

PROPOSED NEW RESIDENCE

MGH

SHEET INDEX

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MARLBOROUGH DISTRICT COUNCIL
BUILDING CONSENT AUTHORITY
APPROVED DOCUMENTS

Signed:

Date: 13/11/2024

ALL WORK IS TO COMPLY WITH THE CONSENTED DOCUMENTS & THE NZ BUILDING CODE
DO NOT MAKE CHANGES WITHOUT PRIOR APPROVAL

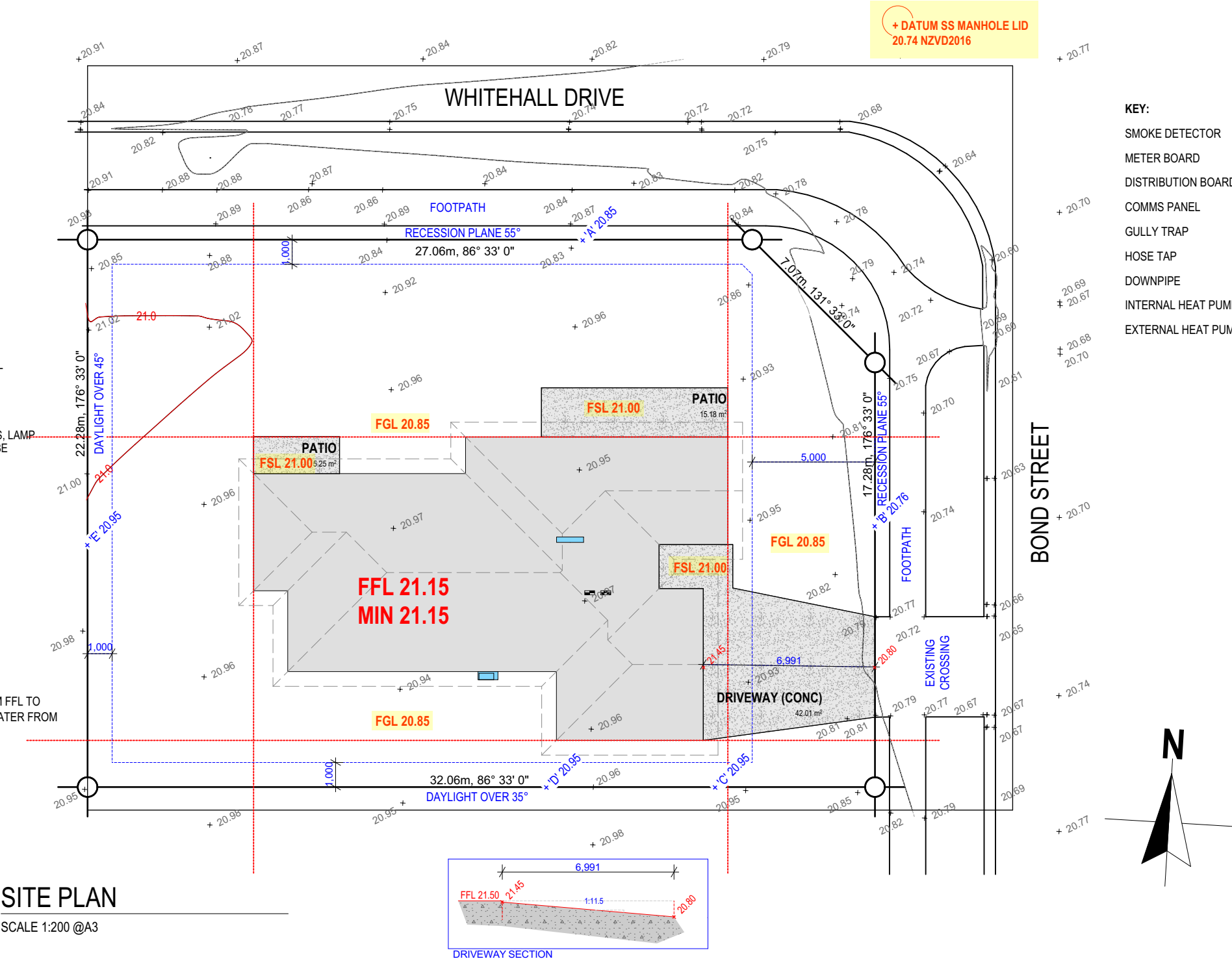
PRODUCER STATEMENTS AND INSPECTION
REPORTS ARE REQUIRED FOR THIS PROJECT

These must be provided by people or organisations approved to do so by the Building Consent Authority. These are listed on the inspection sheet attached to the site copy of the documents and are to be received before the code compliance certificate can be issued.

IMPORTANT NOTE: ALL LANDSCAPING, PLANTING, LIGHTING AND FENCING IS SHOWN FOR IMAGING PURPOSES ONLY. REFER TO BUILDING CONTRACT AND "FIXTURES AND FITTINGS" FOR LANDSCAPING INCLUSIONS

GENERAL NOTES	
SITE AREA	700m ²
FLOOR AREA OVER FRAMING	175.32 m ²
FLOOR AREA OVER FOUNDATION	175.33 m ²
SITE COVERAGE AREA (OVER FOUNDATION INCL. COVERED AREAS)	177.48 m ²
SITE COVERAGE	25%
EXPOSURE ZONE	B
WIND ZONE	HIGH
EARTHQUAKE ZONE	3
TERRITORIAL AUTHORITY	MDC
PLANNING ZONE	URBAN RESIDENTIAL 2
GENERAL:	CONCEPT SUBJECT TO TA RULES AND REGULATIONS. ALL DIMENSIONS TO BE CONFIRMED ON SITE CONCEPT MAY BE SUBJECT TO SUBDIVISION DEVELOPER'S APPROVAL
FOUNDATION TYPE:	WAFFLEPOD
SITE INFORMATION:	POSITION OF ROAD CROSSING, SERVICES LOCATIONS, STREET TREES, LAMP POSTS, PARKING BAYS, PEDESTRIAN ISLANDS ETC IS UNKNOWN - TO BE CONFIRMED WHEN INFORMATION BECOMES AVAILABLE.
LANDSCAPING:	THIS PLAN IS INDICATIVE ONLY. LANDSCAPING TO BE CONFIRMED BY THE CLIENT. ALL FENCING TO COMPLY WITH THE RELEVANT COVENANTS. REFER TO LANDSCAPE ARCHITECTS PLAN.
BOUNDARY INFORMATION:	CONFIRMED WITH TITLE
SITE LEVELS:	LEVELS OBTAINED FROM SITE SURVEY
SITE SERVICES:	STORMWATER: COUNCIL CONNECTION AT BOUNDARY SEWER CONNECTION: COUNCIL CONNECTION AT BOUNDARY

- STEPS AND PATHS:**
A STEP/S OR APPROPRIATE LANDSCAPING IS TO BE PROVIDED IF DROP FROM EXTERNAL DOORS IS GREATER THAN 190mm FROM FFL TO FGL. ALL ACCESS ROUTES MUST PROVIDE A NON-SLIP SURFACE IN ACCORDANCE TO NZBC D1/AS TABLE 2. CONVEY SURFACE WATER FROM SEALED DRIVE TO AN APPROPRIATE APPROVED OUTFALL.
- SURFACES:**
- DRIVEWAY / CONCRETE PATHS THAT PROVIDE PRIMARY ENTRY TO THE HOME
CONCRETE - EXPOSED AGGREGATE (CRUSHED AGG) OR COATED AND SAND/GRIT IMPREGNATED
TIMBER (DECKS) - UNCOATED/PROFILED WITH DECKING AT 90° TO DIRECTION OF TRAVEL
- SEDIMENT CONTROL NOTES:**
- ENSURE ACCESS TO SITE IS PROTECTED WITH MIN 150MM OF GRAVEL HARD STAND FOR A MIN LENGTH OF 4m INTO SITE
- PLACE FILTER CLOTH UNDER SW SUMP IN STREET THAT SITE FALLS TO
- PLACE FILTER SOCK AROUND SAME SUMP
- BUILDER TO MONITOR SUMP DURING BUILD AND REPLACE / CLEAN FILTERS WHEN REQUIRED
- HARD LANDSCAPING FALLS:**
- DRIVEWAY FALLS @ 1:100
- PAVING FALLS @ 1:100
- SERVICE COURT AREA FALLS @ 1:100



SITE PLAN
SCALE 1:200 @A3

LEGEND

REF	FIXTURE	WASTE SIZE	GRADIENT
WC	WATER CLOSET	100mm	1:60
B	BATH	40mm	1:40
SH	SHOWER	40mm	1:40
S	KITCHEN SINK + DW	50mm	1:40
VAN.U	VANITY UNIT	40mm	1:40
WHB	WASH HAND BASIN	40mm	1:40
TUB	LAUNDRY TUB + WM	50mm	1:40
HWC	HOT WATER CYLINDER	40mm&25mm1:40	
WM	WASHING MACHINE	DISCHARGE TO TUB	
GT	GULLY TRAP		
RGT	RELIEF GULLY TRAP		
TV	TERMINAL VENT	80mm	
BV	BRANCH VENT	40mm	
DP	DOWNPIPE	80mm	
IP	INSPECTION POINT		
AAV	AIR ADMITTANCE VALVE		
HT	HOSE TAP		
HP	HEAT PUMP		

- 100MM UPVC SURFACE WATER DRAIN AT 1:100 GRADIENT TO EXISTING LATERALS AT BOUNDARY. (SW)
- 100MM UPVC FOUL WATER DRAIN AT 1:60 GRADIENT TO EXISTING LATERALS AT BOUNDARY. (FW)
- ALL INTERNAL WASTE PIPES - SIZE & GRADIENT SHOWN IN ABOVE TABLE

NOTE:

- RELIEF GULLY TRAP IS TO BE POSITIONED SO THAT THE TOP OF THE GULLY DISH IS NO LESS THAN 150MM BELOW THE OVERFLOW LEVEL OF THE LOWEST SANITARY FIXTURE SERVED BY THE DRAINAGE SYSTEM.
- POSITION OF DRAIN CONNECTIONS AT STREET LATERALS TO BE CONFIRMED ON SITE.
- ALLOW TO THERMALLY INSULATE ALL EXTERIOR PIPEWORK & VALVES EXPOSED TO EXTERNAL WEATHER CONDITIONS.

DRAIN PIPES DISCHARGING TO GT:

- 25MM MIN AIR GAP BETWEEN ALL PIPES & GT.

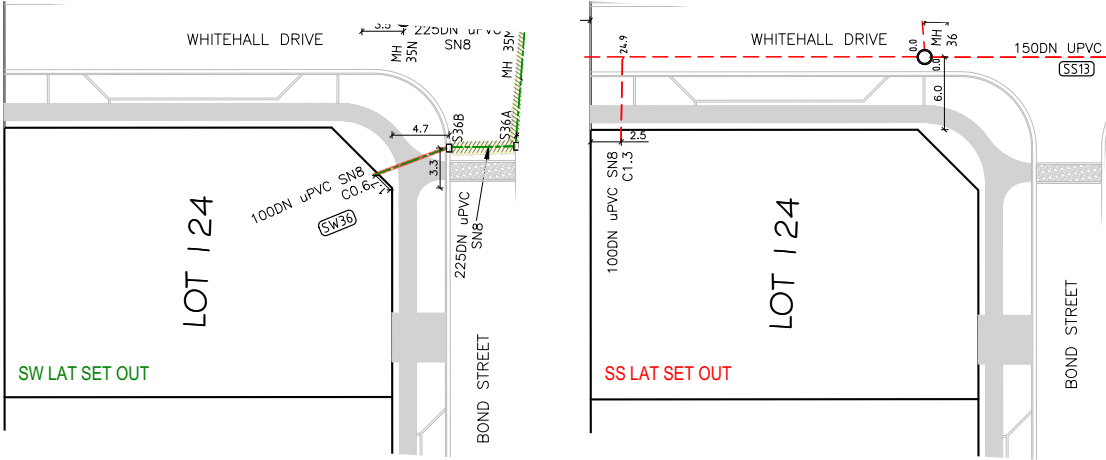
GENERAL NOTES:

ALL PLUMBING AND DRAINAGE TO COMPLY WITH ACCEPTABLE SOLUTIONS G13/AS1/AS2 BY QUALIFIED TRADES PERSON. ALLOW TO CHECK ALL DIMENSIONS AND FALLS OF DRAINS ONSITE PRIOR TO INSTALLATION.

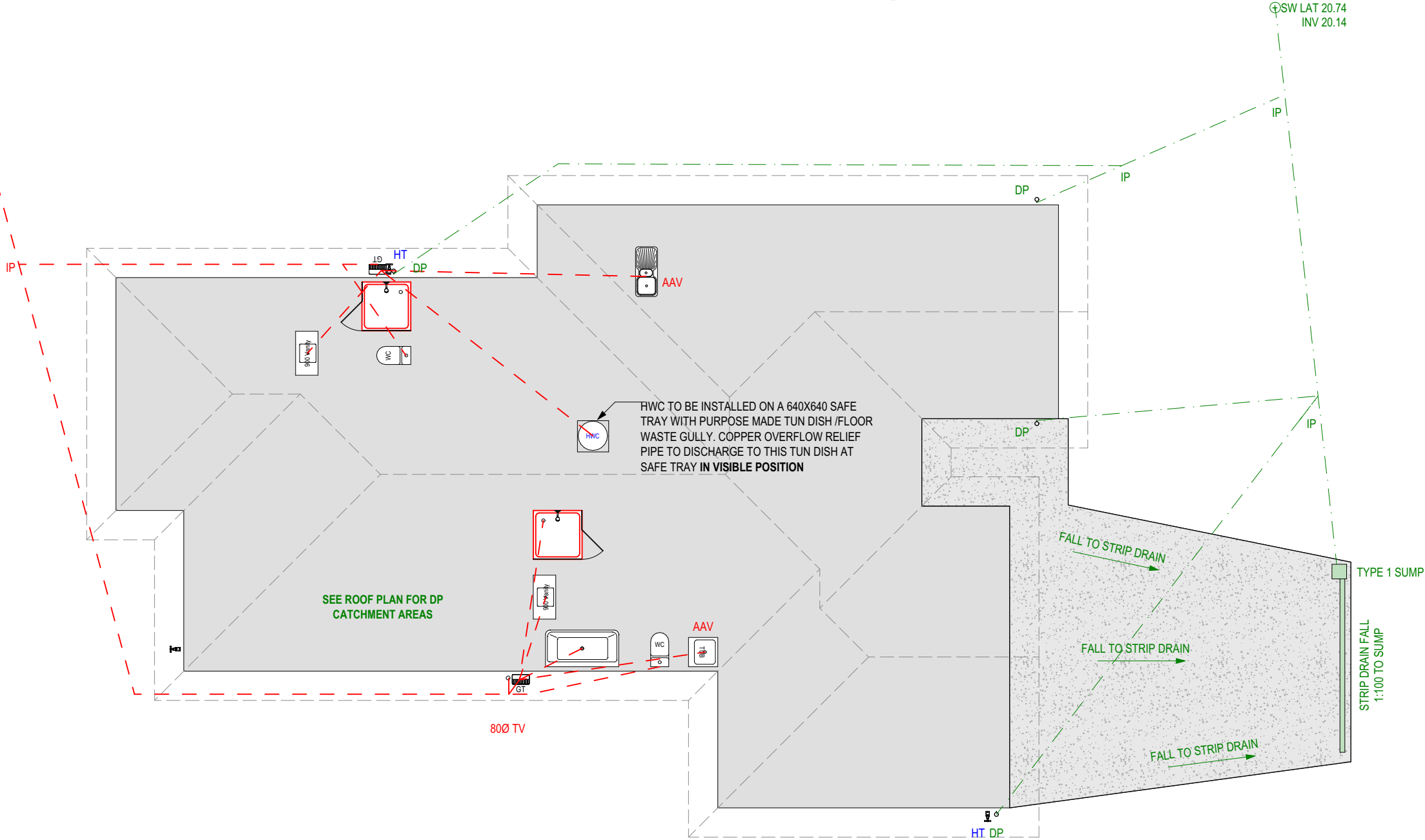
USE 80mm DOWNPIPES. CONTRACTOR TO LOCATE ALL SERVICE CONNECTIONS ON SITE PRIOR TO EARTHWORKS, CONFIRM ALL BOUNDARY SETBACKS & RESTRICTIONS COMPLY WITH CURRENT REGULATIONS PRIOR TO COMMENCEMENT OF FOUNDATIONS.

ALL WASTE PIPES PVC. SIZES, FALL, VENTING & DISCHARGE TO BE CONFIRMED BY NZ QUALIFIED PLUMBER. CONFIRM POSITIONS OF AVAILABLE SERVICES CABLING ETC. ON SITE PRIOR TO ANY EXCAVATION.

INTERNAL WATER PIPES TO BE POLYBUTYLENE. ALL PIPEWORK & PIPES EXPOSED TO FREEZING TO BE LAGGED WITH CLOSED CELL FOAM.



- KEY:**
- SMOKE DETECTOR
 - METER BOARD
 - DISTRIBUTION BOARD
 - COMMS PANEL
 - GULLY TRAP
 - HOSE TAP
 - DOWNPIPE
 - INTERNAL HEAT PUMP
 - EXTERNAL HEAT PUMP



DRAINAGE PLAN

SCALE 1:100 @A3

GENERAL NOTES
FLOOR AREA OVER CLADDING: 175.32m²
PERIMETER (OVER FOUNDATION) 66,920.0 mm

ROOF PITCH 25°
EAVES WIDTH 600mm
GABLE WIDTH 600mm
HEIGHT TO UNDERSIDE OF TRUSS 2460mm
LINTEL HEIGHT 2130mm
SOFFIT HEIGHT 2145mm
SOFFIT TYPE FLAT

INTERNAL DOOR LEAF HEIGHT STANDARD 2045 RO OR OVERHEIGHT

LININGS GIB(10mm TO WALLS 13mm TO CEILINGS)
CEILING BATTENS 35mm METAL CEILING BATTENS DIRECT FIXED @ 600mm CRS

HEATING: HEAT PUMP TO BE FIXED IN POSITION SHOWN ON THE DRAWINGS.
REFER TO SPECIFICATIONS FOR MORE INFORMATION.

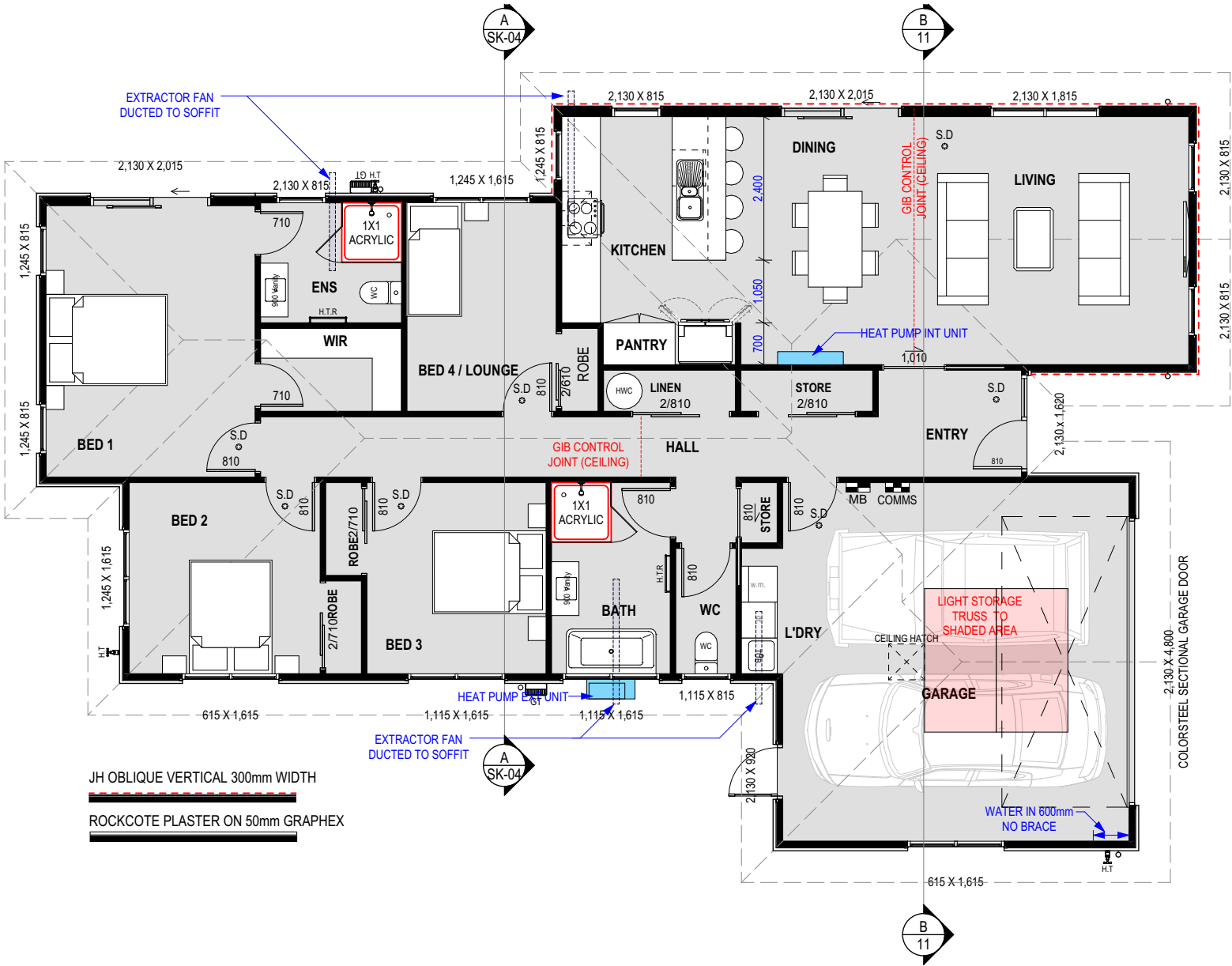
CEILING VENTS: BATHROOM , ENSUITE & LAUNDRY TO VENTED DIRECTLY TO EXTERIOR
RANGE HOOD TO EXIT THROUGH SOFFIT LINING

SMOKE ALARMS: SMOKE ALARMS WITH 'HUSH BUTTON'
SHALL BE LOCATED IN ALL BEDROOMS, LIVING SPACES, HALLWAYS AND
LANDINGS WITHIN THE BUILDING

ADDITIONAL FLOOR PLAN NOTES:
- ALL GLAZING TO COMPLY WITH NZS4223
- ALL HARD FLOOR FINISHES AT MAIN ENTRANCE TO COMPLY WITH NZBC D1/AS TABLE 2.
- HOT WATER PIPES TO BE SIZED ACCORDING TO NZBC G12 & NZS4305:1996. MAINS PRESSURE: 15mm DIA. ALLOWS 12m MAX.
PIPE LENGTH. PIPE LENGTH BEYOND THIS MUST BE LAGGED.
- SATIN ENAMEL WALL FINISH TO BATHROOM, ENSUITE & THOSE WALLS ADJACENT TO SINKS ETC. IN KITCHEN & LAUNDRY.
IMPERVIOUS LINING TO BE USED ABOVE BASINS, VANITIES & BENCHES. BOTTOM EDGE TO BE FILLED WITH FUNGUS/MOULD
RESISTANT SEALANT.
-ENSURE ALL SPACES WITHIN THE BUILDING ARE PROVIDED WITH ADEQUATE ARTIFICIAL LIGHTING
(MIN. 20 LUX AT FLOOR LEVEL) TO ENABLE SAFE MOVEMENT IN THE ABSENCE OF NATURAL LIGHT
-ALL DOWNLIGHTS FITTED TO HOUSE ARE TO BE IC-F CLASS (INSULATION OVER)

WATER PROOFING MEMBRANE NOTE:
SELECTED WATERPROOFING MEMBRANE REQUIRED TO BATHROOMS & REBATED/LEVEL ACCESS SHOWERS.

FLOOR COVERINGS
MODULEO VINYL PLANKS TO ENTRY / KITCHEN / PANTRY / LAUNDRY / BATHROOM & WC / ENS DIAMOND GRINDING
CARPET TO REMAINDER

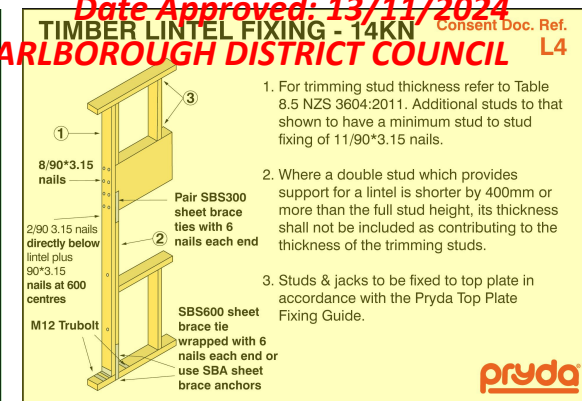


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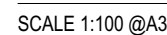
FLOOR PLAN
SCALE 1:100 @A3

APPROVED DOCUMENTS

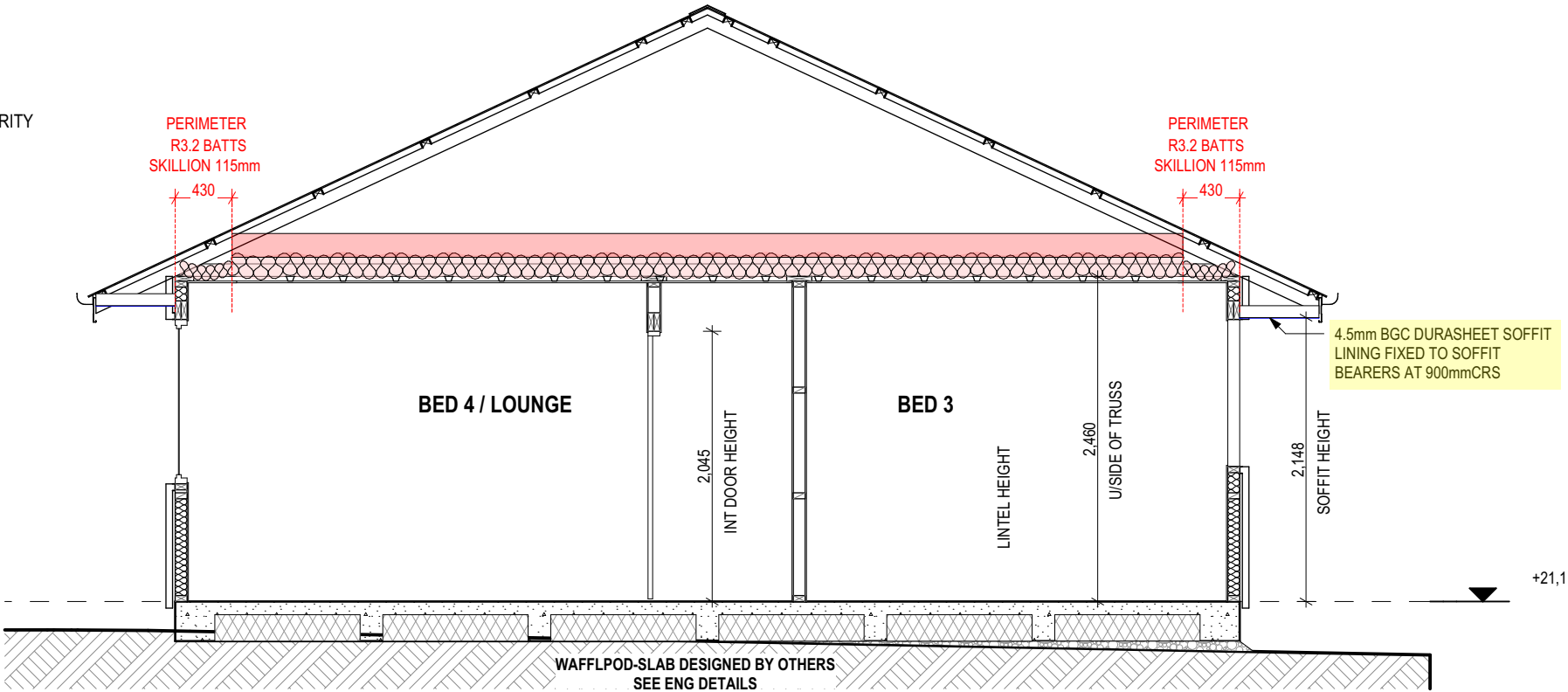
MARLBOROUGH DISTRICT COUNCIL



- ALL DIMENSIONS TO BE CONFIRMED ON SITE.

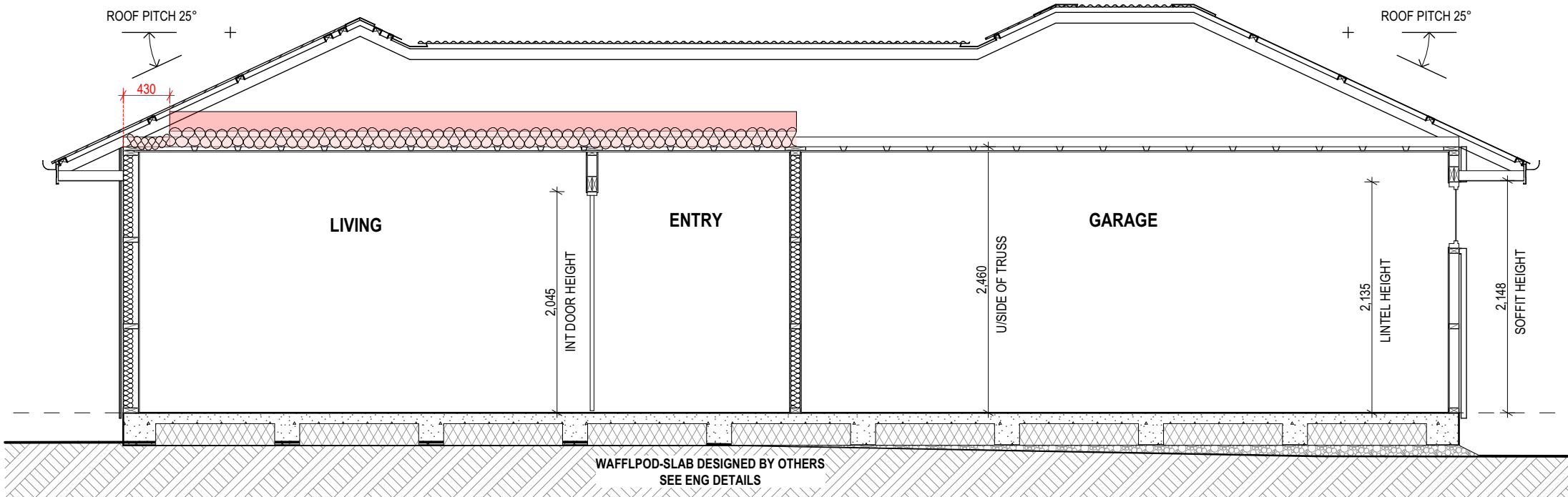


NOTE :TRUSS DESIGN INDICATIVE ONLY
I.E INTERNAL WEBBING STRUCTURE NOT SHOWN FOR CLARITY



SECTION AA

SCALE 1:50 @A3

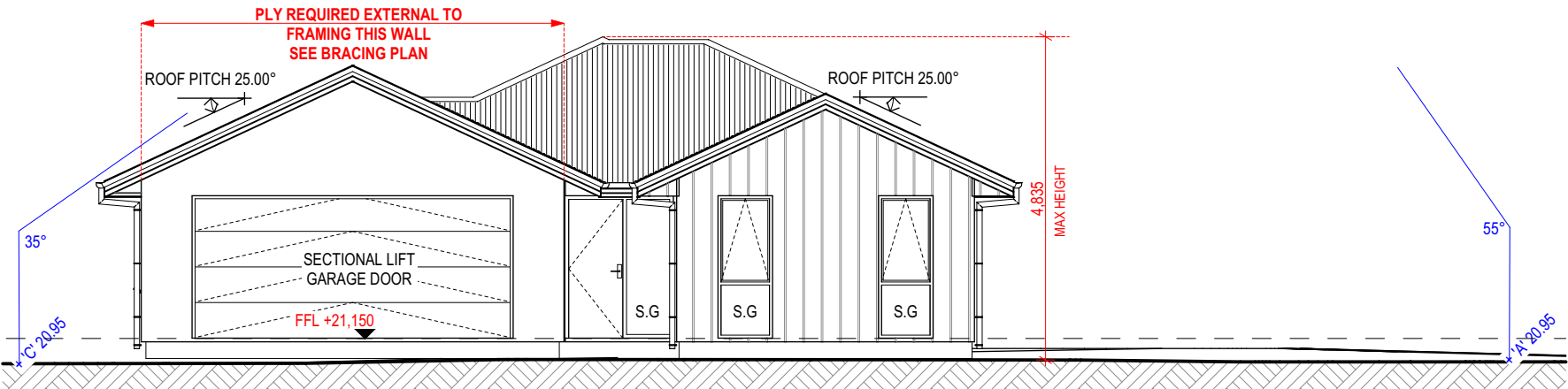


SECTION BB

SCALE 1:50 @A3

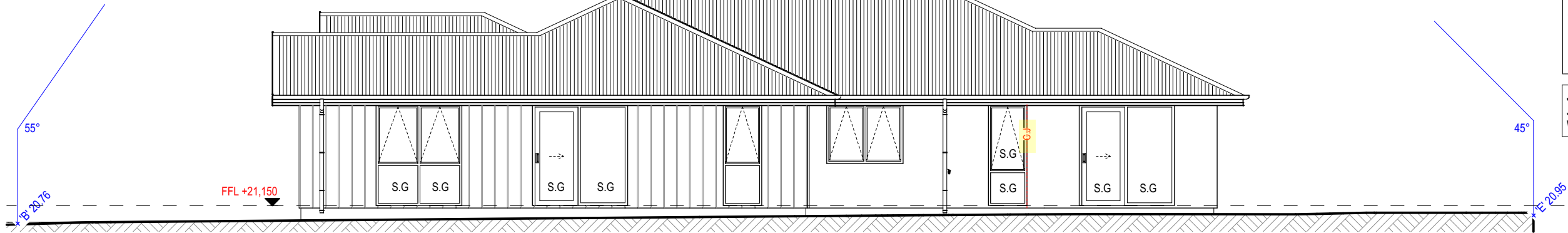
 © Mike Greer Homes NZ Ltd Office: 3/321 Lower Queen Street, Richmond, Nelson P O Box 3710, Richmond 7050 P 03 544 7873	JOB TITLE: MGH	DRAWING TITLE: SECTIONS	LEGAL DESCRIPTION: LOT: 124 DP:570929 31 WHITEHALL DR, BLENHEIM	LEGAL NOTES: 1. Subject to council approval 2. All measurements to be confirmed on site by the contractor prior to the commencement of work © 2017 Mike Greer Homes NZ Limited. All rights reserved. No part of this work covered by copyright may be reproduced or copied in any form or by any means without the written permission of Mike Greer Homes NZ Limited.	EXP ZONE: B	DES: TC	WIND ZONE: HIGH	JOB # ML0071
	IMPORTANT NOTE: THE SCHEDULE OF FIXTURES AND FITTINGS TAKES PRECEDENCE OVER THESE DRAWINGS				1.1	TC	12/11/2024	SHEET: 11

Marlborough District Council
Date Received: 12/11/2024



EAST ELEVATION

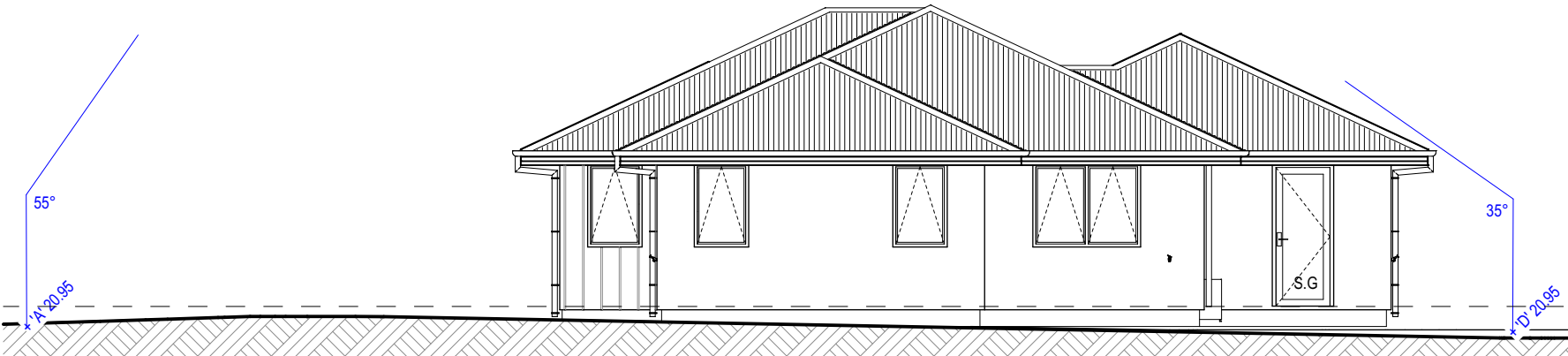
SCALE 1:100 @A3



NORTH ELEVATION

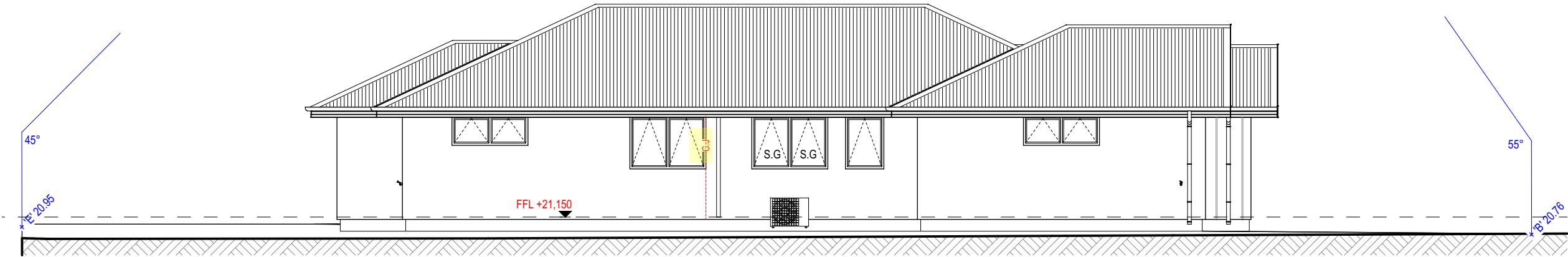
SCALE 1:100 @A3

BUILDING ENVELOPE RISK MATRIX		
ALL EXTERNAL WALLS		
Risk Factor	Risk Severity	Risk Score
Wind zone (per NZS 3604)	High risk	1
Number of storeys	Low risk	0
Roof/wall intersection design	Low	0
Eaves width	Medium risk	1
Envelope complexity	Low	0
Deck design	Low risk	0
Total Risk Score:		2



WEST ELEVATION

SCALE 1:100 @A3



SOUTH ELEVATION

SCALE 1:100 @A3

CLADDING GENERAL

SOME CLADDING PRODUCTS REQUIRE HORIZONTAL OR VERTICAL JOINERS THAT WILL NOT BE SHOWN IN ELEVATIONS

RCS ROCKCOTE MODIFIED PLASTER

MESH REINFORCED PLASTER OVER 50mm GRAPHEX ON CAVITY BATTEN SYSTEM OVER BUILDING WRAP TO FRAMING.

CONTROL JOINTS TO OCCUR

WHERE THE WALL LENGTH IS GREATER THAN 8 METRES IN LENGTH A CONTROL JOINT WILL NEED TO BE INSTALLED OR WHERE A TWO STOREY DWELLING WALL HEIGHT EXCEEDS 6 METRES A HORIZONTAL CONTROL JOINT IS REQUIRED

JH OBLIQUE W/BOARD (VERTICAL) 300mm WIDTH

JAMES HARDIE OBLIQUE W/BOARD ON 20mm CAVITY OVER BUILDING WRAP TO FRAME SEE FIXING DETAILS IN ATTACHED SPECIFICATION.

GENERAL NOTES:

ROOF CLADDING:

SELECTED 25° PITCH COLORCOTE WITH 600mm OVERHANG (600mm IN GABLES) OVER SELF SUPPORTING UNDERLAY ON 90x45 H1.2 PURLINS @ 900mm CRS ON APPROVED NAIL PLATE TRUSSES @ 900 CRS MAX. 185mm COLORCOTE FASCIA.

PROPRIETARY COLORSTEEL SPOUTING WITH CONCEALED BRACKETS @ 800mm CRS MAX. FIXED TO COLORSTEEL FASCIA. (5,550mm² CROSS SECTIONAL AREA TO SPOUTING). WITH 80mm COLORSTEEL DOWNPIPES

ALL FLASHINGS TO BE 0.55 BMT COLORSTEEL FIXED IN ACCORDANCE WITH NZS3604:2011 AND MEETING THE DURABILITY REQUIREMENTS OF NZBC E2/AS1 TABLE 20,21,22

ROOF FRAMING:

ALL TRUSSES TO BE DESIGNED & APPROVED BY A QUALIFIED TRUSS MANUFACTURER ABLE TO ISSUE A PRODUCER STATEMENT PRIOR TO BUILDING CONSENT APPROVAL, WHICH SHALL GUARANTEE SATISFACTORY PERFORMANCE WITHIN THE PARAMETERS OF THIS DESIGN. THE TRUSS SYSTEM DESIGN SHALL INCLUDE BRACING IN ACCORDANCE WITH NZS3604:2011.

PITCHING HEIGHT TO BE SET AT 2460mm ABOVE FFL

FIXING NOTES:

11° ROOF PITCH OR HIGHER = RUN UNDERLAY HORIZONTALLY OR VERTICALLY
10° ROOF PITCH OR LOWER = RUN UNDERLAY HORIZONTALLY ONLY

PURLINS/BATTENS FIXED TO TRUSSES AS PER NOTE ON DRAWINGS THIS SHEET

90X45mm H1.2 TREATED SG8 OUTRIGGERS TO GABLE VERGE TO ALLOW FOR 600mm OVERHANG/EAVE WIDTH. OUTRIGGERS TO SPAN BACK TO NEXT TRUSS.
OUTRIGGERS TO BE FIXED AS PER NZS3604:2011 TABLE 10.18 & BRANZ ADAPTATION BUILD 142:
- 2/90 X 3.15mm SKEW NAILS & 2/WIRE DOGS EACH SIDE TO GABLE TRUSSES.
- 2/90 X 3.15mm SKEW NAILS & 2/WIRE DOGS EACH SIDE TO RAFTERS.
- 4/90 X 3.15mm SKEWED NAILS TO BLOCKING.

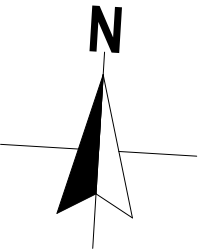
SELECTED NAIL PLATE TRUSSES @ 900mm CRS MAX. FIXED TO TOP PLATE AS PER TRUSS DESIGN

ROOF BRACING TO BE 8.0KN DIAGONALLY OPPOSED INTERSECTING STEEL STRAPS FIXED TO TOP CHORD & TOP PLATE AS PER NZS3604:2011, SECTION 10.3, 10.4 AS PER TO TRUSS MANUFACTURER'S DESIGN.

GENERAL KEY:

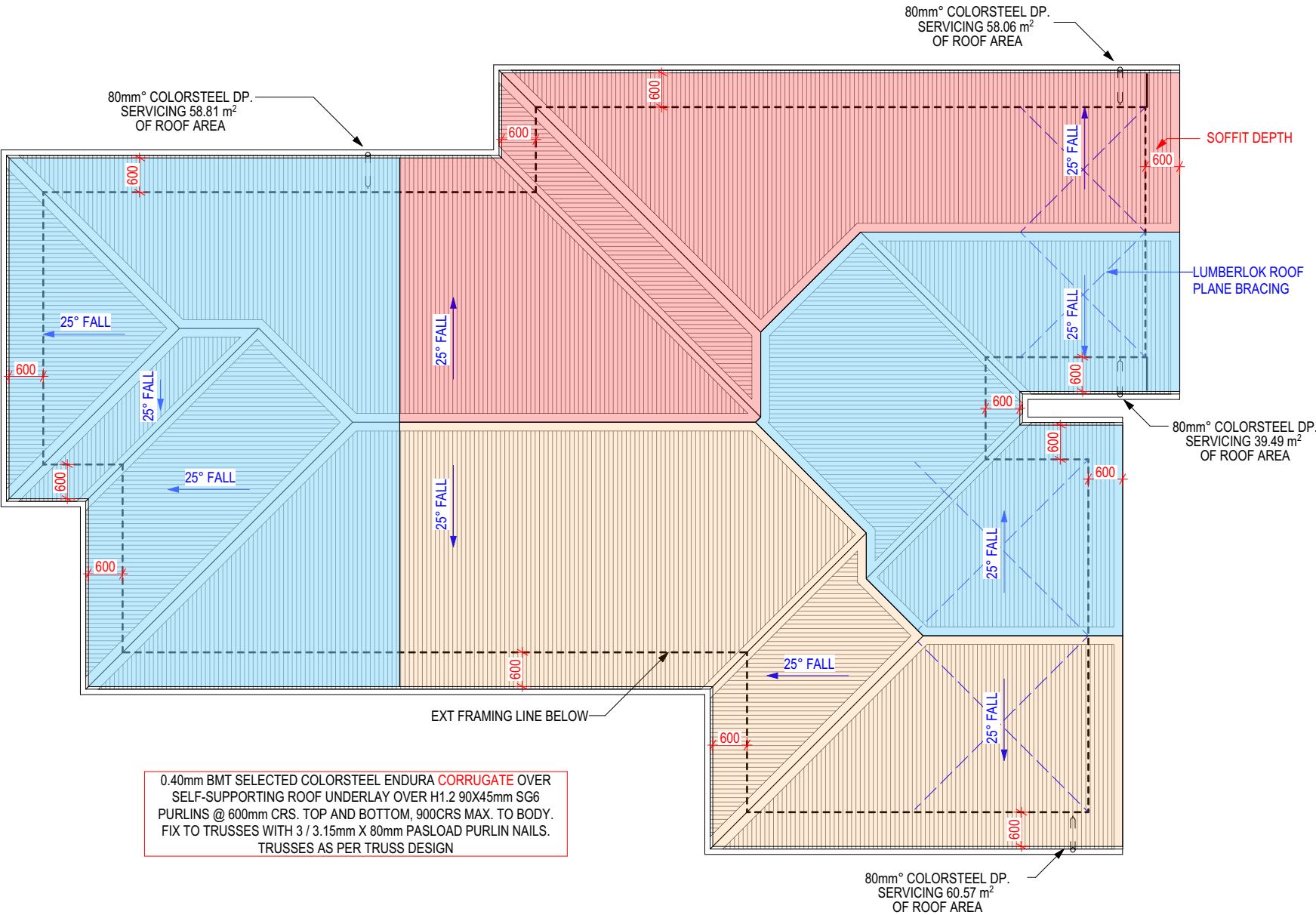
LUMBERLOK STRIP ROOF BRACING AS PER 3604:

GUTTER FALL: → → → →



ROOF PLAN

SCALE 1:100 @A3



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					VERSION: 1.1	TECH: TC	DATE OF ISSUE: 22/10/2024	SHEET: 13