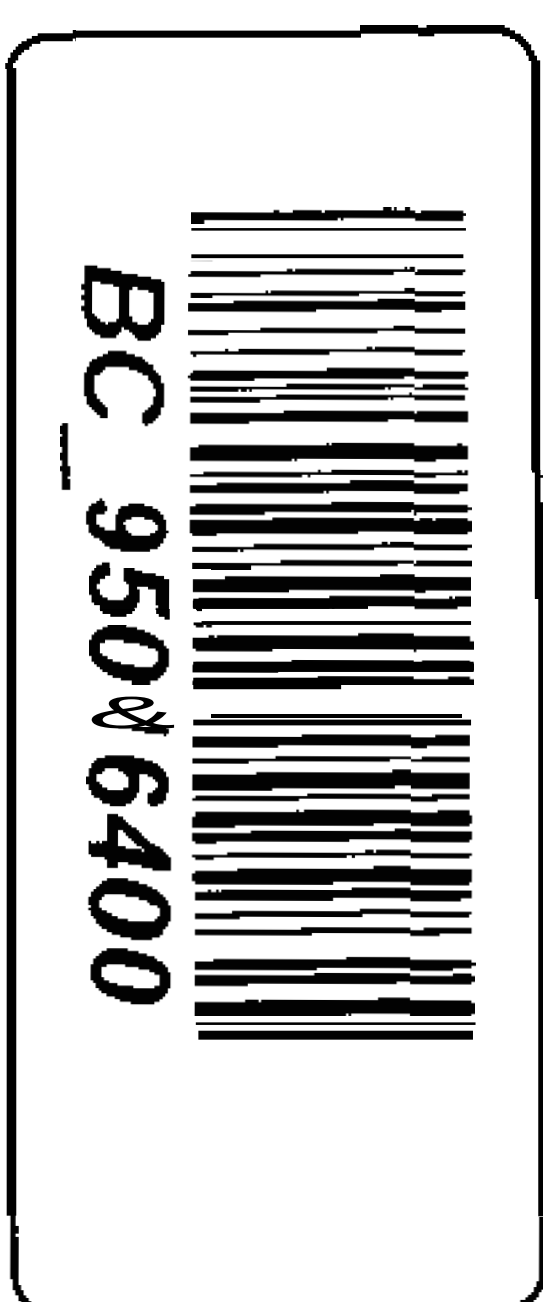


~~0110#~~
95/164



M E Bookes
20 Plunket st

12/86

10/89

6/36

3/65

4/74

11/77

10/02

Dargaville Borough Council

Private Bag,

Dargaville.

Local Government Centre,
(Office, Hokianga Road,
Dargaville

Phone 7059

Dargaville

APPLICATION FOR BUILDING PERMIT

TO THE BOROUGH ENGINEER,

Sir,

I hereby make application to erect/re-erect/extend/alter/repair the building(s) according to the site plan, detailed plans, elevations, cross sections and specifications deposited herewith in duplicate.

Particulars of the land and buildings are:—

OWNER * Name ME BOAKES

Postal Address 20 PLUNKET ST. DARGAVILLE Phone 7874

BUILDER * Name DOOUSS BUILDERS

Postal Address 19 TIRARAU STREET, Phone

**DARGAVILLE
PHONE 7958**

PLUMBER Name

Postal Address Phone

DRAINLAYER Name

Postal Address Phone

EXISTING USE OF SITE AND BUILDINGS Residence

NATURE OF PROPOSED BUILDING WORK New Car Port

e.g., additions to Dwelling, Bedroom, Lounge extensions e h

VALUATION DEPT. ASSESSMENT No.: (from rate demand) 95/164

LEGAL DESCRIPTION OF SITE: (from rare demand or title deeds)

LOT 3 DP 17369

Road or Street: 20 Plunket St.

AREA OF SITE: 810 Square Metres

NATURE OF SOIL: (rock, clay, sand, loam, etc.)

FLOOR AREA: (proposed work—square metres)

	Basement	Ground Floor	Other Floors	Total
Main Building	<u></u>	<u></u>	<u></u>	<u></u>
Accessory Buildings	<u></u>	<u>15.12m²</u>	<u></u>	<u>15.12m²</u>

ESTIMATED VALUE OF WORK:

Main Buildings (excluding plumbing and drainage)	\$ <u></u>
Accessory Buildings (excluding plumbing and drainage)	\$ <u>1000.00</u>
Plumbing and Drainage	\$ <u></u>

Total of Work \$1000.00

CERTIFICATE: I hereby certify that the above information is correct in every respect and do hereby agree to abide by all provisions of the Dargaville Borough Council by-laws governing and regulating all matters the subject of the foregoing.

Signature of Applicant: M. H. Doouss

Date: 11

FOR OFFICE USE ONLY

TO ADMINISTRATIVE OFFICER:

Date Received

Check List:

Forms completed (

Valuation No. ()

Fees receipted ()

Remarks:

Signature

Date:

TO PLANNING OFFICER:

(Check with District Planning Scheme. Refer to Council if required).

Approved by Council

Minute No.

Date:

Checked and approved by Officer

Signature:

Date:

TO HEALTH INSPECTOR:

(Check for drainage, health, etc)

Checked and approved

Signature:

Date:

TO BUILDING INSPECTOR:

(Check for by-laws, etc.)

Checked and approved

Signature:

Date:

TO REINSPECTOR

(Check for by-laws, etc.)

Remarks:

Checked and approved

Signature:

Date:

TO STRUCTURAL ENGINEER:

(Check design calcs, etc)

Remarks:

Checked and approved

Signature:

Date:

REMARKS:

PERMIT TO BE ISSUED SUBJECT TO

GENERAL INFORMATION

(1) The following MUST accompany this Application:

PLANS AND SPECIFICATIONS TO BE SUBMITTED IN DUPLICATE (in ink or on print paper) including—

- (a) Ground plans of proposed work showing position of all sanitary fittings and sizes and sizes of various rooms.
- (b) Where the building is on a sloping site the correct height of foundations must be shown.
- (c) Front and side elevations.
- (d) Cross-section showing framing with bracing.
- (e) Where a building requires Plumbing and Drainage work a separate Application Form must be filled in and fee paid before a Building Permit can be Issued.
- (f) Such drawings and information in detail as may be necessary to indicate that the proposed building or other work or change of use of land or buildings will comply in all respect with the District Planning Scheme and with the By-laws.
- (g) A report and calculations showing how the design complies with the By-laws in the case of buildings requiring specific designs.
- (h) Applications for (in so far applicable):
 - (1) Drainage and plumbing
 - (2) Sewer connections
 - (3) Water supply connection
 - (4) Crossing
 - (5) Footpath damage deposit
 - (6) Hoarding licence
 - (7) Vehicular crossing
 - (8) Stormwater connection

(i) In duplicate a location drawing showing the site (all four boundaries) the buildings already on the site and the new proposed building shown in black. The measurements from the proposed building to all buildings on the site and the boundary lines should be given.

(2) FEES may be forwarded later on advice of availability of permit and the amount of fees required.

FOR OFFICE USE ONLY

FEES (includes GST)

Receipt No.

Date

Permit No.

Building Permit \$35:00

31708 2.10.89

Building Research Levy \$:

Plumbing and Drainage Permit \$:

Footpath Damage Deposit \$:

Sewer Connection \$:

Water Connection \$:

Stormwater Inspection \$

Hoarding Licence \$

Vehicular Crossing \$22:00
DISPENSATION APPLICATION FEE

Off-Street Parking

Spaces

Contribution \$:

TOTAL FEES \$57:00

SCALE OF FEES

For the examination of plans and specifications of any building and for the inspection of such building the following fees shall be payable according to the estimated value of the work

In any dispute as to value, the Engineer shall have the absolute determination of the value of the proposed work or building.

BUILDING PERMIT FEES

ESTIMATED VALUE OF WORK: (Value to exclude value of Plumbing and Drainage work).

<u>VALUE OF WORK</u>	<u>FEE</u>
0 - 1000	\$35
1001 - 2000	\$45
2001 - 2500	\$55
2501 - 3000	\$65
3001 - 3500	\$75
3501 - 4000	\$85
4001 - 5000	\$100
5001 - 6000	\$110
6001 - 7000	\$120
7001 - 8000	\$130
8001 - 9000	\$140
9001 - 10000	\$150
10001 - 12000	\$180
12001 - 14000	\$210
14001 - 16000	\$240
16001 - 18000	\$270
18001 - 20000	\$300
20001 - 25000	\$330
25001 - 30000	\$360
30001 - 35000	\$380
35001 - 40000	\$410
40001 - 50000	\$450
50001 - 60000	\$470
60001 - 70000	\$490
70001 - 80000	\$510
80001 - 90000	\$530
90001 - 100000	\$550
100001 - 120000	\$570
120001 - 140000	\$590
140001 - 160000	\$620
160001 - 180000	\$650
180001 - 200000	\$700
200001 - 250000	\$800
250001 - 300000	\$900

BUILDING RESEARCH LEVY FEE

In addition to the above fees there will also be payable a Building Research Levy in accordance with the Building Research Levy Act, 1969, which is set at \$1.00 in each \$1,000 or part thereof of the total value of each Building Permit issued. Permits for work to a value less than \$10,000 are exempted.

PLUMBING AND DRAINAGE PERMIT FEES

See Drainage and Plumbing Application Form.

BUILDING PERMIT

(Office Copy)

AUTHORITY

Stats. No. F 074592

DARGAVILLE BOROUGH COUNCIL

No.

Receipt No. 31708

Date Permit Issued 5/10/89

OWNER

Name M. E. BOAKES
Mailing Address 20 PLUNKET
DARGAVILLE

BUILDER

Name ✓ DOOLISS BUILDERS
Mailing Address 19 TIRARA ST.
DARGAVILLE

PROPERTY ON WHICH BUILDING IS TO BE ERECTED/DEMOLISHED

SITE

Street No. AS OWNER
Street Name
Town/District
Riding

LEGAL DESCRIPTION

Valuation Roll No. 95/164
Lot 3 D.P. 17369
Section Block
Survey District

DESCRIPTION OF PROPOSED WORK AND MAIN PURPOSE OF USE

TO ATTACH A CARPORT OFF THE SIDE OF AN EXISTING DOMESTIC GARAGE

FLOOR AREA

DWELLING UNITS

Whole
Sq. Metres

16

Number
Erected

ESTIMATED
VALUES
\$

Building
Plumbing
Drainage
G.S.T. incl
TOTAL

1,000 00
1,000 00

NATURE OF PERMIT (TICK BOX)

- ☐ NEW BUILDING
- exclude domestic garages and domestic outbuildings
- ☐ FOUNDATIONS ONLY
- ☒ ALTERED, REPAIRED, EXTENDED, CONVERTED, RESITED
- include installation of heating appliances
- ☐ NEW CONSTRUCTION
OTHER THAN BUILDINGS - include demolitions
- ☐ DOMESTIC GARAGES
AND DOMESTIC OUTBUILDINGS

FEES APPLICABLE

Building Permit	\$ 35 00	Water Connection	\$
Street Damage Deposit ..	\$	DISPENSATION APPLICATION FEE	\$ 22 00
Building Research Levy ..	\$		\$
Plumbing	\$		\$
Drainage ..	\$		\$
Sewer Connection	\$		\$
Vehicle Crossing Levy ..	\$		\$
M.S. Plumbing	\$		\$
		TOTAL INCL GST	\$ 57 00

Receipt No. 31708
Date of Payment 20/9/89
Authorised Officer J. Vollenweider

Special Conditions: (In addition to those noted on reverse)

NOTICE TO APPLICANT

PERMISSION IS HEREBY GRANTED YOU to carry out the Works as proposed in accordance with the drawings and other documents submitted. and with any conditions defined; such work to be subject to inspection at any time during progress and to be carried out in strict conformity with the requirements of the Council By-Laws.

IMPORTANT - YOU ARE FULLY RESPONSIBLE for any damage done to any works such as telephone cables, power cables, water mains, gas mains, sewers, pipes, footpaths, roads or other services.

00-074

Remarks:

APPLICATION FOR DISPENSATION

Name M BOAKESAddress 70 PLUNKET ST. DARGAVILLELocation of Property 20 PLUNKET ST.Legal Description of Property LOT 3 OP17369 810M²

Zone _____

Dispensation Requested

TO ERECT A CAR-PORT
BETWEEN BOUNDARY
AND EXISTING GARAGE.

Front Yard _____

Side Yard 100MM

Rear Yard _____

Building Coverage _____

Height _____

Parking Requirement _____

Loading Requirement _____

Verandah _____

Fire Bylaws _____

Other (State) _____

Approval of any adjacent property owners affected

Signature x J B Raman

Signature _____

Signature _____

Applicants Signature M Boakes

Building Committee Approval

Signature M BoakesSignature R M Boakes

Signature _____

Date 15-9-89



lot 3 dp 17369

810 m²

PROPOSED CAR-PORT FOR
ME BOARDS 20 PLUNKET ST.

POSTS 100X100 MCTP
BEAM 200X50 MCTP
PURLINS 125X50 MCTP
ROOF COLOR-COTE SKYRIB

JB Kaye

1000 to existing s/water
drain

concrete
ramp

9,600 approx

PROPOSED
CAR
PORT

100mm φ to exit

approx position
existing garage

100 mm φ
downpipe

DP

100mm φ
drain DP

1500 mm

10,400

side bdy

connected to
existing house
waste system

exs residence

exist
punch

key

● ceiling outlet

◐ wall bracket

▲ power point

— fluorescent light

Note: for location of
switches, submain, etc
refer owner and
local supply authority

2400

2300

1400

2025

5325

DARGAVILLE BOROUGH COUNCIL

Inspector, M

File No.

Receipt No 31708

Date Permit Issued 5/10/89

OWNER	
Name	M. E. BOAKES
Mailing Address	20 PL KET DARGAVILLE

BUILDER	
Name	✓ DOOLISS BUILDERS
Mailing Address	19 TIRAHUA ST. DARGAVILLE

PROPERTY ON WHICH BUILDING IS TO BE ERECTED/DEMOLISHED

SITE	
Street No.	AS OWNER
Street Name	
Town/District	
Riding	

LEGAL DESCRIPTION	
Valuation Roll No.	95/164
Lot	3
D.P.	17369
Section	
Block	
Survey District	

DESCRIPTION OF PROPOSED WORK AND MAIN PURPOSE OF USE

TO ATTACH A CARPORT OFF THE SIDE OF AN EXISTING DOMESTIC GARAGE.

FLOOR AREA		DWELLING UNITS	
Whole Sq. Metres	16	Number Erected	

ESTIMATED VALUES \$	Building	1,000	00
	Plumbing		
	Drainage		
	G.S.T. incl		
	TOTAL	1,000	00

NATURE OF PERMIT (TICK BOX)	
☐	NEW BUILDING - exclude domestic garages and domestic outbuildings
☐	FOUNDATIONS ONLY
☐	ALTERED, REPAIRED, EXTENDED, CONVERTED, RESITED - include installation of heating appliances
☐	NEW CONSTRUCTION OTHER THAN BUILDINGS
☐	DOMESTIC GARAGES AND DOMESTIC OUTBUILDINGS

FEES APPLICABLE

Building Permit	\$ 35.00	Water Connection	\$
Street Damage Deposit	\$	DISPENSATION APPLICATION FEE	\$ 22.00
Building Research Levy	\$		\$
Plumbing	\$		\$
Drainage	\$		\$
Sewer Connection	\$		\$
Vehicle Crossing Levy	\$	G.S.T. incl	\$
M.S. Plumbing	\$	TOTAL:	\$ 57.00

Receipt No. 31708
Date of Payment 20/9/89
Authorised Officer J. Vallance

Special Conditions:

Date Inspected

REMARKS (e.g. stage reached with work)

Date Inspected

[illegible]

APPLICATION FOR BUILDING PERMIT

TO THE BOROUGH ENGINEER,

Sir,

I hereby make application to erect/re-erect/extend/alter/repair the building(s) according to the site plan, detailed plans, elevations, cross sections and specifications deposited herewith in duplicate. Particulars of the land and buildings are:—

OWNER Name *Mrs Murray Bonkes* Postal Address *20 PLUNKET ST DARGAVILLE* Phone
BUILDER Name *DOUSS BUILDERS* Postal Address *19 TIKARAU STREET, DARGAVILLE* Phone
PHONE 7958
PLUMBER Name *Brian Bonkes* Postal Address *27 KAUARI ST DARG* Phone *8684*
DRAINLAYER Name *Brian Bonkes* Postal Address *27 KAUARI ST DARG* Phone *8684*

EXISTING USE OF SITE AND BUILDINGS *Residence*
NATURE OF PROPOSED BUILDING WORK *Cellar, laundry, flat*
 e.g., additions to Dwelling, Bedroom, Lounge extensions etc.
VALUATION DEPT. ASSESSMENT No.: (from rate demand) *95/164*
LEGAL DESCRIPTION OF SITE: (from rate demand or title deeds) *LOT 3 DP 17369*

AREA OF SITE: Square Metres
 Road or Street: *20 Plunket St Dargaville*

NATURE OF SOIL: (rock, clay, sand, loam, etc).
FLOOR AREA: (proposed work—square metres)
 Basement *60m²*
 Ground Floor *60m²*
 Other Floors
 Total *60m²*

ESTIMATED VALUE OF WORK:
 Accessory Buildings
 Main Buildings (excluding plumbing and drainage) *\$31000*
 Accessory Buildings (excluding plumbing and drainage)
 Plumbing and Drainage *\$4000*
 Total of Work *\$35000*

CERTIFICATE: I hereby certify that the above information is correct in every respect and do hereby agree to abide by all provisions of the Dargaville Borough Council by-laws governing and regulating all matters the subject of the foregoing.
 Signature of Applicant: *M. J. Bonkes*
 Date:

FOR OFFICE USE ONLY

TO ADMINISTRATIVE OFFICER:

Date Received

Check List:

Forms completed (

Valuation No. ()

Fees received ()

Remarks:

Signature:

Date:

TO PLANNING OFFICER:

(Check with District Planning Scheme. Refer to Council if required).

Approved by Council

Minute No.

Date:

Checked and approved by Officer

Signature:

Date:

TO HEALTH INSPECTOR:

(Check for drainage, health, etc.)

Checked and approved

Signature:

Date:

TO BUILDING INSPECTOR:

(Check for by-laws, etc.)

Checked and approved

Signature:

Date:

TO FIRE INSPECTOR

(Check for by-laws, etc.)

Remarks:

Checked and approved

Signature:

Date:

TO STRUCTURAL ENGINEER:

(Check design calcs, etc.)

Remarks:

Checked and approved

Signature:

Date:

REMARKS:

PERMIT TO BE ISSUED SUBJECT TO

GENERAL INFORMATION

(1) The following MUST accompany this Application:

PLANS AND SPECIFICATIONS TO BE SUBMITTED IN DUPLICATE (in ink or on print paper) including—

- (a) Ground plans of proposed work showing position of all sanitary fittings and names and sizes of various rooms.
- (b) Where the building is on a sloping site the correct height of foundations must be shown.
- (c) Front and side elevations.
- (d) Cross-section showing framing with bracing.
- (e) Where a building requires Plumbing and Drainage work a separate Application Form must be filled in and fee paid before a Building Permit can be issued.
- (f) Such drawings and information in detail as may be necessary to indicate that the proposed building or other work or change of use of land or buildings will comply in all respect with the District Planning Scheme and with the By-laws.

A report and calculations showing how the design complies with the By-laws in the case of buildings requiring specific designs.

(h) Applications for (in so far applicable):

- (1) Drainage and plumbing
- (2) Sewer connections
- (3) Water supply connection
- (4) crossing
- (5) Footpath damage deposit
- (6) Hoarding licence
- (7) Vehicular crossing
- (8) Stormwater connection

(i) In duplicate a location drawing showing the site (all four boundaries) the buildings already on the site and the new proposed building shown in black. The measurements from the proposed building to all buildings on the site and the boundary lines should be given.

(2) FEES may be forwarded later on advice of availability of permit and the amount of fees required.

FOR OFFICE USE ONLY

FEES (where applicable)	Receipt NO.	Date	Permit No.
Building Permit \$255	4654	09-12-86	
Building Research Levy 35			
Plumbing and Drainage Permit \$90			
Footpath Damage Deposit \$200			
Sewer Connection N.A.			
Water connection 19 mm \$206			
Stormwater Inspection N.A.			
Hoarding Licence \$			
Vehicular Crossing \$754			
Off-Street parking			
Space			
Contribution			
TOTAL FEES \$540			

PLEASE REFUND IN FULL
M. DOAKES
PLUNKET ST.

15-7-P7
f.v.

SCALE OF FEES

For the examination of plans and specifications of any building and for the inspection of such building the following fees shall be payable according to the estimated value of the work.

In any dispute as to value, the ^{borough} Engineer shall have the absolute determination of the value of the proposed work or building.

BUILDING PERMIT FEES

ESTIMATED VALUE OF WORK: (Value to exclude value of Plumbing and Drainage work).

[illegible]

RESEARCH | FVV FFF

there will also be payable a Building Research Levy Act, 1969, which is total value of each Building are exempted.

DRAINAGE PERMIT FEES

D A R C A V I L L E

B O R O U G H

C O U N C I L

APPLICATION FOR WATER METER AND CONNECTION

I hereby apply to have water connected to the property at the following address:

20 PLUNKET STREET

DARCAVILLE

Legal Description LOT 3 D.P. 17369

Valuation Assessment No. 95/164

I enclose the sum of \$ _____ for work detailed below:

TICK

a) Provide 15 mm connection and meter (\$164.00) _____

Provide 19 mm connection and meter (~~\$186.00~~) _____

\$206 incl GST

Provide 25 mm connection and meter (\$268.00) _____

b) Where water connection provided by developer:

Provide 15 mm meter (\$78) _____

Provide 19 mm meter (\$88) _____

Provide 25 mm meter (\$169) _____

c) Where a larger meter than 25 mm is required the work will be done and the actual cost paid by the applicant, but a \$500.00 deposit will be required before the work is commenced:

Signature of Applicant: [Signature]

Address: 20 PLUNKET STREET

DARCAVILLE

Date: 27/11/86

OFFICE USE ONLY

Receipt No. 46514

Date: 09-12-86

Work Authorised:	
Work Complete:	
Meter book noted:	
Meter No.:	

BUILDING PERMIT

(Office Copy)

AUTHORITY

Stats. No. E

029971DARGAVILLE BOROUGH COUNCIL

No. _____

Receipt No. 4654Date Permit Issued 11/12/86**OWNER**Name Mr & Mrs M. BOAKES ✓
Mailing Address 20 PLUNKET S.T.
DARGAVILLE**BUILDER**Name DOOUE BUILDERS
Mailing Address 19 TIRAAU S.T.
DARGAVILLE**PROPERTY ON WHICH BUILDING IS TO BE ERECTED/DEMOLISHED****SITE**Street No. AS OWNERS
Street Name _____
Town/District _____
Riding _____**LEGAL DESCRIPTION**Valuation Roll No. 95/164
Lot 3 D.P. 17369
Section _____ Block _____
Survey District _____**DESCRIPTION OF PROPOSED WORK AND MAIN PURPOSE OF USE**TO ERECT AN ATTACHED DWELLING UNIT (GRANNY FLAT) TO AN
EXISTING DWELLING**FLOOR AREA****DWELLING UNITS**Whole
Sq. Metres60 m²Number
Erected1ESTIMATED
VALUES
\$Building
Plumbing
Drainage31,000 004,000 00TOTAL INCL G.S.T. 35,000 00**NATURE OF PERMIT (TICK BOX)**☐

NEW BUILDING

— exclude domestic garages and domestic outbuildings

☐

FOUNDATIONS ONLY

☒ALTERED, REPAIRED, EXTENDED, CONVERTED, RESITED
— include installation of heating appliances☐

NEW CONSTRUCTION

OTHER THAN BUILDINGS — include demolitions

☐

DOMESTIC GARAGES

AND DOMESTIC OUTBUILDINGS

FEES APPLICABLE

Building Permit	\$ 255 00	Water connection	\$ 206 00
Street Damage Deposit	\$ 255 00	Vehicle Crossing Levy	\$ 754 00
Building Research Levy	\$ 35 00	M.S. Plumbing	\$
Plumbing	\$		\$
Drainage	\$ 90 00		\$
Sewer Connection	\$		\$
TOTAL INCL G.S.T.		TO L:	\$ 1540 00
		TOTAL	\$ 1540 00
			8121 81 GST

Receipt No. 4654Date of Payment 9/12/86Authorised Officer J. Vallance

Special Conditions: (In addition to those noted on reverse): _____

NOTICE TO APPLICANT

PERMISSION IS HEREBY GRANTED YOU to carry out the works as proposed in accordance with the drawings and other documents submitted, and with any conditions defined; such work to be subject to inspection at any time during progress and to be carried out in strict conformity with the requirements of the Council By-Laws.

IMPORTANT — YOU ARE FULLY RESPONSIBLE for any damage done to any works such as telephone cables, power cables, water mains,

[illegible]

Remarks:

DARGAVILLE

BOROUGH

COUNCIL

Private Bag,
Dargaville

Phone 7059,
Dargaville

Tax Invoice

IRD TAX NO. 10-585-783

NO. 013

DATE: 26-11-86

DOOUSS BUILDERS

19 TIRARAU ST

DARGAVILLE

This is to advise that your application for a permit to ERECT AN ATTACHED
GRANNY FLAT AT 20 PLUNKET ST FOR Mr & Mrs M. BOAKES
ON LOT 3 D.P. 17369

will be approved and the relevant permits will be available for issue upon
payment of the following fees:

Building Permit	\$ 255-00
Building Research Levy	\$ 35-00
Plumbing and Drainage Permit	\$ 90-00
Footpath and Street Damage Deposit	\$ 200-00 NO G.S.T. ON DEPOSIT
Sewer Connection	\$ N.A.
Water Connection	\$ 206-00
Stormwater Inspection	\$ N.A.
Hoarding Licence	\$ N.A.
Vehicular Crossing	\$ 754-00

Off Street Parking:

Spaces	
Contribution	\$

\$ 1,540-00

TOTAL INCLUDES \$ 121.81 G.S.T.

Valance
INSPECTOR

APPLICATION FOR VEHICLE CROSSING

Dargaville Borough Council,
Private Bag,
DARGAVILLE

Date:

27/11/86

I, M E BOAKES (please print) of 20 PLUNKET STREET
DARGAVILLE apply for a Vehicle Crossing from the street to
my property at 20 PLUNKET STREET

I hereby agree to pay the required Inspection Fee of \$24.00. In addition, I agree to meet the cost of the actual work carried out by the Council and tender herewith payment for the work scheduled hereunder:

- | | |
|---|---------|
| 1. Inspection Fee (see above) | \$24.00 |
| 2. Cutting out kerb <u>N.A.</u> metres long at \$5.50 per metre | |
| 3. Cutting out concrete footpath <u>N.A.</u> metres long at \$24.00 per metre | |
| 4. Culvert Crossing | |
| length <u>N.A.</u> | |
| 300mm Dia @ \$65.00 per m. | |
| 375mm Dia @ \$93.00 per m. | |
| 450mm Dia @ \$120.00 per m. | |
| 525mm Dia @ \$144.00 per m. | |
| 600mm Dia @ \$177.00 per m. | |

NOTE: Pipe size will be determined by our Engineering Department. Pipe length will depend on depth of drain as well as crossing width.

- | | |
|--|-----------|
| 5. Area of Crossing <u>17.4</u> square metres | |
| (a) \$9.00 per sq. metre for metal crossing | |
| or (b) \$42.00 per sq. metre for concrete (residential) | \$ 730.00 |
| or (c) \$63.00 per sq. metre for concrete (commercial) | |
| 6. Scaling 5 (a) and reseals _____ sq. metre at \$9.00 per sq. metre | |
| 7. Miscellaneous | |

TOTAL (payment herewith -
Inclusive of G.S.T.)

\$ 754.00

I a l . agree to the condition specified in "NOTES" on the back of this Application Form.

SIGNED

M E Boakes

(Owner/Builder)

BUILDER

APPROVED

DATE

27/11/86

1. Generally this work will be done by the Council but in some cases an approved contractor may be allowed to perform the work outlined in this application provided the Inspection Fee is paid and the work is carried out under Council's supervision.
2. For those who elect to do the work as is minimum standards apply:
 - (a) Metal to a minimum depth of 150mm.
 - (b) Any sealing must be carried out in a First Coat Sealing - no sealing shall be done in inclement weather.
 - (c) The minimum pipe size for culvert crossings is 300mm diameter but where the drain is part of the main rough drainage system is the pipe size and type must be approved by the Borough Engineer. The minimum culvert length is 4 metres. The culverts with little fill over them shall be 300mm Humes reinforced concrete similar.
 - (d) All work must conform as closely as possible to the existing ground.
- j. The applicant may undertake to construct or have constructed, his crossing in concrete. The minimum standards for concrete crossings are:
 - (a) Concrete to be 17.5 MPa strength at 28 days.
 - (b) For residential crossings the minimum thickness is 125mm unreinforced concrete or 100mm reinforced on an approved base.
 - (c) For commercial crossings the minimum thickness shall be 175mm on approved base and shall be reinforced with 665 H.R.C. mesh.
 - (d) Minimum width of crossing 2.7m, maximum 6m.
4. Should a larger culvert diameter be required for culvert crossings the price difference between the larger pipe and a 300mm pipe will be added onto the rate given in 4. on the front of this application.
5. Any work not done to standard will either be repaired or removed by Council and the cost of doing such will be charged to the applicant.

THIS PANEL FOR OFFICE USE ONLY

Payment Received

Date: 09-12-86

Receipt: HGSN

Initials: PM

rgaville Borough Council but be allowed to perform the work Inspection Fee is paid and the supervision.

Lause 1 above, the following

ordance with N.R.B. P/2 be done in inclement weather.

sings is 300mm diameter but rough drainage system is the the Borough Engineer. The culverts with little fill over or similar.

ssible to the existing ground.

or have constructed, his crossing concrete crossings are:

days.

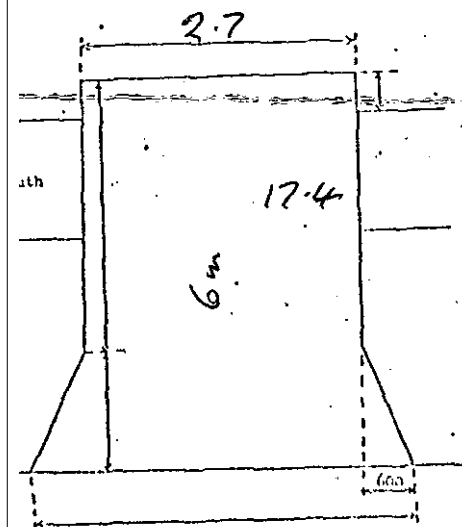
thickness is 125mm unreinforced base.

ickness shall be 175mm on with 665 H.R.C. mesh.

n 6m.

ed for culvert crossings the and a 300mm pipe will be added this application.

be repaired or removed by charged to the applicant.



- ITEM: 1. Footpath to be removed: Yes/No
2. Crossing to be constructed off

services & site plan

ROAD ↑

Notes: for location of
switches, submain, etc.
refer owner and
local supply authority

- key.
- ceiling outlet
 - wall bracket
 - power point
 - fluorescent light

EXIST
RESIDENCE

EXIST RESIDENCE

connected to
existing house
sewerage system

approx position
existing garage

100mm to exist
drain

2.500 approx

concrete
ramp

1000 to existing s/water
drain

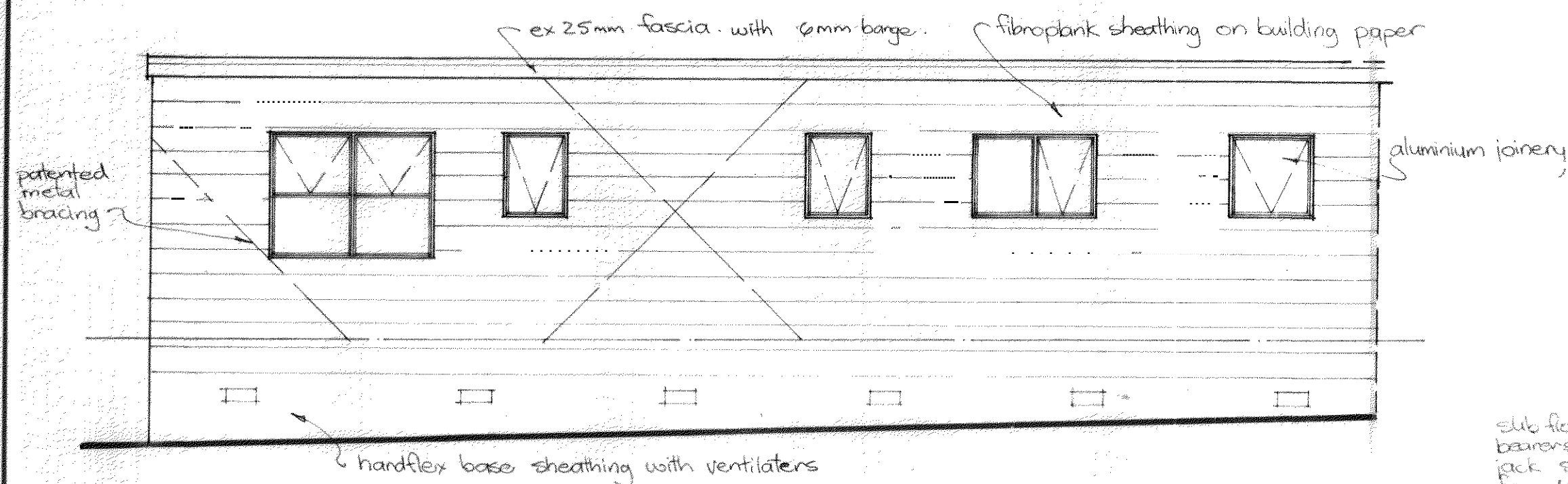
100mm to
drain

site 64

15.5.1990

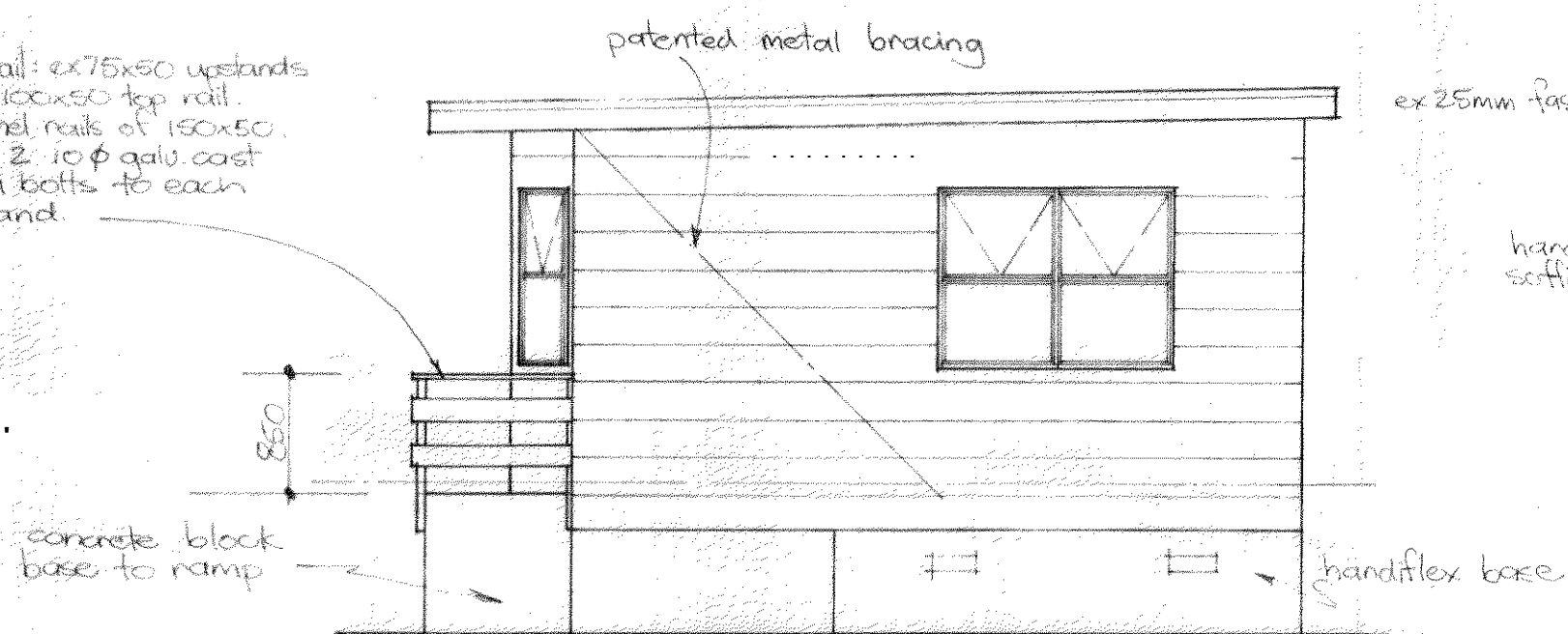
site 64

DOOUSS BUILDERS
19 TIRARAU STREET,
DARGAVILLE.
PHONE 7958

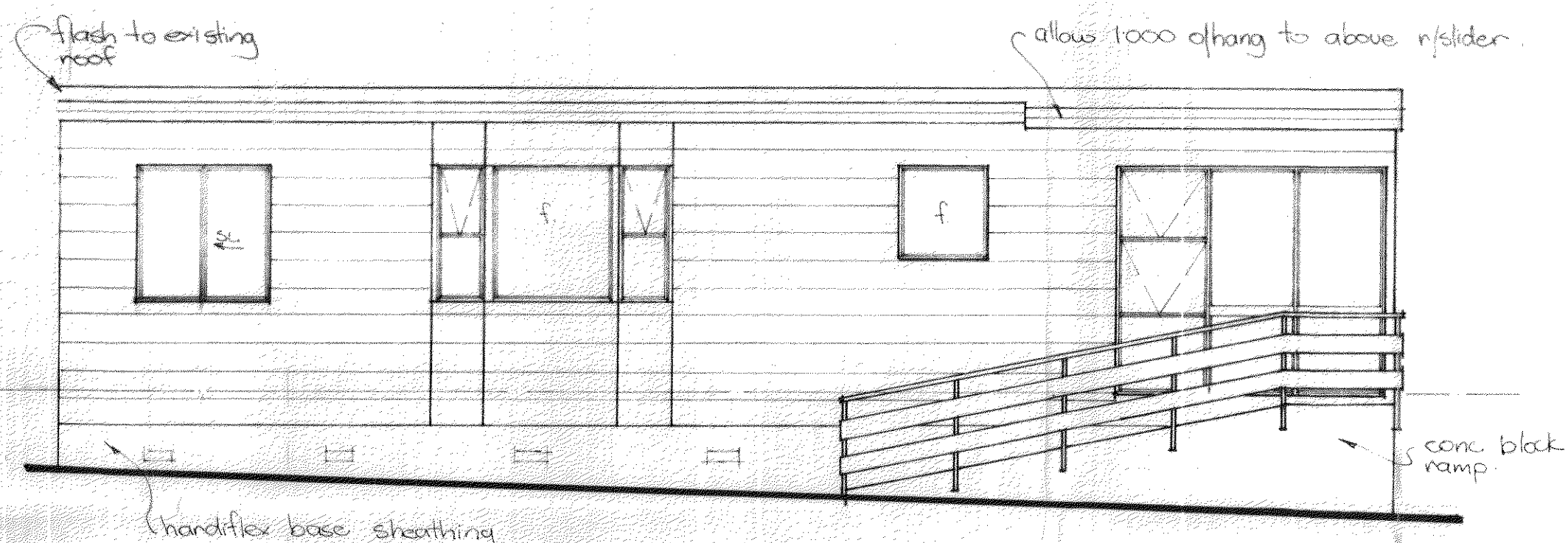


east elevation

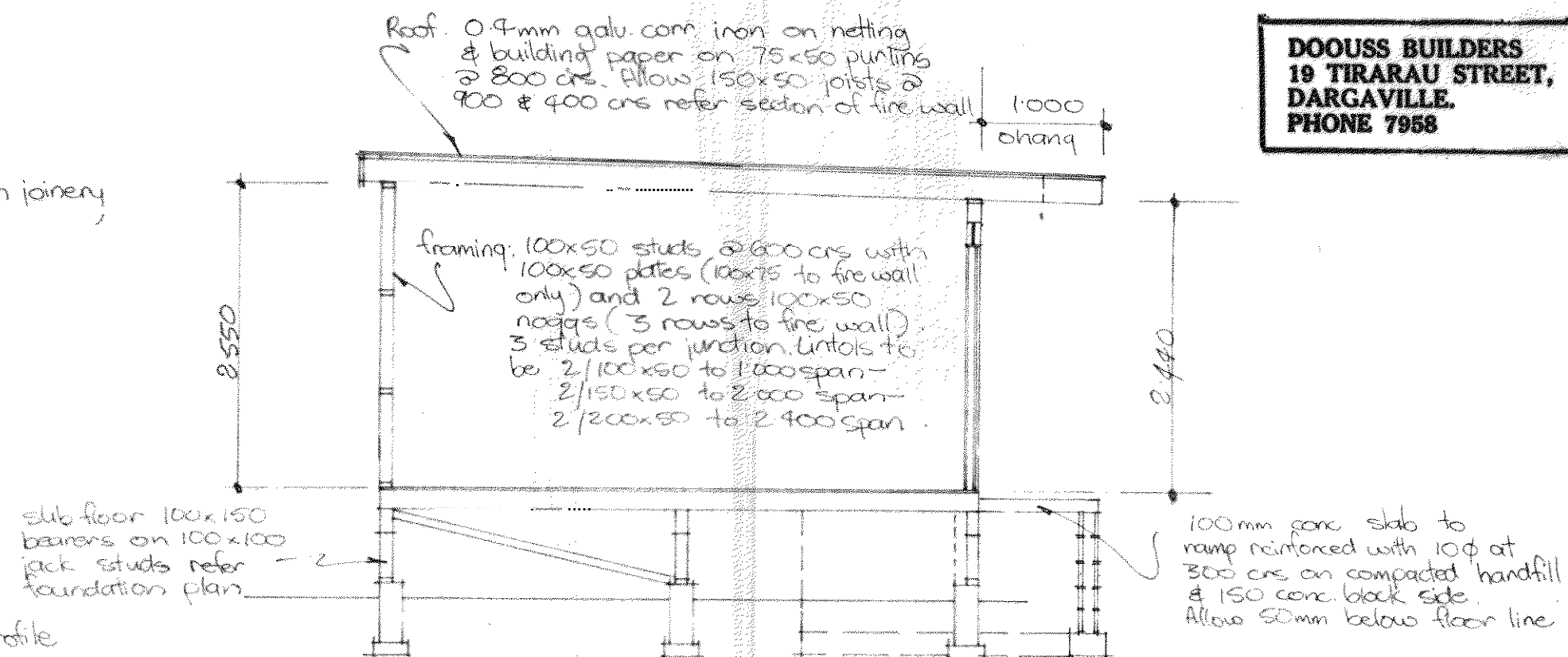
handrail: ex 75x50 upstands with 100x50 top rail. 2 panel rails of 150x50. Allow 2 10φ galv. cast insitu bolts to each upstand.



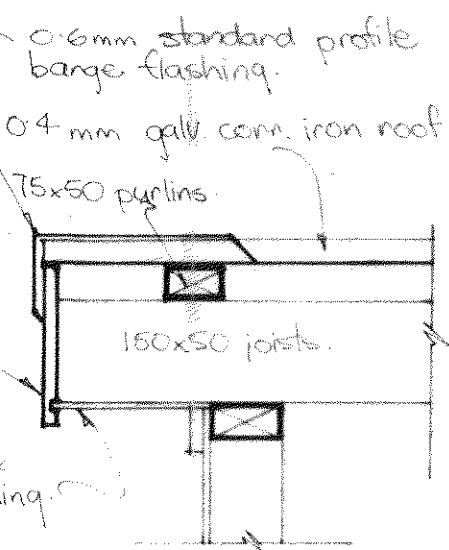
south elevation



west elevation



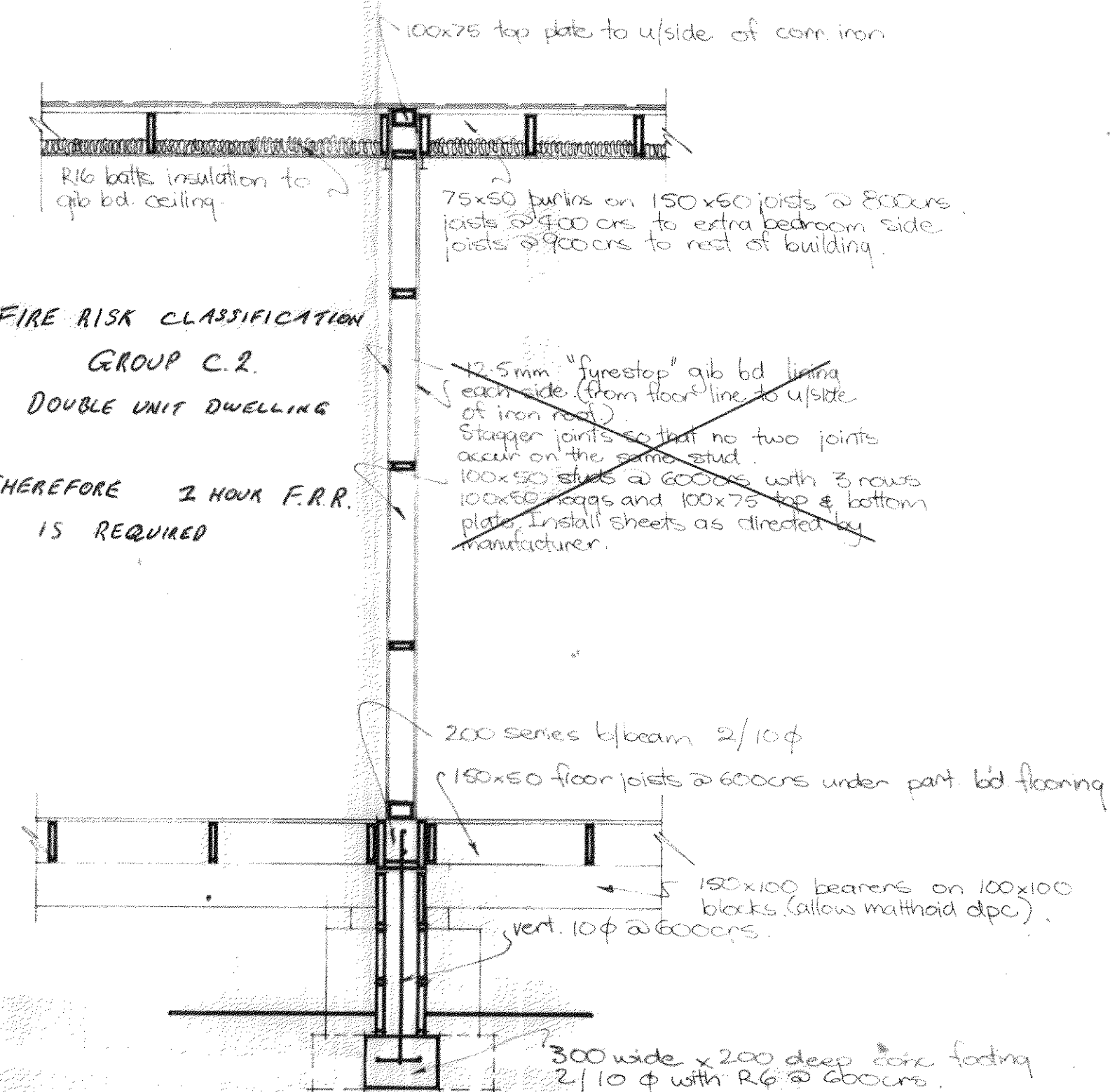
typical section



eaves detail

FIRE RISK CLASSIFICATION
GROUP C.2.
DOUBLE UNIT DWELLING

THEREFORE 2 HOUR F.R.R. IS REQUIRED



section at fire wall.

BRUCE WILSON PLAN SERVICE
PO. Box 256
DARGAVILLE Ph 6200 DRG.

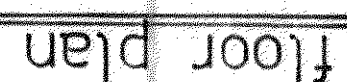
MR & MRS MURRY BOAKES

20 plunket street
DARGAVILLE

granny flat extension

SHEET
2

DRAWN <i>[Signature]</i>	CHECKED	SCALES 1:20	SERIES OF 2
TRACED <i>[Signature]</i>	DATE 17/4/86		REF 5186



DOUSS BUILDERS
19 TIRARAU STREET,
DARGAVILLE.
PHONE 7958

5000 check on site

Specification of work and materials

to be used in the

construction of a

granny flat extension

for ***Mr*** & ***Mrs*** Murray Boakes

at 20 Plunket Street, Dargaville

Being Lot 3 DP 17369

Note: Any addendum to this specification shall be read in conjunction with, but shall take preference over, other relevant clauses elsewhere in this specification.

Bruce Wilson Plan Service
P.O. Box 256
Dargaville
Phone: 6200 A/Hrs 4675

Contract No. 5186

EXTENT OF WORK

1. To remove existing sheathing to house on back wall.
2. Frame up and construct new building as shown, complete with fire wall and fire door, ramp, stormwater, electrical etc.

PRELIMINARY & GENERAL

1. SITE:

Visit the site so as to be fully acquainted with the facilities or difficulties of access thereto and the nature and extent of the proposed works. The Contractor shall be held responsible for the accurate setting out of the works.

2. NOTICES & PERMITS ETC:

The Contractor shall give all requisite notices, pay all fees and charges of every kind, obtain all licences and permissions for the proper execution of the work and carry out the work in conformity and any Act of Parliament and Local By-laws and Regulations applicable and including the Building Research Levy fee.

3. INSURANCES:

(a) The Contractor shall insure the works against loss or damage by fire for the full insurable value of the works, such policy to be maintained until the completion of this contract.

The policy required would be a comprehensive works cover including demolition and professional fees, following loss.

(b) A "builders risk insurance" policy shall be taken out to cover all eventualities in respect to the contract including public liability.

(c) Prior to commencement of this contract such receipts of insurance cover shall be presented to the owner as proof of insurance. Refer clause 14.

4. PROTECTION OF WORKS AND MATERIALS:

During construction the Contractor shall cover and protect the works during inclement and frosty weather.

5. DRAWINGS AND SPECIFICATIONS:

The work shall be carried out to the true intent and meaning of the drawings whether specified or not, for the complete carrying out of the work. The drawings and this specification shall be accepted and considered as sufficient for the description generally of the work, taken collectively or separately.

Refer to designer any matter in doubt.

6. DIMENSIONS:

The Contractor shall verify all dimensions shown or figured on the drawings and specifications. At no time will scaled dimensions be used.

7. FINANCE:

If the Contract is partly or wholly financed either by the Housing Corporation or by any other financial institution the Contractor shall conform with the requirements and conditions set out by the lender to the satisfaction of the inspectors who may supervise the job on behalf of such an institution.

8. MATERIALS:

All materials herein specified and all workmanship shall be the best of their respective kind, no inferior materials or workmanship will be used.

Should any of the materials specified for this contract be unprocurable or be prohibited by any Government regulations, negotiations shall be made for the provision of substitutes. Before any such substitutes are included in the contract, the approval of the owner will be obtained. The price difference resulting from the inclusion of the substitutes must be agreed upon before the respective work is commenced. Any substitutes must also be acceptable to the Local Authority and/or lending institution.

9. DAMAGE:

The contractor shall make good at his own expense all damage to roads, footpaths or property adjoining the site, which may have been caused by the reason of the carrying out of this work included in the Contract.

10. ATTENDANCE:

The Contractor shall attend upon, cut away for and make good after all trades mentioned in this Specification.

11. SUBCONTRACTORS:

This Specification is subdivided into trade sections for the convenience of reference only and it shall not be construed that each trade section is an entire and separate contract. Every trade jointly and severally shall collaborate, wait on, assist and render all necessary assistance to complementary trades.

12. GOODS AND SERVICES TAX:

That part of this contract which has any GST to be added shall be charged accordingly. A separate amount of the total GST charged shall be presented to the owner on each progress payment due under clause 14 of this specification. The clause **shall** also apply to sub-contractors, merchants, services etc. supplied to complete the works within the meaning of the plans and specifications.

13. LABOUR CONTRACT:

- Should the owner erect this contract under the "Labour Only" or "Cost Plus" basis of construction, no work shall be started on this Contract until a legal contract has been drawn up between owner/employer and worker/employee as to conditions of employment, payments, material shortage, fees etc. All other aspects of this "General" part of the contract shall be covered in the new contract. A general "Labour agreement" is available from the designer if required.

14. PROGRESS PAYMENTS:

Progress Payments - unless otherwise agreed upon.- will be paid monthly up to 90% of the estimated value of the work performed and materials on site. Up to 90% of the value of the work will be paid after tentative acceptance and completion, the balance of 10% to be paid at the end of the maintenance period. If this Contract, however, is financed by the Housing Corporation or other recognised lending authority the Contractor shall satisfy himself and accept the manner of payment as set out by them. Provided, however, that proof of insurance cover has been lodged with the owner.

15. MAINTENANCE:

The Contractor shall make good all defects or shrinkage or other faults whatsoever which may arise or appear within a period of 90 days.

16. LIENS ACT:

This Contract is subject to the "Wages Protection and Contractors Liens Act, 1908 and its Amendments".

17. DEFAULT AND BANKRUPTCY:

- (a) The usual laws of default and bankruptcy apply to this contract.
- (b) However, should the Contractor become insolvent, or have his estate placed in sequestration, or make an assignment of his estate for the benefit of his creditors, or his affairs go into liquidation or receivership, it shall be lawful for the owner to re-contract with another person, without claim.

18. ARBITRATION:

In any dispute arising between owner (employer) and contractors not solvable by the terms of this specification, it should be referred to arbitration within the meaning of the Arbitration Act 1908.

19. MONETARY ALLOWANCES:

Nett Sums - Where the specification includes "net sums" for carrying out any part of the work, these sums shall be the prime cost of the article landed on site and all plusages in the nature of main contractors profits, sub-contractors profits, overheads and any other amounts which the Contractors and/or subcontractors consider they are entitled to, shall be added to the net sum in tendering. The owner reserves the right to select or purchase items under the Net Sum and these shall be adjusted accordingly on completion.

20. VARIATIONS TO CONTRACT:

No variations will be recognised unless substantiated by the written authority of the owner. Unless stated otherwise it will be assumed for the purpose of adjustment that variations will be approved at the net cost of Labour and Materials plus a profit margin of 15%.

21. PRICE FLUCTUATIONS:

Escalation will be allowed on this contract providing that all the following requirements are strictly complied with and providing the work is under taken within the stipulated completion period.

Labour - Variations to the net cost of Labour (if paid by the contractor) as approved by the Arbitration Court plus 15% to cover holiday pay and superannuation contributions.

No variation shall be allowed on Labour for tradesmen or other workers working elsewhere than on site unless the Owner is satisfied that such labour is properly chargeable to the works.

Materials - Variation to the cost of materials shall be approved providing that the Contractor provides the owner with a complete list of basic rates for materials used in the contract. Such list shall properly relate to the normal basic current prices of materials at the time of tender.

Verification - To enable the owner or his advisor to verify the fluctuation the Contractor must provide the number of hours involved, the category of the tradesmen, the particular awards referred to, in the case of labour and the list of materials, the date of purchase and a copy of the invoices for the materials.

22. CLEANING UP

At regular periods during building operations and on completion of the Contract, the Contractor shall remove debris which may accumulate from time to time, leave the whole site tidy and leave the entire building including paths, steps etc, clean and ready for use. All floors shall be left broom clean, all glass work shall be left sound, clean and polished inside and out. All painted, stained or polished work shall be left free from spot and dirt.

23. COMPLETION DATE:

(a) A date is to be mutually agreed upon by both parties, prior to commencement of contract, for the completion of all works described in this specification and shown or implied by the plans included in this contract.

(b) Any sum agreed to as a "liquidated damages for delayed completion" shall not be included in any maintenance retention described under clause 14.

EXCAVATOR

1. GENERAL:

The excavator is required to read the following clauses under this heading and other relevant clauses elsewhere in this specification.

2. WORK:

Excavate as required for foundations, footings, etc as shown and all drains effluents, etc as required by Drainlayer, and/or main Contractor.

3. INSPECTION:

The Contractor must inspect the site before the commencement of the work and inform the owner if any abnormal conditions exist, as to wetness, access etc

DRAINLAYER

1. GENERAL:

The drainlaying contractor is required to read the following clauses under this heading and other relevant clauses elsewhere in this specification.

2. WORK:

All work to be the best trade practice with high quality materials and all to be done in accordance to Local Body Building By-laws and plumbing regulations.

3. EXCAVATE: (if separate from Excavator)

Excavate for all stormwater, sanitary lines, trenches, drains etc to approved depth.

4. STORMWATER DRAINS:

Allow to dispose of stormwater from downpipes to existing outlet as directed by owner.

5. COMPLETION AND TESTING:

On completion the whole of the drainage to be handed over in thorough working order according to the Health Department's requirements and; the Local By-laws to the satisfaction of the Inspectors.

NOTE:

Local Body Health Inspector and other relevant inspectors shall be notified at commencement of drain filling if required by Local By-laws.

CONCRETOR (foundation footings)

1. GENERAL:

The Concrete Contractor is required to read the following clauses under this heading and other relevant clauses elsewhere in this specification.

2. MATERIALS:

(a) Cement shall be dry, in good condition Portland Cement of approved manufacture and shall be stored on site to ensure dryness and good condition throughout building time.

(b) Metal Aggregate shall be an approved hard metal chip, free from dust or earthy matter and graded to best 1" mesh.

(c) Water used for concrete must be clean and fresh, of drinking quality as drawn from Council supply.

(d) Steel used for reinforcing; shall consist of round mild steel rods, complying with conditions and tests embodied in N.Z.S. 197, accurately fabricated and fixed in position. Hook ends of all rods and lap at least 40 dia. all laps and intersections being bound together with No 16 gauge black iron wire.

3. THE MIX:

Concrete which is to be reinforced shall be mixed in the proportions of 1 part of cement to 2 parts fine aggregate and 4 parts coarse aggregate; and shall comply with N.Z.S.S. 1900 Chapter 9:3. Suitable mixed "readymix" may be used provided it complies with the above requirements.

4. DAMP PROOF COURSE:

All concrete in contact with timber work shall be covered with one layer of three ply malthoid or other approved damp-proof course with minimum laps of 75mm.

5. FOOTINGS:

As shown on plans.

6. BUILDING IN:

All concrete fixings to be steel bolts or like; the building in of wooden blocks is not permitted.

7. REFERENCES:

All steel and concrete to be as required by N.Z.S.S. 1900 Chapter 9.3A (Concrete design and construction)

BLOCKLAYER

1. GENERAL:

The Blocklayer is required to read the following clauses under this heading and other relevant clauses elsewhere in this specification.

2. Blockwork to be laid in stretcher bond all true and vertical. Lay blocks dry and protect to stay dry up to 8 hours after laying. Use only first class blocks the use of seconds is prohibited. Mortar to be standard mix according to best trade practise with town water, sifted sand and approved cement.

Reinforcing Refer plans and concretor for type size and location of all reinforcing steel.

CARPENTER AND JOINER

1. GENERAL:

The Carpenter and Joiner, listed under this heading for reference only, shall be responsible for this section of the specification and for all other relevant clauses elsewhere in this specification. Each of the two trades shall be separate, in their identity, but the carpenter shall be responsible to ensure that the contract is entirely completed as expressed or implied by this specification. Should some part or materials not be covered in this specification, or the accompanying plans, the carpenter shall be deemed to be responsible.

2. MATERIALS:

All timber to be used on this contract to be the best of its respective grade and classification, free from any dead knots, warps etc. Where pine framing is specified it shall be tanilized treated, all timber to comply with lending institution and local Body By-laws.

3. WALL FRAMING:

All bearing partitions to be out of 100 x 50. Generally all framing to be at 600 centres with a minimum of 2 rows of noggings. All external angles to consist of 3 studs and all angles and intersections shall be blocked with 50mm packing pieces at not more than 600 centres. Install all noggings to suit units sinkbenches, electrical fixings, hardware, etc. as required.

4 i SUB FLOOR FRAMING:

Install piles as shown on plans. Install 150 x 100 bearers over to level and install 150 x 50 floors joists at not more than 600mm crs. Allow for double joists to end and a 150 x 50 trimmers joist to sides. Over all install particle board sheeting of floor quality fixed in accordance with manufacturers specifications. Frame up for base sheathing as required.

CARPENTER AND JOINER cont.

5. ROOF FRAMING:

Roof framing to the addition sha 1 be as shown on plans. Install 75 x 50 purlins at maximum 900 crs covered with netting and buidling paper laid shinglewise. Install .40 galvanised corrugated iron sheets to roof securely nailed and complete with barge rolls, flashings etc to match existing roof. Install nogs to joists to suit ceiling sheets and install R16 Batts instulation.

6. LINTOLS:

Lintols to be as shown on plans. (sheet 2 typical section)

7. ALUMINIUM JOINERY:

Allow to supply and install aluminium joinery as shown on plans. It shall be the aluminium joiners responsibility to provide actual window rough trim sizes (to framing timber) to the carpenter when he requires them. All joinery to be provided with liners fixed to the aluminium. Carpenter to notify joiner re jamb widths. Adequately flash as required and install all locks etc as selected.

a. LININGS:

(a) Line all internal walls and ceilings with Gibraltar Board fixed as recommended by Manufacturers. Stop all gaps, hammer marks, etc with first quality plaster of paris taking care to remove any surplus from exposed joinery units, windows etc and leave all in good condition.

(b) Line all exterior walls with reflective foil to insides of studs. Do not allow foil to bag between fixings. When using this type of insulation, the exterior sheathing shall be installed prior to the foil or as soon as possible after. Any wind damage will be rectified before installation of interior lining. Internal linings with the foil incorporated with the production (such as Gib foil) may be used in lieu of above.

(c) The fire wall as shown strictly to manufacturers recommendations.

9. EXTERIOR SHEATHINGS:

(a) To framing with fibroplank sheathing install a suitable breather type building paper, suitably lapped to make waterproof. Over install fibroplank sheathing fixed in accordance with manufacturers recommendations. Allow for window head flashings etc.

(b) Line all eaves with hadiflex sheets held in PVC mouldings and grooves in fascia. Cut in suitable mouldings at plateline neatly mitred.

10. HARDWARE:

Allow the PC sum of \$180 for the purchase of all halfsets snibsets, night latch and handle etc as required for this contract. This sum shall included all toilet paper holders towel rails etc and all sliding door gear, but shall not include hinges.

CARPENTER AND JOINER cont:

11. DOORS:

(a) Internal doors generally shall be paint quality as selected by owner. Hang all interior doors on 1½ pair 75mm FB butts. Hang cupboard doors on one pair 75mm FB butts. Any other doors to be fitted with selected hardware. Install sliding door as required to laundry alcove as selected by owner.

(b) Where shown on plan install a pyropanel fire door of 1 hour fire rating.

12. HOT WATER CUPBOARD:

To position as shown on plan install slatted shelves to hotwater cupboard above cylinder of spacings as selected by owner.

13. PANTRY:

Pantry shelving to be generally as per plans but as directed by owner.

14. KITCHEN UNITS:

Install all kitchen units as drawn complete with a stainless steel (with upstand) sink bench. Tops to be laminated plastic lined of selected colour. All units to be of standard design, made in an approved factory with selected drawer and door fronts. Allow the provisional cost sum of \$1200 for the supply of units only. Above PC sum does not include supply and fixing.

PLUMBER

1. GENERAL:

The Plumbing Contractor is required to read the following clauses under this heading and other relevant clauses elsewhere in this specification.

2. FLASHINGS:

Flash all roof openings with either 1.8mm sheet lead lashing or .5mm galvanised iron, to make fully waterproof job. Allow any head flashings as required.

3. SPOUTING AND DOWNPIPES:

Provide PVC spouting where required supported on suitable brackets and having determined fall to downpipes. Provide downpipes in suitable positions fixed cleats to wall sheathing all elbows to be neatly mitred and soldered.

4. W.C. PLAN:

As shown on plan with flushing cistern. Install a suitable stopcock to service. Seal waste of pan soil drain with suitable jointing compound and secure with clips.

ELECTRICIAN

1. GENERAL:

The Electrician Contractor is required to read the following clauses under this heading and other clauses elsewhere in this specification.

2. MATERIALS:

Materials used by the Electrician must be of approved manufacture (such as British) and must conform to the regulations of the Power Board and Local Authority.

3. WORKMANSHIP:

The whole of the, Electrician's work must be carried out in compliance with the regulations of the said Power Board and the Underwriters' Association, by duly licensed tradesmen. Insofar as it is possible all runs must be concealed from view.

4. WIRING:

All cables shall be 250 volt grade complying with the latest N.Z.S.S. and amendments thereto. Provide an approved type and size of earth to each switchboard. All plate materials for switches, flush plates, light sockets, etc. shall be white colour.

5. LIGHTS AND POWER POINTS:

Allow to provide and fix power points and lightoutlets as required by owner.

6. LAMPS AND PLUGS:

Leave all lighting outlets complete with approved pearly or inside frosted lamps with open shades and all other outlets complete with three pins plugs. Any selected light fittings will be taken as an extra.

7. POWER POINTS:

Power points generally shall be flush type PDL 10 amp three pin plug with matching switch plates. Heights to be as arranged with owner.

*. TELEPHONE REWIRE:

Refer owner re location;

PAINTER (BY owner)

PAPERHANGER (By owner)

DARGAVILLE

BOROUGH

COUNCIL

APPLICATION FOR PERMIT FOR DRAINAGE AND/OR PLUMBING WORK

The Town Clerk,

Dargaville Borough Council,
Private Bag,
DARGAVILLE.

I, the undersigned BLUM Boals hereby
apply for permission to have the work described herein and set out in the plan
attached hereto, carried out in the premises situated at

.....20 Plunket St..... and situated on land legally described
as DARGAVILLE..... Assessment No. 95/164

Name & Address of person for whom M. Boals.....

work is to be carried out.) 20 Plunket St DARGAVILLE

Name of Plumber I & Boals..... (Undertaking such work)

Name of Regd. Drainlayer B. Boals..... (Undertaking such work)

Description of Work (Sanitary Plumbing and Drainage, but excluding roofing)

State type of premises House..... (e.g. house, beach cottage,
shop, factory etc.)

State extent of work New sewer drain.....

(e.g. Urinal, W.C., septic tank, bath, shower, washtub, water reticulation, Hot
water reticulation, stormwater drainage or sanitary drainage - and whether New
additional, renewal or repair.)

Estimated Value of Work:-

Drainage \$ 400

Plumbing \$

\$ 400.00 Total

(These amounts should be the real value of the work as opposed to the possible
cost of work or material.)

Dated 8.1.80 19 80

Signature B. Boals

OFFICE USE ONLY

Received \$ 5.00

Receipt No. 3578

Date 10/10/1980

Approved for permit

Permit No. 850

Issued

3500
\$5 4. Russell's.
- 2 - \$5 13 400 ST
Estimated Value of Work:-

Not exceeding	\$50
Exceeding \$ 50 but not exceeding \$100	
Exceeding \$100 but not exceeding \$200	
Exceeding \$200 but not exceeding \$400	

Fees Payable

\$1.00
\$2.00
\$3.00
\$5.00

Plus \$2.00 for every \$200 or part thereof in excess of the first \$4.00

Plan:-

A suitable small plan should be **provided here** indicating position,,
'and length of the walls of the building, the position of sanitary fittings,
the ,proposed position of drainage and septic tank, distances from-boundaries
and the position and dimensions to nearest sewer.

NOTE:

No application will be entertained unless: -

- Work to be carried out by a registered plumber or drain layer.
 - A plan of the proposed work is drawn on this sheet; or attached hereto.
 - "As built" plans of the completed work must be submitted before a certificate of completion will be issued. Blank block drainage plan sheets for this purpose are obtainable at the office of the Dargaville Borough Council.
- Permit fees are payable on sanitary plumbing and drainage, but not on roofing.

DARGAVILLE BOROUGH COUNCIL

P.O. Box 34,
Dargaville

(Office, Hokianga Road, Dargaville)

Phone 8225
Dargaville

APPLICATION FOR BUILDING PERMIT

TO THE BOROUGH ENGINEER,

Sir,

I hereby make application to erect/re-erect/extend/alter/repair the building(s) according to the site plan detailed plans, elevations, cross sections and specifications deposited herewith in duplicate.

things are:—

OWNER

Name *Mr & Mrs M. Becher*

Postal Address *20 Plumlet St Dargaville*

Phone *7874*

BUILDER

Name

DOOUSS & WINDUST

19 TIRARAU STREET.

Postal Address

DARGAVILLE.

Phone

PLUMBER

Name

PHONE 7958 OR 7673

Brian Becher

Phone *8683*

25 Mann St

Dargaville

Phone *8684*

BUILDINGS *Dwelling*

WORK *Bedroom & Extensions*

e.g., additions to Dwelling, Bedroom, Lounge extensions etc.

VALUATION DEPT. ASSESSMENT No.: (from rate demand)

95/164

LEGAL DESCRIPTION OF SITE: (from rate demand or title deeds)

L073 DP 17369

Plumlet St Dargaville

AREA OF SITE:

Acres

Roods

Perches

19m²

19m²

Accessory Buildings (excluding plumbing and drainage)

\$

Plumbing and Drainage

\$ *1.500*

Total of Work \$ *9.000*

CERTIFICATE: I hereby certify that the above information is correct in every respect and do hereby agree to abide by all provisions of the Dargaville Borough Council by-laws governing and regulating all matters the subject of the foregoing.

Signature of Applicant:

M. M. Becher

Date: *7-11-77*

44427

FOR OFFICE USE ONLY

TO ADMINISTRATIVE OFFICER: Date Received
Check List: Forms completed () Valuation No. () Fees received ()
Remarks:
Signature: *[Signature]* Date: 10/11/77

TO PLANNING OFFICER: (Check with District Planning Scheme. Refer to Council if required)
Approved by Council Minute No. 1 Date:
Checked and approved by Officer Signature: Date:

TO HEALTH INSPECTOR: (Check for drainage, health, etc.)
Checked and approved signature: Date:

TO BUILDING INSPECTOR: (Check far by-laws, etc.)
Checked and approved Signature: *[Signature]* Date: 10-11-77

TO FIRE INSPECTOR: (Check for by-laws, etc.)
Remarks:
Checked and approved Signature: Date:

TO STRUCTURAL ENGINEER: (Check design calcs, etc.)
Remarks:
Checked and approved Signature: Date:

REMARKS:

PERMIT TO BE ISSUED SUBJECT TO:

GENERAL INFORMATION

(1) The following **MUST** accompany this Application:

PLANS AND SPECIFICATIONS TO BE SUBMITTED IN DUPLICATE (in ink or on print paper) including—

- (a) Ground plans of proposed work showing position of all sanitary fittings and names and sizes of various **rooms**.
- (b) Where the building is on a sloping site the correct height of foundations must be shown
- (c) Front and side elevations.
- (d) Cross-section showing framing with bracing.
- (e) Where a building **requires** Plumbing and Drainage **work** a separate Application Form must be filled in and fee paid before a Building Permit can be issued.
- (f) Such drawings and information; in detail as may be necessary to indicate that the proposed building or other **work** or change of use of land or buildings will comply in all respect with the District Planning Scheme and with the By-laws.
- (g) A report, **and** calculations showing how the design complies with the By-laws in the case of buildings requiring specific designs.
- (h) Applications for (in **so** far applicable):
 - (1) Drainage and plumbing
 - (2) **Sewer connections**
 - (3) Water supply connection
 - (4) **Crossing**
 - (5) Footpath damage deposit
 - (6) Hoarding licence
 - (7) Vehicular crossing
 - (8) Stormwater connection
- (i) In duplicate, a location drawing showing the site (**all** four boundaries) the buildings already on the site and the new proposed building shown in black. The **measurements** from the proposed building to all buildings, **on the** site and the **boundary** lines should be given.

(2) FEES may be forwarded later on advice of **availability** of **permit** and the amount of fees required.

FOR OFFICE USE ONLY

FEES (where applicable)		Receipt No.	Date	Permit No.
Building Permit	30:00 /	44127	10-11-77	.....
Building Research Levy	\$ 4:50 /	44127	✓	.....
Plumbing and Drainage Permit	\$ 17:00 /	44127	✓	.....
Footpath Damage Deposit .....	\$	.....	.....	.....
Sewer Connection .....	\$	.....	.....	.....
Water Connection .....	\$	.....	.....	.....
Stormwater Inspection .....	\$	.....	.....	.....
Hoarding Licence .....	\$	.....	.....	.....
Vehicular Crossing .....	\$	.....	.....	.....
Off-Street Parking				
Spaces				
Contribution .....	\$	.....	.....	.....
TOTAL FEES	\$ 51:50 /			

SCALE OF FEES

For the examination of plans and specifications of any building and for the inspection of such a building the following fees shall be payable according to the estimated value of the work.

In any dispute as to the value, the Borough Engineer shall have the absolute determination of the value of the proposed work or building.

BUILDING PERMIT FEES

ESTIMATED VALUE OF WORK. (Value to exclude value of Plumbing and Drainage work).

ESTIMATED VALUE OF WORK

Not exceeding \$20			50
Over	\$20 and not exceeding	\$200	\$1.00
"	\$200	\$400	\$2.00
"	\$400	\$600	\$3.00
"	\$600	\$800	\$4.00
"	\$800	\$1000	\$5.00
"	\$1000	\$1200	\$6.00
"	\$1200	\$1400	\$7.00
"	\$1400	\$1600	\$8.00
"	\$1600	\$1800	\$9.00
"	\$1800	\$2000	\$10.00
"	\$2000	\$2500	\$12.00
"	\$2500	\$3000	\$14.00
"	\$3000	\$3500	\$16.00
"	\$3500	\$4000	\$18.00
"	\$4000	\$5000	\$21.00
"	\$5000	\$6000	\$24.00
"	\$6000	\$7000	\$27.00
"	\$7000	\$8000	\$30.00
"	\$8000	\$9000	\$33.00
"	\$9000	\$10,000	\$36.00
"	\$10,000	\$12,000	\$40.00
"	\$12,000	\$14,000	\$44.00
"	\$14,000	\$16,000	\$48.00
"	\$16,000	\$18,000	\$52.00
"	\$18,000	\$20,000	\$56.00
"	\$20,000	\$25,000	\$64.00
"	\$25,000	\$30,000	\$72.00
"	\$30,000	\$35,000	\$80.00
"	\$35,000	\$40,000	\$88.00
"	\$40,000	\$50,000	\$98.00
"	\$50,000	\$60,000	\$108.00
"	\$60,000	\$70,000	\$118.00
"	\$70,000	\$80,000	\$128.00
"	\$80,000	\$90,000	\$138.00
"	\$90,000	\$100,000	\$148.00
"	\$100,000	\$120,000	\$158.00
"	\$120,000	\$140,000	\$168.00
"	\$140,000	\$160,000	\$178.00
"	\$160,000	\$180,000	\$188.00

BUILDING RESEARCH LEVY FEE

In addition to the above fees there will also be payable a Building Research Levy in accordance with the Building Research Levy Act, 1969, which is set at 50c in each \$1000 or part thereof of the value of each Building Permit issued. Permits for work of a value less than \$3000 are exempted.

PLUMBING AND DRAINAGE PERMIT FEES

UP to \$50	\$1.00
\$51-\$100	\$2.00
\$101-\$200	\$3.00
\$201-\$400	\$5.00

PLUS \$2.00 for every \$200 or part hereof in excess of the first \$400.

SPECIFICATIONS

FOR

PROPOSED HOUSE ALTERATIONS

MR AND MRS M. EOAKES..

20 PLUNKET STREET,

DARCAVILLE ..

D.P. 17369

LOT 3 KAIHU PARISH ..

P. SHIELDS

NZCD (ARCH).

A.M.N.Z .I.D.

The Specification and accompanying drawings (4 sheets) shall be deemed to **form** and to read and be constructed as part of the contract, together with any general conditions and special conditions of Contract entered into with the client.

INDEX:

- A. Preliminary and General.
- B. Schedule of Works:

By Laws

Extent of work

Workmanship

Warranties

Demolition

Excavation

Flasework and Formwork

Concreting

Carpenter and Joiner

Plumbing and Drainlaying

Butynol Roofing

Solid Plaster Rendering

Painter

Glazing

Floor Coverings

Electrical

The General Conditions

1. General

Special Conditions entered into with the Owner together with the Preliminary and General clauses of this specification shall be binding on all trades of this specification.

This Contract includes the supply and delivery of all materials, labour, fittings, tools, plant, etc necessary for the due and proper completion of the building as shown on the drawings and herein specified and in strict accordance with local authority by-laws.

2. Scope of Contract

The Contractor is to give all necessary Notices to the Controlling authorities concerned, obtain all permits, pay all fees and comply with all laws, by-laws and Department Regulations, including the Construction Regulations 1961 made under the 1959 Construction Act,

3. Notices and Permit.

All workmanship shall be in accordance with the best trade practice

4. Workmanship and Materials

Work shall be accurately set out, structurally sound true to line and face and shall be neatly executed and finished all to the requirements of this specification. Figured dimensions, are to be taken in preference to scaling. Defective work, if any, shall be made good at the expense of the Contractor.

Any materials herein specified that are not procurable at the time they are required thus tending to retard the progress of the Contract, may be substituted with other similar materials. The Contractor is to first notify the Owner of any changes proposed and at the completion of the Contract will adjust any difference in cost. Where alternative materials are mentioned, such alterations shall be at the Owner's discretion.

The Contractor shall be held responsible for the accurate setting out of the work and shall make good any errors at his own expense.

5. Survey and
Setting Out

The Contractor shall allow for attendance upon all sub-contractors and Government and Local Authorities where concerned with the work as necessary to enable satisfactory completion of the contract. Allow to form all holes, chases, building in, making good and cutting away for all trades.

6. Attendance

Work or materials shown on the drawings or specified and not shown must be supplied as though both shown and specified. Materials shown but not specified must be of the kinds commonly employed for the service they are intended to perform, (all detail drawings shall supersede those to a smaller scale). The Contractor shall be held responsible for the setting out of **all** work and he will make good at his own expense any errors that occur.

7. Interpretation

Any alterations of levels brought about by direction of the Owner through bulldozing or grading after original **levels** have been taken thus causing variations shall be considered as extra or reduction in costs as the case may be, at completion of contract, Levels as shown on **plans** approximate only. Contractor shall check all levels on site.

8. Levels Etc.

The Contractor shall ensure that the whole of the necessary plant, scaffolding, labour and materials is provided for the prompt and efficient execution of the works including **all trades**, sub-contractors and nominated sub-contractors.

9. Scaffolding
Plant Etc.

Discuss with Owner re providing of sheds for foreman, workmen, materials, tools, etc. All drawings and documents shall be kept within the foreman's shed, provide adequate plan table

10. Sheds

and racks for sale and keep shed securely locked during all non-working hours. Siting of the sheds shall be by arrangement with the Owner. Remove all sheds and clean up on completion of the Contract.

The Contractor shall make arrangements with the Owner for the use of such land as he may require beyond that shown on the drawings or specified,

11. Land For Contractor's Use

During the course of execution of this contract the Contractor shall take every precaution to protect the Owners, adjoining public and private properties against damage. If necessary he shall provide adequate temporary shoring to protect the adjacent properties and land from subsidence during excavation and building up of the works. He shall make good all damage at his own expense to the satisfaction of the Owner. The flow in existing pipes, channels, culverts etc. must at all times be maintained during the progress of the work.

12. Care of Property

The Contractor shall so arrange his work that access to and use of fire hydrants by Fire Brigades is not impaired; or if this should be impossible, he shall inform the appropriate authority.

13. Fire Hydrants

The Contractor is to cover up and protect the works from the weather and suspend all operations during the adverse weather conditions which will be detrimental to the works or result in works not conforming with the specification.

14. Cover Up and Protect

The Contractor shall so carry out all the work under the Contract and shall provide all such things that the chance of injury or accident to his workmen is reduced to the practicable minimum. All accidents involving serious injury shall be notified to the Safety Inspector and the Owner as soon as possible. Proper and suitable first-

15. Safety and Accidents

aid equipment maintained in good order shall be available at appropriate positions on the work at all times.

During the progress of the works the Contractor shall keep the site and buildings reasonably clean. This shall include the regular removal of all rubbish, shavings, debris etc.

On conclusion of the contract, all ceilings, walls and woodwork shall be dusted and wiped down. Floors brushed and wiped and the entire building left in clean condition for occupation, and remove all debris from site.

The Contractor shall allow for all time lost and costs incurred by the operation of all holidays.

Allow for all statutory charges, taxation, sales tax, etc. where applicable as no extra will be allowed.

The Contractor shall allow a lump sum for the testing of materials and workmanship as required by the Owner.

A warranty is required from the contractor for a minimum period of two years covering water-tightness of the entire building including leaks from sanitary fittings. Also required for:-

All plumbing work	2 years
Floor coverings	2 years
Paintwork	3 years
Electrical work	1 year

These general warranties are in addition to any specified warranties required under relevant trade divisions in this specification and/or nominated by the Owner. All warranties shall include for the rectification of subsequent

16. Cleaning of Buildings and Site

17. Annual and Public Holidays

18. Tax

19. Tests of Materials

20. Warranties

damage occasioned by the failure of any item covered by warranty. Term of warranties shall date from the date of completion. A Final Certificate will not be issued until all warranties are in the hands of the Owner.

21. Temporary Works

The contractor shall provide all necessary lighting, hoardings, barricades, fans, gantries, screens, etc. for the protection of men on the site, on adjoining property and on public property and alter, adapt and maintain as necessary. Comply with Local Authority requirements and remove on completion.

(a)

The contractor shall arrange with the various Authorities concerned for the supply of, and pay all fees and charges for temporary water, electricity, telephones, sewage disposal etc. to cater for plant workmen, sheds and all building operations except when the basis of payment is nominated by the Owner for alterations and extensions to existing work with existing services.

(b)

The contractor shall provide his own and/or make arrangements with the Owner access to the site and provide and/or arrange for temporary street crossings to the requirements of the relevant Local Authorities as required.

(c)

The contractor shall install and maintain a temporary drainage system and/or soak pits to the site or pumping if necessary to take away storm water such as would interfere with the progress of the works. The system shall include a suitable silt trap such that any effluent discharge in Local Authority services is free of excessive suspended or solid matter.

(d)

The contractor shall allow for, constructing, (e)
maintaining, and cleaning away of all temporary
roadways, hardstandings, loading docks etc.
required and necessary to complete the works.

The cost of all work in connection with the
temporary support, diversion and maintenance of
any services or associated structures shall be
borne by the Contractor as part of this Contract.

22. Underground
Services

The contractor shall, when awarded the contract,
and given access to the site, immediately
commence his operations in a methodical manner,
by the due date. To this end immediately the
contract is signed the contractor shall be
required to consult with the Owner and prepare
a complete dated job programme within four weeks
covering all sections of the work to demonstrate
that the contract can be completed by the completion
date. A copy of this programme shall be kept on
the site with the progress recorded thereon or
alongside. The programme shall include all sub-
contractors who shall be made aware of the programming
where it affects their work.

23. Programming

Site meetings will be called as required and at
the discretion of the Owner at which all parties
concerned shall be present.

24. Site Meetings

This contract shall be carried out in strict
accordance with the relevant requirements of:-
NZS 1900

25. Standards

The N.Z. Plumbing and Drainage Regulations 1959
NZS 2239:1968 for Painting
NZS 2258 Glazing.

Where a N.Z.S.S. for a material exists, and has
not been mentioned in this specification, the
material shall comply with the requirements of
that specification.

26. Meaning of Words

"Approved", "Directed" or "Selected" shall mean (a) the written approval, direction and selection of the Owner.

"Best" as applied to materials, articles or (b) workmanship shall mean, in the opinion of the Owner, there is no superior quality of materials, finish, articles on the market and no better class of workmanship.

"Provide" or "fix" used separately shall be (c) taken to mean "provide" and "fix" unless otherwise stated.

"Allow for" or "Include" shall mean the same as (e) "provide and fix" unless specifically mentioned "allow for fixing only".

The contractor shall furnish the Owner with 27. Statutory Certificates copies of completion certificates for electrical and plumbing work in accordance with the statutory requirements of the electrical and plumbing and Drainage Regulations and Amendments.

Before the Owner issues a completion certificate 28. the contractor shall deliver to the Owner all keys to the works.

The Contractor shall take out insurance against 29. Insurance fire for a sum sufficient to cover the full amount of the contract sum; this policy to remain in force until the building is taken by the Owner. The Contractor shall be held responsible for failure to insure and shall pay for all such damage.

The maintenance period shall be thirtyone days 30. Maintenance after the building is completed and ready for possession. Owner will notify builder in writing of any defects or faults which appear within 31 days and give Builder a signed clearance

when all items are rectified. If no such written notice be received within seven days after 31 days period, it is to be construed that no maintenance is required and Builder is cleared of responsibility.

It is the responsibility of both Owner and the Contractor to ensure that these specifications and also the supporting plans adequately cover and satisfy their individual requirements.

31. Plans and Specifications

Any subsequent alterations or extras to these specifications or to the plans after the signing of the contract shall be made in writing by the Owner to the Contractor.

32. Alterations and Extras

All work rendered necessary in consequence of the erection and completion of the building although not shown on drawings and not specified, or vice versa, but may reasonably be required to leave the building complete shall be deemed to be included in and form part of this Contract and no additional payment shall be made to the Contractor.

33. Building to be Complete

The amount claimed for labour and materials shall be in accordance with provisions, not exceeding the maximum permitted under any Act or Regulation which may, for the time being, be in force.

34. Cost Fluctuations

A statement from a Chartered Accountant shall be required to substantiate any claim.

SCHEDULE OF WORK TO BE DONE AND MATERIALS SUPPLIED IN THE
CONSTRUCTION OF THE ALTERATIONS AND
EXTENSIONS

All work shall be carried out in accordance with NZS 1900, Local Authority requirements and to the satisfaction of the Owner.

BY LAWS

The work included in this contract includes the demolition, making good, construction, installation of all services and supply of all materials necessary to complete the work shown on the drawings and described herein.

EXTENT OF WORK

All work shall be in accordance with the best trade practice. Unless otherwise shown or described fix all materials in accordance with current instructions and recommendations of the relevant manufacturers.

WORKMANSHIP

- | | |
|----------------------|---------|
| 1. All plumbing work | 2 years |
| 2. Floor coverings | 2 years |
| 3. Paintwork | 3 years |
| 4. Electrical work | 1 year |

WARRANTIES

1. DEMOLITION

The work to be done, the limits of demolition, the work of things to be salvaged if any and the disposal of materials shall be set out on the drawings.

1.1 Scope

All work shall be carried out neatly safely and efficiently and in such a manner as to prevent damage to all surfaces, areas and existing and new works which are not to be demolished or damaged.

1.2 Workmanship

All work shall be carried out in accordance with all regulations including safety scaffolding regulations, By-Laws and to the Owners and Engineers general approval. The Contractor shall pay for all permits and other charges.

1.3 By-Laws and Safety

(a)

The demolition procedure adopted shall be such as to provide a maximum of safety to men on the site and all passers-by and people and property both on the site and on adjoining properties.

(b)

The Contractor shall allow before demolition commences for the dis-connection of all services pertinent to the work being demolished including all water, electricity, gas, sewerage and stormwater. Where required services shall be blanked off; or terminated or suitably protected as required by the relevant Local Authorities and the Contractor shall pay all charges and arrange inspections by Local Authority Officers as required.

1.4 Services

Particular care shall be taken to protect all existing work not to be demolished and all adjoining properties and streets from damage.

1.5 Existing Work and Damage

(a)

The Contractor shall make good and repair any (b)
and all damage should any occur to all adjoining
properties and existing work at his own expense
and to the entire satisfaction of the Owner. Any
damage to street, footpaths, and/or services shall
be repaired wither by the Local Authority or to
the Local Authorities requirements and the Contractor
shall pay all charges and expenses.

1.6 Hoardings and
Protective Works

(a)
The Contractor shall provide and maintain all
necessary hoardings, scaffolding and protective
barriers and mats to safe guard all streets,
footpaths, services and existing works and
adjoining properties.

(b)
The Contractor shall provide and maintain all
watching, lighting, barriers and fences to the
demolition area to the approval of the Local
Authority.

All pneumatic equipment in built up areas shall
be fitted with silencers. Pneumatic tools shall
only be operated during normal working hours.

1.7 Noise

The Contractor shall carry out all necessary
shoring, strutting underpinning necessary to
safeguard all the work including adjoining
properties, services, streets and footpaths and
phases of the demolition which would be dangerous
without shoring, strutting etc.

1.8 Shoring

Dust, smoke and fumes shall not be allowed to
become a nuisance to adjoining properties, rights
of way and streets. If necessary the Contractor
shall hose down rubble and/or provide dust screens
or tarpaulins to minimise any nuisance.

1.9 Dust

Leave the site clean and tidy with all rubbish
removed and all areas ready for new work and all
materials salvaged, removed and/or stacked as set
in the schedule.

1.10 Completion

EXCAVATION AND SITE WORKS

The scope of the work includes the materials and methods used in the execution of all excavations and earthworks in the site including:

A. SCOPE

1. Excavation for piles, terrace slab and services.
2. Hardfilling and back filling
3. Grading to required levels.

Excavate top soil and stock pile where directed in site.

Excavate to required levels.

B. EXCAVATIONS

On the event of excavations being taken too deep such portions must be filled with mass concrete or compacted hardfill at the contractors expense.

Backfilling and hardfilling shall be carried out with the following materials:

C. BACKFILLING & HARDFILLING

Making up over excavation:
site concrete 10 MPa.
at 28 days.

Backfilling over excavation:
approved scoria up to
a maximum size of 50 mm.

Place 'moistop 737' underlay as shown on drawings. Lay sheets in accordance with manufacturers instructions.

D. DAMP-PROOFING

Use malthoid in all cases where concrete and timber comes in contact.

Concrete shall comply with NZS 1900 Chapter 9.3A with crushing strength at 28 days of 25 MPa. Reinforcing steel shall comply with NZS 3421 finishes shall be as selected by the owner.

CONCRETING

7. FALSEWORK AND
FORMWORK

7.1 Falsework

Falsework shall be defined as the load carrying members which support the dead load of forms, reinforcing and wet concrete.

Falsework shall be of adequate strength to fully support the formwork and loading of wet concrete without excessive deflection and distortion and result in the finished concrete being within the tolerances specified in the schedule.

Falsework supporting concrete shall not be struck to remove support of the cast concrete earlier than the times set out in Table V of NZS.1900 Chapter 9.3 or until the concrete strengths specified therein have been reached.

7.2 Formwork

Formwork shall be of adequate strength to retain the wet concrete to the nominal plan profile and within the tolerances specified and otherwise to comply with the requirements of NZS.1900, Chapter 9.3A.

The standard of finish to the formwork shall be such as to produce the surface quality as specified in the Concrete Finish section of this specification and/or shown on the drawings.

Tie wires shall not be used to support or fix formwork unless otherwise approved in writing. All fixing and supporting shall be effected by approved removable form hardware.

Timber for formwork shall be non-standing to the set concrete.

Form all necessary chases, pockets, flashings, grooves etc., as necessary for all trades.

7.3 Chases and
Pockets, etc.

Check particularly for plumbing and weather-
proofing and electrical details.

20. CARPENTRY AND JOINERY

20.1 Extent of Work

The work covered by this section includes all work shown on the plans normally executed by carpenters and joiners, including all temporary work with timber, preparatory work, the fixing of metalwork, hardware and finishings, etc and attendance and setting out and finishing to all other trades.

20.2 Materials

(a) All timber shall be seasoned and to stable moisture contents compatible with the finished use, straight and true and free from wind; warp and, distortion and in lengths suitable for the members required.

(b) All native timbers and radiata pine shall be strictly to the grading requirements of NZS 3631.

(c) Treated timber where specified shall be preserved by a process approved by the Timber Preservation Authority.

(d) The type of timber and grading shall be in accordance with the requirements of NZS 1900 Chapter 6.1 and/or as nominated on the drawings.

20.3 Workmanship
(a) All timber shall be worked and cut to be true and square and free from wind and warp with all joints matching and mating to a proper contact fit in accordance with the best trade practice.

(b) All connections whether nailed, screwed, glued, morticed or dovetailed shall be accurately made and properly executed to provide sound satisfactory connections for the class of work required. Timbers containing defects or distortions shall not be cramped to provide mating at connections but shall be discarded and replaced

replaced' by true defect-free timbers before connections are made.

In exposed work all nails shall be well punched (c)
and screws adequately countersunk to allow for finishing with stopping work.

All joinery shall be factory made in accordance (d)
with best trade practice by skilled tradesmen
with the most accurate set-out and tolerance and ———
the 'best tools, jigs, machines and equipment appropriate
for the work.

The assembly of joinery units and joinery frames (e)
etc shall be by means of glued connections
appropriate to the work - mortice and tenon,
housing and dowelling, etc wherever practicable
including the use of glued blocks wherever required.

Nailing and Screwing shall only be used with the
prior approval of the Owner. Corrugated fasteners
shall not be used for effecting connections.

20.4 Finish

All exposed exterior work unless otherwise (a)
specified shall be machine finished. All
interior work shall be hand dressed and finished
by skilled experienced tradesmen.

All joinery work shall be executed with timber (b)
machine dressed on four sides and hand dressed
where necessary and sanded to all exposed
surface's. All arrises in any way accessible shall
be sanded and smoothed off.

All floors shall be sanded to a smooth finish to (c)
line level and profile fully compatible with the
finish to be applied.

20.5 Priming

Before fixing, prime the external faces and laps (a)

of all finishing timbers, external faces and rebates of window and door frames and all woodwork which will be in contact with d.p.c., blockwork, concrete, etc.

Where practicable all joinery shall be primed in the factory before despatch to the site.

20.6 Other Materials

Provide all other materials, nails, bolts, screws, dowells, glues, etc necessary to complete the work. All such materials shall be protected from deterioration and contamination on the site.

Nails shall be rose-head for framing work and of the maximum gauge capable of being drawn in the timbers specified. Galvanised nails shall be used in exterior work in cedar and redwood,

Finishing nails shall be brads or diamond heads or other pattern as pertinent to the class of materials to be fixed.

Screws shall be of steel, unless otherwise specified and of suitable gauge and lengths to ensure adequate fixing.

Where fixings are necessarily exposed they shall be of design and material to harmonise with exposed fittings and attached hardware.

All bolts shall be galvanised unless otherwise specified.

Joiner's glue shall comply with the following requirements. Other glues shall be as specified elsewhere.

B.S. 4071	-	P.V.A. Adhesives for wood
N.Z.S. 2078	-	Methods of tests for P.V.A. Adhesives
N.Z.S. 1155	-	Synthetic resin for construct

N.Z.S. 1154 - Syn. resin for plywood
 N.Z.S. 1092 - Vegetable testing
 N.Z.S. 208 - Gelatine, sampling and testing
 B.S. 647 - Methods of testing

Dowelling shall be of diameter to suit fixing (h)
 timber, straight grained, free of winds and warps
 and with gluing groove.

20.7 Special Fixing

fixing to concrete work shall be effected by
 screwing or nailing to dowetail heart totara
 grounds cast into concrete.

(a) Grounds

Ramset fastenings of correct gauge and charge
 fixed by qualified operators only shall be
 allowed.

(b) Ramsets

Continuous grounds cast into concrete shall not
 be permitted except where nominated on the plans.

(c) Continuous
Grounds

Where specified Trip-L-Grips shall be securely
 fixed strictly to manufacturer's recommendations
 with the nails supplied by the manufacturer.

(d) Trip-L-Grips

Bent, buckled or damaged Trip-L-Grips shall
 be rejected.

Except where detailed connections for purlins,
 etc are shown on the plan, all purlins and rafters
 shall be fixed wall to wall top plates with a
 length of 3 mm wire passing over the purlin or
 rafter hammered in and well fixed to the top plate
 with staples.

(e) Wiring

20.8 PROTECTION FROM WEATHER

Framing timbers stored on the site shall be
 fillet stacked and protected from moisture and
 contamination by other agents.

(a)

All joinery and dressed timbers shall be (b)
completely protected from the weatherm contamination
and damage during the currency of the contract.

Where temporary weather screens are specified (c)
they shall consist of not less than 100x50mm framing
with studs at not exceeding 600mm centres faced
tempered hardboard securely fixed and to
the satisfaction of the Owner.

20.10 Ventilation and Vermin Proofing

All ventilation openings and other openings and/ (a)
or gaps to framework shall be vermin and insect
proofed as required with galvanised, aluminium or
copper, gauze or grills.

All timbers shall be to the finished sizes as
shown on the drawings.

20.11 Timber Sizes

20.12 Checking and Cutting

The checking and cutting of timbers and framing (a)
shall be reduced to minimum and checking shall
be replaced with bored holes where possible.

The checking of plates and studs shall not be (b)
greater than 15mm for 75mm members, 25mm for 100mm
members. Holes drilled through the centres of
members in lieu of checking as above may be to
25mm dia and 35 mm diam. respectively.

Beams and joists shall not be notched or holed (c)
on their edges at any point closer than 600 mm.
to the end supports. Holes shall be drilled only
along the neutral axis. Holes or notches shall
not exceed 1/5th of the depth of the beam or
30mm dia. or side dimension whichever is the lesser.

Carpenters and joiners shall arrange for all other trades for setting in fixing, bolts, ties, straps, etc to positions required for work under this section.

20.13 Work By Other Trades

Allow to supply all hardware, properly protect and store on site and/or in the factory and fix in position as shown on the drawings and/or specified by the owner.

20.14 Hardware

Allow for and fix an effective bituminous fabric dampcourse material between all faces of timber and concrete and masonry work which would be otherwise in contact whether shown on the drawings or not.

20.15 Damp Proofing

All framing shall comply with the requirements of N.Z.S. 1900 Chapter 6.1

20.16 Framing

Bracing shall not be cut between studs but shall be checked into studs, etc. (a)

All framing shall be fixed true to line plumb and square and/or to the plan profiles. The maximum tolerance from plane or the plan profiles shall be 6mm in 3 m measured from a straight edge or templet. All framing shall be checked before fixing linings, trim, etc. (b)

(c)

Allow to provide all mouldings, architraves, coves, pelmets, skirtings, etc and all miscellaneous trim necessary to complete the work properly finished to the satisfaction of the Owner.

20.17 Trim and Mouldings

All such work shall be neatly executed and finished free of machine marks, splits, gaps, mismatching, rough patches, warps and winds. (a)

(b)

20.18 Linings

Linings shall not be fixed until the framing and preparatory work has been checked to ensure proper alignment. (a)

The back face of har board, coreboard, plywood, etc lining materials shall be sealed and/or painted before fixing. (b)

Linings shall be fixed true to line', plumb and square and straight and flat to plan profile. (c)

The maximum tolerance from plane or to plan profile shall be as follows:-

Gradual Irregularities - 6 mm in 3m, measured from a straight edge or templet.

Abrupt Irregularities - not permitted.

Make good other surfaces unless specified elsewhere with materials and finish to match adjacent surfaces. (d)

20.21 Weather tightness

Rebates to frames, etc for weather protection shall be 15mm depth minimum. (a)

Window frames shall be 1.5mm minimum wider than finished studs and framing, etc. (b)

All flashings shall be securely and fully seated to weather grooves, etc. (c)

Mastic will not be acceptable as a primary weather barrier unless otherwise specified, (d)

20.22 Joinery Units

Sizes for joinery units shall be checked on the site before work is commenced in the factory. (a)

Door openings and access, etc on the job shall (b)
be checked to ensure that factory-made units may
be taken into place.

The Owner shall be notified before joinery units (c)
leave the factory so that they may be inspected
by a spatch to the site.

Remove all scaffolding, planks, rubbish and
debris, etc from the site, thoroughly sweep up,
clean and polish windows both inside and out, check
and lubricate all hardware, check and ease doors,
drawers, sashes, fittings and windows, etc and
leave premises ready for occupation, all to the
satisfaction of the owner.

20.23 Completion-
(a)

Make good all cratches, marks, shrinkages (b)
and leave ready for painting allowing sufficient
clearance for paint thickness and floor coverings,
etc.

PLUMBING AND
DRAINLAYING
A. GENERAL

All work shall be carried out in accordance with the Plumbing and Drainage Regs by licensed tradesmen.

Arrange with carpenter to provide all openings, sleeves, chases, and supports. All pipe runs shall be concealed where possible and shall be inspected before being closed in.

Structural work shall not be drilled through without prior approval of the client.
Protect all work from damage.

All hot water supply and wastes - copper piping and tubes to NZS 1755 Silfos weld all joints.

Main water supply pipes 20 mm.

Branches to fittings 12 mm

All cold water supply pipes high pressure uPVC class E sizes as for hot water.

All vents as required uPVC class E combine and extend above roof with brass ball cage.

Jointing of PVC piping shall be by means of solvent welding and by forming spigot and socket in accordance with manufacturers' instructions.

All work shall be neatly executed, free of defects.

All pipework shall be located to ensure sweep bends, even grades, avoiding 'air locks' and shall be adequately fixed with collars and fixing of materials to suit pipes.

Pipes passing through wall and roofs shall be neatly weathered and flashed:

B. MATERIALS

C. WORKMANSHIP

Shower Base

D. MISCELLANEOUS

Shall be B & F or Mercer 925 x 925 X 100 mm, off-set waste shower trays 19 g stainless steel with folded stainless steel upstand.

Traps shall be copper 'Ideal' type and wastes shall be solid drawn u PV for main drainage. Copper wastes shall be chrome plated where exposed.

E. TRAPS AND WASTES

Provide c.n flanges where pipes enter floors or walls.

Use 'P' traps and screwed unions and easy sweep bends to horizontal. Lay in even gradients not less than required under Regulations.

All traps shall have screw plugs at bends for cleaning the system as required.

Sizes of waste and traps shall be in accordance with Regulations. Shower waste shall be "Easy clean" type.

Before piping in building is enclosed and before trenches are filled test all parts of the system.

F. TESTING

Test all parts of the system of the water reticulation to 150 lbs pressure. In addition make further tests after installation of all fittings.

Butynol roofing shall be as recommended by manufacturer, and shall be laid in accordance with his specifications and instructions and also laid as per details.

G. BUTYNOL
ROOFING

To be laid by accredited agents of 'Shelter Engineering Limited'.

All exterior rendering shall be to the approval of the owner. Finish thickness and texture to match existing.

SOLID PLASTER
RENDERING

All materials shall be of first quality from reputable manufacturers. Colours to be selected.

PAINTER

A. MATERIALS

Inspect all previous work before painting. Report deficiencies and blemishes. Clean and rub down existing surfaces as required to produce the required finishes. Protect other work and make good any damage, remove stains and touch up. Allow for stopping all holes and cavities and sanding between coats to give a first class finish.

B. WORKMANSHIP

All for painting and repainting of all ceilings, walls, timber surfaces and p. pework in newly formed rooms. Where new openings have been formed neatly marry in new work with existing paint finishes.

C. SCHEDULE

All Gib Board

Ceilings	-	1 coat of sealer
		2 coats of matt.
Walls	-	1 coat sealer
	-	2 coats semigloss

Door and window frames, trim, doors shelves	
-	1 coat sealer
-	2 coats gloss

Rendered exterior wall linings

-	2 coats of acrylic paint = semigloss
---	--------------------------------------

Exposed timber deck

-	2 coats stain
---	---------------

Repaint existing surfaces as required.

Refer owner for reuse of existing windows.
Otherwise all joinery to match existing.

GLAZING

All glass and glazing shall be of approved manufacture and the best of their various kinds and shall strictly comply with NZS 2258.

A. MATERIALS

Plate glass shall be polished plate, and completely free of defects and blemishes. All obscure glass shall be flat drawn or floated on as specified by owner.

Glass weight table:

Area of Opening in sq. m.	Thickness of Glass	Quality Minimum
Exceeding .32 but not exceeding .65	3 mm	O.Q.
Exceeding .65 but not exceeding 1.40	4 mm	S.Q.
Exceeding 1.40	6 mm	S.Q.

All louvres shall be glazed with 5.5 mm clear drawn sheet or 5.5 mm obscure.

The installation and components shall comply with ELECTRICAL WORK
the following: REGULATIONS

- The Electrical Wiring Regulations 1961 and Amendments.
- The Electrical Supply Regulations 1935 (Dominion of N.Z.) and Amendments.
- The Supply Authority By-Laws.

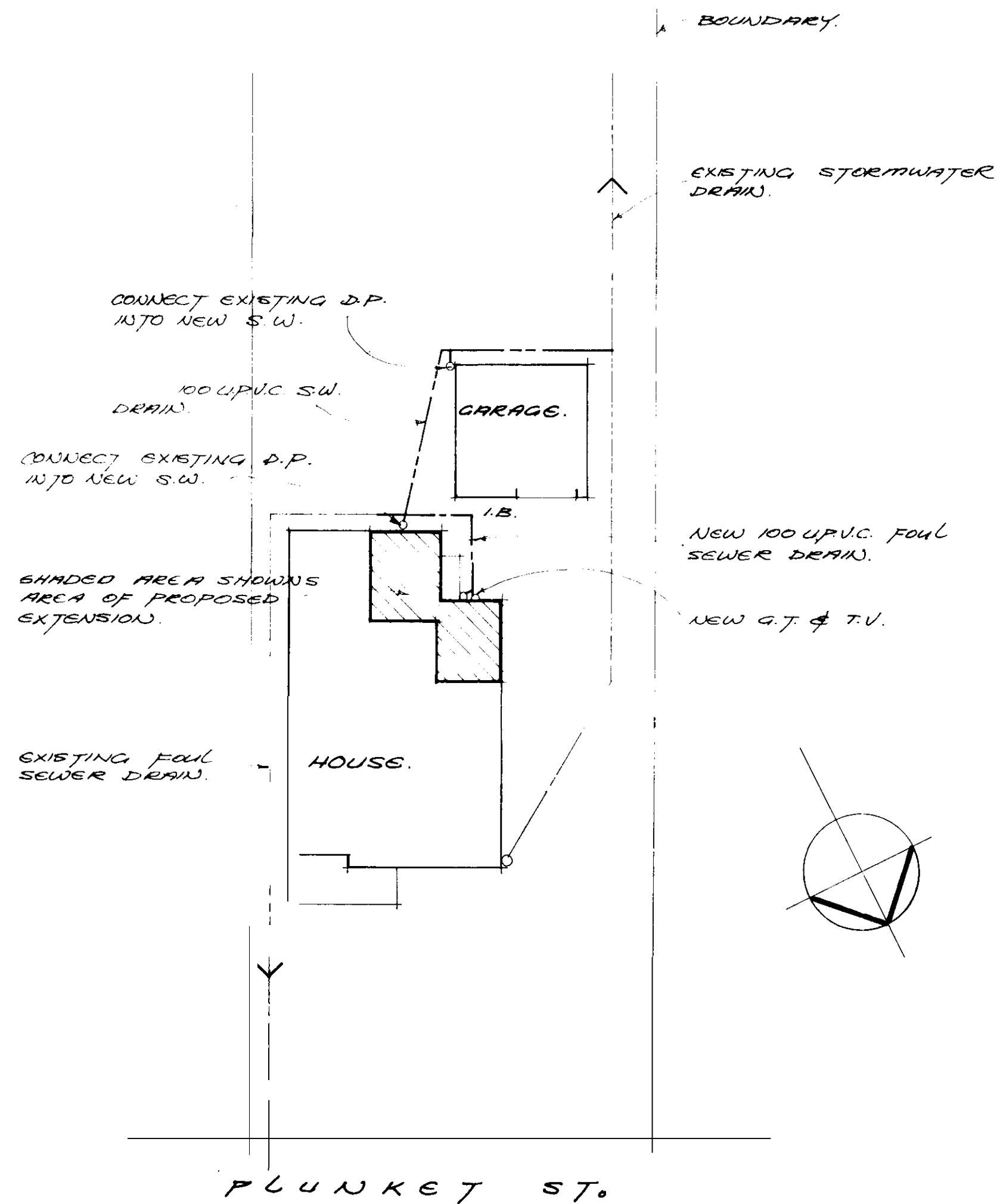
All fittings to be selected by the Owner.

Execute all work shown on drawings, including installation of all components necessary to complete this contract to complete satisfaction of the above and the owner.

At completion leave all work neat, tidy, clean
and operating correctly. Remove all plant,
tools, rubbish and debris from the site.

COMPLETION

COPYRIGHT RESERVED



SITE & SERVICES PLAN, 1:200.

PROPOSED EXTENSIONS AND HOUSE ALTERATIONS.

FOR
MR. & MRS M. BOAKES,
20 PLUNKET ST.,
DARGAVILLE.

D.P. 17369
LOT 3. KAIHU PARISH.

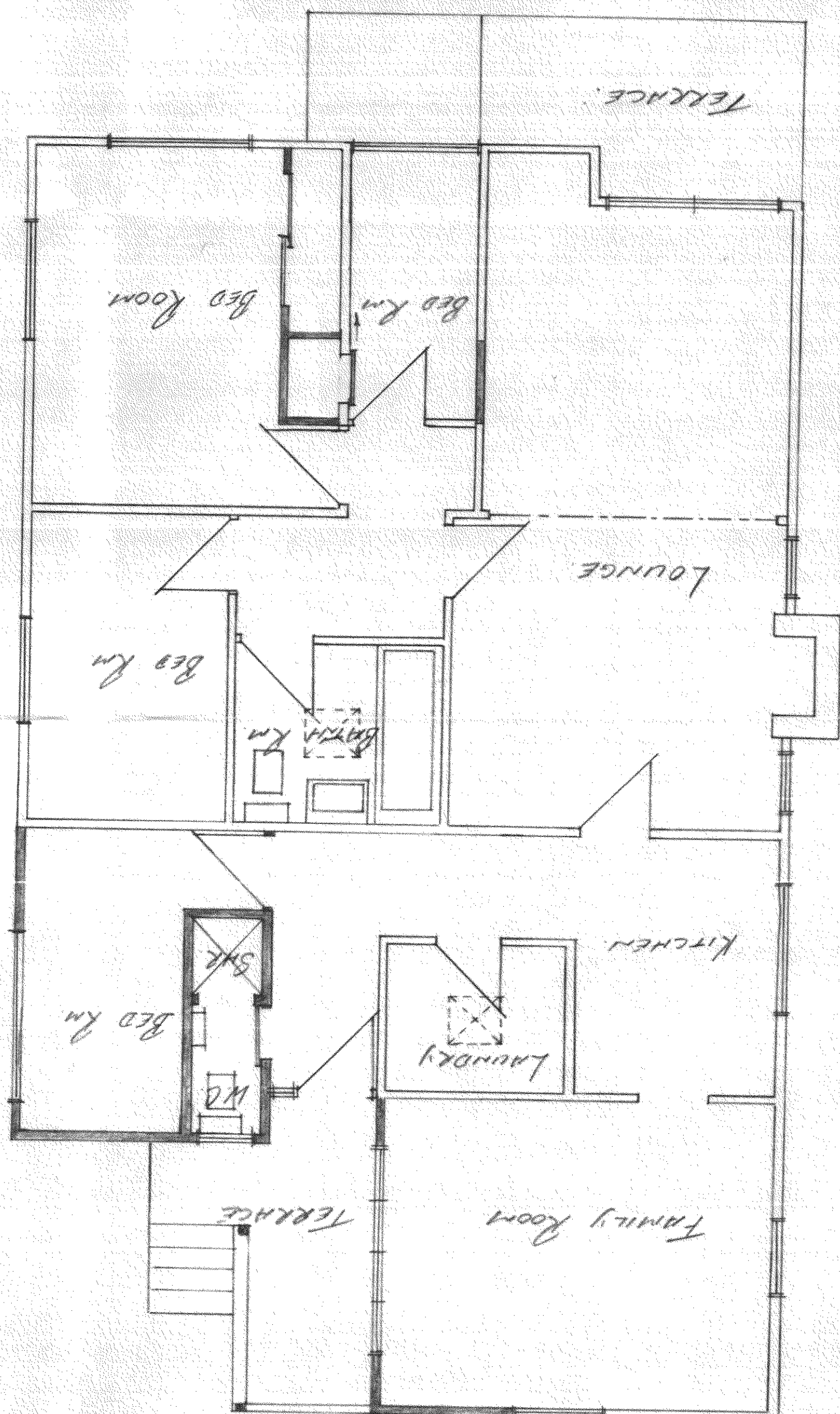
COPYRIGHT RESERVED.

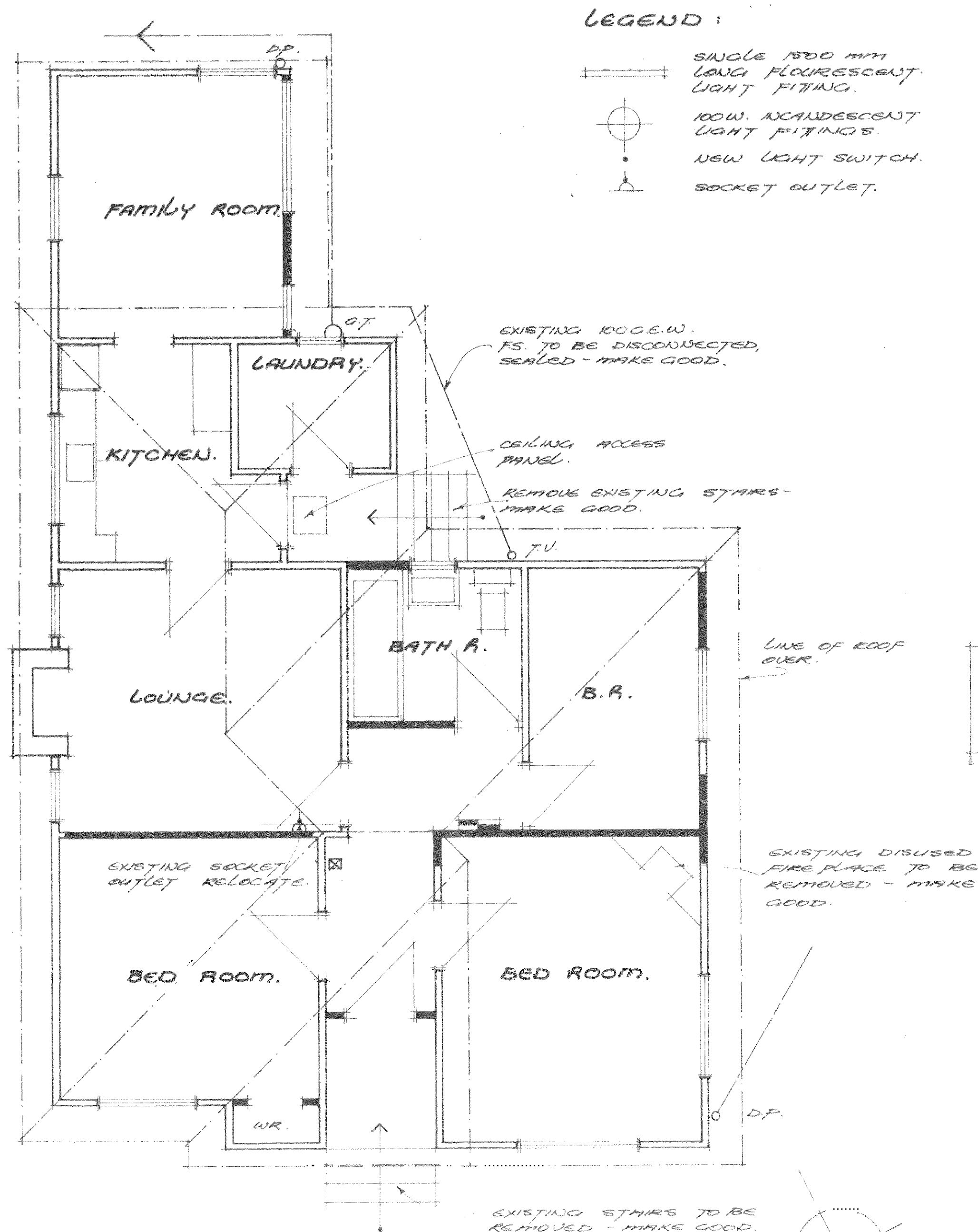
P. SHIELDS.

N.Z.C.D. (ARCH.)
A.M.N.Z.I.D.

1

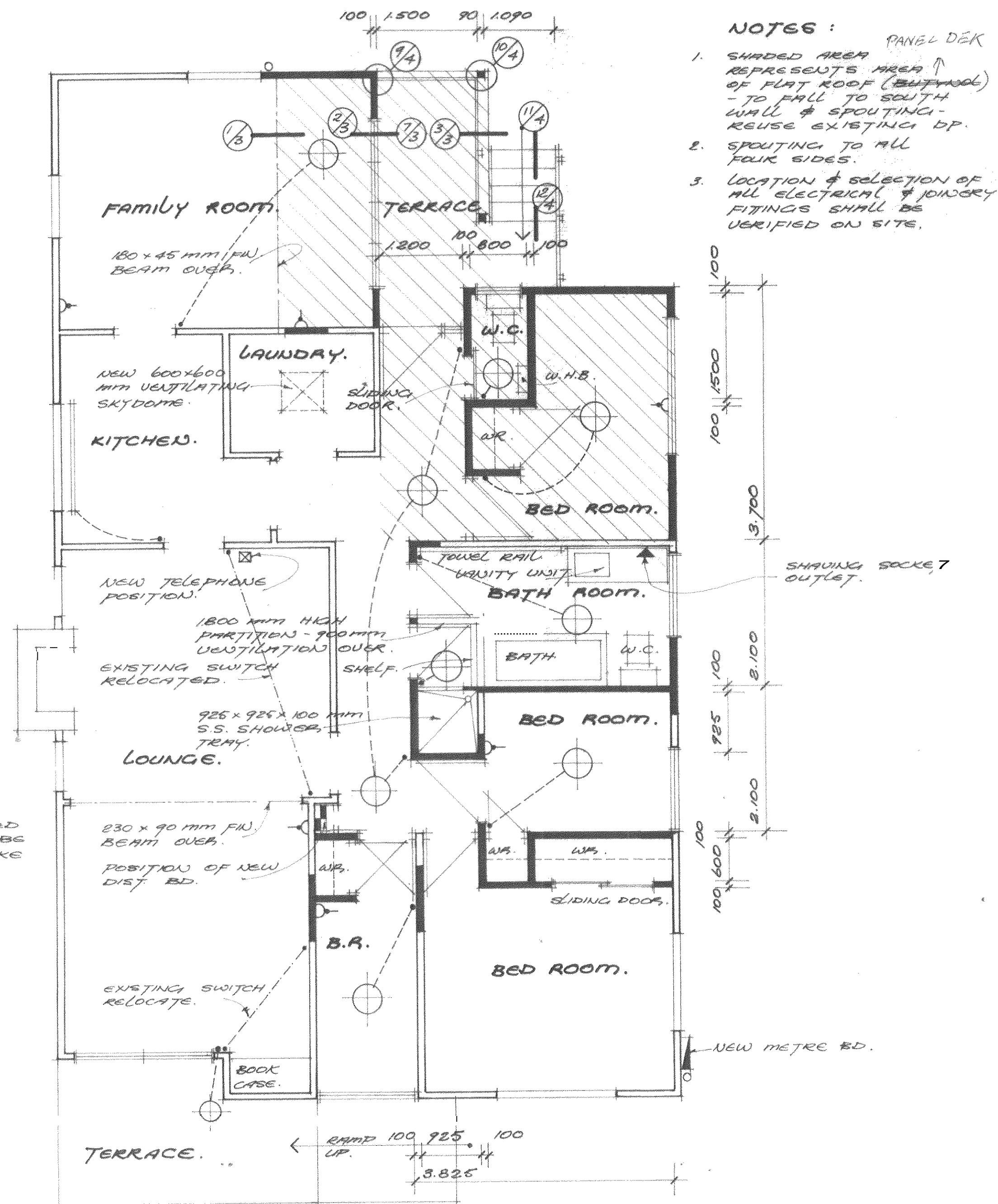
Revised Layout
to be REND IN CONNECTION
WITH BOTH PLANS ON SHEET 2.





EXISTING LAYOUT. 1:50

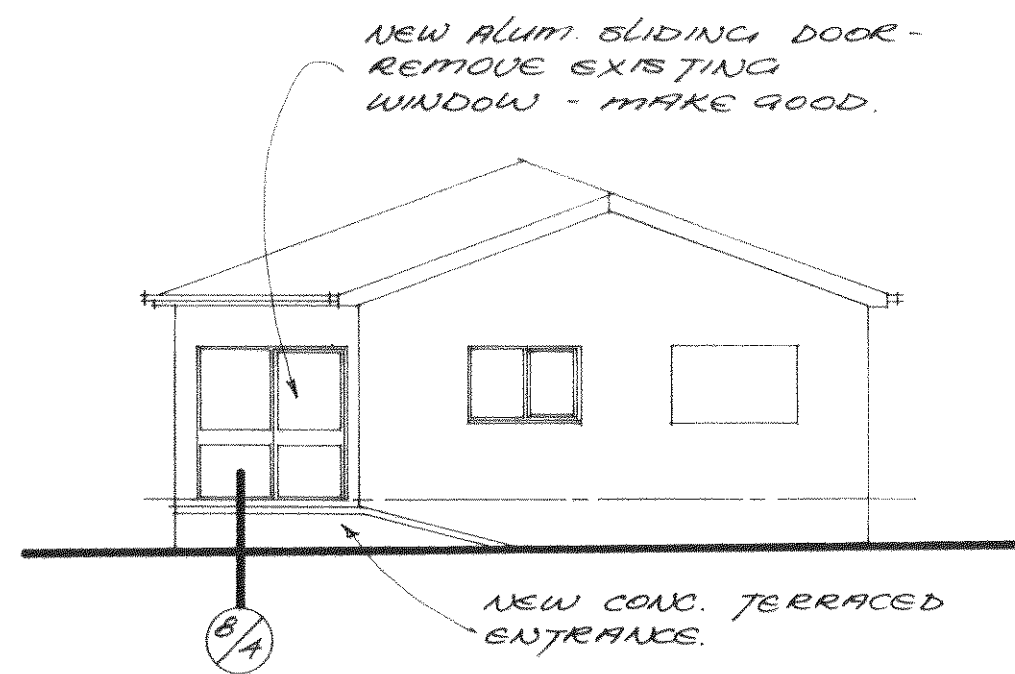
PARTITIONS TO BE DEMOLISHED (MAKE GOOD.)



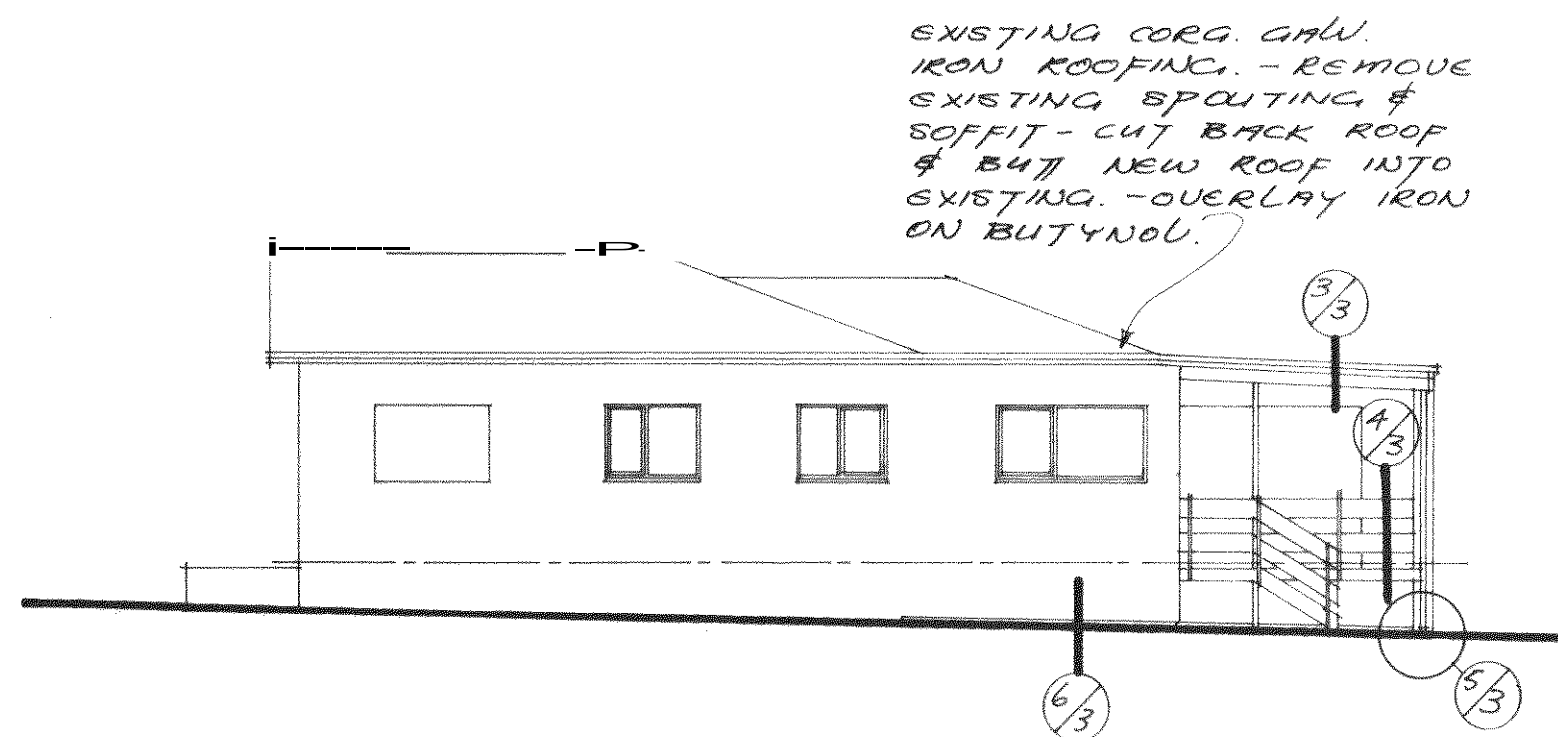
PROPOSED PLAN. 1:50

ALL DIMENSIONS SHALL BE VERIFIED ON SITE.

NEW PARTITIONS. (REUSE EXISTING DOORS/ WINDOWS AS DIRECTED.)

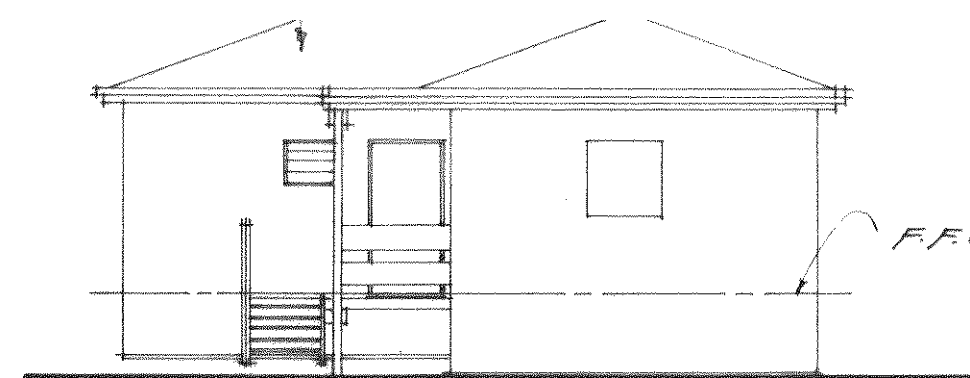


NORTH ELEVATION . 1:100

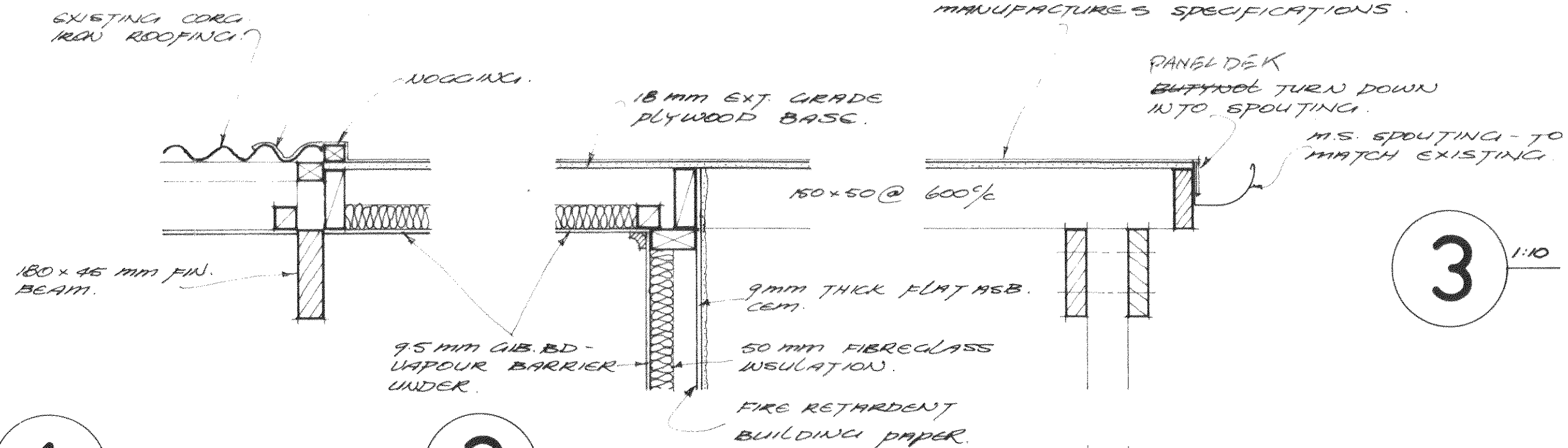


WEST

EXISTING CORR. ROOF



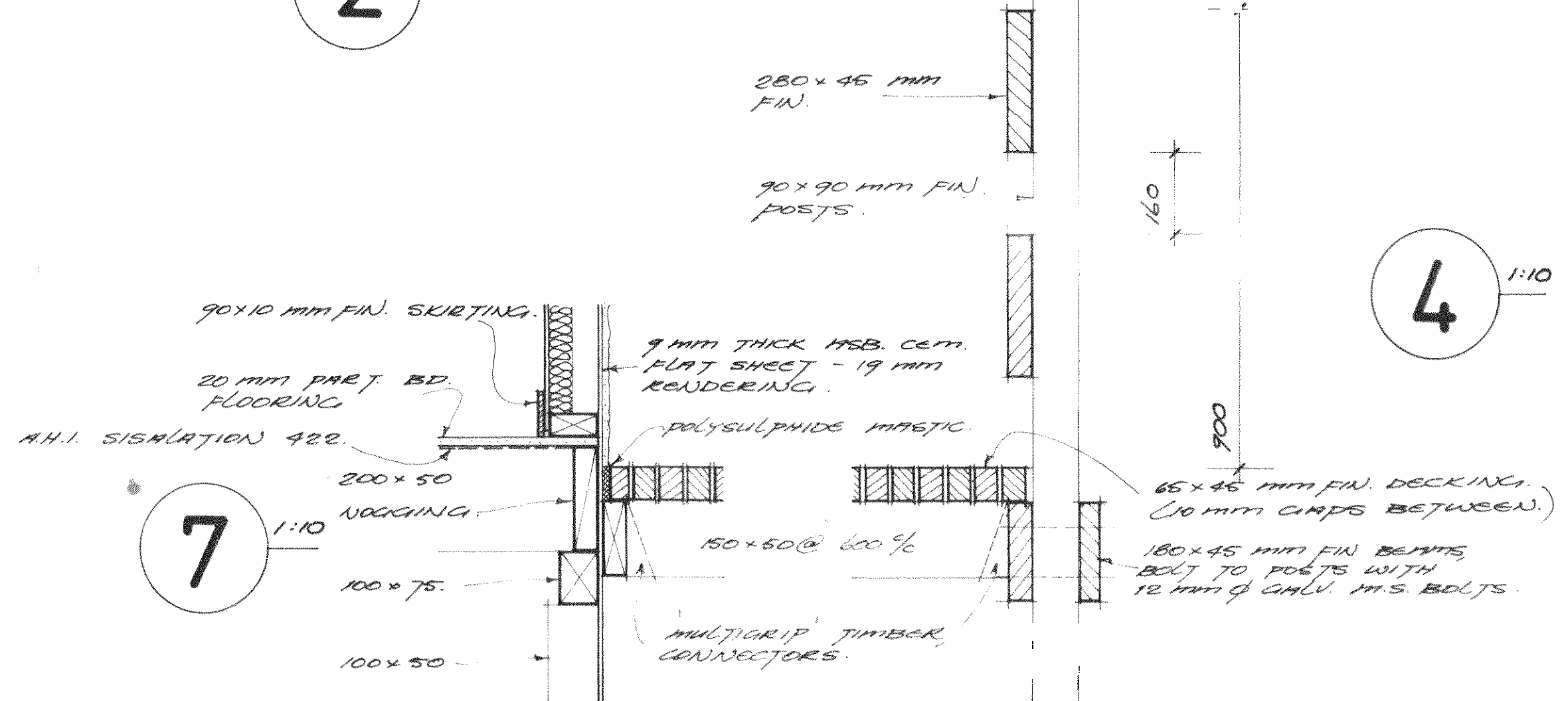
SOUTH



1 1:10

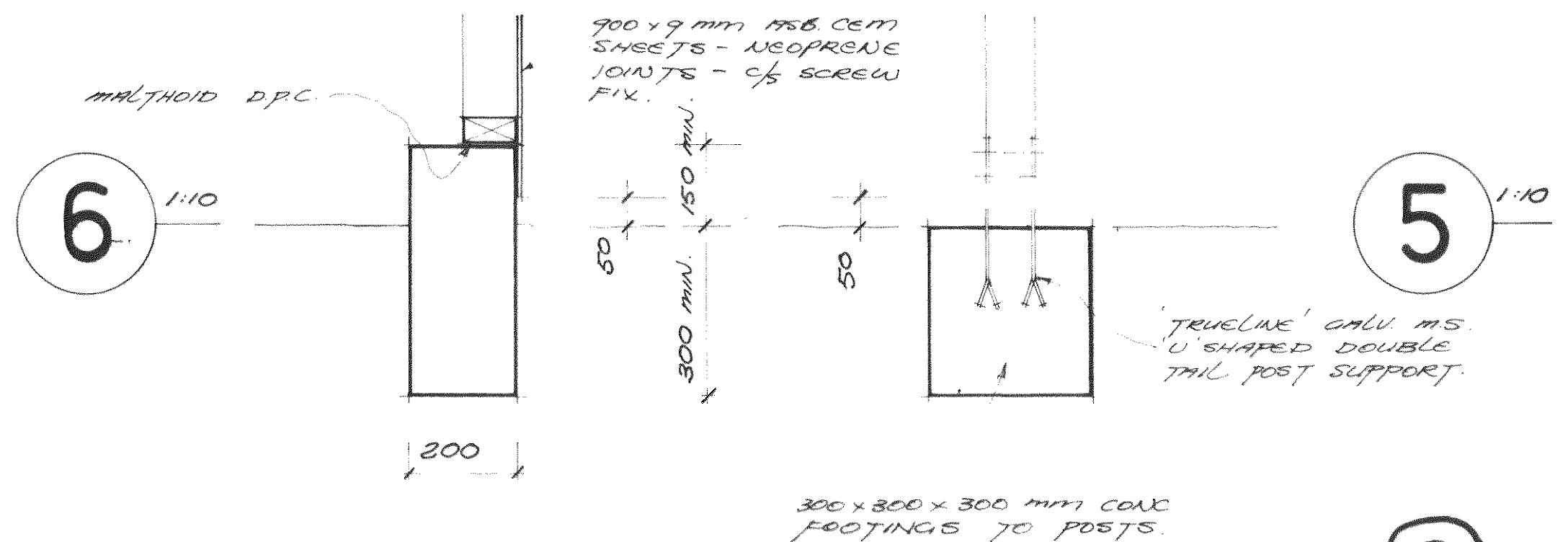
2 1:10

3 1:10



7 1:10

4 1:10



6 1:10

5 1:10

3

4

12
1:5

11
1:5

300 x 300 mm SOLARIES
CONC. FOOTING - 1000 mm LARG

12 mm ϕ GRILL M.S.
BOLTS - EMBED 150 mm.

BRACKET.

76 x 76 x 6.5 mm
CHILL M.S. L.

50 x 125
MATHOID D.P.C.
UNDER L.

880 x 45 mm FILL TREADS -
HOUSE 15 mm I.D.TD
STAIRS.

150 approx.

LINE OF BEAM

12 mm ϕ
CHILL M.S.
BOLT.

150 x 50

PREPARE MULTILAP
CONNECTIONS.

51 x 51 x 4.5 mm CHILL
M.S. R.H.S. BALUSTRADES -
STOP EMBED - BOLTS SHALL
BE 12 mm ϕ CHILL M.S.

65 x 45 mm FILL DECKING

LINE OF POST

LINE OF HANDRAIL (LOWER)

8
1:10

1500 mm.

150

300

a/die

COMPACTED WAREFILL.

moistop D.P.C.

LINE OF EXISTING
RENDERED F.S.B.
CENT. FOUNDATION

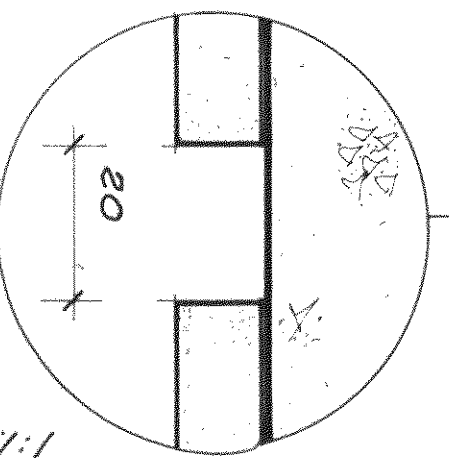
12 mm FILL PLASTER

50 mm PLASTER CONC.

100 mm CONC.
SLAB.

HT SHALL BE
35
USEFIED ON SITE

1/2 @ 400
% LAP 480



9
1:5

LINE OF BLDG.

200 LONG x 100 x 76 x 6.5
mm CHILL M.S. L.
BRACKET

10
1:5

280 x 45 mm FILL
HANDRAILS

90 x 90 mm FILL
POST.
200 LONG x
150 x 150 x 6.5
mm CHILL M.
BRACKET.

NOTE:
STAIR HANDRAIL BALUSTRADES
SHALL BE 51 x 51 x 4.5 mm R.H.S.
(CHILL M.S.) - STOP EMBED - FIX
TO STAIRCASE WITH 2/12 mm ϕ
CHILL M.S. BOLTS (MUSHROOM
HEAD).

DARGAVILLE BOROUGH COUNCIL - APPLICATION FOR BUILDING PERMIT

POSTAL ADDRESS

The Borough Engineer,
Dargaville Borough Council,
P.O. Box 34,
DARGAVILLE.

DOOUSS & WINDUST
19 TIRARAU STREET,
DARGAVILLE.
PHONE 958 OR 1029-R

Sir,

I hereby apply for permission to ERECT A

GARAGE - WORKSHOP

at 20 PLUNKET Street/Road, Dargaville

for MURRAY BOAKES of 20 PLUNKET ST.
(Owner's Name) (Owner's Address)

according to locality plan, detailed plans, elevations, cross sections and building specifications which are deposited herewith.

PROPOSED PURPOSE FOR WHICH EVERY PART OF BUILDING TO BE OCCUPIED
(Describe separately the use intended for each separate unit of building)

STORE OWNERS CAR

Nature of ground on which building is to be placed, and nature of subjacent strata

Foundations
Walls
Roof
Area Ground Floor Sq. Ft.
Area Outbuildings Sq. Ft.

PARTICULARS OF LAND Roll No 5/164
Lot. 3 D.P. 173.49
Block 10-0-32.4 Area.

Building
Plumbing & Drainage \$
TOTAL VALUE \$ 662.00

Yours faithfully
DOOUSS & WINDUST
19 TIRARAU STREET,
DARGAVILLE,
PHONE 958 OR 1029-R

THIS BLOCK FOR OFFICE USE

FEES (Where applicable)

Building Permit \$ 4.00
Building Research Levy \$. . .
Plumbing & Drainage Permit \$. . .
Footpath Damage Deposit \$. . .
Sewer Connection \$. . .
Water Connection \$. . .
Stormwater Inspection \$. . .
Hoarding License \$. . .
Vehicular Crossing \$. . .
Off-street Parking
Spaces
Contribution \$. . .
Total Fees \$ 4.00

FEES CHECKED

Date. 8/1/74
Signature R. Maynick
APPROVED FOR PERMIT
Date.
Building Inspector
Permit No.
Receipt No. 8256
Date Fees Paid 8/1/74
Initials. S.D.

To obtain a building permit it is required to submit together with the application:

1. In duplicate, detailed plans, elevation of all 'outsidewalls, cross section, details of foundation and specification, to furnish complete details, qualities and discription of all material used (scale of drawing $\frac{1}{8}$ " or $\frac{1}{4}$ " to the foot.)
These drawings to show the exact nature and charactor of the proposed undertaking.
2. In duplicate a location drawing showing the site (all four boundaries) the buildings already on the site and the new proposed building shown in black. The measurements from the proposed building to all buildings on the site and the boundary liner (see example.)
3. Applications for (in so far applicable).
 - (a) Drainage and plumbing.
 - (b) Sewer Connections.
 - (c) Water supply Connection.
 - (d) Crossing.
 - (e) Footpath Damage Deposit.
 - (f) Hoarding License.
 - (g) Vehicular Crossing.
4. In addition to above for commercial builders, ...
Stress diagrams and calculations for steel construction spanning 10ft or more, and all cantilevered structures.
5. Stress calculation for concrete lintels and beams spanning more than 10ft columns etc., drawings in duplicate of reinforcing are required (special attention shall be paid to beam on wall or beam column connections).

PLEASE NOTE THAT BUILDING PERMIT FEES MUST BE ASSESSED ON THE COMBINED COST OF BUILDING AND DRAINAGE.

BUILDING PERMIT FEES									
ESTIMATED VALUE OF WORK				FEE	ESTIMATED VALUE OF WORK				FEE
Not exceeding \$20				50	Over-\$9000 and not exceeding \$10000				36.00
Over-\$20 and not exceeding \$200.				1.00	\$10000 " " \$12000				40.00
" \$200	"	" \$400	"	2.00	" \$12000	"	" \$14000	"	44.00
" \$400	"	" \$600	"	3.00	" \$14000	"	" \$16000	"	48.00
" \$600	"	" \$800	"	4.00	" \$16000	"	" \$18000	"	52.00
" \$800	"	" \$1000	"	5.00	" \$18000	"	" \$20000	"	56.00
" \$1000	"	" \$1200	"	6.00	" \$20000	"	" \$25000	"	64.00
" \$1200	"	" \$1400	"	7.00	" \$25000	"	" \$30000	"	72.00
" \$1400	"	" \$1600	"	8.00	" \$30000	"	" \$35000	"	80.00
" \$1600	"	" \$1800	"	9.00	" \$35000	"	" \$40000	"	88.00
" \$1800	"	" \$2000	"	10.00	" \$40000	"	" \$50000	"	98.00
" \$2000	"	" \$2500	"	12.00	" \$50000	"	" \$60000	"	108.00
" \$2500	"	" \$3000	"	14.00	" \$60000	"	" \$70000	"	118.00
" \$3000	"	" \$3500	"	16.00	" \$70000	"	" \$80000	"	128.00
" \$3500	"	" \$4000	"	18.00	" \$80000	"	" \$90000	"	138.00
" \$4000	"	" \$5000	"	21.00	" \$90000	"	" \$100000	"	148.00
" \$5000	"	" \$6000	"	24.00	" \$100000	"	" \$120000	"	158.00
" \$6000	"	" \$7000	"	27.00	" \$120000	"	" \$140000	"	168.00
" \$7000	"	" \$8000	"	30.00	" \$140000	"	" \$160000	"	178.00
" \$8000	"	" \$9000	"	33.00	" \$160000	"	" \$180000	"	188.00

BUILDING RESEARCH LEVIES

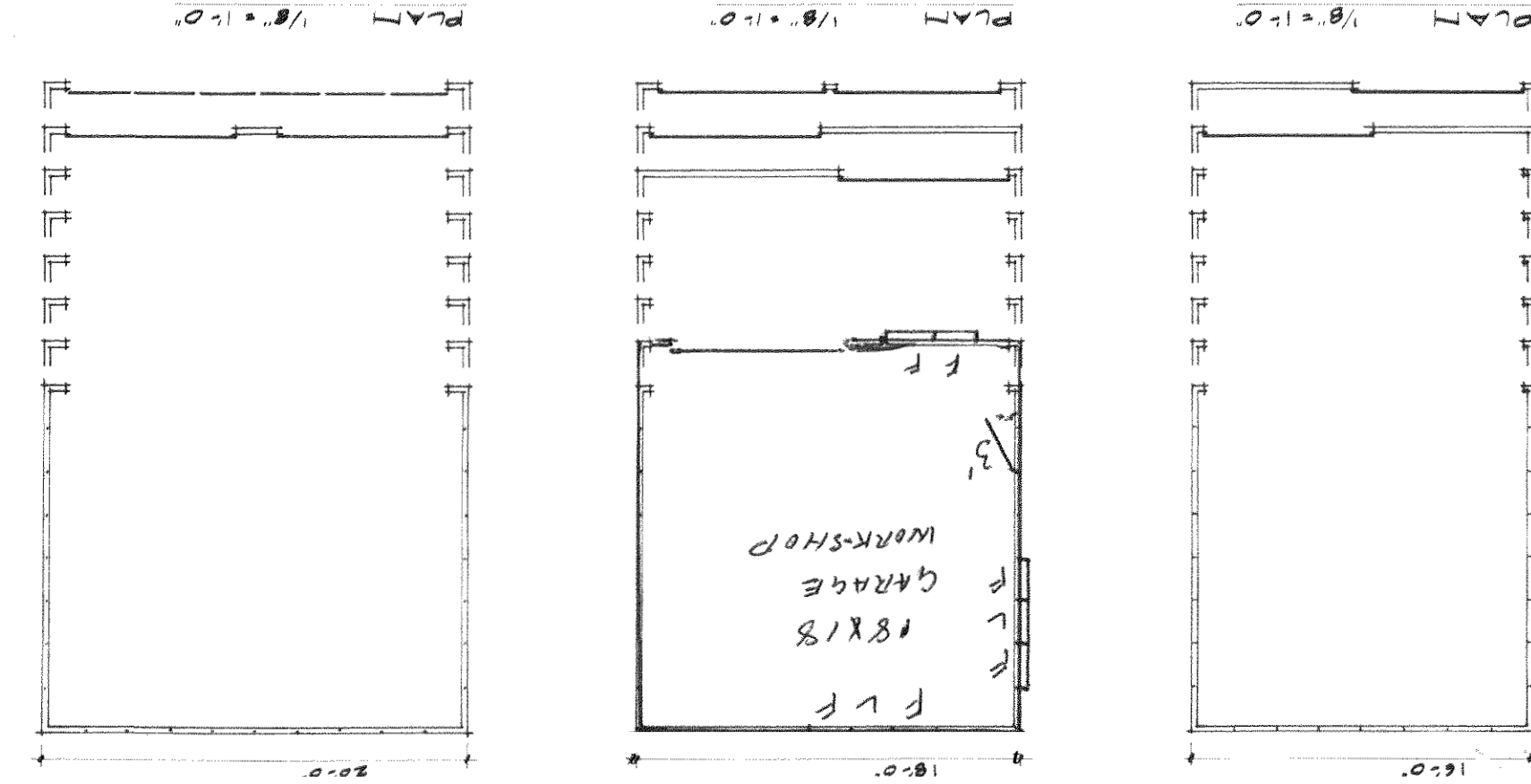
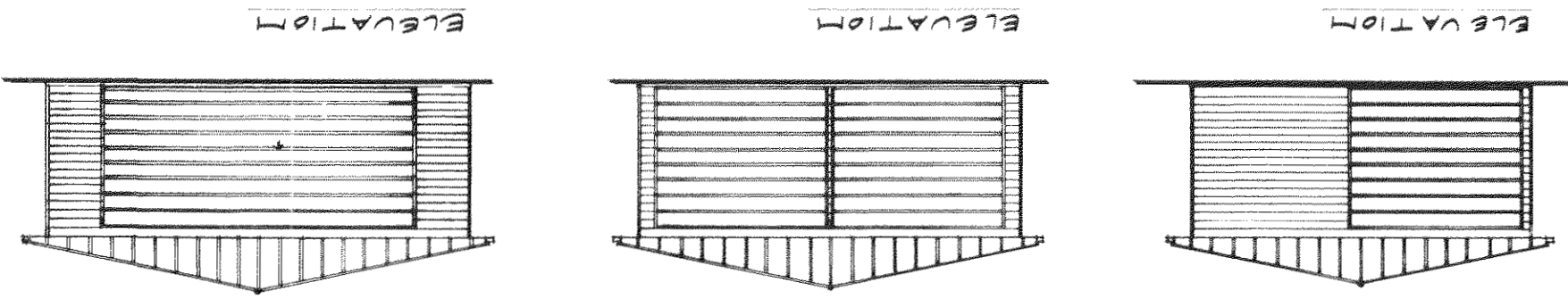
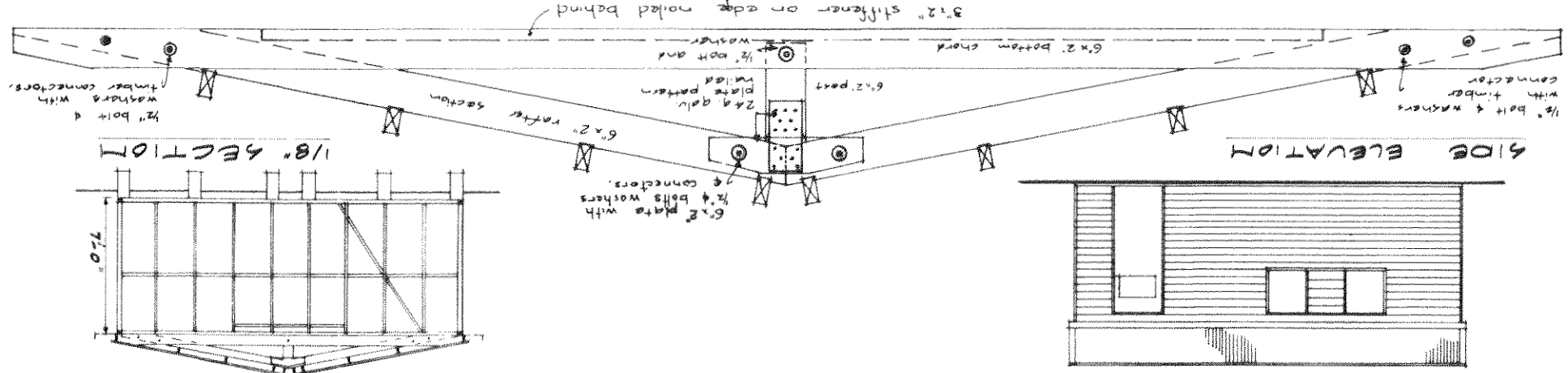
Up to a total permit value (building plus drainage) of \$3000 Nil
 From a total permit value (building plus drainage) of \$3001 to \$4000 \$2
 Plus \$0.50 for each \$1000 or part thereof over \$4000

THUS A BUILDING COSTING \$10000 FOR BUILDING
 PLUS 300 FOR DRAINAGE

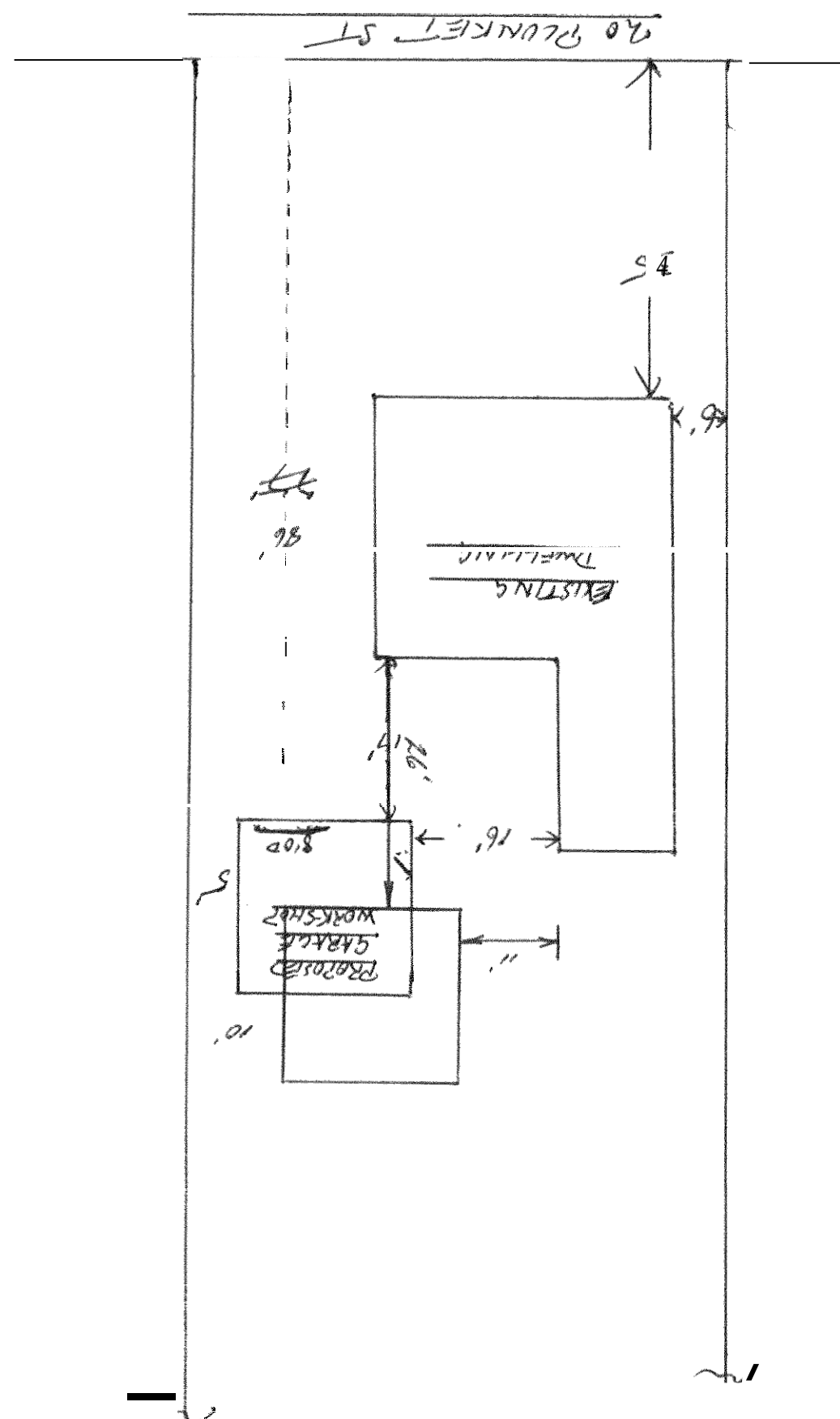
= \$10300 IN TOTAL WILL INCUR A LEVY OF
 UP TO \$4000 \$2.00
 \$6300 = \$0.50 x 7 \$3.50
 TOTAL LEVY \$5.50

GARAGE, ~~4th~~ at 207 UNKFT ST. for M. BOAKES.

- [illegible]



!!Te plan 1/6" x 1/2" O



DOUSS & WINDUST
19 TIRARAU STREET,
DARGAVILLE.
PHONE 958 OR 1029-R

SKYLINE
Manufactured by
64 A Wallis Rd,
Singapore
Singapore Buildings Ltd,
Penrose, Auckland, Ph. 598 821
CARACAS

APPLICATION FOR BUILDING PERMIT

POSTAL ADDRESS-

1st March 1965.

The Borough Engineer,
Dargaville Borough Council
DARGAVILLE.

Sir,

I hereby apply for permission to

..... *to a dwelling*

at *20 Plumket* Street/Road *Derby*

for *Mr. H. K. Grogan*

(Owner's name)

of *Dargaville* according
to locality plan and detailed plans, elevations, cross section, and
specifications of building deposited herewith.

Particulars of land:

Valuation Number *5/164*
Lot Number *3* D.P. *17368* *8*

1020

Block

Area *0-0-32.04*

Particulars of buildings:

Foundations *lime blocks*

Walls *brick* Roof *iron*

Estimated Cost:

Building £ *284* - -

Plumbing & Drainage. £

Vehicle Crossing £ ; ;

Footpath Damage Deposit. £

Sewerage Connection. £

Water Connection. £

For Office Use

VERIFIED

TOTAL

£ *284* - -

Proposed purposes for which every part of building is to be used
or occupied (describing separately each part intended for the use or
occupation for a separate purpose.

..... *sun room*

Nature of ground on which building is to be placed and of the subjacent
strata.

..... *clay*

FOR OFFICE USE

Yours faithfully,

Approved for; Permit *e.*

Receipt No. *2600*

Fee *£ 11/10/-*

Permit No. *A.4454.83.*

E. B. Farley

Owner or Builder.

SEE OVER.

BUILDING PERMIT APPLICATION.

To obtain a building permit it is required to submit together with the application

1. In duplicate, detailed plans, elevation of all outside walls, cross sections, details of foundation and specification, to furnish complete details, quantities and description of all material used (scale of drawings $\frac{1}{8}$ " to $\frac{1}{4}$ " to the foot). These drawings to show the exact nature and character of the proposed undertaking.
2. In duplicate a location drawing showing the site (all four boundaries) the buildings already on the site and the new proposed building shown in black. The measurements from the proposed building to all buildings on the site and the boundary lines (see example 3)
4. In addition to above for commercial buildings. Stress diagrams and calculations for steel construction spanning 10 ft or more, and all cantilevered structures.
5. Stress calculation for concrete lintels and beams spanning more than 10 ft. columns ect; drawings in duplicate of reinforcing are required (special attention shall be paid to beam on wall or beam column connections.)
3. Applications for (in so far applicable)
 - (a) Drainage and plumbing.
 - (b) Sewer Connections.
 - (c) Water supply connection.
 - (d) Crossing.

NOTE: New Zealand Standard

Model Building By-law

Part X Masonry Construction.

Part IX Light timber construction.

Tables of these parts give so much information that simple construction in timber, concrete and masonry blockwork can be designed by straight forward application of this by-law.

These standard specifications can be ordered or are available at Town Clerk's office.

ROAD.

PROPOSED ADDITIONS TO HOUSE

AT 20 PLUNKET STREET FOR.

H.K. GRUSZYNIN & ESQ.

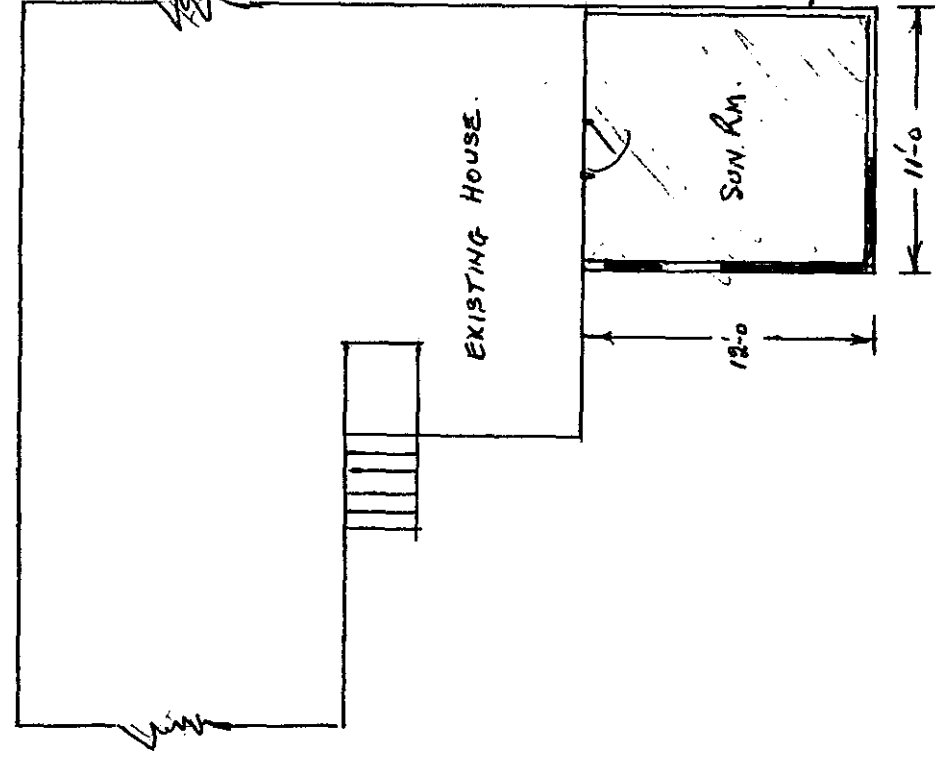
DRAWN BY F. B. TURLEY 1-3-65.

SCALE 8'-0" TO 1" .

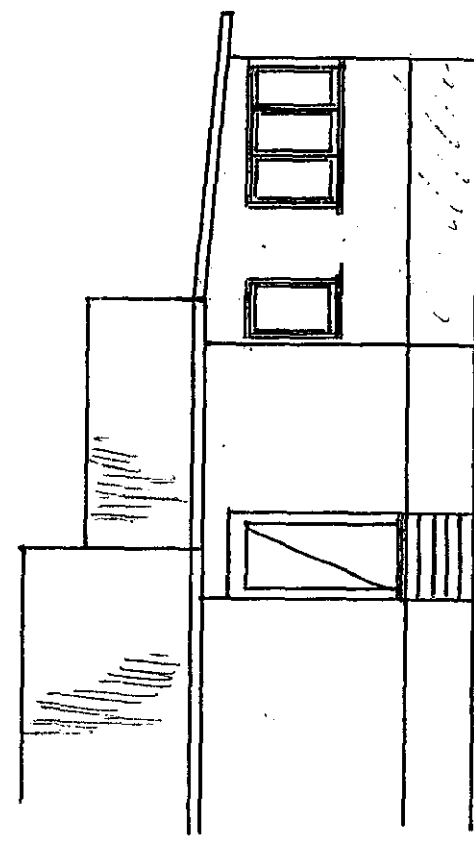
2 MAR 1965

ENGINEER'S OFFICE
DARTMOUTH
BOROUGH COUNCIL

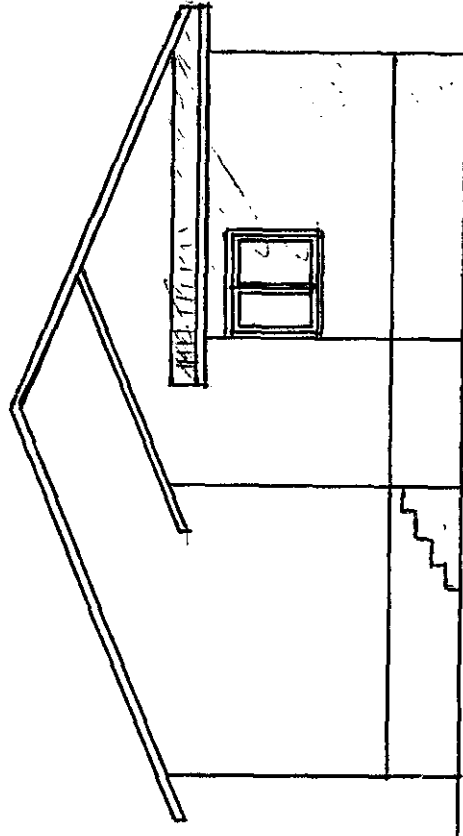
N.



BOUNDARY



WEST ELEVATION.



SOUTH ELEVATION.

ADDITIONS IN RED.

Specifications for Additions to house owned
by Mr. H.K. Gouzman at 20 Plunket Street.

All work shall comply with any relevant
bylaws and shall be executed by skilled
workman.

Schedule of Materials..

Blocks. 8×8 " concrete

Jack studs. 4×3 at $4'6"$ centres.

Beams. 4×3 at $6'6"$ "

Joists. 6×2 at $18"$ "

Plates. 4×2 .

Studs. 4×2 at $18"$ "

Noggings. 4×2 at $24"$ "

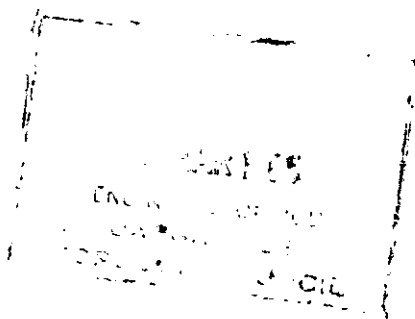
Ceiling Joists 4×2 at $24"$ "

Ceiling nogg. 3×2 to suit ceiling sheets.

Roofing. 26 gauge C.G. Iron.

Linings. Gibraltar Board.

Exterior cover. Flat fibrolite.



Fix concrete block $6"$ out of ground and
well rammed. Fix malleod D.P.C. to top.

All framing timber to be No 1. treated pine
to sizes scheduled fixed plumb or level as

The case may be, to appropriate spacings.

Cover exterior walls with building paper and fix flat fibrolite reversed, and finish with plaster pattern coat.

Fix single, double and triple window frames with 3'-6" x 1'-10" sashes where shown and flash leads to make completely waterproof.

Fix corrugated iron roof with double side lap and 12" end lap. Use lead head nails and make weatherproof against existing house.

Fix 6'-6" x 2'-6" down door and frame where shown.

BOROUGH: OF DARGAVIELE

DRAINAGE BLOCK PLAN

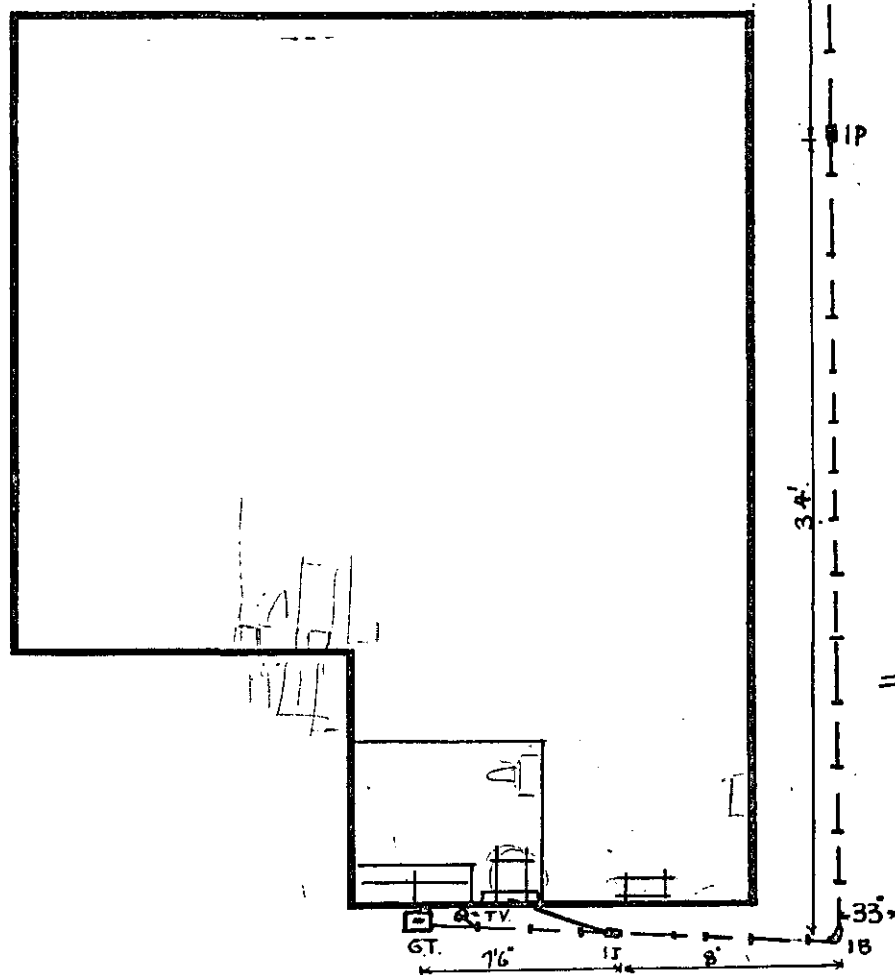
RECORD No. _____

REFERENCE :—

I. C. Inspection Chamber
I. B. Inspection Bend
I. Y. Inspection Junction
I. P. Inspection Pipe

G. T. Gully Trap
T. V. Terminal Vent
Drain to be shown in RED
SCALE — 8 ft. to one inch.

Plunket St



OWNER M. E. Bookes
STREET 20 Plunket Street
SECTION No. 3 D.P. 17369 Karhu 2D

N. Robinson
DRAINLAYER
DATE 9.8.44.

Permit No. 137

Granted 19.6.36

Application for Building Permit.

BOROUGH OF DARGAVILLE

Sir—

I hereby apply for permission to carry out works in accordance with the plans and particulars herewith supplied :

Nature of Work Dwelling

Site of Proposed Work Plumbers St.

Estimated Cost £ 395 : 0 : 0

Owner J. Eld.

Architect G. Nicol

Remarks _____

Fee Enclosed £ 1 : th

Dated this 15 day of June 1936

Geo Nicol
Applicant.

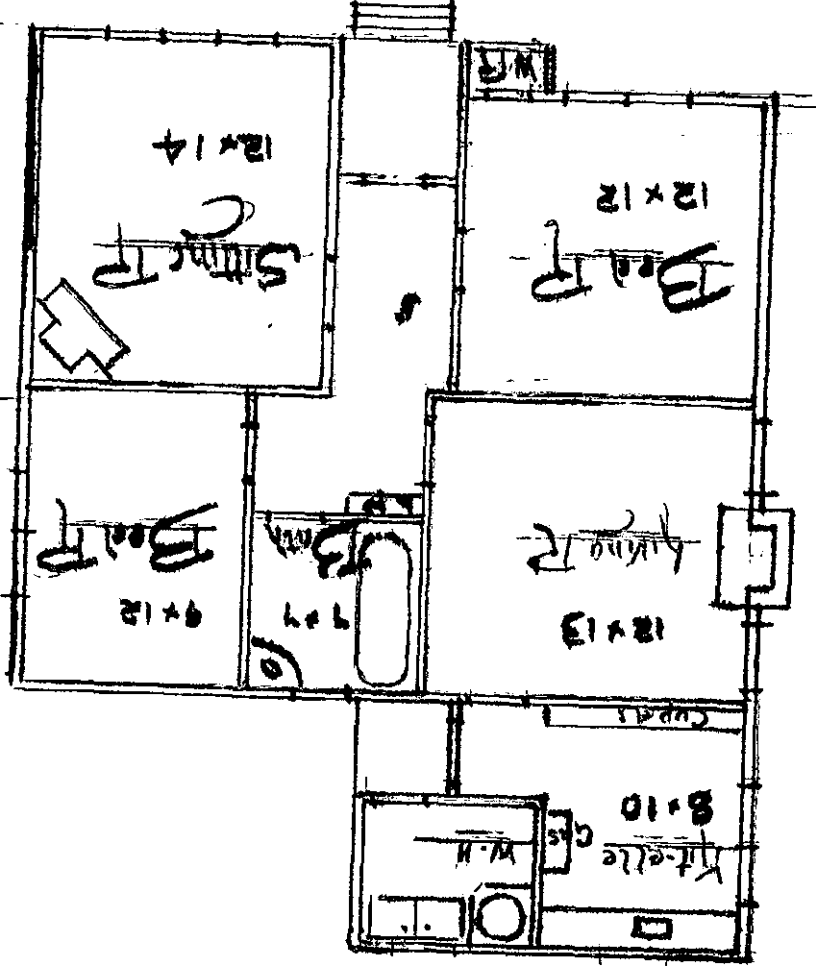
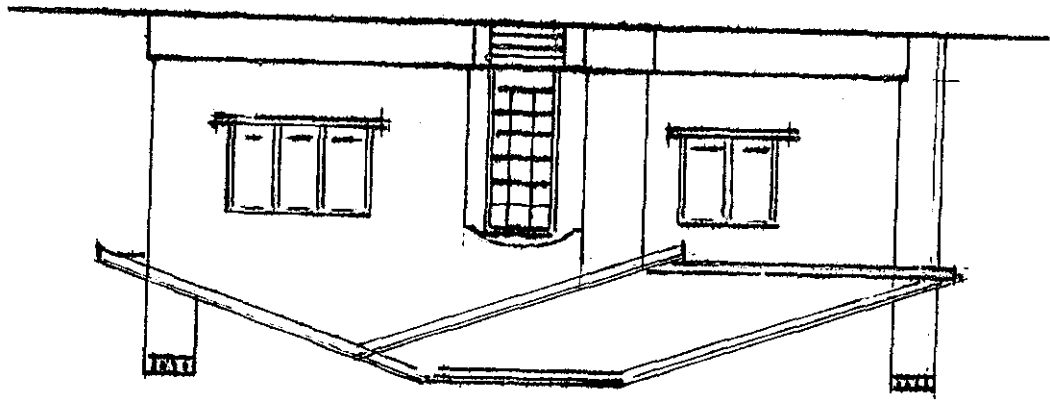
TIMES.

Post Receipt No. 13121.

Dwelling to be Erected
for
Mr J. Old

DAVID AVILLE

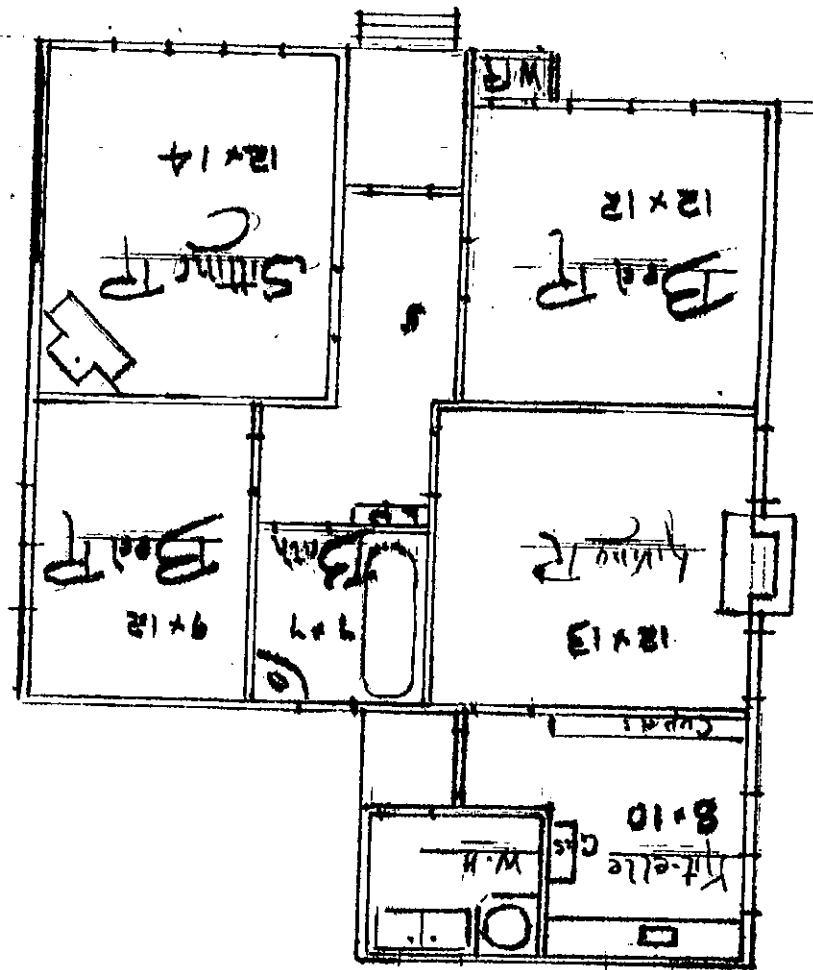
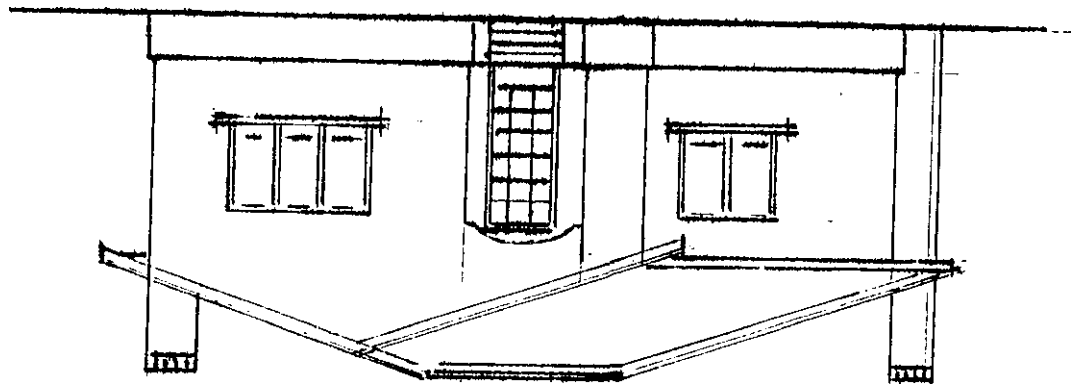
Scales 1 inch = 1 foot
G.D.N.



Dwellings to be Erected
for
Mr J. Old

AVAILABLE

Scale 1 inch = 1 foot
G.O.N.



Specifications for Dwelling to be
erected for W. J. Old.
Plunket. E. Dargaville.

The contractor is to allow for a concrete
foundation under all outside walls.
Sotora blocks to be used under floors
partitions. Beams to of 4x3 R. H. & R. well
nailed to blocks. Joists to be 6x2 R. H. & R.
spaced at 18" centres. All other framing
to be O. B. & R. with 4x2 studs and plates for
outside walls, ceiling joists and rafters
and 3x2 for internal walls and partitions.
The whole of the outside to be covered
with Kauri board and finished with fine
rough cast. to appear as if. Roof to be covered
with iron. All internal walls to be
covered with Gambia Board. Ceilings
to be covered with fibrous plaster board
and finished in the usual manner.

Plumber.

Supply fire & O.G. plumbing to all cases

Supply fire one 6" American Brass P. C. S. B. 10.

one large American P. C. 1-12-6

one sink .. 1-2-6

one copper range. 10-2-6

one tub 2-0-0

lay water both hot & cold to both main sinks

2 tubs & cold to copper

Plumber to supply gas stove.

Plumber to put in gas water heater & 8 lights.

Plumber to fix all necessary work all
to be done according to Borough By
Laws.

Painter

Painter to give all external woodwork
three coats of approved paint.

All internal woodwork to receive
one coat oil & one bracing & one varnish.
All walls covered with Gableton Board
to be covered with paper to the value of
3/- per roll. All ceilings to be painted.
3 coats

Paint roof one coat of approved roof paint.

Chimneys to be built at owner's expense
when.

SPECIFICATION
FOR
PROPOSED RESIDENCE
ADDITION.

AT
**32 PLUNKET ST.
DARGAVILLE.**

FOR
**MRS. J. NEPIA &
MR. R. LENONOE.**

DESIGNED BY
ROSS FORD

G E N E R A L

SITE AND ACCESS: The owner shall be responsible for ensuring that the section is fully pegged with survey pegs correctly numbered and flagged or the provision of an all weather access for the vehicles of the builder and sub trades. Owner to remove from the building site all obstructions, trees, heavy growth, etc, and to make water available fro the eomplete construction period.

PERMITS: Contractor to comply with the labour and building by-laws of the district, to apply for and obtain all necessary permits and to pay all fees fro same, unless otherwise stated.

INSURANCE: The employer to have all his employees covered against accident of an "Employers Liability" policy and to take out insurance against fire with an insurance office for a sum sufficient to cover 100% of the contract sum, both to remain in force untill the building is taken over by the owner.

CONTINGENCIES: Provision is to be made by the builder and owner to meet any contingencies that may arise due to flactuatiions in the prices of various materials or labour. Should there be either a rise or fall in the price of labour or materials Erom the date the tender is submitted untill the final payment, an adjustment to this contract price is to be made accordingly, unless otherwise stated in the contract agreement.

INTERPRETATION: Materials shown but not specified must be of the kinds commonly used for the service they are intended to perform. Figured dimensions shall supersede those to scale. Only items shown on the approtiate plan shall apply, whether or not they are included in the specifications.

ALTERATIONS: No alterations to plan on specifications will be permitted after the job has gone to production, except where the "Materials" clause is enforced unless alterations are authorised and paid for prior to being carried out.

MATERIALS: Any materials herein specified that are not procurable at the time they are required, thus tending to retard progress of the contract may be substitiuted with other suitable materials, provided that the substituted materials conform to the local by-laws and the lending institution. Any difference in cost will be adjusted at the completion of the contract.

WORKMANSHIP: All workmanship must be inaccordance with normal trade practice, and all materials must be suitable for their proposed use.

PROVIDE AND FIX: The words "Provide and Fix" shall be construed to mean "Provide and Fix" where mentioned seperately, unless otherwise specified.

F O U N D A T I O N S

ROCKS: The removal of reef or large rocks from foundations or drainage excavations will be considered an extra to the contract.

DOUBTFUL BEARING: The owner shall be responsible for the cost of any additional costs to those provided for by this specification and the accompanying drawings through encountering ground of doubtful bearing capacity or for landslides resulting from causes beyond the control of the contractor.

EXCAVATE: Excavate as required from all site levellings, foundations, footings, block walls, waterpipes, etc, to the various depths, levels, and grades required for the excavation of the building and its appurtenances. All subsoil from the foundations and other excavations is to be deposited on the site unless otherwise specified. All topsoil and vegetation is to be removed from under concrete floors.

FOOTINGS: To be constructed in 6.1 concrete and reinforced with D10 and D12 M.S. Rods as shown on plan.

BOXING: If boxing is required it must be well fitted together before the concrete is placed.

MATERIALS: Cement must conform in all respects to B.S.S.

CONCRETE: All concrete work is to be carried out in accordance with the local by-laws and the Lending Institution requirements. For general purposes the mixture shall be 6 parts metal to 1 part of cement. All to be well mixed and tramped into trenches and boxing immediately after mixing. No liability will be taken for any normal shrinkage cracks which may occur to floors or driveways.

C O N C R E T E B L O C K W O R K

200 MM CONCRETE BLOCK BASE: To be of an approved manufacture.

MORTAR: Shall be composed of 1 part of ply-mortar to 3 parts of clean sharp mixed washed sand properly mixed on a watertight platform not more than 20 minutes before using.

CONCRETE FLOORS: To have 668 HRC wire mesh placed with 30 cover from top. Mesh to finish within 75mm clear of edge of slab; lap and tie to D10 starters. (D10 starters to extend 400 into slab).

DAMP PROOF COURSE: Cover all concrete faces in contact with timber work with one layer of 3 ply malthoid or other approved Damp Proof Course.

S U B F L O O R

STRINGER: 200x50 Over D.P.C. fix with M12 bolts at 2.5m centres. Bolts set 100 into wall.

JOISTS: Use 125x50 joist at 450 centres. Use 125x50 nogs next to concrete wall for perimeter joists.

FLOORING: 20mm H.D. strand Board Floor.

F R A M I N G

NAILING AND FIXING: As set out in N.Z.S. 3604 1990 nailing schedule.

FRAMING: To comply with N.Z.S. 3604 1990.

STUDS: Determine stud height on the job - 2420 approx.

EXTERIOR LINING: Timber weather boards to match existing over building paper.

BEAMS AND LINTELS: As per N.Z.S. 3604 1990.

BRACES: To comply with N.Z.S. 3604 1990, as detailed on plan.

INSULATION: Fibreglass R1.8 wall batts.

ALUMINIUM JOINERY: To be of an approved manufacture to sizes shown on plan.

SOFFIT: Frame up for flat soffit using 75x50 Bearers and nogs. Use 150x25 fascia board and Marley Spouting.

TRUSS ROOF: Manufacture by Gang Nail N.Z. Ltd, to sizes shown on plan. Check pitch and span of existing on site.

INTERIOR LINING: All walls to be lined with Gibraltar Sheets. Sheets to be nailed with 30mm galvanised flat head nails. All taping and stripping to be done with stopping plaster to an even surface.

CEILING: 9.5. Gib Board ceiling fixed to 75x40 ceiling battens at 400 centres.

KITCHEN CUPBOARDS: Supplied by owner.

LINEN CUPBOARD: To be constructed as shown on the plan and fitted with shelves.

HOT WATER CUPBOARD: To be constructed where shown, and fitted with three shelves.

[Handwritten signature]

R O O F

Re roof existing house using existing colour steel on 75x50 battens at 900 centres on flat. Place roofing over Building paper on wire mesh. Trusses to be R81 and R42 respectively. Place R1.8 ceiling batts to ceiling cavity.

P L U M B I N G

MATERIALS: All materials used by the plumber must be of accepted standard and must conform to all or any governing regulations or by-laws.

FLASHING: Flash all openings through the roof and windows where necessary to make a water tight job as required.

SPOUTING: Use Marley Spouting on 150x25 fascia board.

WASTEPIPES: Waste pipes and vent pipes to be P.V.C. unless shown otherwise on plan. Carry wastepipes from all fittings with trap, cleaning eyes etc as required. All P.V.C. installations to comply the the Local Body Specifications.

COLD WATER SUPPLY: Lay a cold water supply from existing pipe work. Use 12mm branches to sink, basin, shower, tub and 18mm to bath. All piping and fittings must be of an approved brand.

HOT WATER SUPPLY: Remove and relocate H/W cylinder where shown. Take 18mm branches to bath, 12mm to sink, basin, shower and tub. All pipe fittings must be of an approved brand with flanges for securing to framing. Provide drain pipe from H.W.C. to outside wall

BATHROOM: Reuse and relocate existing shower. Place 1675x725 bath where shown.

W.C.: Remove and relocate existing w.c. pan as shown on plan.

ENSUITE: Fix w.c. to owners liking and a 925x925 stainless steel shower tray etc where shown. Fix on wall mounted hand basin where shown.

VANITY: Connect services to vanity.

KITCHEN: Connect services to kitchen.

WASTES: All wastes to discharge into gully traps. Provide any necessary anti-syphonage. All sanitary plumbing to be installed by a registered plumber, approved by the Health Department and the Health Inspector.

H A R D W A R E

Fix all hardware supplied by the owner.

E L E C T R I C I A N

MATERIALS: Materials used by the Electrician must be of an approved brand and must conform to the regulations of the Power Board and the Local Authority.

WIRING: Wire the electrical system with tough plastic sheathed insulated cables. Connection boxes shall be used with the plastic cable and wiring shall be concealed where practical.

POWER POINTS AND LIGHTS: As per owner.

WATER HEATER: Wire element and thermostat to switchboard.

STOVE: As per owner.

D R A I N L A Y E R

DRAINAGE: All drainage work to be undertaken by a registered drainlayer. Excavate for and lay all necessary drains from gully traps and w.c. to sewer., All sanitary sewer pipes and connections to be 100mm Ø of approved P.V.C. system. Pipes to be laid true and to fall, all joints to be flexible type. Check M/H accross road to determine sewer connection.

STORMWATER: Use 100 Ø P.V.C. stormwater pipe. Connect drain coil into stromwater system.

P A I N T E R

MATERIALS: All materials used in this trade must be of an approved manufacture and used accordingly to all specifications of the manufacture.

WORKMANSHIP: To be of a high standard and carried out by a skilled tradesman.

G L A Z I E R

To be glazed by an experienced firm. All glass to meet N.Z. Standards.

DESIGN CERTIFICATE



To B. Idong Inspector
Kaipara Whangarei District Council

re House Alterations.
(Project Title)

I, R. L. Richardson, being a Registered Engineer
and holding a current Annual Practising Certificate and being a Member of the Association of Consulting
Engineers New Zealand and a Principal/Director of RICHARDSON, STEVENS CONSULTANTS LTD.

..... hereby certify that:

- This Consulting Practice has been engaged to design and execute the appropriate engineering
calculations for
(Description & Type of Structure)

proposed to be constructed for Janice Nepia
(Name of Owner)

located at 32 Plunket St
(Street Address)

on Lot 3 D. 32.361
(Legal Description of Site)

- The accompanying 3 sheets of Drawings titled and numbered P047
(Number)
.. and dated 11-5-92 .. and Specification Sections numbered
adequately illustrate the design of the structure.

- I have exercised reasonable control over the design processes for the works defined above which
have been designed in accordance with sound and widely accepted engineering principles to support
the loads specified in NZS 4203.

and various aspects of the design are in accordance with the following relevant authorities
NZS 3603, 3604, 4230 Grade C Blockwork

- I believe the stresses in the various materials of construction and force resisting elements of the
structure including the foundation strata under the above loads are such as to ensure the safety and
stability of the structure if the works are constructed in accordance with the above described
drawings and specifications.

The name and qualification of the principal structural designer are
I. L. Brewer BE MIPENZ Reg Eng

Signature of ACENZ Member R. Richardson Date 11-5-92
Professional Qualifications CEng MIPENZ Registration No. 4832
For and on behalf of

Richardson, Stevens Consultants Ltd.
2 Seaview Road
Whangarei
Telephone 438-3273

ASSOCIATION OF
CONSULTING ENGINEERS NEW ZEALAND
A Division of the Institution of Professional Engineers New Zealand

Richardson, Stevens Consultants Ltd.

CONSULTING CIVIL & STRUCTURAL ENGINEERS
2 SEAVIEW ROAD, WHANGAREI. PHONE (09) 438-3273

Refers to Alterations for Janize
Client R Ford.

File No. 581
Plan Ref. No. P 047
Calculated by RB
Checked by
Date 4-5-92

Wind.
At 3 GR 3 Cl B.

$$V_s = 1 \times 0.6 \times 36 = 22.4 \text{ m/s.}$$

$$q = 0.32 \text{ kPa.}$$

Wind Loads

Elev. 1 & 3.

$$P = 0.32 (0.8 + 0.5) (1.2 \times 12.6) + 0.32 (0.7 + 0.35) \times 2 \times 10 \\ + 0.32 (0.7 + 0.35) (2.4 \times 1.1) \\ = 13.9 \text{ kN} = 3614 \text{ N.}$$

Elevation 2 & 4

$$P = 0.32 (0.8 + 0.5) (17.1 \times 1.2 + 2 \times 9.5) + 0.32 (0.7 + 0.35) \times 1.2 \times 8.2 \\ 15.8 \text{ kN} = 411 \text{ N.}$$

Braces

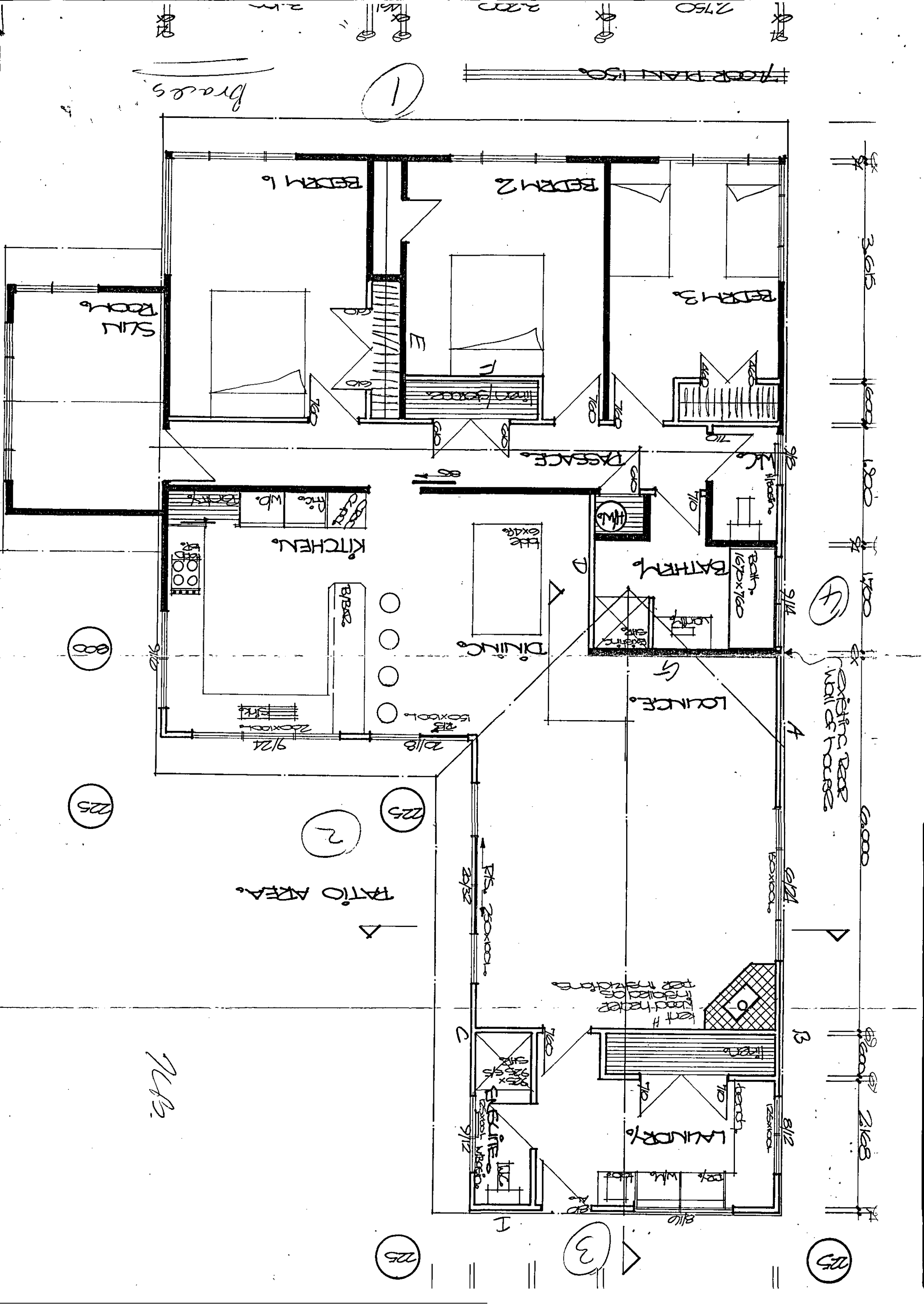
Longways (1 & 3)

A	G.b 1	2.4	75	180
B	G.b 1	2.2	55	121
C	G.b 1	1.6	55	94
D	G.b 3	2.5	65	163
E	G.b 2.	2.2	76	167
				<u>730</u>
				> 361. OK

Crosswise (2 & 4)

F	G.b 2	2.1	76	160
G	G.b 2	2.9	80	232
H	G.b 2	2.4	80	224
I	BR 4	1.1	91	100
				<u>716</u>
				> 411 OK

763



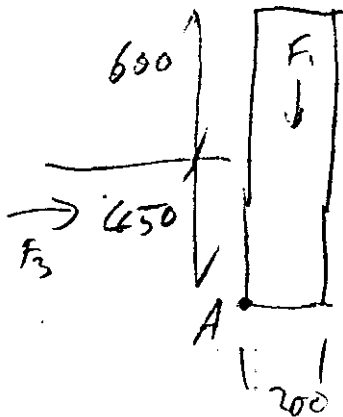
Refers to Janize
Client R Ford.

File No. 281
Plan Ref. No. 1CB
Calculated by 1CB
Checked by 4-5-12
Date 4-5-12

Foundation Wall.

Max ht retained. 600.

Backfill $\gamma = 18 \text{ kN/m}^3$ $\phi = 35^\circ$ $p = 4.9 \text{ h.}$



$$F_1 = 4.72 \text{ kN}$$

$$F_2 = \frac{1}{2} \times 4.9 \times 1.05^2 = 2.70$$

$$F_3 = \frac{1}{2} \times \frac{18}{2.7} \times 4.5^2 = 6.75 \text{ kN/m}$$

$$\text{OTM} = 2.7 \times 3.5 = 9.45 \text{ kN-m}$$

$$\text{RM} = 6.75 \times \frac{1}{3} \times 4.5 + 4.72 \times 1 = 1.41$$

$$= 1.57 \text{ OTM OK.}$$

$$M_{\max} 4.72 \times 7 = 3.30 \text{ kN-m}$$

$$M_u 3.3 \times 1.7 = 5.61 \text{ kN-m}$$

Use D12 at 400 centrally placed.

Grade C Blockwork.

$$M_u = 5.95 \text{ kN-m}$$

Timber Retaining Walls.

Granular Backfill. $\gamma = 18 \text{ kN/m}^3$ $\phi = 35^\circ$

Top wall

Wall height. 1400. Ground Slope 12° 1.5 spacing.

$$K = \left(\frac{\cos 35}{1 + (\sin^2 35 - \frac{1}{2} \tan 12 \cdot 2.70)} \right)^2 = 0.307$$

$$P = \frac{1}{2} \times 0.307 \times 18 \times 1.4^2 \times 1.5 = 8.12$$

$$M = 8.12 \times \frac{1}{3} \times 1.4 = 3.79$$

Use 175 ϕ poles $P_b = 6.35 \text{ MPa}$ $F_b = 7.91$

1CB

Richardson, Stevens Consultants Ltd.

CONSULTING CIVIL & STRUCTURAL ENGINEERS
2 SEAVIEW ROAD, WHANGAREI. PHONE (09) 438-3273

Refers to Janice.

Client R Ford.

File No. 5811

Plan Rel. No.

Calculated by PLB

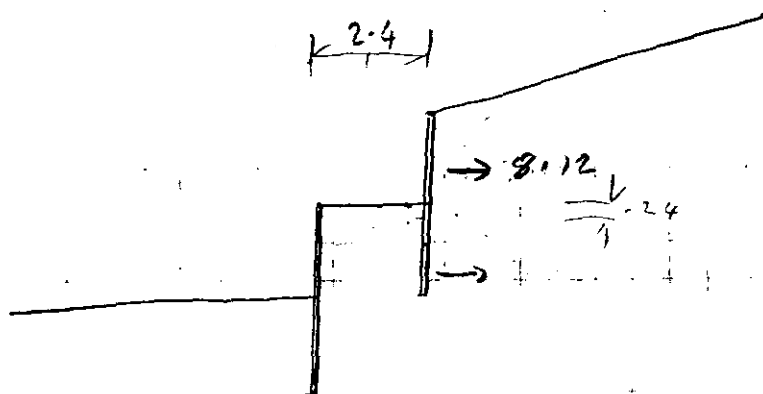
Checked by

Date 5-5-92.

Top Wall (Cont).

Footings 350 dia. $\gamma = 100.$

By Rutledge. $H = 0.86$ say 1.0 m. deep



$$\frac{P}{A} = \frac{8.12}{1} = 8.12.$$

$$Z = 1 \times 1^2 / 6 = 0.167. \quad A = 0.967 \times 8.12 / 0.167 = 47.0.$$

Bottom Wall.

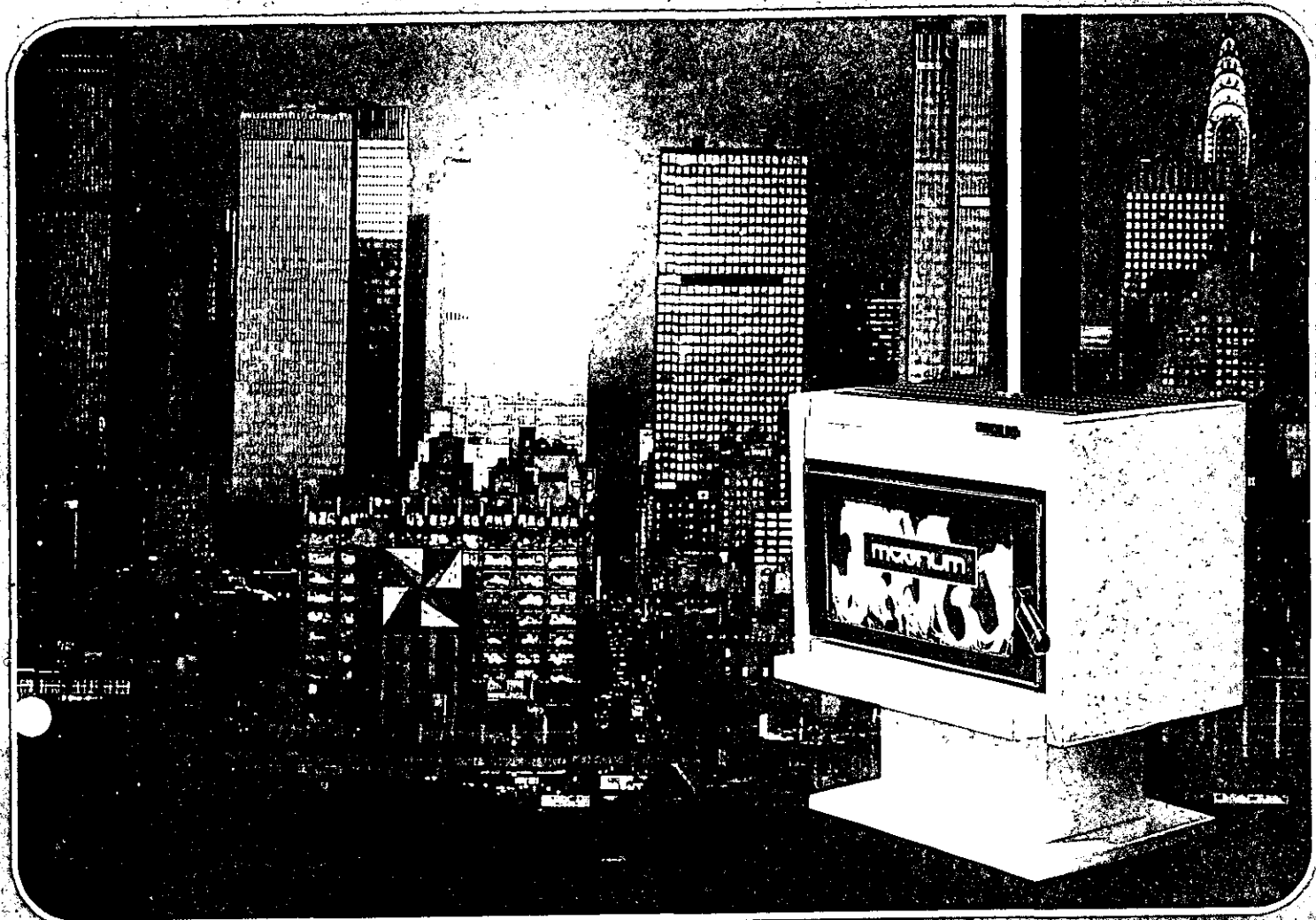
$$M = \frac{1}{2} + \frac{1}{3} \times 18 \times 27 \times 1.4^3 \times 1.5 (1.4 - 0.586/3) (16.16 - 0.586 \times 18 \times 2.4 \times 1.5 \times 0.5)$$

Use 175 ϕ poles. 1.5 c/c.

Footings 350 dia. 1000 deep.

Wales 150 $\frac{1}{2}$ round

PLB



MAGNUM P200

The Townhouse Collection

MAGNUM P200 Series, created to meet the performance requirements of today's family without compromising their sense of style. Incorporating Magnum's unique cast iron firebox design, the P200 is finished in durable vitreous enamel. Many years of efficient performance are

complemented with timeless elegance, features only cast iron and vitreous enamel can give. The P200 Series is available in a range of four colours, selected to complement both modern and traditional decors. Compact east west design enables close installation to rear walls and minimum intrusion into the room environment. Magnum P200 — efficiency and performance without compromise.



BLACK

CHARCOAL

JASMINE

BROWN

Magnum fireboxes incorporate a removable secondary burn chamber which ignites carbon rich gases resulting in more heat and less wood being burnt. Ash removal is infrequent averaging once every six weeks as virtually every-

thing is burnt and converted into useable into the heater takes only a few minutes as the firebox and panels are pre-drilled. Water booster output is approx 4 kw dependent on heater operation and proximity of the storage cylinder. It is recommended the distance between heater and storage cylinder be kept to a

Magnum Series

The Magnum Series 2000 is specifically designed for use in both indoor and outdoor environments and is available in a range of finishes and colours. It is a registered trademark of Robert Mong Limited.

The Magnum Series 2000 is made from high quality materials and is available in a range of finishes and colours. It is a registered trademark of Robert Mong Limited.

The Magnum Series 2000 was developed by a team of specialists committed to the wood heating industry with a fine proven record of twenty years.

	P100	P200	P300	F300
(mm) HEIGHT	670	680	680	645 (Fascia) 560 (Insert)
(mm) WIDTH	590(630)*	645	725	830 (Fascia) 560 (Insert)
(mm) DEPTH	440	450	515	45 (Fascia) 500 (Insert)
(Kgs) WEIGHT	100	105	125	12 (Fascia) 85 (Insert)
(KW) MAX. PEAK OUTPUT	17	17	19	9-16
(mm) FLUE DIA	150	150	150	150
(Metres) MIN FLUE-LENGTH	3.6	3.6	3.6	3.6
FIREBOX	CAST IRON WITH REMOVABLE BAFFLES - ALL MODELS			
WARRANTY	RESTRICTED 5 YEARS - ALL MODELS (REFER WARRANTY CARD)			
WATER HEATING	OPTIONAL - ALL MODELS			

		P100	P200	P300
WITH FLUESHIELD FITTED	REAR CLEARANCE	150	150	75
	SIDE CLEARANCE	700(300)*	300	150
	CORNER CLEARANCE	400(100)*	100	75
	MIN HEARTH SIZE	890x890w	900x945w	890x1025w
WITHOUT FLUESHIELD FITTED	REAR CLEARANCE	400	400	400
	SIDE CLEARANCE	700(300)*	300	200
	CORNER CLEARANCE	400(230)*	230	150
	MIN HEARTH SIZE	1140x890w	1150x945w	1215x1025w

*1000 CLEARANCE WITH OPTIONAL SIDE PANELS FITTED

Clearances

All Magnum P Series woodstoves must stand on a solid non-combustible hearth and a minimum 13mm thick hearth is required for the P100 and P200 models.

The P300 model must be installed on a solid non-combustible hearth and a minimum 13mm thick hearth is required for the P300 model.

Following hearth specifications comply with the standard AS/NZS 2918 and AS/NZS 2918.

The P300 model must be installed on a solid non-combustible hearth and a minimum 13mm thick hearth is required for the P300 model.

The P300 model must be installed on a solid non-combustible hearth and a minimum 13mm thick hearth is required for the P300 model.

Specifications

All Magnum woodstoves are supplied with a detailed installation and operation manual.

It is recommended all Magnum woodstoves be installed by a specialist woodstove installer.

For more information on the Magnum Series 2000, contact the local distributor or installer.

Clearances

These clearances are minimums recommended for a minimum 13mm thick hearth and comply with New Zealand Standard NZS 2918 and Australian Standard AS 2918.

Australia

AS 2918 A minimum hearth thickness of 13mm is required.

The Magnum P300 must have a minimum 13mm thick hearth extend 300mm forward of the glass.

CASTVONTS

PO Box 7068, New Plymouth
New Zealand
PH (067) 70-209
FAX (067) 71435

AUSTRALIAN DISTRIBUTOR'S
QLD - Gasalec Distributor's (07) 8651290
N.S.W. - Beefeater Appliance's (02) 6448088
VIC - Jame's Shields & Co Ltd (03) 3991077
S.A. - Fireplace & Slate (08) 2977177
W.A. - Australian Heating Dist. (09) 3771600

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AVAILABLE FROM

WHANGAREI HEAT SHOP
Robert Street (The Homecentre)
P.O. Box 847 WHANGAREI
Phone/Fax 09 438-2252

BUILDING PERMIT

BOROUGH OF DARGAVILLE

To Mr. *V. Martin Plushett St*



PERMISSION is hereby granted you to carry out the works as proposed in your application and in accordance with the plans, particulars and other documents submitted to me, such work to be subject at any time during progress to my inspection and to be carried out in strict conformity with all the requirements of the Borough Bylaws.

Remarks

Dated this *16* day of *June*, 192*2*

Fee: £ *1-5-0*

Stanley Whiplash
Mayor

Permit No. 82

Granted.....

APPLICATION FOR BUILDING PERMIT

BOROUGH OF DARCAVILLE

Sir, --

I hereby apply for permission to carry out works in accordance with the plans and particulars herewith supplied.

Nature of Work

Small dwelling

Site of Proposed Work

Plumtree Sh. Plot No 3 Sub
of Park Road
20

Estimated Cost £450: 0-00

Owner

William Martin

Architect

Self

Remarks

All new bricks used throughout

Fee enclosed £ 1 : 5 : 0

Dated this 24th day of December 1921

William Martin
Applicant.

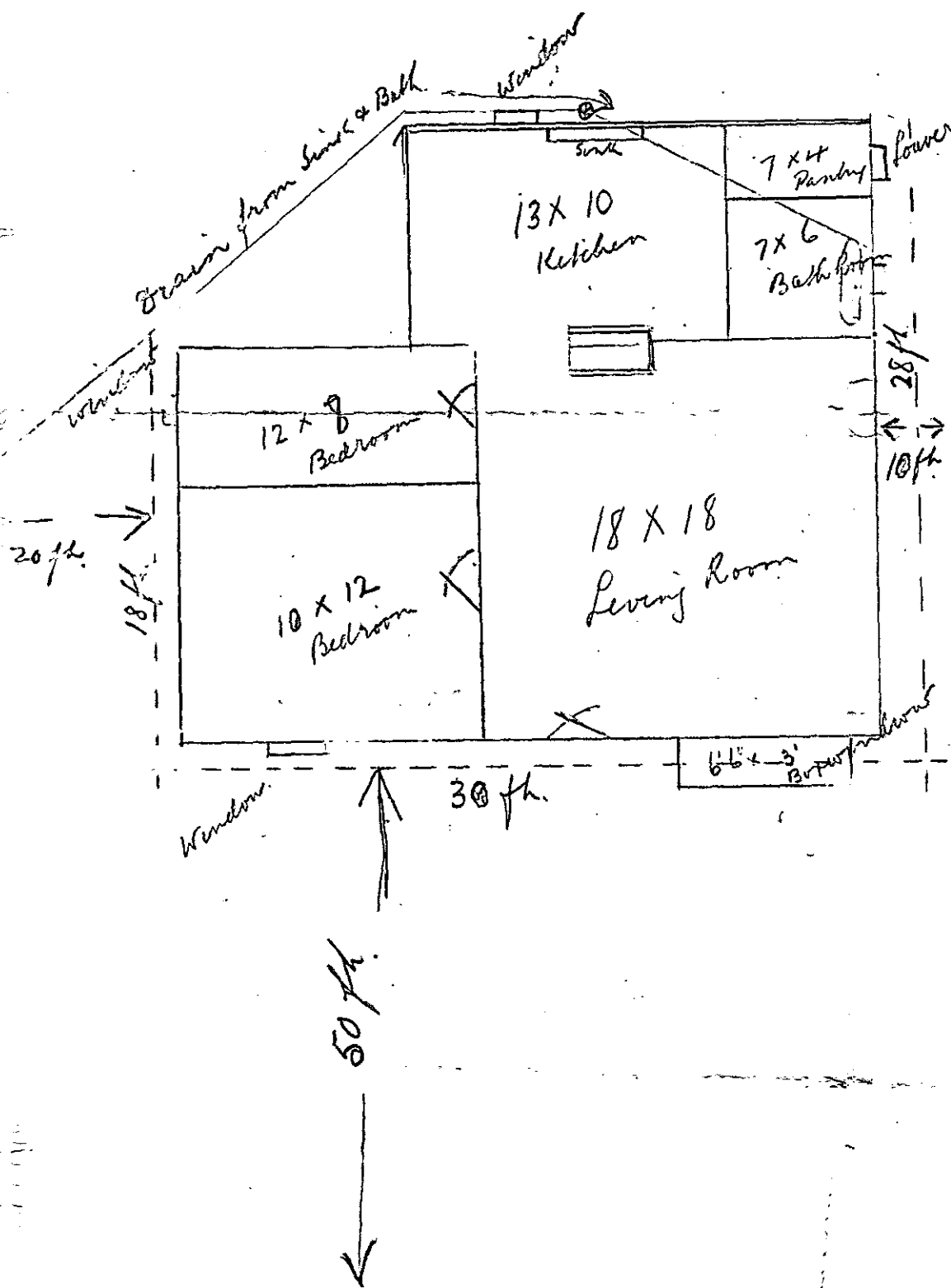
Stanley Chaplin
Inspector, 6/1/22

h. Kasser 2 B Block

allotment No 3.

allotment No 2

Proposed
wash House



Plunked Street.