

APPLICATION FOR BUILDING PERMIT

6124

D043941

Wanganui City Council

Date: 6.1.95.1.96

THE CITY ENGINEER,

DEAR SIR,

I hereby apply for a Building Permit to erect/demolish 2 NEW DWELLINGS UNITS according to site plan and detailed plans, elevation, cross sections and specifications of building deposited herewith, in duplicate.

OWNER	
Name	CATHERINE RIPIA
Address	44 QUICK AVE WANGANUI
Phone	

BUILDER	
Name	HEALEY HOMES
Mailing Address	PO BOX 4024 Ph: 58109
PLUMBER	STAN MOASE
Mailing Address	210 PURIA ST Ph:

PROPERTY ON WHICH BUILDING IS TO BE ERECTED/DEMOLISHED

SITE	
Street No	10
Street Name	CYPRESS PLACE
Town/District	WANGANUI

LEGAL DESCRIPTION	
Valuation Roll No	C.T. 18A/61
Lot	15
D.P.	47174
Section	
Block	
Survey District	

DESCRIPTION OF PROPOSED WORK AND MAIN PURPOSE OF USE

ERECT TWO DWELLING UNITS AND STORAGE SHEDS

FLOOR AREA		DWELLING UNITS	
Whole Sq. Metres	156	Number Erected	2

ESTIMATED VALUES			
	Building	70 000	00
\$	Plumb & Drain (Labour)	3000	00
	TOTAL	73 000	00

NATURE OF PERMIT (TICK BOX)	
☒	NEW BUILDING -include dwelling added, exclude domestic garages
☐	FOUNDATIONS ONLY
☐	ALTERED, REPAIRED, EXTENDED -include conversions and domestic garages
☐	NEW CONSTRUCTION OTHER THAN BUILDINGS -include demolitions
☐	GARAGES, CARPORTS, SHED, ETC.

FEES APPLICABLE

12/5/95

Building Permit	\$ 190.00
Plumbing Permit (No 225)	\$ 80.00
Development Levy	\$ -
PREPAID CROSSING CHARGES	\$ 300.00
PREPAID SEWER CONNECTION 20%	\$ UP GRAVE AT COST
STORMWATER CONNECTION	\$ AT COST
BUILDERS DEPOSIT	\$ 150.00
TOTAL COUNCIL FEES	\$ 720.00
BUILDING RESEARCH LEVY	\$ 73.00
TOTAL FEES	\$ 793.00

RCM.	2447
RCPT.	2447
RCPT.	3267
P.W.R.	3267
P.W.R.	2447
RCPT.	2447

COMMERCIAL BUILDINGS

IF VALUED AT MORE THAN \$60,000 :

Estimated Commencing Date
 Completion "
 Building Projects Authority No.
 Predominant Activity of owner :

APPLICANTS SIGNATURE :

REFER TO 2ND PAGE FOR
SIGNATURE

PERMIT MAY BE ISSUED SUBJECT TO THE FOLLOWING CONDITIONS :

APPLICATION FOR BUILDING PERMIT

Wanganui City Council

Date: 6/5/86

THE CITY ENGINEER,

DEAR SIR,

I hereby apply for a Building Permit to erect/demolish

2

NEW DWELLINGS

according to site plan and detailed plans, elevation, cross sections and specifications of building deposited herewith, in duplicate.

OWNER	
Name	CATHERINE PERIN
Address	44 Quaker Ave Wanganui
Phone	

BUILDER	
Name	HENLEY HOMES
Mailing Address	P.O. Box 4024 Ph: 58109
PLUMBER	STAN MOASE
Mailing Address	210 Punini Ph:

PROPERTY ON WHICH BUILDING IS TO BE ERECTED/DEMOLISHED

SITE	
Street No	10
Street Name	CYPRESS PLACE
Town / District	WANGANUI

LEGAL DESCRIPTION	
Valuation Roll No	CT. 18A/61
Lot	15
D.P.	47174
Section	
Block	
Survey District	

DESCRIPTION OF PROPOSED WORK AND MAIN PURPOSE OF USE

TO ERECT TWO DWELLINGS UNITS AND STORAGE SHEDS

FLOOR AREA	DWELLING UNITS
Whole Sq. Metres	Number Erected
156	2

ESTIMATED VALUES	
Building	\$20,000-00
Plumb & Drain (Labour)	\$3,000-00
TOTAL	\$23,000-00

NATURE OF PERMIT (TICK BOX)	
☒	NEW BUILDING -include dwelling added, exclude domestic garages
☐	FOUNDATIONS ONLY
☐	ALTERED, REPAIRED, EXTENDED -include conversions and domestic garages
☐	NEW CONSTRUCTION OTHER THAN BUILDINGS -include demolitions
☐	SHEDS & GARAGES.

FEES APPLICABLE

BUILDING PERMIT	\$	
PLUMBING PERMIT (NO)	\$	
PREPAID CROSSING	\$	
PREPAID SEWER CONNECTION	\$	
PREPAID WATER CONNECTION	\$	
STORMWATER CONNECTION	AT COST	
BUILDERS DEPOSIT	\$	
TOTAL COUNCIL FEES	\$	
BUILDING RESEARCH LEVY	\$	
TOTAL FEES	\$	

RCPT.	
RCPT.	
P.W.R.	
P.W.R.	
P.W.R.	
P.W.R.	
RCPT.	
RCPT.	

COMMERCIAL BUILDINGS

IF VALUED AT MORE THAN \$60,000 :

Estimated Commencing Date
Completion
Building Projects Authority No.
Predominant Activity of owner :

APPLICANTS SIGNATURE :

G.W. Marshall

PERMIT MAY BE ISSUED SUBJECT TO THE FOLLOWING CONDITIONS :

BUILDING PERMIT APPLICATION CHECK SHEET

Application for: To ERECT 2 DWELLING UNITS & STORAGE SHED DATE 6/05/86

Address: 10 CYPRESS PLACE Lot No DP Sect

Notes:

DATE	DEPARTMENT	REMARKS
6/05/86 12/05	Town Planning	Refer Attached Check Sheet Approved <u>[Signature]</u> Date <u>12-5-86</u>
07/05 12/05	Building Inspector	Values on Application Ground Levels & Foundations Materials Construction Bracing (3604) Heating Appliances Public & Commercial Buildings Access for Handicapped Chapter 5 Egress etc (Check Sheet Yes/No) Approved <u>[Signature]</u> Date <u>13/5/86</u>
13/05 22/05	Drainage Engineer	SS Connection & Fee <u>Existing no fee</u> Approved <u>[Signature]</u> Date <u>22-5-86</u> SW Connection & Fee <u>Existing no fee</u> Approved <u>[Signature]</u> Date <u>22-5-86</u>
	Water Engineer	Water Connection & Fee <u>20 m upgrade P. Cost</u> Approved <u>[Signature]</u> Date <u>16/5/86</u>
	Structural Engineer	Structural Drawings & Calculations Approved <u></u> Date <u></u>
12/05	Health Department	Value <u>PERMIT #5250</u> Plumbing & Drainage Requirements SW Requirements General Requirements Health & Food Regulations etc Dangerous Goods Requirements Approved <u>[Signature]</u> Date <u>12/5/86</u>

GENERAL REMARKS**TOWN PLANNING****Proposed development**

- ✓ 1. Exceeds density.
- ✓ 2. Needs to be sited 2m from side boundary rather than 1.4m.
- ✓ 3. Please include in specifications:
Power & telephone cables will be laid underground and,
accessway of minimum width of 3m. to be formed
metalled and sealed with a kerb and channel on
one side to the satisfaction of the City Engineer.

Amended
12-5-86
P.

P. 7-5-86.

LOADING INSPECTOR

Redrawn foundation plan is incorrect.

Will.
7/5/86

DRAINAGE ENGINEER

- supply extra site levels which represent the site.
- The site levels shown on the long section are incorrect
- the pump ^{would} suggest would be better sited near Cypress place boundary.

A.W.G. 15-5-85

WATER ENGINEER**STRUCTURAL ENGINEER****HEALTH DEPARTMENT**

BUILDING PERMIT CHECK LIST

Property Reference: 10 Cypress Place.

Type of Building: 2 units + store sheds

Net Site Area 689m² Zoning R1 Reserves

REQUIREMENTS		REQUIRED	PROVIDED	O.K.
1.	Coverage	30% = 206.7m ²	168.36m ²	✓
2.	Density	1/120 = 6.	8 6 12-5-86	✓
3.	Height	7m.	3.6m.	
4.	Front yard (including beautification)	9m x 9m Δ.		✓
5.	Side yards	$\frac{L+(3 \times H)}{10} \quad \frac{3}{4}L = 9.2m.$ $\frac{9.2 + 10.8}{10} = 20.00$ $= 2.00m$	14m. 2m 12-5-86	✗ ✓
6.	Rear yards	$\frac{L+(3 \times H)}{10}$		
7.	Outdoor living space	30m ²	✓ ✓	✓
8.	Storage area	3m ²	✓ ✓	✓
9.	Service area	5m ²	✓ ✓	✓
10.	Car spaces	1 per unit	✓ ✓	✓
11.	Vehicular access		To be f/m/s etc. to be in specifications	
12.	Loading Bay/Crossings/ Distance from intersection			✓
13.	Trees/Historic Places			-
14.	Proposed road/service lane			-
15.	Road widening & BLR			-
16.	Easements/Site Dimensions			✓
17.	Floor area ratio			
18.	View Protection Plane			-
19.	Sunlight Protection Plane			-
20.	Services	Underground P/T. cables - to be in spec		

Design Approval Required Yes/No

Date:

Dispensation Required in Respect of Nos:

Dispensation Approved/Declined

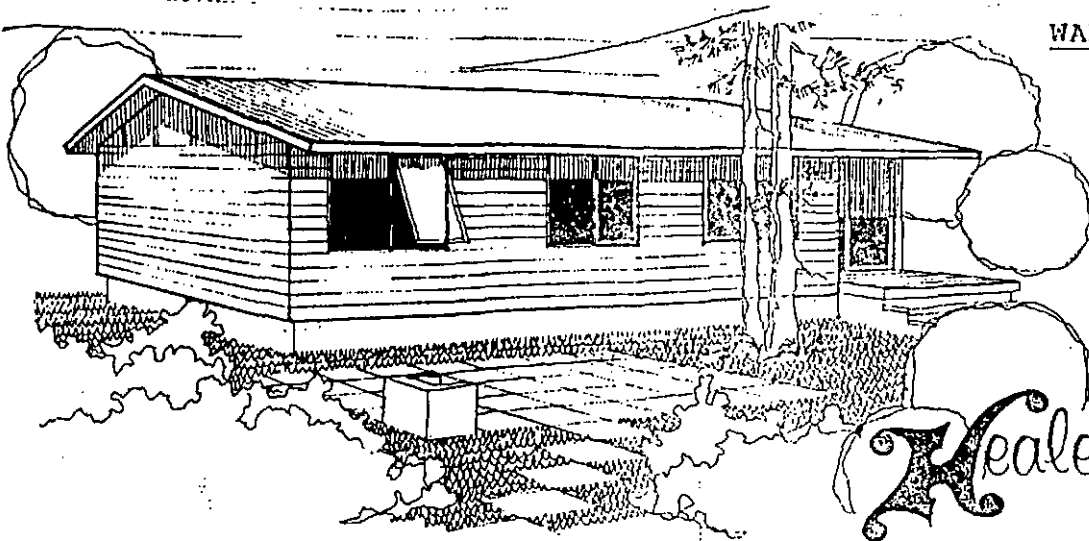
Healey Homes 863
2 proposed Units
10 Cypress place
Wanganui.

Kealey Comes Wanganui

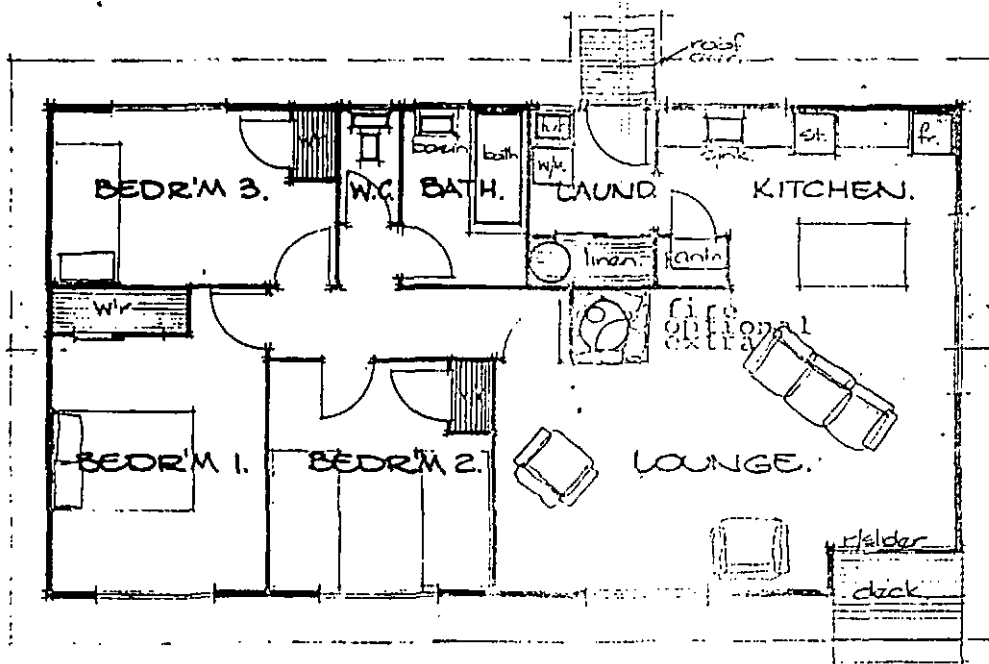
PHONE 58109 B/H

37090 A/H

OFFICE: 257 VICTORIA AVENUE
P.O. BOX 4024
WANGANUI



Kealey 863'



FLOOR PLAN scale; 1:100
floor area 80154 (863sq/ft)

\$35,000.00 with separate toilet.
Smooth Hardiplank Exterior
Particle Board Floor
Galv.Iron Roofing
Pre-coloured Fascia/gutter
Aluminium Windows & Doors

GENERAL SPECIFICATION

GENERAL: Owners responsibility to ensure the correct position of all survey pegs, positioning of the home and consultation with main contractor on site to verify all measurements. The Owner shall ensure site access.

CONTRACT: The Contractor supplies and delivers all materials, labour, fittings, tools, plant etc, to complete the building as on the drawings and herein specified, in a tradesmanlike manner, in accordance with the local By-Laws. The Owner shall not select or supply any goods whatsoever other than supplied by contractor.

SERVICES: Up to 5m for all services from the home.

TELEPHONE: Owners responsibility to arrange.

PERMITS: Contractor to comply with the Labour and Building By-Laws of the district and to apply for and obtain all necessary permits.

INSURANCE: Contractor shall cover by 'Fire Insurance' to 100% of value of buildings, and his employees (except sub-contractors) shall be covered by 'Employer's Liability'. Both policies held until buildings taken over by owner.

MATERIALS & WORKMANSHIP: All workmanship must be careful, thorough and in accordance with standard trade practice and all materials as specified, and in accordance with the Local Body By-Laws and the NZS 3604:1978.

STABILITY: The Contractor shall carefully brace and support all parts of his work against damage by wind and also protect same from damage by water.

CARPENTER AND JOINER

All materials are of good quality, laid true, leveled and a tradesmanlike construction used to comply with the Local By-Laws

FOUNDATIONS: 140mm S E D natural round or square E&B timber piles set on concrete pads as required by NZS 3604. Maximum length 600mm long on level section.

STRINGERS: To be 100 x 75mm on edge. All joints to be scarfed or alternatively but jointed with a nail plate fixed each side over solid bearings.

FLOOR JOISTS: Provide an even surface and 90mm nails to stringers and bearers. Joists over a solid bearing. Double joists under and exterior walls.

PLATER: Straight with nail-plates at joints, corners and intersections.

INTERIOR WALL PARTITIONS: Trower or similar partitioning according to NZS 3604.

ROOF FRAMING: 'Pryde' or 'Gangnail' trusses fixed as required NZS 3604. Fix 100mm x 50mm purlins at approximately 900mm centres.

BASECARDS: 2 only 150mm x 25mm rough sawn timber fixed horizontally approximately 20mm spacings, 100mm clear of ground on level section.

EAVES: Barge. Allow the rafters to overhang and cut off plumb. Fix prefinished Facia/Barge - Klass/Taylor fascia gutter system. Scofit, boxed and lined with fibrolite sheets.

and finished as detailed. Colour bone white standard.

EXTERIOR SHEETING: 300mm Hardiplank plain weatherboards. Lay boards with 30mm lars All corners to be covered with galvanised soakers.

FLOORING: All floors to be covered with high density particle board nailed with 2" nails punched below floor surface. On completion of all trades, clean off bye wood to an even surface with a sanding machine. Floor Sanding - One cut only. (Two cuts necessary for a good varnish finish).

NOGGING: Nogging to be as required NZS 3604.

INSULATION: Floor, walls and ceilings insulated to Government thermal requirements. Walls, Gibfoil insulation board. Ceilings, 'Rocwool' or equivalent.

CEILING: All ceilings, gibraltar board with Gibtex or similar. Provide 500mm x 500mm man-hole.

SCOTIA & SKIRTING: No 8 Bevelled Scotia. No 21 Bevelled skirting, paint grade.

LININGS: Interior walls lined with 9mm Gibraltar board, nailed with 30mm galvanised flat heads on joints every 150mm and intermediate studs and nogging every 225mm. All stopping with Plaster of Paris filled to an even surface.

WARDROBES, LINE & HOTWATER: Full height walls and ceilings lined. Wardrobe 1,225mm hat shelf and hanger rail 1600mm above floor. Line, 5 full width shelves at 400mm spacings. Hotwater, slatted shelves; as detailed. Provied doors.

KITCHEN CUPBOARDS ETC: Construct kitchen cupboards, and sink unit where shown on plan. Sinktop stainless steel.

JOINERY: All exterior doors, frames and sills and windows to be silver anodised aluminium fitted with 19mm reveals grooved to take lining.

DOORS: Interior paint grade flush doors in 30mm jambs grooved to take lining. Fit with standard hardware latch sets, fixed by builder after painting.

BATHROOM: Bath standard Plix 1525mm to be built in, framed and timber splash board provided. Fit Plix handbasin to wall on brackets, no vanity, no towel rail, no mirrors and no soap holders.

LAUNDRY: Provide favricated stainless steel tub and standard timber cabinet.

ROOF: Galvanised steel roofing. Under roofing lay tightly stretched wire netting and on top of this lay building paper fixed to NZS 3604.

<u>TIMBER SCHEDULE</u>	<u>SIZE</u>	<u>GRADES TO NZS 3604</u>	<u>SPACING</u>
Jack Studs	100 x 50	No 1 Tan C7 Pine	
Sleeper Plates	100 x 75	No 1 Tan C7 Pine	
Foundation Bracing	100 x 75	No 1 Tan C7 Pine	
Base Boards	150 x 75	No 1 Tan C7 Pine-Rough Sawn	
Exterior Finishing Timbers	50 x 25	No 1 Tan C7 Pine	
Floor Joists	150 x 50	No 1 Boric Treated Pine	600
Top & bottom plates & studs	100 x 50	No 2 Boric Treated Pine	
Window Lintels up to 3600	2/300 x 50	No 1 Boric Treated Pine	
Window Lintels up to 3200	2/250 x 50	No 1 Boric Treated Pine	
Window Lintels up to 2400	2/150 x 50	No 1 Boric Treated Pine	
Window Lintels up to 1500	2/100 x 50	No 1 Boric Treated Pine	
Window Jacks	100 x 50	No 2 Boric Treated Pine	
Ceiling-Runners-(truss roof)	75 x 50	No 2 Boric Treated Pine	2400
Dwangs	100 x 50	No 2 Boric Treated Pine	1200
Flooring	20mm High Density Particle Board		
Internal Door Jambs	30mm Paint Grade		

PLUMBER

WATERPROOF: Leave the building absolutely waterproof in every respect. Flash all openings through roof. Any part or parts not specified and necessary to make the building water-tight shall be as mentioned, with appropriate materials.

DOWN PIPES: Round - 80mm diameter P.V.C.

WATER PIPES PVC OR COPPER & HOT WATER: Main supply to house to be 19mm Alkathene. Copper piping for hot and cold water fitted with all necessary bends, tees, elbows etc and with all joints to basin, sink, tub, shower and bath. Install an approved electric hot water cylinder 136 litre capacity with element and thermostat and all necessary connections. Lag hot water where required by local authority. Cold water to WC.

WASTES: Baths, tub, and sink to have PVC traps and wastes. All wastes to discharge over gully traps. All sanitary plumbing to be installed by a registered plumber by the Health Department and Sanitary Inspector.

TAPS: All taps, chromium plated signature bib and pillar cocks with indicators for 'Hot and Cold'. One hose tap and stop cocks to be brass.

W.C: To be installed complete with white earthen ware pan, seat etc. Low set flush cistern pipe, PVC pipes, fittings and vent.

DRAIN DIGGING: Builders responsibility. Back fill after inspection.

DRAINLAYER

DRAINAGE: Lay all necessary drains from gully traps and WC to town sewer. All pipes and connections to be 110mm PVC Drainage system laid to a true and even fall. The whole of the drainage and sanitary arrangements to comply with the By-Laws and to the satisfaction of the Sanitary Inspector.

PAINTER AND PAPERHANGER

MATERIALS: All materials are of good quality and workmanship in a tradesmanlike manner. All woodwork to be sanded between coats. Exterior woodwork to receive one coat of first quality priming. Putty all nail holes and finish with two coats of approved paint.

HARDIPLANK, GABLE ENDS, SOFFIT, BASEMENT: Painted to standard colour scheme

COLOURS: Standard colour white, other colours or more than one in a room shall be extra.

WALLPAPER: All walls to be sealed before papering to samples enclosed.

ROOF: Painting of roof to be owners responsibility.

EXTRA: All extras to be paid to Builder within 5 days of agreed price given. Payments not received will revert back to standard lines.

LIENS RETENTION MONEY: To be held for the purpose it is held for. Namely paying sub-contractors that have not been paid and not for maintenance. After a thirty day period, all money to be paid out. A 14% interest charge on all overdue money, including extras.

ELECTRICIAN

The Electrician will make the necessary notification to the Local Power Board. All work to be carried out to the satisfaction of the Power Board and the Underwriter's Association.

METERPANEL: Provide and fix one meter panel complete externally and a fuse panel internally as shown on plan.

SWITCHES: Provide and fix flush switches to all light points.

LIGHTS: Provide and fix one light point to each room and hall where indicated on plan and two outside lights, all with lamps.

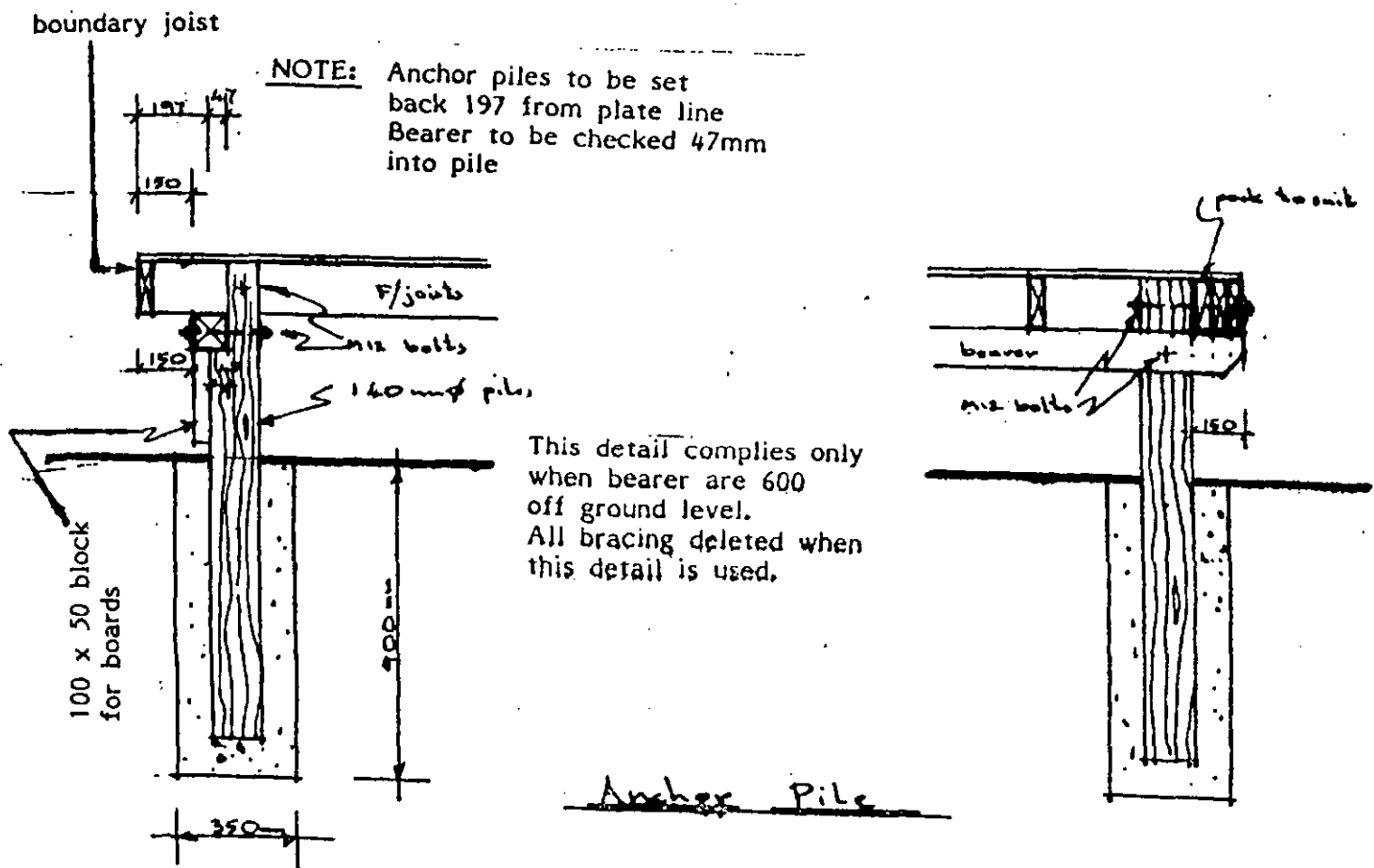
POWER: Provide and fix a total of 6 power points where indicated on the plan and make connections to hot water cylinder and stove.

STOVE: A moffat consul 3 plate electric stove installed where shown.

COMPLETION: On completion all to clear all debris and the like from the site.

BUILDER: Responsibility for tidying up section.

ANY AMENDMENTS TO THIS SPECIFICATION OR PLAN WILL BE SHOWN ON AN ADDENDUM.



STANDARD SPECIFICATION CLAUSE

ACCESS

1. Access way is to be formed, metallised and sealed with a kerb and channel on oneside. *3m wide g.w. model*

UNDERGROUND SERVICES

2. All power and telephone cables to be laid underground.

SHEET A
(CIRCLE whichever is applicable)

NAME: HEALEY 863'

ADDRESS: WANGANUI/DISTRICT

STOREY: Single or Uppermost
Lower of two or middle of three
Lower of three

ROOF TYPE: Light HeavyROOF PITCH: 0° - 25° 26° - 45°WIND AREA: High / Medium / Low

W = 33 B.U.'s/m

EARTHQUAKE ZONE A B / CE = 3 B.U.'s/m²

ROOF OR BUILDING LENGTH

BL = 13.2 m

ROOF OR BUILDING WIDTH

BW = 7.8 m

GROSS ROOF OR BUILDING PLAN AREA

GPA = 102 m²

EARTHQUAKE: B.U.'s ALONG AND ACROSS

E x GPA = 3 x 102 = 306 B.U.'s

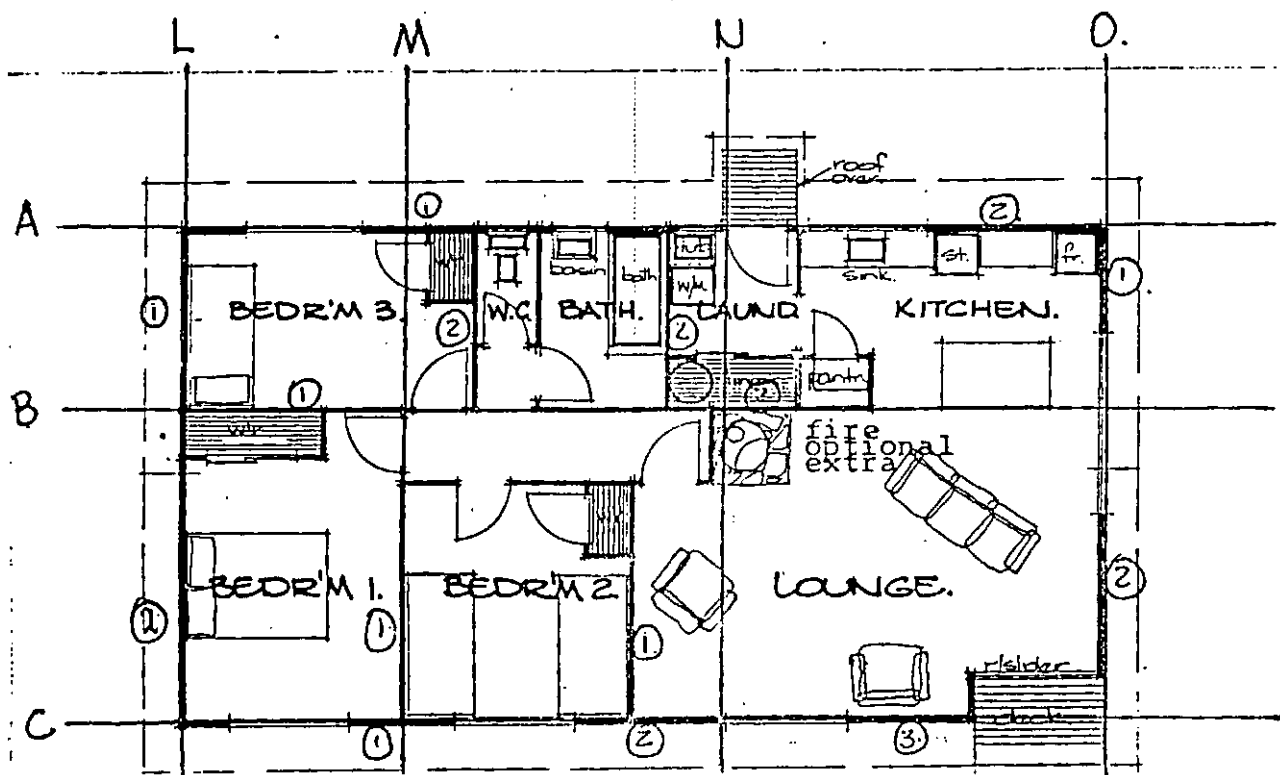
WIND: B.U.'s ALONG

W x BW = 33 x 7.8 = 257.4 B.U.'s

WIND: B.U.'s ACROSS

W x BL = 33 x 13.2 = 435.6 B.U.'s

SKETCH PLAN (external and internal walls) :



SHEET B

(7)

1 Total B.U.'s Required	2 Wall Line		4 Wall Bracing Elements Provided					8
	Label	Minimum B.U.'s Required	Label No.	Type	Rating B.U.'s/m	Length (m)	B.U.'s Provided	
ALONG	A	12.2 x 10	1	1.	42.	1.6	67.2.	
			2.	1	42	2.4	100.8	
		12.2	Sub-total					168
	B	70.	1	12.	42.	3.	105	
			2.	1.	42.	2.4	100.8	
		70.	Sub-total					205.8
	C	12.2 x 10	1	1	42	1.4	58.8	
			2	1	42	2.0	84.0	
			3	1.	42.	1.7.	71.4.	
		12.2.	Sub-total					214.2.
	D							
			Sub-total					

306.

TOTAL

(314.)

TOTAL

588.0. ✓

ACROSS	L	6.6 x 10	1	1	42	2.4	100.8
			2.	1.	42.	2.4	100.8
		66.	Sub-total				
	M	70	1	12	42	2.4	84.0
			2.	12.	42.	2.4	84.0.
		70	Sub-total				
	N	70	1	1	42	2.4	100.8
			2.	12.	42	2.4	84.0
		70	Sub-total				
	O	6.6 x 10	1	1	42	1.5	63.0
			2	1	42	2.4	100.8
		66.	Sub-total				
	P						
			Sub-total				

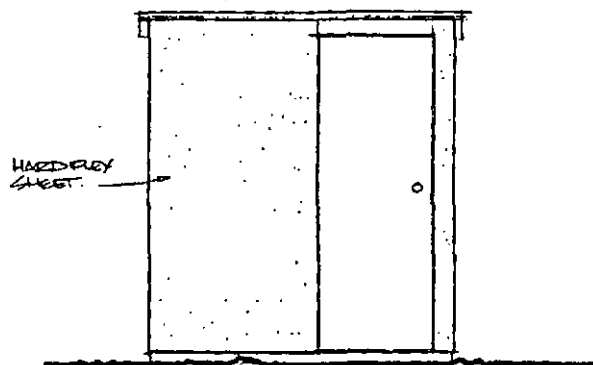
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TOTAL

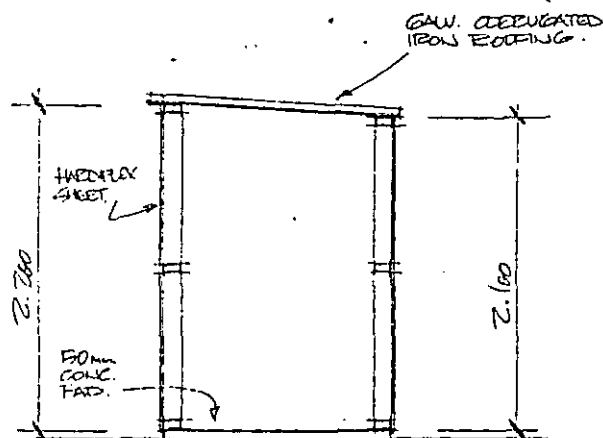
272.

TOTAL

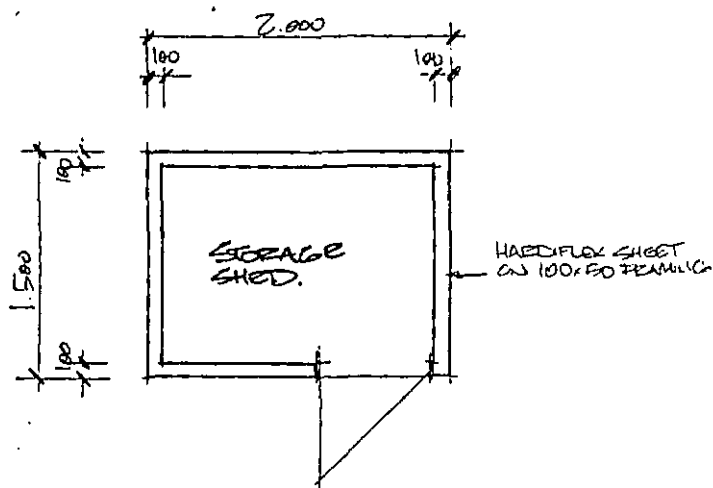
718.2 ✓



ELEVATION.
SCALE: 1:50



CROSS SECTION.
SCALE: 1:50



PLAN
SCALE: 1:50

PROPOSED STORAGE SHED
FOR HEALEY HOMES.

**WINSTONE****GIB FOIL—
THERMAL INSULATION**

CI/SIB

4-

R17

APRIL 1981

9

PRODUCT INFORMATION

This document has been prepared as a guide to the designer, specifier and installer of Gib Foil insulation for use in building construction. Gib Foil is produced by Winstone Wallboards Ltd to provide thermal insulation and vapour resistance (vapour barrier) properties. Gib Foil comprises

standard Gibraltar Board with polished aluminium foil adhered to the reverse side. Gib Foil should not be used in damp or wet conditions or in direct contact with materials containing free-lime or cement.

STANDARD COMPLIANCE

Gib Foil complies with NZS 1340 'Specifications for materials for the thermal insulation of buildings' — Part 4 Reflective Foil Thermal Insulation Materials.

Means of compliance with NZS 4218P 'Thermal Insulation Requirements For Residential Buildings' are shown in sections B and C of this document.

SECTION A—PERFORMANCE**THERMAL EMITTANCE**

= 0.03 ± 0.01

At room temperature as evaluated by CSIRO Division of Mechanical Engineering, Highett, Victoria, Australia.

TABLE 1

(Reproduced from NZS 4214) Thermal Resistance of an enclosed air space with Gib Foil on one face. $R = m^2 \cdot ^\circ C/W$

Heat Flow	Width of Air Gap (mm)			
	10	20	40	100 or more
Up	0.30	0.41	0.43	0.47
Horizontal	0.35	0.61	0.64	0.64
Down	0.45	0.65	1.10	1.60

FIRE HAZARD INDICES

(Tested to AS 1530 Part 3 1976)

Ignitability Index	: 0
Spread of Flame Index	: 0
Heat Evolved Index	: 0
Smoke Developed Index	: 0

A BRANZ test report is available upon request from Winstone Ltd.

CORROSION

(Tested to AS 1094: 1976)

No corrosion after 28 days at 100% RH and 60°C. Gib Foil does not burn, will not support the growth of fungus bacteria or vermin, and is not affected by age.

VAPOUR RESISTANCE

Gib Foil is widely recognised as a vapour barrier for use in conjunction with other forms of bulk insulation.

9.5 Gib Foil Vapour Resistance = 200 MNs/g

9.5 Gibraltar Board

Vapour Resistance = 0.4 MNs/g

Gib Foil is not recommended for use as a vapour barrier in cool stores.

HANDLING AND STORAGE

Gib Foil should not be stored in wet or exposed conditions. Care should be taken in handling to avoid scratching or degradation of the foil surface.

SECTION B—NZS4218P

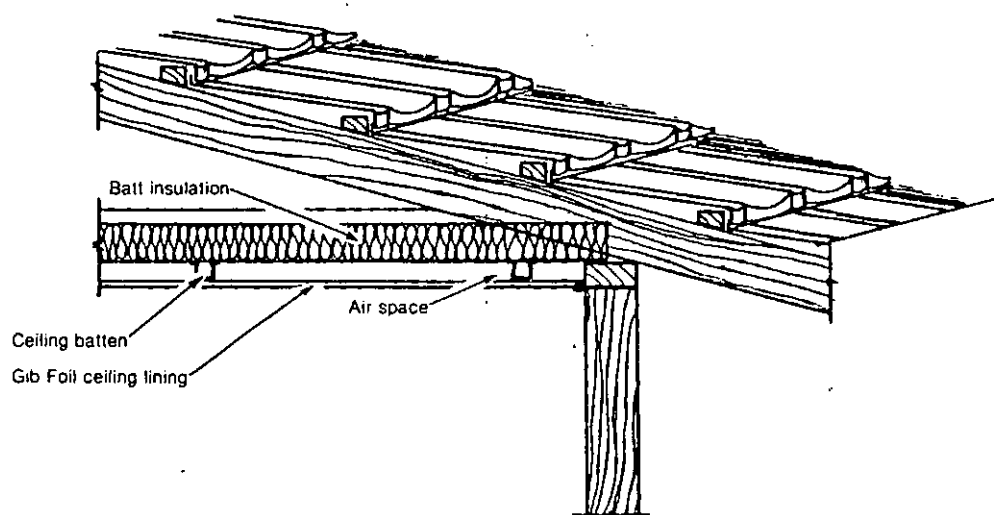
Means of compliance with NZS 4218P — 'Thermal Insulation Requirements for Residential Buildings'

TYPE 'A' CONSTRUCTION

Roof thermal resistance (R) $\text{m}^2 \text{ } ^\circ\text{C/W}$

Using R1.6 Batt = $2.0 \text{ m}^2 \text{ } ^\circ\text{C/W}$

Using R2.2 Batt = $2.5 \text{ m}^2 \text{ } ^\circ\text{C/W}$

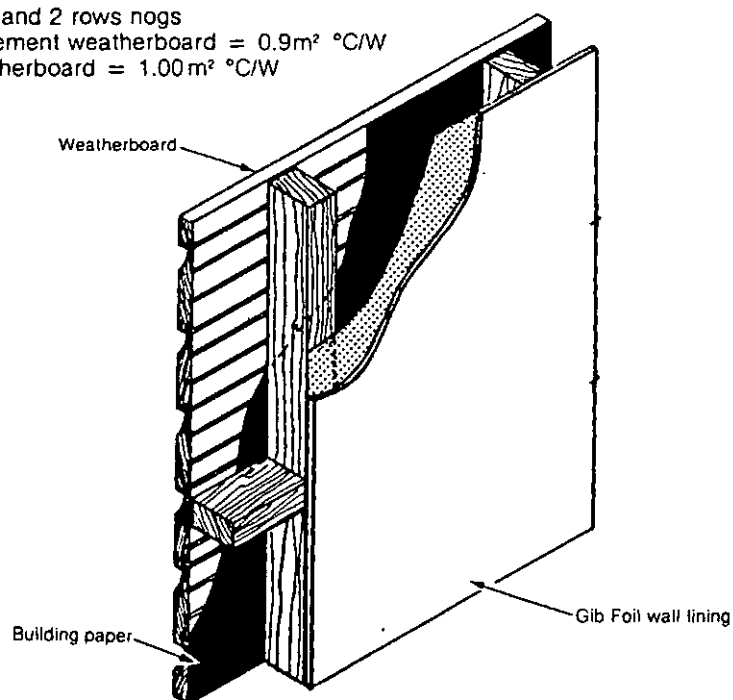


Wall thermal resistance (R) $\text{m}^2 \text{ } ^\circ\text{C/W}$

Studs at 600mm and 2 rows nogs

With Asbestos Cement weatherboard = $0.9 \text{ m}^2 \text{ } ^\circ\text{C/W}$

With timber weatherboard = $1.00 \text{ m}^2 \text{ } ^\circ\text{C/W}$

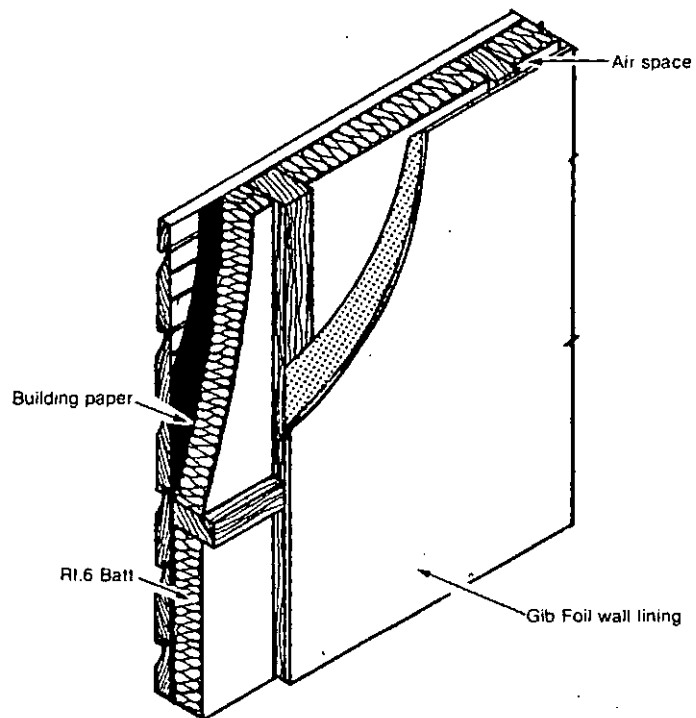


Wall thermal resistance (R) $\text{m}^2 \text{ } ^\circ\text{C/W}$

Studs at 600mm and 2 rows nogs

With Asbestos Cement weatherboard = $2.0 \text{ m}^2 \text{ } ^\circ\text{C/W}$

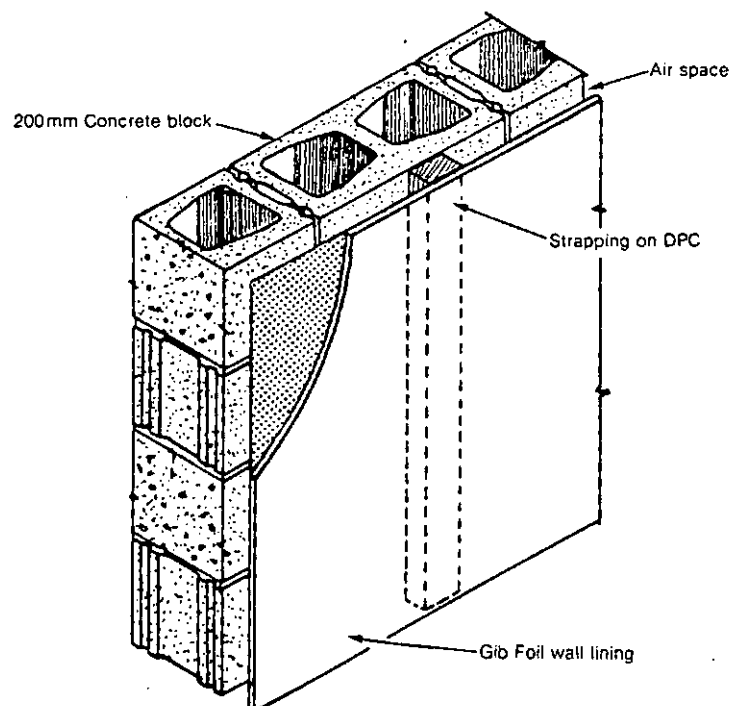
With timber weatherboard = $2.1 \text{ m}^2 \text{ } ^\circ\text{C/W}$



TYPE 'B' CONSTRUCTION

Wall thermal resistance (R) $\text{m}^2 \text{ } ^\circ\text{C/W}$

Thermal Resistance = $0.90 \text{ m}^2 \text{ } ^\circ\text{C/W}$



SECTION C—SPECIFIC THERMAL DESIGN

Gib Foil provides the wall insulation for a thermal envelope that has been the subject of a specific thermal design. Where compliance with NZS 4218P is obtained by specific thermal design, compliance with section 2 of that standard is not required.

The thermal envelope allowable under the specific design is as detailed in Table II and allows for any type of exterior wall and roof cladding.

The combinations have been shown to comply with the requirements of NZS 4218P. Where required the consulting engineer's report is available upon request from Winstone Limited.

LIMITATIONS

- (Buildings outside the following limits would require checking to verify compliance).
- (a) Floor area exceeding 130m², glazed area not to exceed 70% total wall area.
 - (b) Floor area exceeding 200m², glazed area not to exceed 60% total wall area.
 - (c) Truss spacing not less than 900mm
 - (d) Ceiling joist spacing not less than 450mm
 - (e) Single storey construction only but including uninsulated basement areas such as garages.

TABLE II
Specific Thermal Design – Permitted Combinations

Ceiling Insulation	Wall Insulation	Floor Insulation
R 3.3 Fibreglass or 150mm Glass wool or 135mm Cellulose Fibre or 125mm Mineral Wool	Gib Foil	Draped Foil or Concrete Slab

"Note — The above table complies with NZS 4218P by means of the *Specific Thermal Design* option. In NZS 4218P *Specific Thermal Design* refers to a thermal design for a particular building. The tables derived above, however have been shown in the consultants report (No. 208963) to provide compliance with NZS 4218P for a very wide range of building shapes, colours, window details and for all NZ urban climates. Thus they may be used by local bodies to infer compliance with the *Specific Thermal Design* clause in NZS 4218P."

The information contained herein is believed to be correct and no liability is accepted for any loss which may be sustained arising from the use of the information.

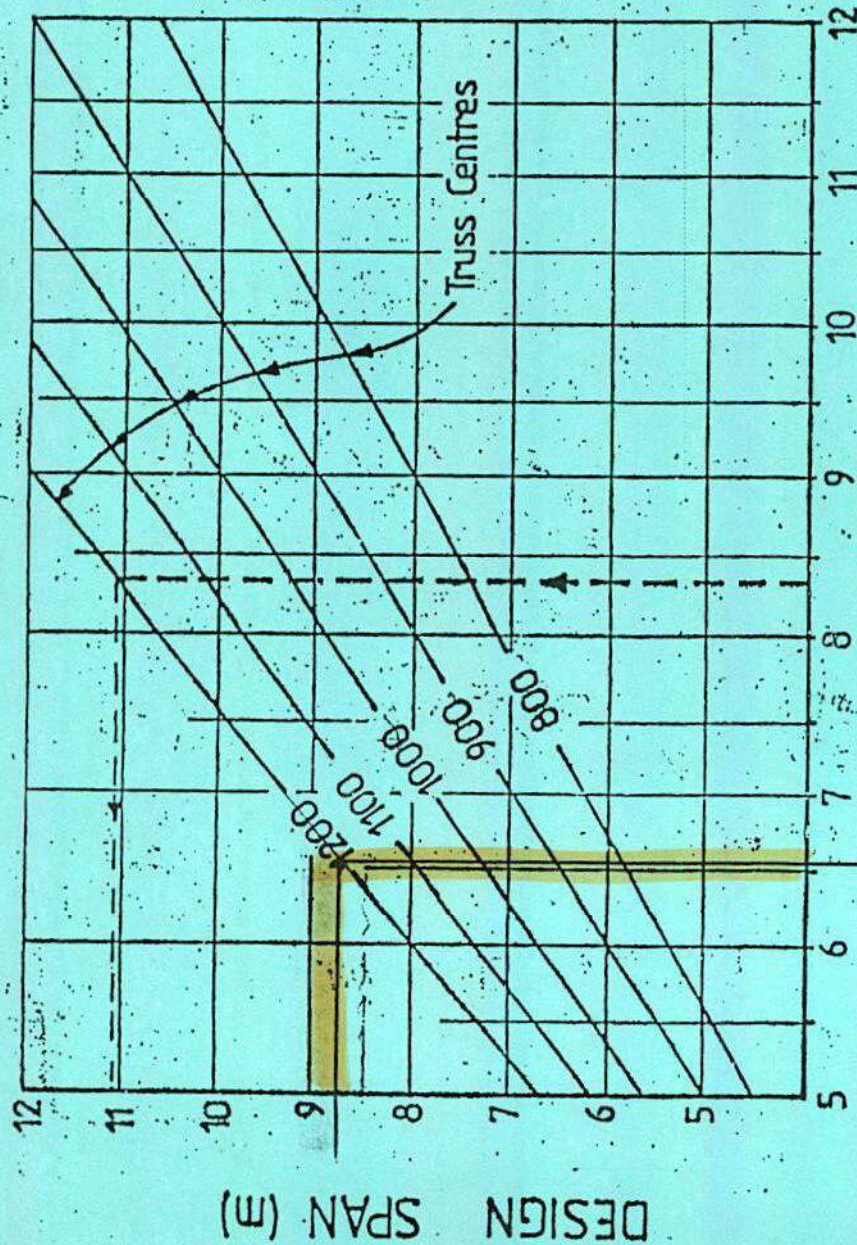
**WINSTONE**

GIBRALTAR BOARD PRODUCTS
Manufactured by Winstone Wallboards Ltd.
Distributed by Winstone Limited.

Auckland 792-809
Christchurch 792-132
Hamilton 495-999
Wellington 845-609
Whangarei 82-099

Phone: 592-809

Branches and distributors throughout New Zealand.



NOTES

Trusses that are designed for 900mm centres may be placed at other centres if this chart is used.

Using the "actual truss span" draw a line up to the appropriate truss centres line and go across to read off the new "design span".

Use truss timber sizes and nailplates for this span.

Ex What truss can be used if the span is 8.3m and the centres are 1200mm?

Answer: See the dotted line on the chart which shows that a truss capable of spanning 11.1m (at 900crs) can be used.

pryda

L.R. Turner & Co. (N.Z.) Ltd.

IVEN STREET ONEKAWA 22-26 EILEEN ROAD CLAYTON SIN
APILB NEW ZEALAND 0 MELBOURNE 3169 AUSTRALIA
Telephone 436 011 Telephone 3474374

VARYING TRUSS
CENTRES

SCALES

DESIGNED

CHECKED

DRAWN

DATE

N.A.

G. J. COOPER

(B.E., MNZIE, REG. ENG.)

G. J. Cooper

B.A. WILLIAMSON

29 AUGUST 1980

DRG. No.

V.T.C.

⑤

I, DONALD VICTOR ANDERSON, being registered under the provisions of the Engineers' Registration Act 1924, and currently holding an Annual Practising Certificate, hereby certify that I have supervised the design of and the computations for the Standard Trusses detailed on our Drawings numbered H2301/A501, A502, D501, D502, G502, D501, G501, G502, HT500, HT501, HT502, 1501, 1502, 1503, A501, A502, P500 and P501, P502 and P1000 and C501, issued July, August and September, 1974, H2464/HT503, HT504, and HT505 issued September 1975, and H2493/A501 issued November 1975.

I FURTHER CERTIFY that these Standard Trusses have been designed in accordance with sound and widely accepted engineering principles; that they have been designed to support the dead, live and wind loads as noted on the drawings, and further that I have ascertained to the best of my ability that the stresses and combinations of stresses in the various materials of construction under the above loads will not exceed the maxima to ensure safety and stability if constructed in accordance with these plans.

NOTE: This certificate does not cover the overall design of any building in which these trusses may be used.

For and on behalf of:

D. V. Anderson

D. V. Anderson, B.E.
22.11.75

POWELL, FENWICK & JOHNSON,
Consulting Engineers.

2 COPIES

I, DONALD VICTOR ANDERSON, being registered under the provisions of the Engineers' Registration Act 1924, and currently holding an Annual Practising Certificate, hereby certify that I have supervised the design of and the computations for the Standard Trusses detailed on our Drawings numbered H2301/A501, A502, D501, D502, G502, D501, G501, G502, HT500, HT501, HT502, 1501, 1502, 1503, A501, A502, P500 and P501, P502 and P1000 and C501, issued July, August and September, 1974, H2464/HT503, HT504, and HT505 issued September 1975, and H2493/A501 issued November 1975.

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For and on behalf of:

D. V. Anderson

D. V. Anderson, B.E.
22.11.75

POWELL, FENWICK & JOHNSON,
Consulting Engineers.

2 COPIES

100mm Ø P.V.C. SANITARY SEWER DRAIN UN FAN 140 (ATTEN. 5.50mm)



2 HOMEUNITS ~ HEAVY TONES
10 CYPRESS PLANE

McGowan
Casey &
Associates

18A Bell Street Winganui
Tairāhema 58.103

Denis W. McGowan a.m.n.z.d. m.n.z.f.d.
Grant A. Casey a.m.n.z.d. m.n.z.f.d.

12/10/25

85/254

Architectural Draftsmen & Designers
Property Developers, Residential Commercial Industrial
Landscapes, Interiors, Print & Photo Copying

[illegible]

4	5	2	1
5	4	12	13
6	7	8	9
10	11	12	13

Answers to slide c/c
from inside plates

MULTI-PRIME KEY (POSS OF FOUR)

for NEW HOUSE

Repia.

LOT 15 D.P.S. 47174

10 Cypress Place,
Windsor.

10/20/2016

863 B

names.	checked
P. R. ...	B. B. ...

1. *Aspergillus* No. 12.

1:400, 1:80 & 1:20

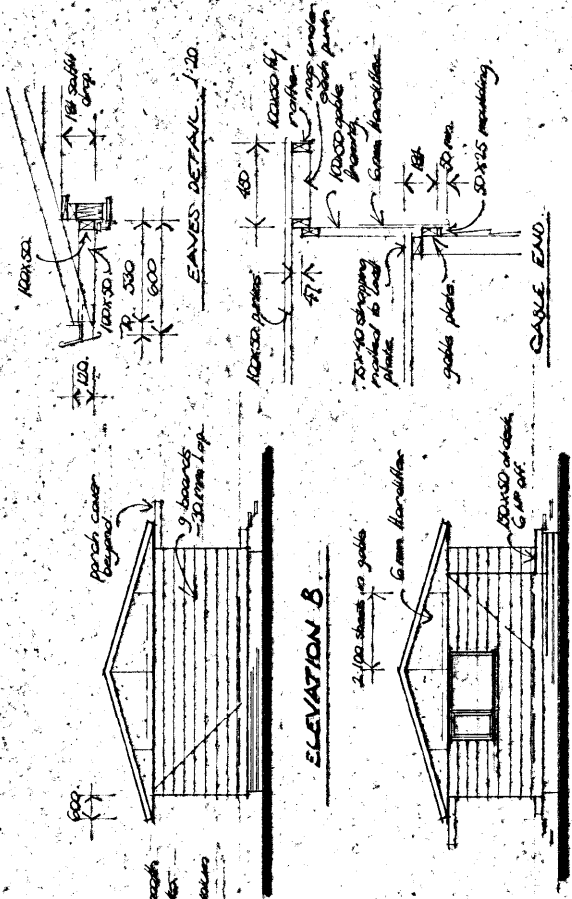
HEALEY HOMES LTD.

J.M. & G.W. MARSHALL

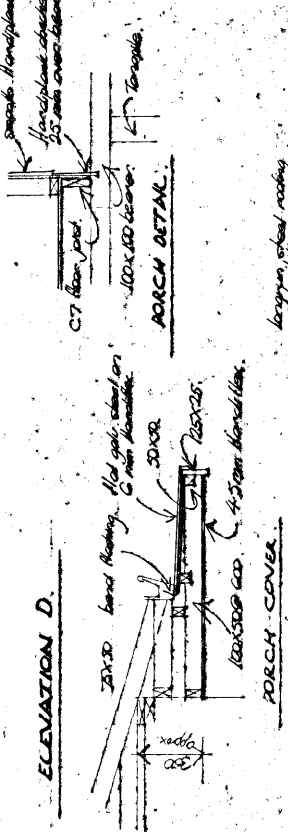
K. D. 10 WALKER
PH. 58104 WALKER

OK, ERIC MALKIN

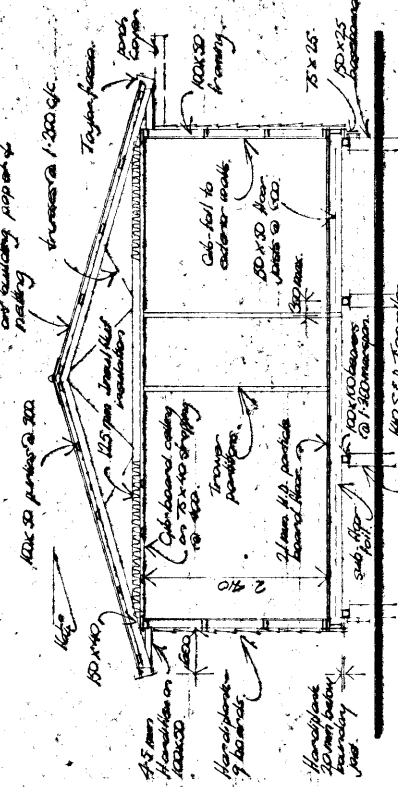
Copyright reserved. This drawing is not to be copied or reproduced without the written permission of I.T.R. & S. P. Healey Ltd.



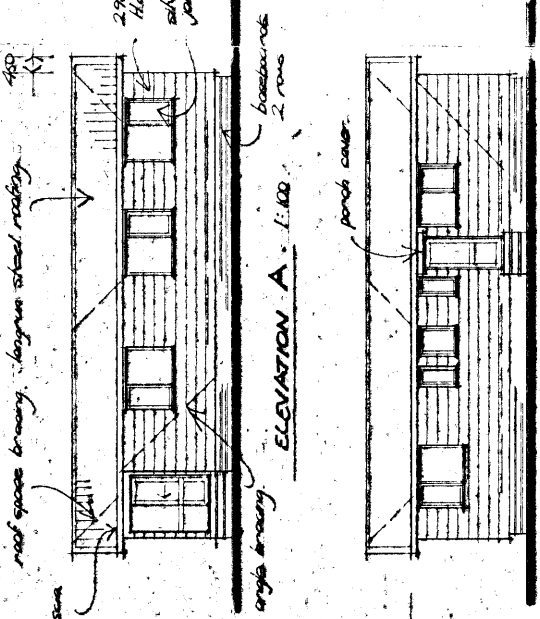
ELEVATION B



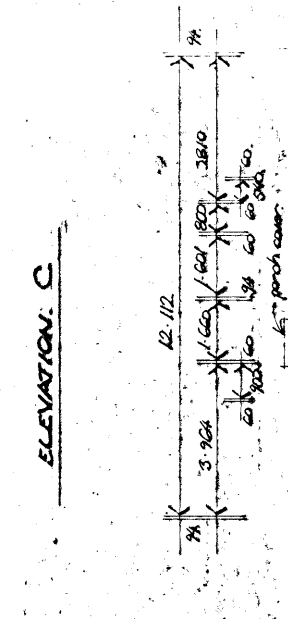
ELEVATION D.



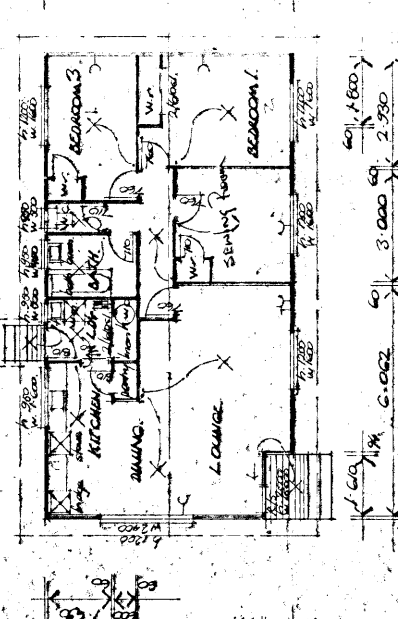
TYPICAL SECTION 130.



ELEVATION A



ELEVATION: C



FLOOR PLAN, 1st SD.

Flask Area: 3689' (80.002)

ELECTRICAL
 fuse board
 meter board
 X light
 C power point.

WANGANUI CITY COUNCIL

BUILDERS DEPOSIT No 475.3

Deposit No. 6124 Building Permit No. 43941

Depositor: Healey Homes

Address: Box 4024

Owner: Ripia

Lot 15 Sec. D.P. 47174

Street: 10 Cypress Pl.

Description 2 dwell

Date 4-6-86 Amount \$150-00

Charges Inv. No.

Refund \$150-00 Veh. No.

Building Inspector *[Signature]*

Date 7-10-86

1000 REMARKS'UPA@HAW

Damage before commencement:

Damage
U F X

on 10/19/9

4012

0-17490

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71

१८.

Damage at Completion:

CG-4518

הַיְּהוּדִים הָיוּ מְשֻׁלָּמִים

22-4-

: 1 3

61BQ

BUILDING INSPECTOR'S
FIELD SHEET

AUTHORITY
WANGANUI CITY COUNCIL

Stats. No. **D 043941**
No. **6124**

Inspector: M _____

File No. _____

Receipt No. **2447**

Date Permit Issued **31 / 5 / 86**

OWNER	
Name	CATHERINE RIPIA
Mailing Address	44 QUICK AVENUE WANGANUI

BUILDER	
Name	HEALEY HOMES
Mailing Address	P.O. BOX 4024 WANGANUI

PROPERTY ON WHICH BUILDING IS TO BE ERECTED/DEMOLISHED

SITE	
Street No.	18
Street Name	CYPRESS PLACE
Town/District	WANGANUI
Riding	

LEGAL DESCRIPTION	
Valuation Roll No.	CT 18A/61
Lot	15
D.P.	47174
Section	
Block	
Survey District	

DESCRIPTION OF PROPOSED WORK AND MAIN PURPOSE OF USE

ERECT TWO DWELLING UNITS AND STORAGE SHEDS

FLOOR AREA		DWELLING UNITS	
Whole Sq. Metres	156	Number Erected	2

ESTIMATED VALUES \$		
	Building	70,000
Plumbing		
Drainage	3,000	
TOTAL	73,000	

NATURE OF PERMIT (TICK BOX)	
☒	NEW BUILDING - exclude domestic garages and domestic outbuildings
☐	FOUNDATIONS ONLY
☐	ALTERED, REPAIRED, EXTENDED - include conversions and resited buildings
☐	NEW CONSTRUCTION OTHER THAN BUILDINGS - include demolitions
☐	DOMESTIC GARAGES AND DOMESTIC OUTBUILDINGS

FEE'S APPLICABLE

Building Permit	\$ 190	Water Connection	\$	Receipt No. _____ Date of Payment ____/____/____ Authorised Officer _____ CITY ENGINEER
Street Damage Deposit	\$ 73	Vehicle Crossing Levy	\$	
Building Research Levy	\$	M.S. Plumbing	\$	
Plumbing	\$		\$	
Drainage	\$		\$	
Sewer Connection	\$		\$	
TOTAL:			\$	

Special Conditions: _____

[Signature]
CHIEF BUILDING INSPECTOR

Date Inspected	REMARKS (e.g. stage reached with work)
26/5/86	Foundation inspection front unit
6/6/86	Foundation inspection rear unit, pouring 25 front unit
14/7/86	Finishing

(CONTINUED OVER)

Date Inspected

27/5/86

Complete

F/W N/D.

COMPLETED (Signature)

gullough

Date

4 / 9 / 86

PLUMBING AND DRAINAGE INSPECTION SHEETREG. PLUMBER M/S L MOASE LTD.AND/OR DRAINLAYER 210 DURIE STREET.WANGANUI.

is/are hereby authorised to carry out the work described herein and set out in the plans deposited in this office, on the premises.

AND SITUATED IN 10 CYPRESS DRIVE.LOT 15 D.P. 47174 SECT. OWNED
OCCUPIED BY KEVIN KELLETDESCRIPTION OF WORK ERECT 3 DWELLING UNITS
1 STORAGE SHEDS (HEAVY HONES)

ESTIMATED VALUE OF WORK:

PLUMBING \$ RECEIPT No. OBADRAINAGE \$ TOTAL \$ 3600.00FEE PAID \$ 76.00.

Such work is to be carried out in strict accordance with the Drainage and Plumbing Regulations.

P. M. BARNES, City Engineer.

Inspector

DATED THIS 24th DAY OF January 1986.SERVICE TESTED ☒FOUL DRAINAGE ☒L MOASE LTD
JOHN MOASE.STORM DRAINAGE ☒90mm PVC.CITY WATER SUPPLY ☒

PRIVATE WATER SUPPLY

HOT WATER SUPPLY

PR Valve.

SEWER VENTS

2x 80mm T/Units.

BACK VENTS

W.C.

2.

SINK

2.

BATH

2.

SHOWER

BASIN

2

TUBS

2.

CEILING VENT

HEATING

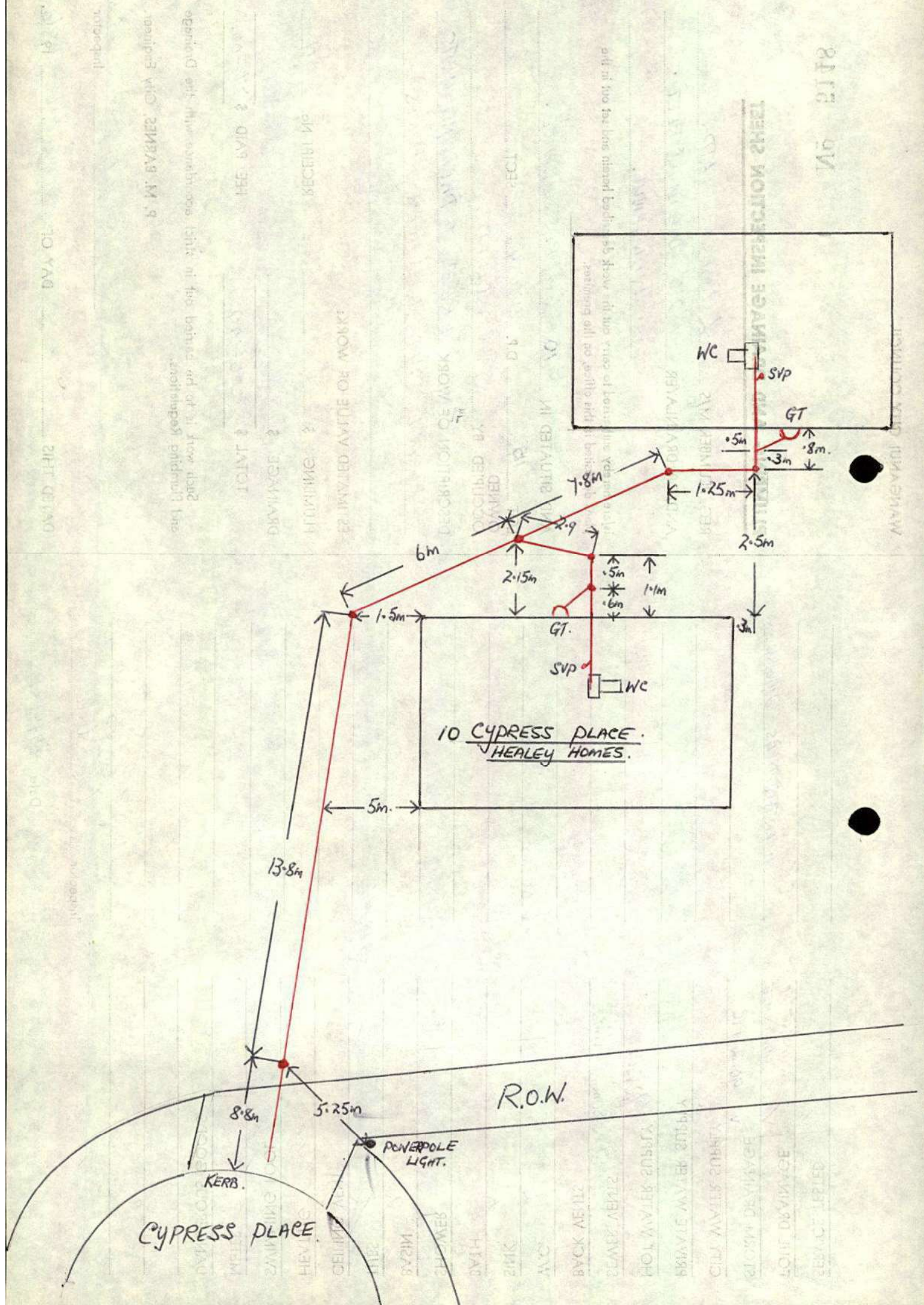
SWIMMING POOL

METER

DANGEROUS GOODS

Inspector

G. Steele.Date 24/6/86



AS BUILT WATER CONNECTION DIAGRAM

Permit No.

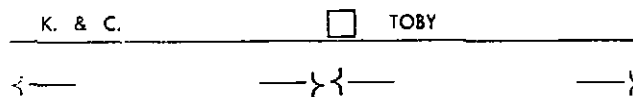
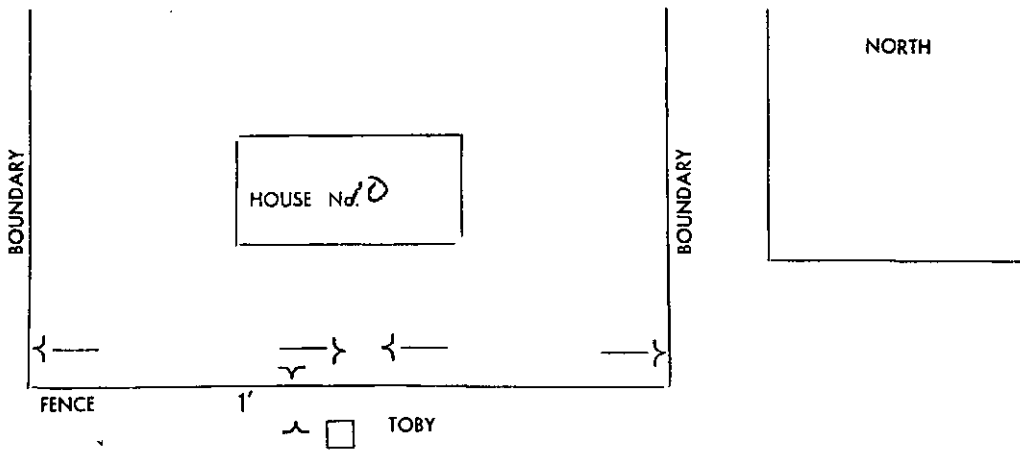
Permit Date.

Lot No.

D.P. No.

Name Owner HEALEY, HANES

Name Builder.



Gypress Place
Street

To.

To.

VALUATION ROLL No. 18A/61		LEGAL DESCRIPTION LOT 15 D.P. 47174		10682 10 CYPRESS PLACE	
DRAINAGE & PLUMBING PERMITS		BUILDING PERMITS			
Permit No.	Date	Permit No.	Date	Nature of Work	
5250		D043941	31.5.86	ER. 2 DWGS. & SHEDS	
		E041942	8.9.87	VISOR FIRE	
		6226	5/10/93	Carport (EXISTING)	
Dangerous Goods Licence	Fill Points		Housing File No.		
Underground Tank	Type	Capacity gals	Reg. No.	Amt. Paid.	
	Water Bore		3267	AT COST	
Water Meter			Reg. No.	Amt. Pd.	
Pool	Back Flow Preventer				
Heating	Gas	Oil-fired	Reg. No.	Amt. Pd.	
	Coal-Wood	Electric	3267	300-00	
	Other		UNRECEIVED 14/01/87		
Existing Use		Designation			
Zoning		Undersize Section			
Building Line Restriction		Proposed Street			
Proposed Service Lane		Proposed Access Way			
Conditional Use		File:			
Specified Departure		File:			
Reference		Date			
Dispensations					