



ENVIRONMENTAL SERVICES

WANGANUI DISTRICT COUNCIL

Enhancing the quality of the environment

APPLICATION RECEIVED for P.I.M/Building Consent

1 NOV 2003

This application is for a: (tick the appropriate box)

- ☐ Project Information Memorandum - PIM (preliminary application for a Building Consent)
- ☒ Building Consent
- ☐ Alteration to Approved Plan

BC # 31782

(A) Owner

Name: Louis McCleary

Mailing Address: 130 Duncan Street

Phone: _____ Fax: _____

(B) Designer

Name: G.H.W.

Mailing Address: Private Bag 3003

Phone: _____ Fax: _____

(C) Builder

Name: Whye & Williams Builders Ltd

Mailing Address: 8 Cornwall Road

Phone: 3446224 Fax: 3448358

(D) Craftsman Plumber

Moore Plumbing

(E) Registered Drainlayer

Moore Plumbing

CONTACT PERSON i.e. A B C D E (Circle one)

Project

Description of PROJECT and USE: Wet area Showers

Project Location

Street Address/Rural No: 130 Duncan Street

Durable Life of Project (i.e. 5, 15, 50+ years)

50

Value of Project Work

(include all labour & materials)

\$ 7583.00 (Incl. GST)

Consent Fees to be paid by? Builder

Code Compliance Certificate to be sent to? Builder & Owner

FLOOR AREA OF PROJECT

New Residential Dwellings or
New Commercial Only _____ m²

LEGAL DESCRIPTION

WDC Property No. _____

Valuation Roll No. _____

Lot(s) _____ DP _____

Section _____ Block _____

Survey District _____

Signed by (on behalf of the applicant)

Signature: [Signature]

Owner, builder, plumber, designer, agent
(circle one)

Date: 21 / 11 / 2003

FEES APPLICABLE (office use only)

Building Consent Application	\$
Building Consent Issue	\$
P.I.M.	\$
Non-notified Appl. Fee	\$
Prepaid Crossing	\$
Prepaid Sewer Connection	\$
Prepaid Water Connection	\$
Stormwater Connection	\$
BIA Levy	\$
Additional Charges	\$
Total Fees (Incl. G.S.T)	\$

PTO

The information will be included in a Public Register of Consents issued which is available for public perusal under the Privacy Act 1993 section 54. This may result in receipt by the 'Owner' of trade advertising.

Project Details

The project involves the following

(tick each applicable box, if any, and attach two(2) copies of any relevant information)

- (1) ☐ Location in relation to legal boundaries and external dimensions of new, relocated or altered buildings
- (2) ☐ New provisions to be made for vehicular access and on-site parking, ie. a new crossing
- (3) ☐ Provisions to be made in building over or adjacent to any road or public place, ie. hoardings, signs
- (4) ☐ New provisions to be made for disposing of stormwater and wastewater
- (5) ☐ Precautions to be taken where building work is to take place over existing drains or sewers or in close proximity to wells or watermain
- (6) ☐ New connections to public utilities, ie. new drainage or water connections
- (7) ☐ Provisions to be made for any demolition work ie. the protection of the public, suppression of dust, disposal of debris, disconnection from public utilities and suppression of noise
- (8) ☐ Any cultural heritage significance of the building or building site, including whether it is on a marae

Project Documents (provided with this application)

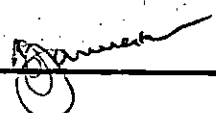
- ☒ Plans and specifications
- (22) ☐ Producer Statements (ie. truss design, design review) - specify:
- (23) ☐ Other Documents - specify:

Inspections

- (26) ☒ By Wanganui District Council
- (27) ☐ Other - specify (ie. Design Engineer):

For office use only							
Unit	Checks				Inspections No.	Approved	
	Initials	Date	Initials	Date		Initials	Date
Administration	LC	24/11/03					
Planning							
Fire Design							
Building						CW	28/11
Drainage							
Water							
Structural							
Plumbing/Drainage						CW	28/11
Roading							
Health							
Dangerous Goods							

Approved for issue of PIM/Building Consent

District Building Controller:  Date: 01 DEC 2003



TOTAL INSPECTION TIME REPORT

Building Consent Number BC3/1782

Total Estimated Inspection Time	90
Total Actual Inspection Time	0
Inspection Time Difference	90
At BC Issue	Time to be charged.
At Completion	Positive amount = time to be credited Negative amount = time to be charged

Signed for and on behalf of the Wanganui District Council

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**BASIC LIST OF REQUIREMENTS
WET AREA SHOWER SPECIFICATIONS**

Name: Louis McCLeary

Address: 130 Duncan Street
WANGANUI

Phone: 021 135 7141

Date: 12th August 2003

1. Bathroom

(Refer to Enable Master Wet Area Master Schedule)

- Remove existing bath.
- Replace with wet area shower, 1200 x 1200
- Line walls with 4mm Aquapanel walls or similar to areas affected by splash from shower.
- Supply and install new shower mixer and slide shower (Methven F2010 and F2011 or similar)
- Shower mixer height and base of slide shower shall be 1000mm above shower floor. Confirm heights of fitting with client.
- Install soap dish
- Install curtain rail and weighted curtain
- Supply and fit 2 x 450mm rails, horizontal on both walls at 840mm to 900mm from shower floor confirm with client placement. Rails need to be securely fixed with stainless steel screws.
- Supply and install Tarket or similar non-slip flooring. Cove up shower walls 200mm.
- Tempering valve required if there has not been a shower in place prior
- If existing lighting and or switch is within 500mm of the shower curtain, relocate or replace with waterproof fittings.
- Safety glaze all windows within 500mm-shower curtain and/or with sills lower than 1500mm from floor.
- New painting limited to the immediate area of the new work
- All surfaces are to be made good and comply with the relevant conditions of the Building Act and NZ Building Code. This relates only to walls directly affected by the alteration.
- Remove vanity. Fit wall hung vanity (approx 750mm). Reuse existing lever taps.
- Supply and install bathroom heater (3 in 1 heater)
- Remove partition toilet wall.
- Remove door to allow for sliding door existing door only.
- Relocate heated towel rail.
- Remove toilet. Fit disabled pan higher toilet.

APPROVED

L 3 / 17 82

Consent No.

Chris Hillier
OCCUPATIONAL THERAPIST

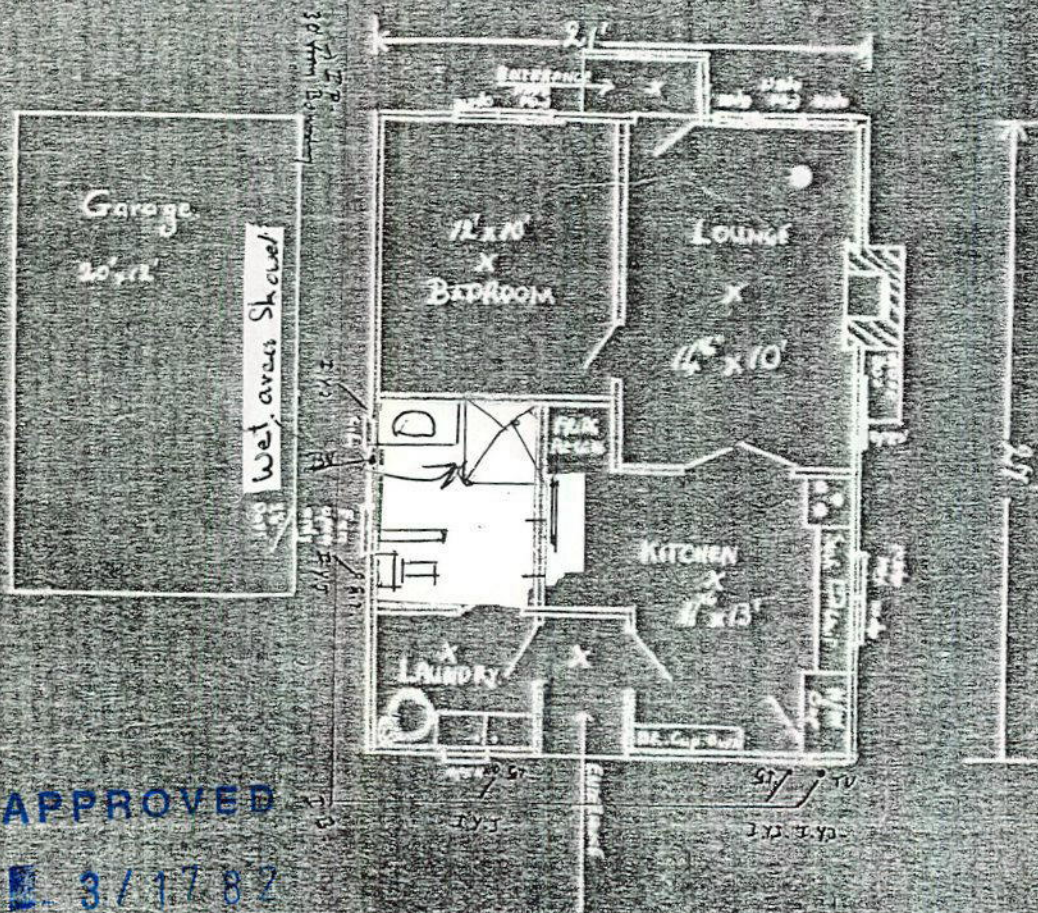
Whyte & Williams Builders Ltd
8 Cornwall Road
Wanganui
Ph. (06) 344-6224
Fax (06) 344-8358

WORKING DRAWINGS OF RESIDENCE AT WANGANUI EAST FOR P. BIGGAR.

130 Duncan St

DUNCAN ST

Scale 1/8" = 1'



APPROVED

3/1782

Consent No.

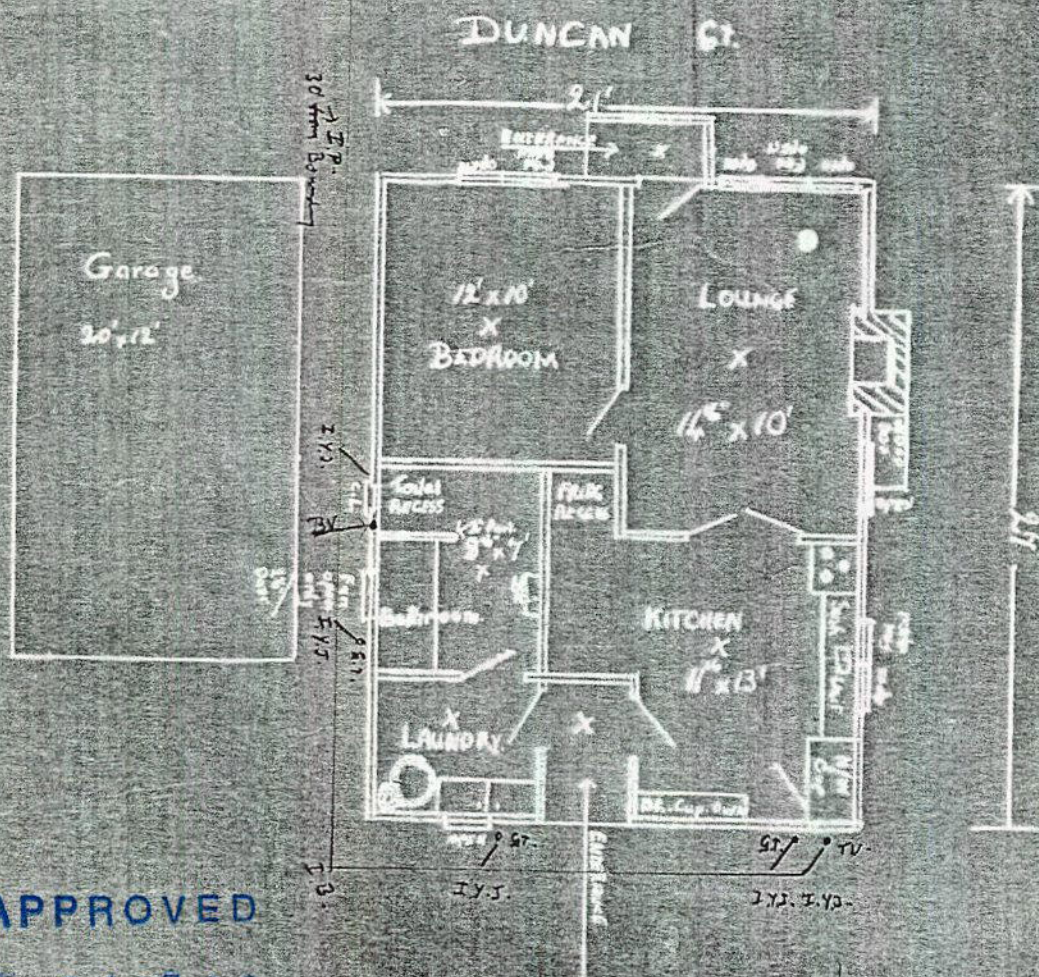
130 Duncan St

232/233
Part of Lot 11
Block VIII

232/233
Part Sec 77

WORKING DRAWINGS OF RESIDENCE AT WANGANUI EAST FOR P BIGGAR.

130 Duncan St



Scale 1/8" =

APPROVED

3/1782

Consent No.

130 Duncan St

23.26 Perches
Part of lot 21
Block VIII

D.P. 2351
Part Sec. 77

North

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CODE COMPLIANCE CERTIFICATE NUMBER BC3/1782

Section 43(3), Building Act 1991

Mr LM McCleary
130 Duncan St
WANGANUI 5001

Building Consent No: BC3/1782

Issue Date: 17/02/04

Project Location	Assessment Number/Legal Description
130 Duncan St WANGANUI 5001	LOT 23 BLK VIII DP 2351 0.0625 Ha
Type of Work	Description of Work
SingDetRes	Wet area shower.
Intended Life	Estimated Value
50 years	\$7590.00

This is a final Code Compliance Certificate issued in respect of all of the building work under the above Building Consent.

Signed for and on behalf of the Wanganui District Council:

A J Jamieson
Team Leader Building Services
Environmental Services Business Unit

Date: 17 February 2004