

47 MOANA ST

Wanganui District Council

14 NOV 2012

8.30am

Wanganui District Council
BCA QM System

Building Consent File – Front Cover

BCA T-33C page 1 of 1
v6 12/1/08

ACCEPTED

Building Consent File Content/Checklist

DBH Building Category

R1

Consent number: 12/0697

(Type 1, 2 or 3)

	Description	Added to file	Comment & Reference
1.	Consent Application	14-11-12	
2.	Pre-Vet Checksheet	14-11-12	
3.	Plans & Specifications	14-11-12	
4.	Bracing Calculations		
5.	PIM : C/T : Consent Notes	14-11-12	(CT)
6.	Regional Authority Consent (Dams)		
7.	Fire Design		
8.	DRU – NZFS		
9.	Consultant Reports		
10.	Producer Statements PS1, PS2, PS4	14-11-12	(PS1)
11.	Engineering Calculations		
12.	Peer Review	23/11/12	Approved
13.	Relocate: Condition Reports		
14.	Truss Layouts		
15.	FIR		
16.	Correspondence		
17.	Copy of Invoice(s)	14-11-12	(OEP)
18.	Compliance Assessment Checksheets		
19.	Photos		
20.	Notice to Fix / Enforcement Action		
21.	DBH Notification (Warnings etc)		
22.	Amendments/Alterations to Existing		
23.	Historic Places Trust Approval letter		
24.	Request for Further Information letter(s)		
25.			
26.			
27.	Building Consent (signed copy) Including Conditions	23/4/2012	
28.			
29.			
30.	Inspection Checksheets		
31.	Supporting As-Built documentation		
32.	Energy Work Certificates - Electrical		
33.	Energy Work Certificates - Gas		
34.	Vehicle Crossing Producer Statement		
35.			
36.			
37.			
38.	Application for C.C.C.	12/4/13	
39.	C.C.C. Assessment Checklist	13/4/13	
40.	Code Compliance Certificate	13/4/13	

**JOB COMPLETED
CCC ISSUED**

LARGE PLANS HELD IN: (PLAN TUBE or FILE BOX?) ☐

LARGE PLANS LOCATED IN:

G18 FILE ROOM ☐

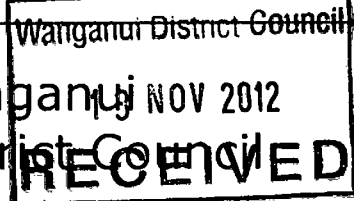
or BASEMENT ☐

NEW 54m² KIWISPAN GARAGE.

Building Consent Application
Section 32 or 45, Building Act 2004
FORM 2



Wanganui NOV 2012
District Council



1. Application type

(Please tick appropriate box)

- ☐ Project Information Memorandum and/or
☒ Building Consent or
☐ Alteration to Existing Building Consent

Building Consent/PIM No.

12/0697

Note: Shaded areas for office use only

2. The building

2a. Site address	47 Maara street, Wanganui		
2b. Current lawfully established use			
2c. Legal description	Lot 7	DP	4322.
2d. Council property no.	12752 (WN261/242)		
2e. Number of levels			
2f. Level/Unit number			
2g. Floor area	Existing m ²	New 54 m ²	Total m ²
2h. Year building first Constructed (If applicable/or approx. year)			

3. The owner

3a. Name	Brett Stevenson		
Postal address	47 Maara street Wanganui		
Contact numbers			
	Phone	Mobile	Fax
Email			

4. Evidence of ownership

- 4A. Evidence of ownership attached *search*
☒ Certificate of Title (copy) ☐ Sale and purchase agreement
☐ Lease agreement ☐ Other document showing full name of legal owner(s), such as a rate instalment notice

5. Applicant's details (if not the owner)

5A. Name of Agent	Kwispan Wanganui		
Postal address	PO Box 551 Wanganui		
Contact numbers	3480339	0210645492	
	Phone	Mobile	Fax
Email	Wanganui@kwispan.co.nz		
Relationship to owner	Agent		
Details of authorisation	☐ Evidence attached ☒ Other—please specify Verbal		

6. Applicants's declaration

Blair Ruby 12/11/12

Signature of Owner/Agent

Date

Blair Ruby

Name (print clearly)

Consent fees to be paid by
(Please tick appropriate box)

☐

Owner

☐

Builder

☐

Plumber

☐

Designer

☒

Agent

The information provided will be included in a Public Register of Consents which is available for public perusal under the Privacy Act 1993 section 54. This may result in receipt by the 'Owner' of trade advertising.

The person signing the Building Consent application form is the person responsible for the debt.

7. The project

7a. Description of the building work

Construct new Kuwipaan Garage
Demolish existing Garage

7b. Will the building work result in a change of use of the building?

☐

Yes

☒

No

7c. If yes, please provide details of the new use

7d. Intended life of the building

☒

Indefinite but not less than 50 years

☒

Less than 50 years—please specify

--

 years

7e. Have any PIM and/or Building Consents been issued previously for this project?

☐

Yes

☒

No

Provide details below

Date of consent

Consent number

7f. Restricted Building Work

☐

Yes

☒

No

☐

N/A

7g. Estimated value of the building work

\$ 20,000	including GST
-----------	---------------

7h. Category

R1

Office use only

8. Project Information Memorandum

The following matters are involved in the project (please tick the appropriate project)

☐

Subdivision

☐

Alterations to land contours

☐

New or altered connections to public utilities

☐

New or altered locations and/or external dimensions of buildings

☐

New or altered access for vehicles

☐

Building work over, or adjacent to, any road or public place

☒

Disposal of stormwater and wastewater

☐

Building work over existing drains or sewers, or in close proximity to wells or water mains

☐

Other matters known to the applicant that may require authorisations for the council—please specify

9. Supporting documentation

The following plans and specifications are attached to this application:

- ☒ Two sets of plans drawn to a recognised metric scale; include two sets of specifications and other documentation
- ☐ Project Information Memorandum
- ☐ Producer Statements
- ☐ Truss Layout Plan
- ☐ Memoranda (Certificates of Design work)
- ☐ Certificate attached to Project Information Memorandum
- ☐ Details/Calculations
- ☐ Fire Design Analysis
- ☐ Development Contribution Notice
- ☐ Copies of other Authorisations—please specify
- ☐ Other—please specify

10. Building practitioners involved in this project (continue on another sheet of paper if needed)

Designer—extent of involvement

Name / Registration no.

Contact details Address

Phone / Email

Emc ² LTD.	
Auckland	
09 5753096	

Builders—extent of involvement

Name / Registration no.

Contact details Address

Phone / Email

Morris + Son Builders LTD.	

Certifying plumber—extent of involvement

Name / Registration no.

Contact details Address

Phone / Email

Certifying drainlayer—extent of involvement

Name / Registration no.

Contact details Address

Phone / Email

Electrician—extent of involvement

Name / Registration no.

Contact details Address

Phone / Email

Other—extent of involvement

Name / Registration no.

Contact details Address

Phone / Email

11. Waiver or modification required

Waiver or modification
(Please circle and detail below)

B1	B2	C1	C2	C3	C4	D1	D2
E1	E2	E3	F1	F2	F3	F4	F5
F6	F7	F8	G1	G2	G3	G4	G5
G6	G7	G8	G9	G10	G11	G12	G13
G14	G15	H1					

Additional information

Alternative Solution
(Please circle and detail below)

<u>B1</u>	B2	C1	C2	C3	C4	D1	D2
E1	E2	E3	F1	F2	F3	F4	F5
F6	F7	F8	G1	G2	G3	G4	G5
G6	G7	G8	G9	G10	G11	G12	G13
G14	G15	H1					

Additional information

(PSI)

12. Compliance with the New Zealand Building Code

NZBC Clause

Tick relevant building code clauses

Means of compliance

Please circle or add means of compliance

Proposed inspections

Please circle as appropriate—see key below

☒ B1 Structure	B1/AS1 P/S	NZS 4229	NZS 3604-2011	AS/NZS 1170	1	2	3
☒ B2 Durability	B2/AS1	NZS 3604	NZS 3101	NZS 3602	1	2	3
☐ C1-C2-C3-C4 Fire	C/AS1		SED		1	2	3
☐ D1 Access routes	D1/AS1		NZS 4121		1	2	3
☐ D2 Mechanical installations for access	D2/AS1		NZS 4322	EN/81	1	2	3
☒ E1 Surface water	E1/AS1		AS/NZS 3500		1	2	3
☒ E2 External moisture	E2/AS1		Specific Design		2	2	3
☐ E3 Internal moisture	E3/AS1				1	2	3
☐ F1 Hazardous agents on site	F1/AS1				1	2	3
☐ F2 Hazardous building materials	F2/AS1		NZS 4223		1	2	3
☐ F3 Hazardous substances & processes	F3/AS1				1	2	3
☐ F4 Safety from falling	F4/AS1		Fencing of Swimming Pools Act		1	2	3
☐ F5 Construction & demolition hazards	F5/AS1				1	2	3
☐ F6 Lighting for emergency	F6/AS1	AS/NZS 1668	NZS 4512	NZS 4515	1	2	3
☐ F7 Warning systems	F7/AS1	AS/NZS 1668	NZS 4512	NZS 4515	1	2	3
☐ F8 Signs	F8/AS1				1	2	3
☐ G1 Personal hygiene	G1/AS1				1	2	3
☐ G2 Laundering	G2/AS1				1	2	3
☐ G3 Food preparation & prevention of contamination	G3/AS1				1	2	3
☐ G4 Ventilation	G4/AS1				1	2	3
☐ G5 Interior environment	G5/AS1				1	2	3
☐ G6 Airborne & impact sound	G6/AS1				1	2	3
☐ G7 Natural light	G7/AS1				1	2	3
☐ G8 Artificial light	G8/AS1		NZS 6703		1	2	3
☐ G9 Electricity	G9/AS1				1	2	3
☐ G10 Pipes services	G10/AS1		NZS 5261		1	2	3
☐ G11 Gas as an energy source	G11/AS1				1	2	3
☐ G12 Water supplies	G12/AS1		AS/NZS 3500		1	2	3
☐ G13 Foul water	G13/AS1		AS/NZS 3500		1	2	3
☐ G14 Industrial liquid waste	G14/AS1				1	2	3
☐ G15 Solid waste	G15/AS1				1	2	3
☐ H1 Energy efficiency	H1/AS1	NZS 4212	NZS 4218	NZS 4243	1	2	3
☐ Backcountry Huts	Acceptable solution		ALF design manual		1	2	3
☐ Simple House	Acceptable solution				1	2	3

Key to proposed inspection: 1. Council Building Control Officer 2. Approved Consultant e.g. Engineer 3. Other—Please specify below

Important

The Building Act requires the applicant to state, for each relevant building code clause, what the means of compliance is. Alternative solutions may also be proposed, and must be accompanied with documentation demonstrating compliance. Please refer to Alternative Solution box previous page and provide additional information.

Please turn over

13. Compliance schedule

Do not proceed further if

- this is an application for a PIM only (Project Information Memorandum)
- this application is for Residential work only (except for a cable car after 31 March 2008)

The following specified systems are new, existing, being altered, added to, or removed in the course of building work

☒ There are no specified systems in the building

	New	Existing	Altered	Added	Removed
Cable Car (including to individual dwelling) (to be implemented 31 March 2008)	☐	☐	☐	☐	☐
Building Act 2004 (implemented 31 March 2005) (listed below are the systems and features from the 'new' Act)					
1. Automatic systems for fire suppression (for example, sprinkler systems)	☐	☐	☐	☐	☐
2. Automatic or manual emergency warning systems for fire or other dangers	☐	☐	☐	☐	☐
3. Electromagnetic or automatic doors or windows (for example, ones that close on fire alarm activation)	☐	☐	☐	☐	☐
4. Emergency lighting systems	☐	☐	☐	☐	☐
5. Escape route pressurisation systems	☐	☐	☐	☐	☐
6. Riser mains for Fire Service's use	☐	☐	☐	☐	☐
7. Any automatic back-flow preventers connected to a potable water supply	☐	☐	☐	☐	☐
8. Lifts, escalators, travelators, or other systems for moving people or goods within buildings	☐	☐	☐	☐	☐
9. Mechanical ventilation or air conditioning systems	☐	☐	☐	☐	☐
10. Building maintenance units providing access to exterior and interior walls of buildings	☐	☐	☐	☐	☐
11. Laboratory fume cupboards	☐	☐	☐	☐	☐
12. Audio loops or other assistive listening systems	☐	☐	☐	☐	☐
13. Smoke control systems	☐	☐	☐	☐	☐
14. Emergency power systems for, or signs relation to, a system or feature specified in any of the above	☐	☐	☐	☐	☐
15. Means of escape with systems and features, signs (1 to 6, 9 and 13) Fire and smoke separations	☐	☐	☐	☐	☐

BCA

Date application received
Receiving Officer
Application Fee Receipt No.
Date of application Fee Rec.
Infrastructure Bond No.

13-11-12
GH
447883
13-11-12
N/A

Fees (incl. GST)

Building Consent Application Fee (Prepaid)

Building Consent Issue

PIM

Building Levy (DBH)

BRANZ Levy

Stormwater Connection

Vehicle Crossing

Sewer Connection

Water Connection

Fordell Connection (Application charge)

Development Contribution Levy

NZFS Alternative Solution

Waiver/Modification

Resource Consent

Relocation Bond

Infrastructure Fee (non-refundable)

Infrastructure Bond

Certificate of Title

Rural Rapid Number

Photocopying/Plan printing

Other

2A

[illegible]

Comments:

Paid 28/11/12 
Rec#: 451104

Total

Processing Unit	Checks				Inspections	Approved	
	Initials	Date	Initials	Date		No.	Initials
Administration	BM	14/11/12	GL	22-11-12			
Planning	AM	14/11/12					
Fire Design (Referred to NZFS)							
Building						PL	19-11-12
Drainage (Infrastructure)							
Water (Infrastructure)							
Fordell Water Scheme (Infrastructure)							
Structural							
Plumbing/Drainage	PL	19-11-12				PL	22-11-12
Roading							
Health							
Dangerous Goods							
Parks & Property / Mainstreet							

Approved for issue of PIM/Building Consent

Approving Officer

Date _____

23 NOV 2012

Notes

**Building Consent Application
Prelodgement Vetting
Minor Works, Plumbing &
Drainage and Solar Heating**



**Wanganui
District Council**

Project examples

Garage (Non-habitable), carports, farm buildings, retaining walls, decks verandah, wet area shower, repiling, pergolas, conservatories, window/door installation, removal/addition of walls, building removal, swimming pools.

Application details

(Additional information will need to be supplied if a resource consent is required)

This is a preliminary vetting sheet only to establish if there is sufficient information of an acceptable quality before it is received for lodgement and processing. This prelodgement form is designed to reduce processing time and save you on processing costs.

Plans are required to a suitable drafting standard.

Note: If you do not have the appropriate skills to prepare drawings, please engage a professional.

2 copies of all documentation is required (4 if resource consent required).

Date Received

Site Address

Description of building work

Restricted building work

WDC Building Category
(Circle where applicable)

47 Moana Street Wanganui		
Construct new Kuvispan Garage		
YES	NO	N/A
1	2	3

Application type

Tick where applicable under Yes or Not applicable

Yes N/A WDC

New Building/Alterations	☒	☐	☒
Pergola/Verandah	☐	☒	☐
Windows/doors	☒	☐	☐
Cladding	☒	☐	☐
Decks and balconies/balustrades	☐	☒	☐
Retaining walls/engineer or standard	☐	☒	☐
Septic Tank/Water Tank/Solar	☐	☒	☐

Property Information

Tick where applicable under Yes or Not applicable

Yes N/A WDC

Cert. of title (less than 3 months old)	☒	☐	☒
Legal description checked	☒	☐	☒
Street address	☒	☐	☒
Number of floors (ONE)	☒	☐	☒
Building history—listed	☒	☐	☐
Rapid Number required	☐	☒	☐
Current lawful use WDC	RESIDENTIAL		

Contact details, address, phone etc.

Owner's details	☒	☐	☒
Agent's details	☒	☐	☒
Designer's details	☒	☐	☒
Engineer's details	☒	☐	☒

Site Information

Circle where applicable

Wind Zone	Low	Medium	High	Very High	Extra High
Corrosion Zone as defined NZS3604 4.2.3		B	C	D Sea Spray	Specific Design
Earthquake Zones		1	2	3	4

Compliance

Means of compliance completed (as per application form)	☒	☐	☒
Standards—Current version specified	☐	☒	☒
Alternative solution	☐	☒	☒
LBP Memorandum	☐	☒	☐

Plans

Number of sets required (2/3 set required)	2	☒
Specifications: Project Specific		
Number of sets required (2/3 set required)		☒

Bracing calculations

Tick where applicable under Yes or Not applicable

Yes

N/A

WDC

Subfloor/Deck (2 sets required)

☐
☒
☐

Wall (per floor)

☐
☐
☐

Structural Engineering

Number of sets supplied (2 required)

☒
☐
☒

Current Producer statement/Calc.

☒
☐
☒

Beam layout plan

☐
☒
☐

Connection details/truss/lintel/post

☒
☐
☒

Floor Plans

To scale, fully dimensioned, rooms named

☒
☐
☒

Window/door sizes and position

☒
☐
☒

Fixtures and fittings, smoke detectors

☐
☒
☐

Full plumbing layout, pipe sizes etc.

☐
☒
☐

HWC, position, temp valve, solar

☐
☒
☐

Wall bracing—height, position, type

☒
☐
☒

Site plan

Tick where applicable under Yes or Not applicable

Yes

N/A

WDC

Scale 1:100 1:200 1:500

☒
☐
☒

Site area & coverage

☒
☐
☒

Fully dimensioned

☒
☐
☒

North point & Building Orientation

☒
☐
☒

Existing & Proposed building

☒
☐
☒

Retaining walls/engineer or standard

☐
☒
☐

Septic Tank/Water Tank/Soak Hole

☐
☒
☐

Drainage Plan (Stormwater & sewer)

☒
☐
☒

Infrastructure

Water connection position (new/existing)

☐
☒
☐

Sanitary sewer connection position (new/existing)

☐
☒
☐

Stormwater connection position (new/existing)

☐
☒
☐

Level & depths of connections

☐
☒
☐

Vehicle crossing

☐
☒
☐

Risk Matrix

Calculations supplied

☐
☒
☒

Weathertightness—Flashing details

Windows/doors

☒
☐
☒

Balconies

☐
☒
☐

Parapets/apron/change of pitch

☐
☒
☐

Decks

☐
☒
☐

Roof and wall junctions

☒
☐
☒

More than one cladding

☐
☒
☐

Pergola

☐
☒
☐

Other penetrations

☐
☒
☐

Electrical Plan

Electrical layout

☐
☒
☐

Mechanical light and ventilation

☐
☒
☐

Deck construction

Foundation plan

☐
☒
☐

Pile size, centres, treatment

☐
☒
☐

Bearer & joist, size, span, treatment

☐
☒
☐

Stair, balustrade details

☐
☒
☐

Detail at junction of house

☐
☒
☐

Roof framing plan

Pitched roof—Ridge beam, rafters, purlins, building paper, insulation

☒
☐
☒

Pergola/Verandah

☐
☒
☐

Trussed roof—Truss type

☐
☒
☐

Point loads identified

☐
☒
☐

Roof bracing

☒
☐
☒

Truss layout/design certificate

☐
☒
☐

Designers Signature

Blair Ruby

Name of Designer signing: (please print clearly)

12/11/10

Dated

Comments

Plans OK to accept for

Processing

Recheck

(please circle whichever is applicable)

Date received

13/11/12

Application fee:

YES

N/A

(please circle whichever is applicable)

Received by

GA

(print name)

WDC Vetting Officer:

GA 14/11/12

(print name)



COMPUTER FREEHOLD REGISTER UNDER LAND TRANSFER ACT 1952



R. W. Muir
Registrar-General
of Land

Search Copy

Identifier WN261/242
Land Registration District Wellington
Date Issued 25 July 1919

Prior References

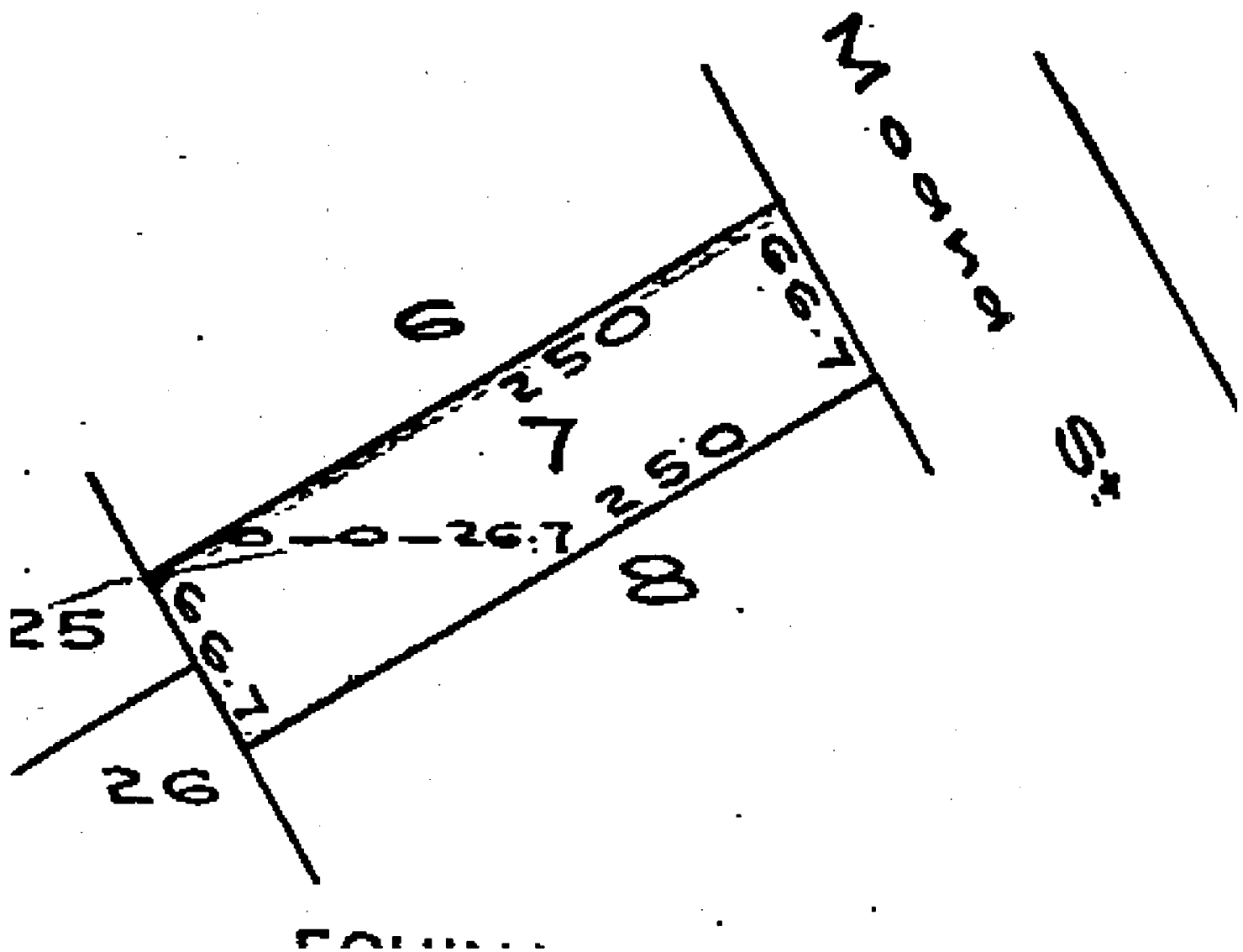
WN261/169

Estate Fee Simple
Area 675 square metres more or less
Legal Description Lot 7 Deposited Plan 4322

Proprietors
Brett Damon Stevenson

Interests

B687449.3 Mortgage to ANZ Banking Group (New Zealand) Limited - 2.10.1998 at 3.08 pm



Wanganui District Council

PO Box 637, Wanganui

Phone (06) 349-0001

Visit our Web Site www.wanganui.govt.nz

REPRINTED

Official Receipt

GST Reg No 51-668-324

13/11/2012

Receipt No: 447883

To: Kiwispan

<u>Description</u>	<u>Amount</u>
GL Receipt	
NOGPRECONSENT	\$410.00
47 Moana St new Garage	
Transaction Total:	\$410.00
Amounts Tendered	
Cheque	\$410.00
Total	\$410.00

Printed 13/11/2012 10:01:06a.m.



PREPAID - TAX INVOICE

GST Number 51-668-324

Payer Name:

KIWISPAN

For Building Consent:

Reference No:

Date: 13.11.12

YOUR APPLICATION WILL NOT BE PROCESSED UNLESS THE FEE IS PAID

Location of project

Description of project

NEW GARAGE.

47 MOANA ST

Reference

Details

Amount (Incl GST)

- | | |
|---|--------------|
| 1. Building Consent Project Type – application fee (refer to 'Fees and Charges' Form) | 2A \$ 410.00 |
| 2. Resource Consent - deposit | |
| • Land use - Non-Notified | \$ |
| • Subdivision - Notified | \$ |
| 3. Infrastructure Bond | |
| • Non-Refundable Charge | \$ |
| 4. Other - Aerial photographs | \$ |
| - Plan pack Searches | \$ |
| - Rural Rapid Numbers (New) | \$ |
| - Large Plan photocopying A2 | \$ |
| - A0 – A1 | \$ |
| 5. Certificate of Title | \$ |

Total Payable \$ 410.00

WHEN PAID THIS FORM WILL BE PART OF YOUR CONSENT APPLICATION AND MUST BE ATTACHED TO THE CONSENT APPLICATION BEFORE IT WILL BE PROCESSED.

PLEASE RETURN TO CUSTOMER SERVICES

**FILE NOTE:
ASSESSMENT OF BUILDING CONSENT**

Applicants Name	B. STEVENSON
Activity/Use	GARAGE
Date BC#	12/0697
Address	47 MORNA ST
Subject	Activities in Residential zones

THIS NOTE RECORDS THE INITIAL ASSESSMENT MADE OF THE CONSENT APPLICATION. IT ASSESSES WHETHER THE APPLICATION INCLUDES ALL OF THE INFORMATION REQUIRED TO PROCESS THE RESOURCE CONSENT FURTHER.

Zone:	Residential	
Road Classification:		Local
Site Area:		675m ²
Site Coverage:	40%	LESS THAN 40%.
Maximum Height:	10 metres	2.7
Structures (Height Recession Plane):	Front Boundary	OK
	Side Boundary	} COMPLIES WITH HEIGHT RECESS PLANE
	Side Boundary	
	Rear Boundary	
	(plus exemptions)	
Multi Unit Development (detached):	Height recession plane applies from a notational boundary	/
Accessory Building	Garage or accessory building located in front of principal building	/
Conjoined multi unit developments and residential care facilities	$D = L = 3H/10$ i. Site amenity 30m ² ii. Upper story units iii. Storage space	/

Noise:		
Light:		
Advertising		
Access:	Minimum 1 access to be provided 3.5 metres maximum for single dwelling Check for landscaping (i.e. street trees), street furniture, and services in road reserve.	EXISTING
Parking:		OK
Easements		
Building Over Boundary?	If YES, tell Greg and put a post-it on file	
Development Contribution		
Archaeological site?		

Decision and any other matters not contained in table above including further information for building consent purposes:

Further Information Received? Yes/No
Decision:

Is resource consent required? Yes/No
Letter sent out? Yes/No

Date:

Approved
John
14/11/12

ASSESSED AS:

Restricted Discretionary Activity

Breaches:

Non-complying Activity

Breaches:

Building Consent
Process check sheet – Minor Work – Alterations only (No Peer Review)



Approved = ✓	More information required = X	Not Applicable = N/A If a sub element is not relevant choose N/A
Address: 47 moana st		
Building Consent No: 12/0697	Date: 19-11-12	
Consent Officers: BL		
Description: lewii span		

Approved Document ref	Elements	Sub Elements	Comments	Result	Recheck
Site	Positioning	Siting		✓	
NZBC Clause					
B1	Structure	NZS3604, P/S1 and Engineers calc's	see also separate chub shd.	✓	
B2	Durability		1604	✓	
C	Means of escape			n/a	
E1	Surface Water		soak pit	x	✓
E2	External Moisture				
E3	Internal Moisture				
F2	Glazing	NZS4223/Safety Glass			
F4	Safety from falling				
F7	Warning Systems				
G1	Personal Hygiene				
G4	Ventilation				
G7	Natural light				
G12	Water Supplies				
G13	Foul Water				
H1	Energy Efficiency				
Accessibility					
Other					

Important note: This checklist is a guide for use by an authorized WDC Officer only, for establishing compliance with the Building Code as part of the vetting and Building Consent application.

Tick

Application Suspended:

I confirm that I have evaluated the proposed project against all items in the checklist

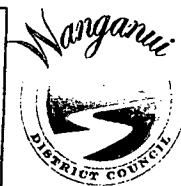
Application Approved:

I confirm that I have evaluated the proposed project against all items in the checklist.

Based on the information provided by the applicant, the project complies with the Building Code.

✓

Building Consent
Process check sheet – Producer Statement Checklist



Producer Statement Checklist

Approved = ✓	More information required = X	Not Applicable = N/A
Design (PS1)	☒ Design Review (PS2)	Construction (PS3)
		Const Review (PS4)

Description of work covered by Producer Statement:

Authors Name:	Eric Malcolm	Approved Author:	✓
---------------	--------------	------------------	---

Acceptable solution	Alternative solution	Verification Method	vmc
---------------------	----------------------	---------------------	-----

Building Code Clauses covered **B1** and B2

Producer Statement Specifics	Comments
Author signed and dated the statement	✓
Peer Review Required	n/a
Statement is site specific	✓
Statement is fully completed	✓
Calculations supplied	n/a
Inspection requirements	✓

Producer Statement Approved	Producer Statement Declined
-----------------------------	-----------------------------

Specific Conditions of Acceptance (Inspection, construction requirements that need to be conditions of consent)

101 Guyton Street
P O Box 637, Wanganui
Phone: (06) 349 0001
Fax: (06) 349 0000
Email: wdc@wanganui.govt.nz
Web: www.wanganui.govt.nz



19 November 2012

Mr Brett D Stevenson
91 Koromiko Road
Gonville
Wanganui 4501

Dear Sir or Madam:

BCon12/0697 for the property at 47 Moana St WANGANUI - Request for Further Information

The Wanganui District Council is currently processing your building consent which was recently submitted by Kiwispan.

This letter is to notify you that further information is needed in order to process the building consent. We have written to Kiwispan and asked them for this extra information.

You don't need to do anything, but you may wish to liaise with Kiwispan to ensure that they respond fully and promptly to minimise the delay (and cost) for approval. The building consent has been put on hold until we get this further information.

Yours sincerely

Anne Couper
Customer Services Advocate



19 November 2012

**Kiwispan
PO Box 551
Wanganui Mail Centre
Wanganui 4540**

Dear Sir or Madam:

1st Request for further information on Application.

Project Number: **BCon12/0697**
Project Location: **47 Moana St WANGANUI**
Project Description: **New 54m2 Kiwispan Garage.**

The building consent application is currently being assessed. The questions below have been raised by our assessors. Please supply the answers in a specific covering letter clearly cross-referencing our questions, and ensuring that the altered drawings are also cross-referenced and with appropriate 'clouding' or highlighting etc. to clearly identify changes. Please ensure that you quote this Project Number BCon12/0697 on all changes made to the documents.

- 1. Being a fairly large shed on this small property and soak hole close to boundary please specify size and construction of soak pit. (Bill Leslie - Building Control Officer)**

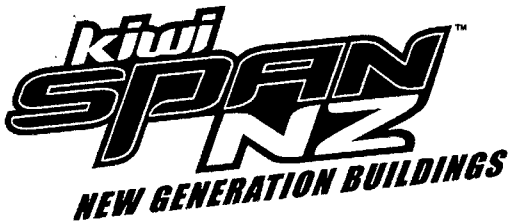
We appreciate the importance of your application and on receipt of the requested information we will endeavour to process your application without delay.

This information requires to be supplied within 3 months from the date of this letter or this consent maybe cancelled without further notice.

If you have any further enquiries please contact this office and quote your Project Number **BCon12/0697**.

Yours sincerely

Anne Couper
Customer Services Advocate



M D Morris & Son Builders Limited
136 Guyton Street, Wanganui, 4500.
PO Box 551, Wanganui, 4540
T: 06 348 0339 • F: 06 348 0336
FREEPHONE: 0800 870 078
E: wanganui@kiwispannz.co.nz
www.kiwispannz.co.nz

Wednesday, 21st November 2012

Bill Leslie
Building Control Officer
Wanganui District Council
Wanganui

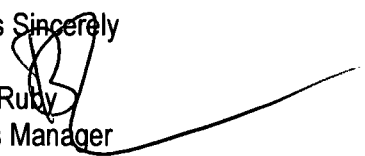
Re: BCon12/0697

Good Afternoon Bill

In response to your letter dated 19th November 2012, the size of the soakpit will be 2 x 100 litre drums buried in the ground. ~~These will be filled with large stones and have soak holes drilled into the sides of the to allow the water to exit.~~ *Empty Drum for capacity & holes to outside*

If you have any further queries please feel free to contact me.

Yours Sincerely


Blair Ruby
Sales Manager
KiwiSpanNZ Wanganui
0210645492

APPROVED

12 / 06 97

Consent No.



INSPECTION RECORD

This record, together with the Building Consent and approved plans, is to remain on the construction site at all times.

Project Location	TO BOOK AN INSPECTION PLEASE PHONE WDC BUILDING CONTROL	BCon12/0697
47 Moana St WANGANUI	ON 349 0001 AND QUOTE THE FOLLOWING APPLICATION NUMBER:	
Description of Work	New 54m2 Kiwispan Garage.	
Applicant	Kiwispan PO Box 551, Wanganui Mail Centre, Wanganui 4540	
Builder	Morris & Son Builders 1 Karaka St, Wanganui	

SUMMARY OF CONDITIONS

Building Consent Number BCon12/0697

PIM Conditions

Code	Condition
	All work on the project must comply with the requirements of the NZ Building Code.
	A PIM only document is not an approval to build. A Building Consent is required before building work commences.
	W.D.C will follow up on building work not completed within two years of building consent issue.
	A Building Consent lapses and is of no effect if the building work has not been started within 12 months of the date of issue.
	If the building is public premises it may not be occupied until either a code compliance certificate or certificate for public use has been issued.
	Please note [Electrical, and Gasfitting subtrades do not form part of the building consent inspection process. However, Council is required to receive 'Energy Certificates' from both of these trades before issue of a Code Compliance Certificate].

Building Consent Conditions

Code	Condition

Your project's inspections are listed on the next page...



Please Note: A minimum of 24 hours notice is required for the booking of an inspection. The inspection record sheet and accompanying building consent documentation must be on site for use by the inspector at the time of the inspection.

All inspections are to be carried out by BCA Building Inspectors unless prior arrangements have been made by the BCA to have an approved qualified person inspect specific items (eg. Engineer). Inspections shall be carried out in accordance with the attached schedule of inspection types. It is the owner's responsibility to ensure all necessary inspections are carried out as required. Please contact WDC if you are unsure what requires inspection – do not cover or enclose any building work without inspection.

Note: Further inspections may incur additional cost at time of Code Compliance Certificate issue.

Inspections Record For Building Consent Number BCon12/0697

<i>Inspection</i>	<i>When to Request</i>	<i>Date</i>	<i>Inspector</i>	<i>Complies with Code</i>	<i>Reinspect</i>	<i>Notes</i>		
CONCRETE SLAB INSPECTION	Prior to placing Concrete							
FINAL BUILDING INSPECTION	On Completion					Includes stormwater		



INSPECTION TIME REPORT
Building Consent Number BCon12/0697

<i>Consent or Alteration Number</i>	<i>Estimated Inspection Time</i>	<i>Actual Inspection Time</i>	<i>Inspection Time Difference</i>
BCon12/0697	100	0	100
Inspection Time Difference At BC Issue <i>Time to be charged.</i> At Completion Positive amount = time to be credited Negative amount = time to be charged			100

Signed for and on behalf of the Wanganui District Council

140mins

PRODUCER STATEMENT - PS1 - DESIGN

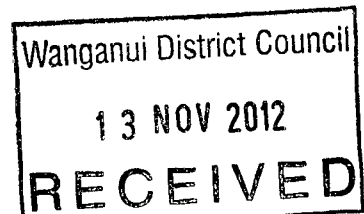
ISSUED BY: emc2 limited
(Design Firm)

TO: Brett Stevenson
(Owner/Developer)

TO BE SUPPLIED TO: Wanganui District Council
(Territorial Authority)

IN RESPECT OF: 6 mWide x 9 mLong x
(Description of Building Work)

2.7 mHigh Enclosed Building
for Region A7 Terrain Cat 3



AT: 47 Moana Street, Wanganui
(Address)

LOT DPS **SO**

We have been engaged by the owner/developer referred to above to provide

structural design
(Extent of Engagement)

services in respect of the requirements of

Clause(s) **B1**

of the Building Code for

- ☒ All or ☐ Part only
- Refer attached emc2 limited Member Schedule dated 8/11/2012
Refer to KiwiSpanNZ plan sheets & builders schedule (attached).
Loadings are to AS/NZS 1170 in accordance with clauses 1.1 & 2.1 of Verification Method B1/VM1.

The design carried out by us has been prepared in accordance with:

☒ Compliance Documents issued by Department of Building & Housing

verification method B1/VM1

(verification method /acceptable solutions)

or

☐ Alternative solution as per attached schedule

The proposed work covered by this producer statement is described on the drawings

prepared by **KiwiSpanNZ Limited**
titled **Steel Framed Building**

and numbered **SB03 F1 B2 B3 B5 B6 R1 S1**

together with the specification, and other documents set out in the schedule attached to this statement.

On behalf of this Design Firm, and subject to:

- (i) Site verification of the following design assumptions
(ii) All proprietary products meeting their performance specification requirements;

I believe on reasonable grounds the building, if constructed in accordance with the drawings, specifications, and other documents provided or listed in the attached schedule, will comply with the relevant provisions of the Building Code.

I, **Eric MacLeod**
(Name of Design Professional)

am: ☒ CPEng 165229 #

☐ Reg Arch

I am a Member of: ☒ IPENZ ☐ NZIA and hold the following qualifications

BE, MIPENZ, CPEng, INTPE
(Professional Qualifications)

The Design Firm issuing this statement holds a current policy of Professional Indemnity Insurance no less than \$200,000*.

The Design Firm is a member of ACENZ ☐ YES ☐ NO

SIGNED BY Eric MacLeod **ON BEHALF OF** emc2 limited
(Design Firm)

Date 8 November 2012 (Signature)

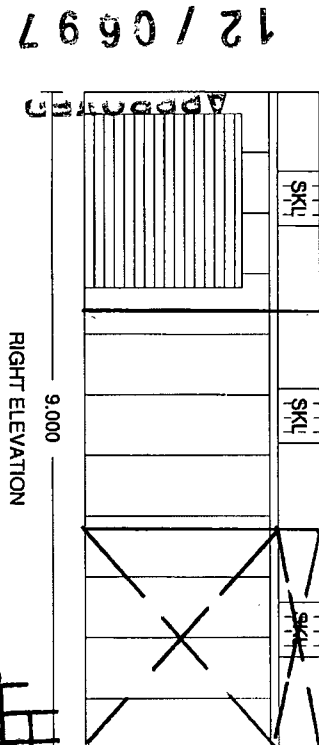
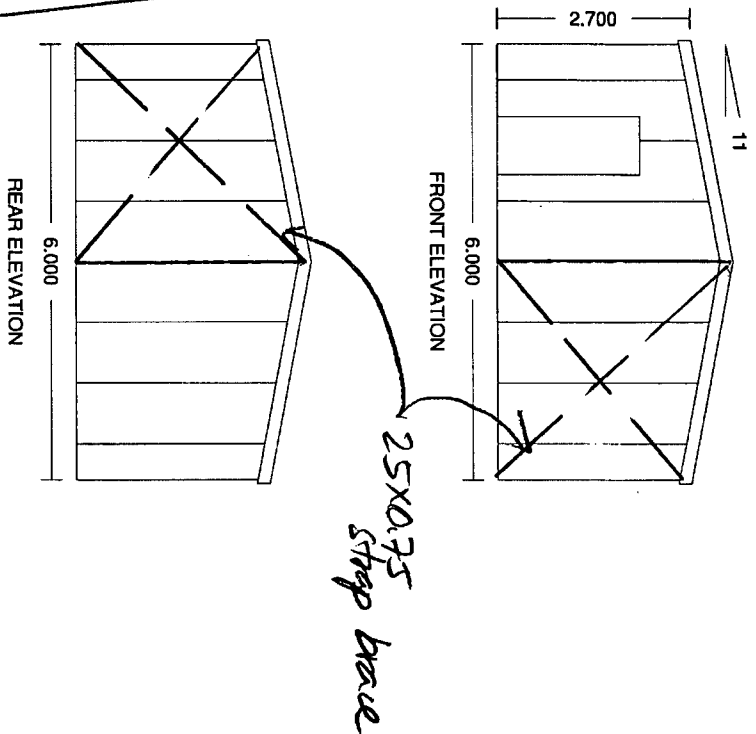
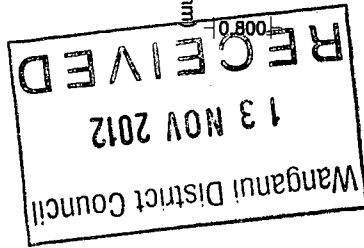
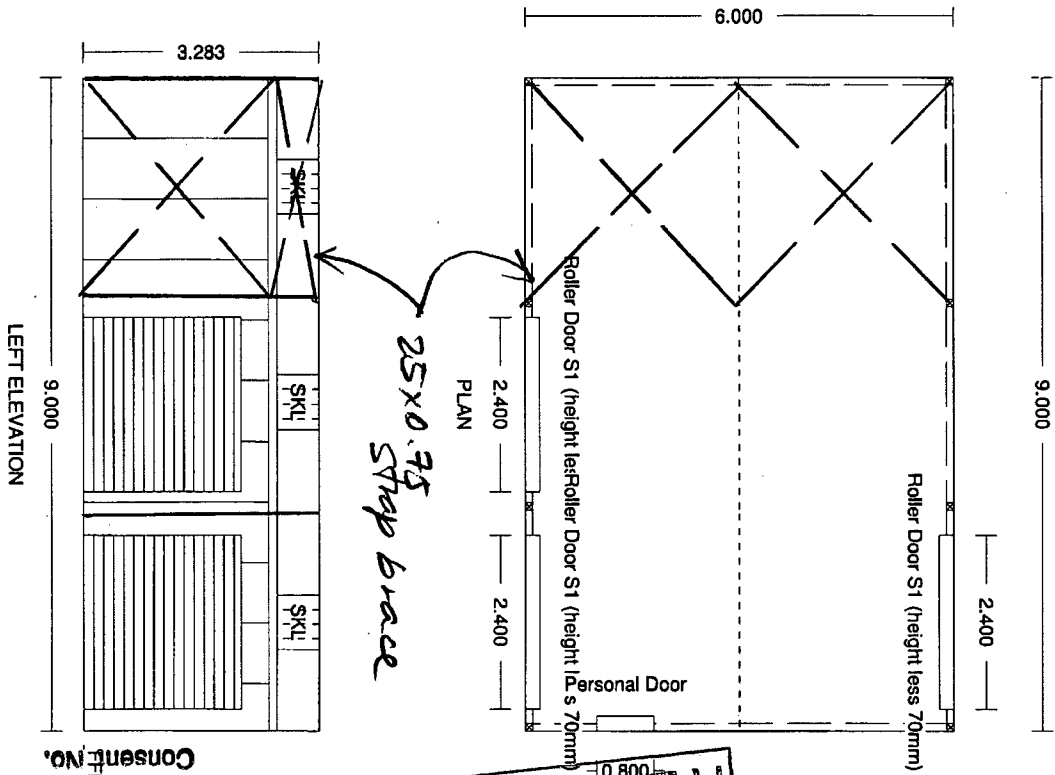
Note: This statement shall only be relied upon by the Building Consent Authority named above. Liability under this statement accrues to the Design Firm only. The total maximum amount of damages payable arising from this statement and all other statements provided to the Building Consent Authority in relation to this building work, whether in contract, tort or otherwise (including negligence), is limited to the sum of \$200,000*.

This form to accompany Form 2 of the Building (Forms) Regulations 2004 for the application of a Building Consent

Member Schedule

Location	Member	@
Building		
Internal Portals (Clear Span)	C150/12 HST	3 metre centres
Knee Brace	none	
Apex Brace	none	
End (Clad) Frame Portals	C150/12 HST	
Eaves Purlins	C150/12 HST	
Purlins	60 x 0.75 tophat lapped	1 metre centres max.
Girts	60 x 0.75 tophat lapped	1.35 metre centres max.
End Wall Mullions	C100/19 HST	1 each end frame
Roller Door Columns End	none	
Roller Door Columns Side	C150/12 HST	
Roof Bracing	25 x 0.75 (G550) strap bracing	1 bay
Side Wall Bracing	25 x 0.75 (G550) strap bracing	2 total braces
End Wall Bracing	25 x 0.75 (G550) strap bracing	1 no. of braces at end wall
Internal Portal Footings	0.3 x 0.3 x 0.5 deep	square
End (Clad) Frame Portal Ftgs	0.3 x 0.3 x 1.0 deep	square
End Wall Mullion Footings	0.3 x 0.3 x 0.3 deep	square
Side R/D Column Ftgs	0.3 x 0.3 x 0.3 deep	square
Slab	100 thick	

Wanganui District Council
13 NOV 2012
RECEIVED



Consent No.

12 / 06 97

emco
 structural & civil engineering
 da. mpenz. peng. mbe

PROPOSED 6.000x9.000x2.700 Med Wind	
At Moana Street, Wanagnui	
For Brett Stevens	
Wall Colour - Colorsteel Endura	Roof colour - Colorsteel Endura
Barge Colour - Titania	Roller Door Colour - Titania
Job No JaNZS161011164331 Quote No QaNZS16101116442241 scale 1:100	
All Work To Be In Accordance With Accompanying Engineers Details	

KiwiSpan Wanganui

M.D. Morris and Son Ltd
 136 Guyton Street, PO Box 337, Wanganui
 Phone: 06 348 0339
 Fax: 06 348 0336
 Mobile: 027 2437 078

Kiwispan Wanganui - Specification Sheet
M.D. Morris and Son Ltd

Client Details

Brett Stevenson
 Moana Street,
 Home: ., Work: .
 Ref No:

6/11/2012

Council:

6.000x9.000x2.700 Med Wind

Wind Rating: Med Wind

Length 9.000 Height 2.700

Width 6.000

Site

Moana Street,, Wanagnui, .

Wall color: Colorsteel Endura

Roof color: Colorsteel Endura

Barge color: Titania

Downpipe color: PVC

Roller door color: Titania

Gutter color: Titania

No	Description	Length	Qty	Color
1	K/Barns MUST HAVE LEAN-TOS ON BOTH SIDES		1	
+ Barn Window Note				
2	NO JAMBS OR FLASHINGS FOR BARN WINDOW		1	
+ Clading Type Chang				
3	If Clad Type or C Changed Check RD Corners		1	
+ END/WALL MULLION				
4	If R/D in Gable End Check Mullions 10m+Span		3	
+ KiwiSpan Dealer				
5	KiwiSpan Agent		1	
+ Paper Coverage				
6	NOTE; PAPER NOT ADDED TO LEAN-TO's		1	
+ Roller Door A3 Sht				
7	Roller Door A3 R103 C150 Max 2.7 Eave		3	
8	Roller Door A3 R103 C150 Max 2.7 Eave KiwiBa		3	
+ Strap Brace A3 Sht				
9	Strap Brace A3 S101 25mm Single Row		8	
+ Strap Brace Note				
10	\Lenght By 30 or 100= Qty S/Bracing Rolls***		1	
+For B&D Orders Only				
11	NOT TO BE USED AS AN ORDER FROM		3	
12	C CONTRACT FOR CORRECT SIZE 2 ORDER		3	
+Ridge & Gutter Note				
13	Check Ridge & Gutter Lenghts*****		1	
Barge Flashing				
14	B1 Std Barge CB (60/100 T/H) Girth:400	3.4100	4	Titania
Barge Flashing Fast				
15	10G 16TPI x 16mm Hex Tek, Seal & Paint		88	Titania
Corner Fasteners				
16	Aluminum Rivets Painted 73 AS 4-4		36	Titania
Corner Flashing				
17	C1 Corner 50x50 3 Bend CB Girth:198	2.8000	4	Titania
Door Parts				
18	2.2h x up to 2.40w (DLO) Roller Door S1 CB	2.4000	3	Titania
Door Roller Base Cle				
19	C100 Hold Down Bracket		6	
Door Roller BaseFast				
20	12mm Dia x 80 Galv Thru Bolt		6	
21	M12 x 30 Flanged Purlin Bolt & Nut		6	
Door Roller Column				
22	C15012 Punched (14mm Holes)	2.7000	6	
Door Roller Corner F				

emco limited
 structural & civil engineering
 ge, mipenz, cpeng, intae

Wanganui District Council
 13 NOV 2012
RECEIVED

APPROVED

12 / 06 9 7

Consent No.

No	Description	Length	Qty	Color
23	Aluminum Rivets Painted 73 AS 4-4		54	Titania
24	C4 R/D Corner 2.7 Eave CB Girth: 179	2.5000	6	Titania

Door Roller Freight

25	Freight S1 Roller Door		3	
----	------------------------	--	---	--

Door Roller Girt Bra

26	60mm Angle Bracket		18	
----	--------------------	--	----	--

Door Roller GirtFast

27	14G 14TPI x 20mm Hex Framing Screw (Custom)		60	
----	---	--	----	--

Door Roller Head Bra

28	100/120mm Angle Bracket		6	
----	-------------------------	--	---	--

Door Roller Head Fla

29	H3 R/D Header 20mm Rib CB Girth: 150	2.8500	3	Titania
----	--------------------------------------	--------	---	---------

Door Roller HeadFast

30	M12 x 30 Flanged Purlin Bolt & Nut		12	
----	------------------------------------	--	----	--

31	14G 14TPI x 20mm Hex Framing Screw (Custom)		36	
----	---	--	----	--

Door Roller Header

32	C15012 Unpunched	2.3950	3	
----	------------------	--------	---	--

Door Roller Parts

33	Tracks, Fitting Bag 4 Steel Frame (S1)		3	
----	--	--	---	--

Door Roller Top Brac

34	C150 Universal Bracket		6	
----	------------------------	--	---	--

Door Roller Top Fast

35	M12 x 30 Flanged Purlin Bolt & Nut		12	
----	------------------------------------	--	----	--

36	14G 14TPI x 20mm Hex Framing Screw (Custom)		36	
----	---	--	----	--

Eave Purlin Fastener

37	14G 14TPI x 20mm Hex Framing Screw (Custom)		36	
----	---	--	----	--

Eaves Girts

38	C15012 Unpunched	3.0000	6	
----	------------------	--------	---	--

End Wall Girt Brkt

39	60mm Angle Bracket		8	
----	--------------------	--	---	--

End Wall Girt Brkt F

40	14G 14TPI x 20mm Hex Framing Screw (Custom)		40	
----	---	--	----	--

End Wall Girts

41	60x0.75 Top Hat	3.2400	8	
----	-----------------	--------	---	--

End Wall Sheets

42	Trimklad 0.4 BMT CB (12mm)	3.0100	8	Colorsteel End
----	----------------------------	--------	---	----------------

43	Trimklad 0.4 BMT CB (12mm)	3.1700	8	Colorsteel End
----	----------------------------	--------	---	----------------

44	Trimklad 0.4 BMT CB (12mm)	3.3400	8	Colorsteel End
----	----------------------------	--------	---	----------------

45	Trimklad 0.4 BMT CB (12mm)	3.4300	8	Colorsteel End
----	----------------------------	--------	---	----------------

Gutter

46	Down Pipe 80mm 3.0m	2.4000	4	
----	---------------------	--------	---	--

47	Customline Gutter CB	6.0000	4	Titania
----	----------------------	--------	---	---------

Gutter Bracket Faste

48	10G 16TPI x 16mm Wafer Tek C3 Galv		78	
----	------------------------------------	--	----	--

Gutter Brackets

49	Customline Gutter Concealed Bracket		26	
----	-------------------------------------	--	----	--

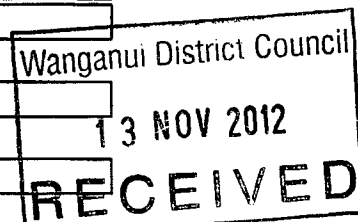
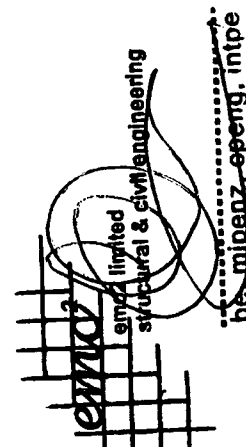
Gutter Clip Fast

50	Aluminum Rivets 73 AS 6-6		10	
----	---------------------------	--	----	--

Gutter DownPipe Clip

51	Down Pipe Saddle 80mm		4	
----	-----------------------	--	---	--

Gutter DownPipe Drop

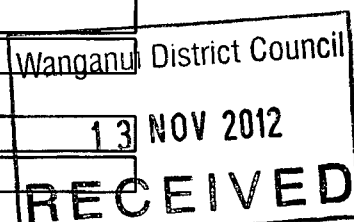
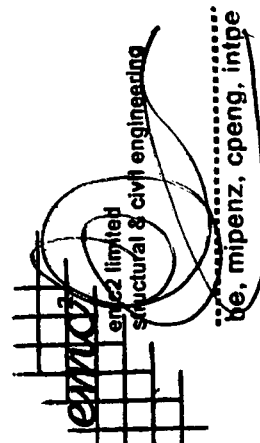


APPROVED

12/06/97

Consent No.

No	Description	Length	Qty	Color
52	Down Pipe Dropper 75mm PVC		2	
Gutter Join Fastener				
53	Aluminum Rivets Painted 73 AS 4-4		26	Titania
Gutter S/End Fastener				
54	Aluminum Rivets Painted 73 AS 4-4		24	Titania
Gutter Stop End				
55	Customline Gutter Stop End LH - PVC		2	
56	Customline Gutter Stop End RH - PVC		2	
Mullion Base Bracket				
57	C100 Hold Down Bracket		2	
Mullion Base Fastener				
58	12mm Dia x 80 Galv Thru Bolt		4	
59	M12 x 30 Flanged Purlin Bolt & Nut		4	
Mullion End Wall				
60	C10019 Punched (14mm Holes)	3.2053	2	
Mullion Top Brackets				
61	C100 Universal Bracket		2	
Mullion Top Fasteners				
62	M12 x 30 Flanged Purlin Bolt & Nut		4	
63	14G 14TPI x 20mm Hex Framing Screw (Custom)		12	
PA Brackets				
64	60mm Angle Bracket		2	
65	Folded Jamb Hold Down Bracket		2	
PA Door				
66	Personal Door Colour		1	Titania
PA Fasteners				
67	12mm Dia x 80 Galv Thru Bolt		2	
68	14G 14TPI x 20mm Hex Framing Screw (Custom)		20	
69	12G 14TPI x 45mm Hex Tek, Seal & Paint		10	Titania
PA Header				
70	J1 For 60mm Top Hat x 1.55mm	1.0000	1	
PA Jamb				
71	J1 For 60mm Top Hat x 1.55mm	2.7000	2	
PS1 Fee				
72	PS1 Fee (Eric Macleod)		1	
Packing Sheet				
73	Packing Sheet 4 Underside of Wall Cladding	2.0000	1	
Portal Apex Brackets				
74	Apex Bracket C150 @ 11deg		4	
Portal Apex Fastener				
75	M12 x 30 Flanged Purlin Bolt & Nut		32	
Portal Base Cleat Fa				
76	12mm Dia x 80 Galv Thru Bolt		16	
77	M12 x 30 Flanged Purlin Bolt & Nut		16	
Portal Base Cleats				
78	C150 Hold Down Bracket		8	
Portal Columns				
79	C15012 Punched (14mm Holes)	2.7000	8	
Portal Haunch Bracke				
80	Haunch Bracket C150 @ 11deg Left		4	
81	Haunch Bracket C150 @ 11deg Right		4	

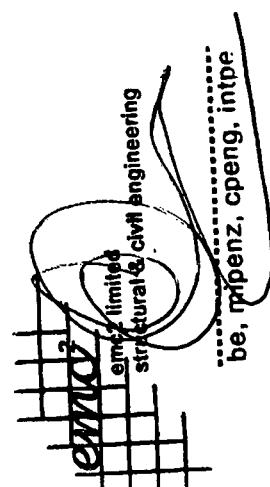
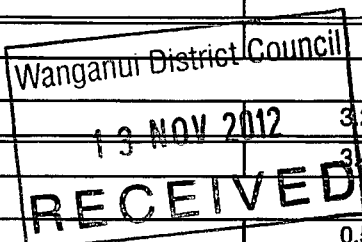


APPROVED

12 / 06 9 7

Consent No.

No	Description	Length	Qty	Color
Portal Haunch Fasten				
82	M12 x 30 Flanged Purlin Bolt & Nut		40	
Portal Rafters				
83	C15012 Punched (14mm Holes)	2.8056	8	
Ridge Cap				
84	R1 Ridge Cap Flashguard all deg CB	6.0000	4	Colorsteel End
Roof PurlinFastening				
85	14G 14TPI x 20mm Hex Framing Screw (Custom)		180	
Roof Purlins				
86	60x0.75 Top Hat	3.2260	12	
87	60x0.75 Top Hat	3.4500	6	
Roof Sheet Fasteners				
88	12G 14TPI x 45mm Hex Tek, Seal & Paint		922	Colorsteel End
Roof Sheets				
89	Custom Orb 0.4 BMT CB	3.1300	36	Colorsteel End
Roof Underlay				
90	Wytex 369 75m2 Roll		2	
91	Netting 75mm 100m2 Roll		1	
Side Wall Girts				
92	60x0.75 Top Hat	3.2260	8	
93	60x0.75 Top Hat	3.4500	4	
Side Wall Sheets				
94	Trimklad 0.4 BMT CB (12mm)	0.5000	12	Colorsteel End
95	Trimklad 0.4 BMT CB (12mm)	2.7500	38	Colorsteel End
Side/End Wall Girt F				
96	14G 14TPI x 20mm Hex Framing Screw (Custom)		360	
Side/End Wall Sheet				
97	10G 16TPI x 16mm Hex Tek, Seal & Paint		1508	Colorsteel End
Silicone				
98	Neutral Cure Silicone		1	
Skylight				
99	Topglass Standard (Custom Orb) (Opal) 2400g	3.1300	6	
Skylight Roof Tek				
100	12G 14TPI x 45mm Hex Tek, Seal & Paint		230	Colorsteel End
Skylight Roof Washer				
101	Dome Washer (for ClearLite Sheets)		115	
Skylight S/L Fast				
102	12g 11TPI x25mmTek, Seal &Paint (C/L SideLap		96	Colorsteel End
Skylight S/L Wash				
103	Dome Washer (for ClearLite Sheets)		48	
Skylight Stop End				
104	Translucent Stop End - Coro - Girth: 88		6	
Strap Brace				
105	Strap Brace 25mm Tensioners		8	
Strap Bracing				
106	Strap Brace 25mm x 30m Roll	60.0000	1	
Strap Bracing Note				
107	\Lenght By 30 or 100= Qty S/Bracing Rolls***		8	
Strap Fasteners				
108	14G 14TPI x 20mm Hex Framing Screw (Custom)		80	
Trimklad Pallet				

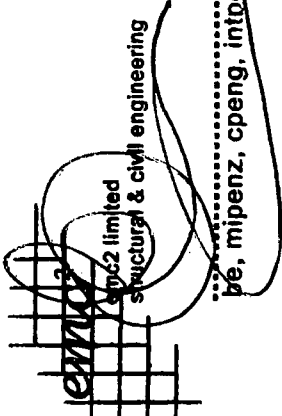


APPROVED

12 / 06 97

Consent No.

No	Description	Length	Qty	Color
109	Pallet for Trimclad		1	



 EMD2 limited
 structural & civil engineering
 be, mipenz, cpeng, intoe

APPROVED

12 / 06 97

Wanganui District Council
 13 NOV 2012
 RECEIVED

Consent No.

GUIDANCE ON USE OF PRODUCER STATEMENTS

Producer statements were first introduced with the Building Act 1992. The producer statements were developed by a combined task committee consisting of members of the New Zealand Institute of Architects, Institution of Professional Engineers New Zealand, Association of Consulting Engineers New Zealand in consultation with the Building Officials Institute of New Zealand. The original suite of producer statements has been revised at the date of this form as a result of enactment of the Building Act (2004) by these organisations to ensure standard use within the industry.

The producer statement system is intended to provide Building Consent Authorities (BCAs) with reasonable grounds for the issue of a Building Consent or a Code Compliance Certificate, without having to duplicate design or construction checking undertaken by others.

PS1 Design	Intended for use by a suitably qualified independent design professional in circumstances where the BCA accepts a producer statement for establishing reasonable grounds to issue a Building Consent;
PS2 Design Review	Intended for use by a suitably qualified independent design professional where the BCA accepts an independent design professional's review as the basis for establishing reasonable grounds to issue a Building Consent;
PS3 Construction	Forms commonly used as a certificate of completion of building work are Schedule 6 of NZS 3910:2003 ¹ or Schedules E1/E2 of NZIA's SCC 2007 ²
PS4 Construction Review	Intended for use by a suitably qualified independent design professional who undertakes construction monitoring of the building works where the BCA requests a producer statement prior to issuing a Code Compliance Certificate.

This must be accompanied by a statement of completion of building work (Schedule 6).

The following guidelines are provided by ACENZ, IPENZ and NZIA to interpret the Producer Statement.

Competence of Design Professional

This statement is made by a Design Firm that has undertaken a contract of services for the services named, and is signed by a person authorised by that firm to verify the processes within the firm and competence of its designers.

A competent design professional will have a professional qualification and proven current competence through registration on a national competence-based register, either as a Chartered Professional Engineer (CPEng) or a Registered Architect.

Membership of a professional body, such as the Institution of Professional Engineers New Zealand (IPENZ) or the New Zealand Institute of Architects (NZIA), provides additional assurance of the designer's standing within the profession. If the design firm is a member of the Association of Consulting Engineers New Zealand (ACENZ), this provides additional assurance about the standing of the firm.

Persons or firms meeting these criteria satisfy the term "suitably qualified independent design professional".

* Professional Indemnity Insurance

As part of membership requirements, ACENZ requires all member firms to hold Professional Indemnity Insurance to a minimum level.

The PI insurance minimum stated on the front of this form reflects standard, small projects. If the parties deem this inappropriate for large projects the minimum may be up to \$500,000.

Professional Services during Construction Phase

There are several levels of service which a Design Firm may provide during the construction phase of a project (CM1-CM5)³ (OL1-OL4)². The Building Consent Authority is encouraged to require that the service to be provided by the Design Firm is appropriate for the project concerned.

Requirement to provide Producer Statement PS4

Building Consent Authorities should ensure that the applicant is aware of any requirement for producer statements for the construction phase of building work at the time the building consent is issued as no design professional should be expected to provide a producer statement unless such a requirement forms part of the Design Firm's engagement.

Attached Particulars

Attached particulars referred to in this producer statement refer to supplementary information appended to the producer statement.

Refer Also:

- ¹ Conditions of Contract for Building & Civil Engineering Construction NZS 3910: 2003
- ² NZIA Standard Conditions of Contract SCC 2007 (1st edition)
- ³ Guideline on the Briefing & Engagement for Consulting Engineering Services (ACENZ/IPENZ 2004)



13.41m

Soakhole
1m off boundary +
1m off building.

1.2m

New Proposed
Kiwispun Garage

6m

9m

Consent No.

12 / 0697

APPROVED

existing
shed

Garage
to be
demolished

Existing
House

Driveway

Moana Street

Consent No.

12 / 0697

APPROVED

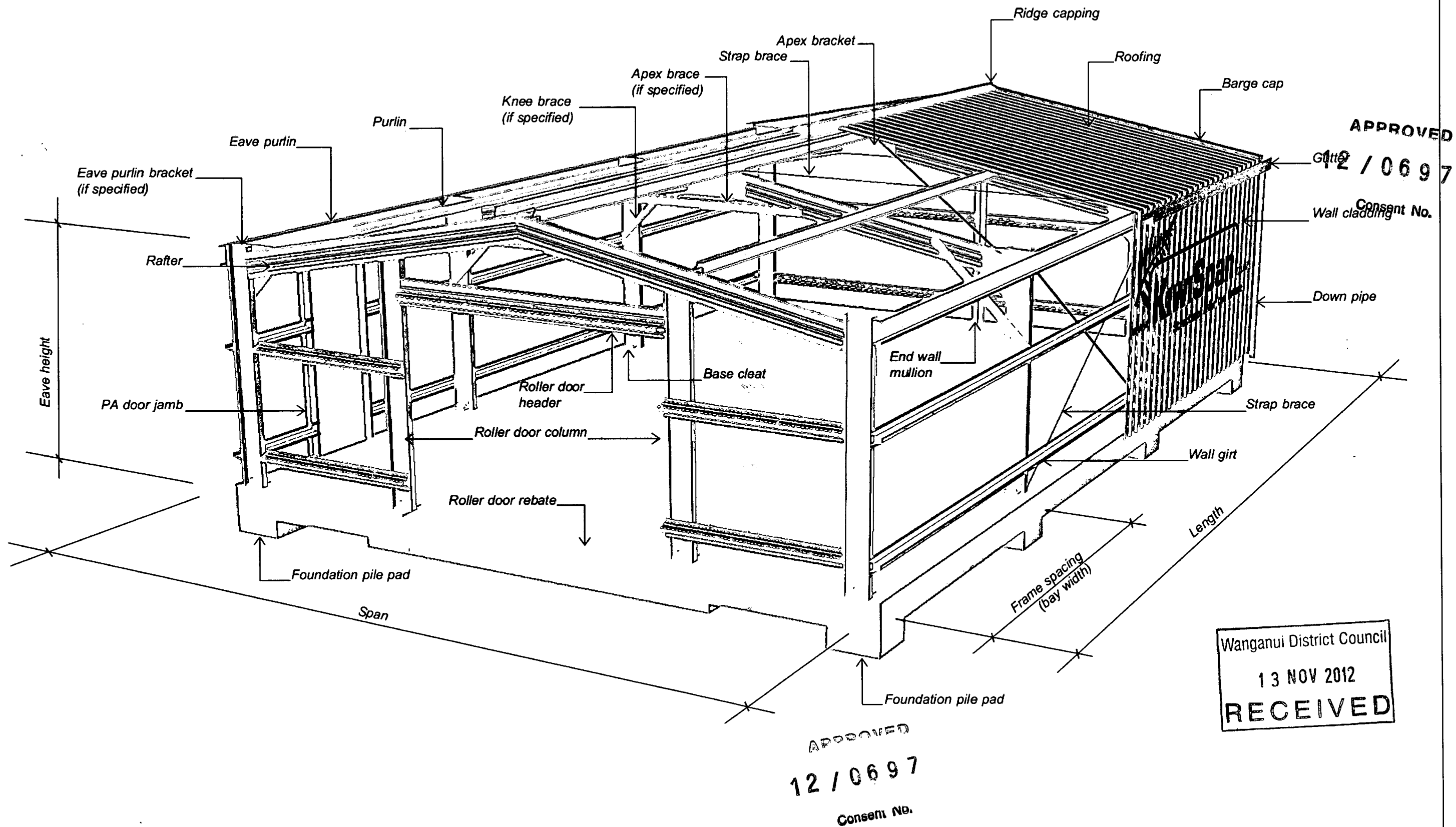
Wanganui District Council
13 NOV 2012
RECEIVED

Site + Drainage Plan for
New KiwiSpan Garage

Scale 1:100

Soak pit = 2 x 100 litre
drums + holes
Stones to be placed
around outside of drums

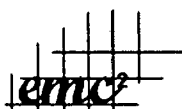
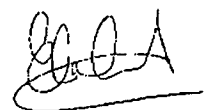
**APPROVED PLANS
TO BE KEPT ON-SITE**
THESE MUST BE AVAILABLE FOR
VIEWING AT ALL TIMES
No inspection will be made
without these documents. A further
inspection fee may be charged
if plans are unavailable.

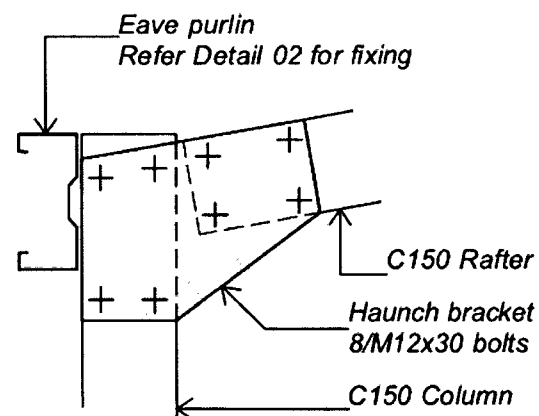


Diagrammatic only (not to scale)

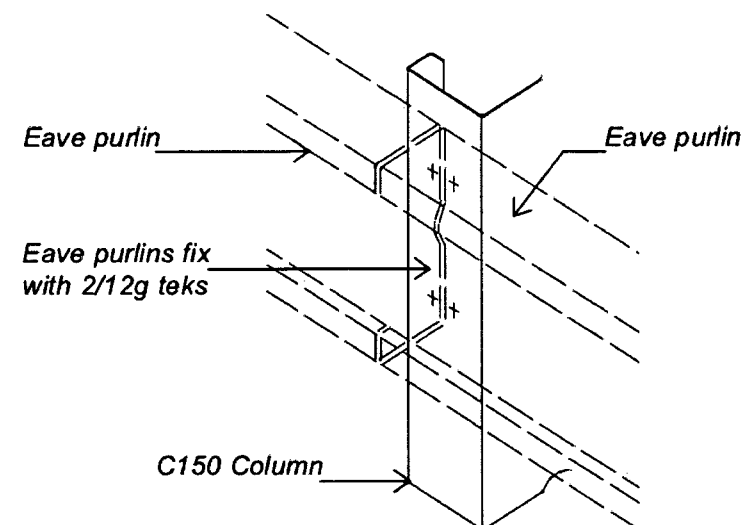
Wanganui District Council
13 NOV 2012
RECEIVED

© copyright KIWISPAN N.I. LTD

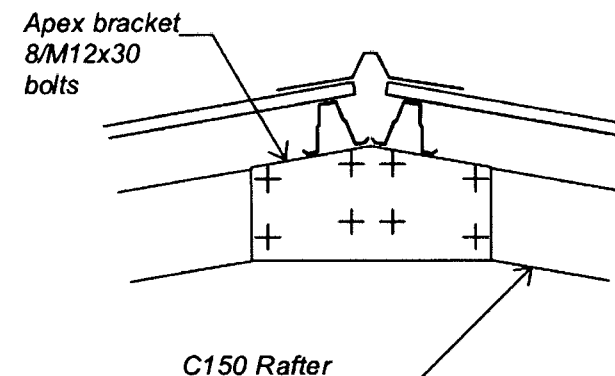
 emc* limited structural & civil engineering be, mipenz, cpeng, intpe 	file no. 281107 original size A3	MEMBER IDENTIFICATION Brett Stevenson 47 Moana Street, Wanganui	drawing no. SB 03 date: 12-11-2012 page no.	 www. KiwiSpan .co.nz Buildings for the future



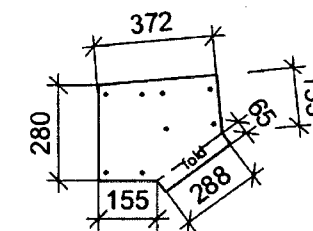
HAUNCH BRACKET (Detail 01)



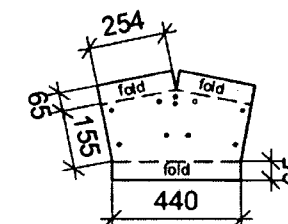
EAVE PURLIN CONNECTION (Detail 02)



APEX BRACKET (Detail 03)

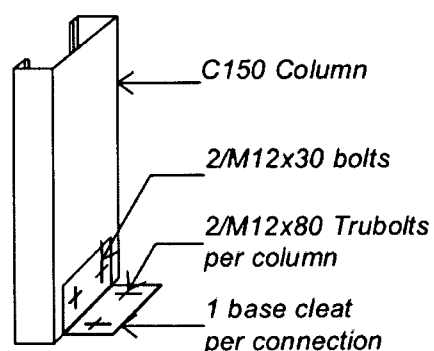
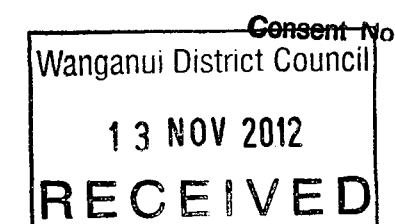


HAUNCH PLATE
C150
2.0mm Galvabond



APEX BRACKET
C150
2.0mm Galvabond

12 / 06 9 7



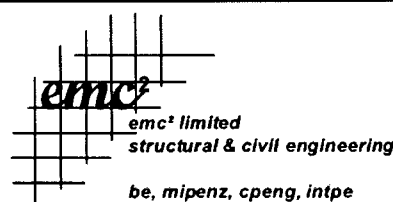
BASE CLEAT SINGLE COLUMN (Detail 07)

Member Schedule:	
Column	C150/12
Rafter	C150/12
Eave Purlin	C150/12
Girt	Refer Drawing No. B5
Purlin	Refer Drawing No. B6
Mullion	-
Knee Brace	-
Apex Brace	-

NOTES:

Cold formed C-sections shall comply with AS 4203:1992 & AS/NZS 1252:19996.
This design covers conditions up to very high wind with 1kpa snow loading.
Structure to be maintained in a stable condition and not to overstress any part during construction.
All dimensions are in millimeters unless otherwise stated.
Tek screws and bolts to be installed as per manufactures instructions. Bolts to be fully tensioned by snug tightening then fully tensioned another 1/3 turn rotation of nut.
Fly bracing fixed to closest girt/purlin from Eave Purlin, then every second row thereafter.
Roof and wall cladding to be fixed as per manufactures instructions.
Engineering responsibility only covers items shown in these drawings.

© copyright KIWISPAN N.I. LTD



[Signature]

file no.
B201

311007

original size
A3

BRACKET CONNECTIONS - C150
GABLE INTERNAL PORTAL FRAME (60mm GIRT)

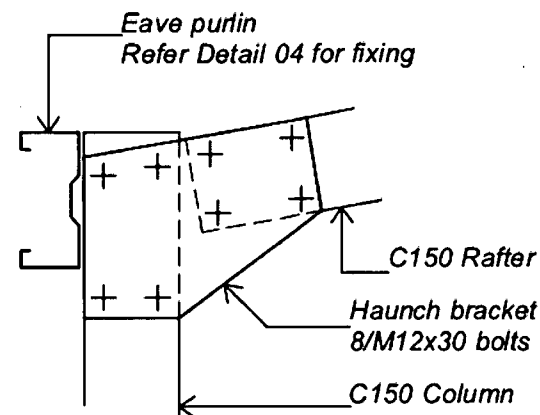
Brett Stevenson
47 Moana Street Wanganui

drawing no.
B2

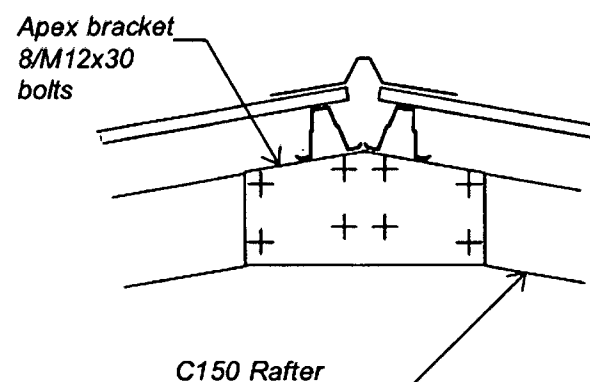
date: 12-11-2012

page no.

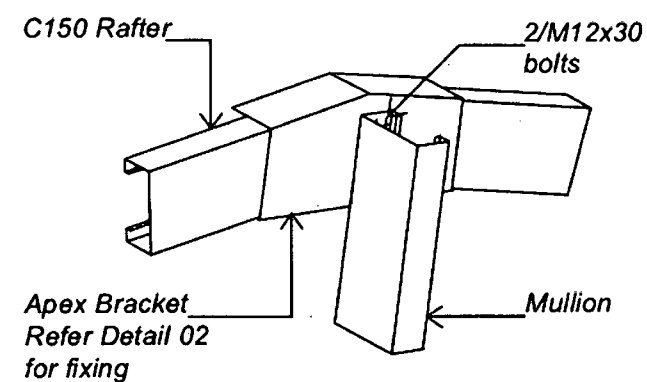




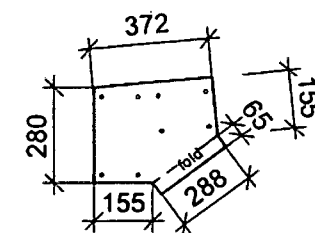
HAUNCH BRACKET (Detail 01)



APEX BRACKET (Detail 02)



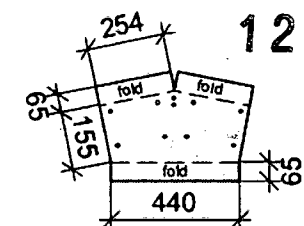
MULLION CONNECTION (Detail 03)



HAUNCH PLATE

C150
2.0mm Galvabond

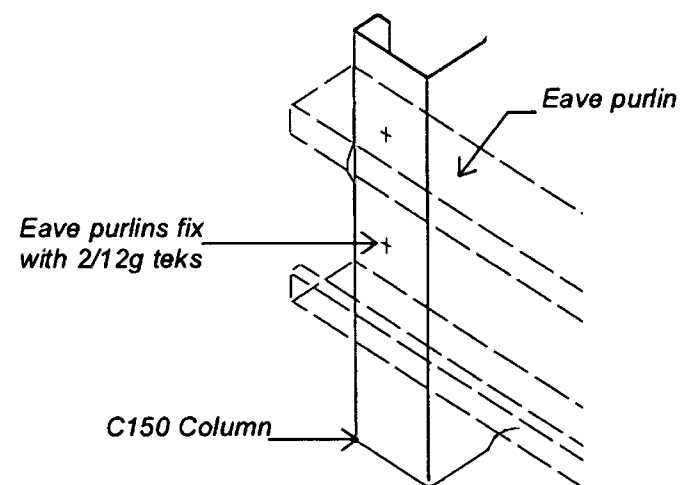
APPROVED



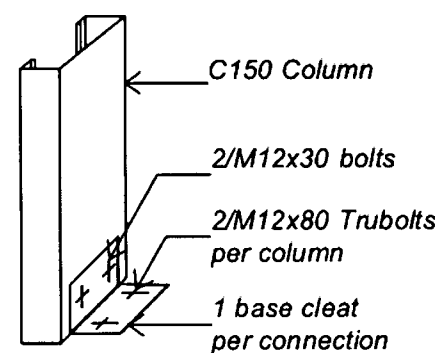
APEX BRACKET

C150
2.0mm Galvabond

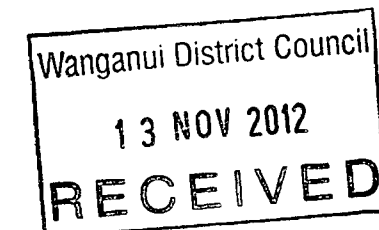
Consent No. 12/0697



EAVE PURLIN CONNECTION (Detail 04)



BASE CLEAT SINGLE COLUMN (Detail 06)



NOTES:

Cold formed C-sections shall comply with AS 4203:1992 & AS/NZS 1252:19996.

This design covers conditions up to very high wind with 1kpa snow loading.

Structure to be maintained in a stable condition and not to overstress any part during construction.

All dimensions are in millimeters unless otherwise stated. Tek screws and bolts to be installed as per manufactures instructions. Bolts to be fully tensioned by snug tightening then fully tensioned another 1/3 turn rotation of nut.

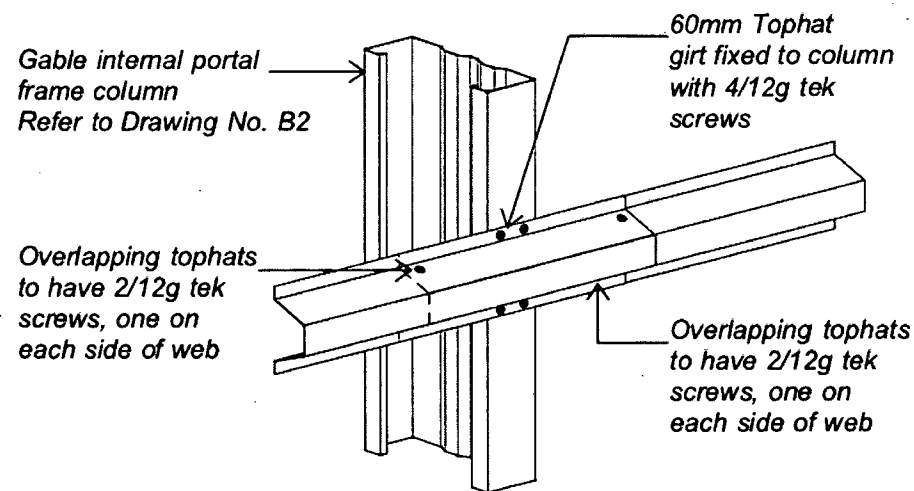
Fly bracing fixed to closest girt/purlin from Eave Purlin, then every second row thereafter.

Roof and wall cladding to be fixed as per manufactures instructions.

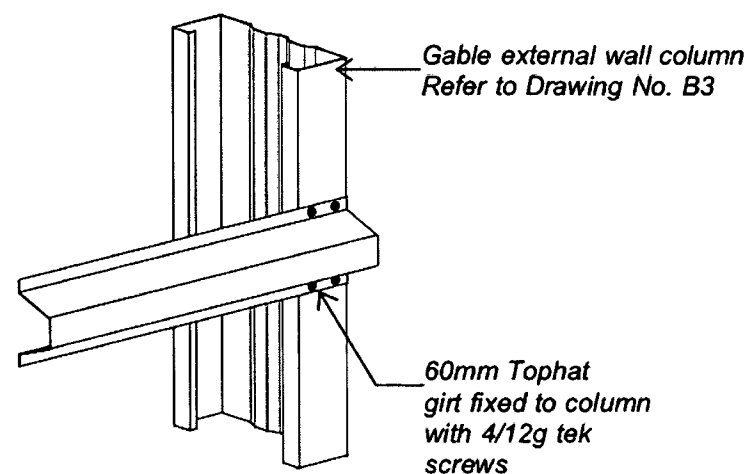
Engineering responsibility only covers items shown in these drawings.

© copyright KIWISPAN N.I. LTD

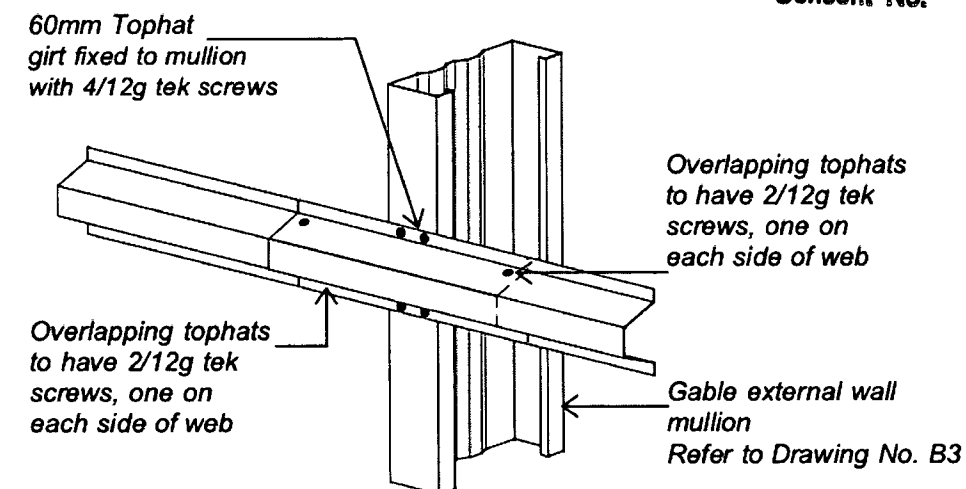
Member Schedule:	
Column	C150/12
Rafter	C150/12
Eave Purlin	C150/12
Girt	Refer Drawing No. B5
Purlin	Refer Drawing No. B6
Mullion	-



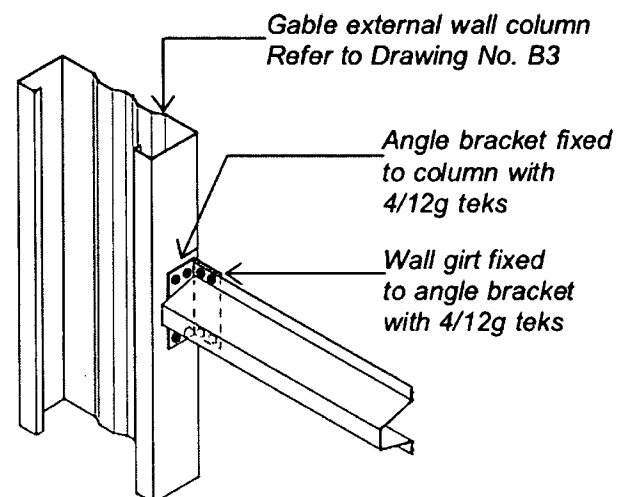
GABLE INTERNAL PORTAL FRAME COLUMN
(Detail 01)



GABLE EXTERNAL WALL COLUMN
(Detail 05)



GABLE EXTERNAL WALL MULLION (Detail 06)



GABLE EXTERNAL WALL COLUMN
(Detail 07)

APPROVED

12 / 06 97

Consent No.

Wanganui District Council
13 NOV 2012
RECEIVED

© copyright KIWISPAN N.I. LTD

60mm tophat purlin fixed
to rafter with 4/12g tek
screws spaced evenly

Overlapping tophats
to have 2/12g tek
screws, one on
each side of web

Overlapping tophats
to have 2/12g tek
screws, one on
each side of web

Gable internal portal
frame rafter
Refer to
Drawing No. B2

GABLE INTERNAL PORTAL FRAME RAFTER
(Detail 01)

60mm tophat purlin fixed
to rafter with 4/12g tek
screws spaced evenly

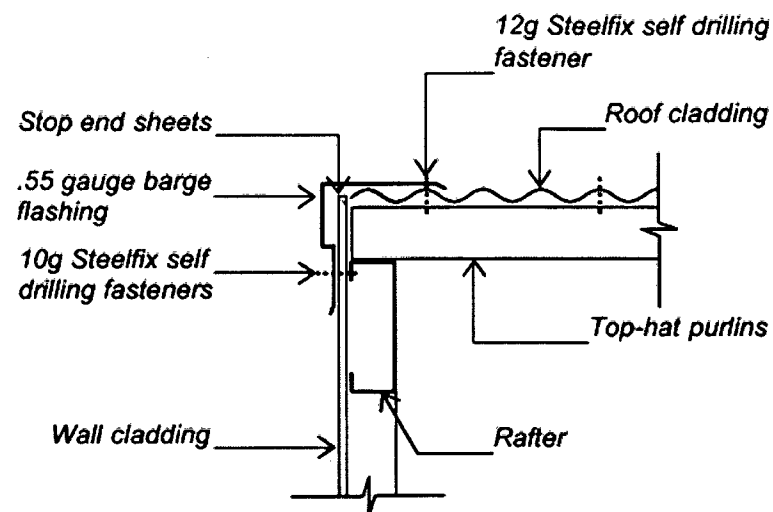
Gable external wall rafter
Refer to Drawing No. B3

GABLE EXTERNAL WALL RAFTER
(Detail 02)

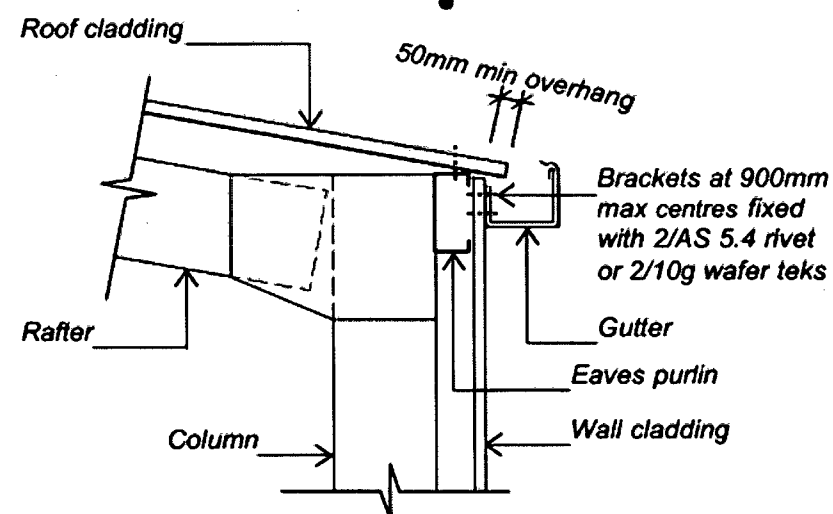
APPROVED
12 / 06 97
Consent No.

Wanganui District Council
13 NOV 2012
RECEIVED

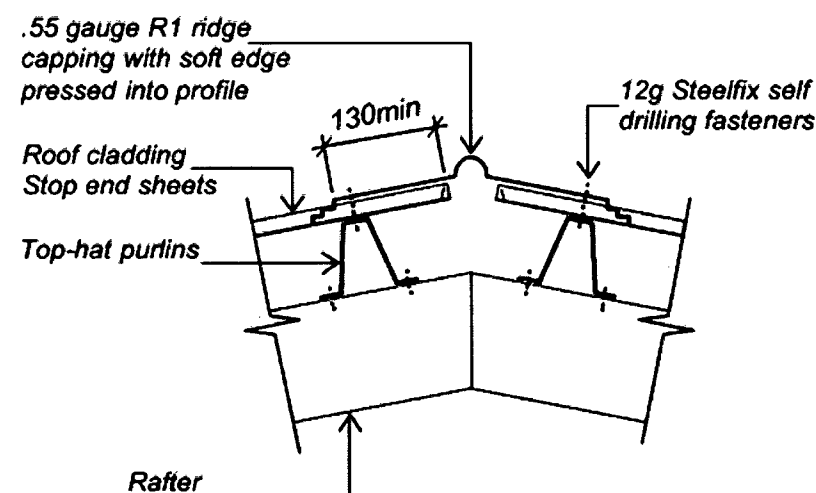
© copyright KIWISPAN N.I. LTD



BARGE FLASHING (Detail 01)



GUTTER VERGE (Detail 04)



Note:- 130min denotes flashing cover over roof cladding

RIDGE FLASHING (Detail 05)

APPROVED

12 / 06 97

Consent No.

Wanganui District Council
13 NOV 2012
RECEIVED



End of Sheet Fixing Pattern - 5 per sheet: every second corrugation



Mid Sheet Fixing Pattern - 3 per sheet: hit 1, miss 2, hit 1, miss 3, hit 1
Fixing - 12g Steelfix self drilling fasteners

ROOF SHEET FIXING - CUSTOM ORB



Fixing Pattern - In pan beside rib - 5 per sheet: every pan
Fixing - 10g Steelfix self drilling fasteners

WALL SHEET FIXING - TRIMKLAD

© copyright KIWISPAN N.I. LTD

file no.
B805

080312

original size
A3

FLASHING AND FIXING DETAILS - MEDIUM AND HIGH WIND ZONES

Brett Stevenson
47 Moana Street, Wanganui

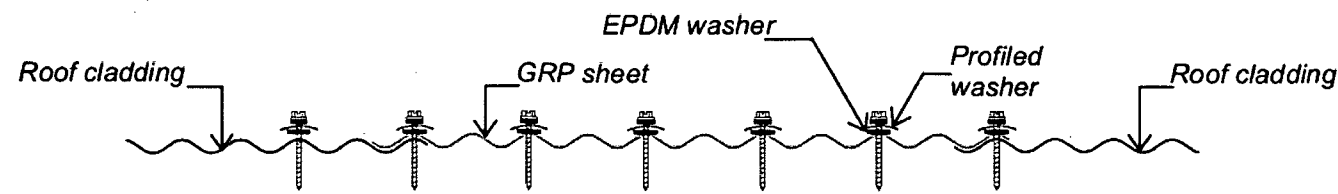
drawing no.
B8

date: 12-11-2012

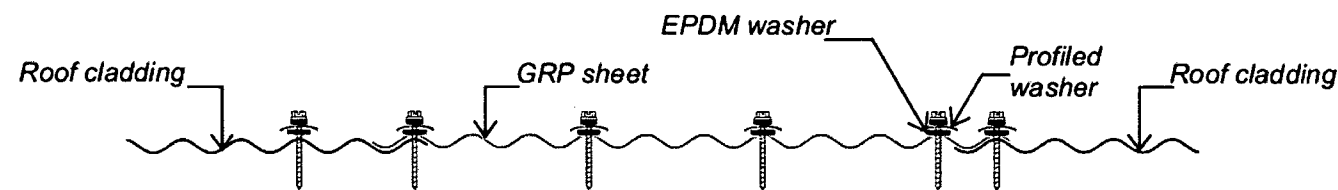
page no.



www. KiwiSpan .co.nz
Buildings for the future



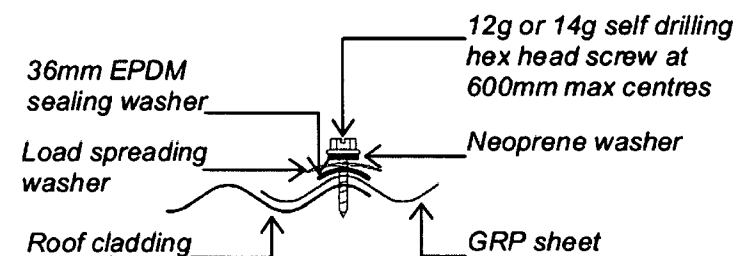
End Support Fixing and End Laps - Fix side laps and every 2nd corrugation



Internal Fixing - Fix side laps and every 3rd corrugation

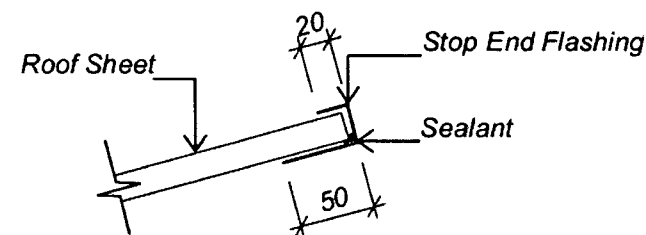
SECTION THRU ROOFING

Fastners for GPR translucent sheets as for main sheet fixing in conjunction with a loadspreading washer, over 36mm EPDM washer
Loadspreading Washer constructed of 0.95mm zinc/painted metal
Additional fixing to GRP/roofing sheet side laps - with stitching screws at 600mm max centres

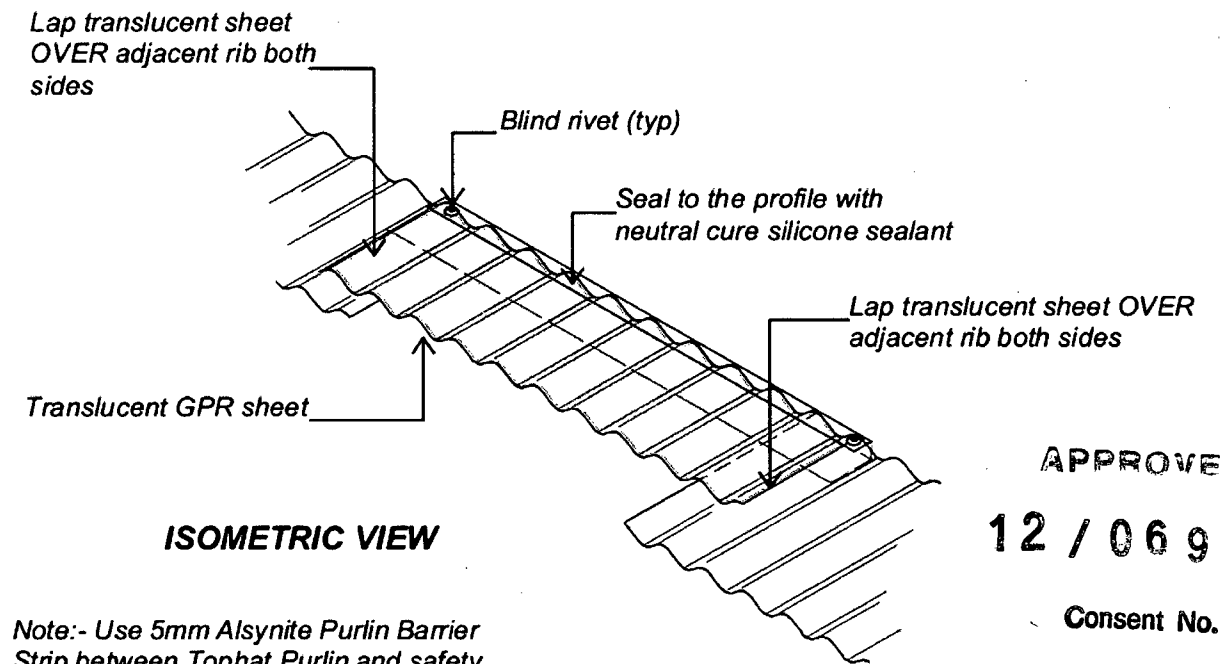


SIDE LAP FIXING - Stitch screw

Note:- Side laps to be fixed with stitching screws at a 600mm maximum centres



CROSS SECTION THRU STOP END FLASHING



ISOMETRIC VIEW

Note:- Use 5mm Alsynite Purlin Barrier Strip between Tophat Purlin and safety mesh

APPROVED

12 / 06 9 7

Consent No.



Predrilled Over Size Fastner Hole Sizes - In Translucent Sheets	
Sheets up to 6m	8mmØ hole
Sheets 6m to 9m	10mmØ hole
Sheets 9m to 12m	12mmØ hole
Sheets 12m to 18m	14mmØ hole

© copyright KIWISPAN N.I. LTD

file no.
B901

200509

original size
A3

TRANSLUCENT SHEET DETAILS - Custom Orb

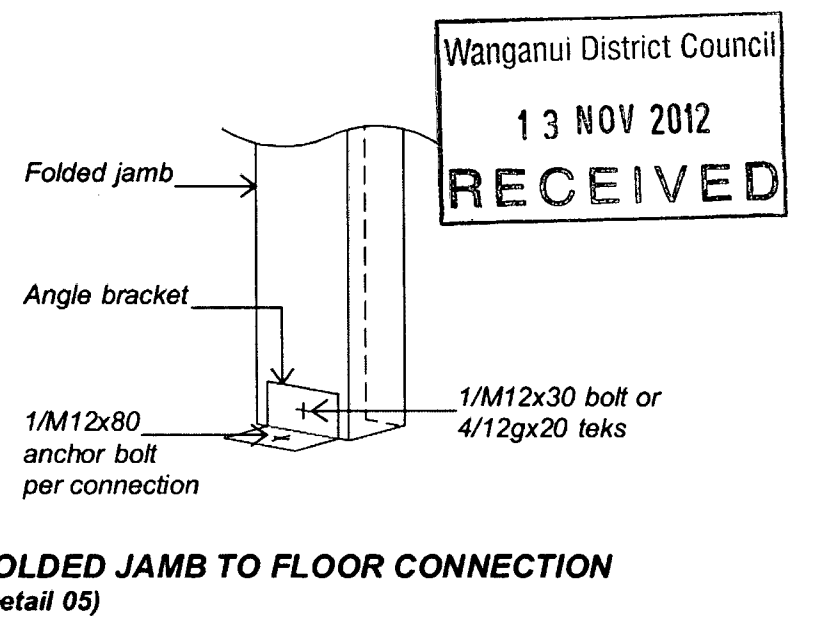
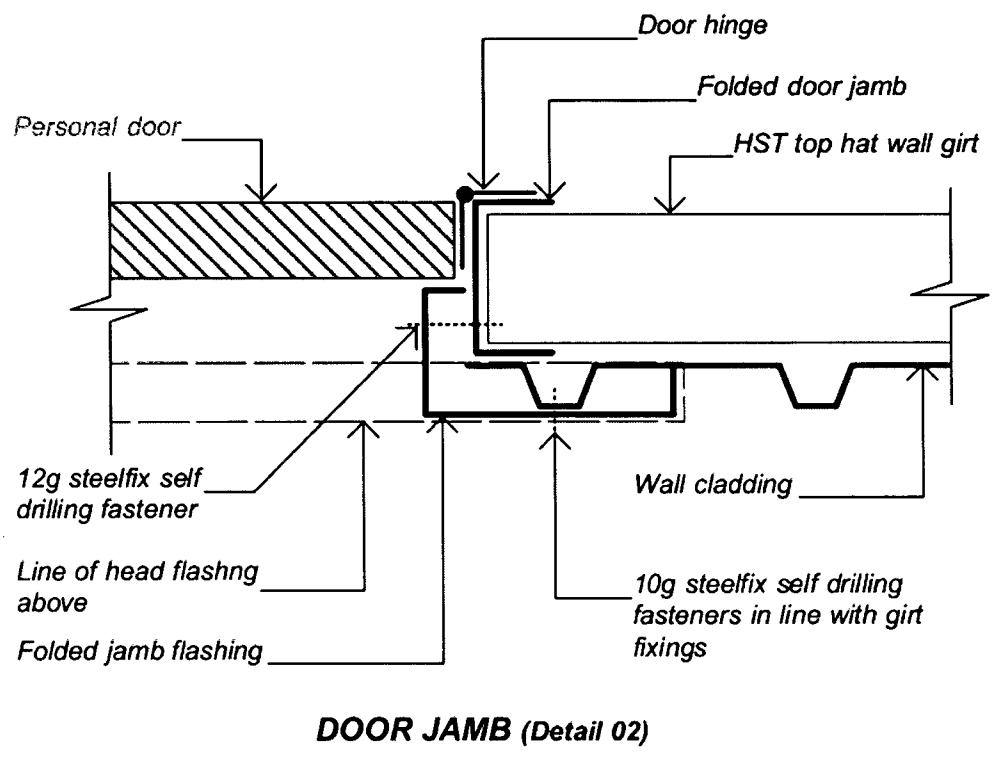
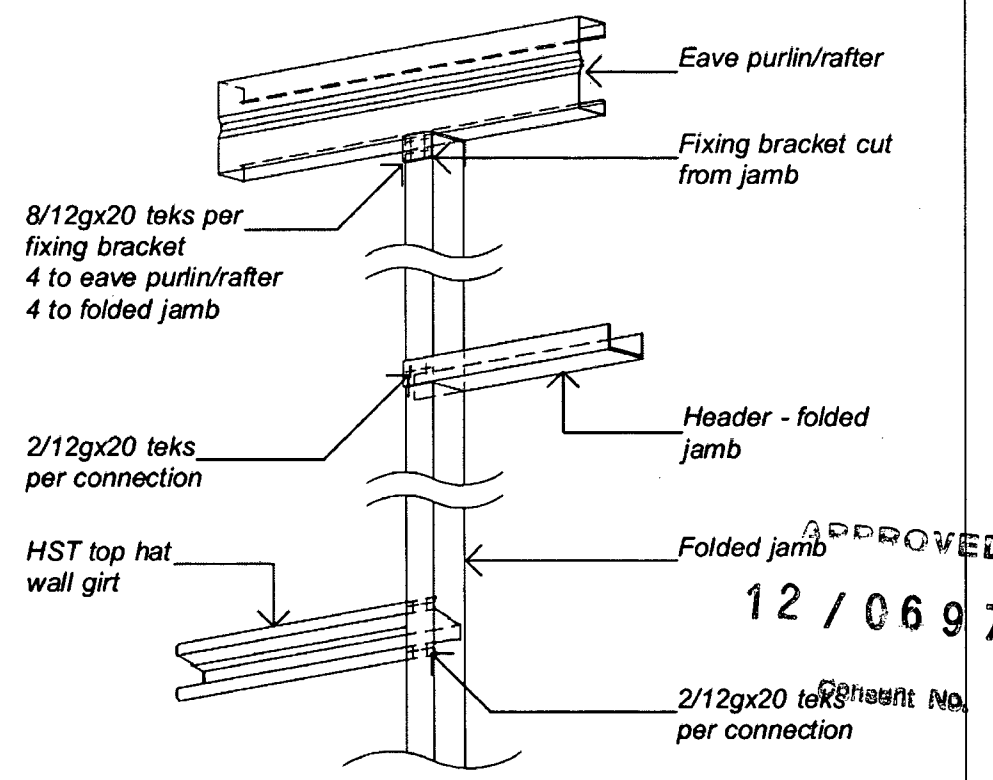
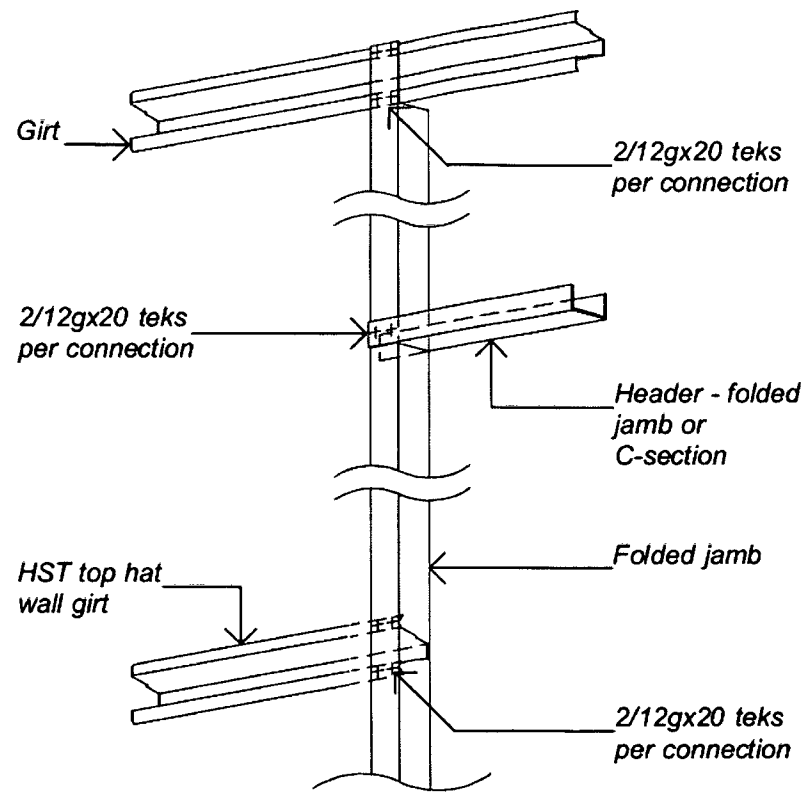
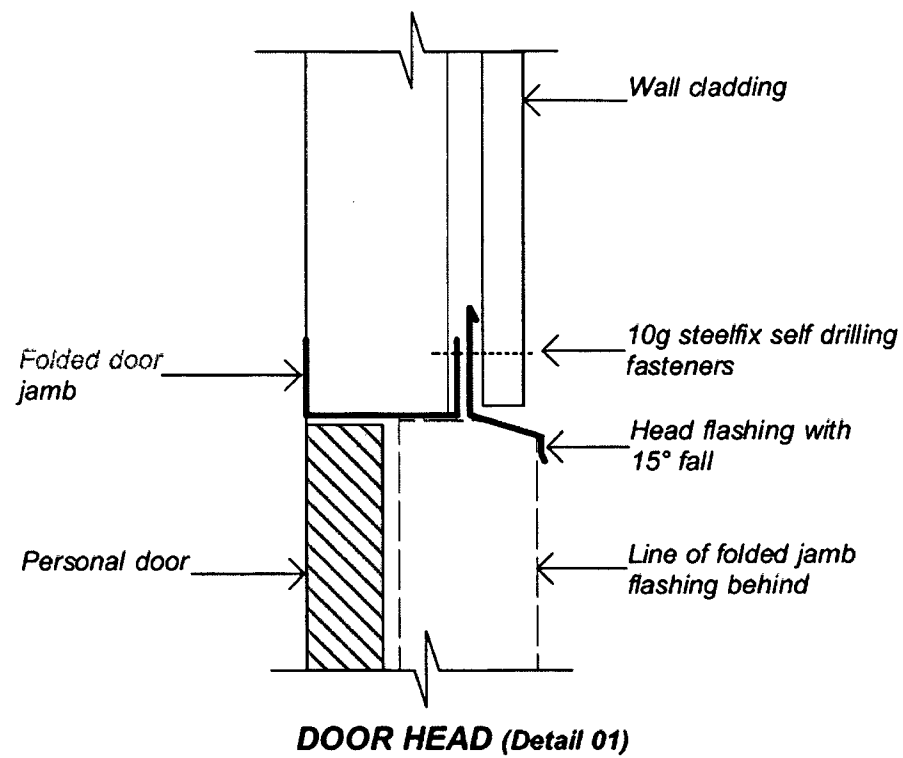
Brett Stevenson
47 Moana Street Wanganui

drawing no.
B9

date: 12-11-2012

page no.

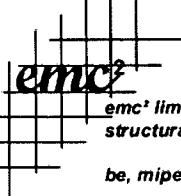
 **KiwiSpan**.co.nz
Buildings for the future

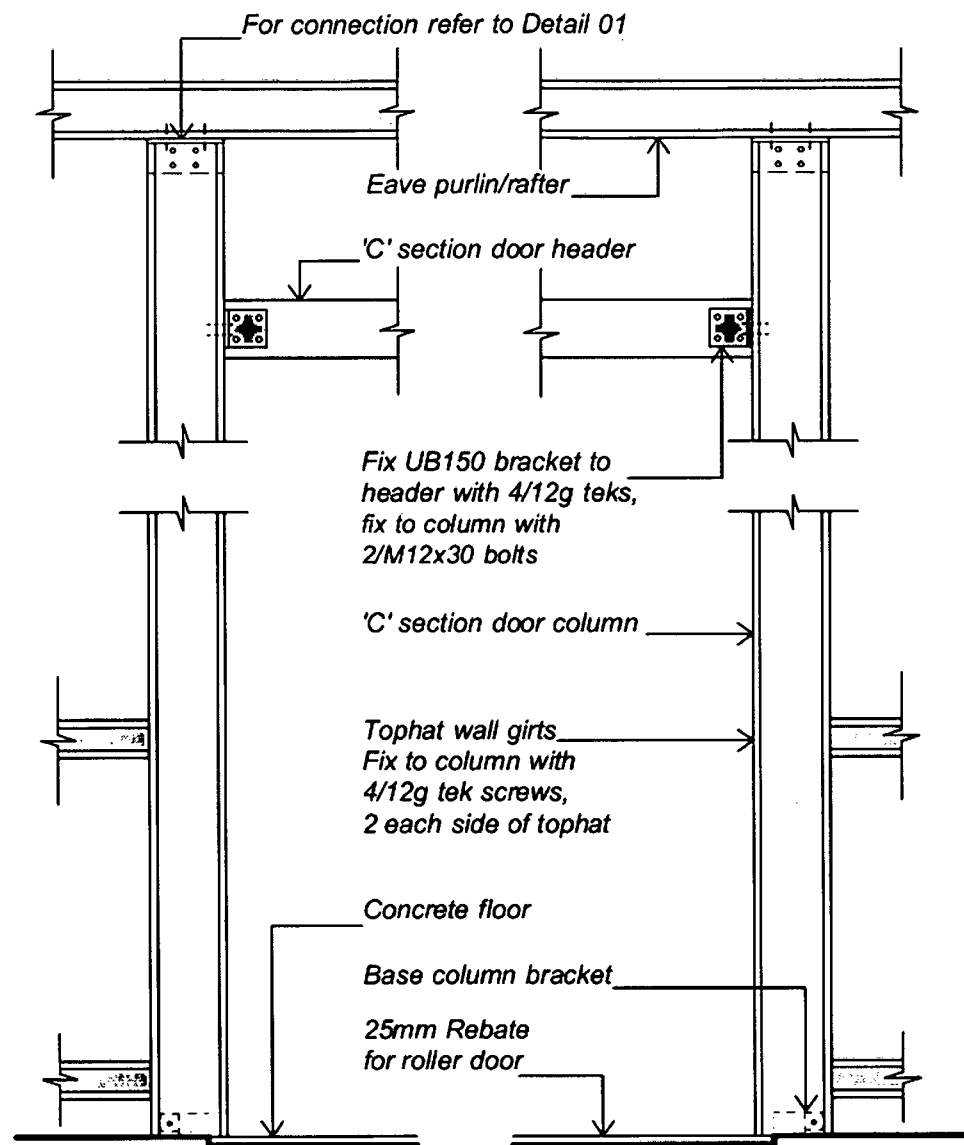


APPROVED
12 / 06 97
Consent No.

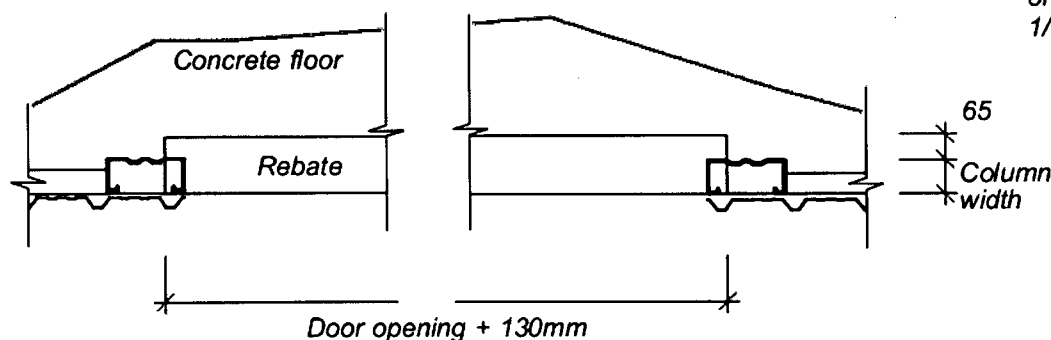
Wanganui District Council
13 NOV 2012
RECEIVED

© copyright KIWISPAN N.I. LTD

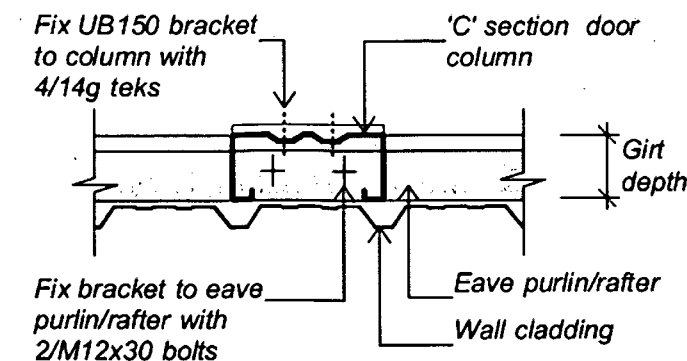
 emc² limited structural & civil engineering be, mipenz, cpeng, intpe	file no. D101 131107 original size A3	PA DOOR FLASHING AND FIXING DETAILS Brett Stevenson 47 Moana Street Wanganui	drawing no. D1 date: 12-11-2012 page no.	 www.KiwiSpan.co.nz Buildings for the future
--	---	---	--	--



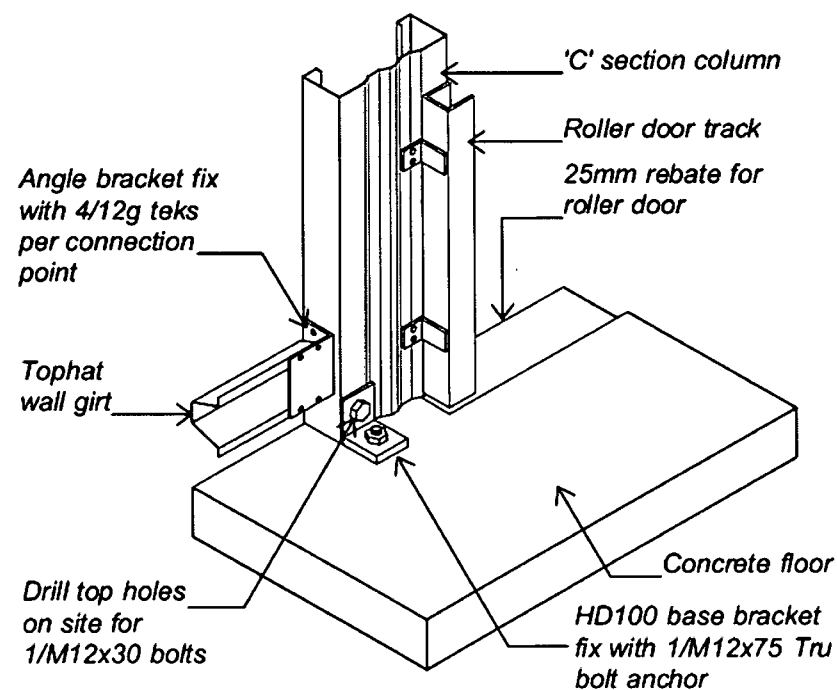
ELEVATION VIEW



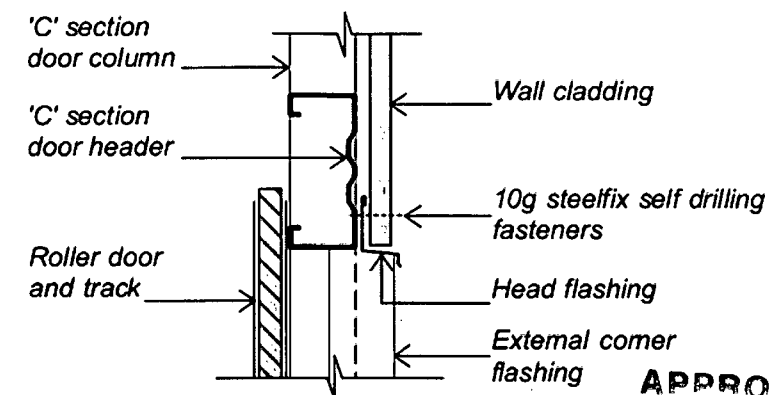
PLAN VIEW



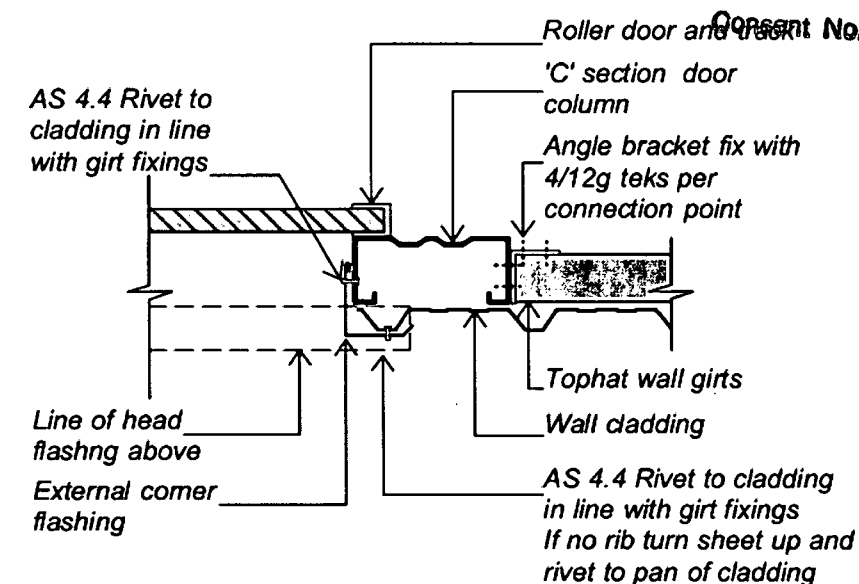
EAVE PURLIN/RAFTER FIXING (Detail 01)



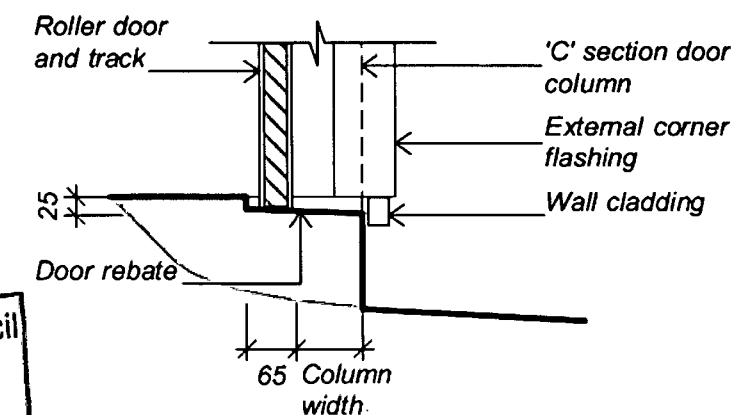
ROLLER DOOR BASE BRACKET (Detail 02)



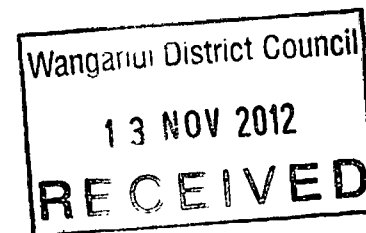
ROLLER DOOR HEAD (Detail 03)



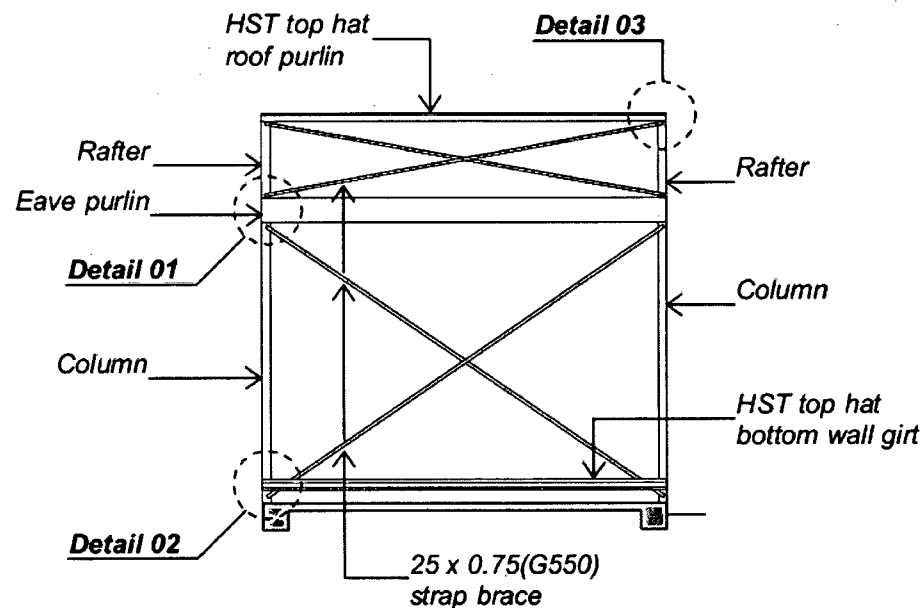
ROLLER DOOR JAMB (Detail 04)



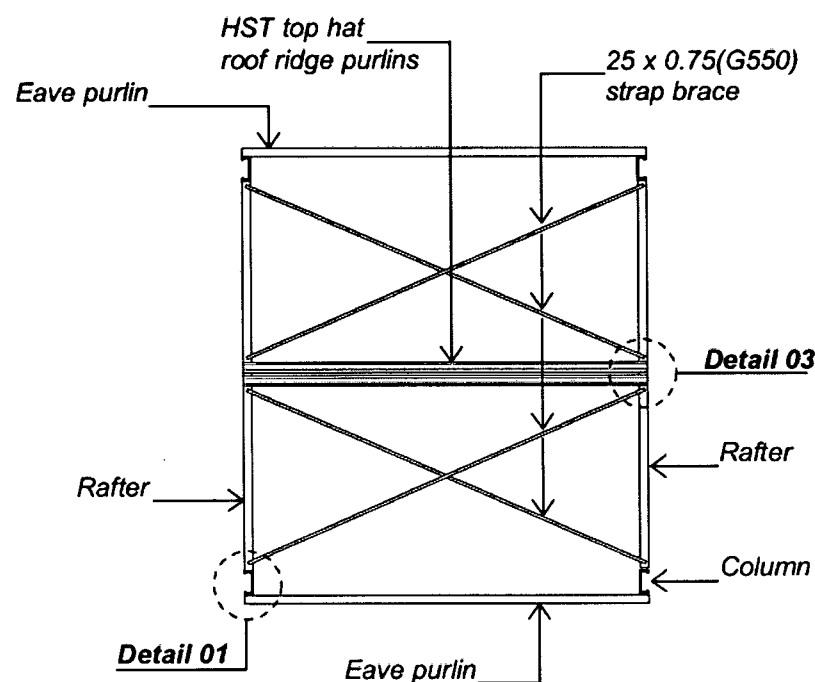
ROLLER DOOR REBATE (Detail 05)



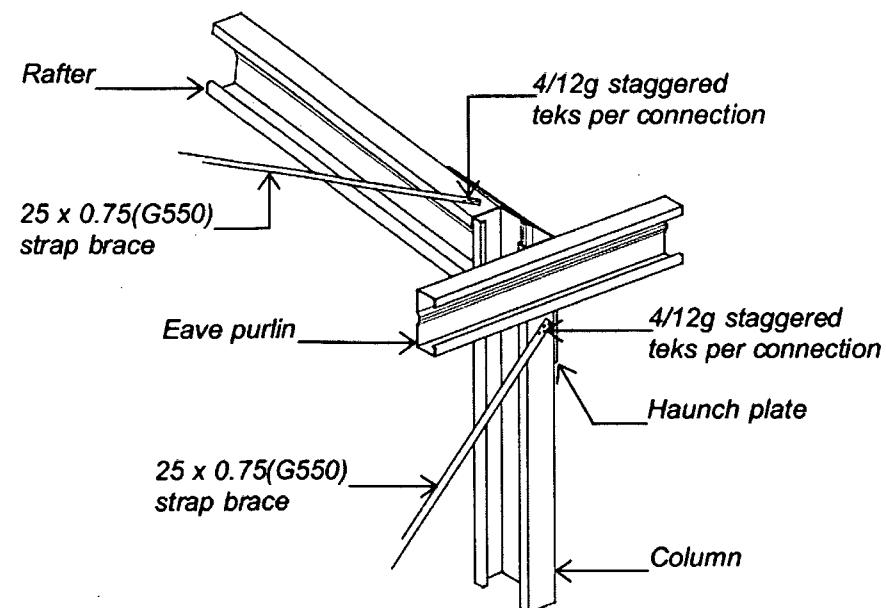
© copyright KIWISPAN N.I. LTD



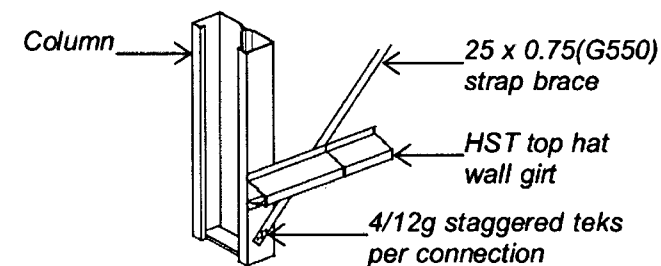
WALL BRACE CONNECTIONS Note: Additional wall girts removed for clarity



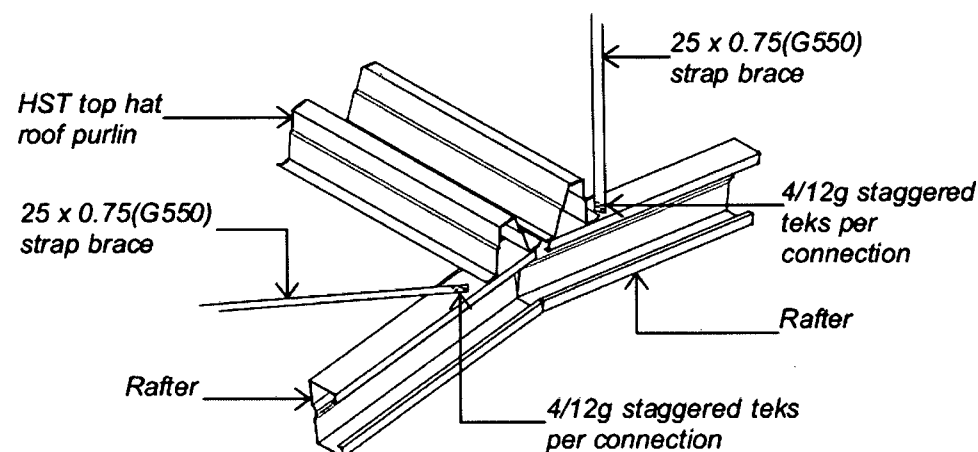
ROOF BRACE CONNECTIONS Note: Additional roof purlins removed for clarity



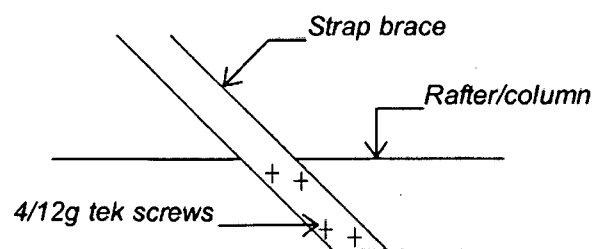
BRACE CONNECTION TO COLUMN AND RAFTER (Detail 01)



BRACE CONNECTION TO FOOT OF COLUMN (Detail 02)



BRACE CONNECTION TO RAFTERS AT APEX (Detail 03)



STAGGERED TEK PATTEN (Detail 04)

12 / 06 97

Consent No.

Wanganui District Council
13 NOV 2012
RECEIVED

© copyright KIWISPAN N.I. LTD



INSPECTION RECORD

This record, together with the Building Consent and approved plans, is to remain on the construction site at all times.

Project Location	TO BOOK AN INSPECTION PLEASE PHONE WDC BUILDING CONTROL	BCon12/0697
47 Moana St WANGANUI	ON 349 0001 AND QUOTE THE FOLLOWING APPLICATION NUMBER:	
Description of Work	New 54m2 Kiwispan Garage.	

Applicant	Kiwispan PO Box 551, Wanganui Mail Centre, Wanganui 4540
Builder	Morris & Son Builders 1 Karaka St, Wanganui

SUMMARY OF CONDITIONS

Building Consent Number BCon12/0697

PIM Conditions

Code	Condition
	All work on the project must comply with the requirements of the NZ Building Code.
	A PIM only document is not an approval to build. A Building Consent is required before building work commences.
	W.D.C will follow up on building work not completed within two years of building consent issue.
	A Building Consent lapses and is of no effect if the building work has not been started within 12 months of the date of issue.
	If the building is public premises it may not be occupied until either a code compliance certificate or certificate for public use has been issued.
	Please note [Electrical, and Gasfitting subtrades do not form part of the building consent inspection process. However, Council is required to receive 'Energy Certificates' from both of these trades before issue of a Code Compliance Certificate].

Building Consent Conditions

Code	Condition

Your project’s inspections are listed on the next page...



Please Note: A minimum of 24 hours notice is required for the booking of an inspection. The inspection record sheet and accompanying building consent documentation must be on site for use by the inspector at the time of the inspection.

All inspections are to be carried out by BCA Building Inspectors unless prior arrangements have been made by the BCA to have an approved qualified person inspect specific items (eg. Engineer). Inspections shall be carried out in accordance with the attached schedule of inspection types. It is the owner's responsibility to ensure all necessary inspections are carried out as required. Please contact WDC if you are unsure what requires inspection – do not cover or enclose any building work without inspection.

Note: Further inspections may incur additional cost at time of Code Compliance Certificate issue.

Inspections Record For Building Consent Number BCon12/0697

<i>Inspection</i>	<i>When to Request</i>	<i>Date</i>	<i>Inspector</i>	<i>Complies with Code</i>	<i>Reinspect</i>	<i>Notes</i>		
CONCRETE SLAB INSPECTION	Prior to placing Concrete	11/01/2013	Garry Edlin	YES	NO	Sited 1.2m off RH boundary, 3.0m off rear boundary. medium wind zone, flat site, topsoil removed and backfilled with compacted sand, 300mm square x 300mm deep portal pads, 200 x 150mm footing with 1 x D12 lapped 600mm, 147/10 mesh lapped 225mm, 75mm bottom and side concrete cover, polythene under slab, no granular fill, Blair Ruby on site for Kiwispan Wanganui, refer GSF 2954. - Electrical cert required. (recd 10 Apr 2013)	50	50
FINAL BUILDING INSPECTION	On Completion	27/02/2013	Garry Edlin	YES	NO	All completed, clad in 7 rib Zincalume tex screwed to Kiwispan steel framing, 50mm cladding/concrete cover, door flashings OK, stormwater piped in Marley PVC to soakhole located 1.5m off RR boundary behind shed. Also saw the soakhole installed at LF of shed to accommodate stormwater sump from new concrete driveway. Form 6 recd. Refer GSF 2966. - Electrical cert required.	50	50

Garage (Slab/Footing) Inspection & Final

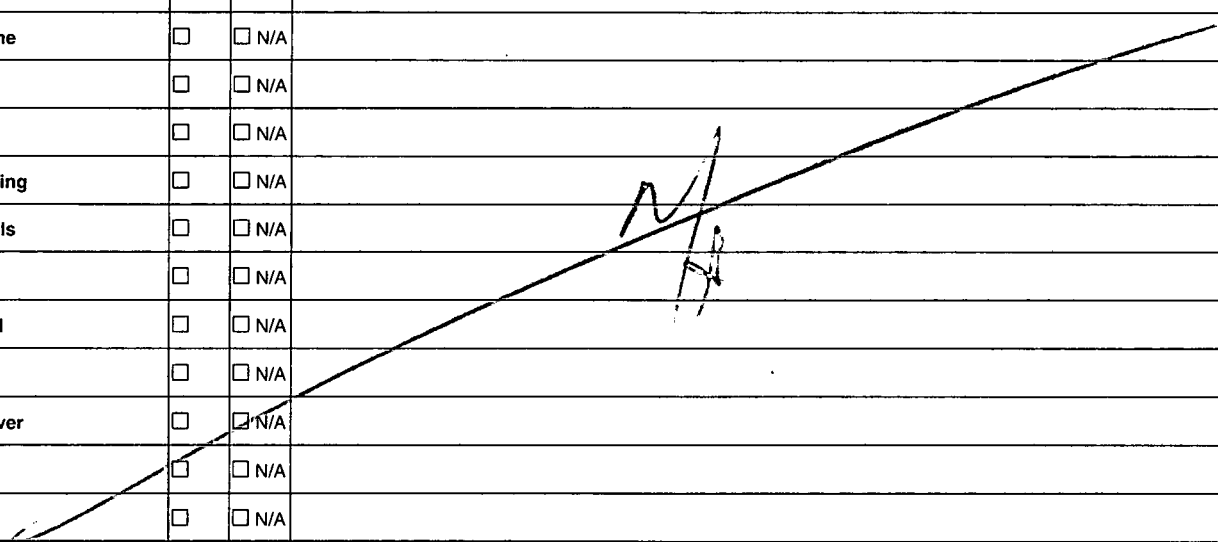
N° GSF 02954

Address				
47 Moana St				
Consent No	Date	Inspector	Re Check	Compliance
31012/0697	11/1/12	[Signature]	No	Yes
Slab	Comments			
Siting/Boundaries	☒	☐ N/A	7.2m R.H, 3.0m of Room	
Site wind zone	☒	☐ N/A	Medium	
Hours	☒	☐ N/A	Flap	
Soil Type	☒	☐ N/A	Sand	
Ground Bearing	☒	☐ N/A	OK	
Ground Levels	☒	☐ N/A	OK	
Footing Size	☒	☐ N/A	300 x 300 Portal Pad, 200 x 150 Footing	
Footing Steel	☒	☐ N/A	1 x D12 lap 600	
Slab Steel	☒	☐ N/A	147/10	
Concrete Cover	☒	☐ N/A	75mm	
Polythene	☒	☐ N/A	Yes	
Granular Fill	☐	☒ N/A	No	
Final	Comments			
Ground Levels / Floor Level	☐	☐ N/A		
Cladding - Type	☐	☐ N/A		
- Fixing	☐	☐ N/A		
Cladding Cover / ground clearance	☐	☐ N/A		
Joinery - Installation	☐	☐ N/A		
- Flashing	☐	☐ N/A		
Framing	☐	☐ N/A		
Truss Fixing	☐	☐ N/A		
Top Plate Fixings	☐	☐ N/A		
Bottom Plate Fixings	☐	☐ N/A		
Slab Cut	☐	☐ N/A		
Firewall & Stopping	☐	☐ N/A		
Comments				
OK to pour				

ENTERED

Garage (Slab/Footing) Inspection & Final

N° GSF 02966

Address			
47 Moana St			
Consent No	Date	Inspector	Re Check Compliance
12/0697	27/2/13	[Signature]	No Yes
Slab	Comments		
Siting/Boundaries	☐	☐ N/A	
Site wind zone	☐	☐ N/A	
Contours	☐	☐ N/A	
Soil type	☐	☐ N/A	
Ground Bearing	☐	☐ N/A	
Ground Levels	☐	☐ N/A	
Footing Size	☐	☐ N/A	
Footing Steel	☐	☐ N/A	
Slab Steel	☐	☐ N/A	
Concrete Cover	☐	☐ N/A	
Polythene	☐	☐ N/A	
Granular Fill	☐	☐ N/A	
Final	Comments		
Ground Levels / Floor Level	☒	☐ N/A	OK
Cladding - Type	☒	☐ N/A	7 ribs Zucalume
- Fixing	☒	☐ N/A	Tex Screed
Cladding Cover / ground clearance	☒	☐ N/A	50"
Joinery - Installation	☒	☐ N/A	OK
- Flashing	☒	☐ N/A	OK
Framing	☒	☐ N/A	Kewspan Steel framed
Truss Fixing	☒	☐ N/A	
Top Plate Fixings	☒	☐ N/A	
Bottom Plate Fixings	☒	☐ N/A	
Slab Cut	☒	☐ N/A	1/2
Firewall & Stopping	☐	☐ N/A	N/A
Comments			
Issue CCC			

ENTERED



BUILDING CONSENT NUMBER BCon12/0697

Section 51, Building Act 2004

The building:

Street address of building:	Legal description of land where building is located:
47 Moana St WANGANUI	LOT 7 DP 4322 0.0675 Ha
Building name:	Location of building within site/block number:
Level/unit number:	

The owner:

Name of Owner:	
Mr BD Stevenson	
Mailing address:	Street Address/registered Office:
91 Koromiko Road Gonville Wanganui 4501	91 Koromiko Road Gonville Wanganui 4501

Phone numbers:

Landline:	3458506	Mobile:	
Daytime:		After hours:	
Facsimile number:			
Email address:		Website:	

First point of contact for communications with the building consent authority:

Contact Person:	
Kiwispan	
Mailing address:	Street Address/registered Office:
PO Box 551, Wanganui Mail Centre, Wanganui 4540	PO Box 551, Wanganui Mail Centre, Wanganui 4540

Phone number:

Landline:		Mobile:	
Daytime:	063480339	After hours:	
Facsimile number:			
Email address:	wanganui@kiwispan.co.nz	Website:	

Building Work

The following building work is authorised by this consent

Project
New 54m2 Kiwispan Garage.

<i>Intended Use</i>	<i>Intended Life</i>
Garage	50 Years
<i>Estimated Value (\$)</i>	
\$20000.00	

This building consent is issued under section 51 of the Building Act 2004. This building consent does not relieve the owner of the building (or proposed building) of any duty of responsibility under any other Act relating to or affecting the building (or proposed building). This building consent also does not permit the construction, alteration, demolition, or removal of the building (or proposed building) if that construction, alteration, demolition or removal would be in breach of any other Act.



CONDITIONS OF BUILDING CONSENT NUMBER BCon12/0697

Section 51, Building Act 2004

This Building Consent is issued Subject to the following conditions:

Building Act 2004, Section 90:

Inspections by Building Consent Authorities

Agents authorised by the building consent authority for the purposes of this section are entitled, at all times during normal working hours or while building work is being done, to inspect

- (a) land on which building work is being or is proposed to be carried out; and
- (b) building work that has been or is being carried out on or off the building site; and
- (c) any building.

Informative notes:

- [Informative note: The Building Consent, conditions, inspection sheet, and approved plans must be kept on site at all times until completion of the project.]
- [Informative note: Failure to request inspections will risk the non-issuing of a code compliance certificate and the structure may be deemed non-complying.]
- [Informative note: Any inspection time required over and above that allowed may incur a further charge.]
- [Informative note: Under Section 52, a building consent lapses and is of no effect if the building work to which it relates is not commenced within 12 months after the date of issue.]
- [Informative note: Under Section 93, if the owner has not made application within 24 months, the BCA (Building Control Authority), must decide whether or not to issue a CCC (Code Compliance Certificate).]

Compliance Schedule:

A compliance schedule (CS) is not required for this building.

#Attachments

#Copies of the following documents are attached to this building consent:
#Project information memorandum number BCon12/0697'

Signed for and on behalf of the Wanganui District Council

D M Hall
Senior Building Control Officer

Date: 22 November, 2012



PROJECT INFORMATION MEMORANDUM NUMBER BCon12/0697

Section 34, Building Act 2004

**Kiwispan
PO Box 551
Wanganui Mail Centre
Wanganui 4540**

Issue Date:

<i>Project Location</i>	<i>Assessment Number/Legal Description</i>
47 Moana St WANGANUI	LOT 7 DP 4322 0.0675 Ha
<i>Category</i>	<i>Description of Work</i>
Minor Building Work (req. 2 insps.)	New 54m2 Kiwispan Garage.
<i>Intended Life</i>	<i>Estimated Value (\$)</i>
50 Years	20000.00

This Project Information Memorandum is confirmation that the proposed work may be undertaken, subject to the provisions of the Building Act 2004 and any requirements of the Building Consent (number BCon12/0697), which has been granted.

This Project Information Memorandum is subject to the following conditions:

- **All work on the project must comply with the requirements of the NZ Building Code.**

Signed for and on behalf of the Wanganui District Council

D M Hall
Senior Building Control Officer

Date: 22 November, 2012



INSPECTION TIME REPORT

Building Consent Number BCon12/0697

<i>Consent or Alteration Number</i>	<i>Estimated Inspection Time</i>	<i>Actual Inspection Time</i>	<i>Inspection Time Difference</i>
BCon12/0697	100	100	0
<i>Inspection Time Difference</i>			0
At BC Issue	<i>Time to be charged.</i>		
At Completion	Positive amount = time to be credited Negative amount = time to be charged		

Signed for and on behalf of the Wanganui District Council



Electrical Certificate of Compliance

No.

3947944

for a low voltage installation if prescribed electrical work has been done on any part of it and the prescribed electrical work involved placing, replacing, or repositioning conductors or fittings attached to conductors.

No. of attachments

To be completed whether or not an inspection is required.

CUSTOMER INFORMATION - PLEASE PRINT CLEARLY

Name of customer

Mr Bret Stevenson

Phone:

Address of installation

47 Moana Street, Wanganui

Postal address of customer (if not as above)

DECLARATION OF CONFORMITY (Please tick (✓) appropriate boxes)

In accordance with Regulation 58 of the Electricity (Safety) Regulations 2010, the design of the installation or part of the installation to which this certificate applies

- (a) complies with either Part 2 of AS/NZS 3000:2007 ☐ or Part 1 of AS/NZS 3000:2007 and Regulation 59 ☐ and
(b) the supply system of the installation or part of the installation to which this certificate applies is
230V/400 V MEN ☐ or attached other system ☐

WORK DETAILS

4 No. of lighting outlets

No. of ranges

Please tick (✓) as appropriate where work includes:

2 No. of socket outlets

No. of water heaters

Mains

Main earthing s

Was any installation work carried out by the homeowner?

Yes ☐ No ☒MEN Switchboard
closest to point of supply

Electric lines

Description of work carried out (If necessary attach any pages with work done)

Initial underground
mains to new shed & install rcd/mcb board, install 3
pures and 2 hotpoints and prepare for additional
hotpoints + outside light to be connected once workshop
gear positioned eventually.

CERTIFICATION OF WORK (Please tick (✓) appropriate boxes)

I certify that the completed installation or part of the installation to which this certificate applies

- ☒ has been installed in accordance with the design detailed in the Declaration of Conformity and above
☒ has had tests which are required by the Electricity (Safety) Regulations 2010 satisfactorily completed
☒ has an earthing system that is correctly rated
☒ contains fittings which are safe to connect to a power supply
☒ is safe to connect to a power supply

Wanganui District Council

3 APR 2013

RECEIVED

ELECTRICAL WORKER DETAILS

Name

Richard Downs

Company

Pro Electrical

Signature

Registration No.

I258600

Contact Ph No.

0275748031

Date

21/3/2013

INSPECTION DETAILS

Electrical work requiring inspection by a registered electrical inspector

- ☐ Mains work (mains, MEN switchboards closest to the point of supply, or main earthing systems) ☐ Attached other ☐ Work carried out in accordance with Part 1 of AS/NZS 3000:2007

I certify that the items identified above are electrically safe and that the inspection has been carried out in accordance with the Electricity (Safety) Regulations 2010.

Name

Registration No.

Signature

Date

Contact Ph No.

**Application for
Code Compliance Certificate**
Building Act 2004 Form 6



**Wanganui
District Council**

1. The building consent

Building consent no.

12/0697

Description of work

New Kinspan Garage

Address

47 Moana Street

2. Property owner details

Owner details



Have not changed since the
building consent was lodged
Proceed to 3 "Applicant details" below



Have changed since the building con-
sent was lodged

Name

Contact person

(if owner is a corporation, partnership
or trust)

Postal address

Contact numbers

Phone

Mobile

Fax

Email

Evidence of ownership attached
(only required if ownership has
changed)



Certificate of Title (copy)



Sale and purchase agreement



Lease agreement



Other document showing full name of
legal owner(s), such as a rate instal-
ment notice

3. Applicant details

I am the



Property owner



Lessee
Provide details below



Agent
Authorised by owner / lessee
Provide details below

Name

Kinspan NZ

Postal address

PO Box 551
Wanganui

Contact numbers

Phone

Mobile

Fax

Email

4. Attachments

The following documents are attached to this application:



Certificates from the personnel who carried out the work



Certificates that relate to the energy work (e.g. gas or electrical certificates)



Evidence that specified systems are capable of performing to the performance standards set out in the building consent

OFFICE USE ONLY

Infrastructure Bond Final Inspection Complete (please circle one)

Yes

No

N/A

5. Key building practitioners

Builders name / Licence no.

Extent of involvement

Contact details Address

Phone / Email

Certifying plumber name / Licence no.

Extent of involvement

Contact details Address

Phone / Email

Certifying drainlayer name / Licence no.

Extent of involvement

Contact details Address

Phone / Email

Electrician name / Licence no.

Extent of involvement

Contact details Address

Phone / Email

Other

Extent of involvement

Contact details Address

Phone / Email

Any other people involved must be listed separately

6. Application

Date building work completed

I request that you issue a code compliance certificate for the work under section 95 of the Building Act 2004. I understand that the code compliance certificate will be sent to the property owner.

Signature

Name of person signing: (please print clearly)

Dated:

OFFICE USE ONLY

Date received

Application #

Document #

Project #

Property ID

Legal ID

Receipt #

Amount Paid

\$

Code Compliance Assessment Checklist

Building Consent No # BC 12/0697

	ITEM	YES	NO	N/A	COMMENTS
1	Work complies with approved BC documentation - Sec 94 (1)	/			
2	All the required inspections have been completed	/			
3	BC conditions have been fulfilled	/			
4	PIM requirements have been complied with	/			
5	Damage deposit is released			/	
6	Development contributions have been paid (Sec 94 (4))			/	
7	All documents have BC number on them	/			
8	Sec 75-77 registered if applicable			/	
9	Sec 72-74 registered on title if applicable			/	
10	Energy work certificates have been provided (if required) sec 94 (3)	/			Electrical
11	All inspection fees have been paid?	/			
12	Specified systems are capable of performing in accordance with performance standards (sec 94 (1B))			/	
13	Is a compliance schedule required or requires amending (sec 100(2))		/		
14	Has there been a change of ownership (sec 364)		/		
15	Any warnings or bans applied (sec 94 (2))			/	
16	Has the TA received any certificates issued by licensed building practitioners that relate to restricted work (sec 88 (10 and (2) nb: The restricted building work and LBP provisions do not come into effect until 30/11/2009			/	
17	Check the TA has been advised by a LBP that building work carried out under a building consent does not comply with that consent			/	
18	Any amendments have been issued and whether documentation associated with these have been properly completed			/	
19	Any outstanding documentation still to be collected such as		/		
20	Photographs of elevations			/	
21	Fire doors			/	
22	Backflow			/	
23	Lifts (electrical and installation)			/	
24	Mechanical ventilation			/	
25	List of consultants			/	
26	Was Building Consent Lapsed? (Ref.T-25.5)		/		

Producer Statements:

A Producer Statement requires the following as a minimum requirement to be accepted by the Wanganui District Council:

- A written statement
- Header with 'Producer Statement'
- Who is issuing the Producer statement (suitably qualified and author of Producer statements)
- The Producer Statement must be addressed for the attention of the Wanganui District Council
- The applicable Building Consent number must be recorded
- Who has completed or designed the work identified (qualifications to undertake the work)
- The product name and specifications for application of product used
- What parts/clauses of the Building Code the work relates to
- Full legal description of the site where the work will be undertaken
- Clearly identifying what part of the Building Consent is covered by the Producer Statement
- Provide the sum of provisional indemnity insurance held

The author's name and signature:

- Qualifications
- Address
- Registration number
- Membership of professional organization
- Date the producer statement was produced

All information and documentation is present and correct, a Code Compliance Certificate can be issued.

Name: GARRY EDLIN

Signature: [Signature]

Date: 27/2/13



CODE COMPLIANCE CERTIFICATE NUMBER BCon12/0697

Section 95(3), Building Act 2004

Mr BD Stevenson
47 Moana Street
Wanganui East
Wanganui 4500

Building Consent
No: BCon12/0697

Issue Date: 13/04/2013

The building:

Street address of building:	Legal description of land where building is located:
47 Moana St WANGANUI	LOT 7 DP 4322 0.0675 Ha
Building name:	Location of building within site/block number:
Level/unit number:	Current, lawfully established, use: [include number of occupants per level and per use if more than 1]
	Garage
Year first constructed:	

The owner:

Name of Owner:	
Mr BD Stevenson	
Mailing address:	Street Address/registered Office:
47 Moana Street Wanganui East Wanganui 4500	47 Moana Street Wanganui East Wanganui 4500

Phone numbers:

Landline:	3458506	Mobile:	
Daytime:		After hours:	
Facsimile number:			
Email address:		Website:	

First point of contact for communications with the building consent authority:

Contact Person:	
Kiwispan	
Mailing address:	Street Address/registered Office:
PO Box 551, Wanganui Mail Centre, Wanganui 4540	PO Box 551, Wanganui Mail Centre, Wanganui 4540

Phone number:

Landline:		Mobile:	
Daytime:	063480339	After hours:	
Facsimile number:			
Email address:	wanganui@kiwispan.co.nz	Website:	

Building Work

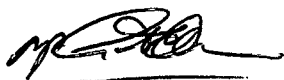
Building consent number:	Issued by:
BCon12/0697	Wanganui District Council
Type of Work	
Garage	
Description of Work	
New 54m2 Kiwispan Garage.	
Intended Life	Estimated Value
50 years	\$20000.00

Code compliance:

The building consent authority named below is satisfied, on reasonable grounds, that the building work complies with the building consent.

This is a final Code Compliance Certificate issued in respect of all of the building work under the above Building Consent.

Signed for and on behalf of the Wanganui District Council:



A J Jamieson
Team Leader Building Services

Date: 13 April, 2013



END OF BUILDING CONSENT FILE

BC No. 12/0697

CCC
ISSUED