

Enquiries to:

Reference:



020577

**Waikato
District
Council**

Code Compliance Certificate

Section 43(3), Building Act 1991

Application

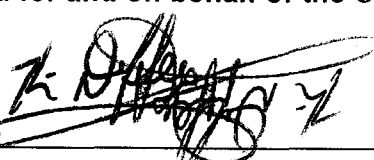
WARNER	No.	050146
HAMILTON BBQ FACTORY	Issue date	11/04/05
PO BOX 10425		
TE RAPA	Overseer	Kel Diffey

Project

Description	Domestic Fireplaces Being Stage 1 of an intended 1 Stages F/S FIREPLACE
Intended Life	Indefinite, but not less than 50 years
Intended Use	HEATING
Estimated Value	\$2,048
Location	29 BERWICK PL, TOKOROA
Legal Description	LOT 2257 DPS 10289
Valuation No.	0547674000

This is a final Code Compliance Certificate issued in respect of all the building work under the above building consent.

Signed for and on behalf of the Council:

Name: 

Date: 11-Apr-05

Please address all correspondence to: Chief Executive Officer, Torphin Crescent, Private Bag 7, TOKOROA 2392

Phone 07 885 0340 Fax 07 885 0718 Email info@swktodc.govt.nz www.swktodc.govt.nz

Other Offices: PUTARURU: Overdale Street, Phone 07 883 7189 Fax 07 883 7215

TIRAU: Agency, Tirau Information Centre, State Highway 1, Tirau, Phone 07 883 1202



SOUTH WAIKATO DISTRICT COUNCIL

NOTICE OF INSPECTION

13350

To the Owner / Occupier / Contractor

Name WARNER
Address 29 BERWICK PL TOKORONG
Project F/S TESTER Consent No: 050146

PURSUANT TO:- One or more of the following.

Building Act 2004

Building Act 1991

Local Government Act 1974

Resource Management Act 1991

Your property / premises was visited on 11.11.05 at 11.05 am / pm
for the purpose of inspecting:-

☐ Site (Location)	☐ Plumbing	☐ Chimney
☐ Foundations	☐ Drainage	☒ Heater
☐ Blockwork	☐ Framing	☒ Code Comp. Certificate
☐ Concrete Slab	☐ Insulation	☐ Other

☒ Code Compliance Cert. to be issued. ☐ Notice to Rectify to be issued.

Comments / Conditions

OK - BOLTED
KIWI RAD
FLUESHIELD FITTED
SMOKE ALARMS - OK

Next Inspection Required:

Officer KND Designation BI
Phone (Office) Cellphone (025)

Fax: 07 886 1799

Document Set ID: 55253

Version: 1. Version Date: 18/01/2008

Summary of Building Consent

Application

WARNER	No.	050146
HAMILTON BBQ FACTORY	Issue date	18/03/05
PO BOX 10425		
TE RAPA	Overseer	Kel Diffey

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Valuation No.	0547674000

Plumber: CRAIG BUCKINGHAM

Inspection Details:

BUILDING CONSENT / PIM ACTION SHEET

Owner: WARNER Date Received: 14/03/05

Project Location: 29 BERWICK PLACE PIM No:

TOKOROA Consent No: 050146

Project: F/S FIREPLACE Date to be Issued: 30/03/05

LEGAL DESCRIPTION: Valuation No: Lot DP(s)

		HOLD	OK
INITIAL CHECKS:			
1. Legal Description (check description and ownership correct)			
2. Fees (check values and fees correct - confirm - receipt)			
HAZARDS <i>Nil</i>			
DANGEROUS GOODS			
CORPORATE SERVICES			
COMMUNITY SERVICES			
ASSET MANAGEMENT			
Roading & Vehicle Crossings: Crossing Required? Yes / No Services (Location Plan Required) for Water, Sewerage, Stormwater Fees: Water \$ Sewerage \$ Street Damage Deposit \$ Vehicle Crossing Bond \$			
SOUTHTECH			
RESOURCE MANAGEMENT			
ENVIRONMENTAL HEALTH			
BUILDING 14 51 99 Smoke Alarms To be installed			 03/05
	No.	ARE DRAINAGE PLANS REQUIRED?	
W.C.'s			

TEMPLATE\BLDG_14



FREESTANDING WOOD HEATER INSTALLATION INSTRUCTIONS

General Information

-

	A	B	C	D	E	F	G	H
With flue shield	100	500	300	175	250	225	770	530

Note: The clearances given are for use with a Kent flue system and flue shield only. Use of flue components and flue shields from other manufacturers may void these clearances. Heater dimensions are given as a general guide only, and are subject to change without notice. If required, measure **your actual fire to confirm**. Specified clearances must be maintained from the flue pipe to combustible materials **within the room**.

FLOOR PROTECTOR
An *insulating* floor protector is not required for the **Kiwi Rad** heater, but a floor protector of non-combustible material **must** be used. The floor protector must extend under the heater, a minimum of 300mm in front of the door opening, and 175mm to either side of the heater. The *minimum* floor protector size for a wall installation is 900mm wide and 830mm front to back, excluding trim. For a corner installation the *minimum* length along the wall is 1200 mm and diagonally from the corner to the front edge is 1350mm, also excluding trim.

The flue system should be vertical and without bends. If an offset is required, it should be as close to the heater as practicable and should not be offset more than 500mm from the centerline of the flue stub. Clearances from the flue pipe to combustible materials must be maintained (see **Table 1**). Restrictions or leaks in the flue system may reduce the draught, and, in severe conditions, could cause smoke to enter the room.

The flue cowl must be at least 600mm above the highest point of the roof if within 3 meters of it, or 1000mm above the roof penetration if more than 3 meters from the ridge – see Fig 3.

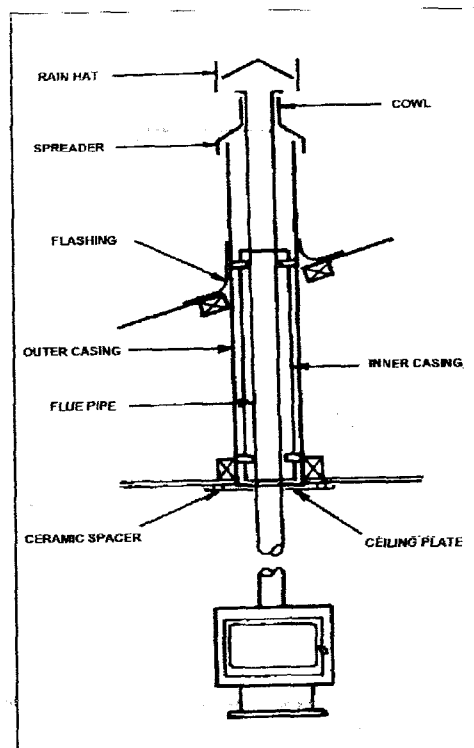
Diagram illustrating the required clearances for a chimney:

- 3000
- 3000 or less
- 600
- More than 3000
- 3000
- 1000 min
- Increase as needed to clear by 3000

These heights are given as a general minimum, and in actual practice the presence of surrounding structures, trees, fences, etc. may necessitate additional height for satisfactory performance. The cowl must be fitted to prevent entry of birds, snow and rain. At all flue joints, the swaged end of the upper piece must be fitted to the plain end of the lower piece.

INSTALLATION

1. The minimum requirements for installing your **KENT** heater are an assembled heater, a floor protector, a flue system and material for flashing the roof penetration.
2. Select the location for the heater, bearing in mind the clearances required (see Table 1).
3. Place the heater into the desired position and plumb for the ceiling roof penetrations. Allow for 150mm diameter flue pipe, 200mm diameter inner casing and 250mm outer casing. Check the proposed route of the flue to ensure it is clear of roof trusses and rafters in the ceiling space or other obstructions. It may be necessary to move the location of the heater to ensure this.
4. Once the location is confirmed, the heater must be restrained against movement due to earthquakes. The *Kiwi Rad* is restrained by fixing the heater to the floor with two bolts of 6mm minimum diameter through the holes provided in the plinth base, through the hearth and floor and fixed with heavy washers and nuts. For solid concrete floors, use 8mm **DYNABOLTS®** or similar, with a minimum depth of engagement into the floor of 50mm.
5. Cut a 260mm square penetration for the passage of the flue pipe and casings through the ceiling. Trim back and reframe timbers to allow for fixing the ceiling plate and outer casing.
6. Cut and frame an opening in the roof and position the outer casing through the roof until it is flush with the underside of the ceiling. Fix with 4 screws or nails to the framing of the square opening in the ceiling at the points where the casing and timber touch.
7. Flash the outer casing to the roof, to make a permanent, weatherproof seal.
8. Place the ceiling plate with folded edges upward over the flue spigot on the heater.
9. Join the required number of flue pipes by inserting the swaged ends of the upper piece into the plain end of the lower piece. Drill and fix each length with three stainless rivets or self-tapping screws. It is important that each flue pipe joint is sealed with commercially available flue sealing compound, including the joint between the flue spigot and the first length of flue pipe.
Note: enamel finish flue pipes may only be used where they are visible. Flue pipes located wholly inside the casings in the roof space **must** be stainless steel only. Position the flue pipe into the spigot in the top of the heater. The flue pipe can either be lowered from the top as a single unit or fed up from the room a length at a time, ensuring that all joints are sealed and fixed properly.
Fit the flue shield, if fitted, so that the bottom edge of the shield has an air gap of 2-3mm above the top grill of the heater.
10. Slide the inner casing into place, between the outer casing and the flue pipe, ensuring that the spacers are fitted to maintain equal clearances around the flue pipe and casings.
11. The flue pipe must extend at least 200mm above the casing at the top of the flue system. Extra lengths of flue pipe, inner casing and outer casing may be required to achieve the minimum distance above the roof. Joins between lengths of outer casing must be made with the upper end of the lower section inside the bottom edge of the upper length (the opposite of the method used for the flue pipe).
12. Place the top spreader in place and tighten. Slide the cowl over the flue until it rests on the top spreader. Secure with stainless rivets or self-tapping screws.
13. Fit the rain-hat. Do not fasten this in place – it must be removable for cleaning.
14. Screw the ceiling plate securely in position, through the holes provided, into the outer casing support framing. Ensure that the ceiling plate is spaced off from the ceiling by means of the spacers supplied in the flue kit. **Do not** fix the ceiling plate directly to the ceiling.
15. Where a flue terminates more than two meters above the roof penetration, it may be necessary to fit restraining guy wires for stability in high wind conditions.
16. Before using the heater, ensure that you have a Compliance Certificate from your Registered Installer or Territorial Authority Inspector.



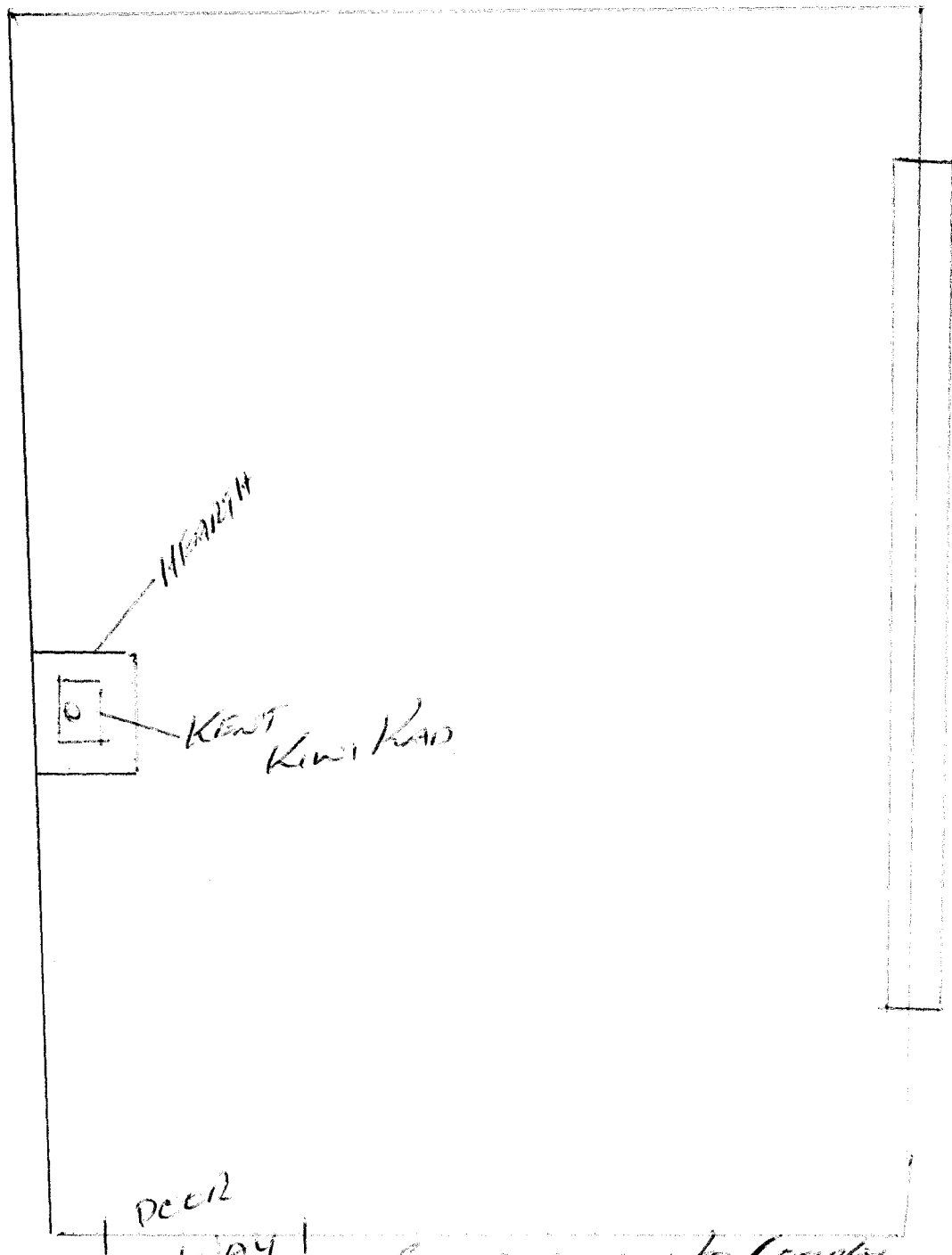
KENT Heating 1990 Ltd, PO Box 27-025, Mt Roskill, Auckland, New Zealand

KEVIN WARNEIL 29 BERWICK PLACE

TELEPHONE

07 85664184

LOT 2257 DP10289



SHOULD BEARINGS TO CORNER

OFFICE

PART C
(Complete in all cases)
THE PROJECT INCLUDES THE FOLLOWING (PLEASE ☒)

☐ New connection to Council Water Supply

☐ New connection to Council Sewer Mains

☐ New connection to Council Stormwater Mains

☐ New provisions for vehicle access and parking

☐ Cultural heritage significance of the site or buildings including Marae sites

☐☐☐☐☐

PART D
Systems requiring a compliance schedule. (Complete in all cases)
THE BUILDING WILL CONTAIN THE FOLLOWING (PLEASE ☒)

☐ Automatic fire protection system including sprinklers

☐ Emergency warning system for fire or other dangers

☐ Mechanical ventilation or air conditioning system

☐ Automatically closing fire doors in a fire wall

☐ Emergency lighting system

☐ Automatic back flow preventer connected to water supply

☐ Lifts, escalators or building maintenance unit

☐ Escape route pressurisation system

☐ Any other mechanical, electrical or hydraulic system necessary for compliance with the NZ Building Code

☐ Signs required by the NZ Building Code for any of the above

☐ None of the above

☐☐☐☐☐☐☐☐☐☐☐☐

PART E
Complete Part E only if your project has any of the items in Part D
THE BUILDING WILL CONTAIN THE FOLLOWING (PLEASE ☒)

☐ Access and facilities for use by people with disabilities

☐ Means of escape from fire

☐ Hand held hoses for fire fighting

☐ Signs required by the NZ Building Code

☐ Safety Barriers

☐☐☐☐☐

PLEASE ADDRESS ALL CORRESPONDENCE TO:

Chief Executive Officer, Torphin Crescent, Private Bag, TOKOROA.
Telephone 07 885 0710, Fax 07 885 0799

OTHER OFFICES:

PUTARURU: Overdale Street, Telephone 07 883 7189, Fax 07 883 7215
TIRAU: Agency, Information Centre, Main Road, Tirau.



BUILDING CONSENT
APPLICATION FORM

OFFICE USE ONLY

Application Number: 550145

Date Issued: / /

PRIVACY OR PERSONAL INFORMATION

Information from this form is sold by Council. Businesses use it for marketing purposes and some will send information through the mail. If you do not want your name released then please tick the box below.

I do not want my name released. ☐

Please note that Council is required to release your name in some circumstances because Building Consents become part of a Public Register.

CONFIDENTIALITY

Plans and specifications can only be marked as confidential for copying and or security reasons. If this is required please tick box.

I would like my Plans and Specifications to be marked confidential. ☐ Fee of \$50

Signed by or for and on behalf of the applicant:

Name Ivan Clive Leonard

Signature [Signature]

Tick One ☒

Owner ☐

Agent ☒

OFFICE USE ONLY

	AMOUNT	DATE PAID	RECEIPT No.
ADMINISTRATION FEE			
PROJECT INFORMATION MEMORANDUM			
INSPECTION FEES			
CODE COMPLIANCE CERTIFICATE			
BIA LEVY			
BRANZ LEVY			
RURAL NUMBER			
VEHICLE CROSSING			
STREET DAMAGE			
WATER CONNECTION			
SEWER CONNECTION			
OTHER			
TOTAL			

Attach Receipt

APPLICATION FOR BUILDING CONSENT
Section 33, Building Act 1991



Tick One

- ☐ Application for building consent only, in accordance with project information memorandum. No.....
☐ Application for building consent and project information memorandum

PART A - Complete in all cases

OWNER	AGENT (If not owner)
Surname <u>WARNER</u>	Surname <u>Ivan Clive Picard</u>
First Names <u>KEVIN</u>	First Name <u>Hamilton B.B.Q Factory</u>
Postal Address <u>29 BERWICK PLACE</u>	Postal Address <u>PO Box 10425 Te Rapa</u>
<u>TOKOROA</u>	<u>07 849 6106</u>
Phone Numbers <u>07 8866484</u> Day	Phone Numbers <u>021 897 910</u> Day
<u>0211527155</u> Evening	<u>07 849 2197</u> Evening
Facsimile	Facsimile

PROJECT	(Please Tick)
Description <u>INSTALLATION OF KENT KIWI RAD WOODFIRE</u>	New Building ☐
Use of Building <u>HOME HEATING</u>	Alteration ☐
Estimate Value (including GST) <u>2048</u>	Demolition ☐
Floor Area	Resited ☐
Is life of building intended to be less than 50 years? Yes / <u>NO</u>	If yes then specify how many years <u>10</u>

PROJECT LOCATION		
Rural ID or Street No <u>29</u>	Road <u>BERWICK PLACE</u>	Locality <u>TOKOROA</u>

LEGAL DESCRIPTION	(Office Use only)		
Valuation Number <u>0547674000</u>	Pin Number		
Lot <u>2257</u>	DPS <u>10289</u>	Sect.	Block
Survey District	Site Area (sq. metres)		

APPROVED
BUILDING INSPECTOR _____ DATE <u> </u> / <u> </u> / <u> </u>
PLANNER _____ DATE <u> </u> / <u> </u> / <u> </u>
ENDORSEMENTS:

PROPOSED NUMBER OF INSPECTIONS

PART B - Complete all section where applicable to this project

DESIGNER(S)

Name _____

Address _____

Phone Number _____ Fax Number _____

BUILDER

Name _____

Address _____

Phone Number _____ Fax Number _____

DRAINLAYER

Name _____

Address _____

Phone Number _____ Fax Number _____

PLUMBER (If not as above)

Name Craig Buckingham

Address 23 Carlton Road

Pukekohe

Phone Number 09 2388332 Fax Number _____

Mobile Phone Number 09 2388332 Registration Number _____

021 2709 454

REGISTERED PRIVATE BUILDING CERTIFIER (If applicable)

Name _____

Address _____

Phone Number _____ Fax Number _____

Mobile Phone Number _____ Registration Number _____

OTHER PRODUCERS AND KEY PERSONNEL

Name _____

Address _____

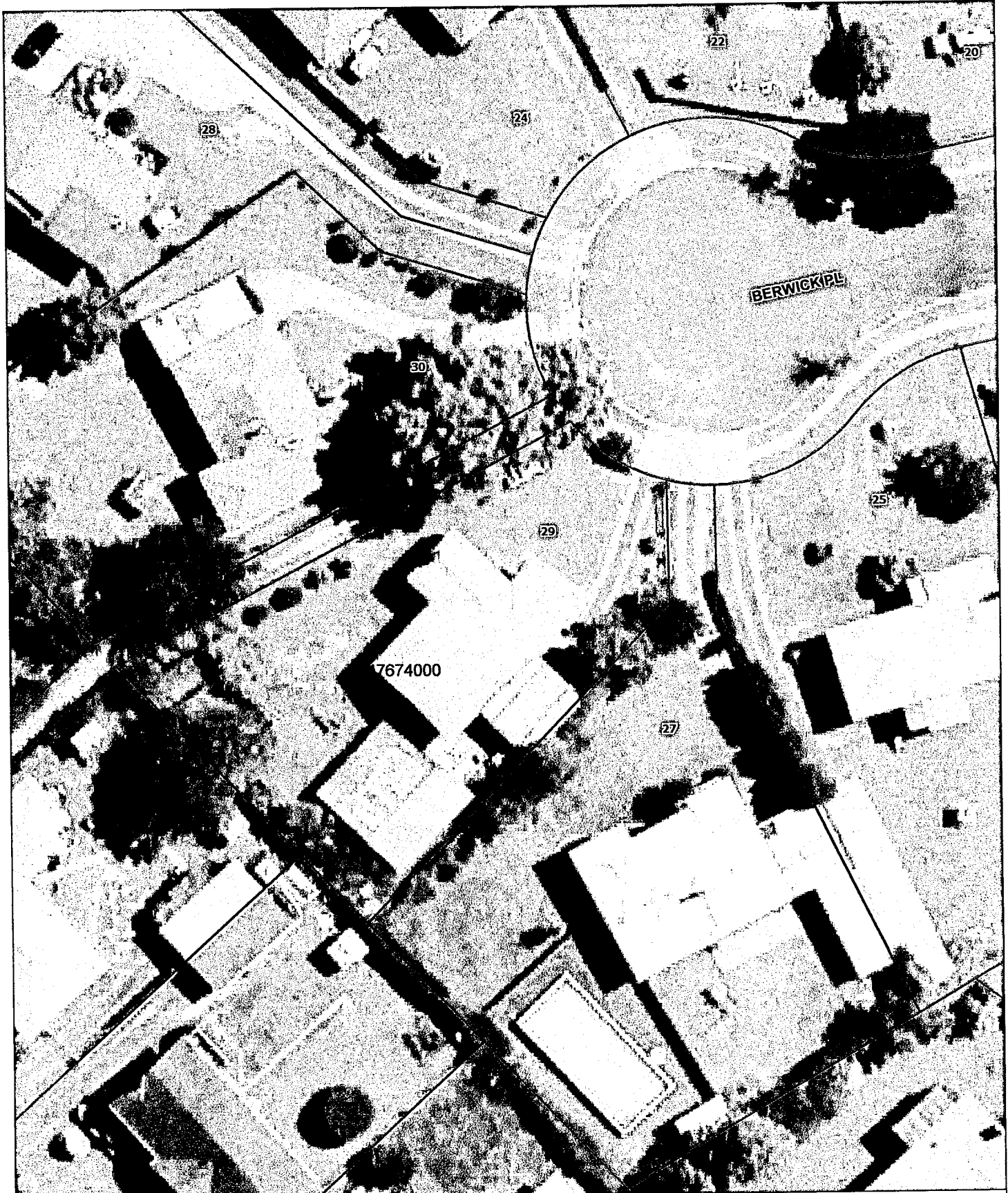
Phone Number _____ Fax Number _____

Mobile Phone Number _____



South
Waikato
District
Council
14/3/05

29 BERWICK PLACE TOKOROA



Photos taken in/on: 01 - Mar 02.

Any dimensions given are indicative and are not of Survey Grade Accuracy.

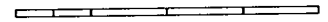
Cadastral information derived from LINZ's DCDB; Crown copyright reserved.

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The level of accuracy of the information may vary; contact the South Waikato District Council for details.

The South Waikato District Council is not responsible for consequences due to inaccuracies on this map.

0 8 16



metres

scale 1 : 400

BUCKINGHAM INDUSTRIES LTD
Installers of Solid Fuel Heaters and Hearth Manufacturers

Ph: (09) 238 9453
Fax: (09) 238 9454
Mob: 021 2709 454

Factory Address:
Cnr Harris & Wellington Sts
PUKEKOHE
Email address: bucks.hearths@xtra.co.nz

Postal Address:
23 Carlton Rd
PUKEKOHE

F A C S I M I L E

To: South Waikato District Council

Fax Number: (07) 885 0799

From: Carol Wadams

Date: 13 May 2005

No of Pages (incl Header): Two

Please find attached a Producer Statement for installation of a Solid Fuel Heater.

We would ask the Producer Statement be placed on the appropriate file to show the actual person responsible for the installation which is different to the person shown on the original permit application.

Many thanks



Carol Wadams
OFFICE MANAGER

29 Bowick Place.
T. L. L. L. L.

To:

Building consent no: 050146

South Waikato District Council

PRODUCER STATEMENT - CONSTRUCTION

Issued by: John Whittaker Installations Ltd
(NZ Home Heating Assoc. Certified Installer)

Installer no: 1686

To: Kevin Warner

(owner)

IN RESPECT OF: Installation of Solid Fuel Heater

At: 29 Bewick Pl

Tokoroa

(address)

LOT..... DP.....

SO.....

John Whittaker has contracted to: Kevin Warner

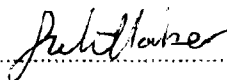
(owner/developer)

to perform the above work as described.

I, John Whittaker Certified Installer No: 1686 have sighted

building consent no: 050146 and believe on reasonable grounds that the
solid fuel heating appliance installation has been installed as per the above building consent and the
heater manufacturers instructions.

SIGNATURE OF CERTIFIED INSTALLER:



DATE: 6-4-05

EMPLOYMENT STATUS
Self employedAddress: 297 Kingseat Road
RD 4
PUKEKOHEPhone/Fax: (09) 236 4551
Mobile: 021 727 345

K Duthie
Phone 8861-752

29.11.03
Section cleared
KUD

18 December 2002

RT Rikona
29 Berwick Pl
TOKOROA

Dear Sir/Madam

**Valuation No 0547674000
Lot 2257 DPS 10289**

**Health Act 1956
Resource Management Act 1991
Local Government Act 1974 Section 650**

Take Notice That an inspection on 18 December 2002 of the property owned by you at 29 Berwick Place TOKOROA (hereafter called the land) revealed that the land was overgrown in grass and other vegetation.

The matter was advised to you on 9 December 2002 and an inspection on 18 December 2002 revealed that the land is still overgrown and is, in my opinion, likely to become a source of danger from fire.

Accordingly this notice is served on you as Owner of the above property being LOT 2257 DPS 10289 South Auckland Land District requiring you to cut down or otherwise eradicate and remove from the land any broom, gorse, scrub, weeds, overgrowth, dry grass or other growth on that land, whether standing or growing or not, in order to remove the source of danger from the risk of fire.

Take Notice That within 10 days from this notice you have a right to apply to a District Court for an order setting aside this notice.

Take Further Notice That the Council may by its officers or agents, enter upon the land and cut down or otherwise eradicate and remove from the land any of the items referred to above, and which are a source of danger from fire, in the following circumstances:-.

- Where you do not make application to a District Court, not sooner than 14 days after the issue of this Notice.
- Where you do make application to a District Court and the Court does not set this Notice aside, not sooner than 14 days after the date of the Court hearing regarding this Notice.

Costs incurred by Council may be recovered from you. Such costs become a charge on the land until paid in full.

DATED THIS 18th DAY OF DECEMBER 2002

Yours faithfully

K Duthie
REGULATORY SERVICES OFFICER

K Duthie
Phone: 8861752

9 December 2002

RT Rikona
29 Berwick Pl
TOKOROA

**VALUATION NO 0547674000
LOT 2257 DPS 10289**

Dear Sir/Madam

Property at 29 BERWICK PLACE TOKOROA

**Health Act 1956
Resource Management Act 1991
Local Government Act 1974 Section 650**

This letter is to advise you that a complaint has been received regarding long grass to the property. I have visited the property and have confirmed that there is a nuisance and fire risk. Please cut the grass within 7 days.

A further visit will be made in due course to ensure that either the task has been completed or that adequate progress is being made on the outstanding matter.

Yours faithfully

Kevin Duthie
REGULATORY SERVICES OFFICER

MATAMATA COUNTY COUNCIL

Permit Number C 006034

APPLICATION FOR BUILDING PERMIT

Date Issued 1-5-70

To The County Engineer,
Matamata County Council,
P.O. Box 13,
TIRAU.

Sir,

I hereby apply for permission to:

erect
alter
convert
reinstate
remove

Strike out items Not applicable.

erect

(Nature of Work)

at 29 Berwick Pl. for J.L. Barnes
(House Number and Street) (Owner)

of

according to locality plan, detailed plans, elevations, cross sections, and specifications of building and site plans deposited herewith.

1. Particulars of Land:

- (a) Valuation No. 548-917
(b) Lot No. 2257
(c) D.P. No. S 1289
(d) Frontage
(e) Depth
(f) Area acres roads perches

N.B. The above particulars are shown on Valuation Notices and Rate Demands.

2. Particulars of Building Materials:

- (a) Foundations Concrete / Pipes in concrete
(b) Walls Timber frame work - Pipe
(c) Roof Iron Iron
(d) Area of Ground Floor 200 + 400 sq. ft.
(e) Area of First Floor sq. ft.
(f) Area of Additions sq. ft.
(g) Area of Outbuildings sq. ft.

Estimated Value: Building \$ 132 + 100.
Approved: Drainage and Plumbing \$
Engineer: note Proposed building to be kept clear of existing drains.
Building: RWE. TOTAL \$ 232

NOTE: Separate drainage and plumbing applications are required and separate permits must be obtained.

Proposed Use or Occupancy: State clearly here and on the plans the purpose for which every part of the building or outbuildings are to be used or occupied (describing separately each part intended for use or occupation for a separate purpose).

Dwelling and/or Garage, Storeshed, Factory, etc. Carports 2

Yours faithfully,

J.L. Barnes Owner

Builder

ADDRESS OF OWNER

ADDRESS OF BUILDER

Site Plans:

Site plan showing positions of all buildings to the property to be submitted.

Proposed building(s) to be shown in red (or other distinctive colour), existing building(s) in black or grey. Distances of buildings from boundaries to be clearly shown in figured measurements.

Where applications involve a sewerred property the site plans must be drawn to scale.

Access of not less than 8 feet in width to the rear of a dwelling should be provided, unless a garage is incorporated in the dwelling.

All known easements, sewers and existing or proposed stormwater drains and building line restrictions must be shown on the site plan.

SECOND SCHEDULE

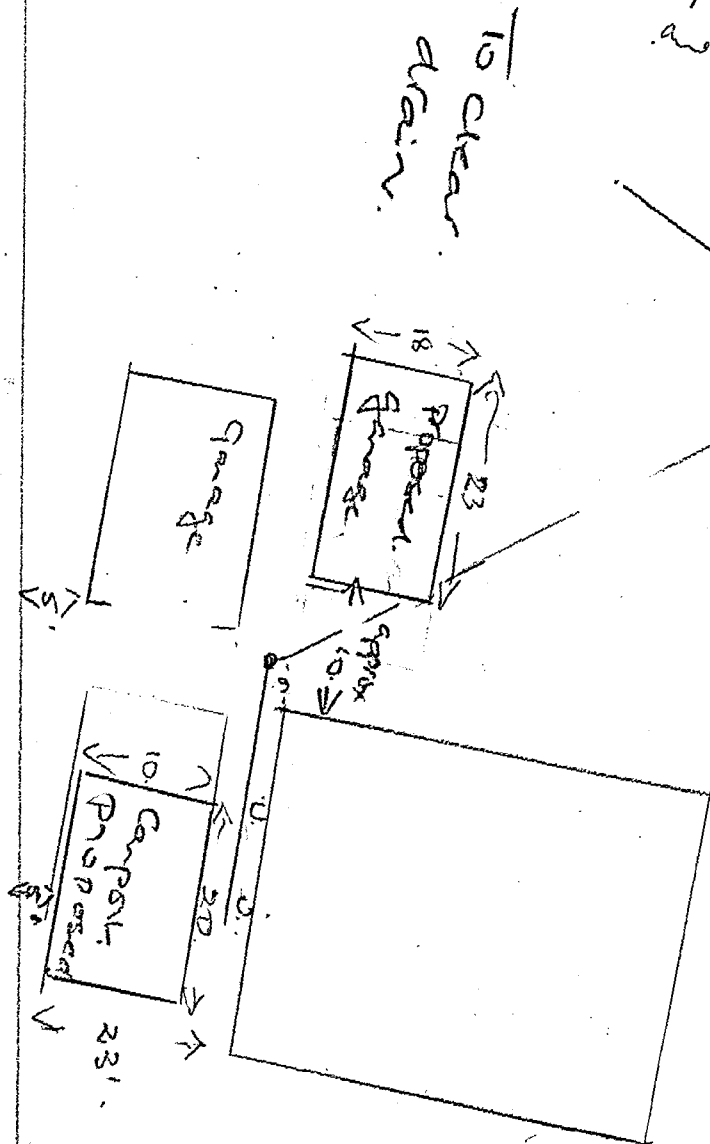
Fees Payable with all Building Permit Applications to the Estimated Value of the Work.

ESTIMATED VALUE OF BUILDING WORK

	Fees \$ c		Fees \$ c
Nil to \$200	.50	\$14,001 to \$16,000	22.00
\$201 to \$400	<u>1.00</u>	\$16,001 to \$18,000	24.00
\$401 to \$800	2.00	\$18,001 to \$20,000	26.00
\$801 to \$1,200	3.00	\$20,001 to \$25,000	30.00
\$1,201 to \$1,600	4.00	\$25,001 to \$30,000	34.00
\$1,601 to \$2,000	5.00	\$30,001 to \$40,000	40.00
\$2,001 to \$2,500	6.00	\$40,001 to \$50,000	46.00
\$2,501 to \$3,000	7.00	\$50,001 to \$60,000	52.00
\$3,001 to \$3,500	8.00	\$60,001 to \$70,000	58.00
\$3,501 to \$4,000	9.00	\$70,001 to \$80,000	64.00
\$4,001 to \$5,000	10.00	\$80,001 to \$90,000	70.00
\$5,001 to \$6,000	12.00	\$90,001 to \$100,000	76.00
\$6,001 to \$8,000	14.00	\$100,001 to \$120,000	82.00
\$8,001 to \$10,000	16.00	\$120,001 to \$140,000	88.00
\$10,001 to \$12,000	18.00	\$140,001 to \$160,000	94.00
\$12,001 to \$14,000	20.00	Exceeding \$160,000	100.00

In any dispute the Engineer shall have the absolute determination of the value of such work.

This applicant has an existing garage on the site, and is applying for additional garage and carport.



APPLICATION FOR PERMIT FOR SANITARY PLUMBING OR DRAINAGE WORK

N.Z. FOREST SERVICE LTD.
BUILDING DIVISION

To the County Health Inspector,
Matanata County Council.

I the undersigned

George Dunn
(Name in full)

Box 163. Tokoroa.
(address)

hereby apply for permission for the work described herein and set out in the plans attached hereto, to be carried out in the premises

Situated in Lot 2257 D.P. 10259 Street Berwick Pl.

Description of Work: Sanitary Plumbing & Drainage.

No. of Water Closets: 1

No. of Urinals: —

Name and address of registered plumber or other person entitled to do the work;

E. Thompson & L. Dayveston.

Value of proposed Work
(Including Materials)

\$400.

Estimated Value of:

Plumbing: \$300

Drainage: \$100.

TOTAL

Total Fee A

DATE:

Receipt No. 6421

Valuation No.

Inspected:

Signature G. Dunn

SEWER CONNECTION

Fee Payable (£2-10-0)

Receipt No. 643

Date:

Inspected:

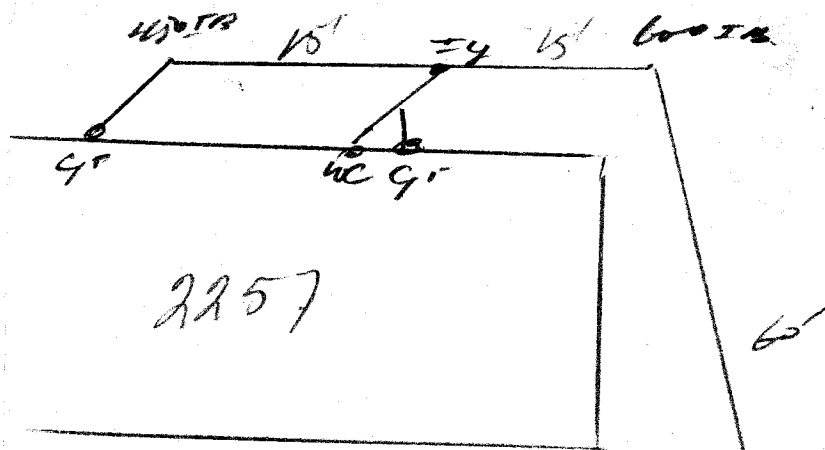
Total Fees \$4 B

Permit Fees for Plumbing and Drainage

	£.	s.	d.
Not exceeding £25		5	0
exceeding £25 but not exceeding £50		10	0
" £50 " " " £100	1	0	0
" £100 " " " £150	1	10	0
" £150 " " " £200	2	0	0
" £200 " " " £300	2	10	0
" £300 " " " £400	3	0	0
plus 10/- for every hundred or part thereof in excess of £400.			

A plan of every sewer connection shall be deposited at the Council Office immediately following inspection.

2431



IR

Sensor

MATAMATA COUNTY COUNCIL

APPLICATION FOR BUILDING PERMIT

Permit Number ACO 2423

Date Issued 2/10/67

To The County Engineer,
Matamata County Council,
P.O. Box 13,
TIRAU.

Sir,

I hereby apply for permission to:

erect
alter
convert
reinstate
remove

Strike out items Not applicable.

Alpha type House & garage
(Nature of Work)

at 29 Benwick Place for NZFP Ltd.
(House Number and Street) (Owner)

of Box 163 Tokoroa

according to locality plan, detailed plans, elevations, cross sections, and specifications of building and site plans deposited herewith.

1. Particulars of Land:

- (a) Valuation No. 0547674000
- (b) Lot No. 2257
- (c) D.P. No. 10289
- (d) Frontage
- (e) Depth
- (f) Area acres roads perches

N.B. The above particulars are shown on Valuation Notices and Rate Demands.

2. Particulars of Building Materials:

- (a) Foundations Concrete Piles
- (b) Walls Weatherside
- (c) Roof G. G. Iron
- (d) Area of Ground Floor 1036 sq. ft.
- (e) Area of First Floor sq. ft.
- (f) Area of Additions sq. ft.
- (g) Area of Outbuildings sq. ft.

Estimated Value:	Building	\$ 5000
	Drainage and Plumbing	\$
	TOTAL	\$

NOTE:—Separate drainage and plumbing applications are required and separate permits must be obtained.

Proposed Use or Occupancy:—State clearly here and on the plans the purpose for which every part of the building or outbuildings are to be used or occupied (describing separately each part intended for use or occupation for a separate purpose).

Dwelling and/or Garage, Storshed, Factory, etc.

Yours faithfully, N.Z. FOREST PRODUCTS LTD.
BUILDING DIVISION
Owner
Builder

ADDRESS OF OWNER
ADDRESS OF BUILDER

See Over for Second Schedule

Site Plans:

Site plan showing positions of all buildings to the property to be submitted.

Proposed building(s) to be shown in red (or other distinctive colour), existing building(s) in black or grey. Distances of buildings from boundaries to be clearly shown in figured measurements.

Where applications involve a sewered property the site plans must be drawn to scale.

Access of not less than 8 feet in width to the rear of a dwelling should be provided, unless a garage is incorporated in the dwelling.

All known easements, sewers and existing or proposed stormwater drains and building line restrictions must be shown on the site plan.

SECOND SCHEDULE

Fees Payable with all Building Permit Applications to the Estimated Value of the Work.

ESTIMATED VALUE OF BUILDING WORK

		Fees \$ c			Fees \$ c
Nil to	\$200	.50	\$14,001 to	\$16,000	22.00
\$201 to	\$400	1.00	\$16,001 to	\$18,000	24.00
\$401 to	\$800	2.00	\$18,001 to	\$20,000	26.00
\$801 to	\$1,200	3.00	\$20,001 to	\$25,000	30.00
\$1,201 to	\$1,600	4.00	\$25,001 to	\$30,000	34.00
\$1,601 to	\$2,000	5.00	\$30,001 to	\$40,000	40.00
\$2,001 to	\$2,500	6.00	\$40,001 to	\$50,000	46.00
\$2,501 to	\$3,000	7.00	\$50,001 to	\$60,000	52.00
\$3,001 to	\$3,500	8.00	\$60,001 to	\$70,000	58.00
\$3,501 to	\$4,000	9.00	\$70,001 to	\$80,000	64.00
\$4,001 to	\$5,000	10.00	\$80,001 to	\$90,000	70.00
\$5,001 to	\$6,000	12.00	\$90,001 to	\$100,000	76.00
\$6,001 to	\$8,000	14.00	\$100,001 to	\$120,000	82.00
\$8,001 to	\$10,000	16.00	\$120,001 to	\$140,000	88.00
\$10,001 to	\$12,000	18.00	\$140,001 to	\$160,000	94.00
\$12,001 to	\$14,000	20.00	Exceeding \$160,000		100.00

In any dispute the Engineer shall have the absolute determination of the value of such work.