

P1580-179-1

BUILDING PERMIT

(Office Copy)

AUTHORITY

TAURANGA DISTRICT COUNCIL

No. 92/847

Receipt No. P02803

Date Permit Issued 22/06/92

OWNER

Name FISCHER, B L & L J, MR

Mailing Address P O BOX 2325
TAURANGA

BUILDER

Name B WARD

Mailing Address P O BOX 284
CAMBRIDGE

PROPERTY ON WHICH BUILDING IS TO BE ERECTED/DEMOLISHED

SITE

Street No. 179

Street Name DICKSON RD

Town District PAPAMOA

Riding PAPAMOA

LEGAL DESCRIPTION

Valuation Roll No. 06942/428/00

Lot 166

D.P. DPS 21830

Section

Block

Survey District

DESCRIPTION OF PROPOSED WORK AND MAIN PURPOSE OF USE

ENCLOSE BASEMENT OF DWELLING FOR GARAGE

FLOOR AREA	DWELLING UNITS
Whole Sq. Metres 0	Number Erected 0

ESTIMATED VALUES		
Building		8,150.00
Plumbing		0.00
Drainage		0.00
TOTAL (INCLUDING G.S.T.)		8,150.00

NATURE OF PERMIT

3 Enter Number in Box

1. NEW BUILDING — exclude domestic garages and domestic outbuildings
2. FOUNDATIONS ONLY
3. ALTERED, REPAIRED, EXTENDED — include conversions and resited buildings
4. NEW CONSTRUCTION OTHER THAN BUILDINGS — include demolitions
5. DOMESTIC GARAGES AND DOMESTIC OUTBUILDINGS
6. SMALL CHIMNEYS, APPLIANCES AND FIREPLACES

PLEASE REFER TO YOUR TAX INVOICE FOR THE FEES PAID.
REFER TO APPROVED PERMIT PLANS FOR ALL ENDORSEMENTS. APPROVED PERMIT PLANS MUST
BE ON SITE AT TIME OF ALL INSPECTIONS.

Authorised Officer ... *[Signature]*

Date Inspected

13-1-93

No apparent progress to date

27-6-93

" " " " " "

COMPLETED (Signature) _____ Date ____/____/____

SPECIFICATION

work to be done and materials to be used
in the construction of additions to residence for

M R S . L . F I S H E R
A T 1 7 9 D I X O N R O A D
P A P A M O A

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PLANS

 MNZID

223 BELLEVUE RD, TAURANGA
PHONE 576 4583
BRENT MARTIN

Section 1: PRELIMINARY AND GENERAL

PRELIMINARY AND GENERAL

This specification is of a general type covering the basic requirements of the building. Should there be any words that do not pertain to this contract, e.g. units instead of house, etc., the wording shall be read to mean this contract.

CONTRACT

This contract includes the supply and delivery of all materials, labour, tools, fittings, plant, etc., necessary for the due and proper completion of the building shown on plans and herein specified in a thorough and workmanship manner in strict accordance with local by-laws and the requirements of the lending institution concerned. Amendments to, or new by-laws instituted by local body or new or special requirements by the lending institution after the date of tendering and which involves additional cost, will be carried out and such additional cost added to the contract.

PERMITS AND NOTICES

Contractor to comply with labour and building laws of the district, to apply for and obtain the necessary building, drainage and plumbing permits and pay all fees for the same. The contractor shall be responsible for the giving of all notices to the local authority for all works which require inspection and approval before they are covered in. Should any such notices not be given and works have to be uncovered any expense caused by this shall be paid by the contractor for that particular works.

SITE

Tenders shall visit the site too ascertain site condition as no extras will be allowed through failure to ascertain works required above ground. Should ground condition be found inadequate after excavation has taken place, engineer inspections and remedies are to be in addition to the contract.

PROVIDE AND FIX

The words 'provide and fix' shall be construed to mean 'provide and fix' where mentioned separately unless otherwise specified.

INSURANCE

The contractor is to have all his employees covered against accident by employer's Liability Policy and to take out a builders' risk insurance for a sufficient sum to cover the contract cost. Both policies are to remain in force unless taken over by the owner. Proof of such insurances shall be logged with the building owner.

MATERIALS AND WORKMANSHIP

The contractor shall provide all materials and labour of every description necessary, whether or not particularly noted or specified, needed for the completion of the dwelling. All plant, haulage and cartage shall be allowed for the work carried out according too the true intent and meaning of the drawings and specification. All workmanship must be careful and though and in accordance with normal trade practices and all materials to the approval of the lending institution. Any specified materials non procurable when required and thus retarding progress of contract, may be substituted with others similar provided that such substituted materials conform to the local by-laws and are approved by the owners, along with any cost differences.

Section 1: PRELIMINARY AND GENERAL (continued 2)

INTERPRETATION

Materials shown and not specified must be kinds commonly used for the services they are intended to perform. Any figured dimensions shall be taken in preference to scale. Any difference between specification and plan, to be read as plans being right.

REFERENCE

This specification covers construction requirements for light timber frame buildings not requiring specific design, within the limitations specified in NZS 3604 - 1990 and subsequent amendments as they come to hand. Reference to named standards or related documents shall be taken to include any current amendments declared or endorsed in terms of the standards act 1965.

STABILITY OF STRUCTURE

The contractor shall, in all cases, use proper care and diligence in bracing and supporting all parts of his work against damage by wind. He shall also support and protect the work from damage by water. His work shall at all times be self-supporting, absolutely strong and fully equal to resist all strains to which it may be subject to during the construction or during the expected life of the building and so that the building as a whole acts as a structural entity.

LEVELS

The contractor shall check all levels on the site. Levels shown on the drawings are approximate only and shall not be taken as true.

SETTING OUT

The contractor shall perform all setting out and he shall be responsible for its accuracy and shall amend any errors without cost to the employer. All sight boundary pegs must be located to assist with setting out.

MAINTENANCE

Maintenance period is thirty (30) days after the owner has taken possession. Any defects in materials, workmanship, or any part(s) that require replacing or adjusting which have been included in the contract shall be adjusted or replaced as specified in this specification at the contractor's own expense.

TEMPORARY CONVENIENCES

The contractors upon the works shall make provision for the installation of adequate latrines for the use of workmen in accordance with the requirements of the local health inspector. Such latrines shall be removed and filled in upon completion of the works.

PROTECTION OF WORK

The contractor shall substantially cover and protect all parts of his work exposed to damage either during progress of the work or when same is finished and shall deliver the same done by him or his sub-contractors upon completion of the contract in a new, sound clean and perfect condition

VARIATION AND EXTRA WORKS

After the final approval of the plans by the owner, no variation or extra works shall be carried out by the contractor except with the written authority of the owner. Before such works are proceed with, the owner shall pay for the same.

Section 1: PRELIMINARY AND GENERAL (continued 3)

WATER AND POWER

Allow for all temporary water and power connections from reticulation laid to the head of the drive, and remove on completion.

DAMAGE TO PROPERTY

The contractor shall provide for making good all damage to any adjoining buildings, footpaths, fences, right-of-ways, trees, shrubs, garden walls and all damage of every kind arising during or out of his works.

PROGRESS PAYMENTS

Progress payments shall be made at monthly intervals in accordance with the general conditions of the contract on receipt of the contractor's written claim. The contractor shall also make written application for liens and maintenance moneys as these become due.

FLUCTUATION IN COST

If there should be either a rise or fall in the award of ruling rate of labour or price of materials between the date of the quotation and the date when such labour is employed or such materials are procured for this contract, then on final settlement a compensation adjustment of the contract price shall be made and the owner shall make such additional payments or receive such allowances from the contract price as such a rise or fall shall cause.

CLEANING

At conclusion of the work, premises shall be carefully cleaned out, windows washed and glass left free from scratches or paint, etc. and the entire building left in perfectly clean and immaculate condition for occupation. The site shall be generally tidied up and all signs of building debris removed.

VERIFICATION

The contractor is to verify all dimensions as pertaining to plans prior to commencement of any works on new work. To works of additions and alterations these dimensions are to be checked to existing framing once exposed and where necessary adjusted to suit.

Section 2: EXCAVATION

PRELIMINARY AND GENERAL

Refer to the Preliminary and General Section which also applies to this section of the work.

EXCAVATION / SOIL

Before a building is erected on site, all rubbish, noxious matter and organic matter shall be removed from the area covered by the building.

Excavate as required for all foundation, footings, steps, piles, water pipes, drainage, etc., to the various depths, levels and grades as required for the proper excavation of the works. All footings to have a solid bottom and be made level with steps to suit work / ground level. The minimum depths of foundations below the cleared ground level shall be, (1) 150mm in firm rock. (2) 450mm in expansive clay. (3) 300 in other materials, subject to any special limitations issued in terms of NZS 4431. All to the approval of the local authority. Keep all excavations clear of water and fallen material. Any subsoil drains severed during the excavation process shall be reinstated or diverted and the building area shall be permanently drained to ensure freedom from surface water in the subfloor space. Allow for taking foundations down through filling into the original undisturbed clay in terms of NZS 4431. The safe bearing pressure of the soil supporting the foundations shall be not less than 100 Kpa. Excavations that are made to deep to foundations shall make good in 10 Mpa concrete at his own expense.

BACKFILL

No ancillary trades shall commence, nor shall filling-in be commenced until the work has been inspected and approved. Back fill where required in layers not exceeding 150 mm and consolidate with ramming. Back filing against retaining walls shall consist of a minimum of 100 mm width thickness of drainage metal.

All excavations shall be kept well drained and free of surplus water, caution shall be taken that drainage from building site does not discharge, to cause a nuisance to the adjacent properties below the building site.

HARDFILL

HARDFILL or granular base material shall be rounded gravel, crushed rock, scoria or pumice fill. The top layer in granular base material shall be smooth-surfaced binding layer not less than 5 mm thick of coarse sand. HARDFILL is to be placed in layers not exceeding 150 mm, minimum thickness of 100 mm nor more than 300 mm.

Section 3: CONCRETE WORK

PRELIMINARY AND GENERAL

Refer to the Preliminary and General Section which also applies to this section of the work. The requirements of NZS 3109 shall apply to all concrete work

MATERIALS

- (a) Cement - all cement shall be fresh Portland Cement of approved brand conforming with the NZS 3122 - 1980. It shall be kept absolutely dry prior to use.
- (b) Aggregates - sand shall be siliceous, clean, coarse, sharp and free from silt, salt, organic or other material. Broken stone shall be crushed graded bluestone, maximum 20 mm and shall be clean, hard and free from all deleterious matter and shall conform to NZS 3121 - 1980.
- (c) Water - shall conform to NZS 3121 - 1980.
- (d) Concrete Proportions - concrete for new work shall consist of one part cement to two parts sand to four parts broken stone, together with sufficient water to produce a good workable concrete for all footings, concrete slabs, concrete blockwork. Concrete shall be 17.5 Mpa at 28 days; structural beams to be 20 Mpa at 28 days.
- (e) Ready Mixed Concrete - shall comply with NZS 31004 - 1985. Discharge of concrete from agitators and truck mixers shall be complete within 1 hour after the introduction of mixing water to aggregates and cement.
- (f) Grout to blockwork. - shall be in accordance with the NZS 3112.
- (g) Admixtures - shall comply with NZS 3113 - 1979.

WORKMANSHIP

- (a) Mixing - all mixing shall be done with the approved mechanical mixer. Ready mixed 'certified' concrete may be used and all shall conform to NZS 3104 - 1985.
- (b) Placing - Before placing, all boxing and reinforcing steel shall be inspected and approved. Clean out and hose down all formwork before placing concrete. Concrete shall be finally deposited in place within 15 minutes of delivery from the mixer or agitator truck as the case may be. Thoroughly tamp concrete in place and protect with damp sacks or other approved method as directed. Concreting shall comply with NZS 3109 - 1980.

FORMWORK

Formwork shall be of timber of non-staining quality, accurately and securely set up with adequate bracing and close joints. Fillet all external and internal angles. Surfaces of the formwork in contact with concrete shall be clean and saturated with water or treated with bond breaking composition immediately before placing concrete. Formwork shall be removed without shock or vibration to the concrete after setting time has passed.

BUILD IN

Build in all iron work, pipe sleeves, H.D. bolts, plumbing work, plugs, etc. as required. Box for and form all opening and recesses as required. Allow for M12 x 150, holding down bolts, complete with nuts and washers into the concrete wall band, maximum 1 400 mm centres, for fixing plates embedded not less than 75 mm, etc. or as required and 150 mm in from all angles.

Section 3: CONCRETE WORK (continued 2)

FOOTINGS, ETC.

Box for and reinforce concrete work as shown on the drawings. Allow for stepping the foundations down to ensure adequate bearing on undisturbed ground. Where foundations step down reinforcement shall be bent down and shall be continuous at this point. All foundations must be laid level.

REINFORCING STEEL

All reinforcing steel shall be plain, round, deformed bars over 10 mm, mild steel bars of approved manufacture, complying with NZS 3421 and 3402P. All steel shall be of the sizes shown on the drawing and shall be bent cold without fracture, all starters hooked with 'standard' hooks and before being placed shall be cleaned free from all scale, loose rust and all other impurities. Allow for 40 x dia. laps to plain bars and 32 x dia. for deformed bars, bind all intersections and splices with black annealed wire - 1.5 mm. All reinforcement shall be placed and securely fixed in accordance with the drawings.

SLABS

Lay 100 mm thick reinforced concrete slabs over 0.25 mm polythene black building film D.P.C. membrane, overlying the 100 mm thick min. hard fill reinforced with a single layer of 668 mesh. Where the maximum plan dimension of concrete cast in one operation exceeds 15 M. but does not exceed 35 M., 665 mesh is to be used, 35 mm from top of slab. Lap mesh joints 230 mm and wire tie. Screed off concrete slabs by means of power operated rotary float. Then trowel and finish off with a steel float.

Allow for 10mm starters from footing to slab all around at 600 centers, hook in footing and lap 400 on mesh.

WATERPROOF MEMBRANES

Under all concrete slabs provide and lay 0.25 mm thick polythene black building film D.P.C. membrane. Heat seal or tape joints using approved tapes and overlay and wrap around all penetrations through this membrane. Care shall be taken not to puncture and any such puncture shall be repaired by overlapping with a patch extending 150 mm beyond the puncture in all directions. Tape in position. Extend polythene up around perimeter walls. When pouring adequately protect the film from damage from boots, wheel barrows, planks and other damage. Repair all damage as previously specified. Vertical faces cannot be exposed in any situation where sheet might suffer damage.

Section 4: CONCRETE blockwork.

PRELIMINARY AND GENERAL

Refer to the Preliminary and General Section which also applies to this section of the work.

MATERIALS

- (a) Concrete wall masonry to be manufactured in sound unchipped units in compliance with the appropriate clause of units specified in NZS 3102P - 1983.
- (b) Mortar - shall be of materials and proportions in accordance with the requirements of the NZS 1900 Chapter 6 - 1986.
- (c) Filling and reinforcing steel - see concrete work.

WALL CONSTRUCTION

- (a) Protection of masonry units: Concrete masonry units shall not be wetted prior to laying in the walls. Units shall be stacked on site clear of the ground and shall be sheltered from rain prior to erection.
- (b) Bond: All masonry walls shall be built to the thickness and to the bond pattern and mortar joint treatment indicated on plans, whereon bond pattern is shown the walls shall be laid up in regular running bond.
- (c) Special units: The masonry contractor shall provide and place such special units as required to form all corners, returns, offsets, etc. and to maintain the proper bond. Should block cutting be necessary it shall be neat and regular.
- (d) Face shell bedding and mortar joints: Face shell bedding shall be used with complete coverage of horizontal and vertical face shells. Mortar joints shall be 10 mm thick unless otherwise shown on the drawings. Where joints occur in masonry walls to be plastered, stuccoed, tiled or used as a backup to brick work the joints shall be cut flush with the face of the wall. In walls which will be either exposed or painted, the joints shall be struck off flush with the wall surface and when partially set shall be firmly compacted with a pointing tool.

WORKMANSHIP

- (a) General - all masonry walls shall be laid true and plumb and to the plane surface in running metric bond.
- (b) Joints - Mortar joints shall be straight, clean and uniform in thickness and shall be tooled as shown on the plans. Where no joint detail is shown, exposed walls shall have joints tooled with a round bar to produce a dense slightly concave surface well bonded to the block at the edges. Tooling shall be done when the mortar is partially set, but still sufficiently plastic to bond. All tooling shall be done with a tool which compacts mortar, pressing excess mortar out of the joint rather than dragging it out. Where walls are to receive plaster, the joints shall be struck flush to provide uniform bending surface.
- (c) Provision for other trades - the masonry contractor shall provide chases, openings, install anchors, nailing strips, bolt hanger, etc. in masonry walls where shown on the drawings.
- (d) Mortar droppings - extreme care shall be taken to prevent mortar droppings. All framework shall be made tight, and any concrete or mortar spilled on the wall be wadded off or spilt behind cleaned out, before it can set.
- (e) Weep holes are to drain moisture to the outside.
- (f) Grout spaces when called for shall be cleaned out before grout is poured.

Section 4: CONCRETE blockwork. (continued 2)

(g) Clean-up at the conclusion of the masonry work, the masonry contractor shall clean down all masonry walls, remove his scaffolding and equipment, clean up all debris and surplus materials and remove them from the site.

200 mm blockwork.

Lay 200 mm blockwork. as shown; solid fill all corners and jambs to openings and reinforce with D12 rods. at 600 centers vertical, 800 horizontal. Allow for continuous concrete block beams reinforced with 2 - D16 rods to top bond beam. Allow for concrete lintels as required. These are to be reinforced as stated on the plans. Joints are to be tooled to a smooth concave finish, not exceeding 6 mm in depth (both sides where seen). Reinforce piers with 1 - D12 rod. Provide pre-cast concrete air-vents as shown to prevent dampness, not less than 3500 MM² of ventilation openings per 1 - M2 of floor area shall be uniformly distributed around the perimeter. Vents to be not more than 750 from corners, and at 1800 mm max centres.

Section 6: CARPENTRY AND JOINERY

PRELIMINARY AND GENERAL

Refer to the Preliminary and General Section which also applies to this section of the work.

GENERAL

(a) The whole of the timber shall be the best of all the several kinds specified free from shakes, sapwood, all large or loose knots, large gum streaks and shall be thoroughly seasoned and all timber including joinery, shall be put in hand immediately the contract is signed. Any timber not up to standard or warps excessively must be removed from the job on the instruction of the owner.

(b) Care must be taken when ordering lengths of timber as no butts will be allowed where it is possible to avoid them.

(c) Framing timber when delivered to the site shall be stacked on skids and if unseasoned shall be fillet stacked. Finishing lines and joinery shall be stacked in a similar manner and covered or stored inside the closed-in building.

(d) All nails, screws, timber connectors, and iron work used externally shall be galvanized. Junctions of all wood work and concrete shall be separated by 3 ply Malthoid.

(e) All exposed timber shall be planed and primed before fixing and all inside work shall be hand-dressed and glass papered to a smooth surface. All nails shall be carefully punched and all bruises and tool marks shall be removed. All framing timber shall be gauged.

(f) Provide tanalised grounds or ramset delta plugs in concrete work for fittings.

(g) All scantling and thickness of timber in carpentry work and joinery are to be finished the given dimensions unless otherwise stated.

WORKMANSHIP

(a) All carpentry work shall be set up and constructed to the dimensions given. The carpenter shall set out and ensure the proper execution off the work carried out by other tradesmen and shall attend on and make good for all other trades. He shall provide and fix all necessary plant and temporary structure in including formwork, centering, boxing, shoring, strutting and scaffolding and shall remove them as required; He shall provide and maintain any temporary coverings for any finished work subject to likely damage; he shall ensure the proper enclosure for the works during construction and shall clean up on completion.

(b) Framing: To existing walls where required. All work shall be according to the best trade practices. The framework shall be so arranged and will provide all necessary support and fixing for the linings, and all post beams, studs, joists and walings shall extend in one piece between supports and shall only be joined over solid bearings. Spacing of all framing shall be regular throughout and shall be to suit the sizes and standards of all linings and sheathing specified. Joints shall be constructed to transmit the loads and stresses to which they are subjected. Plate shall be joined by half lapping or butt joined over a stud along with a fixing, having a capacity inn tension or compression of 3 KN. and shall be double nailed to every stud. Framework shall be well anchored to foundations, the steel framework and the roof structure.

Section 6: CARPENTRY AND JOINERY (continued 2)

(c) Finishing: Finishing timbers generally shall be machine dressed, hand finished, free from blemishes, machine and hammer marks. Changes in direction shall be made by mitring or scribing. Butt ends shall be bored for nailing. Door frames shall be constructed with the jambs housed into the head and stops shall be mitred at corners. All beading and timber trim shall be scribed to irregular surfaces as required and shall be mitred at external angles. All linings shall be fixed with nails neatly punched ready for painting and polishing.

FRAMING SCHEDULE

All framing shall be Pinus Radiata treated (or other approved) unless specified otherwise. all framing shall be machine gauged.

(a) Wall framing:

Top and bottom plates	Pine	100 x 50 / 75 x 50
Studs	Pine	100 x 50 at 600 mm crs. max. 75 x 50 at 400 mm crs. max.
Noggings	Pine	100 x 50 and 75 x 50 at approx 680 crs. or to suit linings.

Section 9: ELECTRICAL

PRELIMINARY AND GENERAL

Refer to the Preliminary and General Section which also applies to this section of the work.

SCOPE OF WORK

The work includes the provision and installation of all electrical work in the contract,, providing meter board and taking out and paying all fees to the electrical supply authority, all to comply with the N.Z. electrical wiring regulations, the power board requirements, fire under writers and current government regulations.

POWER POINTS

Power points shall be P.D.L. 20 series 3 pin 10 amp. with combined switches in flush boxes. Provide power points where shown at height of 300 mm off the floor, except for fridge and pantry points. Provide shaving outlets in bathroom above vanity unit. Make connections for hot water cylinder, stove, washing machine and drier, etc.

SWITCHES

Switches shall be P.D.L. 200 series in flush boxes.

CABLES

Cables shall be T.P.S. of regulation size.

LIGHT FITTINGS

Allow for light points to be wired for and fixed in rooms and places shown. Provide and fix bayonet type P.D.L. lampholders complete with galleries.

Section 8: DRAINAGE

PRELIMINARY AND GENERAL

Refer to the Preliminary and General Section which also applies to this section of the work.

DRAINAGE

Thee drainage will be carried out strictly in accordance with the local by-laws. Provide and lay in 110 mm dia. P.V.C. piping, all to have the necessary junction bends, angles, gully traps, inspection pipes, grease traps and chambers, buchan traps, etc., and all vents and fittings necessary to complete the system to the Health Inspector's satisfaction. Stormwater to be carried out in materials specified by the inspector.

STORMWATER

To local by-law requirements.

SEPTIC TANK

Build septic tank to local by-law requirements.

SEWER

If on sewer, allow for extra pipe. Connect up to sewage as required.

FAIRCLOUGH AND KING CONSULTANTS LTD

CIVIL AND STRUCTURAL ENGINEERING CONSULTANTS
REGISTERED ENGINEERS

35 MONMOUTH ST, TAURANGA, NEW ZEALAND. PHONE (075) 788-071. P.O. BOX 626

14 April 1992

OUR REF: 92/38

PLANS
Brent Martin Esq
223 Bellevue Road
TAURANGA

Dear Sir

RE: PROPOSED BASEMENT FOR MR AND MRS L FISHER AT
179 DICKSON ROAD, PAPAMOA

As requested, we have undertaken structural calculations for the proposed portal frame supports, replacing bearer and piles on the existing house to form a basement as detailed below.

Provide structural steel portal frames from 200 UB25 welded to a diagonal joint at the knee with 10 mm stiffener plates.

Provide 10 mm base plates and fix to the foundation with 2 M16 hold down bolts.

Provide a 1.2 metre x 0.6 metre x 0.3 metre foundation pad with starter bars as shown on the enclosed sketch. Encase the bottom 1 metre of the portal frames with concrete, also as shown on the attached sketch.

For the portal frame over the end wall of the building, provide a 75 x 75 x 3.0 RHS prop at the midspan, on a 760 x 760 x 300 footing.

A copy of our calculations are available for the Local Authority.

We would be pleased to inspect the construction drawings prior to an application for construction consent.

Yours faithfully



R A KING
Registered Engineer

Section 14 STRUCTURAL STEEL

PRELIMINARY AND GENERAL

Refer to the Preliminary and General Section which also applies to this section of the work.

STRUCTURAL STEEL

All structural steel, incorporated in the building shall conform in quality to the requirements of B.S.4360 : 1979 Weldable structural Steel or A.S. 1204 : 1980 Structural Steel - Ordinary Weldable Grades.

Shapes of members shall conform to , BS 4 part 1 and BS 4848.

The sizes of sections shall be as shown on the drawings.

All welding shall conform to N.Z.S. 4701 : 1981 Metal - Arc welding of steel structures.

FILLET WELDS

Fillet Welds shall be arranged and laid out so that proper fusion and penetration of the weld metal at the root of the fillet is ensured. The surfaces to be fillet welded shall be held in close contact throughout the welding operation.

ERECTION

The contractor shall be solely responsible for the safety of the steelwork during erection, and shall strut, brace, tie as necessary for the stability of the work and safety of all personal.

HOLDING DOWN BOLTS

Supply all necessary bolts, nuts, washers as indicated on the plans

PAINTING PRIMING COATS ONLY

With all methods of steel preparation, it is essential that weld beads be chipped, blasted or ground clear of scale. That the priming coat be applied immediately after cleaning and drying. Apply to all steelwork a coat of ALTEX PRIMER SURFACER sprayed on.

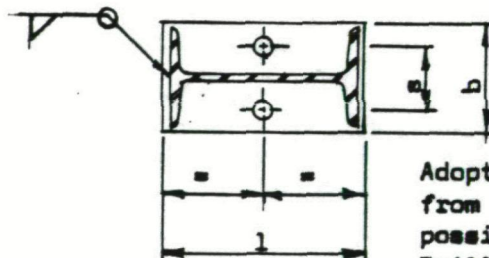
20 mm mortar pad

2-M12 mm dia. H.D.
bolts, ragged,
thread 65 mm

U.B. or R.S.J.

75
225

25 x 6mm
flat



Adopt baseplates fabricated
from standard flats where
possible.
Drill for H.D. bolt size.

NOTES:

1. Baseplate, min thickness of 10 mm.

b is equal to or greater than flange width

s min is $\frac{1}{2}$ flange width + 6 mm.

l min is depth of member + 12 mm. 20 mm

fillet weld assumed as 5 mm leg

2. H.D. Bolts, Use 16 mm dia. for sizes up to

178 mm deep.

Use 20 mm dia. for larger members.

Bolt lengths assume a min pad thickness

S. H. FAIRCLOUGH

REGISTERED ENGINEER

3 HAPINGTON STREET. TAURANGA

PHONE 88-071

P.O. BOX 626

STANDARD DETAIL

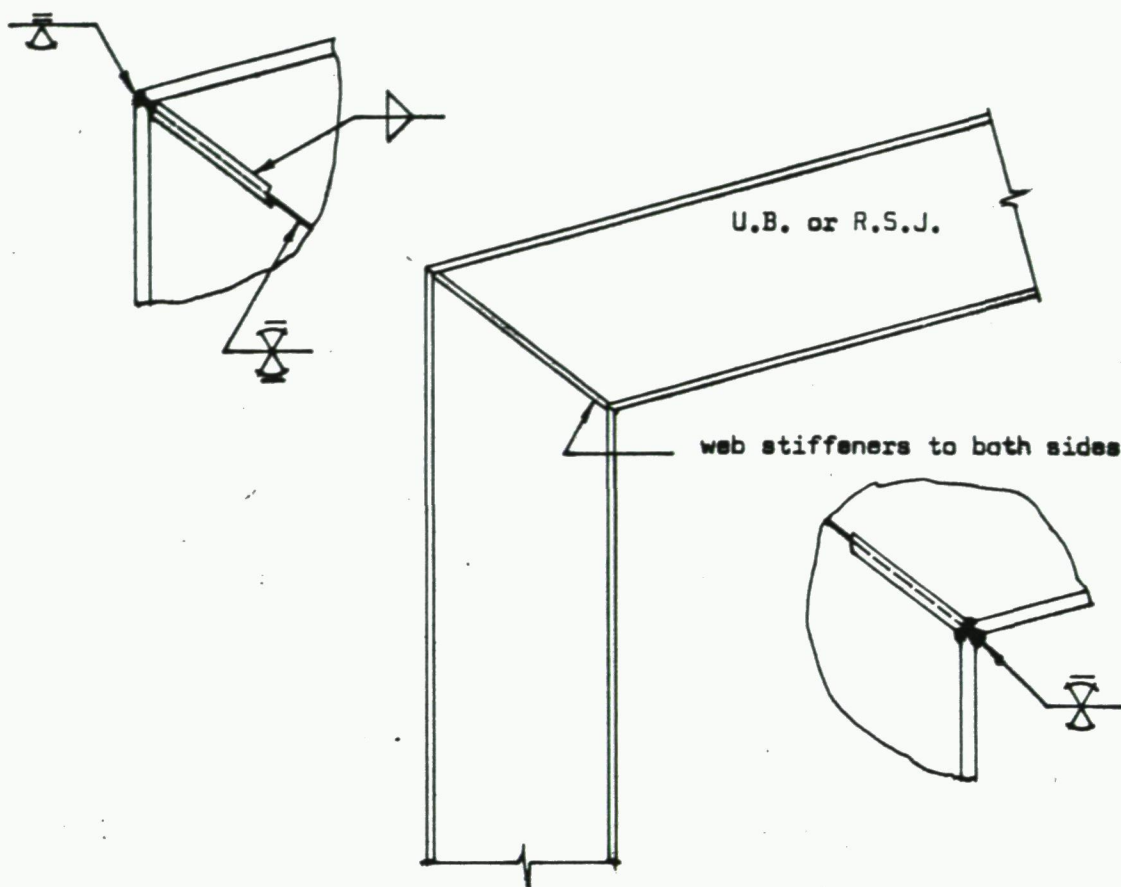
STRUCTURAL STEEL

HOLDING DOWN BOLTS
TO PORTAL LEGS

MARCH

1977

DETAIL NO.



NOTES:

1. Web stiffeners from 10 mm x standard width flats.
2. Welding sequence:-
 - (a) Double vee butt weld web and lower flange.
 - (b) Grind flush as required for fit up.
 - (c) Fillet weld stiffeners to web and lower flange.
 - (d) Using stiffeners as backing plates, vee butt top flange.
3. This Detail used where maximum clearance is required under rafter.
Frames with haunches are preferred.

S. H. FAIRCLOUGH
 REGISTERED ENGINEER
 3 HARINGTON STREET. TAURANGA
 PHONE 88-071 P.O. BOX 626

STANDARD DETAIL
 STRUCTURAL STEEL
 KNEE JOINT TO PORTAL FRAME

MARCH

1977

DETAIL NO:

s/o

PO Box 42

Taupo

PHONED THEM
TO DENISE FROM
RATES 3/3/93
- ~~TRADESMAN~~
(~~SEARCHER~~)

(VAL)

06942-42800

179 Dickson Rd

L & BL Fischer

lot 166 DPS 21830

Sewerage.



Department
Planning &
Environment

Construction Consent Application Form

Permit/Services sought for: (✓ appropriate box)

- ☐ Building ☐ Plumbing ☐ Drainage ☐ Demolition
☐ Removal ☐ Vehicle Crossing ☐ Service Connection
☐ Solid Fuel Heater Installation



TAURANGA
DISTRICT COUNCIL

Application No: 92/847

Prop File: 1580-179-1

Site Description

Street Address: 179 Dickson Road
 Papamoa
 Lot: 166 DP: S 21830
 Valuation Roll No: 06942-428-00
 Lot Area 855 m²

Estimated Values

Estimated Values of Work including GST:

Building \$8,150.00

Plumbing ~~150.00~~

Drainage ~~150.00~~

TOTAL \$ 8,150.00

Owner

Name: B. L. & L. J. Fischer
 Postal Address: P.O. Box 2325 42
 Tauranga TAUPŌ (PER NO. 1580-179-1)
 5782609 Signature: [Signature]

Builder

Name: BERNIE WARD
 Postal Address: P.O. Box 284 Cambridge
 or 26 Weld St. Cambridge
 Evenings after 4:00 pm
 07 8275357 Cambridge Signature: [Signature]

Plumber

Name: _____ Reg No: _____
 Postal Address: _____
 Signature: _____

Drainlayer

Name: one soak hole required Reg No: _____
 Postal Address: A local drainlayer
 will be employed when required
 Signature: _____

Form continues over leaf

For Office use Only

Zone: Res.

Meshblock: 1204703

Checked and Approved by:

Officer	Initial	Date
Vetting Officer	[Signature]	19/5/92
C.P.U. Clerk	[Signature]	20/5/92
Planning Officer	K.E.	22/5/92
Building Officer	[Signature]	25/5/92
<input type="checkbox"/> Plumbing & Drainage Officer	[Signature]	25.5.92
<input type="checkbox"/> Structural Eng.	N.A.	
<input type="checkbox"/> Development Eng.	CV	22/5-
Bond required ?	YES / NO	

- Building
 Plumbing
 Drainage
 Building Research Levy
 Planning Check Fee
 Footpath Levy
 Vehicle Crossing Bond
 Water Connection
 Sewer Connection
 Stormwater Connection
 Services Admin. Fee
 Dev. Eng. Inspection Fee
 Development Levy

Permit No:	Date	Fee
92/847	22/6/92	171.00
		-
		-
		-
		17.00
		-
V.C.B.		-
		-
		-
S.A.P.		-
		-

Invoice 15926 Date 26-5-92
 Receipt P02803 Date 19-6-92 Total \$ 188.00

1) Building / Removal / Demolition Details

Description of proposed work and main purpose of use

Proposed Work: GARAGE & ENCLOSURE OF SUBFLOOR AREA.

Purpose for which each part of proposed building to be separately used or occupied (describing separately each part of intended use or occupation for a separate purpose, i.e. dwelling, carport, office, commercial use etc):

Total Floor Area: m²

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Building Permit Endorsements:

Issue of Building Permit Approved By: Date:

2) Plumbing and Drainage Details

Specification of Plumbing work to be carried out: (Show numbers of each type)

	W.C.	Bath	Shower	Basins	Sink	Tub	Urinal	H.W.C.	Wetback	Other
Install										
Renew										
Shift										
Remove										

Reconnect existing sanitary fittings for relocated dwelling (✓) ☐

Installation of Swimming / Spa Pool (✓) ☐ Litres capacity³

Specification of Drainage work to be carried out: (Delete whichever is not applicable)

- 1 State total Lineal meterage of sewer and stormwater drainage to be installed: Ln Mtrs
- 2 Construct new drain and connect to sewer:
- 3 Construct new drain with septic tank and effluent disposal:
- 4 Re-direct drains:
- 5 Extend drains:
- 6 Repair drains:
- 7 Construct stormwater drains and connect to: existing connection / new kerb connection / new connection to system.
- 8 Construct stormwater drains and discharge to soak-holes.

3) Solid Fuel Heaters

1 Type of heater to be installed:

2 If a wetback is to be installed on a solid fuel heater a plumbing application must be completed.

3 Note wetback on above plumbing details.

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Plumbing and Drainage Permit Endorsements:

Issue of Plumbing and Drainage Permit Approved By: Date:

Application for Installation of Services

Prop File:

Applicant:

Name:

Property Address:

Postal Address:

Date Services Required by:

Legal Description:

Signed: / /
(Applicant) (Date)

Installation details

1 Construct Vehicle Crossing

Nominate Contractor: Firm Name

Construct Standard residential crossing ☐

Construct Standard commercial / industrial crossing ☐

Construct above crossing from footpath to boundary ☐

Select type of finish between footpath & boundary

☐ Concrete

☐ Asphalt

☐ Concrete Pavers

Distance from kerb to boundary m

2 Water Connection

Provide standard residential 20mm dia. connection ☐

Provide non-standard connection ☐

3 Sewer Connection

Provide standard connection ☐

Provide a non-standard sewer connection ☐

4 Stormwater Connection

Provide standard residential 100mm dia. connection ☐

Provide non-standard or commercial connection ☐

5 Services and Crossing location Plans

Please show details below, of where crossing and or connection(s) is/are to be located in relation to boundary, or an attached plan(s)

If Non-standard
Please state
size required

For Office use Only

Approved

Price

Total \$

Rec No: Date:

For Removal or Demolition of Buildings

Removed from:

Removed To:

Services to be Disconnected: ☐ Temporarily ☐ Permanently

☐ Water

☐ Sewer

☐ Stormwater (where connected to services)

☐ Gas

FEE: \$

Date Services to be Disconnected by:

For disconnection of Power, Gas and Telephone please approach the appropriate local supply authority

Please complete checklist overleaf

You must submit in support of your application

Please tick where information provided, state N/A where not applicable. An incomplete application form will be returned.

CHECK

Yours

Office

1) Two Sets of Specifications

2) Two Full Site Plans : Scale 1:100 showing:

- (a) Position of the building(s) in relation to the **boundaries** of the full site and existing building(s) located on the site.

Note: Both existing and proposed buildings are to be **clearly** defined.

- (b) Site levels relative to permanent street levels.
- (c) Crossings/Driveways marked on all site plans – proposed, existing, gradients. Note normally one crossing per site only. Show type of finish and distance from kerb to boundary.
- (d) Off street parking, loading, access and manoeuvring areas.

3) Two Sets of Construction Drawings: Scale 1:100 or 1:50 showing:

- (a) Elevations (site levels relative to floor levels).
- (b) Section elevations.
- (c) Plans of all floors describing the function of each room showing all doors, windows and ventilation, fireplaces and chimneys. **But** for additions and alterations, the existing shall be shown separately and alongside the "proposed", to the same scale for comparison..
- (d) Foundation details.
- (e) Structural details, showing engineering calculations and signature where required.
- (f) Bracing calculations (3604)

4) Two Sets of Plumbing and Drainage Plans:

- (a) Have Plumber and Drainlayer signed application form.
- (b) All existing SEWERS, sewer connections shown and clearly labelled.
- (c) All existing STORMWATER drains and connections shown and clearly labelled.
- (d) Proposed sewer and stormwater drains shown clearly and labelled accordingly.
- (e) All existing and proposed sanitary fittings.
- (f) Existing and proposed water connection(s) location and size to be stated.
- (g) Sufficient detail to establish the adequacy of light and ventilation, natural and artificial, to every kitchen, food-room, laundry, bathroom, water-closet, shower, urinal and isolation compartment including sizes of windows, ventilating skylights, ventilating shafts and capacities of fans.

5) Swimming / Spa Pool Installations

- (a) Sections 2,3 & 4 above to be completed

6) Solid Fuel Heaters (Application only required together with:)

- (a) Manufacturers installation specifications.

7) Important Note

A processing fee of \$60 or 30% of the permit fee, whichever is the greater, will be charged on all permit applications that are:

- (i) Not uplifted within 30 days of the notice of fees due being sent; or
- (ii) Awaiting extra documentation after 21 days of the request for further information being sent.

FAIRCLOUGH AND KING CONSULTANTS LTD

CIVIL AND STRUCTURAL ENGINEERING CONSULTANTS
REGISTERED ENGINEERS

35 MONMOUTH ST, TAURANGA, NEW ZEALAND. PHONE (075) 788-071. P.O. BOX 626

13 May 1992

OUR REF: 92/38

Mrs L Fisher
179 Dickson Road
PAPAMOA

Dear Madam

Re: PROPOSED GARAGE UNDER EXISTING DWELLING

Further to our report of 14 April 1992 we have considered the perimeter reinforced masonry retaining wall and report as follows:

Provide a 200 Series reinforced masonry, solid grouted with 17.5 mPa block grout, Class C, reinforced masonry wall to a maximum height of 1.0 m.

Reinforce with D12 - 400 mm centres vertically, provide D12 - 400 mm centres horizontally and a D16 Bond beam bar at the top of the wall.

Provide a 600 x 200 reinforced concrete footing to type 1 details in accordance with NZS 4229.

Reinforce the footing with 3 D16 longitudinal rods and transverse reinforcement to match the vertical reinforcing in the wall.

Provide a gravel surrounded 75 mm perforated drainage coil at the base of the wall on the retained side.

All construction not specifically designed is to comply with NZS 4229.

We have checked and certified the construction consent application drawings for the above.

Cont...

13 May 1992

OUR REF: 92/38

We note that no sub-floor bracing is shown on the timber framed walls between the retaining wall and the first storey. Provide 1.2 m wide, 9 mm plywood sheet braces to each corner above the reinforced masonry wall, being a total of six braces. Fix in accordance with NZS 3604 1990.

Yours faithfully

A handwritten signature in dark ink, appearing to read 'R A King', written in a cursive style.

R A KING
Registered Engineer