

Date: 05 05 97 L 4630

BUILDING CONSENT APPLICATION LODGEMENT

TAX INVOICE G.S.T. Reg. No. 51-938-283

To P M Smith
44 Dickson Rd
Tapanui.

P/F:

Applicant:

Site Address: 179 B Dickson Rd

LODGEMENT FEES:

		\$
Administration	COM	
Project Information Memorandum	PIM	
Processing Fee	BIN	
External Certification Fee	LDR BEX	
TOTAL LODGEMENT FEE (GST Inclusive)		\$ 300—

RECEIPT NUMBER: 528082

Only a tax invoice when accompanied by an official receipt.



TAURANGA
DISTRICT COUNCIL



DEPARTMENT OF
ENVIRONMENTAL
SERVICES

First Floor,
Administration Building,
Willow St, Tauranga.



(07) 5777-000



(07) 5777-144



Private Bag,
Tauranga, N.Z.



File Number: P1580-179-1^B
PIM Number: 97/1171

Water Connection Consent

Address:

179B DICKSON RD

P/MOA

LOT 2.

WILLIE
025-829123

Consent is given to connect to Council's water mains at the above address subject to the following conditions:

Condition One: The connection may only be made by one of the following contractors:

- Aspen Contractors Ltd, PO Box 147, Tauranga. Phone 571 8867
- Civil Gas Holdings Ltd, PO Box 652, Tauranga. Phone 025 924 602 AH 577 6665
- Ike Stephens, 39A Anne Road, Tauranga. Phone 576 1797 Cell phone 025 958 272
- Reece Baker, 271 Grange Road, Tauranga. Phone 025 945 395 AH 576 6887

The above contractors are the only ones who have been authorised to connect to the public water mains

You will need to contact one of the above contractors and make your own arrangements for them to carry out the work. The contractors concerned know the methods and material types required by Council and it is a condition of this consent that they do the work to Council's specified standards.

Upon completion of the work the nominated installer is required to return this form along with as-built information and other details of the connection to Council's Water Supply Engineer. Council officers will subsequently inspect the new toby box. For new dwellings this will be done in conjunction with the final building inspection.

Condition Two: The diameter of the connection is to be:

- 20mm ☒
- ☐

Condition Three: The connection is to be:

- metered ☐
- unmetered ☒

Other Conditions:

Signed: Schischenski

Name: B.C. WISCHENSKI

Date: 15-5-97

for Development Engineer

Do not lose this form. The reverse side needs to be filled in and the complete form returned to Council by the Contractor making the water connection.

NATURAL FEATURES CHECKLIST

Property Address: 179 B Dickson Road File Number: P1580-179-1

1. Type of Consent

☐

Subdivision

☐

Land Use

☐

Building

2. Checklist

Site identified in hazard register or on hazard file

YES / NO

Details of identified hazards known

YES / NO

Site inspection required (note reason if not required)

YES / NO

Site visit carried out

Date: _____

Slope of site excessive (20° or more)

YES / NO

Evidence of slippage

YES / NO

Evidence of subsidence or poor bearing capacity

YES / NO

Site affected by inundation (sea level rise, flooding)

YES / NO

Site affected by erosion

YES / NO

Site affected by avulsion

YES / NO

Site affected by falling debris

YES / NO

Site affected by alluvion

YES / NO

Site affected by exceptional wind effects

YES / NO

Notes:

3. Conclusion

Geotechnical report required?

YES/NO/NA

Owner notified:

Date: _____

Specific design foundation required?

YES/NO/NA

Owner notified:

Date: _____

From information currently held by Council the site is suitable for conventional development?

YES/NO/NA

D. Bousheeski
Development Engineer

15-5-97
Date

DEVELOPMENT ENGINEERING VETTING CHECKLIST

P1580-179-1

INFORMATION PROVIDED

- | | | | |
|---|------------|------------|----|
| 1. Vehicle Crossing | <u>N/A</u> | YES | NO |
| Location shown, new or existing | <u>N/A</u> | YES | NO |
| 2. Water Connection request noted | N/A | <u>YES</u> | NO |
| 3. Sewer Connection | | | |
| Location of existing or new lateral | N/A | <u>YES</u> | NO |
| Details of specific design foundation if near Council Sewer main | N/A | YES | NO |
| 4. Stormwater | | | |
| Proposed disposal system shown | N/A | <u>YES</u> | NO |
| 5. Site | | | |
| Geotechnical Report provided for specific design buildings | N/A | YES | NO |
| Geotechnical Report provided for building over a building restriction line if shown | N/A | YES | NO |
| Original and Proposed site ground levels shown on elevations including levels at the boundary | N/A | <u>YES</u> | NO |
| Ground Profile extended to the base or top of bank/cuts where indicated. | N/A | YES | NO |
| Retaining wall or bank batter details where indicated. (NOTE: Vertical cuts require to be retained) | N/A | YES | NO |

STRUCTURAL ENGINEERING VETTING CHECKLIST

- | | | | |
|--|------------|-----|----|
| 1. Structural Design Calculations | <u>N/A</u> | YES | NO |
| 2. Engineer Endorsed Drawings showing Specific Structural Design | <u>N/A</u> | YES | NO |

(Any NO endorsed implies application insufficiently detailed to enable processing.)

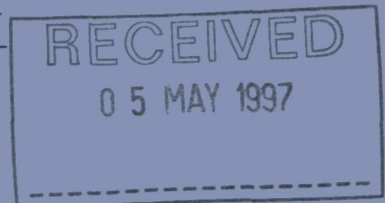
Signed.....

Dated.....5.5.97.....

PIM AND BUILDING CONSENT PRICING/CHECKSHEET

ZONE: Residential / Res A
 CENSUS: 1204711
 DATE RECEIVED: / /
 Land Use Consent received / /
 To be paid with permit YES / NO

FILE NO: P 1580-1798-1
 PIM/BC NO: 97/1171
 TARGET DATE: 19/5/97
 (Amend target date when requesting further information)



Checked & Approved by:

Officer	Initial	Date
Vetting	<u>[Signature]</u>	<u>5.5</u>
Admin	<u>[Signature]</u>	<u>7.5.97</u>
Plumbing	<u>[Signature]</u>	<u>9.5</u>
Building	<u>[Signature]</u>	<u>13/5</u>
Structural	<u>[Signature]</u>	<u>15.5.97</u>
Planning	<u>[Signature]</u>	<u> </u>
Health	<u> </u>	<u> </u>
Trade Waste	<u> </u>	<u> </u>
Haz Sub	<u>[Signature]</u>	<u>15/5</u>
Dev Eng	<u>[Signature]</u>	<u> </u>

Further Info Requested/Received

Requested	Received	BIN Days
		1
		2
		2
		1
		2
		1
		1
		1
		0
		5
TOTAL:		<u>12</u>

FEES PAID:

Total amount paid

Invoice:

Receipt:

Bldg Consent Issued:

PIM Issued:

No: 1681.50
 No: B35315 23/5/97
 No: 535438 26/5/97
 No: 97/1171 27/5/97
 No: 97/1171 27/5/97

Lodgement Fee:

\$ 300

Inv. L 4630

Rec. 528082

Date 5/5/97

BUILDING		TIME	FEE		FEE (\$)
	Plumbing/Drainage	30	60.00	Issue Bldg Consent	95-
Internal	Building	30	60.00	Issue PIM	45-
Certification	Structural			Issue C.C.C.	15-
	Consultant				
	TOTAL		150-	Plan Processing Fee	150-
External	Plumbing/Drainage	4	240.00		
Certification	Building	6	360.00		
	TOTAL		600	Site Inspection Fee	600-
	Compliance Schedule	YES / NO		Compliance Schedule	
	Dev Eng. Services			Vehicle Xing Bond	
	Other (refer below)			Water Connection Inspec. Fee	25.00
				Prop. Water Rate	5-
				Prop. Sewer Rate	
P.I.M.	Planning		60-		
	Dev. Engineering		70.00		
	Health/Trade Waste				
	TOTAL		130	PIM Processing Fee	130
	Land Use/Resource Consent	YES / NO		Resource Consent	
	Site Development Deposit	YES / NO		Site Development Deposit	
B.I.F.	Building Impact Fee			Wastewater	460-
				Water Supply	162-
				Reserves Com. Services	143-
	Government Charges			Bldg Research Levy	40-
				B.I.A. Levy	58-50
	Other (supply G.L. Code)			Other	
Conditions	Building Consent (see attached)	YES / NO		TOTAL	1981-50

This is how far we go to protect your investment!



TAURANGA
DISTRICT COUNCIL

File No. **1550-179**

The following is a schedule of inspections required to ensure compliance with the New Zealand Building Code. On satisfactory completion of all inspections and any additional inspections that may be required during construction a, Code Compliance Certificate may be issued.

To arrange an inspection simply telephone (07) 578 6666, quote the address where the work is taking place, your building consent number, the owners name, the type of inspection, and your booking will be accepted. To avoid unnecessary delay it is important to give at least 24 hours notice when requesting an inspection.

Building Consent # **97-1171**

BUILDING

Inspections
Required x No.

Footings	With steel in place but prior to placement of piles or concrete.
Bond Beams	With steel in place but prior to placement of concrete.
Block Fill	With steel in place but prior to placement of concrete.
Slab	With steel and polythene in place but prior to placement of concrete.
Retaining Wall	With drainage and moisture barrier in place but prior to backfilling.
Tanking	With drainage and moisture barrier in place but prior to backfilling.
Columns	With steel in place but prior to placement of concrete.
Beams	With steel in place but prior to placement of concrete.
Tilt Slab	With steel in place but prior to placement of concrete.
Shear Wall	With steel in place but prior to placement of concrete.
Fire Wall	When walls are lined and stopped but prior to painting.
Brick Veneer	During placement of bricks.
Pre plaster	With exterior cladding in place but prior to solid plaster or texture coat.
Preline	Prior to installation of any internal linings.
Insulation	With insulation in place.
Final	On completion of all works including site levels.

<input checked="" type="checkbox"/>	x	1
<input checked="" type="checkbox"/>	x	1
<input type="checkbox"/>	x	
<input checked="" type="checkbox"/>	x	1
<input type="checkbox"/>	x	
<input type="checkbox"/>	x	
<input type="checkbox"/>	x	
<input type="checkbox"/>	x	
<input type="checkbox"/>	x	
<input type="checkbox"/>	x	
<input type="checkbox"/>	x	
<input checked="" type="checkbox"/>	x	1
<input checked="" type="checkbox"/>	x	1
<input checked="" type="checkbox"/>	x	1
<input checked="" type="checkbox"/>	x	1

PLUMBING

Under Floor	With pipe work in place but prior to placement of concrete. Note: drainage under floor to be water tested.
Preline	With pipe work in place and under 1,500 Kpa water test but prior to lining.
Final	On completion of all works.

<input checked="" type="checkbox"/>	x	1
<input checked="" type="checkbox"/>	x	1
<input checked="" type="checkbox"/>	x	1

DRAINAGE With all drainage in place and under water test but prior to any backfilling.

<input checked="" type="checkbox"/>	x	1
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SOLID FUEL HEATER

Inbuilt	Once chimney is prepared but before heater is placed in chimney.
Free Standing	On completion of installation. Note: All solid fuel heaters must be installed as per manufacturers installation instructions.

<input type="checkbox"/>	x	
<input type="checkbox"/>	x	

SWIMMING Pool Fence On completion of fence but prior to filling the pool to a water depth exceeding 400mm. Note: Please refer to the building section above for the actual swimming pool inspections.

<input type="checkbox"/>	x	
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Please Note:

It is important to ensure that a full set of approved plans, including engineering details, fire design, and specifications are available on site at all times for an inspection.

PROJECT INFORMATION MEMORANDUM CHECKSHEET
(Attach to PIM Application with Draft PIM)

File No: 1570-17A-1
PIM No: 97/171

1. VETTING

Minor work:

YES/NO: ☒

- Redirection of drains
- Reroofing/recladding of existing structure
- Internal plumbing
- Solid Fuel Heater

If YES, arrange issue of PIM confirming that building work may be undertaken (no charge)

If NO or unsure, refer application to Planning (Tick Planning box on checksheet)

2. ADMINISTRATION

PIM Information Included

- ☐ Information identifying relevant special features of the land concerned
- ☐ Information about the land or buildings concerned notified to the Council by any statutory organisation having the power to classify land or buildings
- ☐ Details of relevant utility systems
- ☐ Details of authorisations which have been granted
- ☐ Details of authorisations which must be obtained before a building consent will be issued
- ☐ Details of authorisations which have been refused

This is:

- ☒ Confirmation that the proposed building work may be undertaken, subject to the provisions of the Building Act 1991 and any requirements of the building consent

Not yet applied for

☐

No: attached

☒

- ☐ Notification that other authorisations must be obtained before a building consent will be issued

- ☐ Notification that the proposed building work may not be undertaken because a necessary authorisation has been refused

3. **PLANNING**

DISTRICT PLAN

Complies with District Plan or Resource Consent

YES / NO

Conditions (Applicable conditions are ticked)

1. If the dwelling as constructed is not in accordance with the provisions of the Tauranga Transitional District Plan all construction must cease immediately and the owner shall contact the Duty Planner at the Tauranga District Council. ☒
2. The owner is required, at his/her own expense, to submit to Council, certification from a Registered Surveyor at the time of the pre-line inspection, that the building complies with the maximum height and daylight plane requirements of the District Plan. ☐
3. To be in accordance with Resource Consent conditions attached. ☐
4. A Residential Building Impact Fee of \$765 is to be paid before the Building Consent is uplifted. ☒

OFFICERS SIGNATURE: 

NOTIFICATIONS

Notifications from Statutory Authority concerning classification of land or buildings

YES / NO

If YES, attach information on Draft PIM ticking appropriate boxes.

4. **DEVELOPMENT ENGINEER**

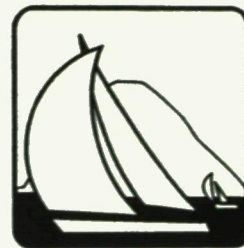
Conditions: _____

Comments: _____

OFFICERS SIGNATURE: _____



Application for Building Consent and/or Project Information Memorandum



TAURANGA
DISTRICT COUNCIL

Application No: 97/1171 File No: P 1580-1796

(Please tick appropriate box)

☒ Building Consent (Please provide PIM number if applied for separately _____)

☐ Project Information Memorandum Only

Building Certifier _____ Yes/No Resource Consent Applied For _____ Yes/No

Details of Owner

Name: Philip + Angela Smith

Postal Address: 114 Dickson Rd
Papamoa

Fax: _____

Mob/Phone: 542 1816

Signed by or for and on behalf of applicant:

Name: Philip Smith

Signature: _____

Contact Person (This person will be the liason for enquiries)

Name: Willie Werbrink

3

Postal Address: 8 Oroua St

Te Puke

Phone (day): 025 829 123

Invoice to be sent to: ☒ Owner
☐ or Contact Person

(Please Note: Applicant must be the owner or lessee of the land on which the building work is contemplated.)

Site Location

Street Address: 174 B Dickson Rd

Papamoa

Lot No: 2 DP No: 574427

Flat No: _____

Valuation Roll No: 06942/42800

Lot Area: 443 sqm²

Legals Checked ☒ P/Breach East

Description of Work

NEW HOUSE

Intended life of above work

☒ Indefinite but not less than 50 years

Value of proposed work: (GST inclusive)

Floor area of proposed building:

Under Building Act Plans are available for Public Viewing

or ☐ Specified as _____ years

\$ 90,000.00

130 sq metres

Key Personnel

Designer(s)

Name: Ferns Designs
 Address: 17 Rawhiti Street
Tauranga
 Phone/Mob: 07 541 2446

Builder(s)

Name: WILLIE WARBRICK
 Address: 8 OROUA ST
TPV
 Phone/Mob: 025 829-123

Craftsman Plumber

still to be decided

Name: _____
 Address: _____

 Phone/Mob: _____

Registered Drainlayer

yet to be decided

Name: _____
 Address: _____

 Phone/Mob: _____

Project Information Memorandum Details

Please describe fully intended use of proposed building(s): _____
TO LIVE IN

Please tick the box(es) where relevant:

Are you excavating/filling the site greater than 500mm.

☐ Yes ☒ No

Are you building over road / reserve / other public area.

☐ Yes ☒ No

Are you demolishing any existing buildings.

☐ Yes ☒ No

Are you removing any trees over three metres height.

☐ Yes ☒ No

Is the intended use of the building(s) for commercial / industrial use.

☐ Yes ☒ No

 Planner

 Date

Application for Installation of Services

Installation Details (to be completed by applicant)

Do you require:

1. A Vehicle Crossing? **Yes/No**

Nominated Installer: _____

Type: ☐ Residential ☐ Commercial/Industrial

Crossing from footpath to boundary only

Select type of finish between footpath and boundary.

☐ Concrete ☐ Asphalt ☐ Concrete Pavers

Distance from kerb to boundary _____ metres.

Do you require:

3. A Sewer Connection to Council Services? **Yes/No**

Nominated Installer: _____

☐ Standard 100mm connection

☐ Other: state size required _____ mm

Do you require:

2. A Water Connection to Council Services? **Yes/No**

☐ Standard 20 mm dia. connection

☐ Other (state size) _____ mm

Do you require:

4. Stormwater Disposal System? **Yes/No**

Nominated Installer: _____

☒ Standard 100mm kerb construction

☐ Standard 100mm connection to main

☐ Other: state size & type required _____

Pursuant to Section 27 of the Building Act 1991 and the Local Government Official Information and Meetings Act 1987, the information contained in this application will be made available to and passed on to the public on request.

The building owner may request the plans and specifications be marked confidential for purposes of copyright or security. Such a request must be in writing and addressed to:

Manager: Building
Tauranga District Council
Private Bag
TAURANGA

\$300

Checklist

To avoid delays in the processing of your application please ensure you have provided the following information

(please tick where information provided)

1. Two sets of specifications (ie. proposed materials to be used)

2. Two full site plans : Scale 1:100 showing:

- ☐ Position of proposed and existing building(s) in relation to the boundaries of the full site, showing height of buildings.
- ☐ Details of services, ie. all existing and proposed water, sewer, stormwater (including tradewaste and contaminated stormwater), and vehicle crossing.
- ☐ Off-street parking, loading, access and turning areas.

3. Two sets of construction drawings : Scale 1:100 or 1:50 showing:

- ☐ Elevations (site levels relative to floor levels).
- ☐ Floor plans describing the function of each room showing all doors, windows and ventilation, plumbing layout, fire places and chimneys. For additions and alterations, the existing shall be shown separately and alongside the "proposed".
- ☐ Foundation details.
- ☐ Cross-sections of proposed building showing all construction details.
- ☐ Structural details, showing engineering calculations and Engineer's signature on plans.
- ☐ Sub-floor and wall bracing calculations
- ☐ Diagram of all sanitary plumbing pipe work for all buildings greater than one floor. This diagram must show pipe sizes, materials and ventilation to be used.

4. Solid Fuel Heaters

- ☐ Completed application form together with manufacturers installation instructions.

5. Payment of Fees

- ☐ Payment of your building consent/project information memorandum fees should be made on completion of processing. An invoice for such payment will be posted to the applicant.
- ☐ Lodgment Fee to be paid when plans are deposited with Council.

6. Building Certifiers

- ☐ If you intend to use building certifier(s) other than the Tauranga District Council please ensure you accompany this application with all relevant details.