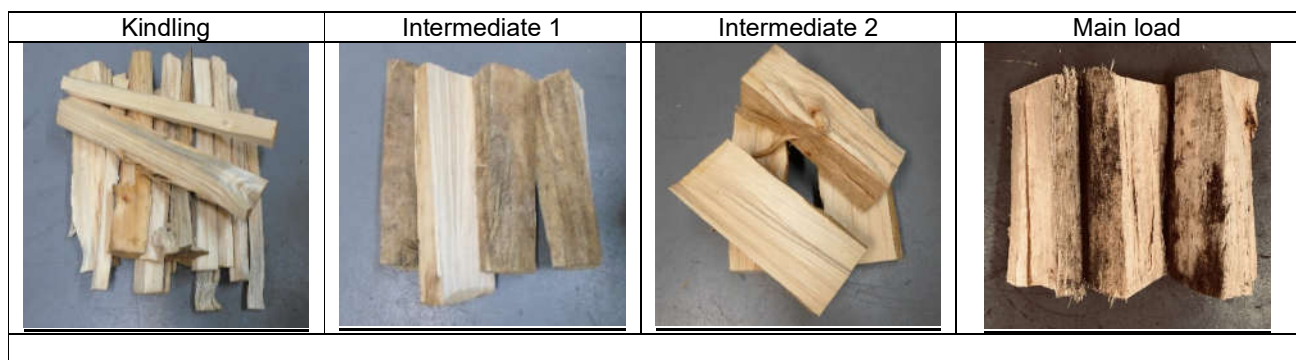
A wood moisture meter is the best way to check the moisture content of the firewood. Split a piece of wood and then press the metering prongs firmly into the long side of a split piece to test moisture content. 16-25% percent of moisture content is ideal.

If you purchase firewood, ask for dry seasoned wood and get it checked from your wood merchant.

13.1 Kindling, intermediate and main wood loading details

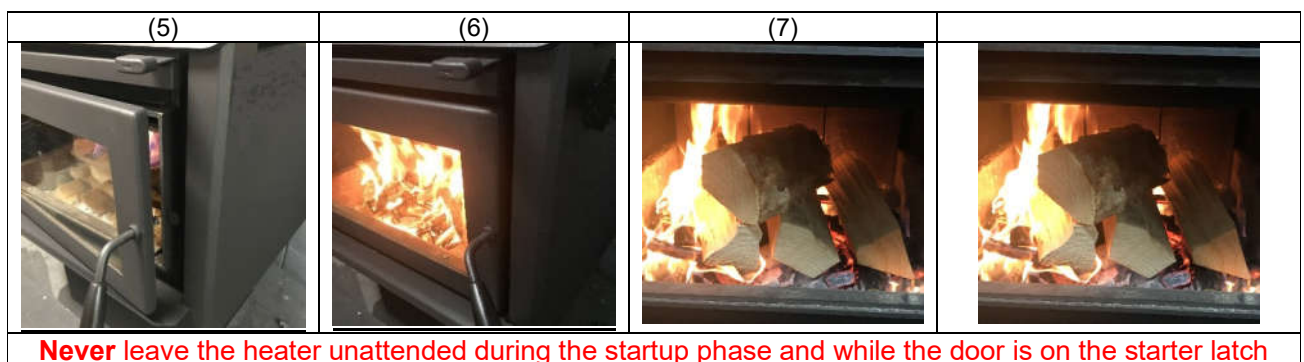
Seasoned firewood pieces approx. 250mm long in various sizes should be used in the Masport KAITUNA.

- Kindling – 16 pieces cut to 1.0 kg approx.
- intermediate 1 load – 4 pieces total 1.2 kg, approx.
- intermediate 2 load – 4 pieces total 2.5 kg approx.
- main load – 3 pieces 3 kg approx.



13.2 Initial light-up with kindling and intermediate load

1. Make sure the air control is set in the "**HIGH**" position.
2. Place the intermediate load 1 evenly across the base of the heater in a front-to-back direction.
3. Place the kindling pieces on top of the 4 logs, they should be stacked 4x4x4x4 as in image 3.
4. Use 2 firelighters on the top of the kindling, one in the middle and one at the rear.
5. Light the rear fire lighter than the middle fire lighter, leave the door on the safety starter latch for approx 5-10 mins making sure the Kindling is well alight, now close the door.



13.3 Intermediate load 2 and main loads

6. Approximately 35 mins after lighting the heater Intermediate 2 can be loaded into fire.
7. Subsequent main loads should be loaded when the fuel in the heater has burnt down to good embers, and there is minimal flame in the heater.

13.4 Controlling the heat output.

Once the main load has a well-established flame the air control can now be adjusted to a lower setting. Do not turn the air control directly from the high setting to low, adjust to approximately half setting wait for around 5-10 mins then adjust to the lowest setting. Adjusting directly from high to low will starve the fire of oxygen and result in a poor burn.

13.5 Refueling

Refueling is best done when most of the flame has died down and there is a good ember bed in the heater with minimal flame, always turn the heater air control to high and leave it there for a few minutes so the flue gasses can increase creating a good flue draught. Open the door slowly and not fast, this will stop any combustion gases from being pulled into the room.

Place your next main load into the heater as efficiently as you can and close the door as soon as possible, again this will reduce the risk of gases coming back into the room.

- IT IS IMPORTANT THAT THE HEATER IS NOT USED IF THE GLASS IS BROKEN
- DO NOT USE FLAMMABLE LIQUIDS OR AEROSOLS TO START OR REKINDLE THE BURNER
- DO NOT OPERATE THE HEATER IF EXCESSIVE SMOKE ENTERS THE ROOM

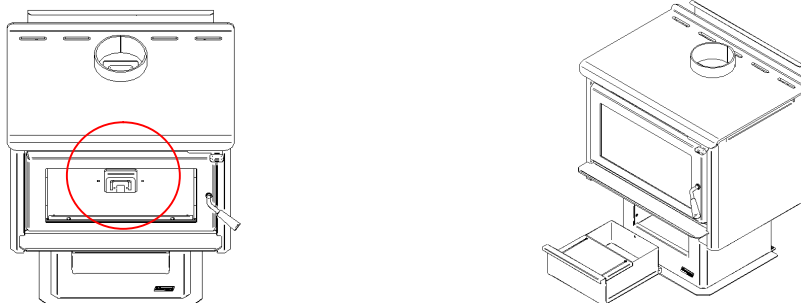
14. Ash

Maintaining a good ash level will help the heater to operate more effectively, too much ash will reduce the usable volume within the heater and affect performance so ensure that the ash does not reach the level of the ash lip, always leave approx. 20mm of ash in the heater when cleaning the heater as this acts as an insulator and allows air to pass into the embers aiding the combustion process.

Note when emptying ash always do it when the heater is cold and always use a steel bucket, or the ash box on the ash model. Dispose of the ash **ONLY** when it is cold.

ASHBOX

The KAITUNA ash box is incorporated into the pedestal, to empty ash remove the ashplug from inside the firebox and proceed to push the ash into the cavity. Once you have removed sufficient ash, clean around the ash plug surface and reinsert it back into firebox. **IT IS IMPORTANT** to ensure the ash plug seat is clean to make sure there are no air leaks around it. Remove the ash box and dispose of the ash.



15. Optimizing the best performance from your heater.

- Using clean dry wood will help with ignition and the combustion process.
- Maintaining a good hot ember bed at the start of each refueling will reduce pollutants and help with efficiency.
- Do not overfill the firebox as this will reduce air paths through the fuel and will not allow the heater to perform as intended.
- Using more medium-sized pieces of wood as opposed to very large pieces will give a better burn and will help keep the burn clean.
- Always open the air control to fully open position before refueling, do not run the heater on the low setting permanently, and after long periods on the low setting, it is recommended the heater is run on high to burn away any unwanted built-up of particulate within the heater and flue system.

NOTE

For the heater to perform optimally it must have a good air supply, in today's airtight homes this can be an issue, so it is advised that an adequate supply of fresh air is directed into the room that the heater is located in.

16. Maintenance

Maintaining a clean glass

Prolonged low burns, dirty wood and wet wood will cause the glass to blacken, this can be burnt off by running the heater on the high setting for a good period. Alternatively, when the heater is cold the glass can be cleaned by using damp newspaper and ash, glass cleaner and a ceramic glass-cleaning pad.

Cleaning the heater externally

Using a soft **DRY** cloth or soft paintbrush, gently dust/wipe the painted surfaces. Under no circumstances use wet Cloths or chemical sprays on the paint, this may cause issues with the finish of your heater. Please note that the paint used on this heater will dull off over a period and can be touched up annually.

Door latch adjustment

Open the main fuel loading door.

To adjust the tension on the door rope and have a good seal, the door catch pin can be moved forward and back, loosen the securing bolt on the inside of the firebox, move the pin toward the rear of the fire and re-tighten, repeat until a good seal has been achieved.

Testing the door seal while adjusting the spindle, Sandwich a strip of paper between the firebox edge and Seal, pull the paper gently and as you do there should be resistance on the paper, adjust the Spindle until you are satisfied a good seal has been made. The paper should be jammed or slide with effort when the seal is good or sufficient.

Carry out this test on all four sides of the door to ensure the seal is even on all sides.

Door and Door Glass Seals

The main door seal should be checked periodically and if required will need to be replaced. Over time the door and glass seals will degrade and cause air to leak into the firebox. This excess air can affect the performance of the burner and possibly cause damage to the burner components. Air leaks can also cause blackening of the glass.

Heat Output Control (Air Slide)

The air control on the burner should move freely, if at any time this becomes sticky have a service technician inspect and make the appropriate adjustments to free it up.

Firebox Ceramic Bricks

The ceramic refractory bricks in your burner are an essential component for achieving a clean and efficient burn. These bricks may degrade/break or crack depending on usage, if cracks are visible but the brick is still secure then there is no need to replace them but if they degrade significantly or fall apart then they will require replacement. The bricks are held in place using the brackets welded to the firebox sides and the rear. see **section 10** (brick and baffle layout).

Baffle

- The stainless-steel baffle used is made of Durable stainless steel, it has a rear air intake chute, which needs to be fitted properly into the slot on the back wall of the fire. For flue cleaning, this baffle must be removed as described below.
- First, pull forward the front baffle slightly to disengage the rear chute from the slot on the rear wall. Then push it to one side so that the baffle is off the other side's support. Keep dropping and tilting the other side to dislodge it entirely from the supports and then manoeuvre the baffle out of the firebox.
- For replacing the baffle, reverse the steps mentioned above.
- Check that the baffle is locked and hard up against the rear wall of the firebox.

Flue Inspection & Cleaning

The flue system should be checked at least once a year and be swept by a professional chimney sweep. If a flue system is becoming excessively blocked or needs more frequent cleaning, investigate the installation, fuel, and operation of the burner with the help of a professional. First, remove all the ceramic bricks and the baffle. This will enable to drop and collect all the chimney dirt into the firebox without removing the main flue pipe. Once the chimney sweep operation is complete, clean the firebox chamber properly and replace the baffle then the bricks, both the air tubes and the bricks.

17. Replacement Parts

Some components used in the KAITUNA are considered replaceable. These parts will wear out or degrade over time. The life of these parts will vary upon

- How frequently fire is used.
- Type of fuel.
- Moisture content in the wood
- Environmental effects

The following items are considered operational consumable and hence replaceable items.

- Bricks
- Baffle
- Front Air Deflector
- Seals - Main Door Seal and Door Glass Seal
- Door Glass

These replaceable parts should be replaced when it is deemed that they are no longer fit for purpose, running your burner with worn or broken parts may result in poor performance, an increase in fuel consumption, and even damage to the burner's firebox or other vital parts. We highly recommend a frequent visual inspection of these parts be carried out to determine whether replacement is required.

18. Common Issues and Problem Solving

Blackening of the door glass –

Blackening of the glass is due to poor combustion, reasons can be.

wet wood- heater being run on low setting for long periods- leaking door seals-incorrectly fitted components-poor flue draught-lack of combustion air.

Only burn dry wood with a moisture range of 16-25%.

Make sure to run the heater on high occasionally to burn off creosote buildup on the glass.

Have the door and glass seals checked and replaced as required.

Have the heater inspected to ensure the correct fitment of internal parts.

Have the heater installation checked for remedy reasons for lack of flue draught.

Remedy the reason for a lack of air in the room where the heater is situated.

Smoke entering the room –

Smoke entering the room can be caused by several conditions, a lack of flue temperature, air starvation/ negative pressure in the room, incorrect flue system/ terrain, pitch of the roof, staggered roofs, poor wood quality, installation issues and/or blocked flues.

Running the heater on a higher setting to increase the flue temperature especially when refuelling the heater.

Always make sure the room has an adequate air supply i.e., fresh air inlet, make sure there are no extractor fans running and or heat transfer kits.

Different flue terminations, extending the flue making sure there are no large trees around.

Make sure that the wood you are using has the correct moisture, is not too hard/dense and is not too resinous.

Have the installation checked and make sure that all flue joints are sealed, the correct flue lengths have been used, the flue termination is adequate, and all heater components are fitted.

Have the flue cleaned regularly, some situations may call for more frequent cleaning.

Paint –

Paint fade, flaking and surface marks can be common issues with paint.

Paint fade is a normal process mostly seen in the hotter areas of the heater; this can be easily fixed at the end of the season with a touch-up using STOVE BRIGHT metallic black paint.

Flaking paint can be caused by using chemical sprays/cleaners or impurities in the paint.

Consult your local dealer to have this inspected.

Surface marks can mostly be resolved by touching up the heater with the use of STOVE BRIGHT metallic black paint.

Be sure to ONLY use a soft DRY cloth to clean your heater, the use of any other products May damage the paint on the heater.

NEVER use a wet or damp cloth to clean your heater.

Noise general

Expansion noises, environmental noises and excessive noises.

General expansion noise or ticking is a normal part of a wood heater and occurs during initial heating up and when the heater cools off.

Environmental noise is caused by wind passing over the flue system at an acceptable level, however, excessive noise i.e., load bangs and constant expansion noise can be the result of a poor installation, consult your local Masport representative to have this looked at in the first instance.

Noise created by environmental influences can be resolved by changes to the system in flue terminations.

Performance issues

This can be a result of installation issues, poor wood quality, where the heater is situated and environmental influences.

If you suspect your heater is not performing, contact your local MASPORT representative and have them examine all factors to try and resolve this issue.

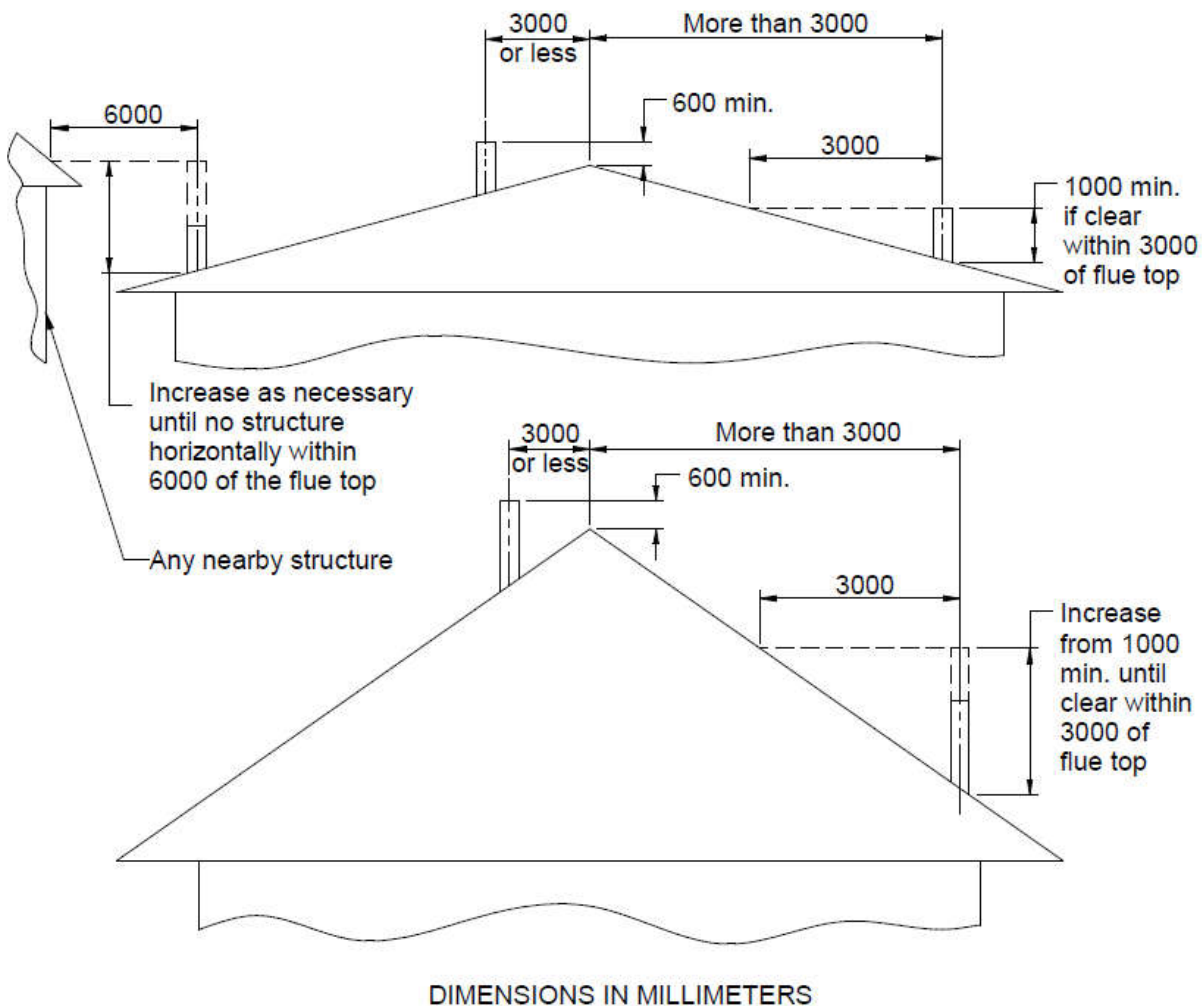
19. Flue Termination Requirements as per AS/NZS 2918:2018

FIGURE 4.8 MINIMUM HEIGHT OF FLUE SYSTEM EXIT



WARRANTY FOR MASPORT ULTRA-LOW EMISSION BURNER

This warranty is provided in New Zealand by Glen Dimplex New Zealand Ltd and in Australia by Glen Dimplex Australia Pty Ltd. (together referred to as “Glen Dimplex”)

This warranty is provided to the first domestic purchaser of a MASPORT KAITUNA Ultra-Low Emission Burner. It applies from the date of purchase, from or through an authorised Masport Fire Distributor in relation to each product or component for the period below.

TYPE OF PART	WARRANTY (In Years)	
	PARTS	LABOUR
BURNER'S STEEL FIRE BOX	15	5
STAINLESS STEEL BAFFLE	2	2
CERAMIC BRICKS	2	2
DOOR GLASS & SEAL	2	2
DOOR LOCKING MECHANISM PARTS	1	1
INTERNAL & EXTERNAL PAINT FINISH	1	1
GLEN DIMPLEX FLUE SYSTEM	1	1

During the warranty period, Glen Dimplex will repair or replace (at its option) any Masport Wood Fire which is found to be defective in materials or workmanship. Repairs will be carried out by an approved Masport Heating Service Agent.

What is covered under this warranty?

- Repair or replacement of parts
- Labour costs relating to the Wood Burner
- Reasonable transport or travel costs.

Consumers may have additional rights under the Consumer Guarantees Act 1993 (New Zealand) or the Australian Trade Practices Act 1974 including the Australian Consumer Law.

Conditions

This warranty does not apply and will be void where:

- The Wood Burner is not installed in accordance with AS/NZS 2918:2018 or any building code or consent.
- The Wood Burner is not installed by a qualified specialist installer.
- Any electrical work which has not been carried out by a Registered Electrician.
- The Wood Burner has been moved and reinstalled or has been modified in a manner that is not consistent with the Installation Guide or the Owner's Manual.
- The Wood Burner has not been installed, operated, or maintained according to the Installation and Operations Manual.
- The Wood Burner is used for business use in any way.

What is not covered under the terms of the warranty.

- Wear and tear, including wear and tear through normal use on multi-fuel fire grates and cast-iron firebox liners.
- Labour costs relating exclusively to components not manufactured by Glen Dimplex.
- Damage caused by incorrect use or the burning of treated or painted wood, driftwood or other fuels which are not recommended.
- Travel costs for a distance greater than 50 km from the nearest approved Logaire Heating Service Agent. (The location of the Wood Fire must be advised to Glen Dimplex or its sales agents at the time of purchase or using warranty registration form)
- Defects, malfunctions, or failures caused by incorrect installation, poor installation, normal wear and tear, misuse, neglect, accidental damage, or failure to follow operating instructions in the Owner's Manual (including fuel selection, product operation and maintenance instructions), repairs or modifications by persons not authorised by Glen Dimplex, use of parts not supplied by Glen Dimplex, or damage or other events which have occurred since the product left the control of Glen Dimplex.
- Direct, indirect, or consequential losses or special damages of any kind (including costs of collection and delivery) other than repair or replacement of products or components under this warranty, where any goods are acquired or used for the purposes of a business.
- Performance issues due to site environmental conditions such as insufficient or excessive draught and down draft. Issues created due to such conditions are noise from the fire, and smoke spillage into the room.

How to obtain warranty service?

- Completed Warranty registration form (previous page) needs to be mailed within 30 days of installation to your Glen Dimplex Warranty Registration Department.
- Warranty Claims must be made at the place of purchase.
- Reasonable proof of purchase date is required to make a warranty claim. You should keep your purchase receipt.
- Warranty repair will be completed according to the normal work practices of the service agent.
- Make the faulty part(s) available to Glen Dimplex for inspection so that the validity of the claim can be established by them.

Manufactured in New Zealand by:**GLEN DIMPLEX NEW ZEALAND LTD**

NZ Registration No – 1506305

P.O. Box 58473, Botany,

Manukau, Auckland 2163

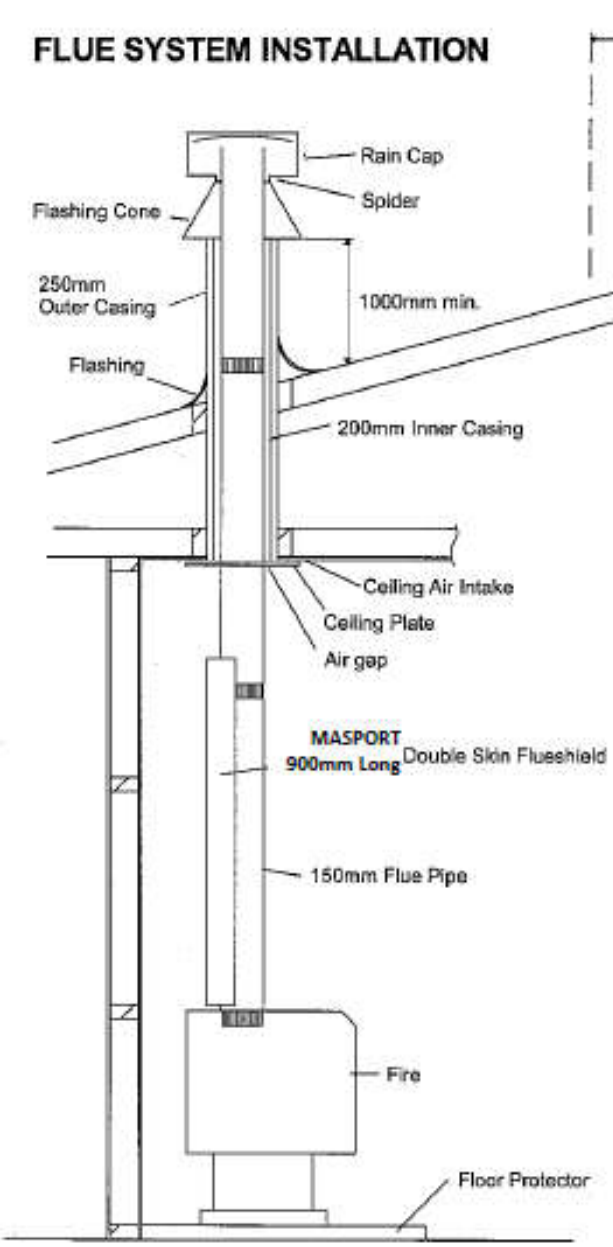
Phone: 0800 666 2824

Fax: 09 274 8472

Email: sales@glendimplex.co.nzWeb: www.glendimplex.co.nz

*Glen Dimplex New Zealand Ltd reserves the right to change specifications, the content of this manual, or the design of its product without prior notice.

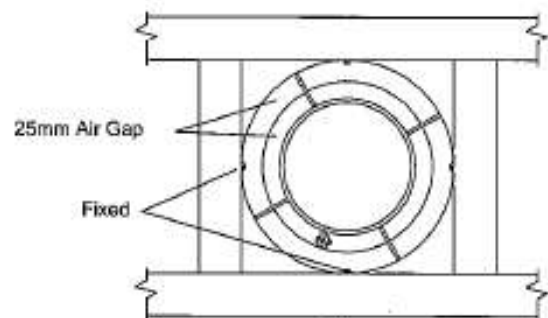
FLUE SYSTEM INSTALLATION



Installation shown complies with AS/NZS 2918:2001. If a flue exits out of the roof within 3 meters from the ridge, the outer shield height shall be not less than 600mm above the ridge. If the flue exits further than 3 meters out from the roof ridge then it must project at least 1000mm above roof penetration. This dimension may need increasing to ensure that the top of the flue is at least 3 meters away from the roof or other obstructions when measured horizontally.

The flue pipe shall extend not less than 4.6m above the top of the floor protector. Due to factors such as roof pitch, predominant winds, nearby obstructions (ie. trees, buildings), and fire placement, flue lengths and hats/cowls may vary.

CEILING PENETRATION PLAN



Above plan is valid only for flue manufactured by Glen Dimplex New Zealand Ltd

For other products, use specific flue installation specifications supplied by the manufacturer.

FLUE SYSTEM INSTALLATION 150mm

GLEN DIMPLEX WARRANTY REGISTRATION **MASPORT KAITUNA ULTRA-LOW EMISSION BURNER**

Thank you for purchasing a Masport Fire. We ask you to complete the following information and return it to the Glen Dimplex Warranty Registration Department at the following address:

New Zealand : P O Box 58473, Botany, Manukau 2163, Auckland

Mr / Mrs / Miss / Ms

Name: _____

Address: _____

_____ Post Code: _____

Telephone: _____ Fax: _____

Email _____

Model: _____ Serial Number: _____

Retailer: _____ Purchase Date: _____

Price: _____

Installed By: _____ Date Installed: _____

We at Glen Dimplex strive to provide you with quality products and have a continuous product development program. To help achieve our objectives to our mutual benefit we would welcome your feedback on the following questionnaire.

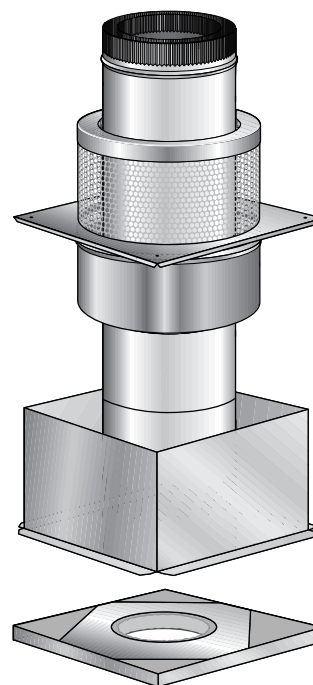
Question	Please tick appropriate remark			
1. General presentation of Product	<input type="checkbox"/> Excellent	<input type="checkbox"/> Good	<input type="checkbox"/> Ok	<input type="checkbox"/> Needs to Improve
2. Styling and Looks	<input type="checkbox"/> Excellent	<input type="checkbox"/> Good	<input type="checkbox"/> Ok	<input type="checkbox"/> Needs to Improve
3. Packaging	<input type="checkbox"/> Excellent	<input type="checkbox"/> Good	<input type="checkbox"/> Ok	<input type="checkbox"/> Needs to Improve
4. Is documentation easy to follow and informative?	<input type="checkbox"/> Excellent	<input type="checkbox"/> Good	<input type="checkbox"/> Ok	<input type="checkbox"/> Needs to Improve
5. Fixtures & Fittings (Loose parts)	<input type="checkbox"/> In order	<input type="checkbox"/> Items missing	<input type="checkbox"/> Needs to Improve	
6. Do you currently own Masport or Dimplex product?	<input type="checkbox"/> Yes	<input type="checkbox"/> No	Which? -	
7. Why did you decide on Masport? (Tick one or more options)	<input type="checkbox"/> Knew this brand		<input type="checkbox"/> Suggested by Friend	
	<input type="checkbox"/> Dealer recommended		<input type="checkbox"/> Better Price	
	<input type="checkbox"/> Performance		<input type="checkbox"/> Features	
8. Other Comments	_____			

Privacy Act Notice: the owner named on the Warranty Registration consents and agrees that Glen Dimplex may retain and use the information in this warranty card, including details about the owner for marketing and development purposes. The owner also agrees that Glen Dimplex may also share purposes with [intended recipients of such information]. In accordance with the New Zealand Privacy Act 1993 and the Australian Privacy Act 1988, the owner shall have the right to request the correction of, as well as inspect, all personal information held by Glen Dimplex on that owner.

**Please cut and mail this completed form within 30 days of installation to your
Glen Dimplex Warranty Registration Department at the above address**

Floor Penetration E Kit

1. With heater located in its proposed position mark a point on the first floor/ceiling that is directly above the centre of heaters flue outlet. Check that the heater's location allows the FLOOR PENETRATION UNIT to clear all structural floor timbers.
2. Cut a 305mm square hole in the floor.
3. Measure length from the surface of floor to ceiling below. If this measurement is less than 205mm the square CEILING SUPPORT UNIT will need to be trimmed accordingly.
4. Fit the square CEILING SUPPORT UNIT into the ceiling/floor aperture, securing with screws or nails. The flange should be flush with the underside of the ceiling.
5. Fit the MESH FLOOR PLATE into the CEILING SUPPORT UNIT and secure using the screws and spacers provided.
6. The FLOOR PENETRATION E KIT is now ready for installing the OUTER/INNER CASING COMBINATION, FLUE PIPE and INSULATED CEILING PLATE



THE INSTRUCTIONS FOR THE FLOOR PENETRATION E KIT MUST BE FOLLOWED. THIS UNIT IS DESIGNED FOR USE WITH 250/200 OUTER/INNER CASING COMBINATION ONLY.

THE OUTER/INNER COMBINATION MUST BE CONTINUOUS FROM THE FLOOR PENETRATION UNIT THROUGH CEILING AND ROOF STRUCTURES AND VENTILATE AT THE CASING COVER.

THIS UNIT IS NOT DESIGNED FOR USE WITH MESH SCREENS.

Tasman District Council
BUILDING CONSENT AUTHORITY

RECEIVED

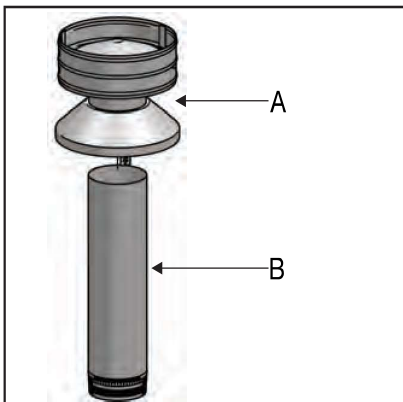
Date: **1/04/2025**

GDFLU012M

Free Standing Flue Kit 150 With Combination Cowl

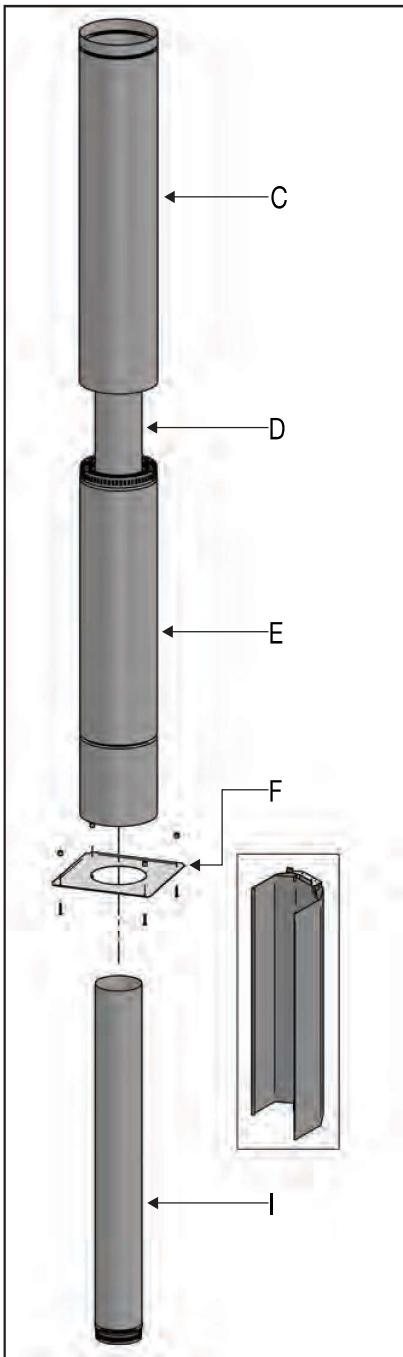
(With 1200mm Long Outer Slip Extension & 1200mm Long Double Flue Shield)

ROOF TERMINATION KIT 951909

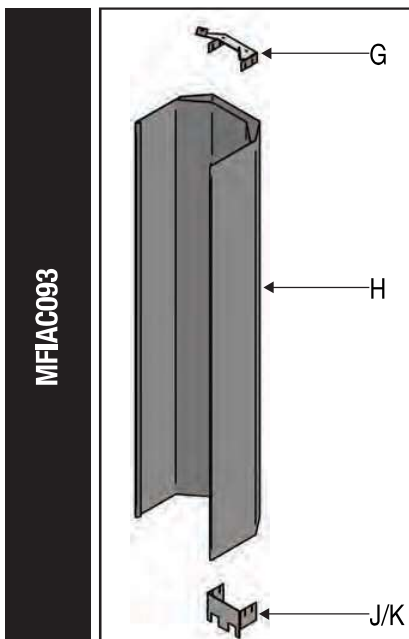
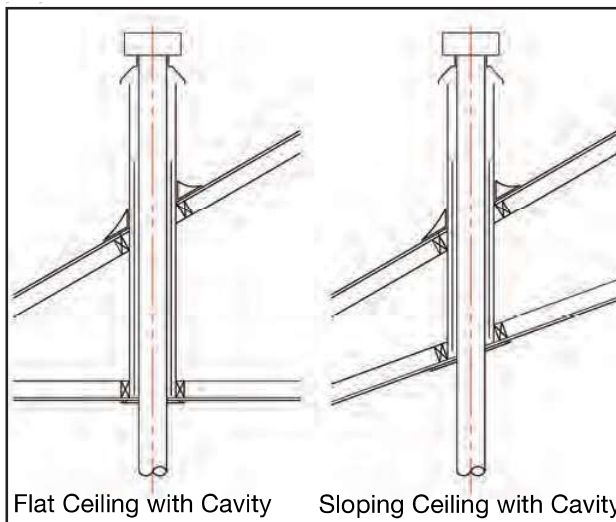


A	1 X 150 Anti Down Draft Combination	951916
B	1 X Flue 150mm x 600mm - 50mm to Swage, SS	951208
C	1 X Outer Shield Case - 1200mm OD 253mm	951222
D	1 X Flue 150 x 1200 -50mm to Swage- SS	951200
E	1 X Comb. Casing - 200/250/1200, Galv	951903
F	1 X Ceiling Plate 345 x 345mm SS	951515
I	2 X FLUE 150 x 1200 - S/S - VHT	951252V02
	4 X Ceiling Plate Ceramic Spacers	551207
	4 X Screw 10GX1-1/2" PAN POZI ZP	521651
	Flue Shield Installation Instruction	MFI00739
	150 4.2m Free Standing Install Instruction	591224

STARTER PACK 951908



	MFIAC093 - 1200 Long Double Flue Shield (Can be ordered separately)	
G	1 X MFI Flue Shield Top Bracket	MFI00097
H	1 X DD Double Flue Shield 1200mm	MFIAC091
J	1 X MFI Flue Shield Bottom Bracket (Convection)	MFI00098
K	1 X MFI Flue Shield Bottom Bracket (Radiant)	MFI00099



This flue kit has been tested and complies to AS/NZS 2918:2001, Appendix F test.

Diagram C AS/NZS 2918:2001 pg 37

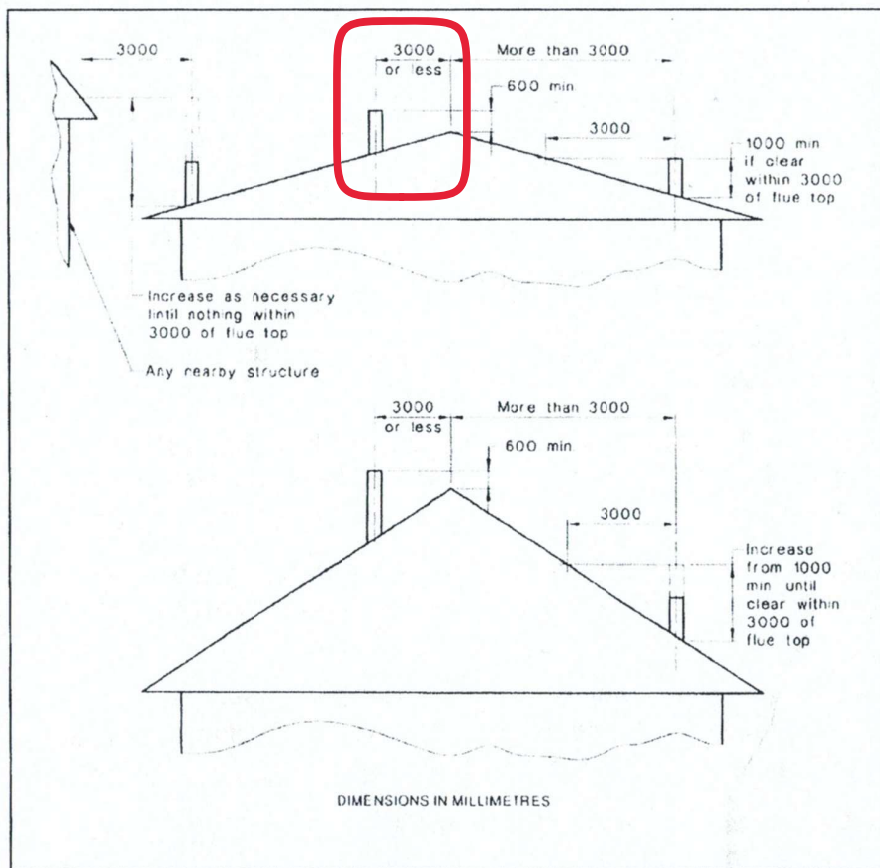
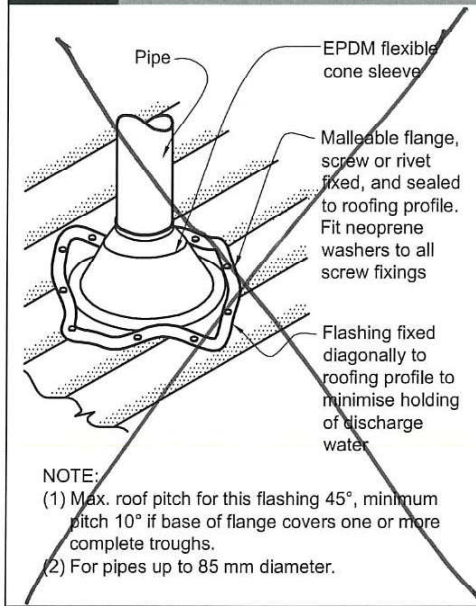
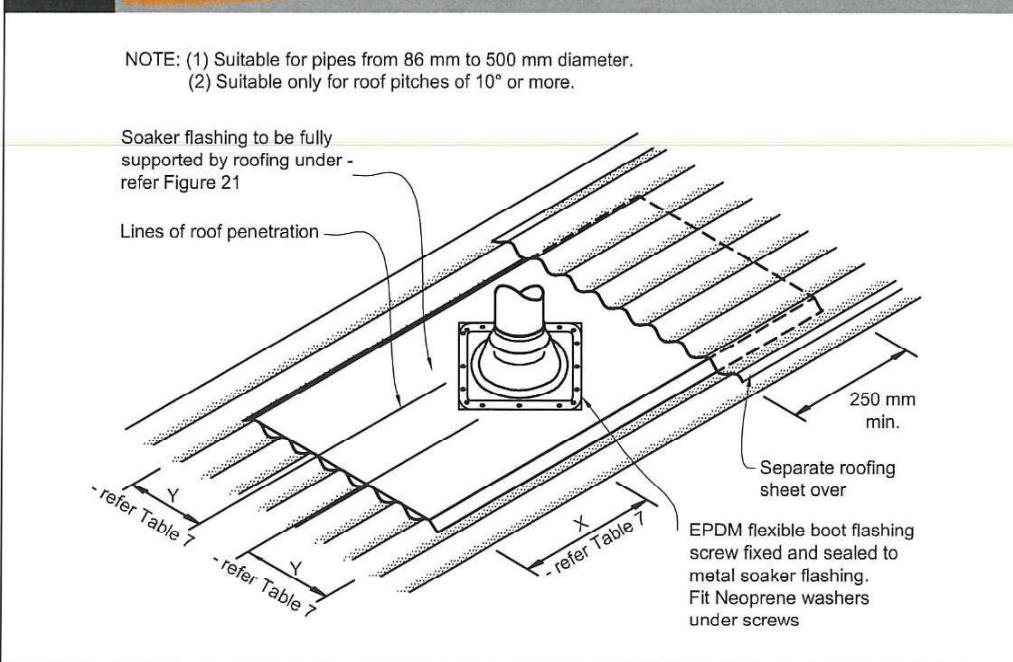


Figure 53: Flashing for small pipes
Paragraphs 8.3.10, 8.4.17, 9.6.8.5 and 9.6.9.6



Amend 5
Aug 2011

Figure 54: Soaker flashing for pipe penetrations
Paragraph 8.4.17

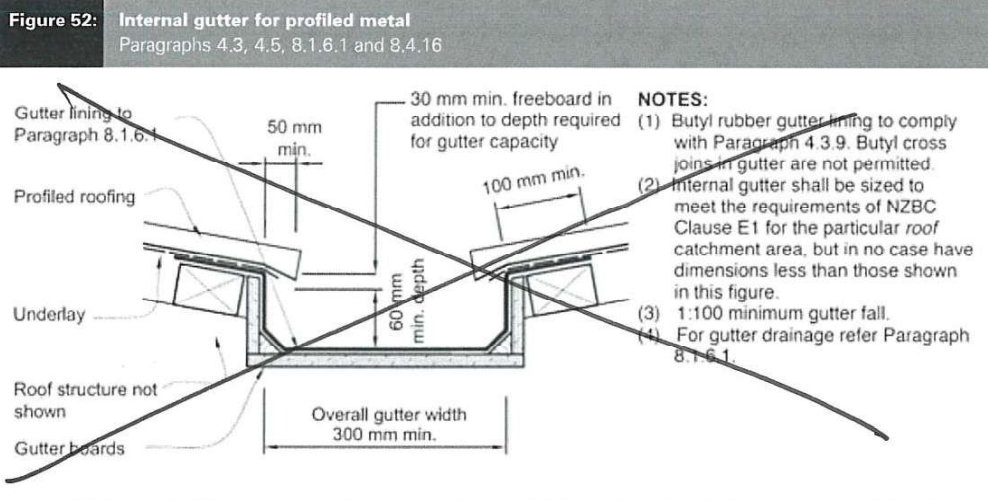


Errata 2
Dec 2011

Amend 2
Jul 2005

Amend 2
Jul 2005

Amend 5
Aug 2011



Amend 2
Jul 2005

Amends
5 and 10

8.4.17 Roof penetrations

The maximum length of profiled *roof cladding* above penetrations shall be as shown in Table 17.

The edge of roofing penetrations over 200 mm wide shall be supported in either direction with additional *framing* as shown in Figure 21.

Roof penetrations shall be flashed as follows:

- a) Pipe penetrations up to 85 mm shall be flashed using an *EPDM* boot *flashing* as shown in Figure 53,
- b) Pipe penetrations up to 500 mm shall be flashed using a soaker *flashing* and *EPDM* boot *flashing* as shown in Figure 54,

Amend 5
Aug 2011

Amend 2
Jul 2005

- c) Rectangular penetrations up to 1200 mm wide shall be flashed using a soaker type *flashing* as shown in Figure 55.

COMMENT:

Penetrations on lower pitched *roofs*, larger penetrations, or needing specialised complex *flashings* will require *specific design* to suit the particular circumstances.

The New Zealand Metal Roof and Wall Cladding Code of Practice should be consulted for guidance.

Amend 2
Jul 2005

Table 17: Catchment areas for profiled metal
Paragraphs 8.1.7, 8.4.17, Table 9, Figure 22

Penetration width	Maximum roof length above penetration in metres		
	Corrugated	Trapezoidal	Trough profile
800 to 1200 mm	4 m	8 m	16 m
600 to 800 mm	6 m	12 m	18 m (refer Note)
400 to 600 mm	8 m	16 m	18 m (refer Note)
0 to 400 mm	12 m	18 m (refer Note)	18 m (refer Note)

NOTE: Limited to 18 m as per the limitations of this Acceptable Solution.

Amend 5
Aug 2011

16 June 2025

Lindsay and Anthea Campbell
6 Milne Place
Richmond 7020

Dear Lindsay and Anthea Campbell

Site Inspection Report

Reference: BC250239

Location: 6 Milne Place, Richmond, LOT 14 DP 12551

Project: Install a freestanding wood burner

IR Number: 1

Inspection Results:

FINAL - 16 Jun 2025 @ 14:57 by Simon Kneebone

Inspection Outcome: **FAIL** The following aspects of this inspection have resulted in a Fail result -- see the item(s) below:

Domestic Solid Fuelburning Appliances:

1. Unable to determine if building works comply with consented plans due to cancellation of final inspection on 16-6-2025 by the Owner/Agent received through service request number 2515024.

These may be viewed at time of next inspection.

Inspection Summary: Unable to determine if building works comply with consented plans due to cancellation of final inspection on 16-6-2025 by the Owner/Agent received through service request number 2515024.

Your next inspection will be: **Final**

Please allow 2 working days notice when booking all Building Inspections.

Outstanding Required Documents for this Building

Final

- C: Solid fuel heater - Installers Declaration

History

Inspection Name

Final

Summary

FAIL - 16 Jun 2025

Reinspection required

Please allow a minimum of 2 working days notice when booking an inspection.

Yours sincerely

Simon Kneebone

Simon Kneebone

Senior Building Technical Officer

On behalf of **Tasman District Council**

24 July 2025

Lindsay and Anthea Campbell
 6 Milne Place
 Richmond 7020

Dear Lindsay and Anthea Campbell

Site Inspection Report

Reference: BC250239

Location: 6 Milne Place, Richmond, LOT 14 DP 12551

Project: Install a freestanding wood burner

IR Number: 2

Inspection Results:

FINAL - 24 Jul 2025 @ 08:21 by Simon Kneebone

Inspection Outcome: **PASS** - The BCA is satisfied, on reasonable grounds, that the aspects of building work pertaining to this inspection demonstrate compliance with the building consent.

Inspection Summary: Existing dwelling- New Masport Kaituna free standing wood burner installed, by John McKay, model complies with BC, existing tiled floor exceeds the min hearth requirements, two M8 dyna bolts as seismic restraints to fire box, ceiling penetration correct, first floor floor and ceiling penetrations as required, existing internal outer flue casing reused as in good condition and will easily last 15 years, chimney over 4.6meters high new EPDM rubber dektite around flue and sealed on soaker flashing, no wet back, flue shield fitted to 1.2m above the fire box, inner flue secured with S/S rivets.

Interconnected smoke alarms fitted in the locations as shown on the hand drawings. all worked when tested. The fire is ready to light. Fine to issue CCC

Your next inspection will be: **No further inspection required**

Outstanding Required Documents for this Building

Final

- C: Solid fuel heater - Installers Declaration

History

Inspection Name

Summary

<http://www.tasman.govt.nz>

189 Queen Street, Richmond 7020

Tel.: 03 543 8400 Email: building.support@tasman.govt.nz

Final

PASS - 24 Jul 2025

Please allow a minimum of 2 working days notice when booking an inspection.

Yours sincerely

Simon Kneebone
Senior Building Technical Officer
On behalf of **Tasman District Council**

Notes: Fire installed



Notes: flue through roof



MAIN BUILDING - R1 TO R3 COMPLEXITY: SOLID FUEL BURNING APPLIANCE ONLY - Inspections - AUDIT				
	Pass	User	Date	Notes
Final				
Heater: Act Provisions: Are Building Act legislative requirements satisfied?	Pass	SKe	24/07/2025 07:59 am	Compliant fire installed
Heater: F5: Construction and Demolition Hazards: Is site safety properly managed with work-site hazards identified, eliminated or minimised?	Pass	SKe	24/07/2025 07:59 am	Fire final, house is safe to inspect no see able hazards
Domestic Solid Fuelburning Appliances: Is the installation of the solid fuel burning appliance compliant?	Fail	SKe	16/06/2025 02:57 pm	
Domestic Solid Fuelburning Appliances - Prompt List:				
1. Type and location: Is the appliance type and location in accordance with building consent?				
2. Clearances: Are clearances to combustible materials in accordance with building consent?				
3. Floor protector: Is installation compliant?				
4. Flue assembly: Is this compliant? (Check - fixings, clearances from combustible surfaces and insulation and building wrap, check support, height and location above roof level).				
5. Flashing: Are building envelope penetrations flashed in accordance with building consent?				
6. Means of escape: Is this compliant? (Check - travel distances and that escape routes are free from obstructions).				
7. Smoke Detectors: Is the location & type of smoke detectors compliant?				
8. Ventilation: Is ventilation in accordance with the building consent?				
9. Durability: Have durability requirements been satisfied?				
10. Installer/ required documents: Have the installer qualifications and details been recorded and has the required quality assurance documentation been uploaded? (Energy Works Certificate - if applicable)	FAIL	SKe	16/06/2025 02:57 pm	Unable to determine if building works comply with consented plans due to cancellation of final inspection on 16-6-2025 by the Owner/Agent received through service request number 2515024.
Domestic Solid Fuelburning Appliances: Is the installation of the solid fuel burning appliance compliant?		SKe	24/07/2025 08:13 am	
Domestic Solid Fuelburning Appliances - Prompt List:				
1. Type and location: Is the appliance type and location in accordance with building consent?	PASS	SKe	24/07/2025 08:10 am	Fire Type and location: the appliance type and location is as per the consented plan.
2. Clearances: Are clearances to combustible materials in accordance with building consent?	PASS	SKe	24/07/2025 08:11 am	All clearances exceed the min requirements in the manufactures specifications
3. Floor protector: Is installation compliant?	PASS	SKe	24/07/2025 08:11 am	existing tile hearth far exceeds the min 300mm min requirements
4. Flue assembly: Is this compliant? (Check - fixings, clearances from combustible surfaces and insulation and building wrap, check support, height and location above roof level).	PASS	SKe	24/07/2025 08:12 am	Flue over 4.6 meters from FFL, painted inner flue stainless steel 150mm in size to ceiling plate, second flue lets air from roof space, riveted together with Stainless steel rivets, flue passes up through the second floor existing outer reused as in good condition, floor plates and ceiling plates as required
5. Flashing: Are building envelope penetrations flashed in accordance with building consent?	PASS	SKe	24/07/2025 08:13 am	Penetration through the roof meet external moisture requirements
6. Means of escape: Is this compliant? (Check - travel distances and that escape routes are free from obstructions).	PASS	SKe	24/07/2025 08:13 am	existing windows and doors in dwelling giving plenty escape access
7. Smoke Detectors: Is the location & type of smoke detectors compliant?				
8. Ventilation: Is ventilation in accordance with the building consent?	PASS	SKe	24/07/2025 08:15 am	existing windows and doors in dwelling giving plenty of ventilation
9. Durability: Have durability requirements been satisfied?	PASS	SKe	24/07/2025 08:15 am	New fire will easily last min 5 years
10. Installer/ required documents: Have the installer qualifications and details been recorded and has the required quality assurance documentation been uploaded? (Energy Works Certificate - if applicable)	PASS	SKe	24/07/2025 08:16 am	PS3 received from John McKay

MAIN BUILDING - R1 TO R3 COMPLEXITY: SOLID FUEL BURNING APPLIANCE ONLY - Inspections - AUDIT				
	Pass	User	Date	Notes
Domestic Solid Fuelburning Appliances: Is the installation of the solid fuel burning appliance compliant?	<u>Pass</u>	<u>SKe</u>	<u>24/07/2025 08:14 am</u>	
Domestic Solid Fuelburning Appliances - Prompt List:				
1. Type and location: Is the appliance type and location in accordance with building consent?				
2. Clearances: Are clearances to combustible materials in accordance with building consent?				
3. Floor protector: Is installation compliant?				
4. Flue assembly: Is this compliant? (Check - fixings, clearances from combustible surfaces and insulation and building wrap, check support, height and location above roof level).				
5. Flashing: Are building envelope penetrations flashed in accordance with building consent?				
6. Means of escape: Is this compliant? (Check - travel distances and that escape routes are free from obstructions).				
7. Smoke Detectors: Is the location & type of smoke detectors compliant?	PASS	SKe	24/07/2025 08:14 am	Multiple interconnected smoke alarms when tested these all sounded off
8. Ventilation: Is ventilation in accordance with the building consent?				
9. Durability: Have durability requirements been satisfied?				
10. Installer/ required documents: Have the installer qualifications and details been recorded and has the required quality assurance documentation been uploaded? (Energy Works Certificate - if applicable)				
Domestic Solid Fuelburning Appliances: Is the installation of the solid fuel burning appliance compliant?	<u>Pass</u>	<u>SKe</u>	<u>24/07/2025 08:15 am</u>	
Domestic Solid Fuelburning Appliances - Prompt List:				
1. Type and location: Is the appliance type and location in accordance with building consent?				
2. Clearances: Are clearances to combustible materials in accordance with building consent?				
3. Floor protector: Is installation compliant?				
4. Flue assembly: Is this compliant? (Check - fixings, clearances from combustible surfaces and insulation and building wrap, check support, height and location above roof level).				
5. Flashing: Are building envelope penetrations flashed in accordance with building consent?				
6. Means of escape: Is this compliant? (Check - travel distances and that escape routes are free from obstructions).				
7. Smoke Detectors: Is the location & type of smoke detectors compliant?	PASS	SKe	24/07/2025 08:15 am	Multiple interconnected smoke alarms when tested these all sounded off, these alarms were mostly on the wlls on the upper floor as the ceiling height were too high for maintenance, but well within the F7 requirements
8. Ventilation: Is ventilation in accordance with the building consent?				
9. Durability: Have durability requirements been satisfied?				
10. Installer/ required documents: Have the installer qualifications and details been recorded and has the required quality assurance documentation been uploaded? (Energy Works Certificate - if applicable)				

Decision To Issue CCC: Simon Kneebone at 24/07/2025 04:20 pm

16 June 2025

Lindsay and Anthea Campbell
6 Milne Place
Richmond 7020

Dear Lindsay and Anthea Campbell

Site Inspection Report

Reference: BC250239

Location: 6 Milne Place, Richmond, LOT 14 DP 12551

Project: Install a freestanding wood burner

IR Number: 1

Inspection Results:

FINAL - 16 Jun 2025 @ 14:57 by Simon Kneebone

Inspection Outcome: FAIL The following aspects of this inspection have resulted in a Fail result -- see the item(s) below:

Domestic Solid Fuelburning Appliances:

1. Unable to determine if building works comply with consented plans due to cancellation of final inspection on 16-6-2025 by the Owner/Agent received through service request number 2515024.

These may be viewed at time of next inspection.

Inspection Summary: Unable to determine if building works comply with consented plans due to cancellation of final inspection on 16-6-2025 by the Owner/Agent received through service request number 2515024.

Your next inspection will be: **Final**

Please allow 2 working days notice when booking all Building Inspections.

Outstanding Required Documents for this Building

Final

- C: Solid fuel heater - Installers Declaration

History

Inspection Name

Final

Summary

FAIL - 16 Jun 2025

Reinspection required

Please allow a minimum of 2 working days notice when booking an inspection.

Yours sincerely

Simon Kneebone

Simon Kneebone

Senior Building Technical Officer

On behalf of **Tasman District Council**

24 July 2025

Lindsay and Anthea Campbell
 6 Milne Place
 Richmond 7020

Dear Lindsay and Anthea Campbell

Site Inspection Report

Reference: BC250239

Location: 6 Milne Place, Richmond, LOT 14 DP 12551

Project: Install a freestanding wood burner

IR Number: 2

Inspection Results:

FINAL - 24 Jul 2025 @ 08:21 by Simon Kneebone

Inspection Outcome: **PASS** - The BCA is satisfied, on reasonable grounds, that the aspects of building work pertaining to this inspection demonstrate compliance with the building consent.

Inspection Summary: Existing dwelling- New Masport Kaituna free standing wood burner installed, by John McKay, model complies with BC, existing tiled floor exceeds the min hearth requirements, two M8 dyna bolts as seismic restraints to fire box, ceiling penetration correct, first floor floor and ceiling penetrations as required, existing internal outer flue casing reused as in good condition and will easily last 15 years, chimney over 4.6meters high new EPDM rubber dektite around flue and sealed on soaker flashing, no wet back, flue shield fitted to 1.2m above the fire box, inner flue secured with S/S rivets.

Interconnected smoke alarms fitted in the locations as shown on the hand drawings. all worked when tested. The fire is ready to light. Fine to issue CCC

Your next inspection will be: **No further inspection required**

Outstanding Required Documents for this Building

Final

- C: Solid fuel heater - Installers Declaration

History

Inspection Name

Summary

<http://www.tasman.govt.nz>

189 Queen Street, Richmond 7020

Tel.: 03 543 8400 Email: building.support@tasman.govt.nz

Final

PASS - 24 Jul 2025

Please allow a minimum of 2 working days notice when booking an inspection.

Yours sincerely

Simon Kneebone
Senior Building Technical Officer
On behalf of **Tasman District Council**

Notes: Fire installed



-BC250239

Page 3 of 4



BC250239

Page 4 of 4

Building: Main building
Inspection: Final
Question: Is the installation of the solid fuel burning appliance compliant?
Inspector: Simon Kneebone
Timestamp: 2025-07-24 16:12:47
Comment: Fire installed



Building: Main building
Inspection: Final
Question: Is the installation of the solid fuel burning appliance compliant?
Inspector: Simon Kneebone
Timestamp: 2025-07-24 16:12:47
Comment: flue through roof



Solid Fuel Heater Producer Statement 3 (PS3)



This producer statement is only to be used in association with a building consent and does not remove the requirement of an owner or agent to request the appropriate scheduled building inspection/s.

Building Consent:	250239		
Site Address:	6 Milne Place, Richmond		
In Respect of:	<input checked="" type="checkbox"/> <i>Installation of Solid Fuel Heating Appliance</i> <input type="checkbox"/> <i>Liquid Fuel Heating Appliance</i>		
Make	Masport	Model	Kaituna Ped
Installer Details:			
Company:	Tasman Bay Chimney Services Ltd		
Installer:	John McKay	Registration number if applicable e.g. HHA or plumber	NZHHA 1913
Address:	117 Bartlett Road Hope		
Email:	tasmanbaychimneys@gmail.com	Phone:	021564667
Declaration			
The installation of the heating appliance, stated above, has been carried out in accordance with the building consent.			
Signed by:	<i>John McKay</i>	Date:	10/06/2025

*Note: If the installation includes a heater exchanger (wetback) that is connected to a potable water supply, please have the plumber complete a pressure test certificate for inclusion with this statement.

Main building

C: Solid fuel heater - Installers Declaration (Final)

PASS

Accepted Documents:

- TDC_PS3_6_Milne_Place_Richmond.pdf (310.59kB)

Accepted Date: 24 Jul 2025 8:16:26 - Thursday

Accepted By: Simon Kneebone

Historical Notes

[PASS @ 24 Jul 2025 16:20:22] Simon Kneebone:

Installer PS3 received

[24 Jul 2025 8:16:26] Simon Kneebone:

Accepted document: TDC_PS3_6_Milne_Place_Richmond.pdf Reasons / Notes: PS3 received from John McKay NZHHA 1913 for the installation of Massport Kaituna PED, correct consent and address, signed and dated.

[16 Jun 2025 14:55:24] Simon Kneebone:

Accepted Document: TDC_PS3_6_Milne_Place_Richmond.pdf (renamed to CSolidfuelheater-InstallersDeclaration-001.pdf). Reasons / Notes: PS3 received from John McKay NZHHA 1913 for the installation of Massport Kaituna PED, correct consent and address, signed and dated.

Miscellaneous documents

- {no file(s) uploaded}

Minor variations

- {no file(s) uploaded}

Form 6:

Application for code compliance certificate

SECTION 92, BUILDING ACT

The building consent

Building consent number BC250239

Issued by Tasman District Council

The agent

Name of agent Tasman Bay Chimney Services Ltd

Contact person Teresa McKay

Mailing address 117 Bartlett Road, Hope, Richmond 7081

Street address/registered office 117 Bartlett Road, Hope, Richmond 7081

Landline 0210773487

Mobile 0210773487

Facsimile number No information provided

Email address tasmanbaychimneys@gmail.com

Website No information provided

Relationship to owner I am the Owner's agent acting on behalf of, and with the authority of, the Owner.

First point of contact for communications with the council/building consent authority

Full name Tasman Bay Chimney Services Ltd

Mailing address 117 Bartlett Road, Hope, Richmond 7081

Landline 0210773487

Mobile 0210773487

Facsimile number No information provided

Email address tasmanbaychimneys@gmail.com

Application

All building work to be carried out under the consent specified on this form was completed on May 29, 2025

The licensed building practitioners who carried out or supervised the restricted building work as follows

No restricted building work

The personnel who carried out the building work other than restricted building work are as follows

Name	John McKay
Registration Number	NZHHA 1913
Phone	021564667
Address	No information provided

The following specified systems are contained on the compliance schedule for the building and, in the opinion of the personnel who installed them, are capable of performing to the performance standards set out in the building consent

There are no specified systems in the building

I request that you issue a code compliance certificate for this work under section 95 of the Building Act 2004.

The code compliance certificate should be sent to the Agent 117 Bartlett Road, Hope, Richmond 7081

Signature of agent on behalf of and with authority of the owner Teresa McKay

Date Jun 10, 2025

Attachments

The following documents are attached to this application
No information provided

Form 7

Code compliance certificate

Section 95, Building Act 2004

The building

Street address of building: 6 Milne Place, Richmond
 Legal description of land where building is located: LOT 14 DP 12551
 Building name: Main building
 Location of building within site/block number: 6 Milne Place, Richmond 7020
 Level/unit number: 0
 Current, lawfully established, use: 2.0 Housing: 2.0.2 Detached Dwelling
 Year first constructed: 1986

The owner

Name of owner: Lindsay and Anthea Campbell
 Contact person: Lindsay and Anthea Campbell
 Mailing address: 6 Milne Place, Richmond
 Street address/registered office: N/A
 Phone number: Landline: N/A Mobile: 0212778941
 Daytime: Landline: N/A Mobile: 0212778941
 After hours: Landline: N/A Mobile: 0212778941
 Facsimile number: No information provided
 Email address: mlcinvestment@gmail.com
 Website: No information provided
 First point of contact for communications with the council/building consent authority:
 Teresa McKay (Tasman Bay Chimney Services Limited); Mailing Address: 117 Bartlett Road
 RD 1
 Richmond 7081; Mobile: 0210773487; Email: tasmanbaychimneys@gmail.com

Building work

Building consent number: BC250239
 Description: Install a freestanding wood burner
 Issued by: Tasman District Council

Code compliance

The building consent authority named below is satisfied, on reasonable grounds, that -
 the building work complies with the building consent.

Simon Kneebone

Position: Senior Building Technical Officer

On behalf of: Tasman District Council

Date: 24 July 2025

RICHMOND BOROUGH COUNCIL
APPLICATION FOR BUILDING PERMIT

Date: 17-3-86

To: Borough Inspector
 RICHMOND BOROUGH COUNCIL

Sir,
 I hereby apply for a permit to 2099
Build a house
 (describe nature of work)

for: RW + SF STUART (Owner) at: 6 Milne Place
 as detailed on the Site Plan TWO (2) SETS OF DRAWINGS AND SPECIFICATIONS attached herewith.

DESCRIPTION OF LAND TO BE BUILT ON: Rate Assessment No. _____
 Lot 14 DP _____ Section _____ Block _____ Land Area 688 sqm. m²
 (new title subdivision)

PARTICULARS OF BUILDING:
 Gross Floor Area new work 127.12 m² Site coverage of principal building 18.48% m²
 Site coverage of accessory building _____ m² Total site coverage 127.12 %

PROPOSED USE OF BUILDING:
 Indicate if building is Private Private - Rent or Lease _____ For Sale _____

VALUE OF WORK (See over)	FEES PAYABLE
(a) Value of Building (less Drainage & Plumbing) \$ <u>80,000</u>	Building Permit \$ <u>320.00</u> <u>240.00</u>
(b) Total Value of Drainage & Plumbing \$ <u>8,000.00</u>	
(c) Combined Value of above (a & b) \$ <u>88,000.00</u>	BRANZ Levy \$ <u>88.00</u>
(d) Value of Drainage & Plumbing less materials \$ <u>2,200.00</u>	Drainage & Plumbing Permit \$ <u>82.00</u> <u>22.00</u>
(e) Potential damage to public property (estimated) \$ _____	Indemnity Deposit \$ <u>300.00</u> <u>250.00</u>
(f) Development value for Reserves Levy assessment \$ _____	Reserves Levy \$ _____
(g) Development servicing upgrading costs \$ _____	Services Levy \$ <u>790.00</u>
	TOTAL PAYABLE \$ <u>600.00</u>

Notes: Dwg. Pby fee paid \$85.00 rec. 9870. 20-3-86. Balance fee owing 790 - 600 = \$190

Name & Address of Owner R.W. + S.F. STUART. 11 Dorset St. Richmond
 Name & Address of Builder Stevens + McKenzie 11 Selbourne Ave Richmond
 Name & Address of Drainlayer N. Ching 4 Balmoral Pl, Stoke
 Name & Address of Plumber J. McDowell Rests Island.
 Name & Address of Applicant R.W. STUART 11 Dorset St. Richmond.
 Signed by Applicant _____ Date 17-3-86.

FOR OFFICE USE
 Check Description of Land Drainage & Plumbing Permit Application
 Fees Paid \$600.00 Receipt No. 9768 Date 18.3.86.
 Notices sent for further detail: Further fee \$105.

APPROVALS Town Planning 25 20/3/86 Health [Signature] Drainage 21 MAR 1986
 Building & Structural _____
 ENDORSEMENTS FOR PERMIT _____

D033036

BUILDING PERMIT FEES

<u>Estimated Value of Work</u>	<u>Fee</u>
Up to \$10,000	\$9 per \$1,000
\$10,000 to 20,000	\$5 per \$1,000
\$20,000 to \$100,000	\$3 per \$1,000
Thereafter	\$1 per \$1,000

8000.
90
50
180
20

DRAINAGE & PLUMBING PERMIT FEES

<u>Total Value of Works (Minus retail costs of materials)</u>	<u>Fee</u>
Up to \$200	\$15
Thereafter up to \$1,000	\$5 per \$100
From \$1,001 to \$2,000	\$5 per \$200
From \$2,001	\$1 per \$100

2200.
15
40
25
2
82

BUILDING RESEARCH LEVY

\$1.00 for each \$1,000 (or part thereof) value of complete works project.
If complete value of project is less than \$10,000, NO LEVY IS PAYABLE.

STREET, FOOTWAY AND PUBLIC PLACES INDEMNITY DEPOSIT

\$250 minimum for all new work of total value \$10,000 or more or, if unusually heavy machinery or plant is used, a deposit may be required in any case, and of an amount fixed by the Engineer.

DEVELOPMENT RESERVES LEVY (Section 294 Local Government Act)

A Commercial, Industrial or Administrative Development is a building project of construction or alteration and includes fixed plant and all site works of a total value of more than \$100,000. A reserves levy is payable to Council at the rate of 0.5% of the total value.

A Residential Development is a building construction or alteration project which results in more than 2 dwelling units per allotment for which a reserves levy is made equal to 20 sq.m of lot area per unit more than two.

DEVELOPMENT SERVICES LEVY (Section 283 Local Government Act)

Where a development project may necessitate an upgrading of drainage, water supply or access services to the project, a fair and reasonable contribution from the developer may be required.

21 APR 1981

Inspector: M _____

File No. _____

Receipt No. 9768 / 30

Date Permit Issued 21 / 3 / 86

OWNER

Name R W Stuart

Mailing Address 11 Dorset Street
Richmond

BUILDER

Name Stevens & McKenzie

Mailing Address 11 Selbourne Avenue
Richmond

PROPERTY ON WHICH BUILDING IS TO BE ERECTED/DEMOLISHED

SITE

Street No. 6

Street Name Milne Place

Town/District Richmond

Riding _____

LEGAL DESCRIPTION

Valuation Roll No. _____

Lot 14 D.P. _____

Section _____ Block _____

Survey District _____

DESCRIPTION OF PROPOSED WORK AND MAIN PURPOSE OF USE

Erect New Dwelling

FLOOR AREA		DWELLING UNITS	
Whole Sq. Metres	<u>127</u>	Number Erected	<u>1</u>

ESTIMATED VALUES \$	ESTIMATED VALUES	
	Building	<u>80000</u>
Plumbing	<u>8000</u>	
Drainage		
TOTAL	<u>88000</u>	

NATURE OF PERMIT (TICK BOX)

NEW BUILDING
- exclude domestic garages and domestic outbuildings

FOUNDATIONS ONLY

ALTERED, REPAIRED, EXTENDED
- include conversions and resited buildings

NEW CONSTRUCTION OTHER THAN BUILDINGS - include demolitions

DOMESTIC GARAGES AND DOMESTIC OUTBUILDINGS

FEES APPLICABLE

Building Permit	\$ <u>320</u>	Water Connection	\$ _____
Street Damage Deposit	\$ <u>300</u>	Vehicle Crossing Levy	\$ _____
Building Research Levy	\$ <u>88</u>	M.S. Plumbing	\$ _____
Plumbing	\$ <u>82</u>		\$ _____
Drainage	\$ _____		\$ _____
Sewer Connection	\$ _____	TOTAL:	\$ <u>790</u>

Receipt No. 9768 / 30

Date of Payment 18 / 4 / 86

Authorised Officer _____

Special Conditions: _____

Date Inspected	REMARKS (e.g. stage reached with work)

2 MAR 1986

Building Permit Application Check List

Address of Work: 6 Melrose Ave.
 Name of Owner: Kos Stuart
 Name of Permit Applicant: do

Date of Check: _____
 Checked by: [Signature]

1 FORMS AND PRELIMINARIES:

- (a) Application form complete
- (c) Drainage and Plumbing Application
- (e) Building Projects Authority Certificate
- (g) Street number allocated
- (i) Work values
- (k) Specifications
- (m) (Chapt. 3) Existing Buildings: change of use, alterations and additions comply, seismic comply, *demolition*,
- (n) Developments levies, Reserves contribution > \$100,000 or > 2 Flats
- (p) Title endorsement if permit allows for slippage, etc.
- (q) Access for disabled - premises applicable, paths, parking, ramps, entry doors, steps, toilets, handrails, comply NZS4121, new construction, major reconst.
- (t) Street crossings, access to property, private works
- (v) Factory Commercial Premises Act requirements: clothing storage, rest room, cleaning store
- (x) Timber quality, TPA Std, subfloor, poles, exterior, balcony
- (b) Planning consent given
- (d) Craftsman Plumber & Regd. Drainlayer's names
- (f) ALL fees paid. Receipt No.s OK
- (h) Designer's name and qualifications
- (j) 2 plan sets - same, complete, quality
- (l) Site inspection - ground support, strata, top soil depth, slope stability, catchments and surface flooding, vegetation
- (o) Refusal of Permit - interferes with subdivision, land not suitable, damage from erosion, slippage, subsidence, inundation
- (r) Flats plan approval requirements
- (s) Subject to NZS3604:1981, or Design requirements NZS1900
- (u) Private works reqd, water, drainage, access, etc.
- (w) Accessory building proposals, site, F.R.R., neighbour OK, coverage
- (y) Special areas, foundation design
- (z) *Queen St. door fixings*

2 SITE PLANNING AND DESIGN

- (i) Locality plan - scale, neighbourhood relativity, streets, reserves, adjacent building development, new building
- (ii) Site plan - new development, existing buildings, yards, site works, site dimensions (Length bearing area)
- (iii) Site Engineering
 - (a) Existing, new, contours, excavations and fills, extended to adjoining sites
 - (b) Drive construction, carparks, cross sections and profiles from street kerb, drainage and kerbs
 - (c) Sewer, stormwater drainage, dimensioned plans, profiles and levels, *protection, cover,*
 - (d) Approved drain connections levels established, *basements & r.o.w.*
 - (e) Site and adjacent land drainage, field drains, soakage pit tests
 - (f) Water supply plan, meter installation, back flow preventor, multi-units
 - (g) Land stability, retaining walls
 - (h) Land support capacity, strata detail
 - (i) Existing premises comply drainage, plumbing

Site Servicing

- (a) Power and telephone underground plans
- (b) Easements for drainage, water, access

3 PLANS

- (a) Foundation (b) Basement (c) All floors and services *Roof incl drainage*

4 ELEVATIONS

- (a) Footing outlines (b) Detail description & dimensions, materials, finishes, bracings
- (c) External services, plumbing systems, flues, access and egress, vents, *roof drainage,*

5 CROSS SECTIONS

- (a) Each different structural element (b) Differing whole building elements
- (c) Fixing, ties, straps, reinforcement, bracing

6 STRUCTURAL DETAIL

- (a) Structural connections (b) Reinforcing and bracing elevations and plans
- (b) Frames and load bearing systems (d) Trusses and node detail, truss plans, roof bracing, fixing, ties
- (e) Computation report and design calculations (g) Foundation drainage, connections, drainage courses
- (f) Lintels, fixings (i) Burners, fireplaces, flues
- (h) Major plumbing design (with sketches) (k) Joinery design and dimensions
- (j) Accessory buildings design (m) Verandah, balcony, terrace construction
- (l) Loading Code NZS4203:76, Special structures, etc. (o) Slab on ground const. foundations, vapour barriers, bearing walls, site fill, slab shrinkage
- (n) Linings schedule, walls, ceilings (q) Battens, purlins, fixing timbers, walings
- (p) Sheathing - veneer, ties, DPC, backing, reinforcement, fixing, venting

7 HEALTH STANDARDS

- (a) Number and isolation of WCs (b) Room sizes, heights, bed spaces (c) Lighting, ventilation, heating
- (d) Plumbing & drainage trapping, venting (e) Combined drains, greater than one building
- (f) Reqd. fittings - urinal, basins, cleaner's sinks, hot and cold water (g) Insulation
- (i) Stair design, Fire Code, etc. (h) Room combinations, areas, residential reqs. Chapt. 4
- (k) Floor levels, concrete floor clearance, crawl space (j) Underfloor and cavity ventilation
- (l) Weather proofing, roof falls & flashings, expansion *& catchments,*

8 FIRE AND EGRESS

- (a) Occupancy class, type construction (b) Size fire compartment (c) FRR exterior walls, distances and ratings
- (d) % openings (e) Parapets (h) Roof space restriction
- (f) FRR frames, floors, panels, fire doors, windows, (NZS 1188) (g) Separation occupancies (j) FRR eaves & projections
- (k) Party walls (i) Surface finishes (m) Sprinkler concessions
- (n) Number of exitways (l) FRR horizontal panels (p) Cul-de-sacs
- (q) Internal, external stairs (o) Exits, width units (s) Lighted exit signs
- (r) Alarms, emergency lighting (r) Protection exits (v) Places of Assembly, spec. conds.
- (w) Theatres, cinemas, spec. conds. (u) Escapeways (y) Fire prevention - first aid, hoses
- (z) Shops - spec. conds. (x) Multi-storey buildings, spec. conds.
- (al) Accommodation Dwellings, (motels, etc.) spec. conds.

Specification

Specification of Work
to be done and materials
to be used in the
erection and completion
of

New House

For

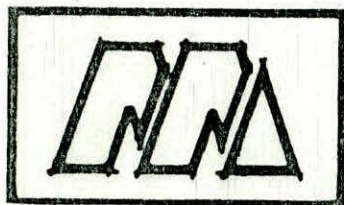
Mr R.Stuart

At

Milne Place Richmond

Legal Description
of Site

lot 14



Neville R.Malcolm
Building Design Ltd.
134 Bridge Street
NELSON



Job No.1966

Date March 1986

Copyright

PRELIMINARY & GENERAL

The Contractor

The Contractor is required to provide all plant, tools, labour and materials to complete the work in the best trade manner in accordance with this Specification and its accompanying drawings. Any apparent ambiguities in this Specification or discrepancies between the requirements of the Drawings and Specifications shall be referred to the Owner or Draughtsman for interpretation.

Sub-Contractors

The Contractor may appoint specialist Sub-Contractors to undertake sections of the work but shall be responsible for their good workmanship and their co-ordination with his own and other tradesmen.

This must not construe that the Owner is involved in separate contract with those so appointed and the Owner in turn shall not directly negotiate with or instruct the Sub-Contractors unless he has the Contractor's authority so to do.

Permits

Obtain all permits and pay all fees required.

Protection

The Contractor shall allow to protect all public and private property throughout the construction period and shall make good any damage.

Maintenance

The Contractor shall at his own expense, maintain the works in thorough repair during construction and for a maintenance period of 30 days after certified completion of the job. The Contractor shall rectify all faults in workmanship and materials notified to him by the Owner, during this period.

Site

The site shall be visited prior to tendering and no claim will subsequently be allowed for any extra work due to lack of knowledge of site conditions, nature of sub soil or any other matter.

Materials

All materials of every description shall be new and the best of their respective kinds specified. Where materials of the particular size, brand or manufacture specified are not procurable when required, substitution of other materials may be permitted, but only by special written permission of the Owner and agreed adjustment in cost.

Standards

The methods of construction and the type, quality and sizes of materials used to complete the work shall not be less than laid down in the N.Z.S.S. 1900 chapter 6:1 1978 and N.Z.S. 3604:1978 as required by the local authority under whose jurisdiction the work falls and all other relevant bylaws, standards and regulations.

Nett Sums

The nett sums allowed in this Specification are 'nett' and the Contractor or Sub-Contractor must allow for all cartage, fixing and profit he requires to all such items.

Completion

Throughout the construction period the Contractor shall keep the site as tidy as possible and give due consideration to the occupants of neighbouring properties, particularly in the question of obstruction and noise.

On completion of the work the whole site shall be left clear and the building, paths and steps etc clean and ready for use.

Insurance

Throughout the construction period the Contractor shall hold himself and the Owner covered against all claims and losses that may arise in connection with the Contract.

Temporary Services

The Contractor shall arrange for all temporary services, pay all fees in connection therewith and remove same on completion of Contract.

Workmanship

The whole of the works shall be executed by competent tradesmen in accordance with best trade practice with materials of the grades and qualities as specified.

Progress Payments

The Contract is subject to the provisions of the Wages Protection and Contractor's Liens Act 1939, and its amendments, and the employer is hereby authorised to retain out of the Contract price such sums for such periods as the said Act and its amendments, directs to be his duty. The rates of payment shall be 90% of certified value of the work actually done and 90% of the certified value of materials on the site which are to be included in the permanent work.

Retention during the maintenance period shall be at the rate of 5%.

Time For Completion

The Tenderer in his Tender shall state his date for the completion of the whole of the Contract. The Contractor must accept responsibility for his Sub-Contracts being completed on time.

Claims for extension of time due to abnormal weather conditions, site conditions, fire, strikes, earthquakes will be considered.

Drawings and Specifications

Any written dimensions on the Drawings shall be taken in preference to measurements by scaling.

The subdivision of the Specification into sections and clauses is for convenience only and has no bearing on the interpretation of any clause. All clauses in all sections apply to the entire Contract and whereas reasonable care is taken to classify under each trade the onus is on each trade to make themselves conversant with all clauses which may affect their work.

Standard Drawings as follows and as appended form part of this Specification and shall be read in conjunction with other Drawings.

Where work is indicated on drawings but not in specification or visa versa it shall be deemed to be included in contract as if it were included in both.

Drainage

All existing drainage and connection points have been ascertained from existing records or on site inspection where this has been possible. The drawings provide no guarantee that existing drains are located exactly where shown. It shall be the Contractor's responsibility in all cases to ensure that these drains are located on site by excavation before any building work is commenced.

Supervision

It is a requirement of the N.Z. Standard Design Codes that the Design Engineer, or his appointed representative, supervise all structural work. Supervision in this context means general supervision only and shall include such periodic supervision as may be necessary to ensure that the structural work is being executed generally in accordance with the design. N.Z.S.S.623 forms part of this contract and under clause 13.1 authorises the design Engineer to make variations to work in progress.

All supervision and variation costs shall be met by the Principal.

EXCAVATION

Allow for all bulk excavation as indicated on drawings.

All excavated material except top soil shall be removed from the site as part of the Contract, unless otherwise advised.

Excavate for all foundations and driveway as required.

Should any soft patches be discovered, the Contractor may be required to do additional work, to be paid for as an extra to the Contract.

The Contractor shall place and consolidate backfilling round all foundations.

MASONRY & PLASTERING

MASONRY (where applicable)

Construct all masonry as detailed

All work shall be carried out by competent blocklayers. Only first class workmanship will be accepted. All masonry work shall conform to the relevant clauses of N.Z.S. 1900 6:2 and N.Z.S. 1900 9:2.

All block work shall be in stretcher bond.

Wall Veneer	70 series brick
Colour	selected by Owner
Pointing	to match

PLASTERING (where applicable)

Terraces, porches, steps etc	- steel float finish plaster
Exposed foundations	- stipple finish plaster
Stucco finish	- stipple finish to approval

CONCRETE & REINFORCING

Concrete

Construct all concrete work as shown on the Drawings.

Concrete shall be pre-mixed or site mixed to provide 17.5 MPa crushing strength at 28 days standard cured.

Reinforcement shall be deformed bars or plain round bars as indicated on the drawings and shall be clean and free from rust, scale, oil or paint.

All Floor slabs shall be finished with a power float or steel trowel to a smooth even finish.

CARPENTRY & JOINERY

Timber

All timber shall be in the best of the several grades and kinds specified and in accordance with N.Z.S.S. 3631 classification and of grading of N.Z. Building Timbers. Notwithstanding the grade of timber specified any piece of timber with defects which effect the strength or soundness of the work shall not be used.

Classification and grading of timber shall be in accordance with N.Z.S. 3602. The following types and grades of timber shall be used:-

- | | |
|--|---|
| Roof framing | - douglas fir equivalent to No.1 framing |
| Wall framing | - douglas fir equivalent to No.1 framing |
| Sub floor framing | - radiata pine C8 OR douglas fir if 2.100 or more above ground level. |
| Timber trim, fascias, barges etc | - D.A. rimu treated C7. |
| Interior finishing timbers | - D.A. rimu clear. |
| Exterior deck framing, Decking, balustrading | - radiata pine c 3 treated |
| | - radiata pine treated C7. |

Provide and fix continuous two-ply bituminous fabric damp-course between all timber and concrete which would other be in contact, OR alternatively use T.P.A. C3 treated timber in such situations without any D.P.C.

Gauging

All framing timbers in walls and partitions shall be gauged in width to produce regular plane surfaces to linings.

Priming

Before fixing, prime with red lead primer all joints, laps and abutting of exterior finishing timbers, all surfaces of external timber door and window frames.

Finish

All exposed timber shall be dressed to a smooth surface. Internal joinery and finishing timbers shall be brought to a smooth and even surface by sandpapering.

Sheathings

Materials shall be applied with the highest standard of workmanship and made entirely weatherproof.

All materials shall be fixed in strict accordance with the manufacturers recommendations.

Exterior - sheathing brick, rustic boarding

underlining building paper

Interior - refer schedule

Flooring

20mm high density particle board joints only sanded at completion of job.

Finishings

Cornice - standard timber

Skirting - ex 75 x 12 top edge bevelled 15°

Architraves - grooved liners

Windows

All windows shall be of standard anodised aluminium construction fully glazed to builder's choice.

All window sashes shall be complete with friction stays and furniture.

Windows to bathrooms, W.C. etc to be glazed in obscure glass.

Doors

	Type	Finish
exterior	aluminium slider aluminium casement	-
interior main	hollow core flush panel	-
wardrobe	aluminium slider	-
garage	tilta	-

All doors shall be hung on loose pin f.b. hinges.

Hardware

Allow the nett sum of \$ 450.00 for supply of hardware.

Wardrobes

2 ex 300 x 25 shelves and 20 diameter galvanised pipe hanging rail.

Linen Cupboard

Four full depth 20mm particle board shelves.

Hot Water Cupboard

Two slatted airing shelves above H.W.C. and four slatted airing shelves beside H.W.C. where applicable

Stairs Ex 300 x 50 strings
Ex 250 x 50 treads
Ex 25 risers
Handrail selected by Owner.

Kitchen Cupboards

To later detail

Shaving Cabinet

Provide 450 high x 525 x ex 150 deep cupboard with intermediate shelf and two sliding glass mirror doors in P.V.C. track

Ceiling Manhole

Provide 600 x 600 lift-out type to each roof space.

Insulation

Ceiling - R 2.2 rating where exposed rafters.
(1.6 to trussed ceiling.)
Fill insulation shall be of the ratings shown.

Exterior walls - R 1.6 rating.

Ground floor - double sided perforated aluminium foil draped 100mm minimum between joists.

Additional Information

Room	Wall lining		Ceiling Lining		Door Finishes
	Material	Finish	Material	Finish	
kitchen	gibraltarboard	wallpaper	michelangelo	paint	polyurethane
dining	ditto	ditto	ditto	ditto	ditto
family	ditto	ditto	ditto	ditto	ditto
lounge	ditto	ditto	ditto	ditto	ditto
entry	ditto	ditto	ditto	ditto	ditto
laundry	ditto	ditto	ditto	ditto	ditto
bedroom 4	ditto	ditto	ditto	ditto	ditto
bathroom ground floor	ditto	ditto	ditto	ditto	ditto
bedrooms 1-3	ditto	ditto	particle board	ditto	ditto
gallery	ditto	ditto	ditto	ditto	ditto
bathroom first floor	ditto	ditto	ditto	ditto	ditto
shower	seratone	-	seratone	-	-

SCHEDULE OF FINISHES

ROOFING

Roofing material as shown on drawings.

Corrugated iron shall be laid on building paper.

Metal tiles shall be laid on No.15 saturated felt.

Underlay to concrete tiles is not required where roof pitch exceeds 25°.

ELECTRICAL

Main

Bring power supply from Local Authority reticulation by underground route to main switchboard.

Cable shall be of adequate size for the required load and meet Local Supply Authority requirements.

Switchboard

Provide and instal a standard pattern Gael or equivalent switchboard cabinet with hinged door.

Switchboard shall be suitably labelled with suitable labelling to facilitate easy identification of switchgear and circuits connected thereto.

Lights

Instal all lighting fittings and switches as shown on the drawings.

Lighting switches shall be P.D.L. 200 series rocker type white colour switches flush mounted and fixed at a height of 1.200 to centre above floor level.

Incandescent lighting to flat ceilings shall be P.D.L. batten holders fixed to ceiling complete with 100 watt coiled filament 'pearl' type lamps and plastic ivory coloured 225mm flat conical shades.

Incandescent lighting to exposed beam and sloping ceilings shall be pendant type with ivory coloured P.D.L. ceiling rose and bayonet fittings suspended on white flex.

Socket Outlets

All wall switch socket outlets shall be single or double, P.D.L. 200 series ivory 10 amp flush mounted.

Electric Stove

Allow the nett sum of \$ 2500 for supply of wall oven and hot plates

Heaters

PLUMBING & DRAINLAYING

General

All work shall be done according to best trade practice and in accordance with Local Authority and the 'Drainage and Plumbing Regulations 1978'.

Stormwater & Sewer

Connect as shown. Pipes shall be either pipes with rubber ring jointing or UPVC 110mm O.D. laid in accordance with manufacturers recommendations.

Plumbing

Spouting Klass

Downpipes P.V.C.

Wastes & Traps

Connect all fittings with appropriate size Dux polypropylene wastes and traps in accordance with Dux Code of Practice.

Water Supply

All water pipes shall be Qest Dux or similar.

Supply Tank

Nura 135 litre.

Hot Water Cylinder

180 litre standard with wetback connections where indicated on plan.

Sink Bench

Formica top with coved upstand and stainless steel sink T.V. shape.

Bath (where shown on drawings)

Plix white or pressed steel as All white.

Shower Tray (where shown on drawings)

Stainless steel.

W.C.Pan

White china with Dux or similar seat and flap and Dux centre flush with front tripper.

Shower Mixing Valve

Topliss valve with topliss rose fitted

Soap Trays

Plix SH5 fitted above bath and to shower.

Taps

Methven crystalline.

Two hose taps to each house or flat.

Vanity or Hand Basin

Provide standard formica top vanity with cupboards under as indicated on plan.

PAINTING & PAPERHANGING

Paint to various surfaces where used shall be as follows.

Refer to the schedule of finishes under 'carpentry'.

All colours shall be as selected by the Owner.

All paintwork shall be of three coat application.

Exterior

Sheathing - fibrolite products, concrete foundations	- 2 coats semi gloss acrylic
Exposed dressed timbers, spoutings & downpipes	- gloss paint
Exposed beams and other rough sawn timbers	- 2 coat stain
Round poles and roofing	- no painting

Interior

Walls - hardboard	- hi-gloss enamel
Ceilings - insulating board - particle board	- matt paint
Exposed beams etc	- 2 coat stain
Flooring	- no finish

Additional Information

Wallpaper - allow P.C. sum of \$17.00 per roll for wallpaper.

INSTALLATION INSTRUCTIONS



GENERAL

The heater must be installed in accordance with NZS 7421:1972 or as directed by the local Building Inspector. The By-laws usually require that a Building Permit is obtained before installation and we recommend that you advise your Insurance Company that you are having the heater installed.

The minimum clearances shown are necessary to prevent overheating of nearby combustibles and the drying out of timber in the house structure. Tests have been carried out to verify that the heater complies with all requirements when properly installed.

The four M12 x 25 mm bolts supplied as feet for the plinth must be used in all cases. The heat shields in the plinth must be used in all cases.

Both of the above are necessary to prevent overheating under the hearth.

N.B. For installations outside New Zealand please check local authority requirements.

THE HEARTH

This must be made from an insulating and incombustible material, such as concrete or brick at least 50 mm thick.

The heater should be set on the hearth so that the hearth protrudes at least 330 mm in front of the heater plinth. The hearth must also protrude at least 258 mm on each side of the heater plinth. A suitable minimum hearth size is 920 mm deep x 941 mm wide x 50 mm thick.

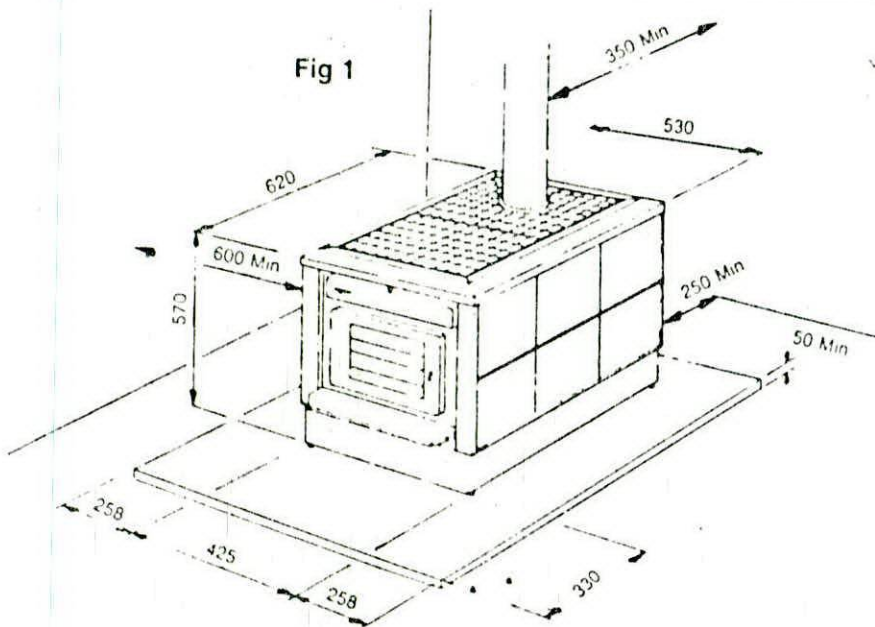
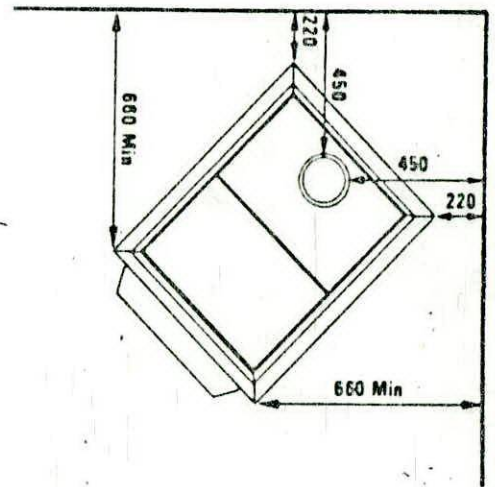


Fig 2



CLEARANCES (see Fig 1)

The minimum clearance from the back of the heater to combustible materials is 250 mm. The minimum clearance from the sides of the heater to combustible materials is 600 mm. (Gibraltar Board and the like on timber studs are classed as combustible materials).

The minimum clearance from the bare flue to combustibles is 350 mm.

The minimum clearance from the top of the heater to the ceiling above is 1600 mm.

The minimum clearance for a corner installation are:—

Flue 450 mm from combustibles

Rear heater corners 220 mm from combustibles

For these clearances to apply, the centre line of the heater must bisect a 90° corner, as in Fig 2.

Should it be necessary, methods of reducing the above clearances by means of heat shields can be found in NZ Standard 7421:1972, refer to Clause 304 "Protective Screens". If using these methods, care must be taken to comply exactly with the requirements and conditions of this Standard.

THE FLUE

It is important that the flue should be vertical and without any bends. Any restrictions, or leaks, can cause smoking under certain conditions due to poor draught. Joints between sections should be securely fixed using self tapping screws. All joints must be airtight, use flue seal if necessary. The flue cowl should be at least 600 mm above the highest ridge of the roof to ensure the draught is not affected by pressure zones caused by wind currents on the house. When the flue is installed through a flat roof, the cowl should be at least 1500 mm above the ridge. Note that any roof with a pitch angle of less than 30° is treated as a flat roof for the purposes of pressure zones. At joints the smaller diameter of each flue section should be at the bottom to mate with the normal diameter section below. Suitable materials for the flue are 1.2 mm panel steel or 0.6 mm stainless steel.

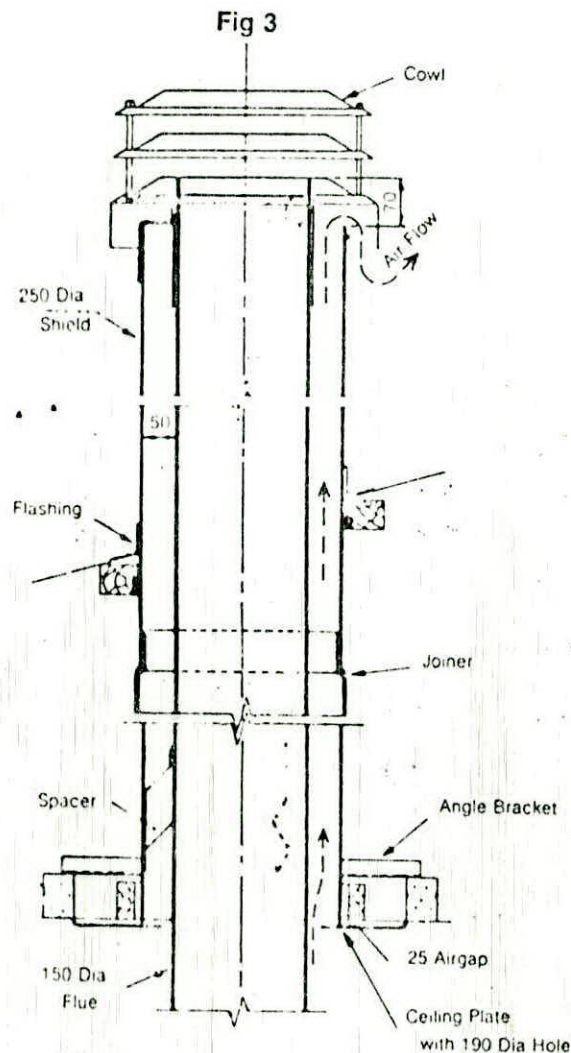
The minimum length of flue on which the heater will operate satisfactorily is 3600 mm. This is the length supplied in the standard flue kit, though extension lengths are available.

FLUE SHIELDING

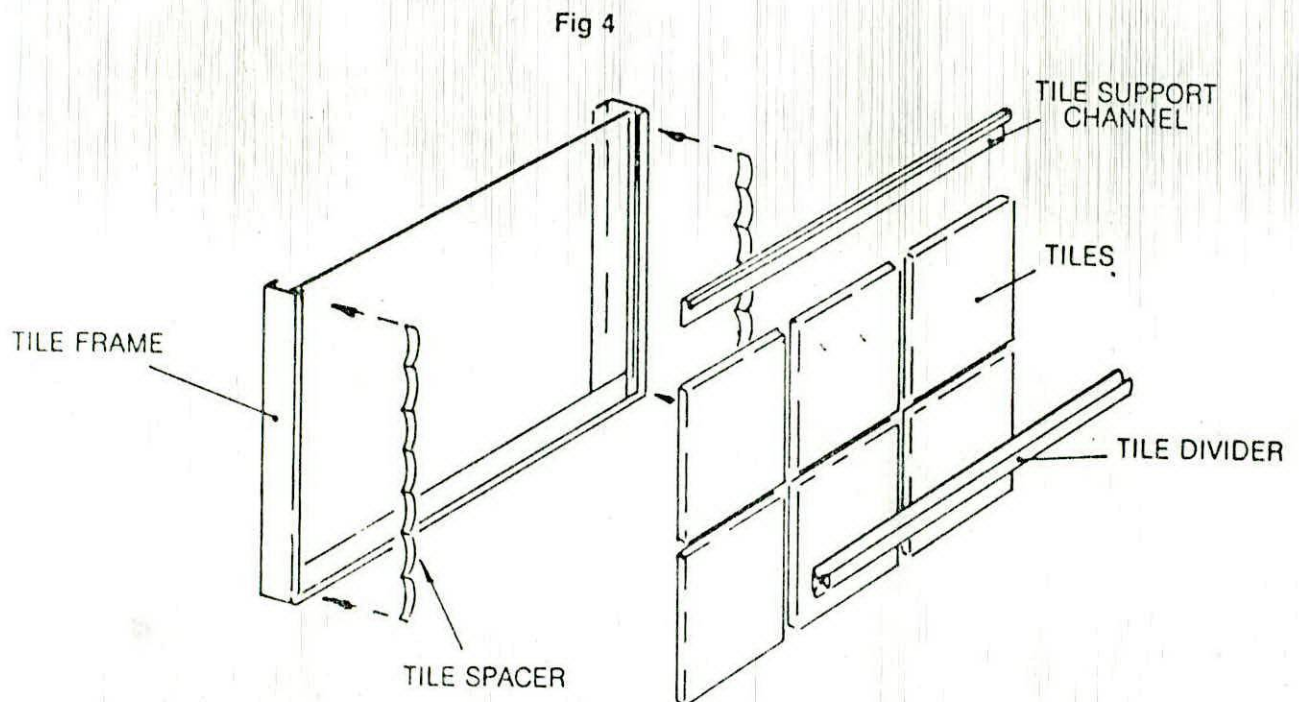
A shield must be fitted to prevent the hot flue from contacting any timber or other combustibles in the roof space. A free air passage of 50 mm must be left between the flue and shielding as shown in Fig 3. In addition the ceiling plate should have a 190 mm hole for the flue to pass through. This allows enough clearance for the cooling air to enter and circulate freely.

The portion of the flue extending above the roof line must be shielded all the way. Failure to do this will cause chilling of the hot gases and can cause the flue to become blocked. Fig 3. shows how the shielding extends from the ceiling plate up to the cowl. If the flue length is increased, the shielding length must be increased to match it. The shielding is 0.6 mm galvanised steel. A flue kit meeting the above specifications is available from your Kent Dealer. Ask for the Tile Fire flue kit.

1. Select the location of the heater bearing in mind the wall to heater clearance distances required.
2. Check the route for the flue which should be clear of roof timbers.
3. Mark the flue centre on the ceiling and plumb to position the hearth. Install the hearth.
4. Cut the holes in the ceiling and roof for the flue shield. Fit timber nogs round the holes allowing for 25 mm air gap between the flue shield and timber.
5. The 250 mm flue shield should extend from the ceiling plate upwards to terminate 70 mm below the top of the flue. Either calculate the correct length of flue shield and cut it to size, or temporarily position the heater and flue so that the correct length can be measured.
The flue shield is supplied in two separate lengths together with a joiner.
6. **N.B.** The joiner must be fitted with the smaller diameter uppermost inside the shield as shown in Fig 3. Attach the flue shield and joiner with self tapping screws.
7. Fix the flue shield into place with the long angle brackets supplied using self tapping screws and flash it to the roof using lead flashing, or a 'Deklite' flashing cone -- ask your dealer for details.
8. Make sure the three heat deflector baffles are in position. Two are under the heater on the inside of the plinth and one is between the heat exchanger and the rear of the cabinet. Make sure the four mounting and levelling feet are in place, one under each corner of the plinth.



8. Before fitting the flue to the heater, fit the 12 ceramic tiles as follows:-
 - A. Ensure the heater is now in its final position.
 - B. Remove the two top decorative metal panels. They lift straight up.
 - C. Remove the top metal surround by carefully lifting it straight up.
 - D. Carefully place 3 ceramic tiles in a row along the bottom groove in each side. Fit the end tiles first, placing the tile tensioning springs in position while doing so. The springs fit vertically at each end of the tile rows, to prevent excess tile movement. If tiles are oversized, springs can be discarded.
 - E. Slide the aluminium tile divider down on top of these tiles so that the narrow edge faces outwards. The groove on the tile divider should fit over the top of the tiles.
 - F. Carefully slide the remaining 3 tiles for each side down on top of the tile divider.
 - G. Fit the tile support channels onto the top row of tiles. See Fig. 4.
 - H. Fit the top surround in place making sure it is properly located at each corner.
 - I. Place the two top decorative metal panels back in position.



9. Place the ceiling plate, flanges upwards, carefully over the heater flue stub. It is suggested that both finishes be protected by placing plastic sheet between heater and ceiling plate. The ceiling plate can now rest on top of the heater while the flue is being installed. This makes the flue easier to install and helps prevent the flue paint from being scratched.
10. Install the flue.

All joints must be fastened with at least 3 self tapping screws spaced evenly around. All flue joints must be airtight. Use flue seal if necessary.

The flue sections are assembled with the smaller diameter ends nearest the heater and the larger diameter ends towards the cowl.

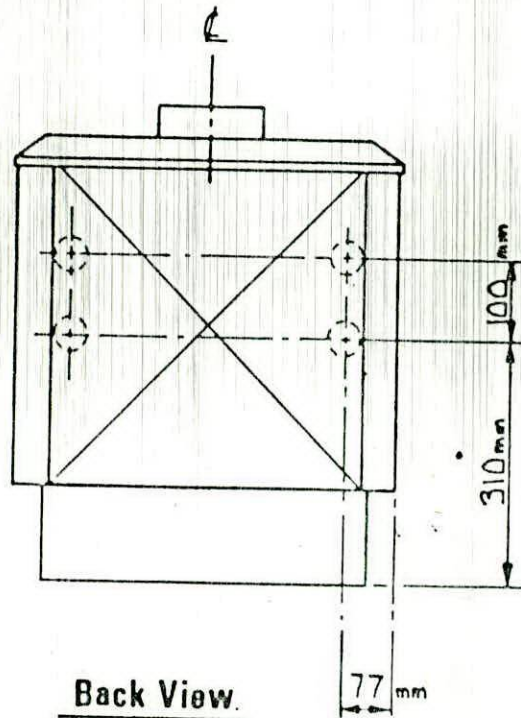
The bottom section of the flue is swaged but uncrimped. This must be attached to the heater (swaged end first) using self tapping screws. The 3 spacers must be fitted to the flue so that they are located just above the bottom of the flue shield when the flue is installed - see Fig 3. It is important that these spacers are located equally around the flue, thus keeping the flue central in the flue shield.
11. Fix the cowl to the top of the flue as shown in Fig 3, and retain with self tapping screws. The air flow shown must not be reduced in any way. (See earlier section on "Flue Shielding").

Note: The flue cowl is designed to fit so that the flue goes all the way up inside the spigot. To enable this to fit properly the flue shield should finish 70 mm below the top of the flue. The three brackets on the cowl should be on the outside of the flue shield.
12. Raise the ceiling plate and fix it to the ceiling so that the flue is central in the hole. Take care when raising the ceiling plate into position, to avoid damage to flue surface finish.

The Tile Fire hot water booster is not designed to take over the total water heating load — it is simply a booster to reduce the amount of power normally used for hot water heating.

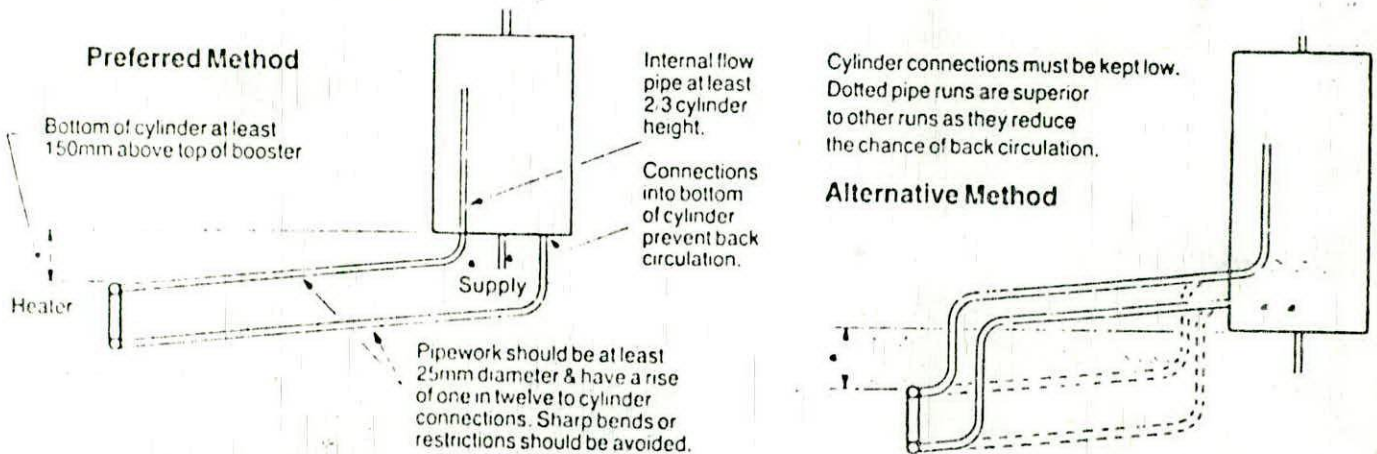
1. The Tile Fire Heat Exchanger has pre-punched knock-outs on either side. These can be removed with swift, firm blows with a heavy ball pein hammer. This is best done prior to fitting the heat exchanger into the fireplace. If the knock-outs cannot be removed, drill around the knock-out with a small drill, and try again.

Hot Water Booster Mounting Positions.



Back View.

HOT WATER BOOSTER INSTALLATION



2. The water booster must be fitted as shown in the sketch.
3. The hot water booster can be fitted on either side of the heater.
4. The positioning of the booster is critical.
5. It is very important to make sure the hot water booster is not damaged by logs when refuelling.
6. Also it may be noticed that when the hot water booster is fitted the fire tends to lean away from the booster; this condition is quite normal.

NOTE:

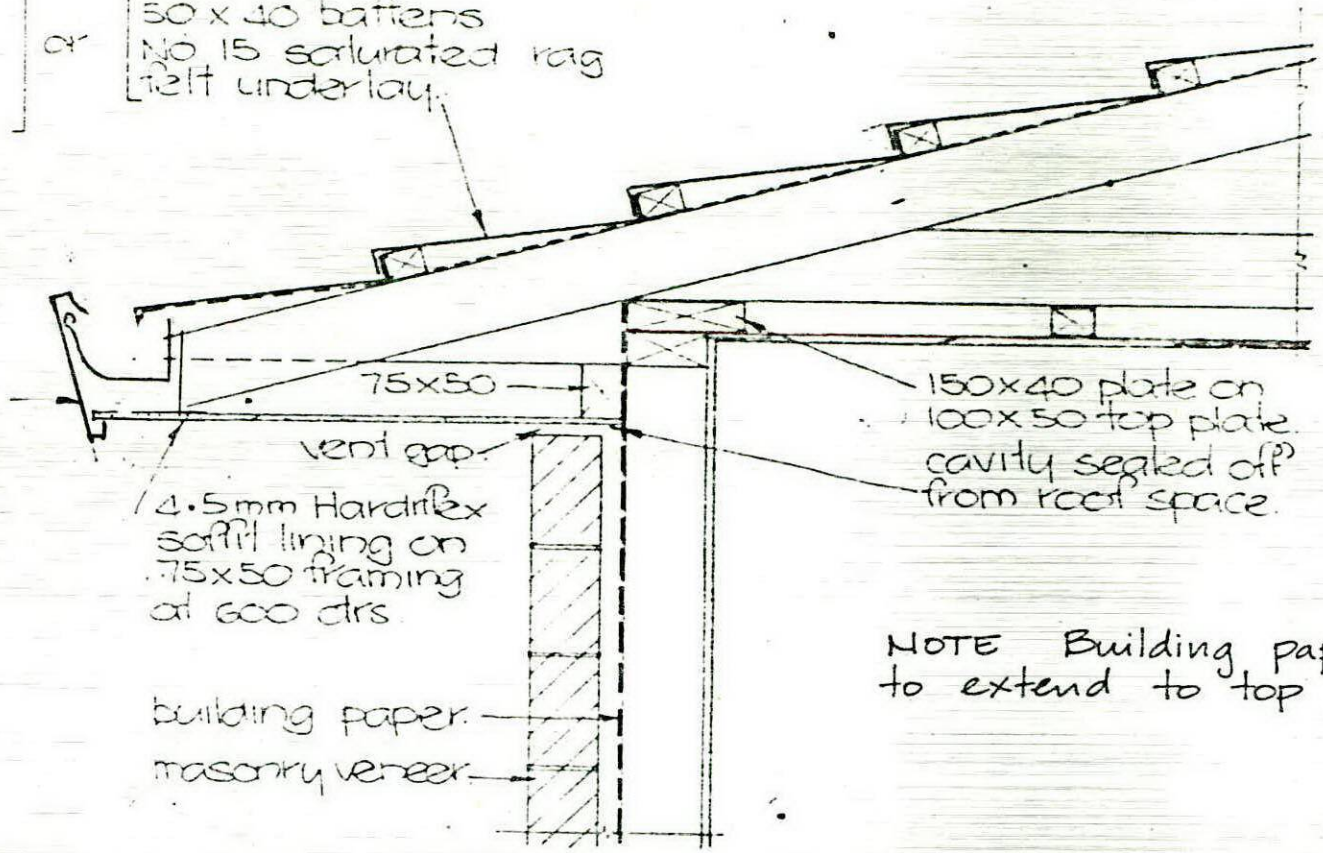
- Only a Kent hot water booster should be used.
- Only one booster must be fitted to the unit.
- The booster system must be used only for heating domestic hot water — not radiators, for pool heating, or the like.

0.45 corrugal iron
building paper or
netting
75x50 purlins
at 600 ctrs.

or

roof tiles
50 x 40 battens
No 15 saturated rag
felt underlay.

Klass
fascia



vent gap
4.5mm Hardiflex
soffit lining on
75x50 framing
at 600 ctrs.

building paper
masonry veneer

150x40 plate on
100x50 top plate
cavity sealed off
from roof space.

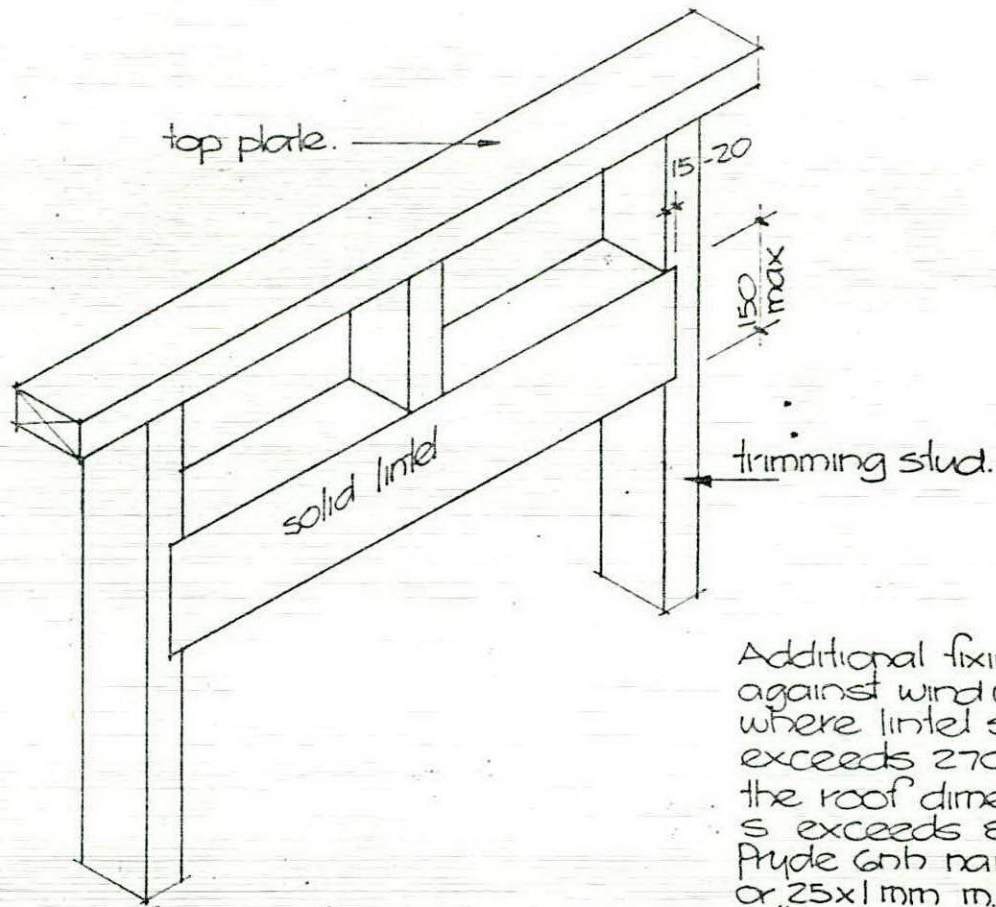
NOTE Building paper
to extend to top plate.

SR 106

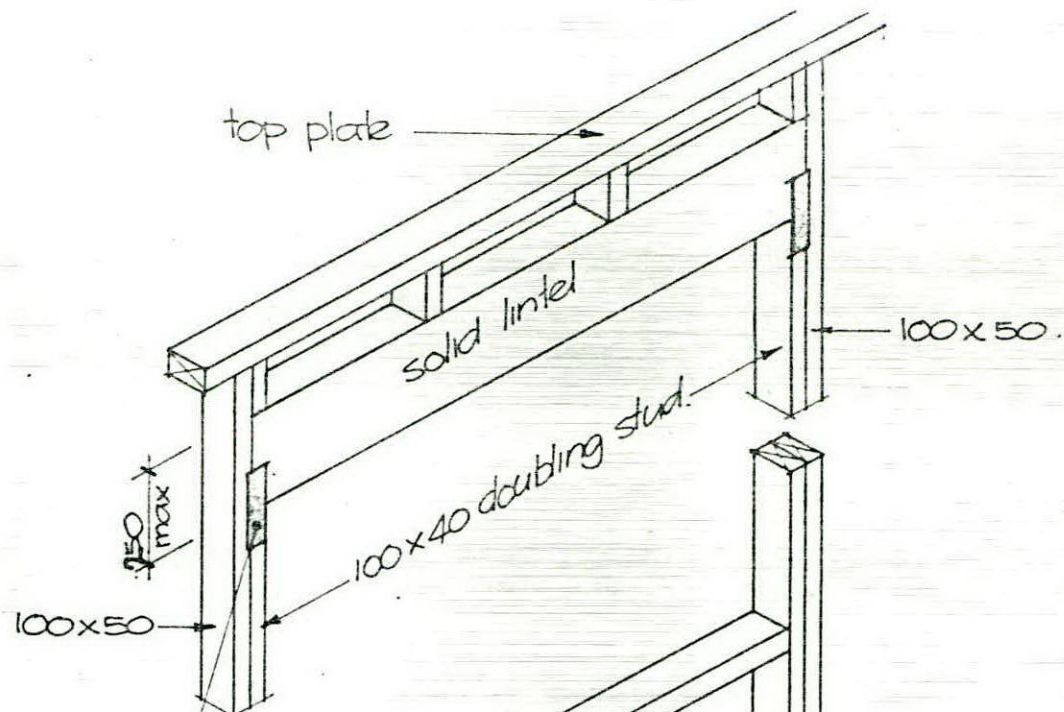
STANDARD SOFFIT DETAIL
MASONRY WALL VENEER - METAL TILE ROOF.

NEVILLE & MALCOLM
BUILDING DESIGN SERVICE
134 BRIDGE ST NELSON

DRAWN
TMENZIES
AUG 1979

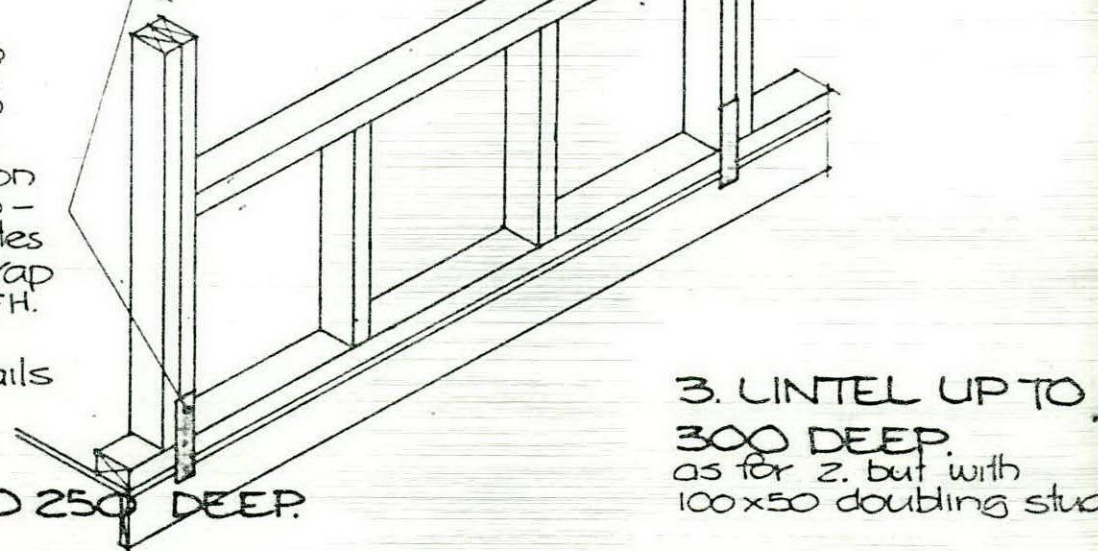


1. LINTEL UP TO 150 DEEP.



Additional fixing against wind uplift where lintel span exceeds 2700 & the roof dimension s exceeds 8000 - Pryde 6th nail plates or 25x1mm m.s strap with 6- 30x2.5 F.H. nails into stud & 6- 30x2.5 F.H. nails into blocking or boundary joist.

2. LINTEL UP TO 250 DEEP.



3. LINTEL UP TO 300 DEEP. as for 2. but with 100x50 doubling stud



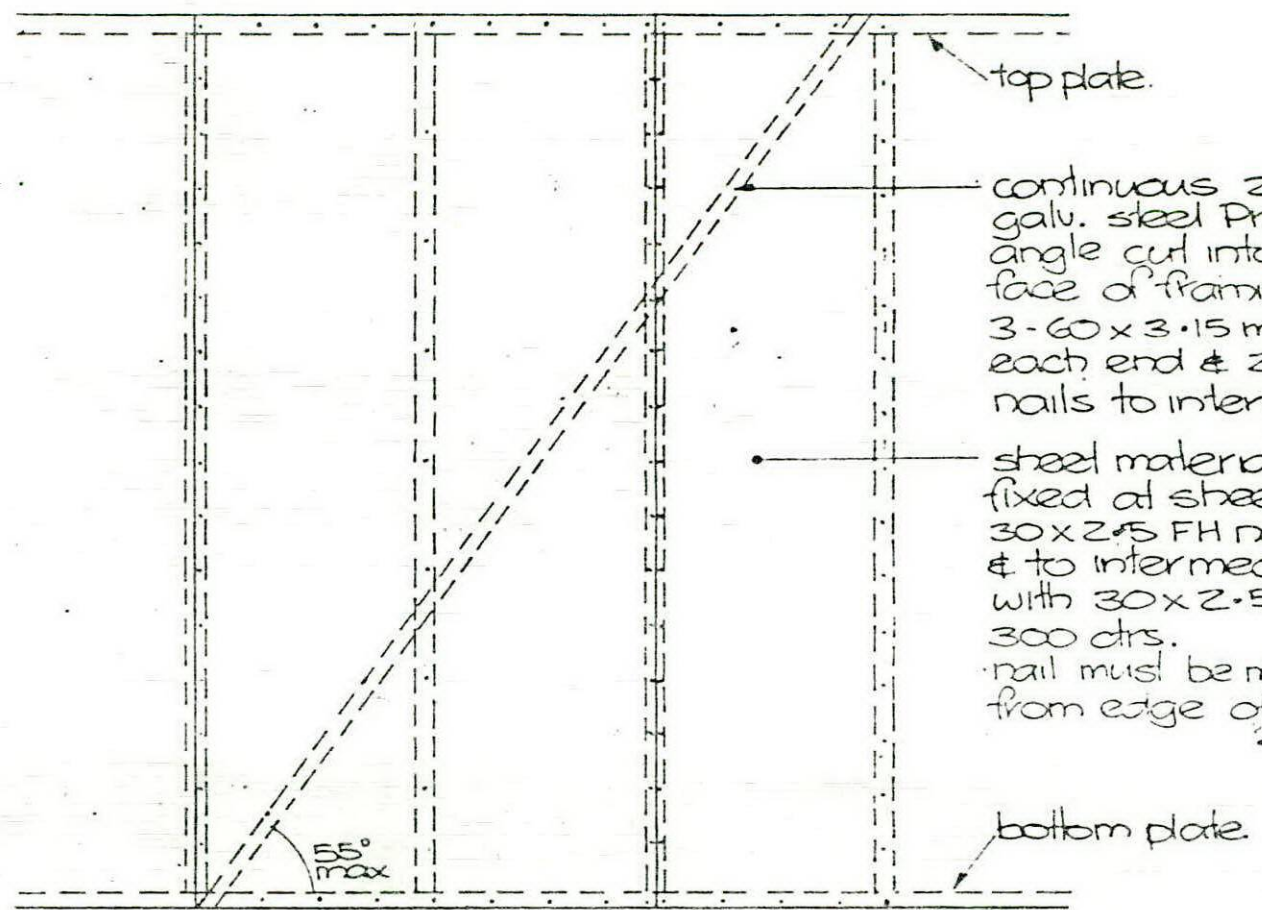
Neville R. Malcolm,
Building Design Service,
134 Bridge Street, Nelson.
Drawn by: T. MENZIES.

LINTEL FIXING

SW105

AUGUST 1979

extent of steel material min 1.700
 (for stud height of 2450)
 for length see calculation sheet



top plate.

continuous 22x22x1.2 galv. steel Pryde bracing. angle cut into outside face of framing. fix with 3-60x3.15 mm nails at each end & 2-60x3.15 mm nails to intermediate studs.

steel material to inside face fixed at sheet edges with 30x2.5 FH nails at 150 ctrs & to intermediate studs with 30x2.5 FH nails at 300 ctrs. nail must be minimum of 10mm from edge of sheet.

bottom plate.

NOTE:
 sheet bracing shall be of one of the following materials.

- 6mm plywood.
- 4.75mm hardboard
- 6mm bison board
- 10mm medium density particle board
- 9.5mm gib board.

TYPE 1 BRACE
 Rating (bracing units per metre of element length)
 42 in single or top story
 50 in any other location.

TYPE 2 BRACE
 As for type 1 but with steel material to both sides.
 Rating 62 in single or top story
 74 in any other location.

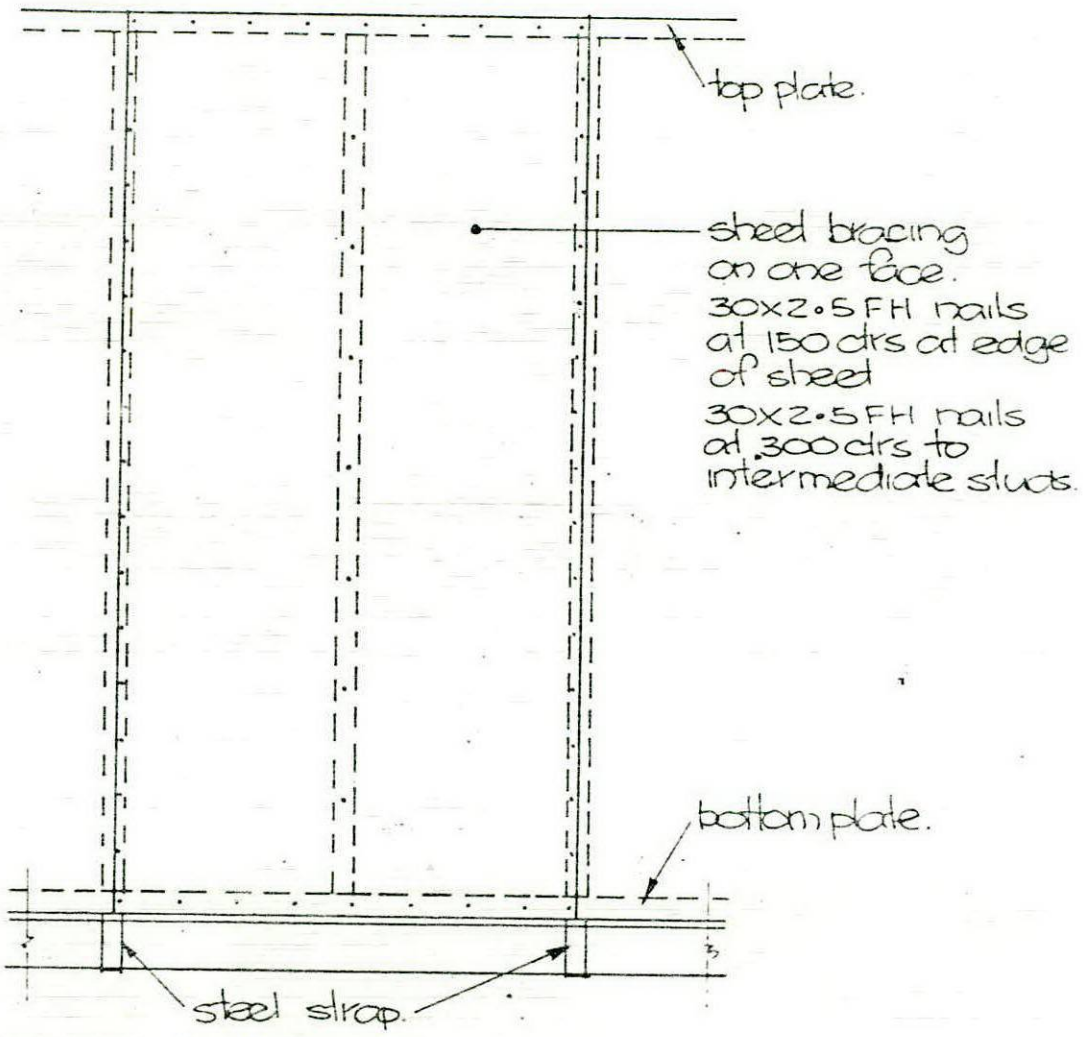


Neville R. Malcolm,
 Building Design Service,
 134 Bridge Street, Nelson.
 Drawn by: T. MENZIES.

WALL BRACING
 TYPE 1. TYPE 2.

SW104
 AUGUST 1979.

refer to calculation sheet for length req'd.



TYPE 8 BRACE.
rating (bracing units per metre of element length) = 67 in any location.

NOTE:

stud, plates & dwangs may be reduced in width max. 10 mm to accommodate sheet bracing material.

sheet bracing shall be of one of the following materials:

- a. 6mm plywood.
- b. 4.75 mm hardboard.
- c. 6 mm bisonboard.
- d. 10 mm medium density particle bbl.

TYPE 9 BRACE.

as for type 8 brace but element to exceed 1800
Rating 83 in any location.



Neville R. Malcolm,
Building Design Service,
134 Bridge Street, Nelson.
Drawn by T. MENZIES.

WALL BRACING
TYPE 8. TYPE 9.

SW103

AUGUST 1979

(CIRCLE whichever is applicable)

NAME: R. Stuart

ADDRESS: Milne Place

STOREY: Single or Uppermost
Lower of two or middle of three
Lower of three

ROOF TYPE: Light Heavy

ROOF PITCH: $0^\circ - 25^\circ$ / $26^\circ - 45^\circ$

WIND AREA: High / Medium / Low

W = 55 B.U.'s/m

EARTHQUAKE ZONE: A B / C

E = 5 B.U.'s/m²

ROOF OR BUILDING LENGTH

BL = 16.5 m

ROOF OR BUILDING WIDTH

BW = 9.5 m

GROSS ROOF OR BUILDING PLAN AREA

GPA = 157 m²

EARTHQUAKE: B.U.'s ALONG AND ACROSS

	EQ	WIND
E x GPA	= 5 x 157 = 785	B.U.'s
W x BW	= 55 x 9.5 = 523	B.U.'s
W x BL	= 55 x 16.5 = 908	B.U.'s

WIND: B.U.'s ALONG

WIND: B.U.'s ACROSS

SKETCH PLAN (external and internal walls) :

Total B.U.'s Required	Well Line		Well Bracing Elements Provided				
	Label	Minimum B.U.'s Required	Label No.	Type	Rating B.U.'s/m	Length (m)	B.U.'s Provide
ACROSS	L	16.8 x 10	1	8	67	.9	60
			2	8	67	.9	60
			3	8	67	1.5	100
		168	Sub-total				
	M		4	1	42	2.1	88
			5	8	67	1.8	120
			6	1	42	2.6	109
		70	Sub-total				
	N		7	8	67	1.2	80
			8	1	42	2.2	92
			9	8	67	1.2	80
		168	Sub-total				
	O						
		Sub-total					
P							
		Sub-total					
Q							
		Sub-total					
R							
		Sub-total					
S							
		Sub-total					
T							
		Sub-total					
U							
		Sub-total					
785	TOTAL			TOTAL		789	

NAME -
1
Total B.U.'s
Required

2	3	4					7	8
		Well Line		Well Bracing Elements Provided				
Label	Minimum B.U.'s Required	Label No.	Type	Rating B.U.'s/m	Length (m)	B.U.'s Provided		
ALONG	8340	10	1	42	2.4	100		
		11	1	42	2.4	100		
		Sub-total					200	
	83							
		B	12	1	42	2.4	100	
			13	1	42	2.4	100	
	Sub-total					200		
	70							
		C	14	1	42	2.4	100	
			15	1	42	2.4	100	
	Sub-total					200		
	70							
D		16	8	67	1.5	100		
		17	1	42	2.4	100		
Sub-total					200			
70								
	E	18	8	67	1.5	100		
		19	8	67	1.5	100		
Sub-total					200			
83								
	F							
Sub-total								
83								
	G							
Sub-total								
83								
	H							
Sub-total								
908	TOTAL			TOTAL	1000			

(CIRCLE whichever is applicable)

NAME: R. Stuart

ADDRESS: milne Place

STOREY: Single or Uppermost
Lower of two or middle of three
Lower of three

ROOF TYPE: Light Heavy

ROOF PITCH: 0° - 25° / 26° - 45°

WIND AREA: High / Medium / Low

W = 14 B.U.'s/m

EARTHQUAKE ZONE: A B / C

E = 2 B.U.'s/m²

ROOF OR BUILDING LENGTH

	EQ	WIND
BL = 13 m		
BW = 6 m		
GPA = 78 m ²		
E x GPA = 2 x 78 = 156		B.U.'s
W x BW = 14 x 6 = 84		B.U.'s
W x BL = 14 x 13 = 182		B.U.'s

ROOF OR BUILDING WIDTH

BW = 6 m

GROSS ROOF OR BUILDING PLAN AREA

GPA = 78 m²

EARTHQUAKE: B.U.'s ALONG AND ACROSS

E x GPA = 2 x 78 = 156 B.U.'s

WIND: B.U.'s ALONG

W x BW = 14 x 6 = 84 B.U.'s

WIND: B.U.'s ACROSS

W x BL = 14 x 13 = 182 B.U.'s

SKETCH PLAN (external and internal walls):

NAME Total B.U.'s Required	Wall Line		Wall Bracing Elements Provided					
	Label	Minimum B.U.'s Required	Label No.	Type	Rating B.U.'s/m	Length (m)	B.U.'s Provided	
ALONG	A	6+10	26	1	42	1.5	63	
		60	Sub-total					63
	B			27	1	42	2.4	100
		70	Sub-total					100
	C			28	1	42	2.0	84
		70	Sub-total					84
D			29	1	42	2.0	84	
	60	Sub-total					84	

182	TOTAL		TOTAL	331
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ACROSS	L	13+10	20	1	55	1.5	82	
			21	1	55	1.5	82	
		130	Sub-total					164
	M			22	1	30	2.0	60
				23	1	30	2.0	60
		70	Sub-total					120
	N			24	1	55	1.2	66
				25	1	55	1.2	66
		130	Sub-total					132
O								
		Sub-total						
P								
		Sub-total						

156	TOTAL		TOTAL	466
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Richmond Borough Council



9 CAMBRIDGE STREET, RICHMOND

TELEPHONE (0544) 8059

Address all correspondence to:

THE TOWN CLERK,
P.O. BOX 3027,
RICHMOND, NELSON,
NEW ZEALAND.

Ref. No.:

6/2/1

If calling please ask for:

R W Sharplin

25 September 1986

file

Mr R Stuart
6 Milne Place
RICHMOND

Dear Sir

RE: BRACING ELEMENTS - NEW DWELLING

This is to confirm my advice to you that existing gib board fixing does not meet Building Bylaw requirements (which adopts manufacturer's fixing details).

Would you please attend to fixing of wall linings in accordance with the approved bracing schedule, and manufacturer's instructions (enclosed).

A reference to waste pipe venting requirement of your plumber is attached.

Yours faithfully

R W Sharplin
BOROUGH INSPECTOR

Enc

Richmond Borough Council



9 CAMBRIDGE STREET, RICHMOND

TELEPHONE (0544) 8059

Address all correspondence to:

THE TOWN CLERK,
P.O. BOX 3027,
RICHMOND, NELSON,
NEW ZEALAND.

Ref. No.:

6/6/1

If calling please ask for:

R W Sharplin

25 September 1986

The Manager
McDowell Plumbing
PO Box 3248
RICHMOND


Dear Sir

RE: R STUART, 6 MILNE PLACE, RICHMOND

I have tried to contact you informally concerning your installation of single stack plumbing system in R Stuart's new dwelling. You must be aware that such a system is not permitted by the Drainage and Plumbing Regulations.

Would you please attend to separately venting each waste pipe joining the foul water soil pipe from upstairs fittings, to the standard of the Regulations. Note that proprietary values, such as the Hunter Value, are not permitted. Please advise when completed.

Yours faithfully


R W Sharplin
BOROUGH INSPECTOR

GIBRALTAR BOARD ADHESIVE AND NAIL FIXING SYSTEM RECOMMENDATIONS FOR FIXING WALL LININGS

INTRODUCTION

Adhesive fixing has been introduced to produce a clean unbroken surface on Gibraltar Board walls. Adhesive and partial nail fixing eliminates up to 50% of the nails required thus reducing the possibility of nail popping. Reduces the possibility of loose boards caused by

improper nailing.
Bridges minor framing irregularities.

Adhesive fixing of Gibraltar Board cannot be used for fire rated partitions. Refer separate Winstone specifications.

WALL BRACING

The wall bracing performance of adhesive and nail fixed Gibraltar Board has been demonstrated by test to be equivalent to nail fixed board. Bracing values listed in table 20 of NZS 3604 apply equally

for adhesive and nail fixed Gibraltar Board. Refer B.R.A.N.Z. Appraisal Certificate entitled "Gibraltar Board Adhesive and Nail Fixing System."

FRAMING REQUIREMENTS

Minimum requirements for timber framing include the following:

1. Framing must meet the standards specified by local building codes, it should be straight, true and of uniform dimensions and must be erected in true alignment. The moisture content of the timber framing should not be greater than 24% at the time of lining in accordance with NZS 3602.
2. Service pipes, including waste outlets etc. must

not protrude beyond the framing. Water pipes and electrical wiring should be located inside the framing in such a position that metal fasteners e.g. nails and screws will not penetrate them during board fixing.

3. Stud spacings for 9.5mm and 12.5mm Gibraltar Board not to exceed 600mm centres.
-

WALL ALIGNMENT

It is advisable to use nogs or dwangs at 800mm centres maximum for the horizontal and vertical fixing of Gibraltar Board. Nogs, dwangs, or other means should be used to control or minimise movement or twisting of studs.

FIXING METHODS

Adhesive

'Gib Fix' Multi Purpose Water Based Construction adhesive. Available in 375ml cartridge, 1 litre and 4 litre pails. Apply daubs of adhesive 25mm in diameter by 10mm thick. See diagrams for horizontal or vertical fixing.

Positioning of Board

Fix sheets hard up to the ceiling line. Joints between sheets should be touch fitted and not forced together. For horizontally fixed sheets the top sheet should be fixed first and all vertical butt joints staggered by at least 600mm. All sheets

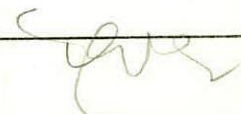
should be lifted above floor line to leave a 10mm gap.

Nails (sheet edges only)

For 9.5mm Gibraltar Board use 30mm x 2.5mm Winstone Gib Clouts.
For 12.5mm Gibraltar Board use 40mm x 2.5mm Winstone Gib Clouts.

Nails should not be closer than 12mm in from the edge of the board and must be driven in straight to a secure bed in the timber.

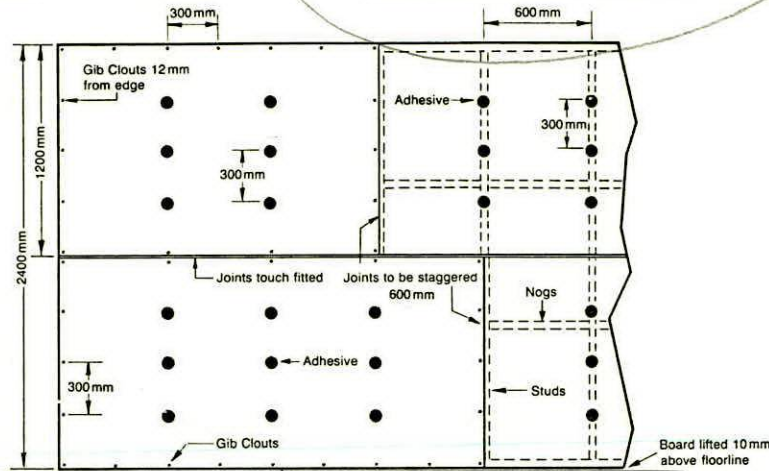
See diagrams for horizontal or vertical fixing.



HORIZONTAL FIXING

Apply glue daubs at 300mm centres on each stud in the field of each sheet.
All vertical joints of sheets to be nailed at 300mm centres maximum and at 300mm centres along top and bottom plates. Horizontal joints between sheets nailed at maximum 600mm centres on each stud.

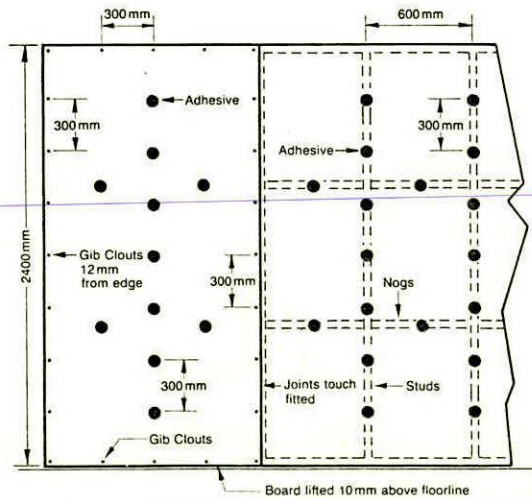
For braced walls additional nails are required. Around the perimeter of the bracing element, that is the top and bottom plates and vertical studs enclosing the bracing element, sheets to be nailed at 150mm centres. Glue pattern remains the same as for unbraced walls.
ALL JOINTS MUST BE TAPED



VERTICAL FIXING

Apply glue daubs at 300mm centres on each stud in the field of each sheet and in the centre of each nog. The perimeter of each sheet to be nailed at 300mm centres.

For braced walls additional nails are required. Around the perimeter of the bracing element, that is the top and bottom plates and vertical studs enclosing the bracing element, sheets to be nailed at 150mm centres. Glue pattern remains the same as for unbraced walls.
ALL JOINTS MUST BE TAPED



JOINTING AND FINISHING

- All joints should be filled with Gib Bedding Compound and taped with Gib Reinforcing Tape and finished with Gib Finishing Compound. Refer separate Winstone specification Gib Jointing Compounds.
- All joints must be lightly sanded using a 180 grit sand paper and dusted free of dust before painting commences.
- Where Gib Board is to be painted it should be sealed with Gib Sealer or with a sealer as

- It has been shown that badly designed lighting can spoil the appearance of a flat surface and similar effects can also be obtained when gloss paints are used. High gloss paints should be avoided where possible. Where oil based paints are used it is recommended to sand between coats.

LIMITATION CLAUSES

Gibraltar Board should not be used where it will be exposed to excessive moisture.
For Fire Rated Systems, reference must be made to separate Winstone specifications.

All external walls and ceilings shall be lined with Gib Foil to form a vapour barrier in accordance with NZS 3602.

TECHNICAL SERVICE

To support its sales organisation, Winstone Ltd. operates a technical service. Work is done in the field, with the support of Winstone Wallboards Ltd., Technical Department.
Specialist staff are available to advise on problems

at the planning stage and in situations not fully covered by technical publications. Technical service and advice can be obtained directly from any Winstone Branch or any Gib-Board stockist.

PRODUCT TRAINING

Winstone Wallboards Ltd. provide:
Courses of instruction on all Winstone Ltd. Gib products and systems to operatives and others in the building industry. In addition to its main role of teaching site operatives the school organises

specialty designed lectures and seminars for specialist audiences, such as architects, surveyors, clerks of works and contractors' supervisory staff. Details are available from Winstone Ltd.

GIBRALTAR BOARD DIMENSIONS

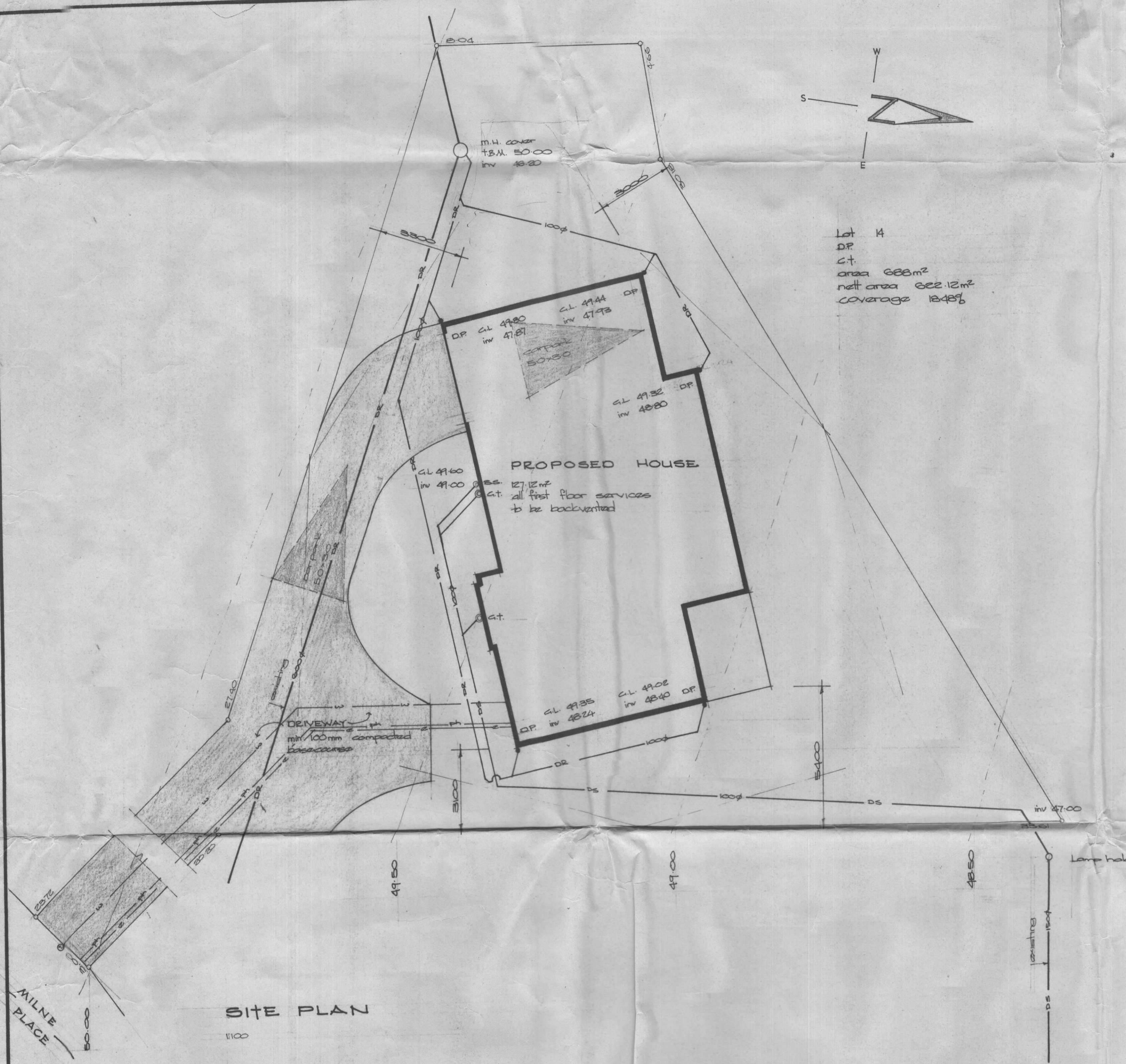
Gibraltar Board Grade	Thickness	Width	Length
Standard Gibraltar Board 'Tapered' Edge	9.5mm	1200mm	2400mm
	"	"	2700mm
	"	"	3000mm
	"	"	3300mm*
Available ex Auckland	"	"	3600mm
Wellington and Christchurch	"	"	3900mm*
factories	"	"	4200mm
	"	"	4800mm†
Available ex Auckland, Wellington	12.5mm	1200mm	2400mm
and Christchurch factories	"	"	2700mm
† Not available Auckland	"	"	3000mm
* Not available Christchurch	"	"	3600mm

GIBRALTAR BOARD PRODUCTS
Manufactured by Winstone Wallboards Ltd.
Distributed by Winstone Limited



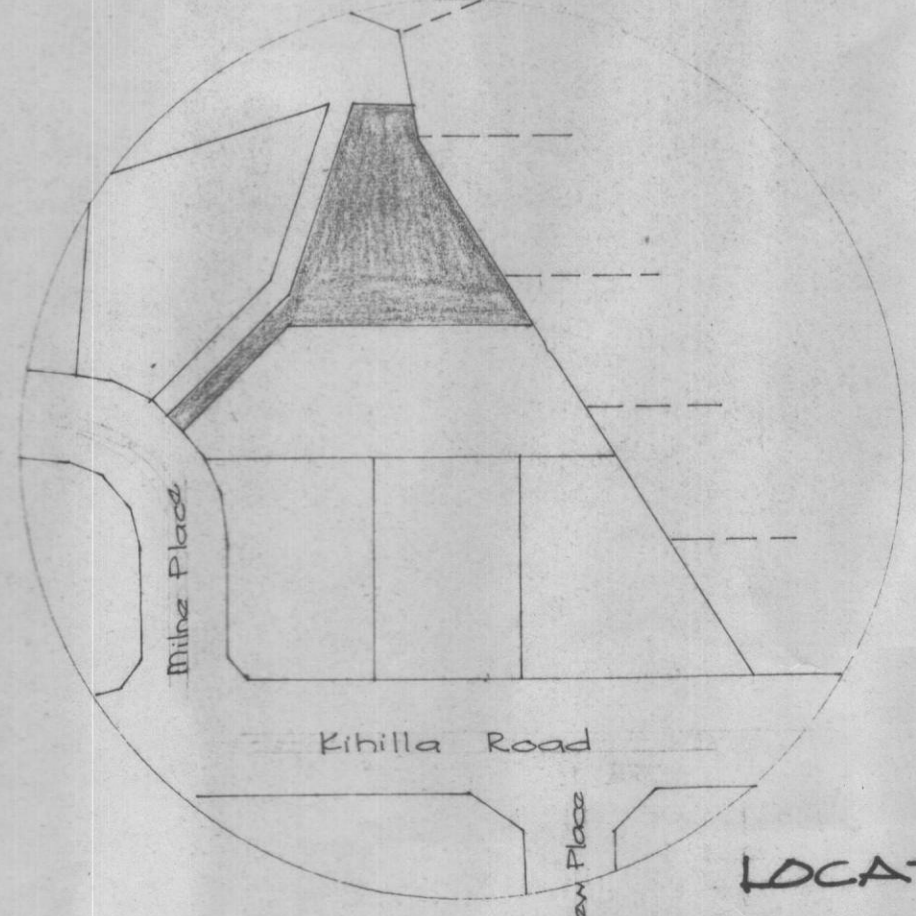
Auckland 592-809
Christchurch 792-132
Hamilton 495-999
Wellington 845-609
Whangarei 82-099
Branches and distributors throughout New Zealand.

The information contained is correct and no liability is accepted for any loss which may be sustained arising from the use of any of the information.

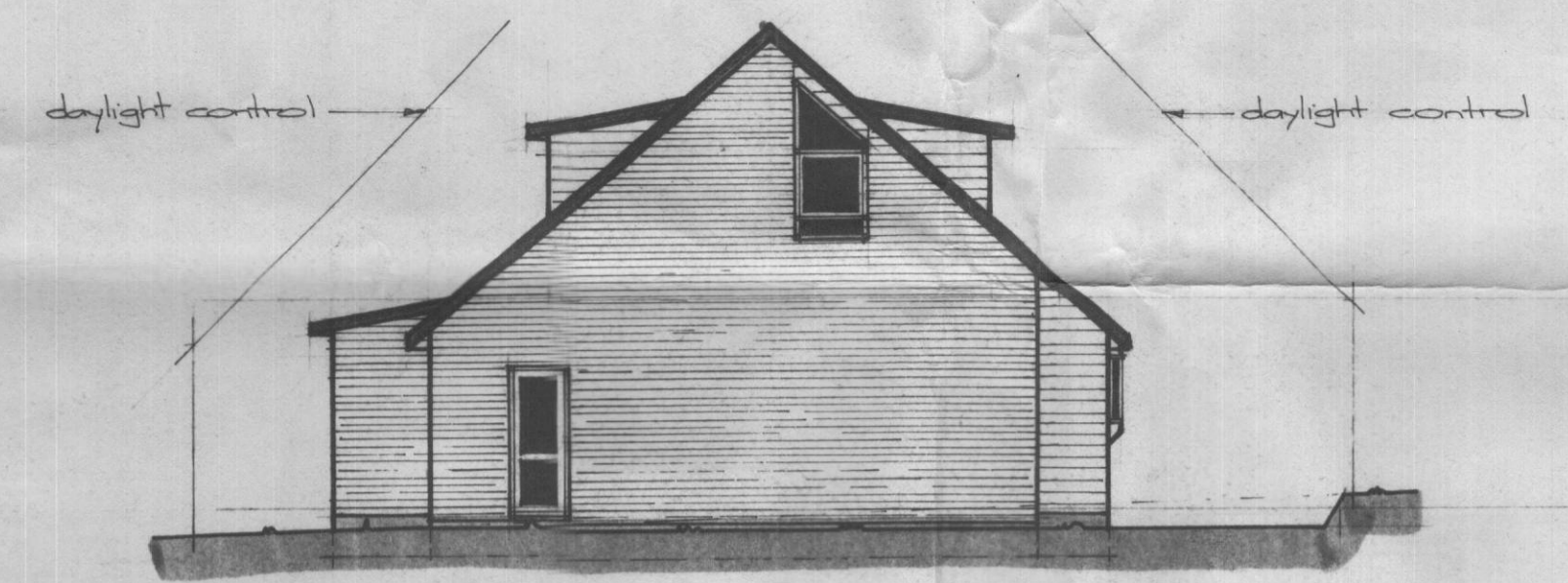


Lot 14
 DP
 CT
 area 688m²
 nett area 622.12m²
 coverage 1248%

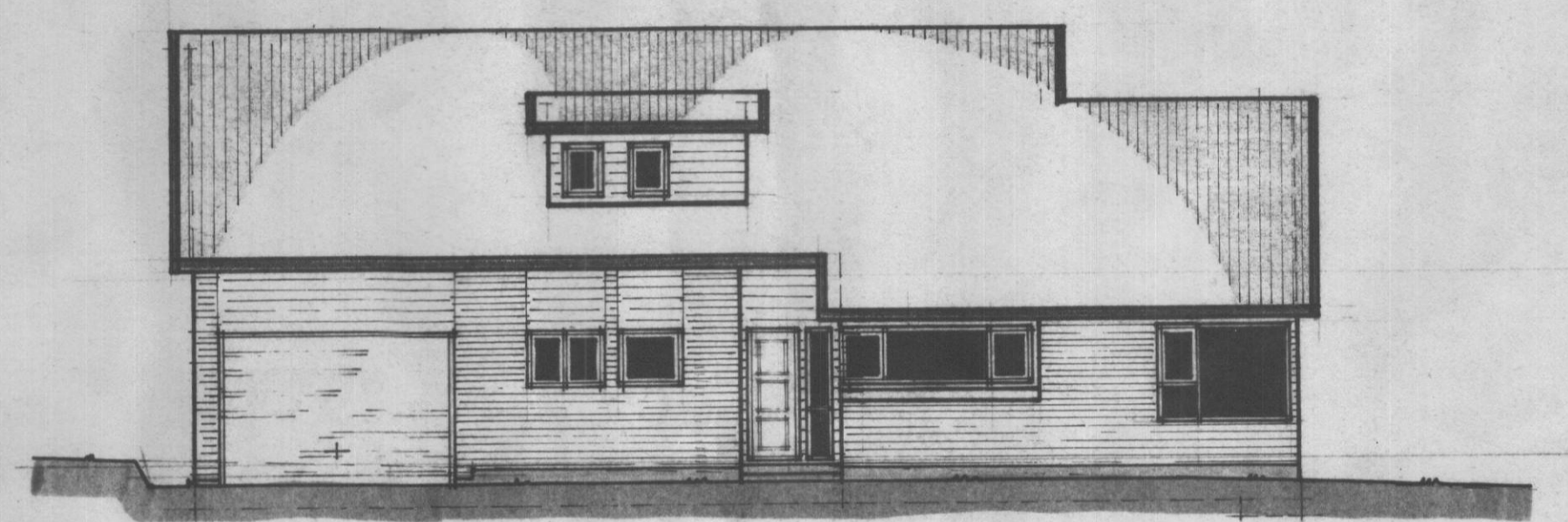
SITE PLAN
 1:100



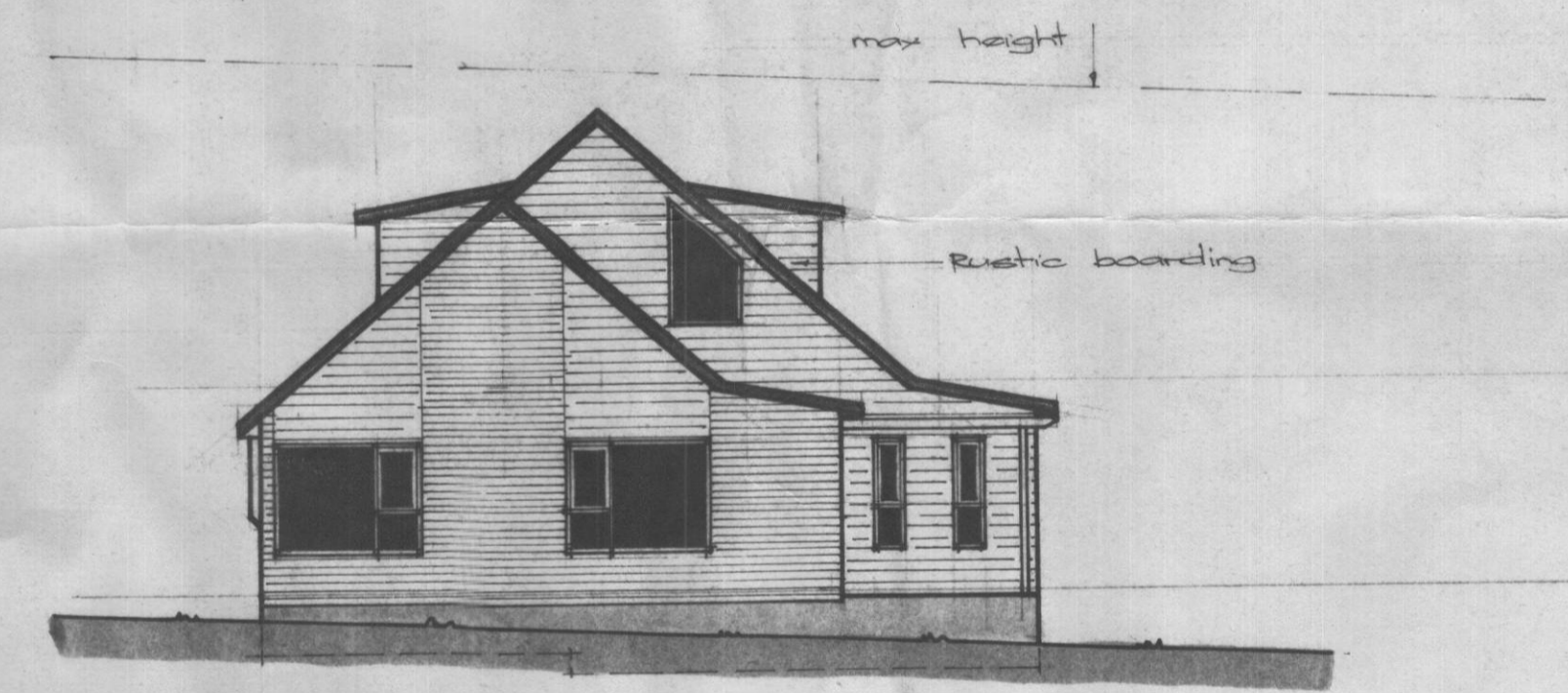
LOCATION PLAN



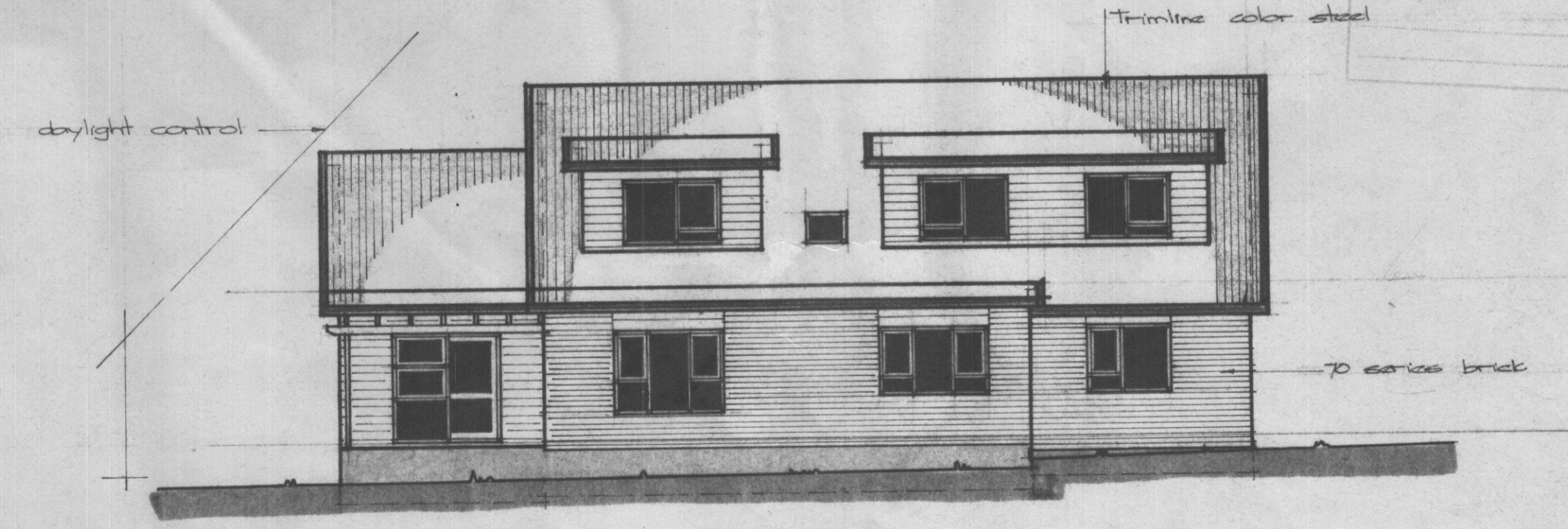
WEST ELEV
 1:100



SOUTH ELEV
 1:100



EAST ELEV
 1:100



NORTH ELEV
 1:100

Richmond Council
 Building Permit Approval
 21 MAR 1986
 S. Arps (Signature)
 S. Arps (Name)
 Building Designer
 134 Bridge Street, Nelson
 Phone: 051 251 1111

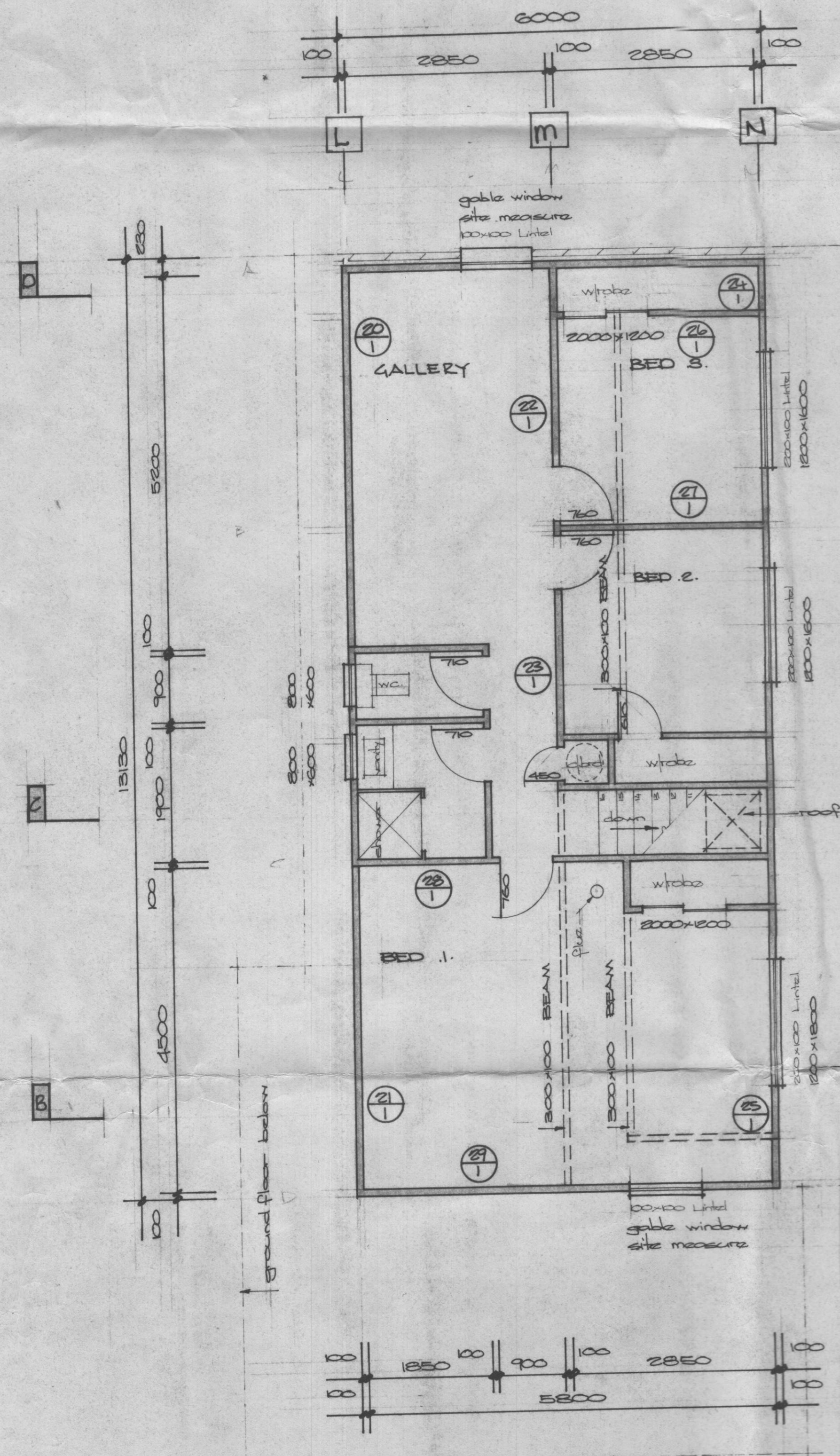


PROPOSED HOUSE FOR R. STUART.
 AT MILNE PLACE. RICHMOND.

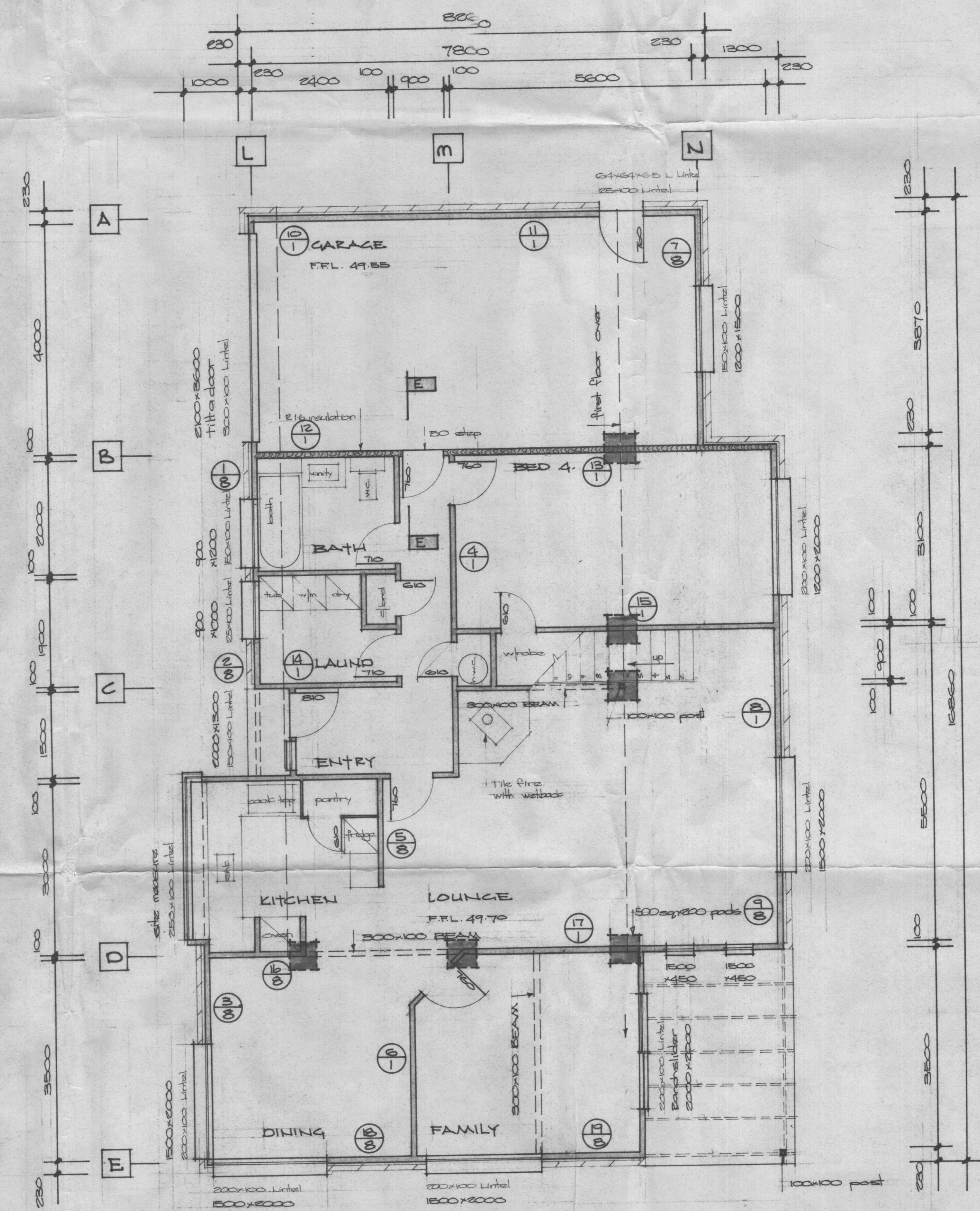
Neville R. Malcolm,
 Building Design Ltd
 134 Bridge Street, Nelson.
 Drawn by: S. Arps

Job No. 1966
 March 1986

Dwg. No. 1
 In set of 3



FIRST FLOOR
150



GROUND FLOOR
150

- (1/8) Brace number
Brace type
- A — Bracing Line

NOTE
 2-100x50 studs under an end
 of a beam support point
 2-in nail plates to an connection



PROPOSED HOUSE FOR
AT MILNE PLACE

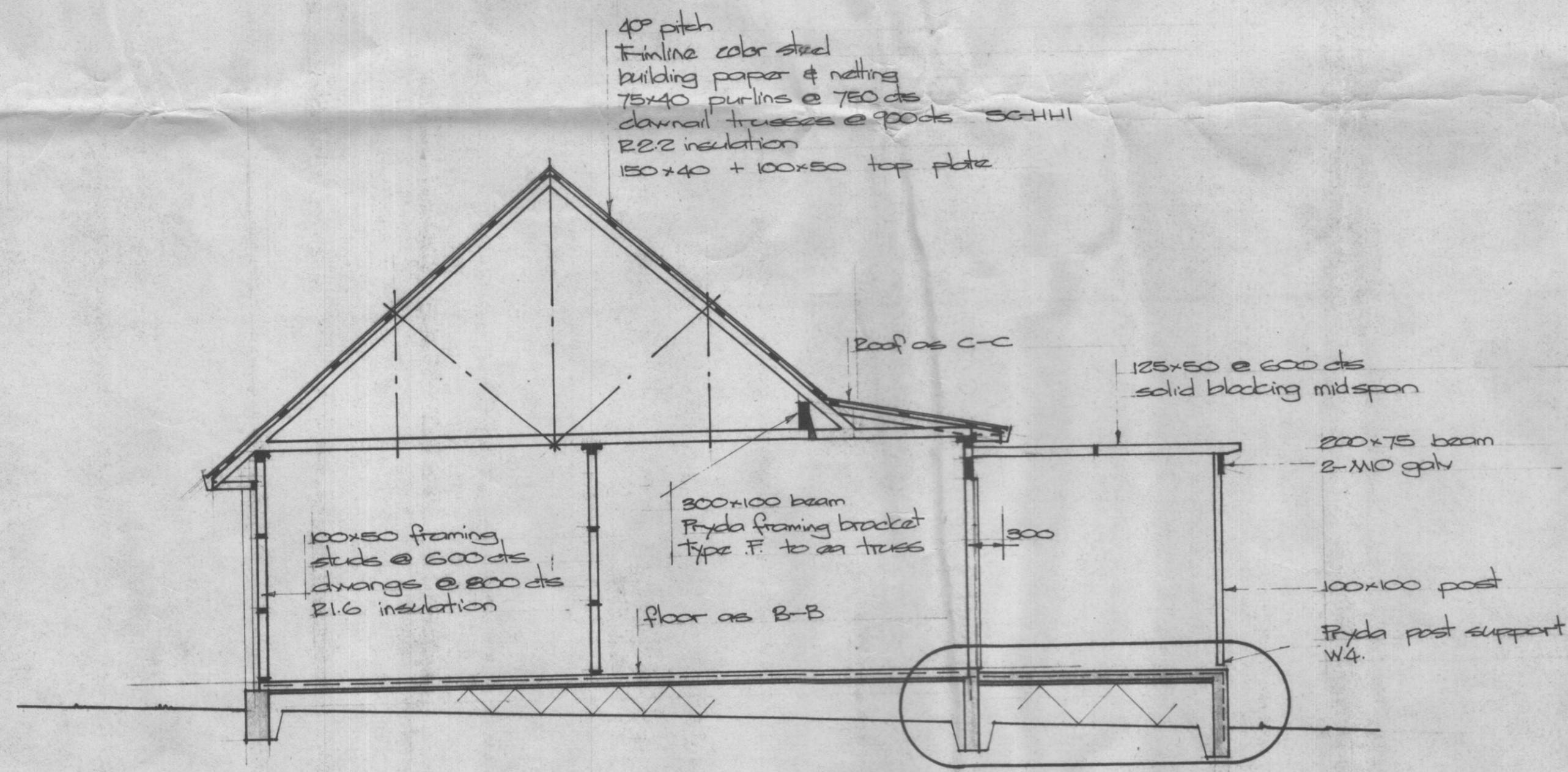
R. STUART.
RICHMOND.



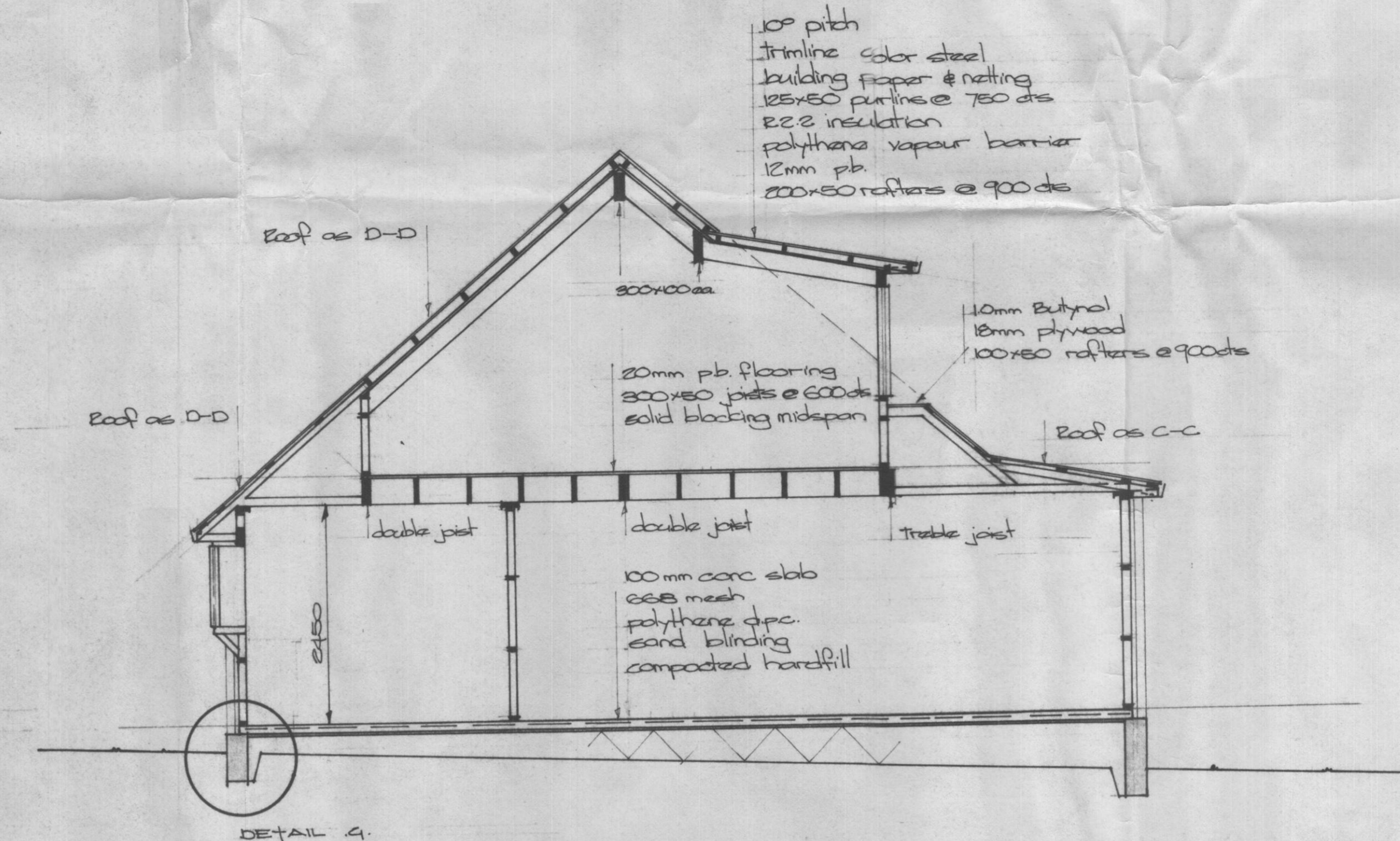
Neville R. Malcolm,
Building Design Ltd
134 Bridge Street, Nelson.
Drawn by: S. Arps

Job No. 1966
March 1986

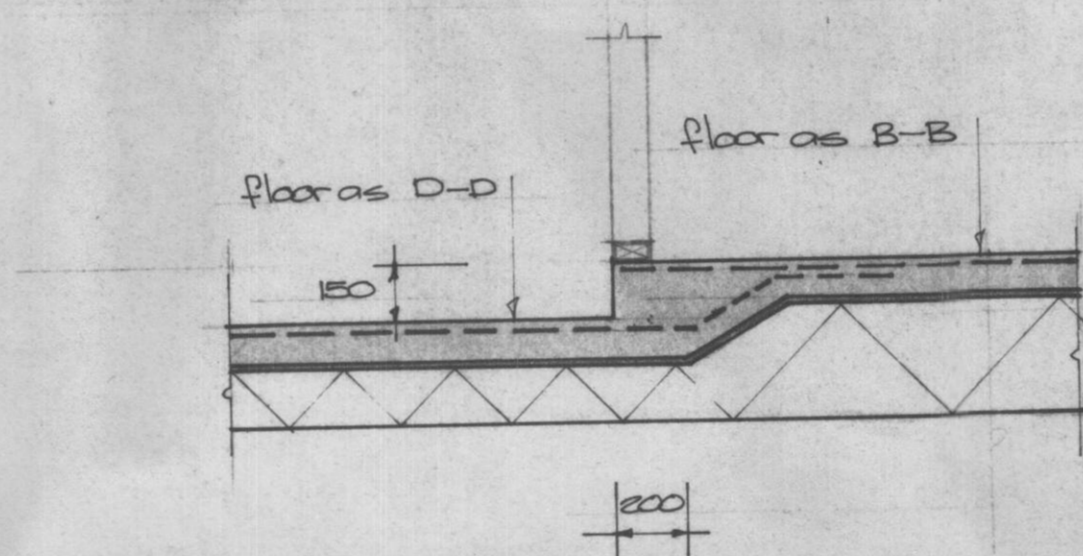
Dwg. No. 2
In set of 3



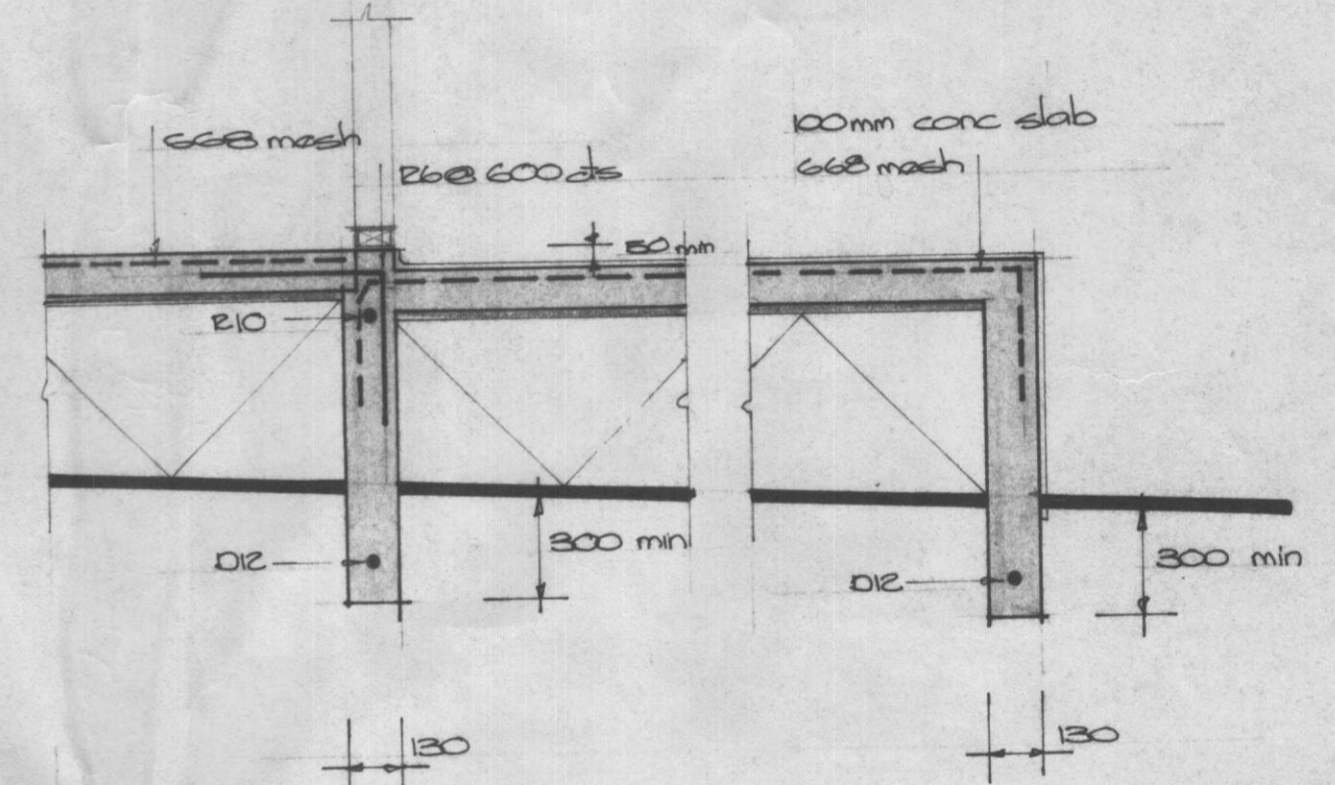
SECTION A-A
1:50



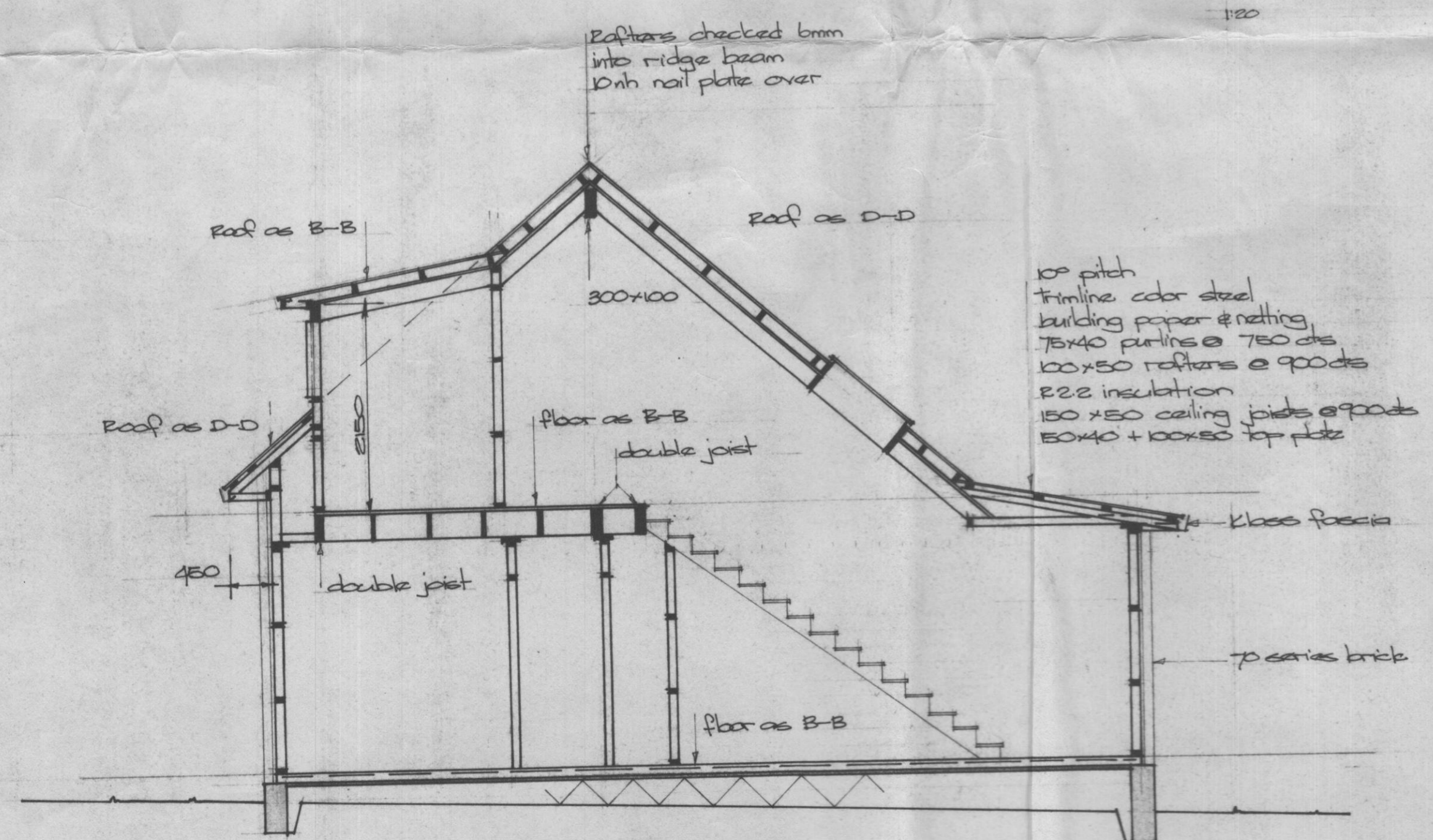
SECTION B-B
1:50



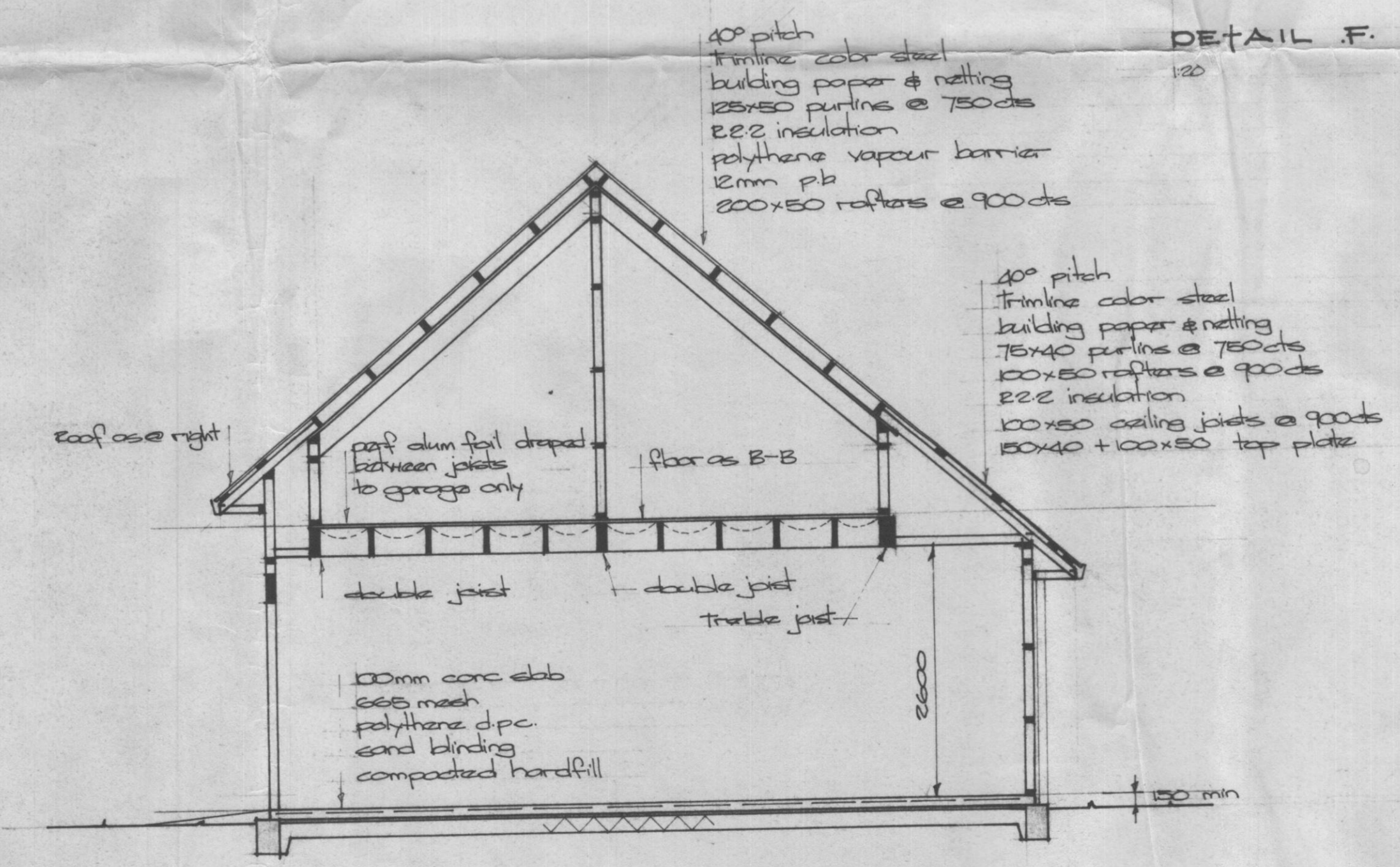
SECTION E-E
1:20



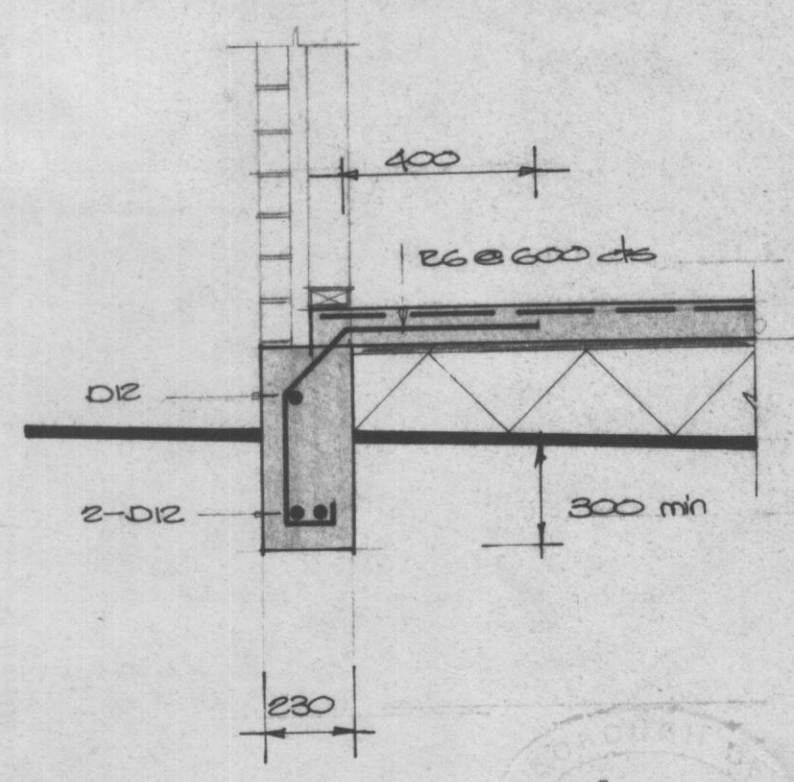
DETAIL F
1:20



SECTION C-C
1:50



SECTION D-D
1:50



DETAIL G
1:20



PROPOSED HOUSE FOR R. STUART.
AT MILNE PLACE. RICHMOND



Neville R. Malcolm,
Building Design Ltd,
134 Bridge Street, Nelson,
Drawn by: S. Arps

Job No. 1966

March 1966

Dwg. No. 3

In set of 3

RICHMOND BOROUGH COUNCIL

Application for Drainage/Plumbing Permit

D.R. for Pbg - Jmg. Permit
21 MAR 1986

TO: Borough Inspector
RICHMOND BOROUGH COUNCIL

File No 6 of blue file.

Sir,

I hereby apply for a permit to undertake Drainage/Plumbing work as indicated by the description (tick detail), at the land described hereunder, and as detailed in the 2 sets of plans and specifications attached.

Description of work: To drain + plumb dwelling house for RW + SF. STUART
Milne Place Lot 14.

DRAINAGE

Sewer	New work	<u>34</u> m	<input checked="" type="checkbox"/>	Alteration	<input type="checkbox"/>	Repair	<input type="checkbox"/>
Stormwater	New work	<u>30</u> m	<input checked="" type="checkbox"/>	Alteration	<input type="checkbox"/>	Repair	<input type="checkbox"/>
Septic Tank	New work	_____ m	<input type="checkbox"/>	Alteration	<input type="checkbox"/>	Repair	<input type="checkbox"/>

PLUMBING

Water Service Hot Cold Meter
Sanitary State how many of each.
 WC's _____ Urinals _____ Other Fittings _____ Soil Pipes _____

DESCRIPTION OF LAND: Val. No. _____ Lot 14 DP _____

No. and Name of Street of work: Milne Place.

Name and Address of Owner: R.U. & S.F. STUART 11 Dorset St. Richmond.

Name and Address of Regd. Drainlayer: N. CHING 4. Belmont Plc. Stolce.

Name and Address of Craftsman Plumber: MC DOWELL PLUMBING

PO BOX 3248 RICHMOND

(a) Total value of completed work \$ 8000.00 Fee payable on (b)
 (b) Value of work (minus retail costs of materials) \$ 2500.00 (see over) \$ 85.00

Signature of Qualified Applicant: [Signature]

Reg. No: 10126 Date: 17-3-86

NOTE: Permits will be applied for and issued to the Qualified Persons doing the work.

FOR OFFICE USE

Check description of land
 Permit No: 2456/2457
 Date of Issue: 21-3-86

Fees Paid: 85.00 Date: 20-03-86
 Receipt No: 9870
 Approved Notice Despatched: 22-8-86

3881 RAM 1 S

<u>Total Value of Works</u>		
<u>(Minus Retail Cost of Materials)</u>		<u>Fee</u>
up to:	\$ 200	15.00
	300	20.00
	400	25.00
	500	30.00
	600	35.00
	700	40.00
	800	45.00
	900	50.00
	1,000	55.00
	1,200	60.00
	1,400	65.00
	1,600	70.00
	1,800	75.00
	2,000	80.00

Plus \$1.00 additional fee per \$100.00 of work
(Minus Materials) value.

This information has been compiled from Tasman District Council records and is made available in good faith, but its accuracy or completeness is not guaranteed.

Property Location

Valuation	Legal Description	Address	Suburb	Area (ha)
1961087800	LOT 14 DP 12551	6 Milne Place	Richmond	0.0688

Rates Information

Rates are charged in four instalments for the period commencing 1 July and ending 30 June each year. Please note that if this property is a contiguous property, its rates will change if sold separately. Also note that this rating information relates to all parcels, i.e., Lot and DP numbers, under this valuation assessment.

Annual Rates	Current Instalment
\$4950.48	\$1237.62

Rates Breakdown

The Annual Rates above are broken down as follows:

Description	Rate	Units	Amount
General Rate	0.2141c/\$CV	890,000	\$1,905.49
Uniform Annual General Charge	\$413.00/Pty	1	\$413.00
Wastewater - 1st Pan	\$1007.50/pan	1	\$1,007.50
WaimeaComDam-Env&ComBen-Distri	\$81.80/Pty	1	\$81.80
WaimeaComDam-Enviro&ComBen-ZOB	0.0074c/\$CV	890,000	\$65.86
Refuse/Recycling Rate	\$133.69/Pty	1	\$133.69
Shared Facilities Rate	\$73.55/Pty	1	\$73.55
Mapua Rehabilitation Rate	\$4.35/Pty	1	\$4.35
Museums Facilities Rate	\$70.02/Pty	1	\$70.02
District Facilities Rate	\$138.68/Pty	1	\$138.68
Urban Wat.Supply- Serv Chge	\$542.60/meter	1	\$542.60
Regional River Works - Area Z	0.0152c/\$LV	395,000	\$60.04
Stormwater UDA	0.0510c/\$CV	890,000	\$453.90

Warm Tasman Rate

Warm Tasman Home Insulation Rate does not apply for this property.

Rating Valuation

Tasman District Council uses a capital value rating system. Please note that this rating information relates to all parcels, i.e., Lot and DP numbers, under this valuation assessment.

Capital Value	Land Value	Improvements	Valuation Date
\$890,000.00	\$395,000.00	\$495,000.00	01/09/2023

New Rating Valuation

This information has been compiled from Tasman District Council records and is made available in good faith, but its accuracy or completeness is not guaranteed.

Rating values are reviewed triennially. If the valuation of this property is going to change in the next rating year, it will show below as the New Capital Value. Please note that this rating information relates to all parcels, i.e., Lot and DP numbers, under this valuation assessment.

New Capital Value	New Land Value	New Improvements Value	New Valuation Date
\$890,000.00	\$395,000.00	\$495,000.00	01/09/2023

Water Meter Information

Reticulated water: Water usage is charged in addition to rates payable. You should check that the vendor has the water meter read at possession time by requesting a special meter reading.

Water ID	Meter Reader Note	Meter Id	Read Date	Year to date	Last year units
W41964		17MC223453	29/09/2025	266	389

Services

This property is serviced under the following water, sewerage, and stormwater schemes.

Scheme or Supply	Service Provided
Stormwater UDA	Stormwater
Tasman Waste Water	Wastewater
Urban Water Supply	Water Supply

Protected Trees

No protected trees have been found for this property.

Heritage Buildings

There are no heritage buildings on this property.

Wheelie Bins

This property has had the following wheelie bin(s) delivered.

Bin Size	Serial Number	Delivered on	Delivered to
Single 240	2414602	08/06/2015	6 Milne Place, Richmond

Planning Zones

The following Planning Zones pertain to this property. Please refer to the [Tasman Resource Management Plan](#) or contact a Duty Planner for detailed information about what activities can take place in a zone.

Zone	Zone Description
Residential	The Residential Zone primarily provides for residential dwellings. Small-scale home businesses, community activities and facilities may also be appropriate where they are compatible with the residential environment

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Building Consents

Please note that if a Code Compliance Certificate has not been issued, it is strongly advised that the process is completed in order to confirm that the work is in compliance with the Building Code.

Application Date	BC Number	Proposal	Status	CCC Issue Date
27/03/2025	250239	Install freestanding wood burner	Code Compliance Certificate Issued	24/07/2025
13/12/1996	962143	Alterations to dwelling	Recommended to Grant	

Compliance Schedule

No Compliance Schedule records are available for this property.

Building Permits

The NZ Building Act came in to force on 1 July 1992. From that date, the issue of building permits ceased and they were replaced with building consents. Under the old permit system there was no requirement for Council to keep or provide records of building work. While Council generally holds records of permits issued, often little or no information is available regarding results of building inspections. Should an evaluation of the building be required, an independent qualified person should be consulted.

Date	Permit Number	Notes
18/05/1988	E062526	Carport
21/03/1986	D033036	Dwelling

Building Notes

No additional building notes have been found for this property.

Swimming Pools

No Swimming Pool records have been found for this property.

Resource Consents

No Resource Consent records are on record for this property.

Planning Permits

No historical planning permits have been found for this property

Works and Land Entry Agreements

No Works and land Entry Agreement has been found for this property.

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Environmental Health and Licences

No Environmental Health or Licence information has been found for this property.

Air Shed

This property sits within a controlled Air Shed.

Air Shed	Air Shed Regulations
Richmond Air Shed	After a house in Richmond changes ownership, an existing non-compliant wood burner cannot be used. It may be replaced with either a clean heat system or an approved clean air wood burner. New houses, or existing houses without an existing wood burner or open fire, can only install clean heat systems - no wood burners at all.

Hazardous Activities and Industries List (HAIL)

No verified HAIL site has been found for this property. However, if the site or any adjacent site has been used for industrial, horticultural or agricultural purposes, we suggest you make further enquiries.

Potential Lead Paint Contamination of Dwellings, Buildings & Land

Any specific information in relation to contamination will be contained in the HAIL part of the Property summary, otherwise the Council has no specific information in relation to this property.

Lead is a highly toxic substance that was a key ingredient in household paint. Any building or dwelling built before or during the 1960's is likely to have used lead-based paint at some time. Soil surrounding these buildings has potential to be contaminated by heavy metals contained in the paint. Landowners are responsible for ensuring the safe management of lead paint removal for protecting human health and the environment.

Wetlands

Council holds no records of a wetland being on this property. However please note that the Resource Management (National Environmental Standards for Freshwater) Regulations 2020 creates conditions relating to works carried out around natural inland wetlands regardless of whether they have been mapped by Council or not.

Pest Inspection History

The Tasman-Nelson region has a Regional Pest Management Strategy for the control of declared pest plants, animals and organisms. The responsibility for the control of pests lies with the land occupier or owner. No pests have been recorded on this property.

Biodiversity Reports

Council has been compiling biodiversity reports (also called Native Habitat Tasman reports or Ecological Assessment reports) for individual property owners. This survey of natural areas on private land aims to support proactive land management while also help Council meet its RMA responsibilities. However, no report has been lodged on this property.

Rules in the Tasman Resource Management Plan relating to clearance of indigenous vegetation and forests apply. These include 17.5.5, 17.6.5, 17.7.5, 17.8.5, 18.2.4, 18.5.2, 18.5.3, 28.2.2, and 31.1.6. These are available on the Council website. For further information, please contact Council's Biodiversity team at biodiversity@tasman.govt.nz.

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— State Highway Roads
— Road Boundaries

Valuation Boundaries
 Parcel

Aerial Photo Map

The information displayed is a schematic only and serves as a guide.
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Scale: 1:1,000
 Thursday, 12 February 2026

Original Sheet Size 210x297mm