

Code Compliance Certificate

Sections 95, Building Act 2004



Form 7
Version: 4
Updated: Jan 2020
Review: Jan 2021

Building Consent No: BC0360/17

The Building

Street Address of Building: 38 B Spaxton Street METHVEN

Legal Description of Land where Building is Located: LOT 2 DP 512892, LOT 3 DP 512892

Property No: 23945

Valuation Roll No: 2439155322, 2439155320

Building Name: Dwellings

Location of Building within Site/Block Number: 38A & 38B Spaxton Street

Level/Unit number: N/A

Current, Lawfully Established, Use: Housing

No Occupants per Level: N/A

No Occupants use (if more than 1): N/A

Year First Constructed: 2000 (Conversion 2017)

The Owner

TALB Allred Limited
4 Wayne Place
METHVEN 7730

Phone Numbers

Daytime: 027 303 3124
Home:
Mobile: 027 303 3103
After Hours:
Fax:
E-Mail: aaron@rbal.co.nz

First Point of Contact for Communications:

TALB Allred Limited
4 Wayne Place
METHVEN 7730

Phone Numbers

Daytime: 027 303 3124
Home:
Mobile: 027 303 3103
After Hours:
Fax:
E-Mail: aaron@rbal.co.nz

Building Work

Project: Conversion of Existing Ski Lodge into two dwellings and a studio unit

Intended Use(s): Convert lodge into 3 units

Intended Life: Indefinite

Code Compliance Certificate

Sections 95, Building Act 2004



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Code Compliance

The Building Consent Authority named below is satisfied, on reasonable grounds, that:

- (a) The building work complies with the building consent
- (b) As the building work was completed circa July 2018, as provided by the owner, the provisions for NZ Building Code Clause B2 Durability are considered to have taken effect on 22 July 2018.

Related Building Amendment Applications

This Code Compliance Certificate includes work related to the following building amendments:

BC0360/17.01 - Variation - remove wardrobes from unit 1 & 2, change doors and windows around in unit 2, add HC to Unit 2, remove bedroom wall unit 2

BC0360/17.03 - Variation - new entrance porches

pp

A handwritten signature in black ink, appearing to read "L.M. Farrell".

Signature

Name Mike Farrell

Position Building Official

On behalf of Ashburton District Council 18 March 2024

DB/VR

20 December, 1984

Messrs. Shearer Bros.,
P.O. Box 55,
METHVEN

Dear Sir,

re: Permit Application for
Messrs Tarleton & Schulte

With the recent amendment to NZS 1900
the 4 hour FRR masonry wall on the above
may be replaced with a 1½ hour wall.

Yours faithfully,

D. BURRIDGE,
COUNTY HEALTH AND
BUILDING INSPECTOR.

DB/KF

30 January 1985

Shearer Bros Ltd
P.O. Box 55
METHVEN

Dear Sir,

Your amended plan of Tarleton
and Schulte's Boarding house received
28th January is satisfactory and permit
023403 is amended accordingly.

Yours faithfully,

D.M. BURRIDGE
COUNTY HEALTH &
BUILDING INSPECTOR

TO: The Ashburton County Council
Building Inspector
P.O.Box 43
ASHBURTON

BUILDING PERMIT APPLICATION FORM

Sir, I hereby apply for permission to erect a BOARDING HOUSE
~~alter a~~
~~convert a~~
~~reinstate a~~
~~demolish a~~
add to

for ROGER TAYLOR & LOWEL SCHLITZ 38 SPAXTON ST. METHVEN [Owner's address]

according to locality plans, detailed plans, cross sections and specifications of building deposited herewith IN DUPLICATE

Particulars of Land [Legal Description] LOT 1 on DP6754

Part of Block Section 30314 CERTIFICATE OF TITLE REGISTER 354 Folio 160
in Street/Road Number [or fire number if applicable] SPAXTON STREET METHVEN / 38

Locality METHVEN

Where power lines are adjacent to the proposed building these must be shown on plans.

PARTICULARS OF BUILDING

Foundations: CONCRETE Walls: TIMBER Roof: IRON

Area: 182 square metres
\$40000

Estimated Value: Building \$65000.00 Plumbing and Drainage \$ 5000.00

Permit Fee
Building Research Levy
Sewer Connection
Water " " Special
Footpath Levy

\$ 118-00
70-00
30-00
218 } Will forward

Purpose for which building is to be used: BOARDING HOUSE

Builder STEARER BROS. LTD.

Address MCMILLAN ST.

Signature of Builder: [Signature] METHVEN

FOR OFFICE USE ONLY

Permit No: _____ Valuation No: _____

District Planning Scheme: Res. Plumbing and Drainage Record
3130 + 3129

Council Approval: _____
Application approved subject to the following conditions: 1, 2, 3, 4

Date: 22-1-85
22-1-85

[Signature]
BUILDING INSPECTOR

[Signature]

BUILDING PERMIT CHECK

Proposed Development 38 Station At Muttons



Check required	List of items which do not comply	Sign if fully complying
	Existing house - 1.5m (5ft) from Boundary. New Garage - 2m (6ft 6in) from Boundary.	
Outlet "A" 6m	New Building 3m (10ft) a 6m (20ft) from Boundary 2m-3m from boundary requires 2hrs F.R.R. a 30% w/s.	
Outlet "B" 6m	a 1hr. F.R.R. + 30% w/s Satisfactory	
Emergency lighting -	Provide emergency lighting for the new building, units A+B. and to comply with N.Z.S. 6742.	
Fire Alarm	Provide a manual Fire Alarm interconnected throughout with buildings, and to comply with N.Z.S. 4561 (Type B) Provide fire hose reel coverage of the existing building. The fire hose reel in the new units is satisfactory only with to the following: 1. 3 hour suitable protection against frost. 2. Access through sliding doors from outside lounge at all times. 3. Minimum 22m hose of hose reel.	
Special Risks	Provide special risk information to cover kitchen a electrical risks, wall mounted in accessible positions Provide roof space access to units A-B regarding building.	
Egnoo.	Provide outdoor opening egress doors from both buildings with external handways a steps as required Mk. E. Stephens 9-11-84	



BUILDING PERMIT CHECK

131

Walter + Schultz, Boardinghouse

Check required	List of items which do not comply	Sign if fully complying
①	Planning approval is required	
②	Roof truss loadings are required	
③	Bracing schedule is required	
④	Firewall 2-11-84 double door required	
⑤	Permit fees of \$ 218 as assessed 12-11-84	
⑥	Stormwater disposal must not be to street channel	ST steel 23/4/840s
⑦	Detail of beam support required.	
⑧	Kitchens must have covered floors	
	Floor waste	
	Wash hand basin	
	Mechanical ventilation.	

1	2	3	4	5	6	7	8	
Total B.U.'s Required	Wall Line	Minimum B.U.'s Required	Label No.	Type	Rating B.U.'s/m	Length (m)	B.U.'s Provided	
ALONG	A		1	1	62	2.20	136.40	
			2	1	62	1.70	105.40	
			3	1	62	2.20	136.40	
	Sub-total						378.20	
	B			1	2	42	3.50	147.00
				Sub-total				
	C			1	2	42	3.50	147.00
				Sub-total				
	D			1	1	62	3.40	210.80
				2	1	62	1.80	111.60
	Sub-total						322.40	
	TOTAL		349.80	Actual		TOTAL		994.60
ACROSS	L		1	62	2.40	148.80		
			Sub-total					148.80
			M			1	62	3.00
	2	62				3.00	186.00	
	Sub-total					372.00		
	N			1	1	62.00	2.80	173.60
				2	1	62	2.50	155.00
	Sub-total						328.60	
	O			1	2	62	3.00	186.00
				2	2	62	2.50	155.00
	Sub-total						341.00	
	P			1	2	62	3.00	186.00
2				2	62	2.50	155.00	
Sub-total						341.00		
TOTAL		1346.20	TOTAL			1531.40		

MACHINE JOINERY

WORKS
METHVEN

Plans Prepared and
Estimates given for
Work in
Town or Country

PHONES Shops 28-504
Pvt. 28-164

P.O. Box 55
Methven

SHEARER BROS. LTD.

BUILDERS and CONTRACTORS

Bungalows a Specialty
Omega Aluminium Joinery



21 December 1984



Building Inspector,
Ashburton County Council,
P.O.Box 43,
ASHBURTON.

Dear Sir,

re: Permit application - Tarleton & Schuttler

With reference to your letter dated 23 November I make the following comments:-

- 1) Attached
- 2) Pryda roof trusses ex R.T. Cochrane to be used.
- 3) Attached
- 4) As per amendment to NZS 1900 timber framed wall with 2 layers 12.5mm Giboard either side. This wall will be from concrete floor to iron roofing.
- 6) Stormwater will not go to street channel.
- 7) Attached.
- 8) (a) Yes
(b) Yes - but possibly not middle of room.
(c) Yes
(d) Yes
- 10) Manual type fire alarm will be provided
- 11) Fire hoses will be provided as detailed.
- 12) Special risk fire extinguishers will be provided.
- 13) Manholes will be formed
- 14) One outward opening door in each building will be provided with landing.

Yours faithfully,
SHEARER BROS. LTD.

T.D. Shearer

Ministry of Works, Christchurch
Valuation Dept., Timaru
Assessment No. 24391/553

249.



AJ/VR

22 November, 1984

Messrs R.D. Tarleton and L.J. Schultze,
c/- Messrs C.V. Quigley & Sons,
P.O. Box 1127,
CHRISTCHURCH.

Dear Sir,

Application for Planning Consent

I have to advise that your application for consent to erect and operate units as ownership flats or as motels, or motel units or as boardinghouse facilities on Lot 1 D.P. 6754, Pt. A.S. 30314 at 38 Sparrow Street, Methven, has been approved subject to -

- I. Landscaping to be carried out to the satisfaction of the County Engineer.
- II. Vehicle parking to be in accordance with the district scheme.

This consent will lapse on the 22 November, 1985, if not proceeded with.

Yours faithfully,


COUNTY CLERK.

NAME: TARLETON & SCHULTZ ADDRESS: SPAXTON STREET
METHUEN

STOREY: Single or Uppermost
Lower of two or middle of three
Lower of three

ROOF TYPE: Light / Heavy

ROOF PITCH: 0° - 25° 26° - 45°

WIND AREA: Medium

W = 53 B.U.'s/m

EARTHQUAKE ZONE: A B/C

E = 3 B.U.'s/m²

ROOF OR BUILDING LENGTH

BL = 25.40 m

ROOF OR BUILDING WIDTH

BW = 6.60 m

GROSS ROOF OR BUILDING PLAN AREA

GPA = 167.6 m²

EARTHQUAKE: B.U.'s ALONG AND ACROSS

E x GPA = 3 x 167.6 = 502.80 B.U.'s

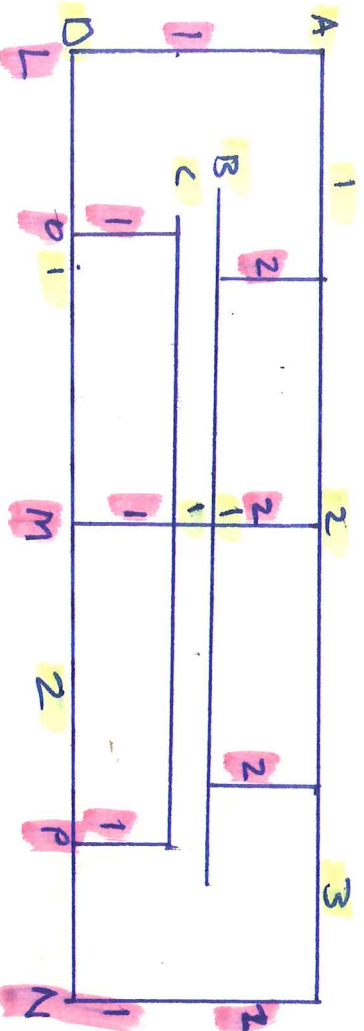
WIND: B.U.'s ALONG

W x BW = 53 x 6.60 = 349.80 B.U.'s

WIND: B.U.'s ACROSS

W x BL = 53 x 25.40 = 1346.20 B.U.'s

SKETCH PLAN (external and internal walls) :



MACHINE JOINERY
WORKS
METHVEN
Plans Prepared and
Estimates given for
Work in
Town or Country

PHONES Shops 28-504
Pvt. 28-164

SHEARER BROS. LTD.

BUILDERS and CONTRACTORS
Bungalows a Specialty
Omega Aluminium Joinery



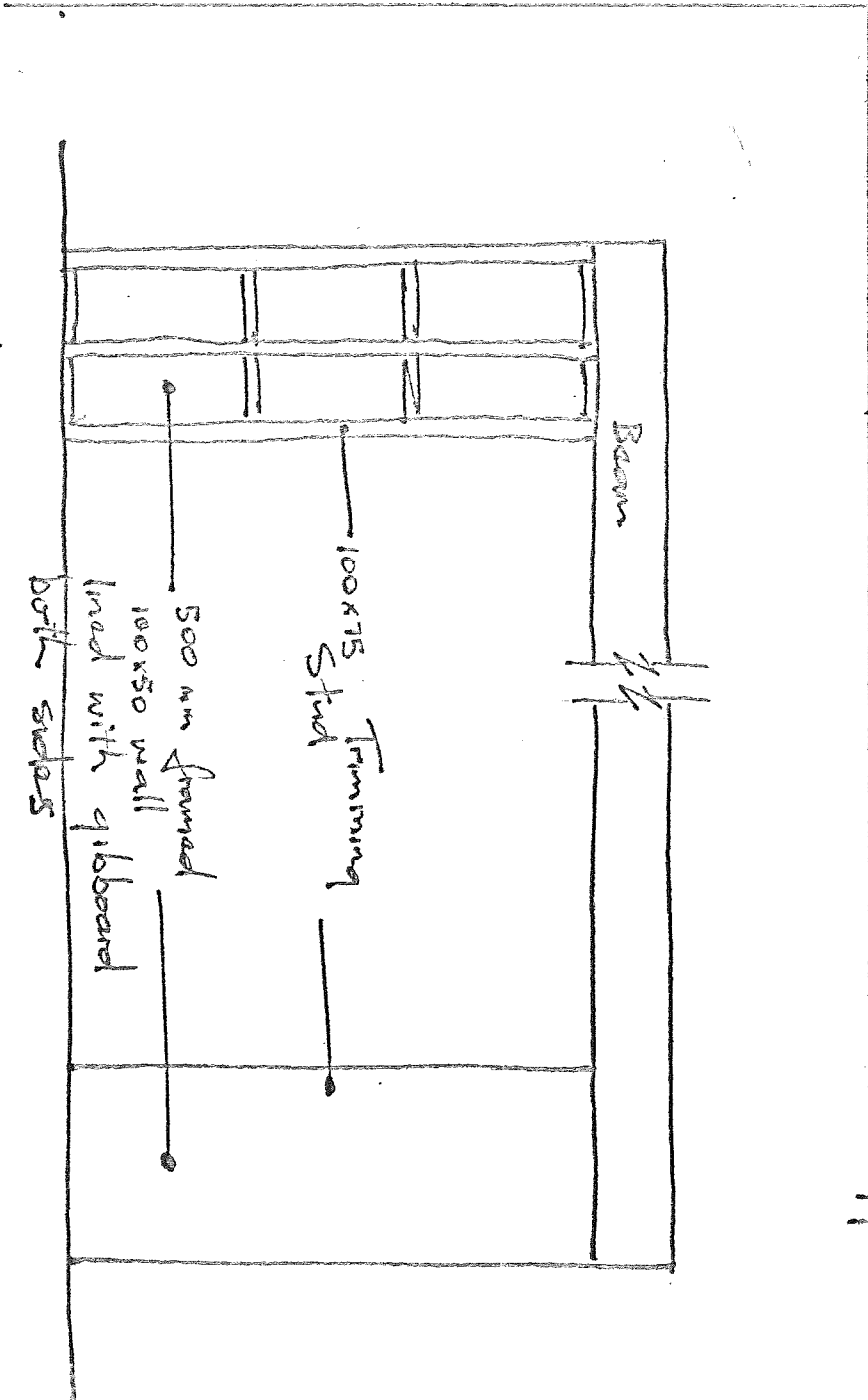
7/1/85 1985

P.O. Box 55
Methven

Tarleton &
Schulte

Beam Support detail

T. Shearer 7/1/85



PHONES Shops 28-504
Pvt. 28-164

P.O. Box 55
Methven

MACHINE JOINERY
WORKS
METHVEN
Plans Prepared and
Estimates given for
Work in
Town or Country

SHEARER BROS. LTD.

BUILDERS and CONTRACTORS

Bungalows a Specialty
Omega Aluminium Joinery



8 January.....1985

Mr N. McDowell,
Ashburton County Council,
P.O. Box 43,
ASHBURTON.

Dear Sir,

re: Tarleton and Schulte Boarding House.

Thank you for your letter 24 December 1984, I realise the pressure you had at the time and appreciate the effort.

I make the following comments:-

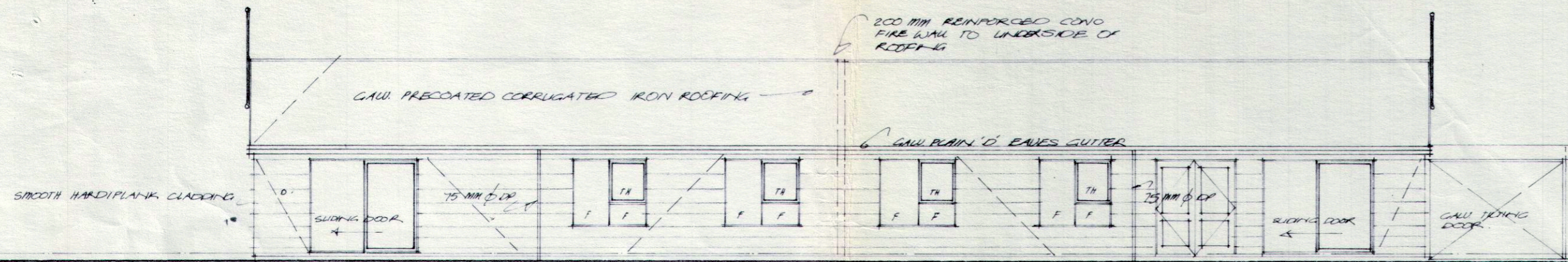
- i) Paid
- ii) Attached
- iii) Emergency lighting will be provided, could you ask the Fire Safety Officer to suggest placement.

Construction is hoped to begin the week beginning 14 January 1985.

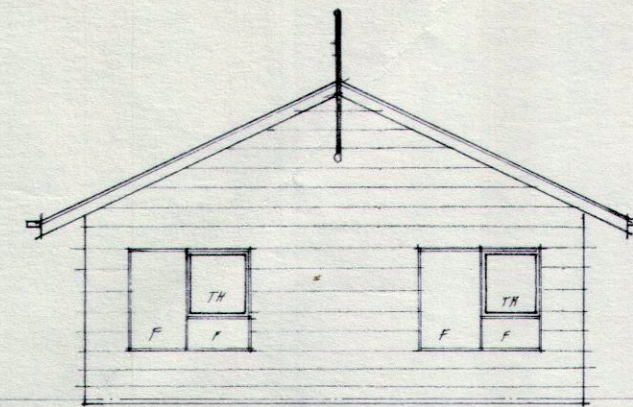
Yours faithfully,
SHEARER BROS. LTD.



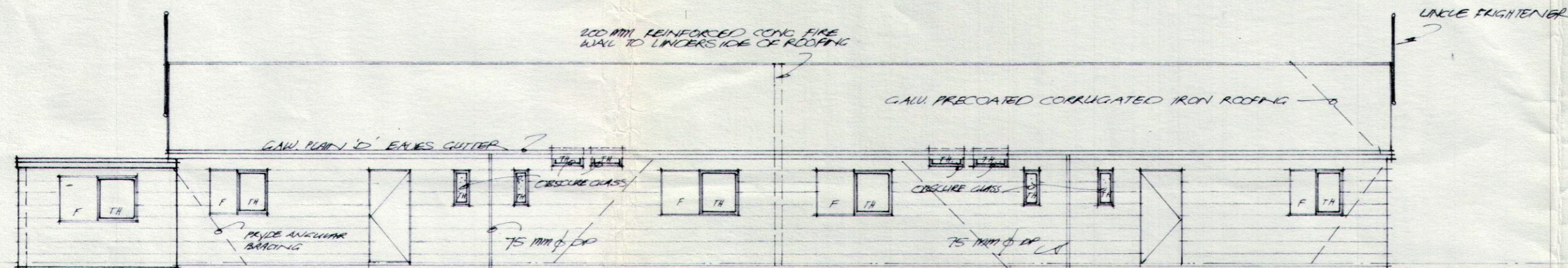
T.D. Shearer



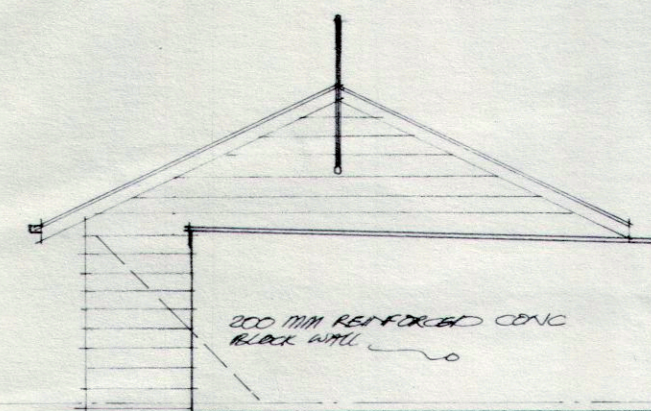
WEST ELEVATION



NORTH ELEVATION

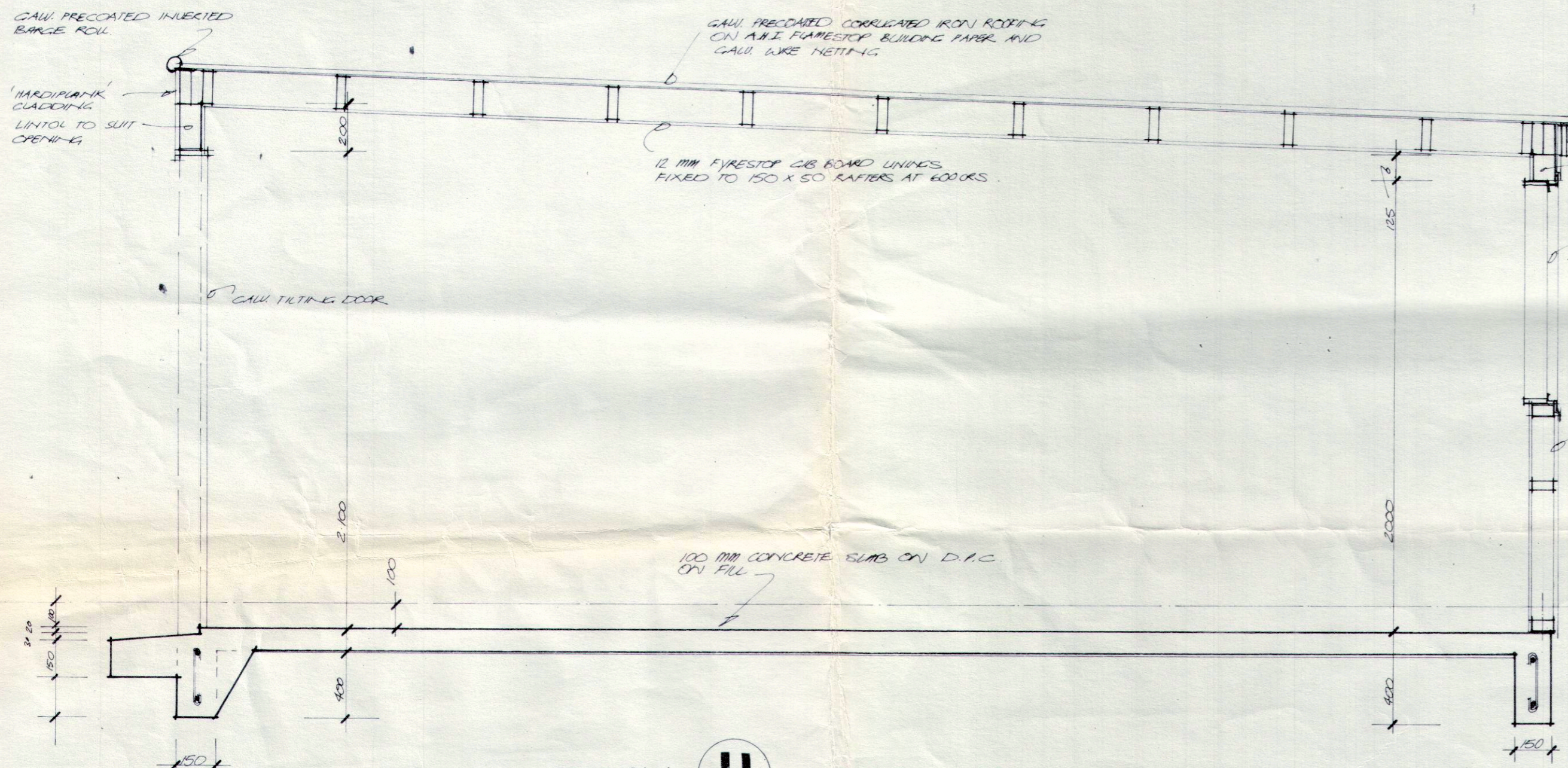


EAST ELEVATION

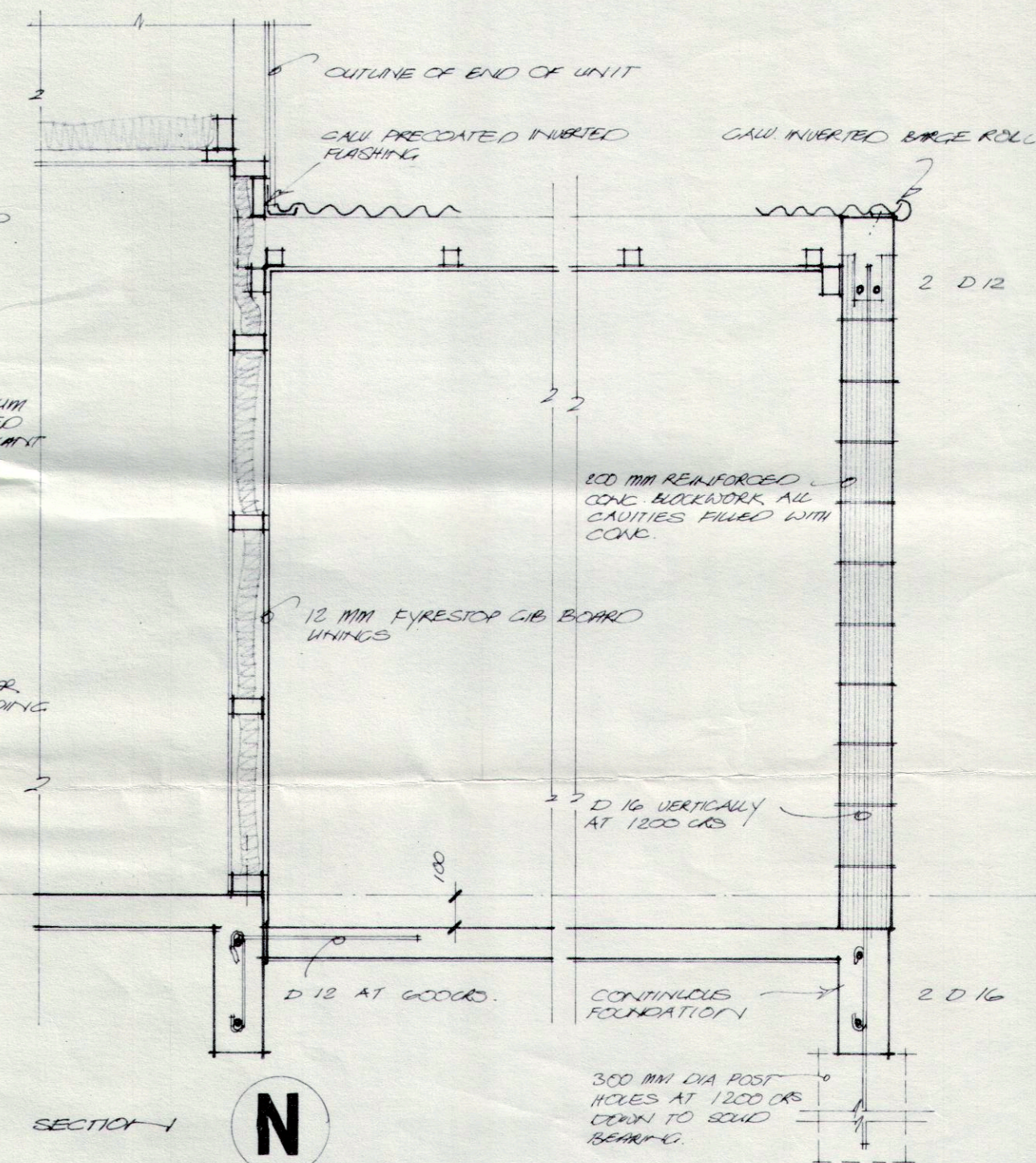


SOUTH ELEVATION

ELEVATIONS SCALE 1:100



SECTION U SCALE 1:20



SECTION N

James P. de Malmanche

NO 3 GRACEFIELD AVE CHRISTCHURCH PH. 799-875

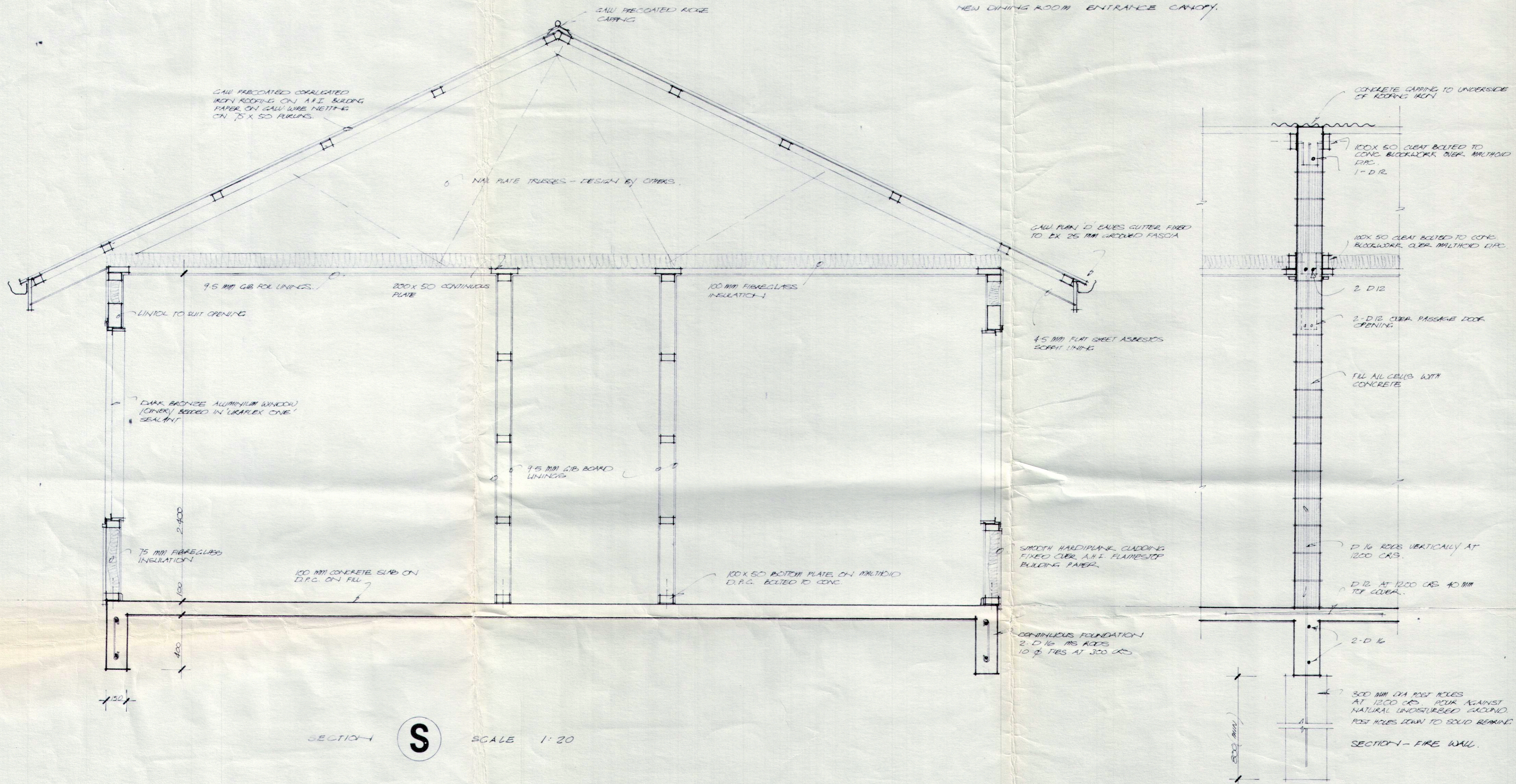
PROPOSED DEVELOPMENT METHVEN

the contractor must verify all the dimensions on the site before commencing work

-
- ELEVATIONS
- SECTION IS
-
-

SHEET NO 2 OF 3

0010 84



SECTION S SCALE 1:20

James P. de Malmanche
 No 3 GRACEFIELD AVE CHRISTCHURCH PH. 799-875

PROPOSED DEVELOPMENT METHVEN

the contractor must verify all the dimensions on the site before commencing work

SECTION S

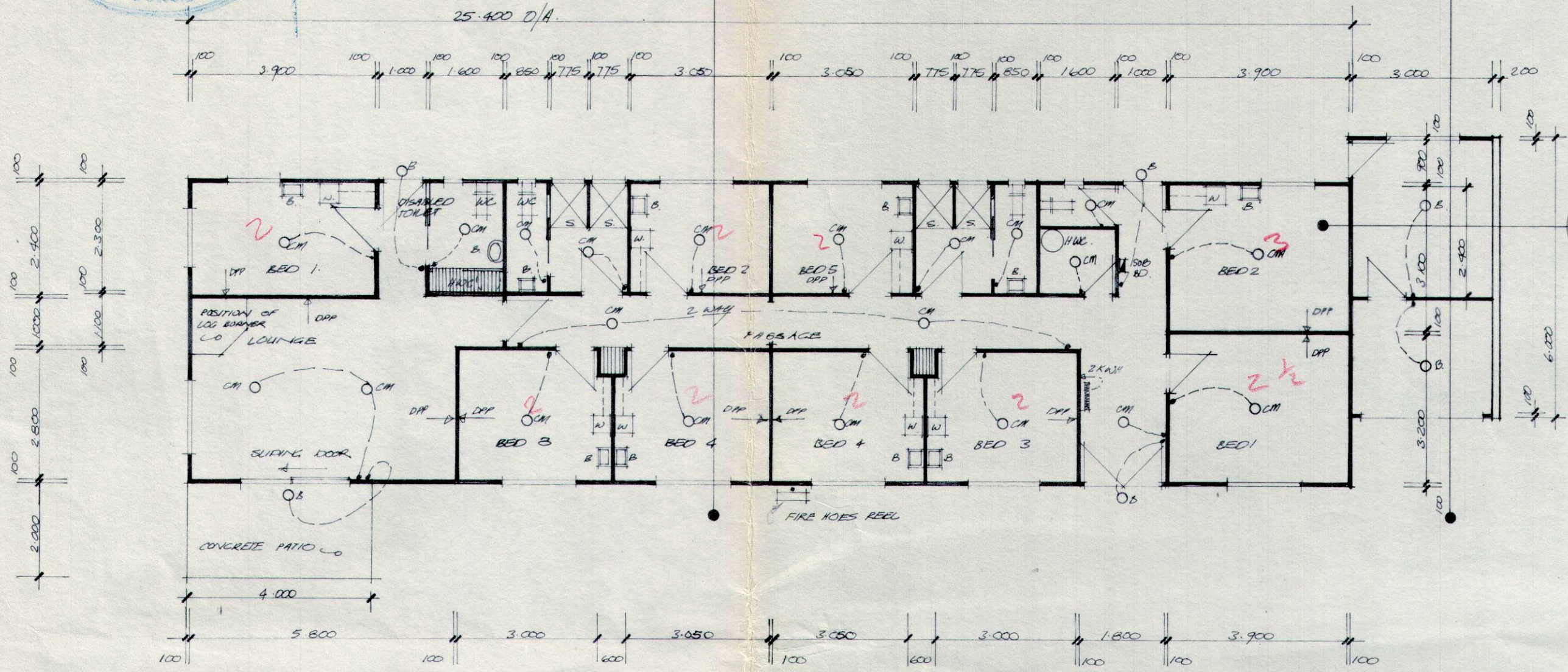
SHEET No 3 OF 3
 OCTO '84



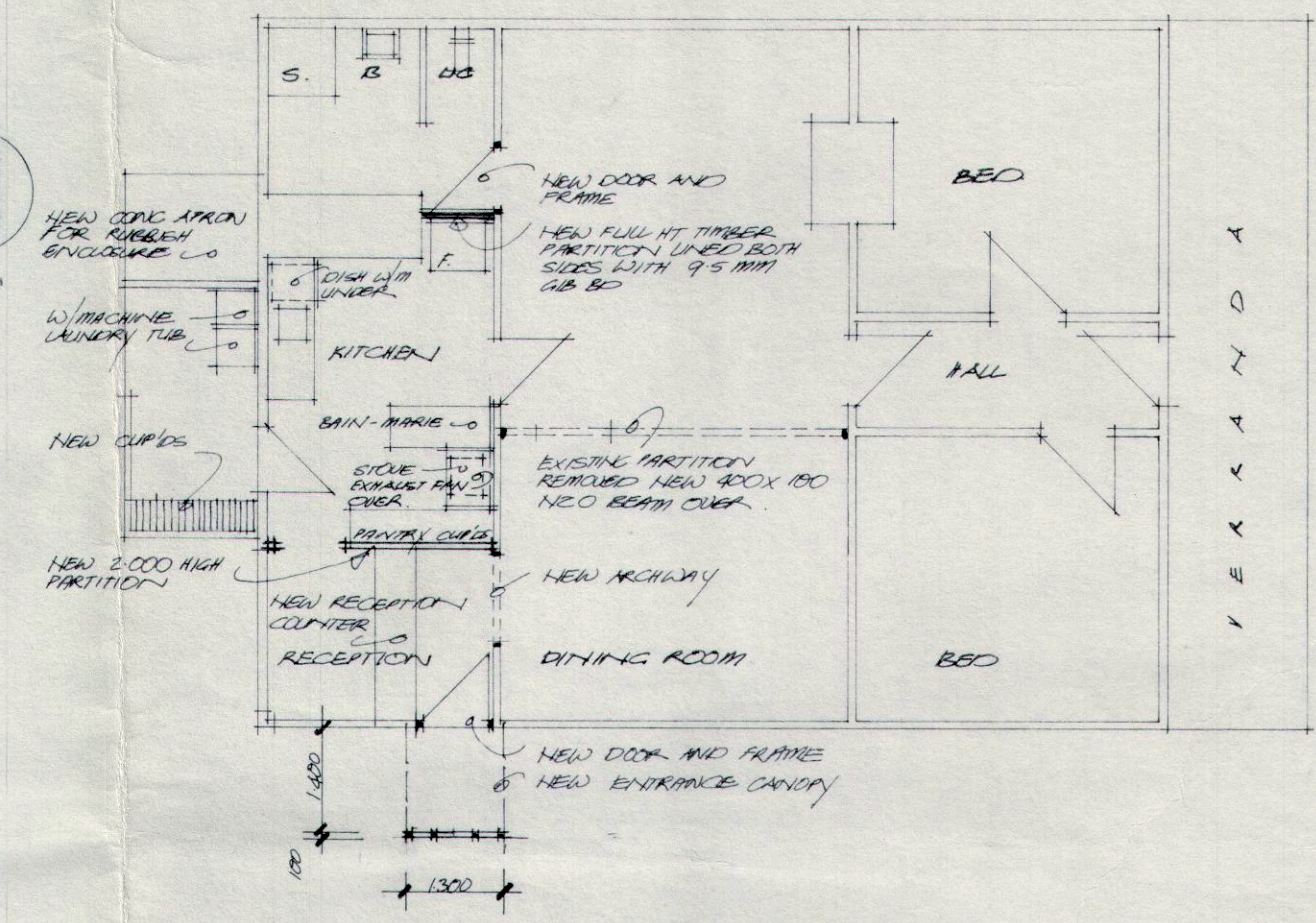
S

U

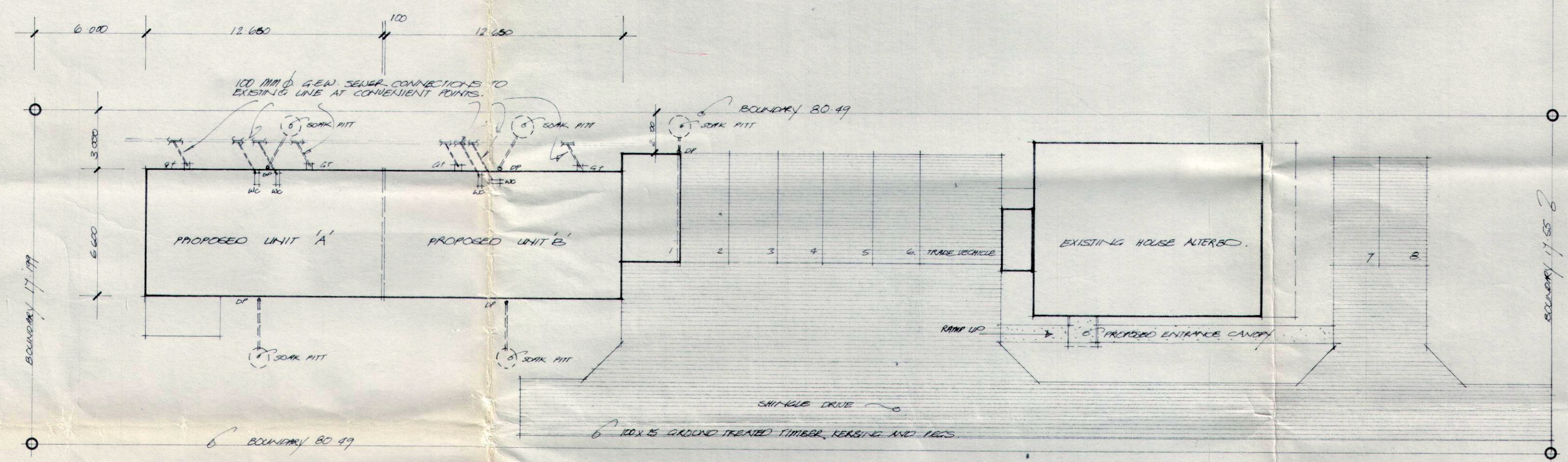
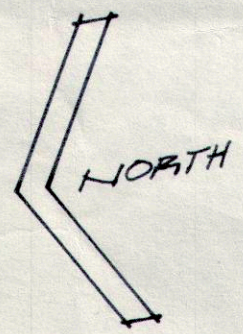
N



PLAN - UNITS 'A' AND 'B' SCALE 1:100



PLAN - EXISTING HOUSE ALTERED



SITE PLAN AND DRAINAGE SCALE 1:200

Tarleton + Schulte Ammended Firewall

James P. de Matmanche

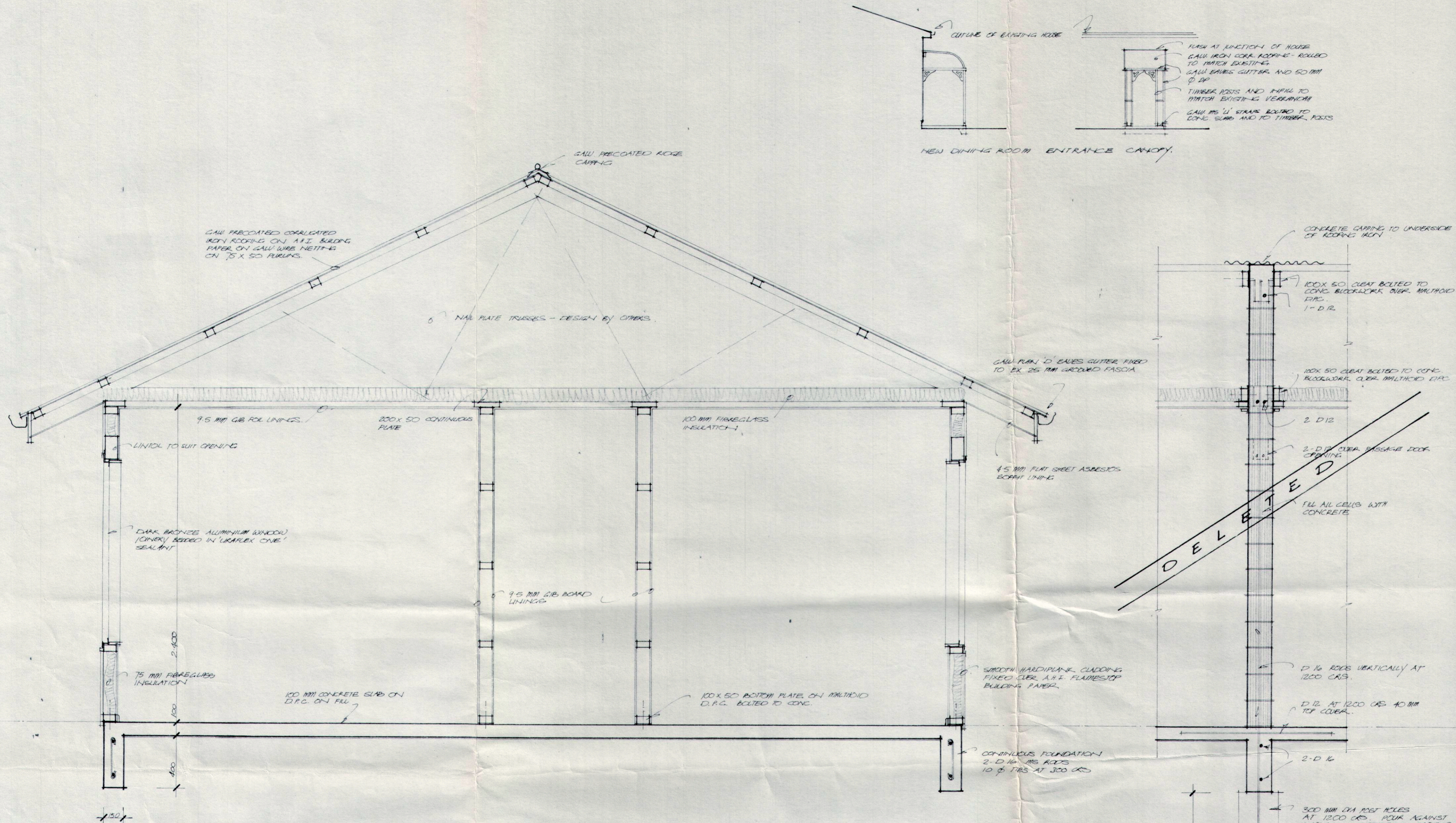
PROPOSED DEVELOPMENT METHVEN

AMMENDED JAN 85

the contractor must verify all the dimensions on the site before commencing work

SHEET NO 1 OF 3

OCTO '84



SECTION **S** SCALE 1:20

SECTION - FIRE WALL. AMENDED 14/1/85

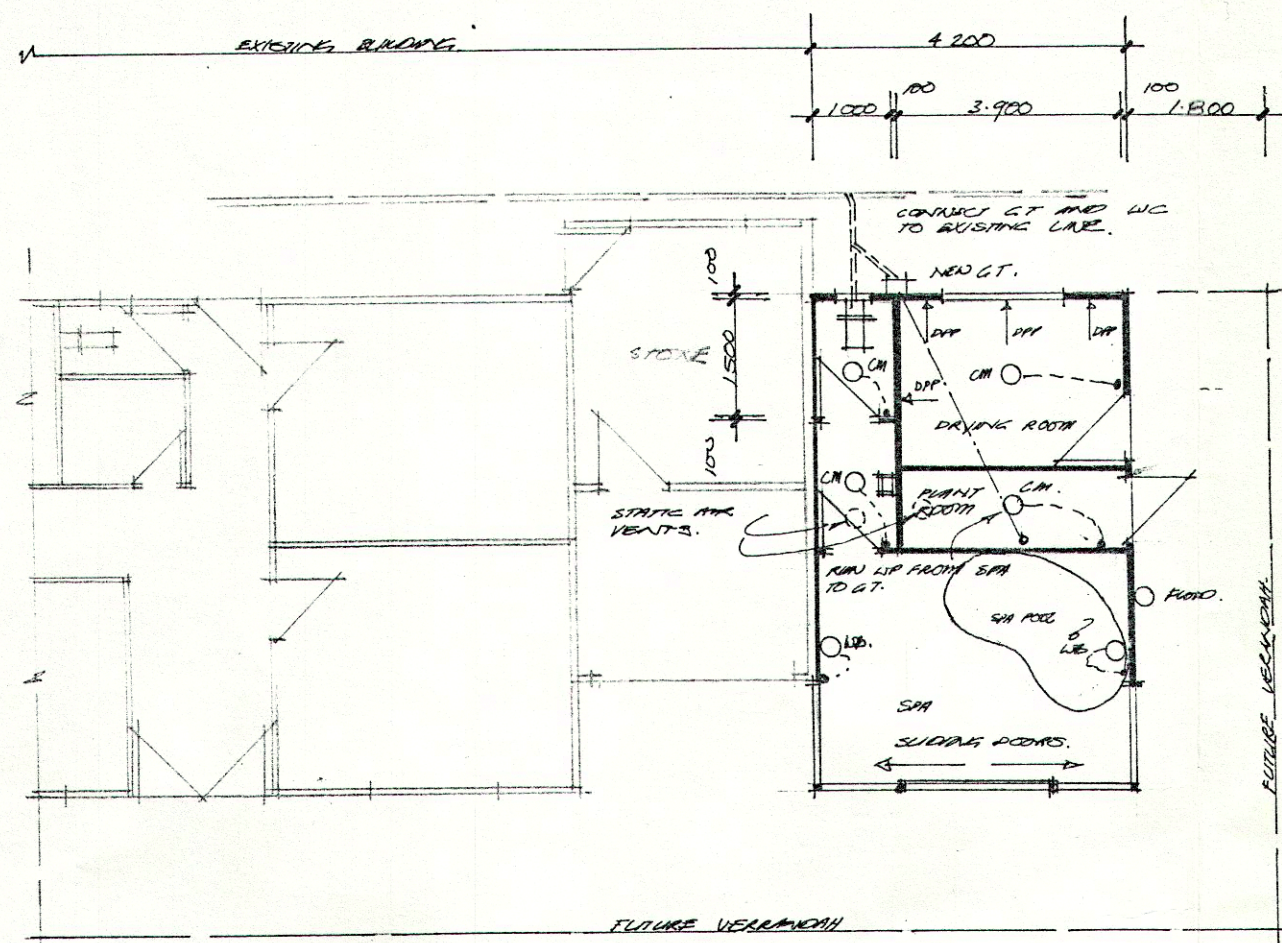
James P. de Malmanche
 No 3 GRACEFIELD AVE CHRISTCHURCH PH. 799-875

PROPOSED DEVELOPMENT METHVEN

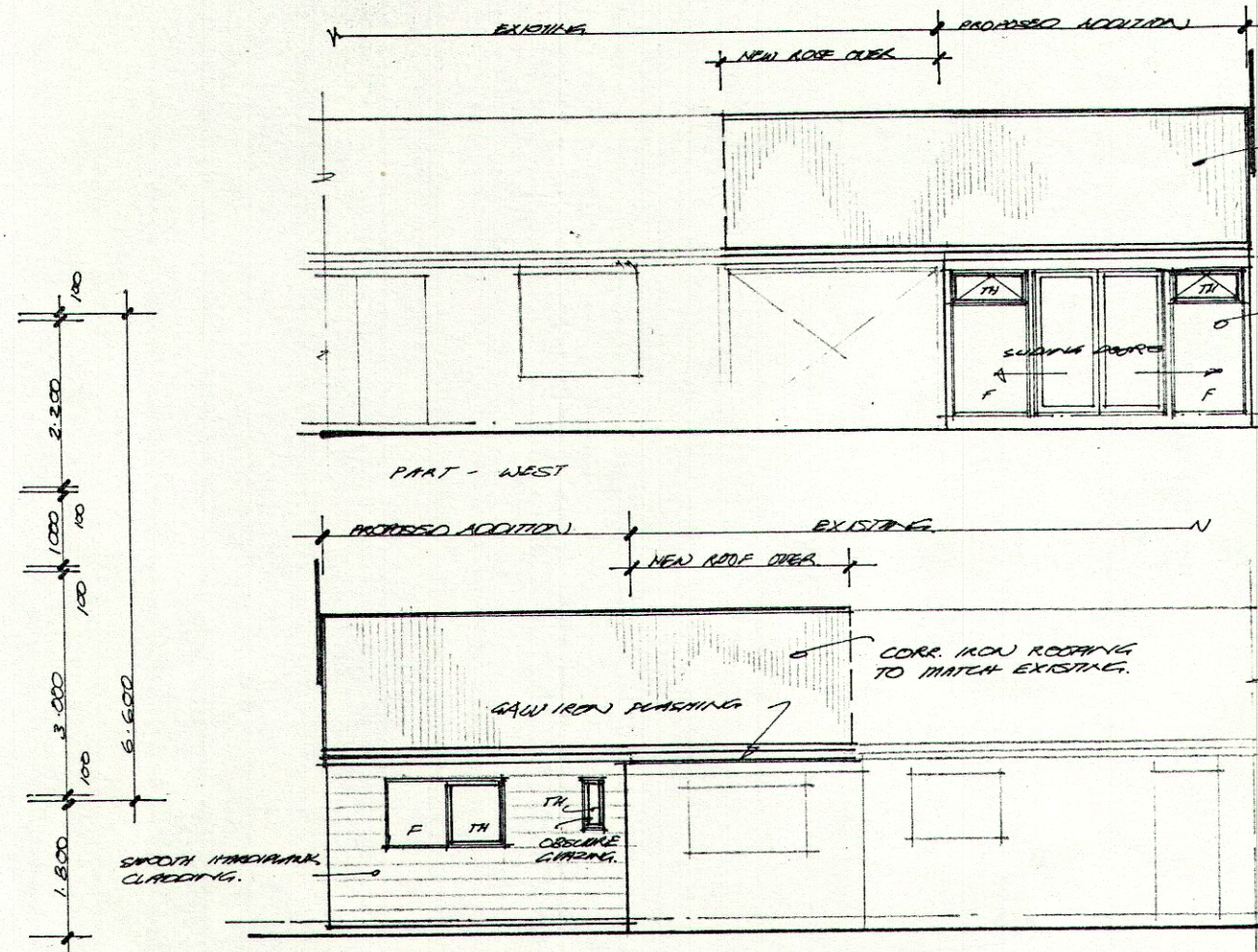
the contractor must verify all the dimensions on the site before commencing work

SECTIONS

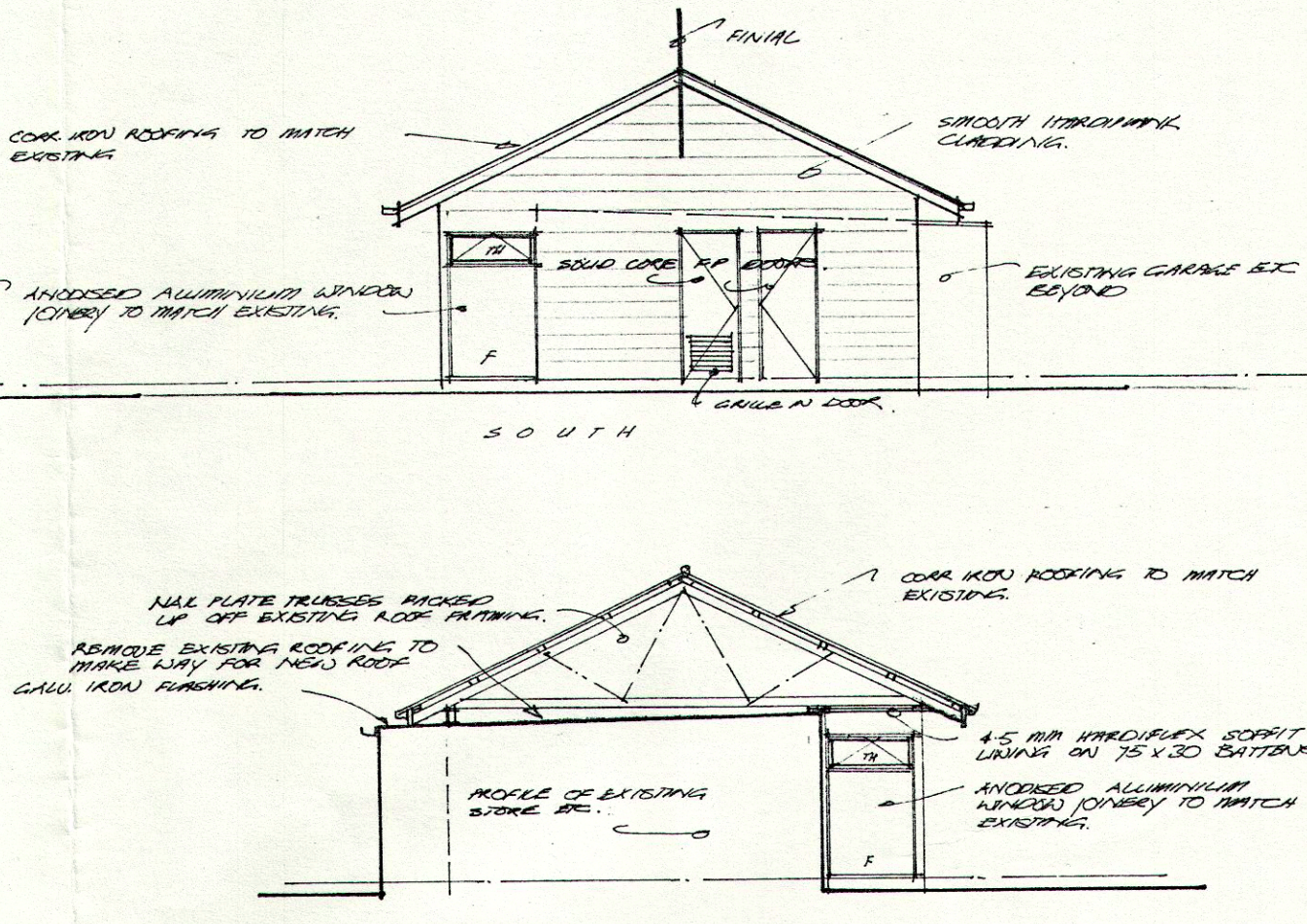
SHEET NO 3 OF 3
 OCTO '84



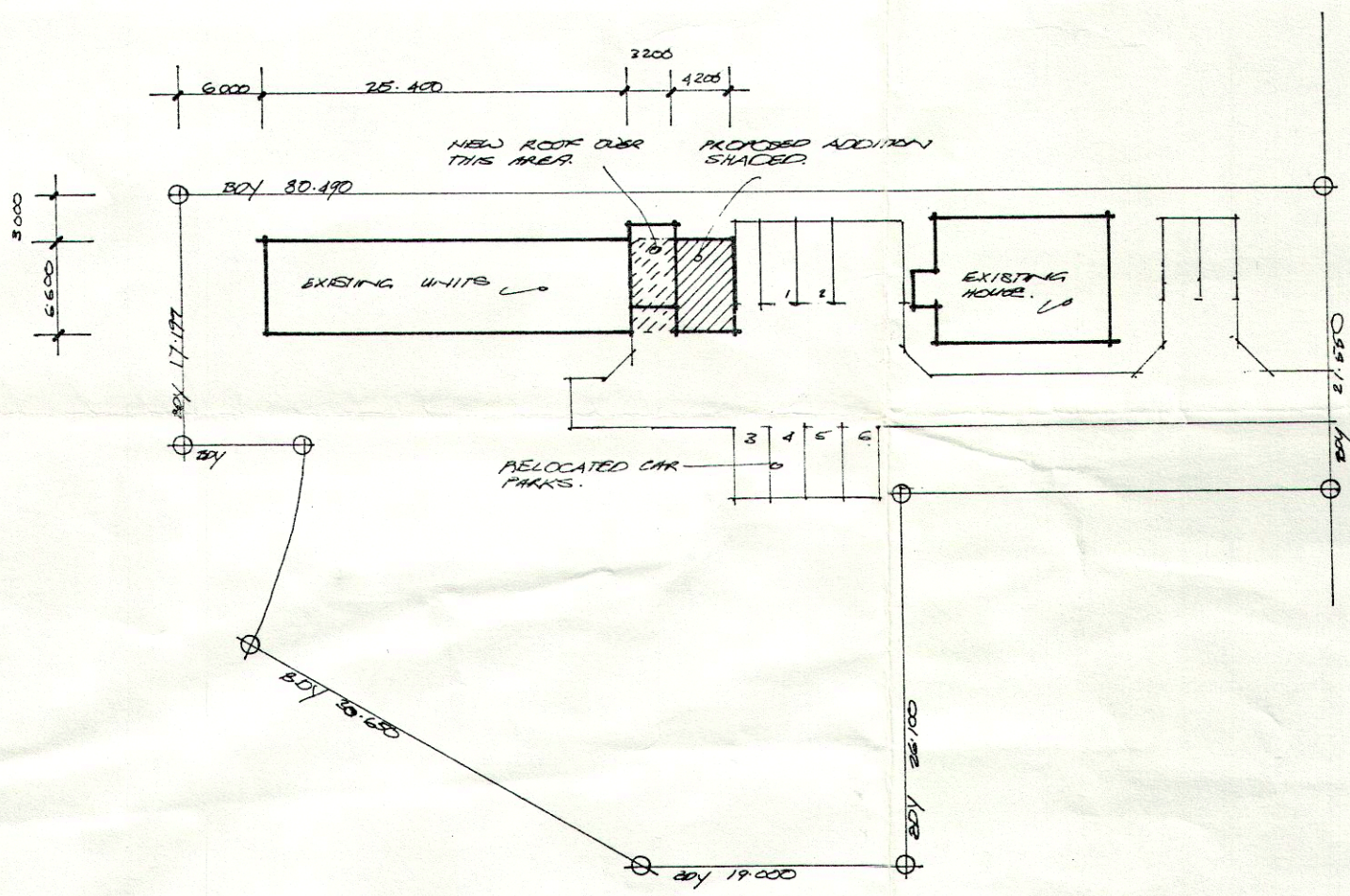
PART FLOOR PLAN SCALE 1:100



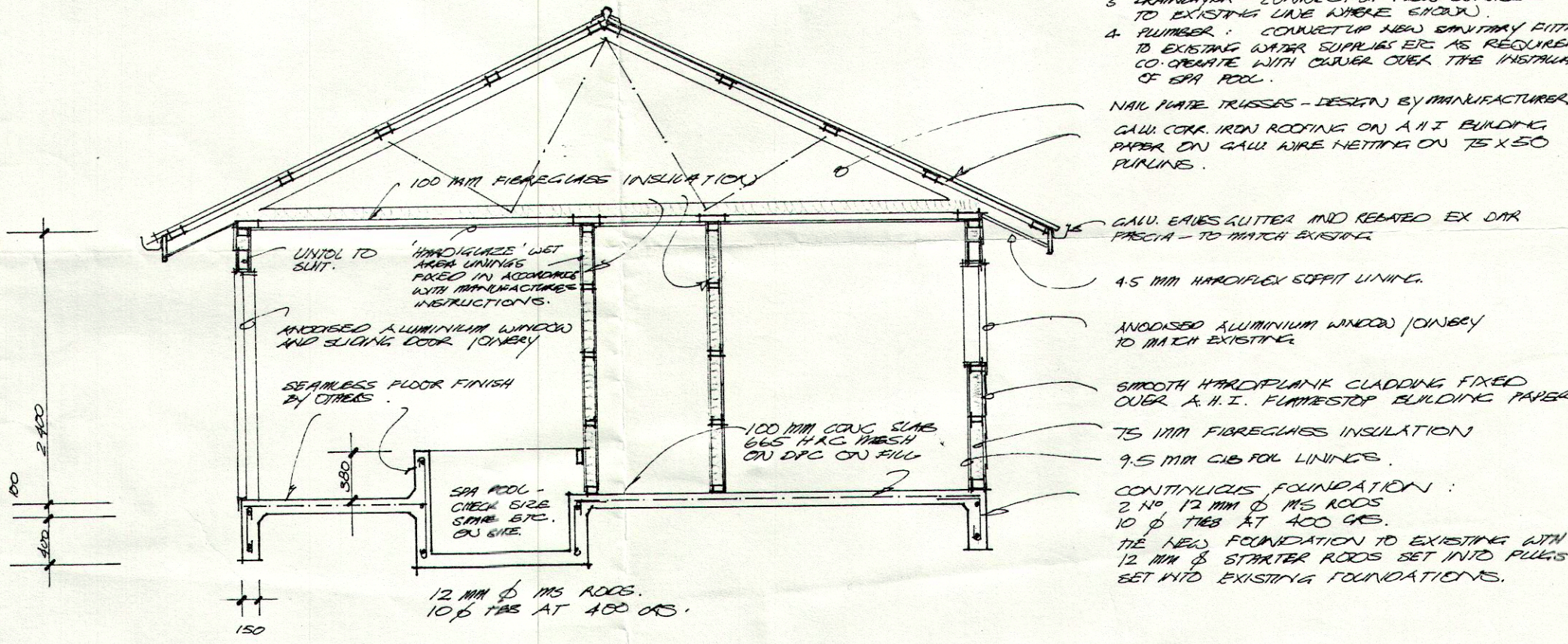
PART - WEST
PART - EAST
REVISED ELEVATIONS.



SECTION - STORE AREA.



SITE PLAN SCALE 1:500



TYPICAL SECTION SCALE 1:50

- SPECIFICATION NOTES:**
- OBTAIN ALL PERMITS AND PAY ALL FEES BEFORE COMMENCING ANY WORK.
 - ALL WORK IS TO BE CARRIED BY COMPETENT TRADESMAN IN ACCORDANCE WITH THE LOCAL EDDY BY LAWS, NZS 433 1984 AND NZS 3604:1978.
 - DRAINAGE - CONNECT UP NEW SERVICES TO EXISTING LINE WHERE EXIST.
 - PLUMBER: CONNECT UP NEW SANITARY FITTINGS TO EXISTING WATER SUPPLIES ETC AS REQUIRED. CO-OPERATE WITH OTHER OVER THE INSTALLATION OF SPA POOL.
- NAIL PLATE TRUSSES - DESIGN BY MANUFACTURER.
GALV. CORR. IRON ROOFING ON A.H.I. BUILDING PAPER ON GALV. WIRE NETTING ON 75 X 50 PURLINS.

James P. de Malmanche
No 3 GRACEFIELD AVE. CHRISTCHURCH PH. 799-875

o ADDITION TO PREMISES - 38 SPAXTON ST - METHVEN o
the contractor must verify all the dimensions on the site before commencing work

- o
- o SITE PLAN - PLAN
- o ELEVATIONS -
- o SECTION
- o

SHEET NO 1
OF 1
APRIL '90

Inspector: M _____ File No. _____
Receipt No. 34810 Date Permit Issued 2/15/90

OWNER
Name Banerani Enterprises Ltd.
Billing Address 38 Spaxton St., Methuen

BUILDER
Name Roger Tarleton
Mailing Address P.O. Box 116 Methuen

SITE
Street No. 38
Street Name Spaxton St.
Town/District Methuen
Riding _____

LEGAL DESCRIPTION
Valuation Roll No. 24391/553
Lot 1 D.P. 6754
Section 1 Block _____
Survey District Methuen Tship

PROPERTY ON WHICH BUILDING IS TO BE ERRECTED/DEMOLISHED
DESCRIPTION OF PROPOSED WORK AND MAIN PURPOSE OF USE
Add Spaxton Drying room

FLOOR AREA
Whole Sq. Metres 26 Dwelling Units _____

ESTIMATED VALUES

Building	13-400	00
Plumbing	1-400	00
Drainage		
G.S.T.		
TOTAL	14-800	00

NATURE OF PERMIT (TICK BOX)

NEW BUILDING
- exclude domestic garages and domestic outbuildings

FOUNDATIONS ONLY

ALTERED, REPAIRED, EXTENDED, CONVERTED, RESITED
- include installation of heating appliances

NEW CONSTRUCTION
OTHER THAN BUILDINGS - include demolitions

DOMESTIC GARAGES AND DOMESTIC OUTBUILDINGS

FEES APPLICABLE

Building Permit	100	100	Water Connection		
Street Damage Deposit					
Building Research Levy					
Plumbing	60	00			
Drainage					
Sewer Connection					
Vehicle Crossing Levy					
M.S. Plumbing					
G.S.T. TOTAL:					160 00

Receipt No. 34810
Date of Payment 19/4/90
Authorised Officer M. M. Council

Special Conditions: _____

① At least 24 hours notice to be given so that foundations may be inspected immediately prior to pouring of concrete.

② Notice to be given for a Prelining Inspection

Date Inspected	REMARKS (e.g. stage reached with work)
10-5-90	Foundation work complete in back lot to dig footings down to clay base. MMB
25-5-90	Footings made for clay base, MMB

(CONTINUED OVER)

OWNER:

ADDRESS:

BUILDER:

PLUMBER:

Bruce 28313

Address of Property

38 Spaxton St Methuen

Legal Description

Lot 1 DP 6754

Sewer

Water

Stormwater

Footpath Dep.

Inspection Date

Permit No.

Receipt No.

File No.

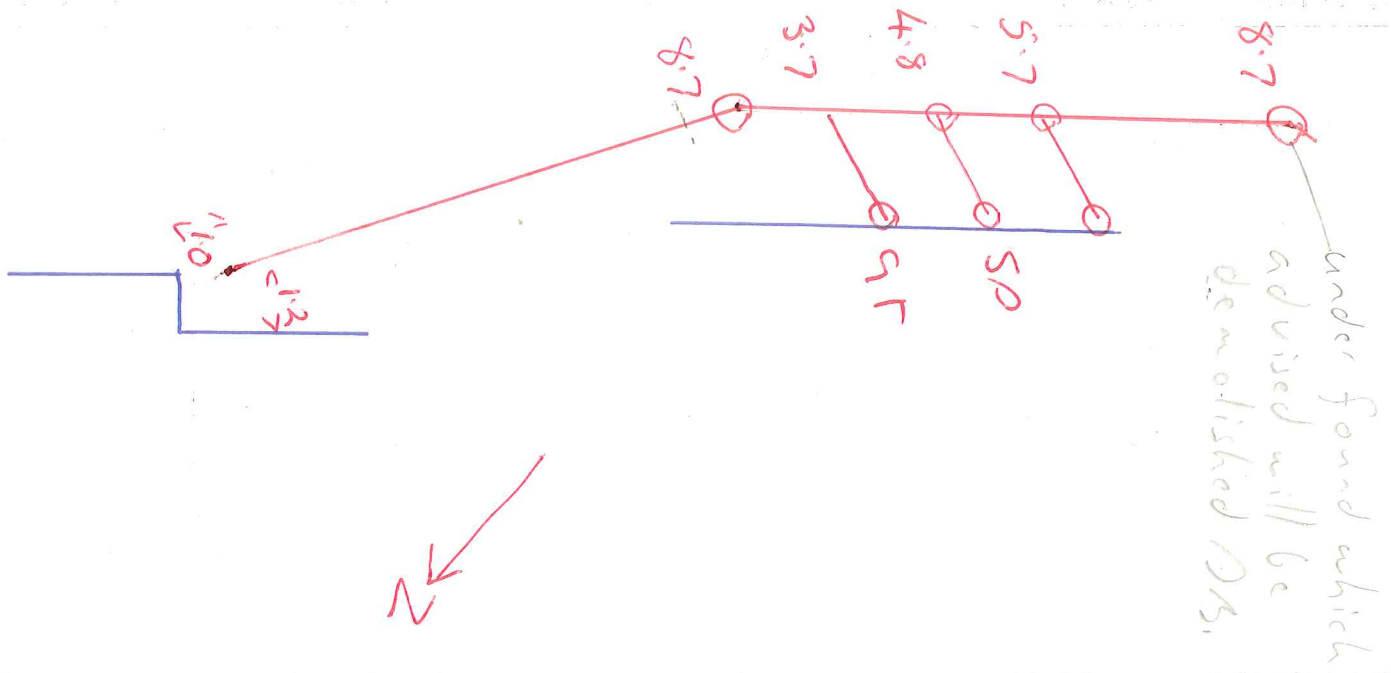
Inspected by

29-4-93

BC 930169

D.S.

Handwritten notes at the top of the page, including the word "vibrations" and other illegible text.



APPLICATION FOR BUILDING CONSENT
TO ASHBURTON DISTRICT COUNCIL

(Cross each applicable box. Attach relevant documents in duplicate.)

Part A: General

(Complete Part A in all cases)

APPLICANT*	PROJECT
<p>Name: <i>E & R. Waghorn</i></p> <p>Mailing address: <i>PO Box 116 Methuen</i></p> <p>Contact (print name, address and position): <i>Robyn Waghorn 38 Spaxton St Methuen owner</i></p> <p>Phone: <i>3028482</i> Fax: <i>3028482</i></p>	<p>New or relocated building <input checked="" type="checkbox"/></p> <p>Alteration/Additions <input checked="" type="checkbox"/></p> <p>Demolition <input type="checkbox"/></p> <p>Proposal to: <i>erect a sleepout</i></p> <p>Intended use(s) (in detail): <i>sleepout for owners personal use only</i></p> <p>Intended life: Indefinite but not less than 50 years <input checked="" type="checkbox"/> Specified as years Being stage of an intended stages</p> <p>Estimated value (inclusive of GST): \$ <i>10,000</i></p>
<p>* Under Section 30 of the Building Act 1991, the applicant must be the owner of the land on which building work is contemplated or a person who or which has agreed in writing, whether conditionally or unconditionally, to purchase the land or any leasehold estate or interest in the land, or to take a lease of the land, while the agreement remains in force.</p>	
<p>FOR COUNCIL USE</p> <p>P.I.M./Consent No: <i>180930169</i></p> <p>Received: <i>15/3/93</i></p> <p>P.I.M./Consent Fee: \$ <i>30</i></p> <p>Receipt No: <i>165892</i></p> <p>Invoice No: <i>7227</i></p> <hr/> <p>Consent No:</p> <p>Received: <i>19/4/93</i></p> <p>Consent Fee: \$ <i>185</i></p> <p>Receipt No: <i>172225</i></p> <p>Invoice No: <i>7531</i></p>	<p>PROJECT LOCATION</p> <p>Street address (if any): <i>38 Spaxton Street Methuen</i></p> <p>Legal description (as shown on certificate of title or rates notice, if any): <i>lot 1 DP 6754</i></p> <p>Valuation No: <i>2439155300</i> (For example: Lot ... DP ...; or Section ... SO ... Survey or Registration District ...; or Maori block number and name; or combination of those. If none apply, give whatever information is necessary to identify the location.)</p>

Cont...

THIS APPLICATION IS FOR:

- Building Consent only, in accordance with Project Information Memorandum No.:
- Both Building Consent and a Project Information Memorandum.

Part B: Project Details

(Complete Part B only if you have not applied separately for a Project Information Memorandum)

The project involves the following matters (cross each applicable box, if any, and attach relevant information in duplicate):

- Location, in relation to legal boundaries, and external dimensions of new, relocated, or altered buildings
- New provisions to be made for vehicular access, including parking
- Provisions to be made in building over or adjacent to any road or public place
- New provisions to be made for disposing of stormwater and wastewater
- Precautions to be taken where building work is to take place over existing drains or sewers or in close proximity to wells or watermains
- New connections to public utilities
- Provisions to be made in any demolition work for the public, suppression of dust, disposal of debris, disconnection from public utilities, and suppression of noise
- Any cultural heritage significance of the building or building site, including whether it is on a marae

Cont...

Part C: Building Details

(Complete Part C in all cases)

This application is accompanied by (cross each applicable box, attach relevant documents in duplicate):

- The drawings, specifications, and other documents according to which the building is proposed to be constructed to comply with the provisions of the New Zealand Building Code, with supporting documents, if any, including
 - Building certificates
 - Producer statements
 - References to accreditation certificates issued by the Building Industry Authority
 - References to determinations issued by the Building Industry Authority
- Proposed procedures, if any, for inspection during construction

Part D: Key Personnel

(Complete Part D as far as possible in all cases. Give names, addresses, and telephone numbers. Give relevant registration numbers if known.)

Designer(s):

.....

Building certifier(s):

.....

Builder(s): *J. O'Shea*

.....

Registered drainlayer:

Registered plumber: *J. Heasley*

Registered gasfitter:

Registered electrician: *G. Anderson*

Other:

.....

.....

.....

Cont...

Part E: Compliance Schedule Details

E1: Systems necessitating a Compliance Schedule

(Complete Part E1 for all new buildings and alterations except single residential dwellings)

The building will contain the following (cross each applicable box and attach proposed inspection, maintenance, and reporting procedures):

- Automatic sprinkler systems or other systems of automatic fire protection
- Automatic doors which form part of any fire wall and which are designed to close shut and remain shut on an alarm of fire
- Emergency warning systems for fire or other dangers
- Emergency lighting systems
- Escape route pressurisation systems
- Riser mains for fire service use
- Any automatic back-flow preventer connected to a potable water supply
- Lifts, escalators, or travelators or other similar systems
- Mechanical ventilation or air conditioning system serving all or a major part of the building
- Any other mechanical, electrical, hydraulic, or electronic system whose proper operation is necessary for compliance with the New Zealand Building Code
- Building maintenance units for providing access to the exterior and interior walls of buildings
- Such signs as are required by the New Zealand Building Code in respect of the above-mentioned systems
- None of the above

Cont...

E2: Other systems and features to be included in the Compliance Schedule

(Complete Part E2 only if the building contains one or more of the systems listed in Part E1)

The building will contain the following (cross each applicable box and attach proposed inspection, maintenance, and reporting procedures):

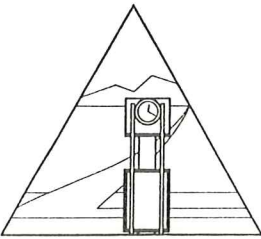
- Means of escape from fire
- Safety barriers
- Means of access and facilities for use by persons with disabilities which meet the requirements of Section 25 of the Disabled Persons Community Welfare Act 1975
- Hand-held hoses for fire fighting
- Such signs as are required by the New Zealand Building Code or Section 25 of the Disabled Persons Community Welfare Act 1975

Signed by/for and on behalf of the applicant:

Name: *R. Waghorn* 

Position: *owner*

Date: *12/3/23*



ASHBURTON DISTRICT COUNCIL

P.I.M./BUILDING CONSENT NO. BC930169

OWNER: E + R Waghorn..... BUILDER: J. O'Shea.....
 ADDRESS: 38 Spaxton St..... ADDRESS: 7 Atford St.....
Methuen..... Methuen.....

SITE FOR PROPOSED WORK:

STREET NO: 38..... VALUATION REFERENCE
 STREET: Spaxton St..... NUMBER
 TOWN/DISTRICT: Methuen..... 2439155300.....
 ESTIMATED VALUE
 OF WORK: 10,000.....

FEEES

1. PROJECT INFORMATION MEMORANDUM FULL/REDUCED \$ 30.....

Receipt No: 165892..... Date Paid: 15 / 3 / 93

2. CONSENT FEES

ADMINISTRATION \$ 10-00

INSPECTIONS 4 \$ 175-00

ADDITIONAL INSPECTIONS/COSTS \$

BUILDING RESEARCH LEVY \$

DEVELOPMENT LEVY \$

VEHICLE CROSSING \$

SERVICE CHARGES \$

FIRE SERVICE \$

TOTAL \$ 185-00

Receipt No: 172225..... Date Paid: 19 / 4 / 93

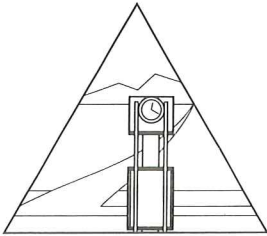
COMPLIANCE SCHEDULE \$

COMPLIANCE CERTIFICATE FULL/REDUCED \$

TOTAL \$ _____

Receipt No: Date Paid: / /

FINALISED: YES / NO DATE: _____



ASHBURTON DISTRICT COUNCIL

Corner Havelock Street and Baring Square West, Ashburton, New Zealand

P.O. BOX 94, ASHBURTON

NEW ZEALAND

Telephone: (03) 308-5139

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BUILDING CONSENT Section 35, Building Act 1991

APPLICANT

E & R Waghorn
38 Spaxton St
Methven

CONSENT DETAILS

Consent/PIM No.: 930169
Date issued: 20/04/93
Date of applicn: 15/03/93
Valn No: 2439155300
Overseer: John Bruce

PROJECT DESCRN: NEW BUILDING
BEING STAGE 1 OF AN INTENDED 1 STAGES
Erect a sleepout.

INTENDED LIFE: INDEFINITE, BUT NOT LESS THAN 50 YEARS

INTENDED USES: Sleepout for owners personal use only.

PROJECT LOCATION: 38 SPAXTON STREET

LEGAL DESCRIPTION: LOT 1 DP 6754

ESTIMATED VALUE: \$ 10,000

CHARGES: The Council's charges payable on uplifting this Building Consent, in accordance with the attached details, are:

	\$	215.00
Building Research Levy	\$	0.00
TOTAL:	\$	215.00

This building consent is a consent under the Building Act 1991 to undertake building work in accordance with the attached plans and specifications so as to comply with the provisions of the building code. It does not affect any duty or responsibility under any other Act nor permit any breach of any other Act.

This building consent is issued subject to the conditions specified in the attached page(s) headed CONDITIONS OF BUILDING CONSENT 930169.

SIGNED FOR AND ON BEHALF OF THE COUNCIL:

NAME: JS POSITION: SI DATE: 20/4/93

REDUCED P.I.M./CONSENT CHECKLIST

OWNER: E. B. Weighorn..... BUILDER: J. O'Shea.....

ADDRESS: P.O. Box 116..... ADDRESS:

Metkvoen.....

SITE: 3.8 Spartan St..... Metkvoen.....

Sleep out.....

LEGAL DES: Lot 1 DP 6754..... VALUATION NO: 24391 - 553.....

P.I.M. CONSENT NO: BB 930169..... DATE RECEIVED: 15.3.93.....

TOWN PLANNING COMMENTS

ZONE: RESIDENTIAL

OK

DATE: 22/3/1993

SIGNED: [Signature]

PUBLIC HEALTH COMMENTS

This is not a reduced check & plans specifications entirely inadequate.

DATE: 23/3/93

SIGNED: [Signature]

BUILDING INSPECTORS COMMENTS

a) P.I.M. Notes No Easements Subject to Flooding
No Fill
~~Drainage~~ could be in area.

	Field Inspection Date	Complies	Inspected
Foundation	<u>5-5-93</u>	<u>yes</u>	<u>[Signature]</u>
Framing			
External Linings			
Chimney (Inbuilt)			
Compliance Manufacturers Instructions			

GENERAL COMMENTS

All work Completed
Don't Issue etc

DATE:

SIGNED:

Handy Fax 302 8078

CONSENT/INSPECTION CHECKLIST

OWNER: E+R Waghorn Telephone: 302 8482

ADDRESS: P.O. Box 116
Methuen

Valuation No: 24391/553 Legal Description: Lot 1 DP 6759

Property Address: 38 Spaxton Street
Methuen

BUILDER: J O Shea Telephone:

ADDRESS:

=====

P.I.M. No: 930169 Consent No:

Date: 15-3-93 Date:

Further Information Required? Date:

Planning A 1 Classified Use:

Siting

B1 - STRUCTURE	Complies	Comment	Field Insp. (Date)	Complies	Inspector
----------------	----------	---------	-----------------------	----------	-----------

Found

- Depth ✓
- Width ✓
- Reinf. ✓
- Vents

Floor (Conc)

- Hardfil ✓
- Site Conc ✓
- D/Proof X
- Slab X
- Reinf. ✓

Floor (Wood)

- Sleepers
- Joists
- Bottom Plate
- Flooring

C1 - OUTBREAK OF FIRE	Complies	Comment	Field Insp. (Date)	Complies	Inspector
--------------------------	----------	---------	--------------------------	----------	-----------

Heating Unit *Type Not specified*
Installation
Separation
Transfer
Gas
Electric
Dust

C2 - MEANS OF
ESCAPE

~~No. of Occup.
Safe Place
Escape Routes
Adequate
Travel Dist.
Open Path
Building Ht
No. Exitways
Obstructions
Hazards
Mobility
Fire Cells
Signs
Lighting
Access Routes~~

C3 - SPREAD OF
FIRE

~~Surface Spread
Fire Fighter Prot.
Adjacent Units
Other Property
Hazardous Subst.
Concealed Spaces
Auto. Systems
Vent/Air Condit.~~

C4 - STABILITY
DURING FIRE

~~Struct. Elements
Evacuation Time
Fire Fighter Prot.
Adjacent Struct.~~

D1 - ACCESS ROUTES	Complies	Comment	Field Insp. (Date)	Complies	Inspector
--------------------	----------	---------	--------------------	----------	-----------

Main Entrance
Entry
Corridors
Stairs
Ramps
Lifts
Car Parks
Loading Spaces
Disabled Access
Dang. Obstructions
Safe Slope
Slip Resistant
Stairs
 Treads
 Ladders
 Rungs
 Footing
 Isolat. Step
 Hand Rails
 Child Safe
 Door/Stair
Auto Doors
Signs
Wheelchair Space

D2 - MECHANICAL ACCESS

Lifts
Escalators
Conveyors
Lighting
Signs

E1 - SURFACE WATER

Adequate System ✓
 10% Storm
 Outfall
Protection ↗
 Neighbour
Not Enter
 Buildings
Blockages
 Access
 Pipe Prot.

E2 - EXT MOISTURE	Complies	Comment	Field Insp. (Date)	Complies	Inspector
----------------------	----------	---------	--------------------------	----------	-----------

Roof

Fall ✓
W/Proof ✓
Snow ✓

Walls

W/Proof ✓
Absorp. ✓
D/Stop ✓
V/Floor
Pipes
Cavities
B/Paper ✓

E3 - INT MOISTURE

Ventilation

Overflows

Insulation ✓

Floors San/Fix

Laundry Walls X

Toilet Walls X

Bath Walls X

Shower Walls X

Flashings/Fits

F1 - HAZ AGENTS

Site Assess.

Protection

F2 - HAZ
BUILDING
MATERIAL

Gas/Fumes

Radiation

Class Mark

Class Type

F3 - HAZ SUBST /PROCESS	Complies	Comment	Field Insp. (Date)	Complies	Inspector
----------------------------	----------	---------	--------------------------	----------	-----------

Storage
D/G
Restrict Acc.
Entry Drains etc
Press Release
Ignition
Safe Vent
Struct. Splash
Signs

F4 - SAFE/FALLING

1m+
Change Level
Roof Access
Barrier
S/Pool 400+
Barriers
Cont.
HT
Strength
Pool Gates
Climbing

F5 - CONST/DEMO

Falling Obj.
On/Off
Falling Off
Hazards - Work.
Unauthor. Entry
Barriers
Gates etc/Inw.
Projections
Climbing
Covered Way

F6 - EMERGENCY
LIGHTING

Adequate
Escape Routes
1 Lux
1.5 x Evac Time
Signs

F7 - WARNING SYSTEM	Complies	Comment	Field Insp. (Date)	Complies	Inspector
---------------------	----------	---------	--------------------	----------	-----------

~~Combined Fire/
Hazard~~

F8 - SIGNS

~~Escape Routes
Safety Features
Hazards
Access Routes
Disabled~~

G1 - PERSONAL HYGIENE

~~Approp. Space
No. San Fixt.
Food Contam.
Easy Clean
Privacy
Odour
P & P to G13
Disabled~~

G2 - LAUNDERING

~~Adequate
Disabled~~ *Not Reg'd*

G3 - FOOD PREPARATION

~~Storage
Fidge
Rinsing
Dish Wash
Means Cooking
Surfaces
Wall Lining
Haz. Materials
Exposed Elements
Energy Supply
Cooking
Fridge
Space
Disabled
Vermin~~

G4 - VENTIL- ATION	Complies	Comment	Field Insp. (Date)	Complies	Inspector
-----------------------	----------	---------	--------------------------	----------	-----------

Outdoor Air
No. Air Changes
Occupancy
Mechanical
Bacterial Buildup
Removal of
Cooking Fumes
Steam
Odour
Gas/moisture
Pois. Fumes
Flammable Gas
Particles
Bacteria etc
Prod. Combust.
Vent to:

G5 - INT.
ENVIRONMENT

Int. Temp
Habitable 16°C
Bathroom 16°C
Heating Appliance ✓
Space
Enhanced Listening

G6 - AIR & IMPACT
SOUND

Between Occupancies
Sound
Transmission
F, W & C 55+
Impact
Floors 55+

G7 - NATURAL LIGHT

Habitable Space
30 Lux Fil 75% yr
Awareness Outside

G8 - ARTIFICIAL LIGHT
PREPARATION

20 Lux F/L

G9 - ELECTRICITY	Complies	Comment	Field Insp. (Date)	Complies	Inspector
------------------	----------	---------	-----------------------	----------	-----------

Network Operator ✓
Available ✓
Safe Installation ✓
Maintain Supply
Accessible Switches
Other

G10 - PIPED
SERVICES

Hazardous
Leakage
Interaction
Removal Condensate
Corrosion
Ident Pipes
Isolation Devices

G11 - GAS ENERGY

Pres. Reduce
Cut Off
Sep. Flue
Isol. Device
Meter Access

G12 - WATER
SUPPLY

Network Operator ✓
Potable ✓
Adequate ✓
Hot to
Sink
WHB
Shower
Bath
Temp.

Leakage
Access
Backflow
Press reduce/
vent cyl
Safety cyl
Storage Temp.
Disabled Use

G13 - FOUL WATER	Complies	Comment	Field Insp. (Date)	Complies	Inspector
------------------	----------	---------	-----------------------	----------	-----------

Network Operator
Outfall
S/Tank
G.A.?
Pipework
Blockage/Leak
Foul Air
Access
Supported
Protected
Superimposed
Load

G14 - INDUST
LIQUID WASTE

Storage
Blockage
Leakage
Trans. Away
Access
Cross Contam.
Soil Contam.
Foul Air
Unauth. Access
Easy Clean

G15 - SOLID
WASTE

Outside Storage
Inside Storage
Size
Access
Easy Clean
Temp.
Rubbish Chute
Blockage
Easy Clean
Foul Air
Spread Fire
Safe Deposit
Access
Vermin
Children

H1 - ENERGY EFFICIENCY	Complies	Comment	Field Insp. (Date)	Complies	Inspector
------------------------	----------	---------	--------------------	----------	-----------

Building Perf.
Index 013 kwk
Term Resis.
Heat Gain
Airtight
Space Heat
Control Syst.
Use Waste Heat

---ooo0ooo---

C O M M E N T S

More Specification

John.

Extra Information Req'd for E Waghorn.

1/ Concrete Floor

- A) Thickness
- B) D/Proof.
- C) Site Concrete.

2/ Framing.

- A) Opening Studs.
- B) Plates
- C) Ceiling Joists.
- D) Runners.
- E) C/Ties.
- F) Purlins.

3/ Surface Water.

- A) Adequate System
- B) Protection for Neighbour.

Interior

- Insulation
- Wall Linings
- Shower Linings

Drains

Show drainage on site plan.

Specify type of drainage & method of laying.

Plumber must be registered.

SPECIFICATION OF PROPOSED SLEEP-OUT FOR E. R. WAGHORN

SPAXTON STREET - METHVEN

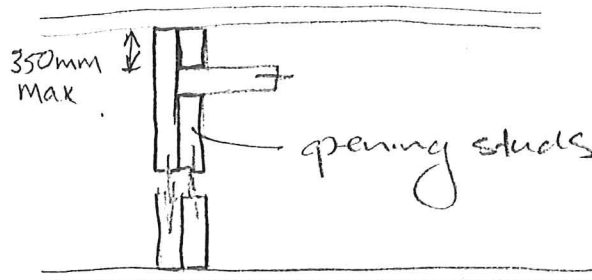
Ref. 6/4/4 - J. Bruce

1. Concrete Floor:

- (a) Thickness 100mm with steel mesh. ✓
- (b) Damp proof course - 0.25mm Polythene. ✓
- (c) No site concrete to be used. Hard-fill - 2 inch reject chip compacted. *Sand Binding on top* ?

2. Framing:

- (a) Opening Studs: 2 x 100 x 50 laminated. One under lintel and the other full length.

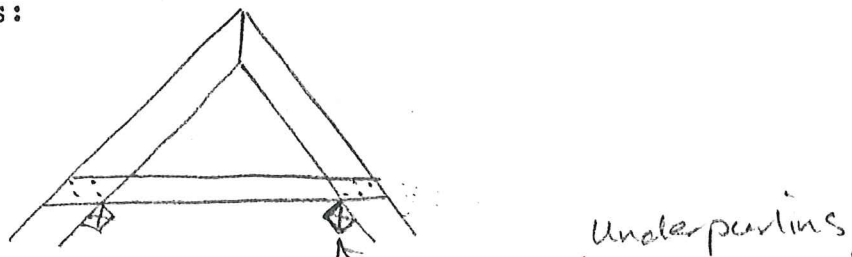


- (b) Plates: Top plates - 2 x 100 x 50 laminated. ✓

- (c) Ceiling Joists: 200 x 50 at 400 c joined over interior partition. ✓

- (d) No ceiling runners to be used. Ceiling will be framed (blocked out) with 50mm solid blocking around outer ends of joists and at 1.8 centres along the joists. ✓

- (e) Collar Ties:



100 x 50 Collar Ties fixed to rafters at 1.8 c immediately above 75 x 100 under purlin. ✓

- (f) Purlins are to be rough sawn 75 x 50, fixed on their edge at 400 c.

Surface Water

To be drained into two soak holes placed approximately 3 metres from footings and back-filled with boulders. Soak holes depth will be to free draining shingle allowing trouble free drainage for roof catchment area.

INTERIOR

1. Insulation: 100mm ceiling batts in ceiling space (floor joists). 100mm wall batts between studs.
2. Wall Linings: 9.5mm Gib Board.
3. Shower Linings: Seratone and P.V.C. Joiners.

DRAINS

Existing drainage to be disconnected and re-instated clear of footings for proposed building as shown on plan.

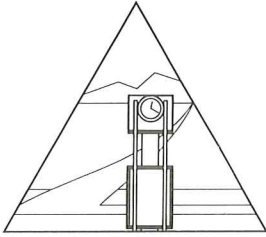
DRAINS

Drainlayer - John Heasley
Plumber - Paul Summerfield

PLUMBING

40 gal dual hot water cylinder fed by header tank.
Hot cylinder will have 'Methven' tempering valve fitted.
Hot pipe work in 15 and 20 Acorn fittings.
Cold pipe work in 15 and 20 High Pressure P.V.C.
Two new toilet pans are to be vented 'P' Traps with 40mm Hunter anti-cyphon valves fitted.
Hot and cold water supplied to laundry tub, wash hand basin and shower.

ALL WORK TO COMPLY WITH N.Z.S. - 3604 - 1990



ASHBURTON DISTRICT COUNCIL

Corner Havelock Street and Baring Square West, Ashburton, New Zealand

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NEW ZEALAND

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CONDITIONS OF BUILDING CONSENT 930169

- 1 4 Inspections are required, foundation, drainage, preline and completion.
- 2 Use sand binding on top of fill.
- 3 This consent is issued conditional upon all work complying with the provisions of the Building Act, and the regulations and requirements of the New Zealand Building Code. In particular attention is directed to the requirement that:
- 4 DEVELOPERS GIVE NOT LESS THAN 48 HOURS NOTICE OF A REQUEST FOR INSPECTION of construction work at the following stages as appropriate:
 - (a) excavation
 - (b) concrete floor pour
 - (c) pre lining/insulation
 - (d) electric wiring
 - (e) drainage and plumbing
 - (f) completion
- 5 Failure to request any of the above necessary inspections will result in council's inability to issue a Code Compliance Certificate.
- 6
 - (c) pre lining/insulation
 - (d) electric wiring
 - (e) drainage and plumbing
 - (f) completion

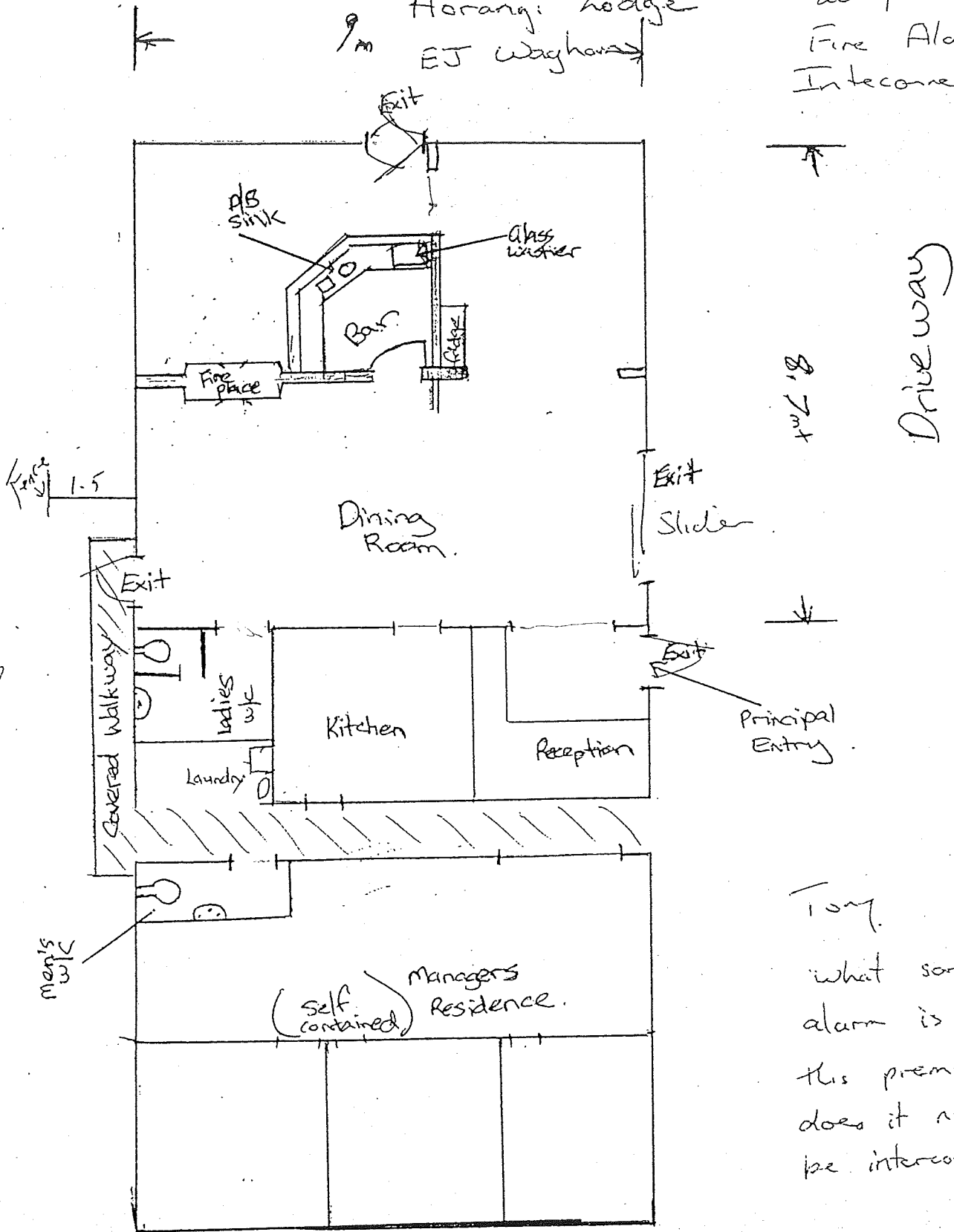
SIGNED FOR AND ON BEHALF OF THE COUNCIL:

NAME: _____ POSITION: _____ DATE: _____

38 Spaxton St Methuen.

Aorangi Lodge
EJ Wayhous

20 person
Fire Alarm
Interconnected!



Tony,
what sort of
alarm is req'd for
this premise. &
does it need to
be interconnected?

JAB

Lodge

31 March, 1993

6/4/4

J. Bruce

Mr E.R. Waghorn,
P.O. Box 116,
METHVEN

Dear Sir,

Proposed Sleep-out

I have inspected the plans and specifications for your Building Consent to build the proposed Sleepout.

Before I can issue the Consent the following items will need attending to -

1. Pay fees as per attached account.
2. Mark existing drains on site plan.
3. Provide this Council with full plans and specifications. (Those supplied are inadequate.)
4. Nominate a Registered Plumber.

Yours faithfully,

J. BRUCE,
Building Inspector

JB:VR

Comments on BC No 930169

Application ^{R Waahon} 38 Spaxton St Methuen

- ① J Measlee not registered for plumbing application must nominate name appropriately qualified person.
- ② Plan must show drainage.
- ③ Full plans and specifications required these to be to NZ Building Code.

That supplied can not be adequately checked.

23/3/93 JMJ.

Lodge 6.6

3m

5.1

New Building
(Sleepouts)

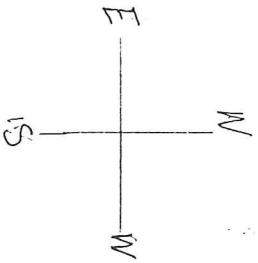
Old Drain

New Drain

3.1m

1.5

Existing house



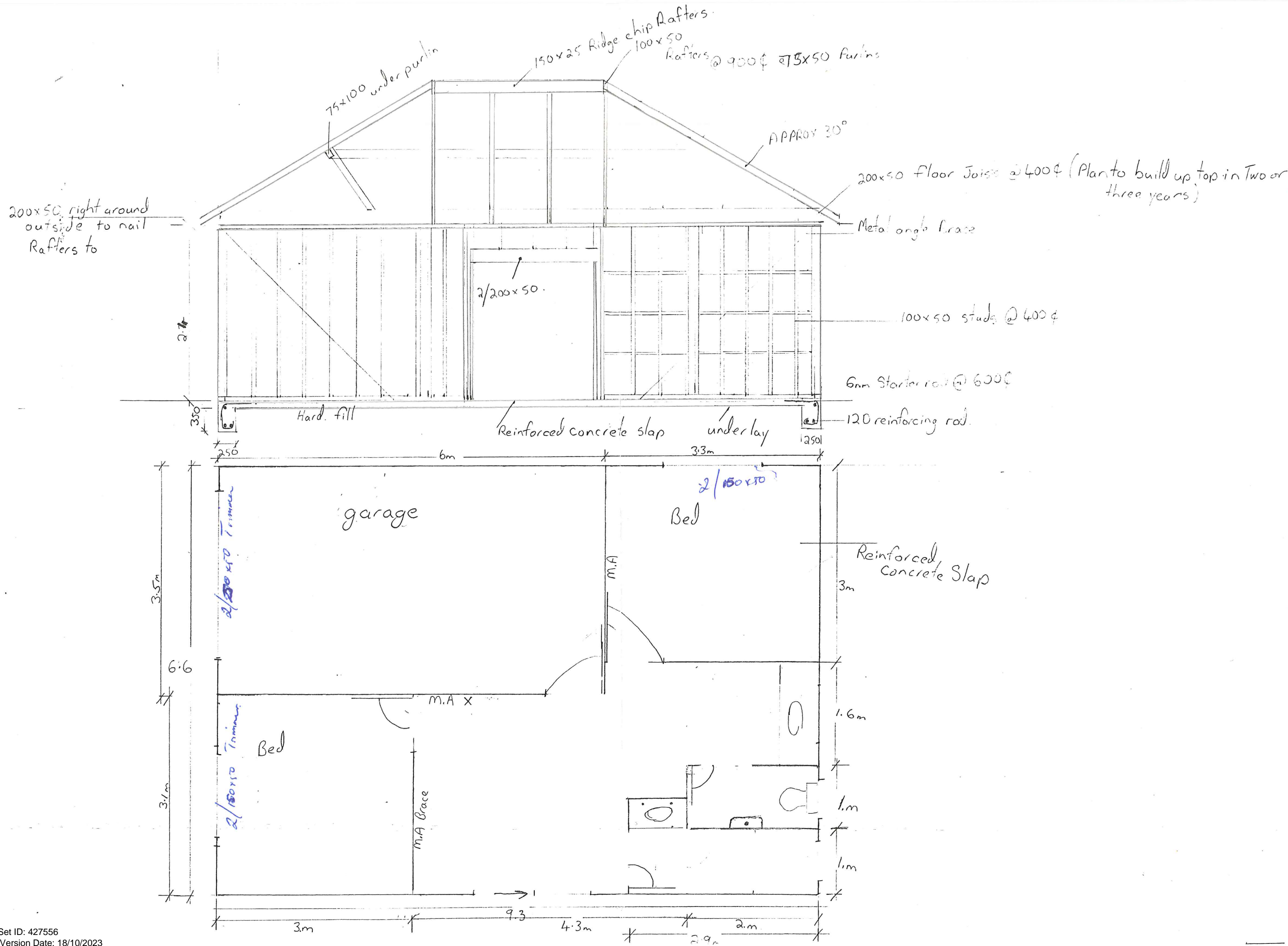
15.3m

1.4

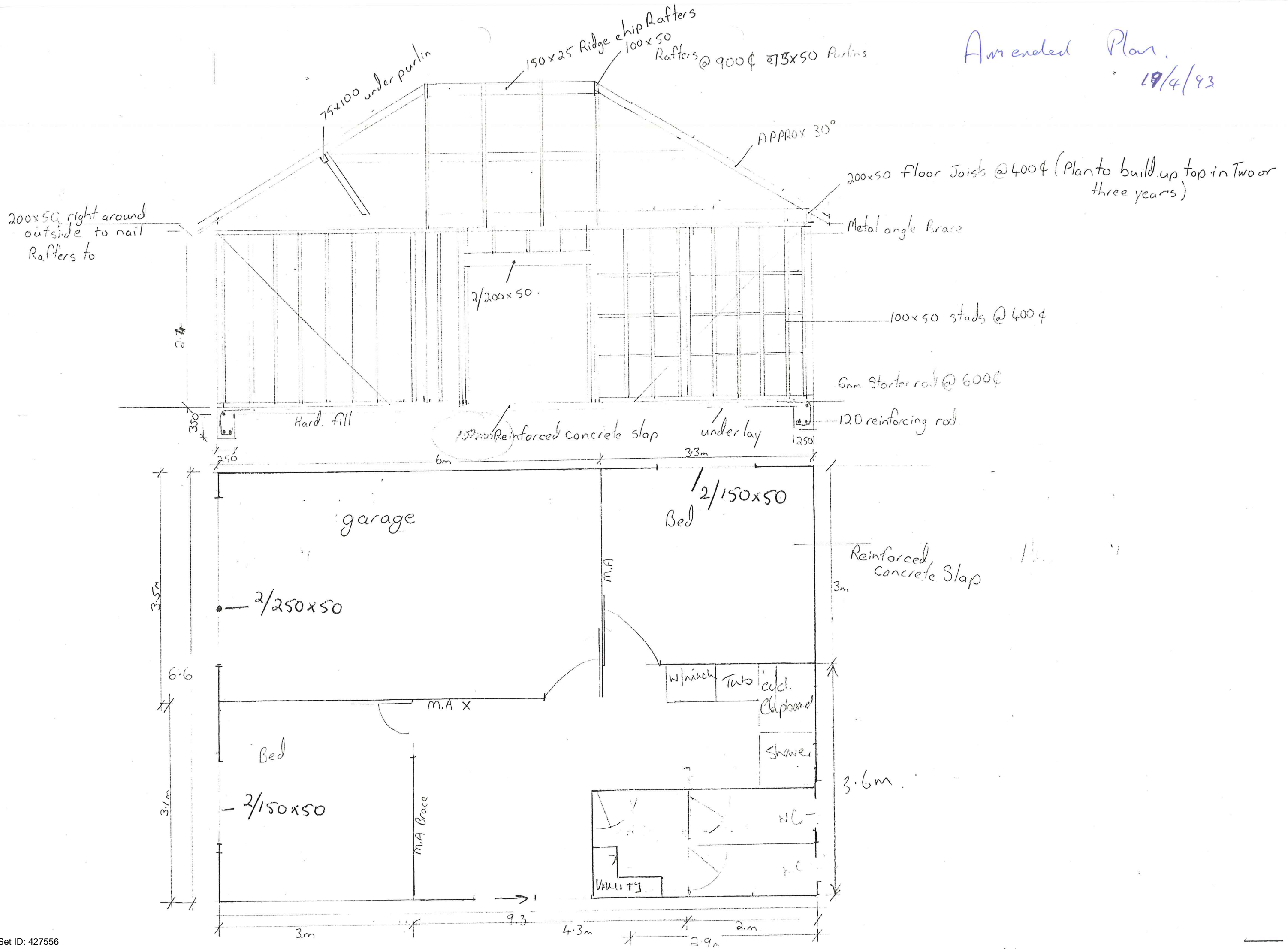
Site plan for flat unit for owner use at

Aorangi Lodge 38 Spaxton St Methven

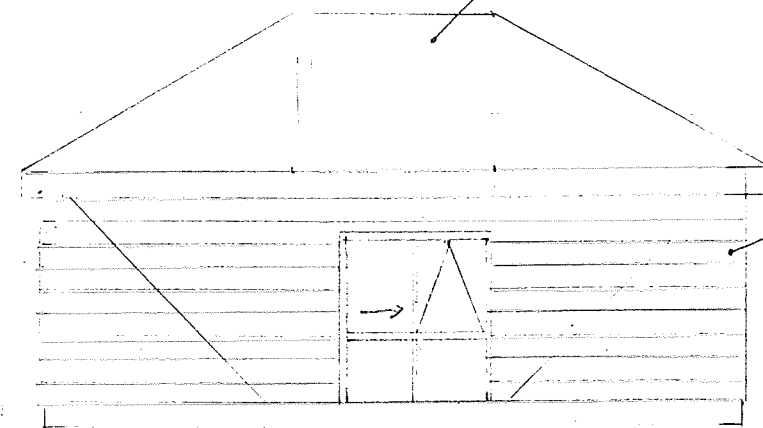
Es R. WAGHORN PA 3028482



Amended Plan.
19/4/93

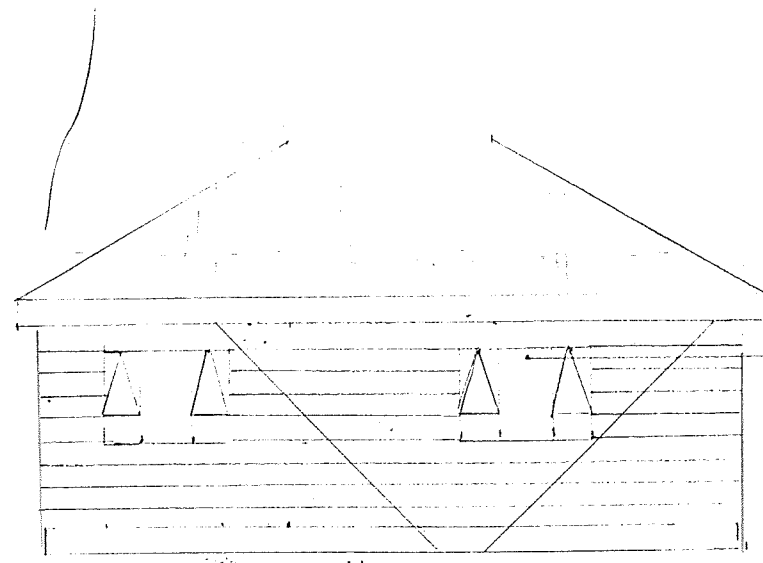


Cor iron on roof
under lay



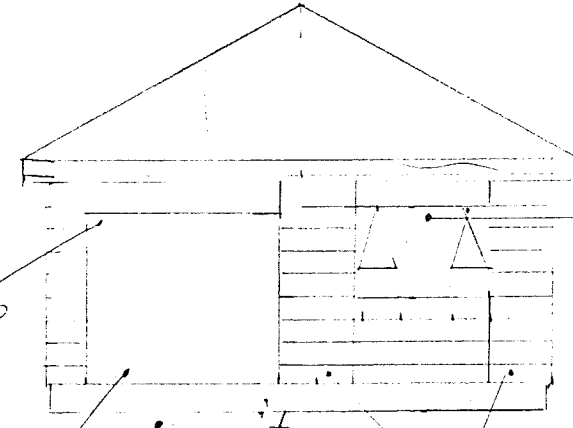
South

Hardiplank & flame stop paper



North

2/150x50 Trimmers



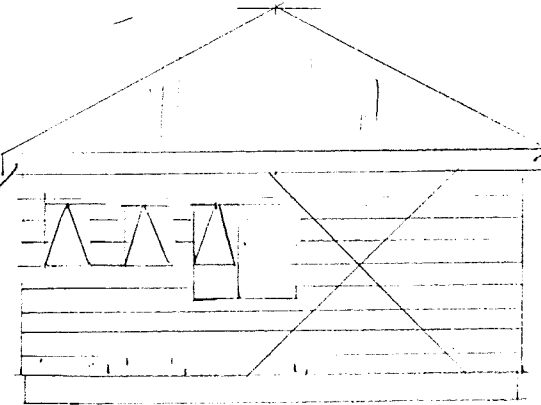
East

2/250x50

2/150x50

Tilta door

Ply Brace



West

200x25 fascia

4.5 hardiplank

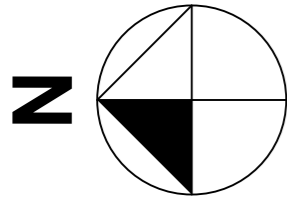


Table 2: Acceptable Slip Resistance for Walking Surfaces
Paragraphs 2.1.2, 3.1.4 and 4.1.4 c)

Walking surface ¹	Level surface ²		Sloping surface ² or stairs ²		Typical values for coefficient of friction (wet)
	Acceptable dry slip resistance	Acceptable wet slip resistance	Acceptable dry slip resistance	Acceptable wet slip resistance	
Timber					
Uncoated smooth	Yes	No	No	No	0.20 – 0.35
Uncoated profiled ³					
– across profile	Yes	Yes	Yes	Test	0.35 – 0.60
– along profile	Yes	No	No	No	0.15 – 0.20
Coated (paint, polyurethane, etc)	Yes	No	No	No	0.10 – 0.30
Coated and sand/grit impregnated ³	Yes	Yes	Yes	Yes	0.55 – 0.90
Portland cement concrete					
Smooth trowelled finish (Class U3) ³	Yes	No	Yes	No	0.30 – 0.45
Broomed (Class 5 or 6) ³ or wood float finish (Class U2)	Yes	Yes	Yes	Yes	0.65 – 0.85
Coated (paint, polyurethane, etc)	Yes	No	No	No	0.20 – 0.30
Coated and sand/grit impregnated ³	Yes	Yes	Yes	Yes	0.55 – 0.90
Exposed aggregate finish					
– rounded aggregate	Yes	Test	Yes	Test	0.40 – 0.70
– crushed aggregate	Yes	Yes	Yes	Yes	0.60 – 0.90

2.0 Level Access Routes

2.1 Slip resistance

2.1.1 Level access routes to which the public has access, including level accessible routes, shall have a mean coefficient of friction μ , of not less than 0.4 when tested in accordance with AS/NZS 3661.1 (see D1/MM1). Requirements for ramps and stairways are given in Paragraphs 3.1.4 and 4.1.4.

COMMENT:

- Access routes to which the public have access include walking surfaces such as decks, patios and steps on the approach to the main entrance to Housing, and common areas of Communal Residential and Multi-unit dwelling accommodation.
- For other access routes a coefficient of friction of less than 0.4 may be acceptable, but account should be taken of the effectiveness of the surface when worn or wet.

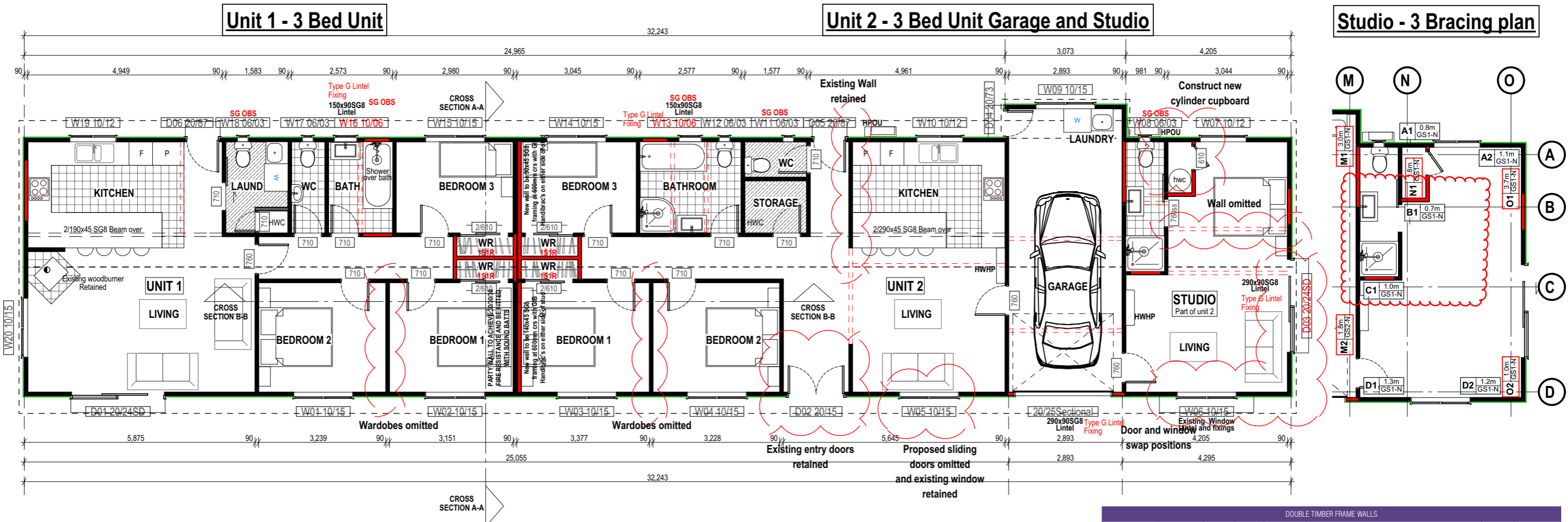
2.1.2 For a level access route which is intended to remain dry under normal usage, any of the commonly used walking surfaces listed in Table 2 will provide adequate slip resistance ($\mu > 0.4$).

COMMENT:

- A cleaning regime should be established by the building owner to effectively maintain the slip resistance of the walking surface.
- Whenever a normally dry surface is wet, such as from cleaning or isolated spillage, at a time when the public have access, adequate signage should be used to identify the hazard. (Many walking surfaces which are slip resistant in the dry become very slippery when wet and can be the cause of slip injuries as pedestrians are unaware of the rapid change of slip resistance and have not altered their gait accordingly.)
- Slipping may still occur on slip resistant walking surfaces as other factors such as the use of unsuitable footwear or unusual gaits also influence slip resistance.

2.1.3 The walking surface for a level access route which may become wet during normal usage (for example, outdoor access routes or entranceways where water can be tracked indoors when it is raining) shall be selected from the list of acceptable wet slip resistant surfaces given in Table 2.

Approved Variation
BC0360/17.01
26/07/18
Ashburton District Council
Kelvin Lysaght



Proposed Ground Floor Plan

Floor Area over foundation 210.00m²
Roof Area 267.00m²

Floor Coverings

- House - Specified carpet
- Specified Non-Slip Vinyl Flooring
- Specified Tiles

Party Wall Construction:

New 90x45 party wall upto underside of roofing iron with 2/10mm standard Gib to each side (GBT(L) A 30a All to be fitted with sound deadening batts to give an STC Rating of 58 and a fire rating of 30/30/30

New External Steps:

All new external steps shall comply with D1/AS1

DOUBLE TIMBER FRAME WALLS						
SPECIFICATION No.	LB/NLB	STC	RW	FRR	LINING REQUIREMENTS	PAGE
GBT(L)A 30a	LB	58	57	(30)/30/30	2 x 10mm GIB® Standard Plasterboard each side	16
GBT(L)A 30b	LB	58	57	(30)/30/30	2 x 10mm GIB Noiseline® one side 1 x 10mm GIB Noiseline® on other side	17
GBT(L)A 60	LB	60	59	(60)/60/60	2 x 10mm GIB Fyrelite® each side	18
GBT(L)A 90c	LB	63	62	(90)/90/90	2 x 13mm GIB Fyrelite® each side	19
GBT(L)A 90d	LB	68	67	(90)/90/90	2 x 13mm GIB Noiseline® each side	20

Proposed Lodge Conversion Into Two Dwellings For: TALB Alred Ltd 22-04-17TA	Site Address Lot 30 DP40797 38 Spaxton Street Methven	Sheet title Proposed Floor Plan Designer LBP No. BP113354 Builder LBP No. _____ Date 01.05.17	CONSTRUCTION ISSUE 5 D of 14 Job No: 22-04-17TA Scale: 1:100	Revision A 26.06.17 - DWG updated B 03.07.17 - DWG updated C 27.06.18 - DWG updated D 26.07.18 - Bracing layout added		DESIGNTECH ARCHITECTURAL LTD Tel: 03 6937 360 Cell: 021 175 4276 E-Mail: TheDuckworths@xtra.co.nz 508 Winchester-Geraldine Road, RD21, Geraldine, 7991.

DESIGNTECH ARCHITECTURAL LTD

**Proposed Conversion of existing ski lodge
Into 2 new dwellings and a studio unit**

For

TALB Alred Ltd

JOB No. 22-04-17TA

6th June 2017

TALB Alred Ltd
Lot 30 DP40797
40 Spaxton Street
Methven

Client: TALB Alred Ltd
Address: 4 Wayne Place Methven
Tel: 03 308 9194
E-mail: aaron@falloons.co.nz

Agent: Designtech Architectral Ltd- Andrew Duckworth
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Tel: 021 175 4276
E-mail: theduckworths@xtra.co.nz



Technical Specification

NOVEMBER 2015 | NEW ZEALAND

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WE VALUE YOUR FEEDBACK

To continue with the development of our products and systems, we value your input. Please send any suggestions, including your name, contact details, and relevant sketches to:

Ask James Hardie™
Fax 0800 808 988
literaturefeedback@jameshardie.co.nz



1 Application and scope

1.1 APPLICATION

James Hardie Weatherboards are made of fibre cement and are pre-primed. They are categorised as a lightweight cladding product as per NZS 3604.

James Hardie Weatherboards are manufactured in different profiles ranging between smooth and patterned finishes such as:

SMOOTH WEATHERBOARD

Smooth Weatherboard (7.5mm) is available in three widths (180mm, 240mm and 305mm) and has a smooth finish.

RUSTICATED WEATHERBOARD

Rusticated Weatherboard (7.5mm) combines a rough-sawn texture with a smooth strip in the lap area. It is 205mm wide.

FRONTIER WEATHERBOARD

Frontier Weatherboard (7.5mm) is available in two widths (245mm and 310mm). The board has a woodgrain textured surface.

SPECIFIER

If you are a specifier or other responsible party for a project, ensure that the information in this document is appropriate for the application you are planning and that you undertake specific design and detailing for areas which fall outside the scope of these specifications.

INSTALLER

If you are an installer ensure that you follow the design, moisture management principles, and associated details and material selection provided by the designer. All the details provided in this document must be read in conjunction with the specifier's specification.

MAKE SURE YOUR INFORMATION IS UP TO DATE

When specifying or installing James Hardie products, ensure you have the current manual. If you're not sure you do, or you need more information, visit www.jameshardie.co.nz or Ask James Hardie™ on 0800 808 868.

1.2 SCOPE

This specification covers the use of James Hardie Weatherboards for buildings that fall within the scope of NZS 3604 and NZBC Acceptable Solution 'E2/AS1', paragraph 1.1. This specification covers the use of James Hardie Weatherboards in both direct fixed and cavity construction methods. Please refer to 'E2/AS1' for further information regarding the selection of construction method for claddings.

1.3 DETAILS

Various James Hardie Weatherboards details are provided in the Details section of this document. This specification and details in CAD file are also available to download from our website at www.jameshardie.co.nz.

1.4 SPECIFIC DESIGN

For use of James Hardie Weatherboards outside the scope of this document, the architect, designer or engineer must undertake specific design. For advice on designs outside the scope of this specification, Ask James Hardie on 0800 808 868.

2 Design

2.1 COMPLIANCE

James Hardie Weatherboards comply with section 9.5.2 of 'E2/AS1'. Information contained in this document regarding the installation of James Hardie Weatherboards are aligned with 'E2/AS1' of New Zealand Building Code (NZBC).

2.2 RESPONSIBILITY

The specifier or other party responsible for the project must ensure that the information and details in this specification are appropriate for the intended application and that additional detailing is performed for specific design or any areas that fall outside the scope of this technical specification. For applications outside the scope of this literature and details which are not provided herein, the architect, designer or engineer must undertake specific design and it should be ensured that the intent of their design meets the requirements of the NZBC.

All dimensions shown are in millimetres unless noted otherwise. All New Zealand Standards referenced in this manual are current edition and must be complied with.

James Hardie conduct stringent quality checks to ensure that any product manufactured falls within our quality spectrum. It is the responsibility of the builder to ensure that the product meets aesthetic requirements before installation. James Hardie will not be responsible for rectifying obvious aesthetic surface variations following installation.

2.3 SITE AND FOUNDATION

The site on which the building is situated must comply with the NZBC Acceptable Solution 'E2/AS1' 'Surface Water'. Foundation design must comply with the requirements of NZS 3604 'Timber Framed Buildings' or be as per specific engineering design. The grade of adjacent finished ground must slope away from the building to avoid the possibility of water accumulation in accordance with NZBC requirements.

2.4 SURFACE CLEARANCES

The clearance between the bottom edge of the cladding and paved/unpaved ground must comply with section 9.1.3 of E2/AS1. The finished floor level must also comply with these requirements. These clearances must be maintained throughout the life of the building.

James Hardie Weatherboards must overhang the bottom plate on a concrete slab by a minimum of 50mm, as required by NZS 3604.

James Hardie Weatherboards must have a minimum clearance of 100mm from paved ground and 175mm from unpaved ground.

On roofs and decks the minimum clearance must be 50mm.

Do not install external cladding such that it may remain in contact with water or ground.

2.5 MOISTURE MANAGEMENT

It is the responsibility of the specifier to identify moisture related risks associated with any particular building design.

Wall construction design must effectively manage moisture, considering both the interior and exterior environments of the building, particularly in buildings that have a higher risk of wind driven rain penetration or that are artificially heated or cooled.

Walls must include those provisions as required by the NZBC Acceptable Solution 'E2/AS1' 'External Moisture'. In addition all wall openings, penetrations, junctions, connections, window sills, heads and jambs must incorporate appropriate flashing for waterproofing. The other materials, components and installation methods used to manage moisture in the walls, must comply with the requirements of relevant standards and the NZBC. For further information in relation to designing for weathertightness, refer to the Building Research Association of New Zealand (BRANZ) and the Department of Building and Housing (DBH) updates on the following websites, respectively www.branz.co.nz and www.dbh.govt.nz.

2.6 STRUCTURE

Timber-framed buildings must be designed in accordance with NZS 3604 (Timber Framed Buildings). When the framing is provided as per the specific engineering design, the framing stiffness must be equivalent to, or more than, the stiffness requirements of NZS 3604. For timber frame walls longer than 12m, it is best practice to allow for construction joints to allow movements generated due to timber shrinkage or deflections etc.

2.7 WIND LOADING

James Hardie Weatherboards cladding is suitable for use in all wind zones in New Zealand up to and including EH as defined in NZS 3604.

A specific design is required for all situations where a building falls in a specific engineering design (SED) wind zone.

2.8 FIRE RATED WALLS

Walls clad with James Hardie Weatherboards using a direct fix or cavity construction method can achieve fire ratings of up to 60/60/60 to comply with C/AS1 of the NZBC, when constructed in accordance with this literature, including the fire rated system requirements as specified in James Hardie Fire and Acoustic Design Manual. Refer to this design manual for further information about fire rated systems.

2.9 ENERGY EFFICIENCY

External walls constructed using James Hardie Weatherboards, bulk insulation, where the area of glazing is 30% or less of the total wall area and constructed as per this technical specification complies with the requirements for walls in NZBC Acceptable Solution H1/AS1 (NZBC Clause H1 Energy Efficiency), Replacement Table 1. To meet thermal insulation requirements for the construction, the bulk insulation as specified in Table 1 must be used. This insulation may be substituted with insulations having higher R-values. The thermal insulation of a wall gets affected when the depth of the timber framing is increased or decreased. The calculation used in Table 1 is based on a timber framing size 90 x 45mm and using an internal lining material such as James Hardie Villaboard® Lining or a 10mm plasterboard.

Table 1

Insulation capability		
Climate Zone	Construction R-Value Requirement	Minimum R-Value of Insulation Required
1 and 2	1.9 m ² °C/W	#R2.0
3	2.0 m ² °C/W	#R2.2
<p>Total construction R-Value depends on the insulation material used and the framing ratio. The insulation material R-Values specified in this table are for studs spaced at 600mm c/c and nogs spaced at 800mm c/c.</p> <p># To achieve higher R-Values, the wall insulation must be replaced with an insulation material having higher R-Values to suit the requirements.</p> <p>For further guidance on insulation requirement refer to current edition of 'House Insulation Guide' published by BRANZ.</p>		

3 Framing

3.1 GENERAL

This James Hardie Weatherboards technical specification is only suitable for timber-framed buildings. Other framing materials are outside the scope of this specification.

3.2 STRUCTURAL GRADE

Minimum timber grade selected for external wall framing must be in accordance with NZS 3604.

3.3 DURABILITY

To comply with the NZBC requirements the external framing must be treated to a minimum H1.2 treatment. Refer to the NZBC Acceptable Solution B2/AS1 'Durability' for further information about the durability requirements.

For timber treatment information refer to NZS 3602 (Timber and Wood-Based Products for use in Buildings) and NZS 3640 (Chemical Preservation of Round and Sawn Timber) for minimum timber treatment selection and treatment requirements.

Also refer to framing manufacturer's literature for further guidance on timber selection. Framing must be protected from moisture at sites in accordance with the recommendations of framing manufacturer's.

Note: Refer to NZS 3602 for information about the allowable moisture contents in timber.

3.4 FRAME CONSTRUCTION

All timber framing sizes and set-out must comply with NZS 3604 and stud, nogs/dwangs centres as required by this specification:

Use of timber framing must be in accordance with framing manufacturer's specifications.

In case of gable end trusses sitting on top plate of external wall frame, the frame size must be in accordance with truss design and specification supplied by the frame and truss manufacturer/supplier supported by independent design producer statement.

3.5.1 Direct Fix Construction Method

The following framing must be provided for direct fixed construction method:

- Studs must be provided at 600mm centres maximum.
- Nogs must be provided at 1200mm centres maximum.
- Double studs will be required at internal corners for fixing weatherboards without drilling the weatherboard ends.

3.5.2 Cavity Construction Method

The following framing must be provided for cavity construction method:

- When studs are at 600mm centres the nogs must be provided at 800mm centres maximum.
- When studs are at 400mm centres the nogs may be provided at 1200mm centres maximum.
- Double studs are required at internal corners.
- Extra packers may be required at external corners.

3.5 TOLERANCES

In order to achieve an acceptable wall finish, it is imperative that framing is straight and true.

Framing tolerances must comply with the requirements of NZS 3604.

4 Preparation

4.1 HOMERAB® PRE-CLADDING OR FLEXIBLE UNDERLAY

HomeRAB Pre-Cladding or flexible underlay must be provided as per the requirements of the NZBC Acceptable Solution 'E2/AS1' 'External Moisture' and NZS 3604.

The flexible underlays must comply with Table 23 of 'E2/AS1'. The flexible underlays must be fixed in accordance with 'E2/AS1', NZS 3604 and the underlay manufacturer's recommendations.

Walls which are not lined on the inside face (e.g. garage walls or gable ends) must include a rigid sheathing or an air barrier behind the cladding which complies with the requirements of the NZBC 'Acceptable Solution' 'E2/AS1'. HomeRAB Pre-Cladding is suitable for use in these applications. It must be installed in accordance with James Hardie Rigid Air Barriers Installation Manual.

4.2 RAB BOARD

For EH wind zone, RAB Board (6mm) must be used. To achieve the temporary weathertightness using James Hardie rigid air barriers, windows/doors can be temporarily installed. Refer to James Hardie Rigid Air Barriers installation manual for information regarding its installation.

4.3 FLASHING

All wall openings, penetrations, intersections, connections, window sills, heads and jambs must be flashed prior to weatherboard installation. Please refer to moisture management requirements in Clause 2.5. The building underlays must be appropriately incorporated with penetration and junction flashings. Materials must be lapped in such a way that water tracks down to the exterior on the face of flexible underlay.

The selected flashing materials must comply with the durability requirements of Table 20 of Acceptable Solution 'E2/AS1'.

4.4 VENT STRIP

The James Hardie uPVC cavity vent strip has opening area of 1000mm²/m length and must be installed at the bottom of all walls constructed using the drained and ventilated cavity construction method. It is important that the openings in the vent strip are kept clear and unobstructed to allow free drainage and ventilation of cavities.

4.5 CAVITY BATTENS

Buildings with a risk score of 7-20 calculated in accordance with the NZBC Acceptable Solution 'E2/AS1' Table 3 requires James Hardie Weatherboards to be installed on a cavity.

The battens provide airspace between the frame and cladding and are considered a 'packer' only in this specification.

The timber battens must be minimum H3.1 treated in accordance with NZS 3640 (Chemical preservation of round and sawn timber) to comply with the durability requirements of B2/AS1.

Cavity battens must comply with 'E2/AS1' and

- be minimum 18mm thick
- be minimum as wide as the width of studs
- be fixed by the cladding fixings to the main framing through the building underlay
- until claddings are fixed the battens need only to be tacked to framing. (Batten fixing is required temporarily to keep them straight on the wall during construction.)

The cavity battens are installed as described below:

- Fix cavity battens to studs.
- Battens must be fixed with 40 x 2.8mm galvanised nails at 800mm centres maximum.

4.6 INTERMEDIATE SUPPORT

Where studs are at 600mm centres an intermediate means of restraining the building underlay and insulation from bulging into the cavity shall be installed. An acceptable method to achieve this is using one of the following options as per E2/AS1:

- intermediate cavity batten between the studs
- 75 mm galvanized mesh
- polypropylene tape at 300mm centres fixed horizontally and drawn taut

No intermediate supports are required where

- studs are at 400mm centres or
- rigid air barriers instead of building underlays are used.

4.7 CORNERS

Anticipated joist shrinkage must be allowed for in the design process. Do not run trims or aluminium extrusions continuously across solid floor joists. Trims or extrusions to be flashed to best trade practice at these locations.

4.8 EXTERNAL CORNERS

James Hardie Weatherboards shall be finished at external corners using uPVC or aluminium corner mould, corner soakers and box corner. Refer to Figures 5, 6, 7, 19, 20 and 21.

4.9 INTERNAL CORNERS

James Hardie Weatherboards shall be finished at internal corners using uPVC or aluminium 'W' mould. Refer to Detail 8, 9, 22 and 23.

4.10 JUNCTIONS AND PENETRATIONS

Refer to Clause 2.5 of this specification for moisture management requirements. All windows and doors must be detailed as per the requirements of this specification. James Hardie has developed the window details for James Hardie Weatherboards which meet the requirements of E2 'External Moisture' approved document of the NZBC. Refer to Figures 11 to 13 and Figures 25 to 33.

5 Fixing James Hardie Weatherboards

5.1 GENERAL

The horizontal lap of James Hardie Weatherboards must be 30mm minimum. James Hardie Weatherboards must be kept dry and under cover whilst in storage prior to and during fixing.

Cut ends which are exposed or where sealant is applied to the boards such as box corners, internal corners etc. must be primed prior to installation. Dust and loose material must be removed before priming.

An H3.1 treated timber cant strip must be provided to support the bottom board on the wall. Refer to Figures 3 and 17.

5.2 FASTENER DURABILITY

Fasteners must meet the durability requirements of NZ Building Code. NZS 3604 specifies requirements for fixing material to be used in relation to the exposure conditions and are summarised in Table 2.

Table 2

Exposure conditions and nail selection prescribed by NZS 3604		
Nail Material		
Zone D*	Zone C outside sea spray zone and Zone B and Geothermal hot spots	Bracing — All zones
Grade 316 Stainless	Hot-dipped galvanised or 316 stainless	Grade 316 Stainless

* (Zone C areas where local knowledge dictates that increased durability is required, appropriate selection shall be made). Microclimate conditions as detailed in NZS 3604, Paragraph 4.2.4 require SED.

7 Finishing

Also refer to the NZBC Acceptable Solution 'E2/AS1' Table 20 and 21 for information regarding the selection of suitable fixing materials and their compatibility with other materials.

5.3 NAIL SIZES AND FIXING METHOD

James Hardie Weatherboards must be fixed to studs with the types of nails specified in Table 3, in accordance with the following requirements

- All nails must be driven flush with the board surface.
- When fixing weatherboard at the ends, nail must be driven at a minimum distance of 20mm from the end.
- For nails driven 50mm or closer from the end edges of James Hardie Weatherboards, holes must be pre-drilled using a 3mm Titanium drill bit.

Table 3

Nail requirements for James Hardie Weatherboards	
DIRECT FIXED TO FRAME	
Face Nailing	
50 x 2.8mm HardieFlex™ nails	Finish flush with the board surface
CAVITY CONSTRUCTION	
Face Nailing over flexible underlay	
75 x 3.15mm HardieFlex™ nails	Finish flush with the board surface
CAVITY CONSTRUCTION	
Face Nailing over James Hardie rigid air barrier	
75 x 3.15mm HardieFlex™ nails	Finish flush with the board surface

5.4 GUN NAILING

James Hardie Weatherboards can be gun-nailed for face nailing fixing methods. Nails must be finished flush with board surface.

Round head nails must be used and the size of these nails must comply with the requirements of Table 3.

Nails must be fired at a minimum distance of 50mm from the ends of boards when gun nailing is used — double studs will be required.

Note: Do not use 'D' head nails.

6 Jointing

The ends of James Hardie Weatherboards are jointed off-stud using a back soaker. The joints may be located centrally between studs but no closer than 150mm from the studs. The joints must be staggered by 600mm minimum. Flexible silicone sealant must be used with back soakers for jointing. Refer to Figures 4 and 18.

Protective coating of James Hardie Weatherboards is required in order to meet the durability requirements of the New Zealand Building Code.

7.1 PREPARATION

Remove any surface dirt, grime or other contaminants and ensure the James Hardie Weatherboards are dry before painting.

7.2 SEALANTS

All sealants must demonstrate the ability to meet the relevant requirements of the NZBC. Their application and usage must be in accordance with manufacturer's instructions. Sealants, if coated, must be compatible with the paint system.

7.3 PAINTING

All James Hardie Weatherboards are pre-primed on their face and bottom edge with a factory-applied acrylic base coat.

James Hardie Weatherboards must be painted within 90 days of installation. All exposed faces, including the top edges under the sills and bottom edges of James Hardie Weatherboards and accessories must be finished with two coats of quality exterior paint system complying with any of parts 7, 8, 9, and 10 of AS 3730.

James Hardie Weatherboards can be painted dark colours when installed with aluminium mouldings only.

When using uPVC corner moulds or flashings, the light reflective value of the colour used must be more than 40% as required under section 4.3.1 of 'E2/AS1'. Dark colours cause excessive movements and deteriorate the cladding performance.

Some environments require special coatings. Paint selection and specifications is dependant on the paint system chosen. Refer to the paint manufacturer.

7.4 STAINING

Stains containing linseed oil are specifically designed for wood and may not be suitable for fibre cement cladding products, primed or unprimed. Semi-transparent stains can vary in uniformity of appearance depending on method of application and conditions and will require a high level of skill and craftsmanship to achieve a uniform appearance. Clear coats have not proven durable in exterior exposure and James Hardie considers them a maintenance item that may require application of a refurbishing sealer at regular intervals. James Hardie does not warrant the appearance and durability of the use of semi-transparent stains and clear coats.

For further information contact the stain manufacturers. Refer to Section 13 for stain manufacturer details.

8 Storage and handling

James Hardie Weatherboards must be laid flat on a smooth level surface. To ensure optimum performance, store weatherboards under cover and keep dry prior to fixing. If the weatherboards should become wet, allow to dry thoroughly before fixing.

Do not carry weatherboards on the flat, always carry in the vertical position to avoid excessive bending.

9 Maintenance

It is the responsibility of the specifier to determine normal maintenance requirements to comply with the NZBC Acceptable Solution B2/AS1.

The extent and nature of maintenance will depend on the geographical location and exposure of the building.

As a guide, it is recommended that basic normal maintenance tasks shall include but not be limited to:

- Washing down exterior surfaces every 6-12 months*,
- Re-applying exterior protective finishes**,
- Maintaining the exterior envelope and connections including joints, penetrations, flashings and sealants.
- Cleaning out gutters, blocked pipes and overflows as required,
- Pruning back vegetation which is close to or touching the building.

**Do not use a water blaster to wash down the cladding.*

***Refer to your paint manufacturer for washing down and recoating requirements related to paint performance.*

10 Product information

10.1 MANUFACTURING AND CLASSIFICATION

James Hardie New Zealand is an ISO 9001 Telarc certified manufacturer. James Hardie Weatherboards is manufactured to meet the requirements of AS/NZS 2908.2: 2000 'Cellulose-Cement Products', James Hardie Weatherboards has a classification of Type A Category 3 in accordance with this standard.

The weatherboards are supplied pre-primed on their face and bottom edge with an acrylic primer. The bottom front edge is square machine trimmed. The top covered edge is square water-jet trimmed.

James Hardie Weatherboards are identified by the printing of the name at regular intervals on the back face.

10.2 DURABILITY

James Hardie Weatherboards, when installed and maintained as per the technical specification, will meet the durability requirements for claddings as required in the NZBC Approved Document B2 'Durability'.

10.2.1 Resistance to Moisture/Rotting

James Hardie Weatherboards demonstrates resistance to permanent moisture induced deterioration (rotting) and has passed the following tests in accordance with AS/NZS 2908.2

- Water Permeability (Clause 8.2.2)
- Warm Water (Clause 8.2.4)
- Heat Rain (Clause 6.5)
- Soak Dry (Clause 8.2.5).

10.2.2 Control of External Fire Spread

James Hardie Weatherboards meet the requirements of Appendix C C7.1.1 and is classified as 'Non-Combustible Material' which is suitable for use as external wall cladding and complies with the requirements of Paragraph 5.4 of the NZBC Acceptable Solution C/AS1 and Paragraph 5.8.1 of Acceptable Solutions C/AS2 to C/AS6 of the NZBC.

10.2.3 ALPINE REGIONS

In regions subject to freeze/thaw conditions, James Hardie Weatherboards must not be in direct contact with snow or ice build up for extended periods, e.g. external walls in alpine regions must be protected where snow drifts over winter is expected.

The James Hardie Weatherboards have been tested in accordance with AS/NZS 2908.2 Clause 8.2.3.

10.3 PRODUCT SIZES AND MASS

Available sizes of James Hardie Weatherboards and their weights are given in Table 5. James Hardie Weatherboards are classified as a light weight wall cladding (not exceeding 30kg/m²) in accordance with NZS 3604.

11 Safe working practices

WARNING — DO NOT BREATHE DUST AND CUT ONLY IN WELL VENTILATED AREA

James Hardie products contain sand, a source of respirable crystalline silica which is considered by some international authorities to be a cause of cancer from some occupational sources. Breathing excessive amounts of respirable silica dust can also cause a disabling and potentially fatal lung disease called silicosis, and has been linked with other diseases. Some studies suggest smoking may increase these risks. During installation or handling: (1) work in outdoor areas with ample ventilation; (2) minimise dust when cutting by using either 'score and snap' knife, fibre cement shears or, where not feasible, use a HardieBlade™ Saw Blade and dust-reducing circular saw attached to a HEPA vacuum; (3) warn others in the immediate area to avoid breathing dust; (4) wear a properly-fitted, approved dust mask or respirator (e.g. P1 or P2) in accordance with applicable government regulations and manufacturer instructions to further limit respirable silica exposures. During clean-up, use HEPA vacuums or wet cleanup methods — never dry sweep. For further information, refer to our installation instructions and Safety Data Sheets available at www.jameshardie.co.nz.

FAILURE TO ADHERE TO OUR WARNINGS, SAFETY DATA SHEETS, AND INSTALLATION INSTRUCTIONS MAY LEAD TO SERIOUS PERSONAL INJURY OR DEATH.

James Hardie recommended safe working practices

CUTTING OUTDOORS

1. Position cutting station so wind will blow dust away from the user or others in working area.
2. Use one of the following methods based on the required cutting rate:

BEST

- Score and snap
- Hand guillotine
- Fibreshear

BETTER

- Dust reducing circular saw equipped with HardieBlade™ Saw Blade and HEPA vacuum extraction

GOOD

- Dust reducing circular saw with HardieBlade™ Saw Blade.

CUTTING INDOORS

- Cut only using score and snap, hand guillotine or fibreshears (manual, electric or pneumatic).
- Position cutting station in a well-ventilated area.

SANDING/REBATING/DRILLING/OTHER MACHINING

When sanding, rebating, drilling or machining you should always wear a P1 or P2 dust mask and warn others in the immediate area.

IMPORTANT NOTES

1. For maximum protection (lowest respirable dust production), James Hardie recommends always using "Best" — level cutting methods where feasible.
2. NEVER use a power saw indoors.
3. NEVER use a circular saw blade that does not carry the HardieBlade™ logo.
4. NEVER dry sweep — Use wet suppression or HEPA vacuum.
5. NEVER use grinders.
6. ALWAYS follow tool manufacturers' safety recommendations.

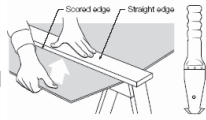
P1 or P2 respirators should be used in conjunction with above cutting practices to further reduce dust exposures. Additional exposure information is available at www.jameshardie.co.nz to help you determine the most appropriate cutting method for your job requirements. If concern still exists about exposure levels or you do not comply with the above practices, you should always consult a qualified industrial hygienist or contact James Hardie for further information.

Working instructions

Refer to recommended Safe Working Practices before starting any cutting or machining of product.

Score and Snap

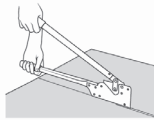
Score and Snap is a fast and efficient method of cutting the product using special tungsten tipped Score and Snap knife.



Preferably score on the face side of the product. Score against a straight edge and repeat the action to obtain adequate depth for clean break — normally 1/3 of sheet thickness. Snap upwards to achieve break. Smooth any rough edges with a rasp.

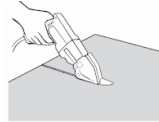
Hand guillotine

Make guillotine cut on the off-cut side of line to allow for the thickness of the blade.



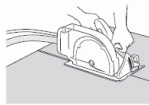
Fibreshear heavy duty

An electrically powered, fast, clean and effortless way of cutting James Hardie building products, especially around curves such as archways. Make Fibreshear cut on the “off-cut” side of the line to allow for the thickness of the shear.



HardieBlade™ Saw Blade

The HardieBlade™ Saw Blade used with a dust-reducing saw connected to a HEPA vacuum is ideal for fast, clean cutting of James Hardie fibre cement products. A dust-reducing saw uses a dust deflector or a dust collector connected to a vacuum system. When sawing, clamp a straight-edge to the sheet as a guide and run the saw base plate along the straight edge when making the cut.



Hole-forming

For smooth clean cut circular holes:

Mark the centre of the hole on the sheet.

Pre-drill a ‘pilot’ hole.

Using the pilot hole as a guide, cut the hole to the appropriate diameter with a hole saw fitted to a heavy duty electric drill.

For irregular holes:

Small rectangular or circular holes can be cut by drilling a series of small holes around the perimeter of the hole then tapping out the waste piece from the sheet face. Tap carefully to avoid damage to sheets, ensuring that the sheet edges are properly supported.



Storage and handling

All James Hardie building products should be stored to avoid damage, with edges and corners of the sheets protected from chipping. James Hardie building products must be installed in a dry state and be protected from rain during transport and storage. The product must be laid flat under cover on a smooth level surface clear of the ground to avoid exposure to water or moisture, etc.

Quality

James Hardie conducts stringent quality checks to ensure that any product manufactured falls within our quality spectrum. It is the responsibility of the builder to ensure that the product meets aesthetic requirements before installation. James Hardie will not be responsible for rectifying obvious aesthetic surface variations following installation.

12 Product sizes

Table 5

Product information								
				Coverage information				
Product	Length (mm)	Width (mm)	Thickness (mm)	Effective cover	No. of planks/ metre height	Mass kg/ lineal m (approx. at EMC)	Mass kg/m2 approx. at EMC)	Pallet weight kg (60/120 units/pack)
Smooth	4200	180	7.5	150	6.7	2.4	16.0	600/1170
	4200	240	7.5	210	4.8	2.6	13.7	770/1540
	4200	305	7.5	275	3.6	3.6	12.9	950/1900
Rusticated	4200	205	7.5	175	5.7	2.6	14.9	700/1350
Frontier	4200	245	7.5	215	4.7	3.1	14.4	790/1580
	4200	310	7.5	280	3.6	3.8	13.6	970/1950

Note: All dimensions provided are based on nominal only and subject to manufacturing tolerances.







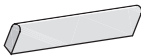



*The effective thickness of finished 7.5mm James Hardie Weatherboards on the wall at the lap is approx 17-19mm.

13 Accessories

Table 6

Accessories supplied by James Hardie for James Hardie Weatherboards					
	Accessory and Material Number		Size (MM)	Material/Appearance	
	External Corner Soaker			Etch Primed	
	- 310	303930	310	Aluminium Self colour	
	- 245	303931	245		
	- 180	303932	180		
	Concealed Back Soaker			Etch Primed	
	- 310	303933	310	Aluminium Self colour	
	- 245	303934	245		
	- 205	303935	205		
	- 180	303936	180		
	External Flashing (box)	- 3000	300852	3000	uPVC
	External Corner (box) Mould				Etch Primed
	- 3000	300380	3000	Aluminium	
	- 2700	300378	2700		
	External Corner Mould 135°	- 2700	300375	2700	Etch Primed Aluminium
	Weatherboard Cap Mould	- 3000	300995	3000	uPVC
	James Hardie Internal 'W' Corner Mould	- 2700	300870	2700 long	uPVC
	Internal Corner Mould 135°	- 2700	300383	2700 long	Etch Primed Aluminium
	Corner Underflashing	- 50 x 50	303745	3000 long	uPVC
	Vent Strip		302490	3000 long	PVC White
	Internal 'W' Corner	- 2700	300386	2700 long	Etch Primed Aluminium
	HardieFlex™ nail	- 5kg	304253	75 x 3.15mm	316 Stainless Steel
	HardieFlex™ nail	- 5kg	304251	75 x 3.15mm	Hot Dip Galvanised
	HardieBlade™ Saw Blade Diamond tip fibre cement circular saw blade. Spacers not included.		300660	184mm	Diamond Tipped
	HardieBlade™ Saw Blade Diamond tip fibre cement circular saw blade. Spacers not included.		303375	254mm	Diamond Tipped

Table 7

Accessories not supplied by James Hardie for James Hardie Weatherboards			
James Hardie recommends the following products for use in conjunction with its Weatherboards. James Hardie does not supply these products. Please contact component manufacturer for information on their warranties and further information on their products.			
	Accessory and Material Number	Size (MM)	Material/Appearance
	HardieFlex™ nail	40 x 2.8mm and 50 x 2.8mm	316 Stainless Steel
	HardieFlex™ nail	40 x 2.8mm and 50 x 2.8mm	Hot Dip Galvanised
	Flexible sealant ie: Sikaflex AT Facade	Tube	Cured rubberised compound
	PEF Rod Sika Boom or similar	Polyethylene foam	Semi rigid foam
	Flashing Tape Tyvek, Protecto Wrap or similar	Proprietary tape to adhere to building underlay	
	Flashing to Table 20 'E2/AS1'	Refer Figure 13	Flashing fabricator
	Timber Scriber	As required	H3.1 Treated Timber. Timber merchant or cut on site
	Cant Strip Redway Developments 03 358 5775	To suit	uPVC
	Stain available from Timberkote Tel: 0800 846 225	To suit	
	Scoring Knife		

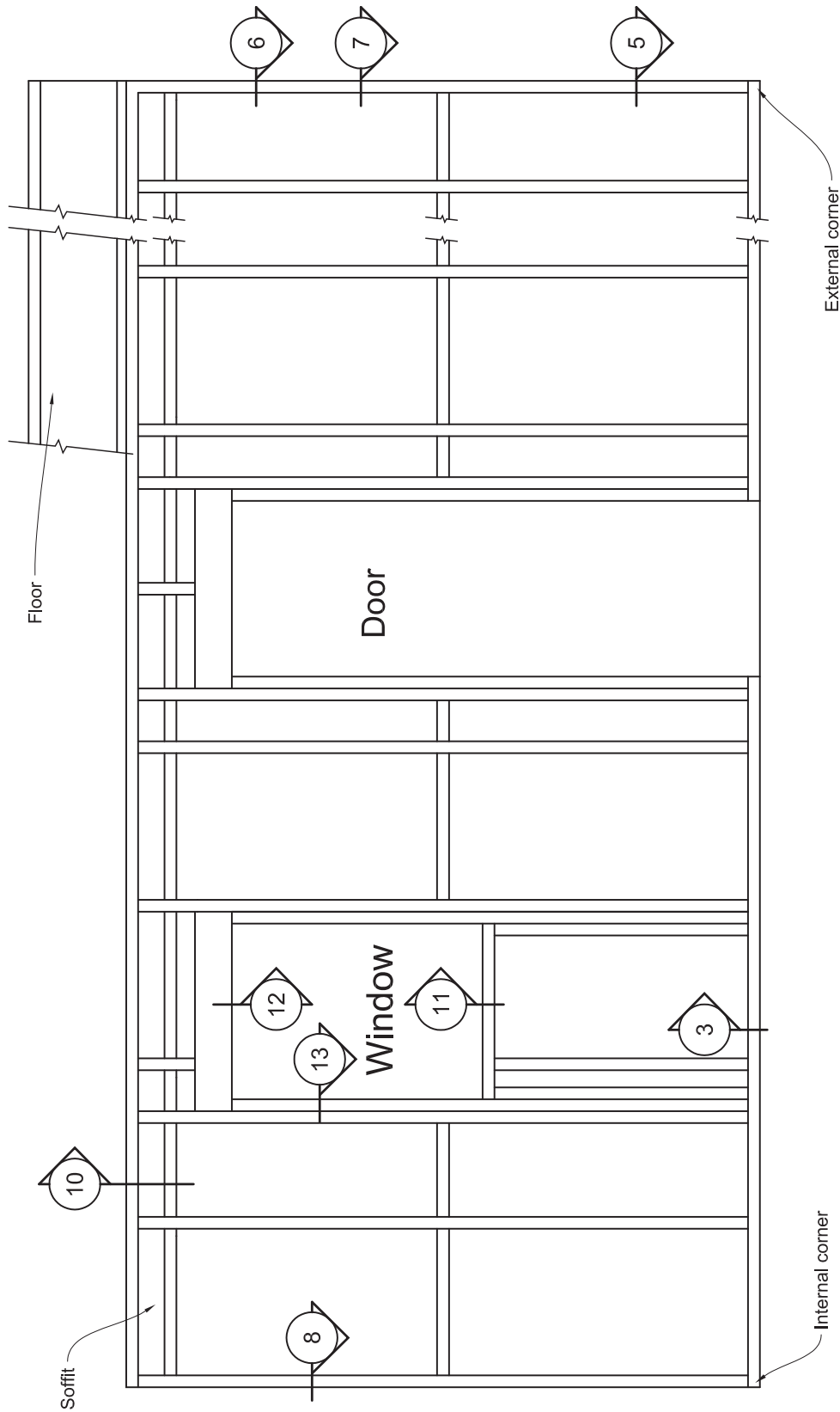
14 Details

Various details outlined in the following table are available on Pages 15 to 38.

Table 8

Details				
DESCRIPTION	DIRECT FIXED		CAVITY CONSTRUCTION	
	FIGURE	PAGE	FIGURE	PAGE
Framing Setout	Figure 1	15		
Sheet Fixing Setout	Figure 2	16	Figure 16	26
Concrete Footing	Figure 3	17	Figure 17	27
Weatherboard Fixing	Figure 4	18	Figure 18	28
uPVC or Aluminium Box Corner	Figure 5	19	Figure 19	29
External Boxed Corner	Figure 6	19	Figure 20	29
External Corner Soaker	Figure 7	20	Figure 21	30
Internal 90° uPVC or Aluminium 'W' Mould	Figure 8	20	Figure 22	30
Internal 135° Aluminium 'W' Mould	Figure 9	21	Figure 23	31
Soffit Detail	Figure 10	21	Figure 24	31
Sill Flashings without Facings	Figure 11	22	Figure 25	32
One Piece Head Flashing without Facings	Figure 12	22	Figure 26	32
Jamb Flashing without Facings	Figure 13	23	Figure 27	33
Batten Setout			Figure 14 and 31	24 and 36
Cavity Sill with facings			Figure 28	33
Cavity One piece head flashing with facing			Figure 29	34
Cavity jamb flashing with facing			Figure 30	35
Batten Fixing			Figure 15	25
Parapet Flashing			Figure 32	37
Meter Box at Head			Figure 33	37
Meter Box at Sill			Figure 34	38
Meter Box at Jamb			Figure 35	38
Pipe Penetration			Figure 36	39
One Piece Apron Flashing Joint			Figure 37	40

Figure 1: Direct fix framing setout



Note!
Section notations refer to dwg numbers.

Wall Elevation

Figure 2: Direct fix sheet fixing setout

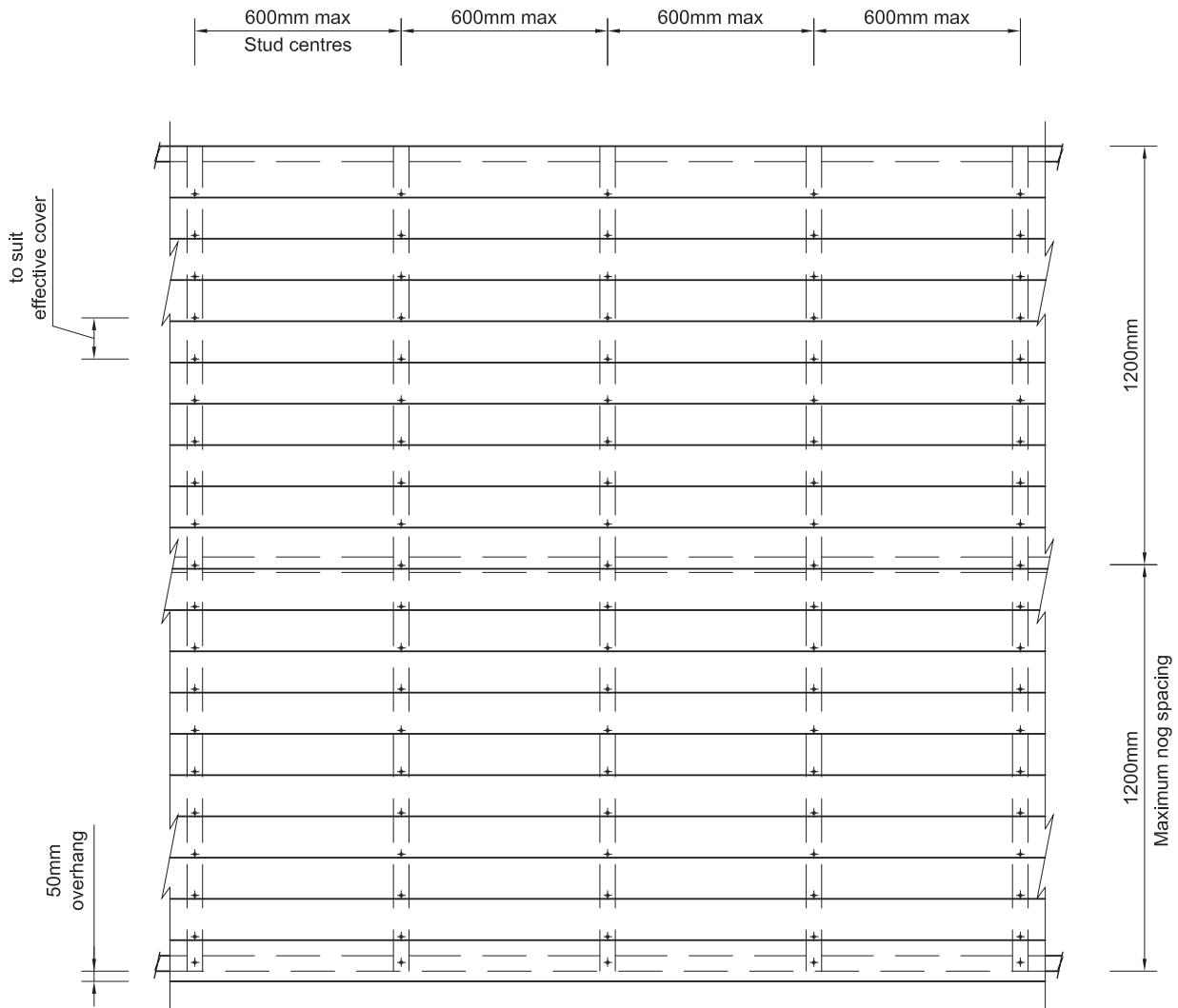


Figure 3: Direct fix concrete footing

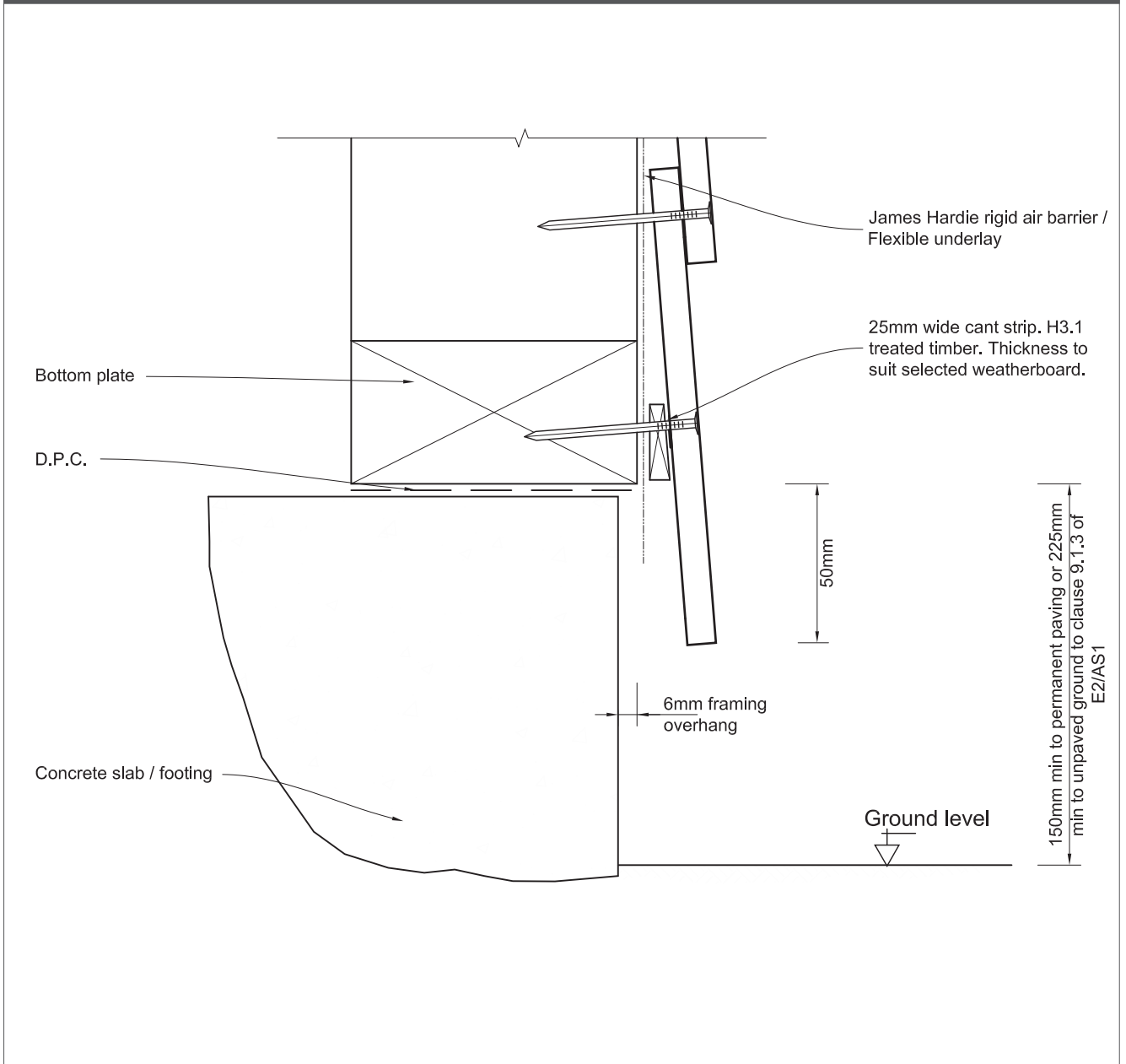
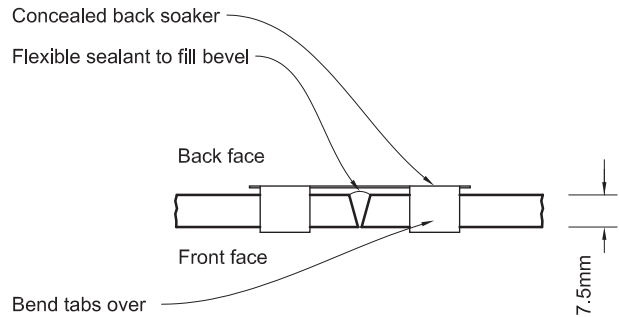
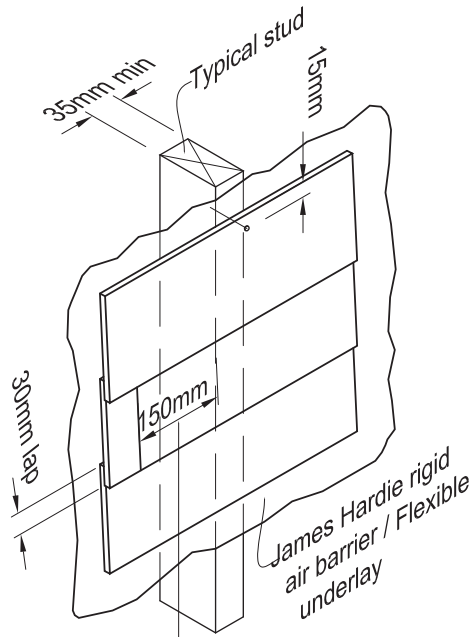


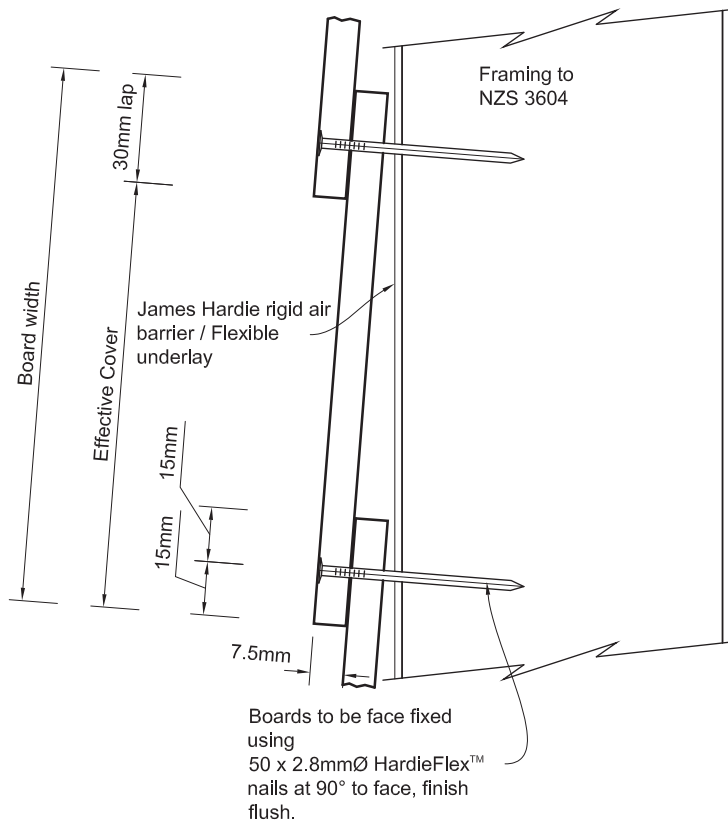
Figure 4: Direct fix weatherboard fixing



Concealed Back Soaker

Concealed back soaker join in weatherboard to be 150mm minimum from side of stud.
Joints must be staggered by 600mm minimum

Jointing Off Stud



Face Nailing

Figure 5: Direct fix uPVC or aluminium box corner

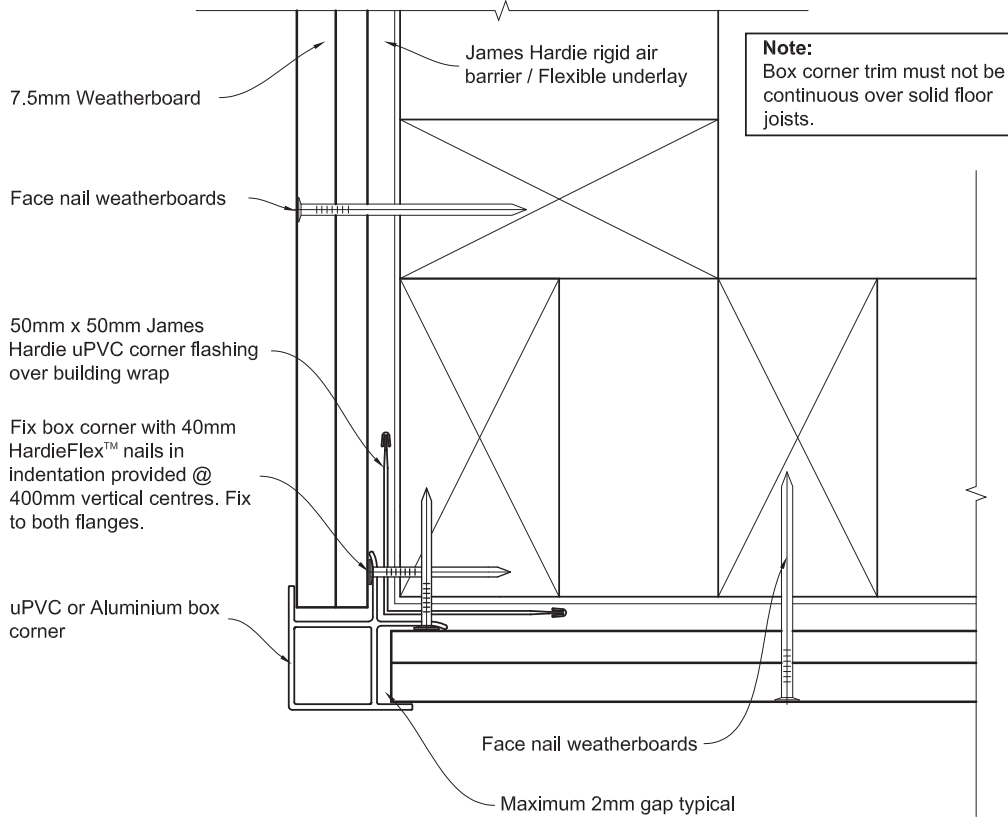


Figure 6: Direct fix external boxed corner

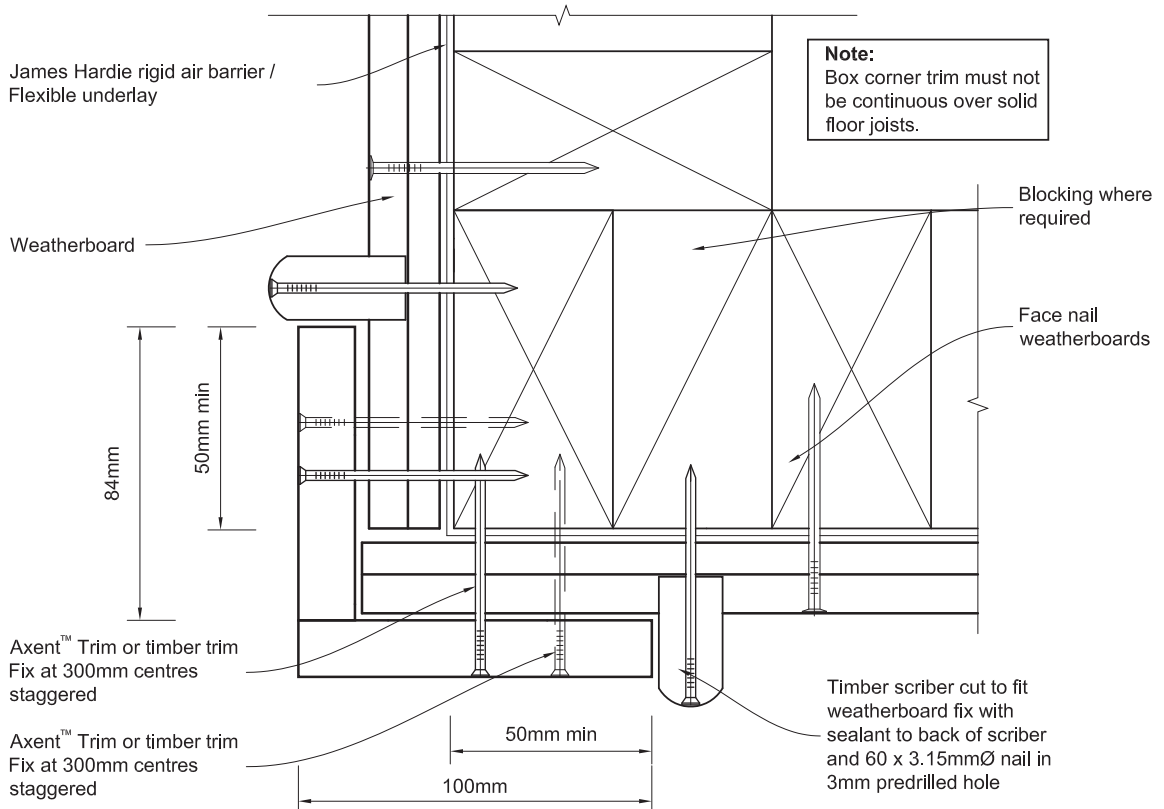
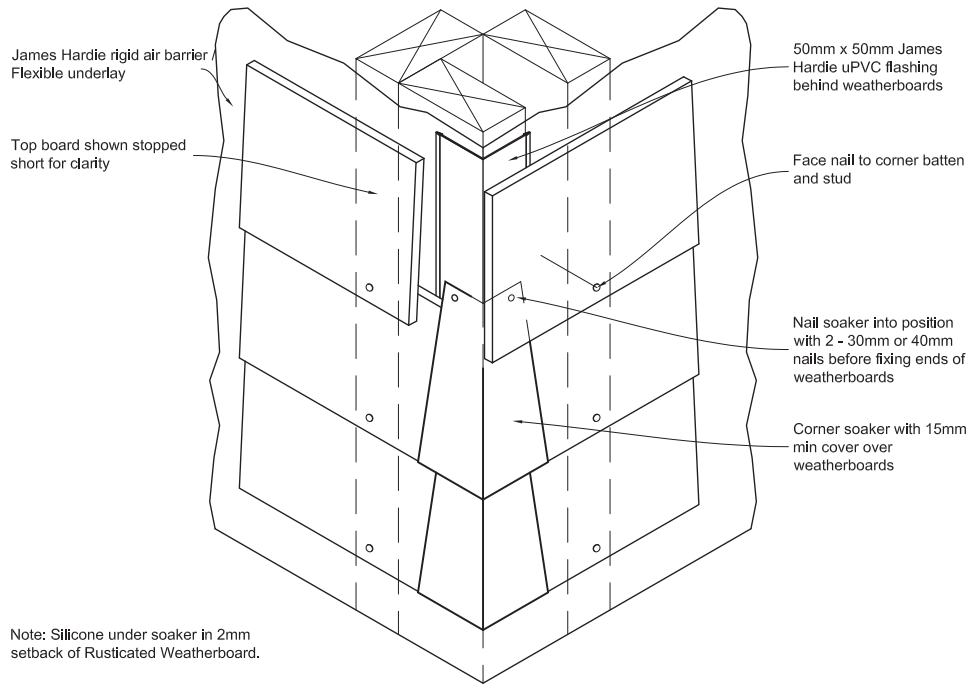


Figure 7: Direct fix external corner soaker



Corner Soaker

Soaker material	Nail material
Aluminium or Galvanised Steel	Hot dip galvanised or Stainless Steel as required for durability

Figure 8: Direct fix internal 90° uPVC or aluminium 'W' mould

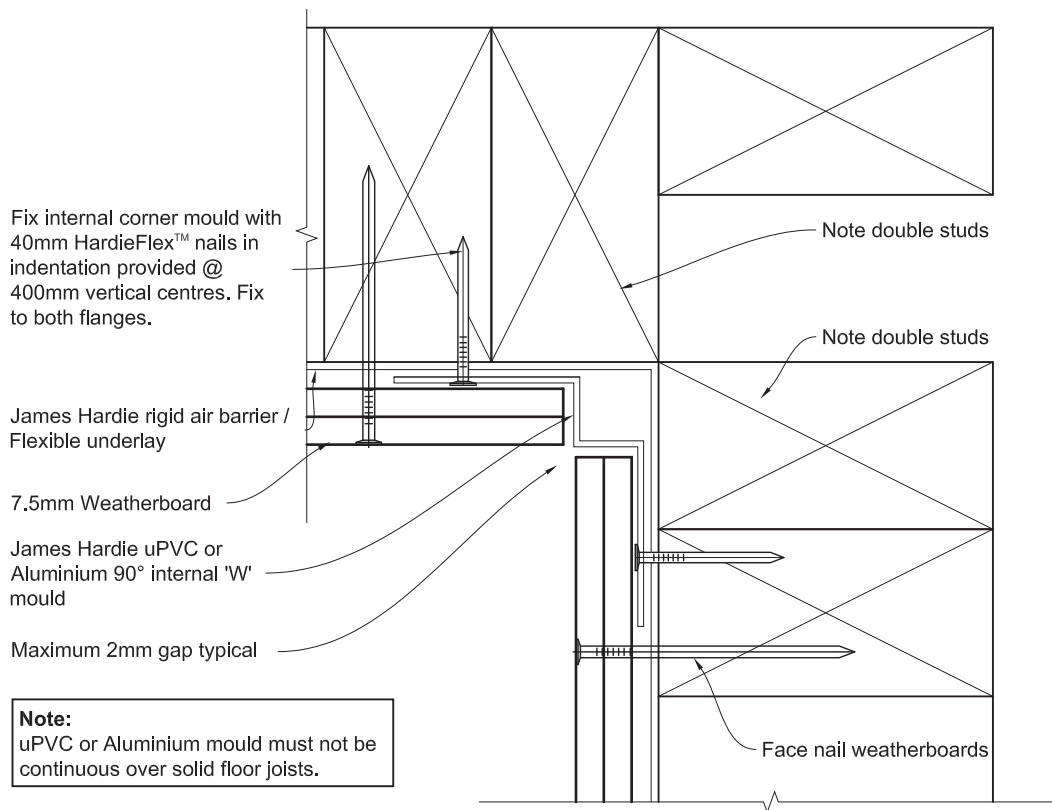


Figure 9: Direct fix internal 135° aluminium 'W' mould

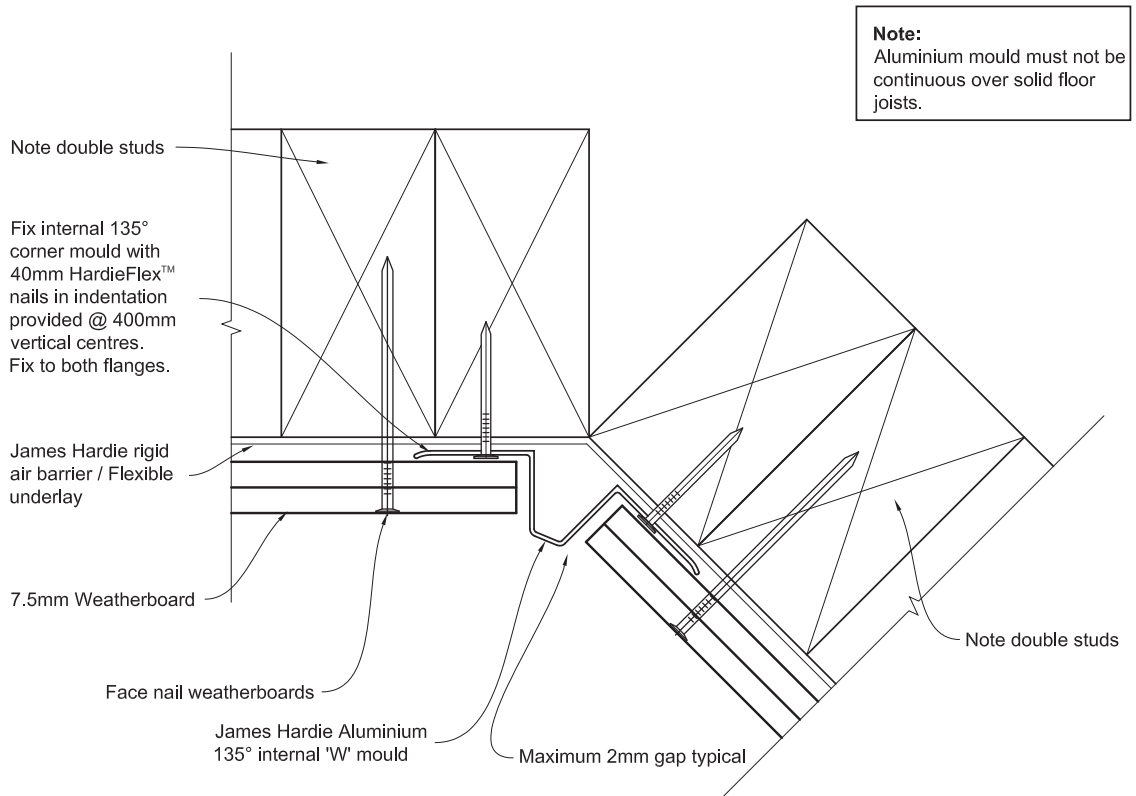


Figure 10: Direct fix soffit detail

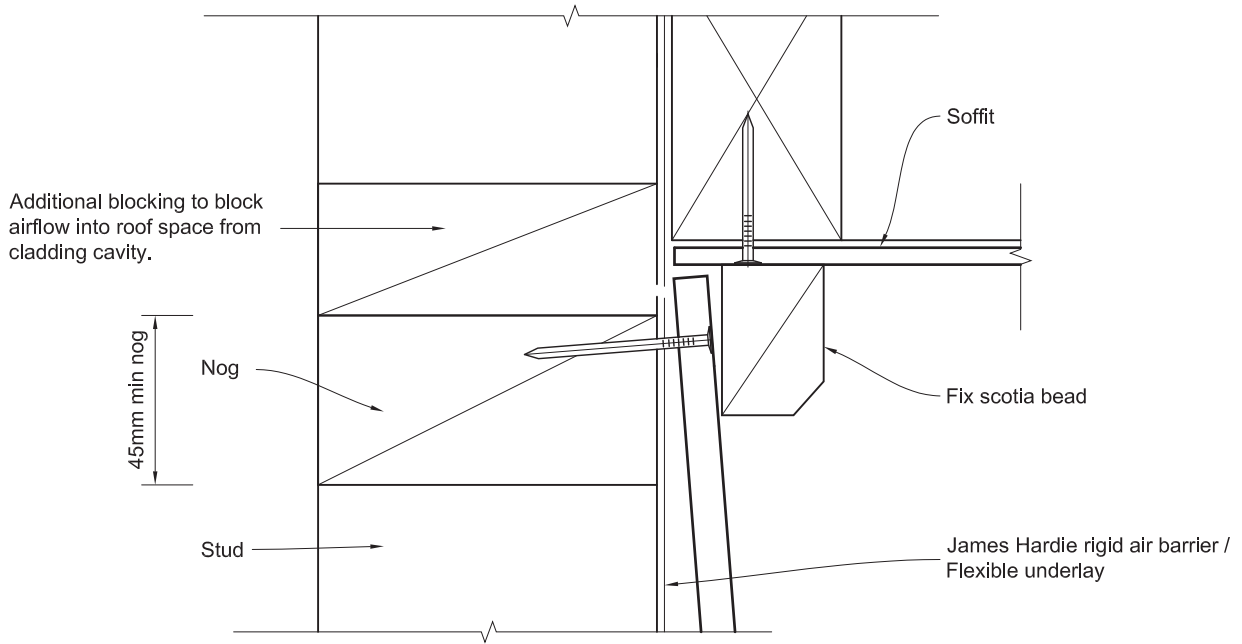
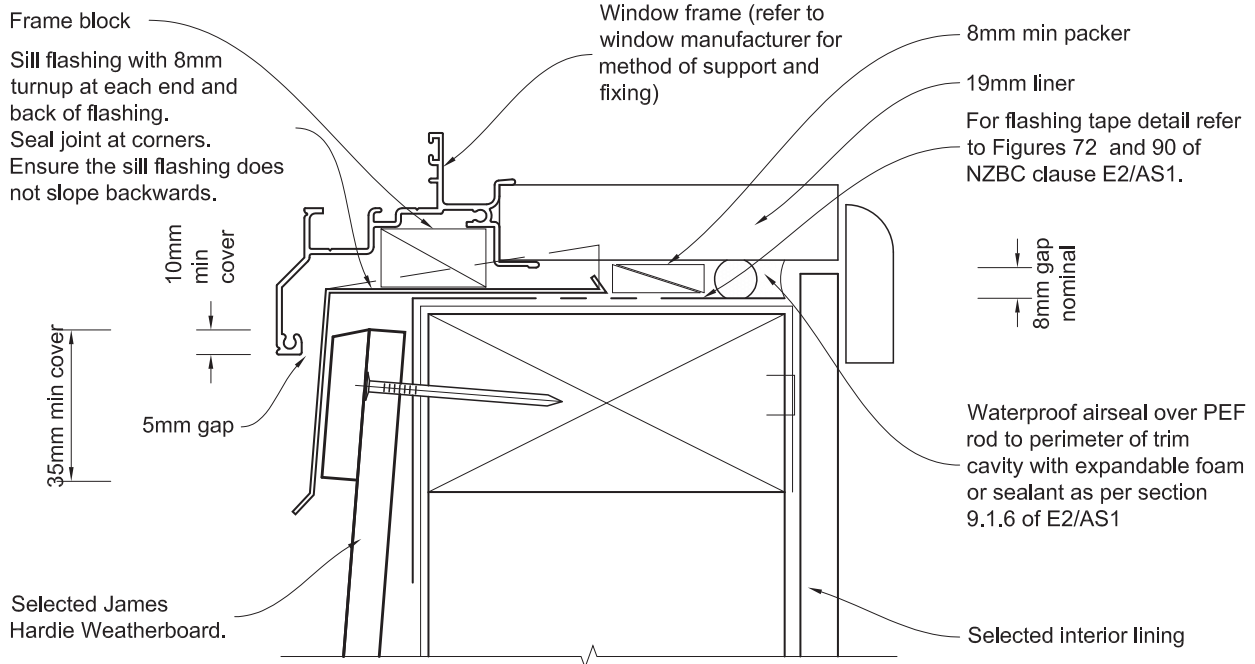


Figure 11: Direct fix window sill flashings without facings



General notes for materials selection

1. Flashing materials must be selected based on environmental exposure, refer to NZS 3604 and Table 20 of NZBC 'E2/AS1'.
2. Building underlay must comply with acceptable solution 'E2/AS1'.
3. Flashing tape must have proven compatibility with the selected building underlay and other materials with which it comes into contact.

Refer to the manufacturer or supplier for technical information for these materials.

Figure 12: Direct fix one piece head flashing without facings

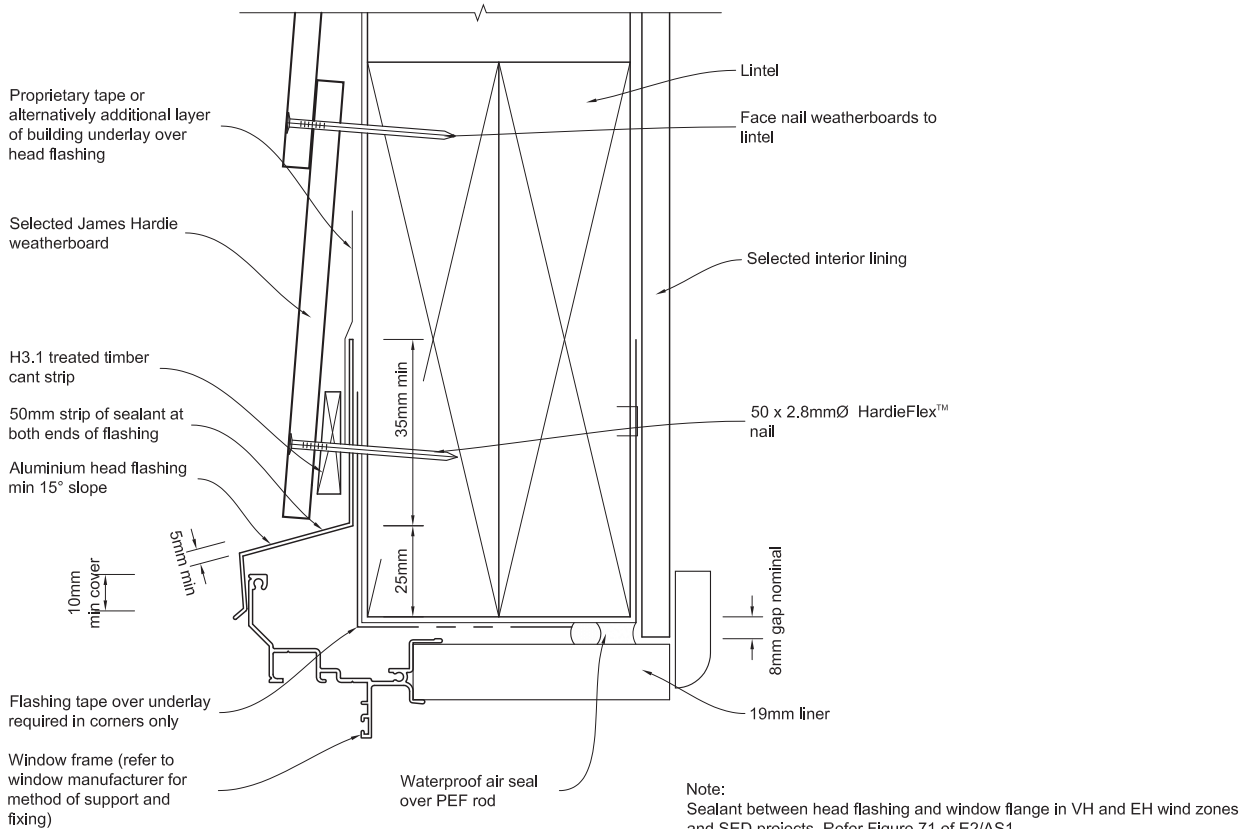


Figure 13: Direct fix jamb flashing without facings

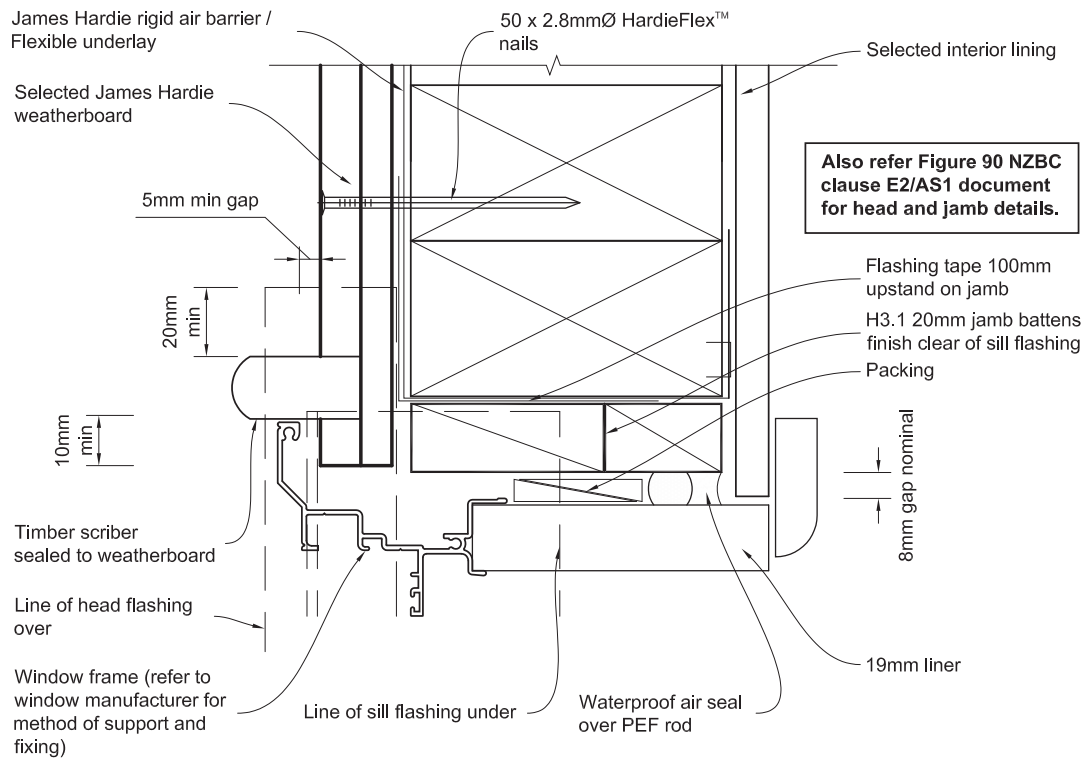
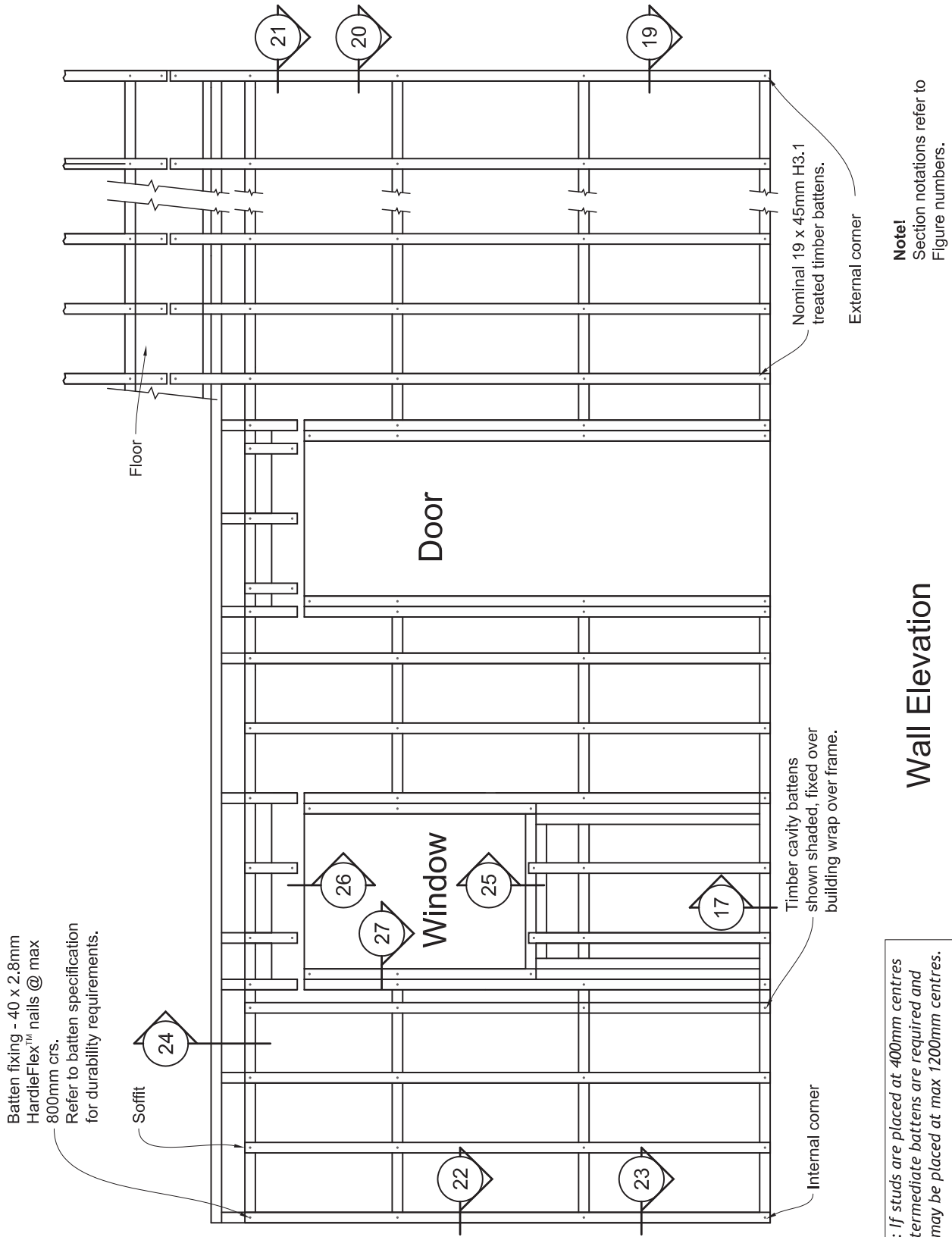


Figure 14: Cavity framing and batten setout



Note!
Section notations refer to Figure numbers.

Wall Elevation

Note: If studs are placed at 400mm centres no intermediate battens are required and nogs may be placed at max 1200mm centres.

Figure 15: Cavity framing batten fixing

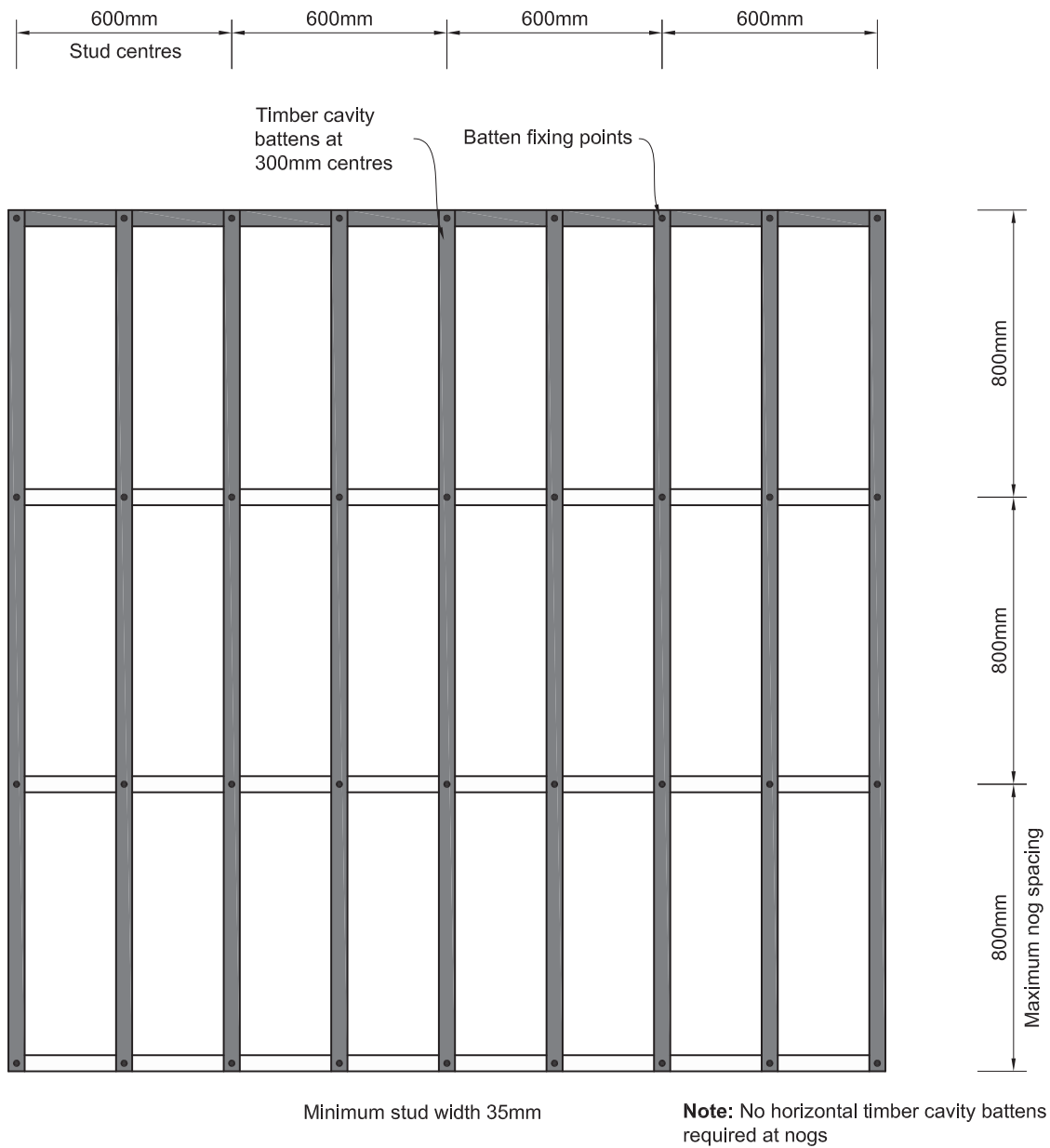


Figure 16: Cavity weatherboard fixing setout

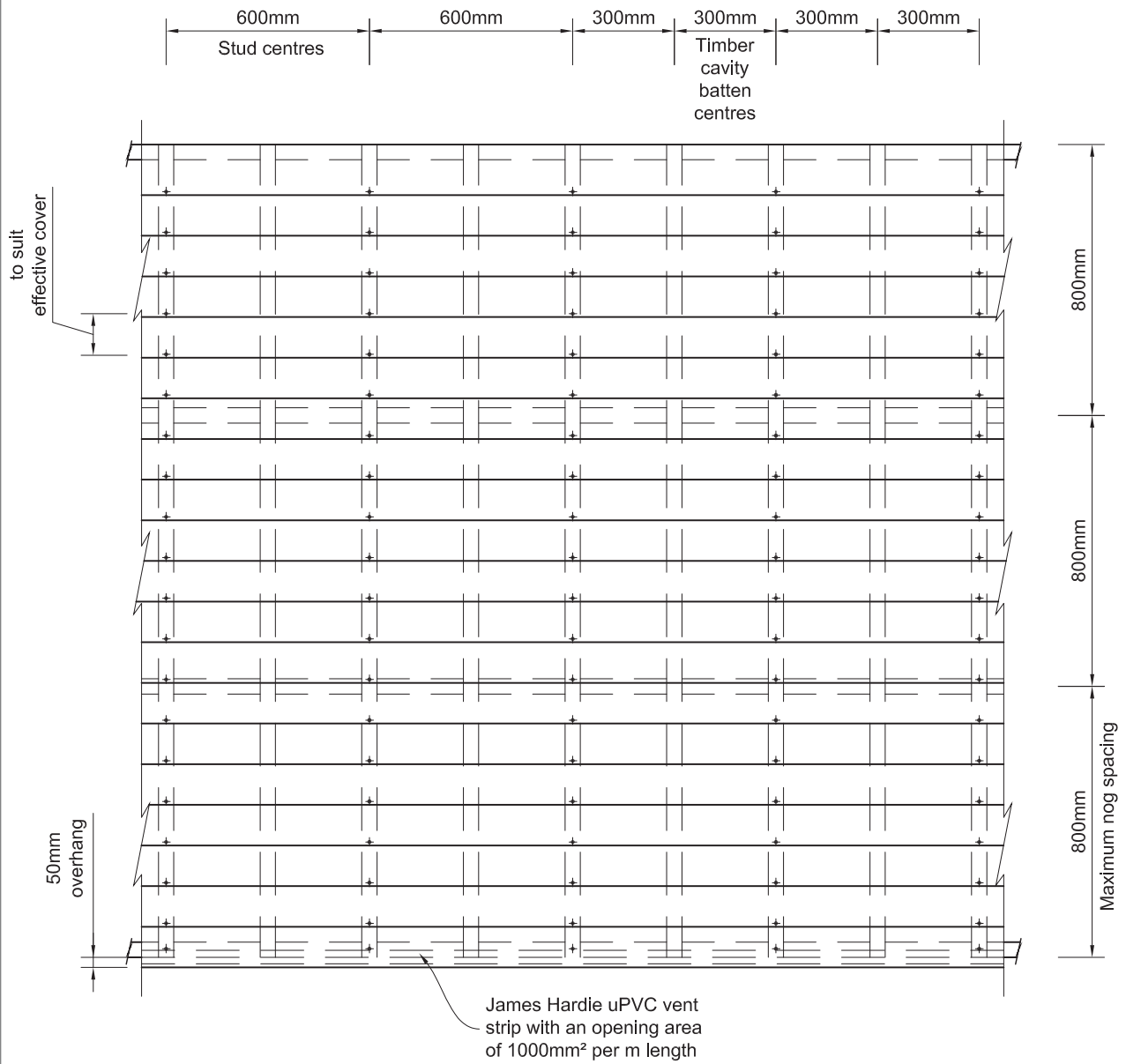


Figure 17: Cavity concrete footing

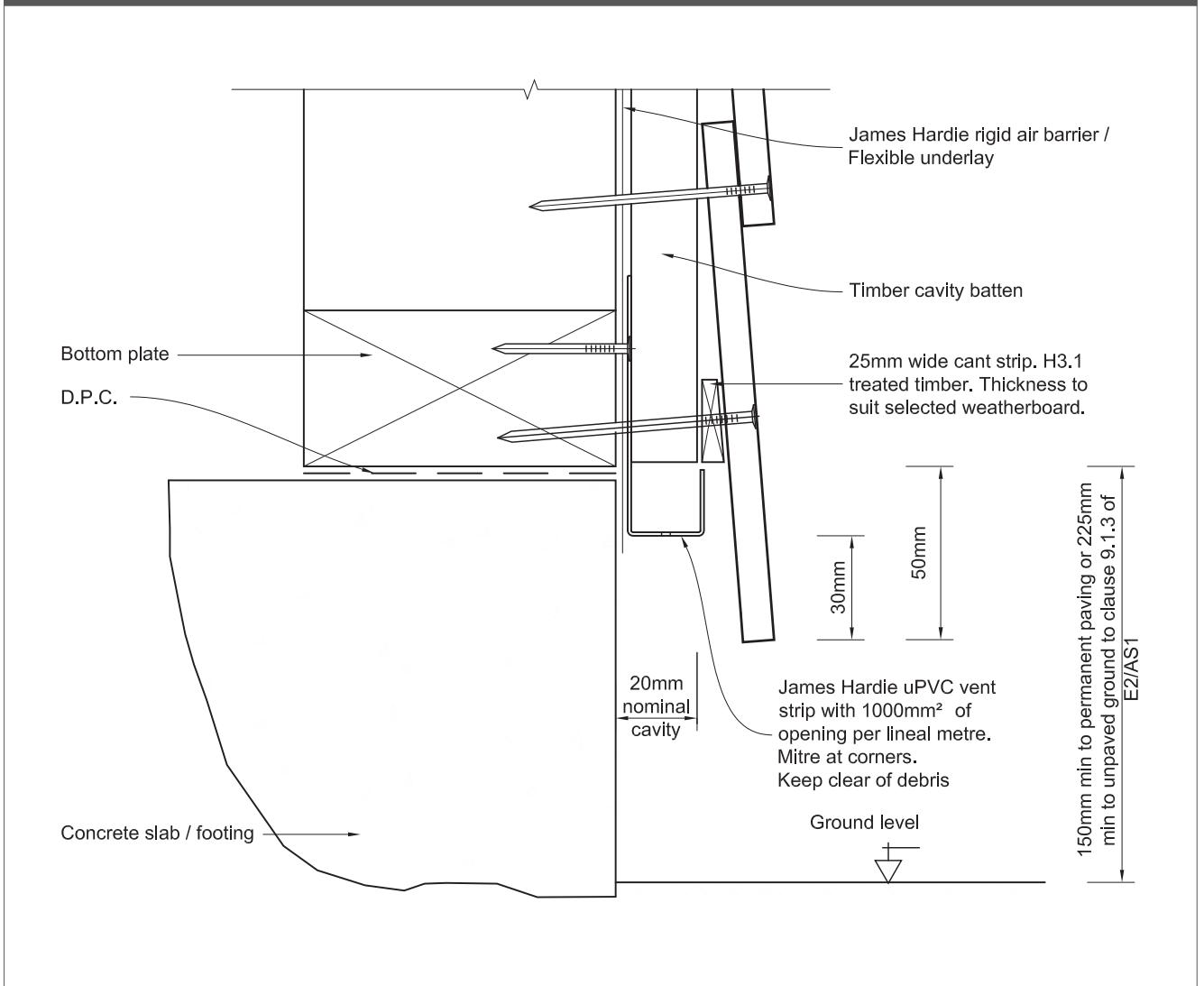
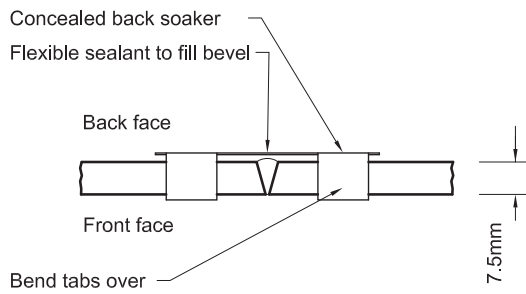
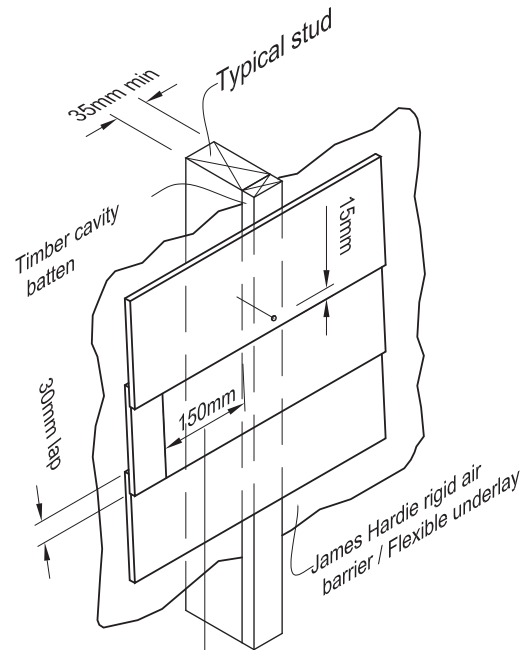


Figure 18: Cavity weatherboard fixing

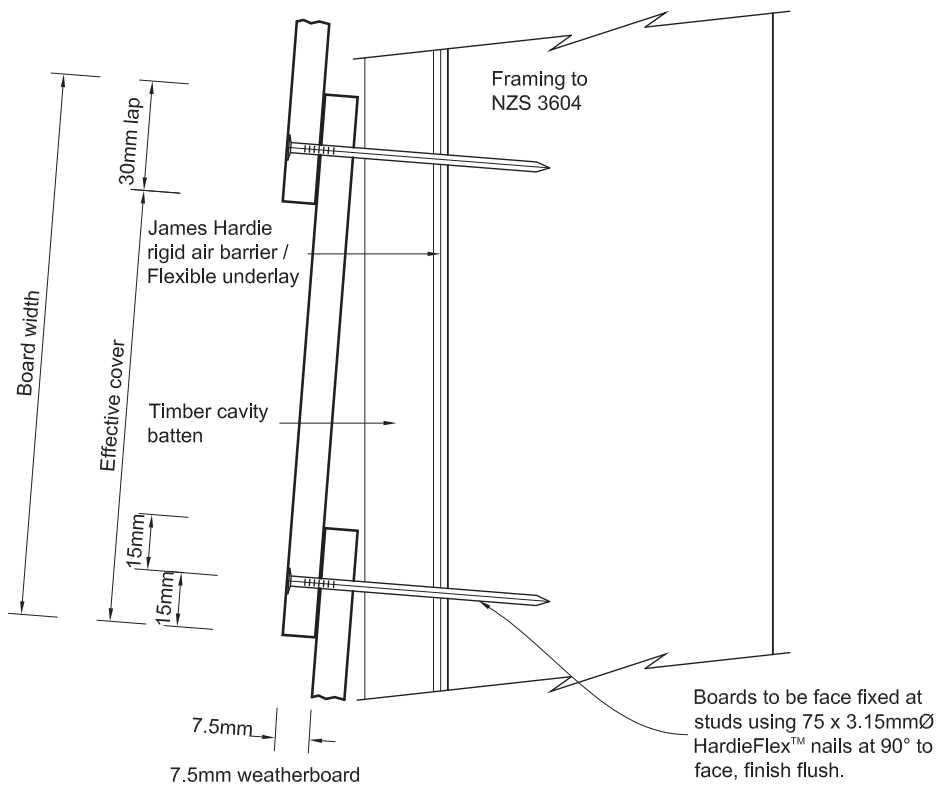


Concealed Back Soaker



Concealed back soaker join in weatherboard to be 150mm minimum from side of stud.
Joints must be staggered by 600mm minimum

Jointing off Stud



Boards to be face fixed at studs using 75 x 3.15mmØ HardieFlex™ nails at 90° to face, finish flush.

Figure 19: Cavity uPVC or aluminium box corner

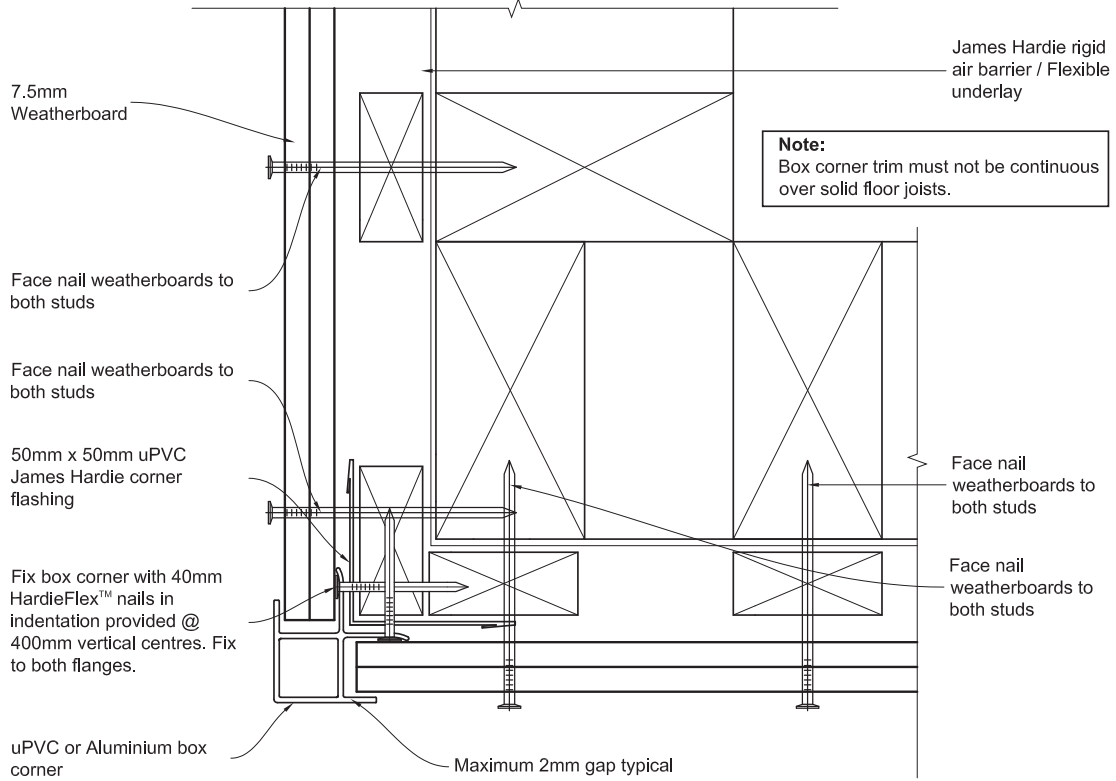


Figure 20: Cavity boxed corner

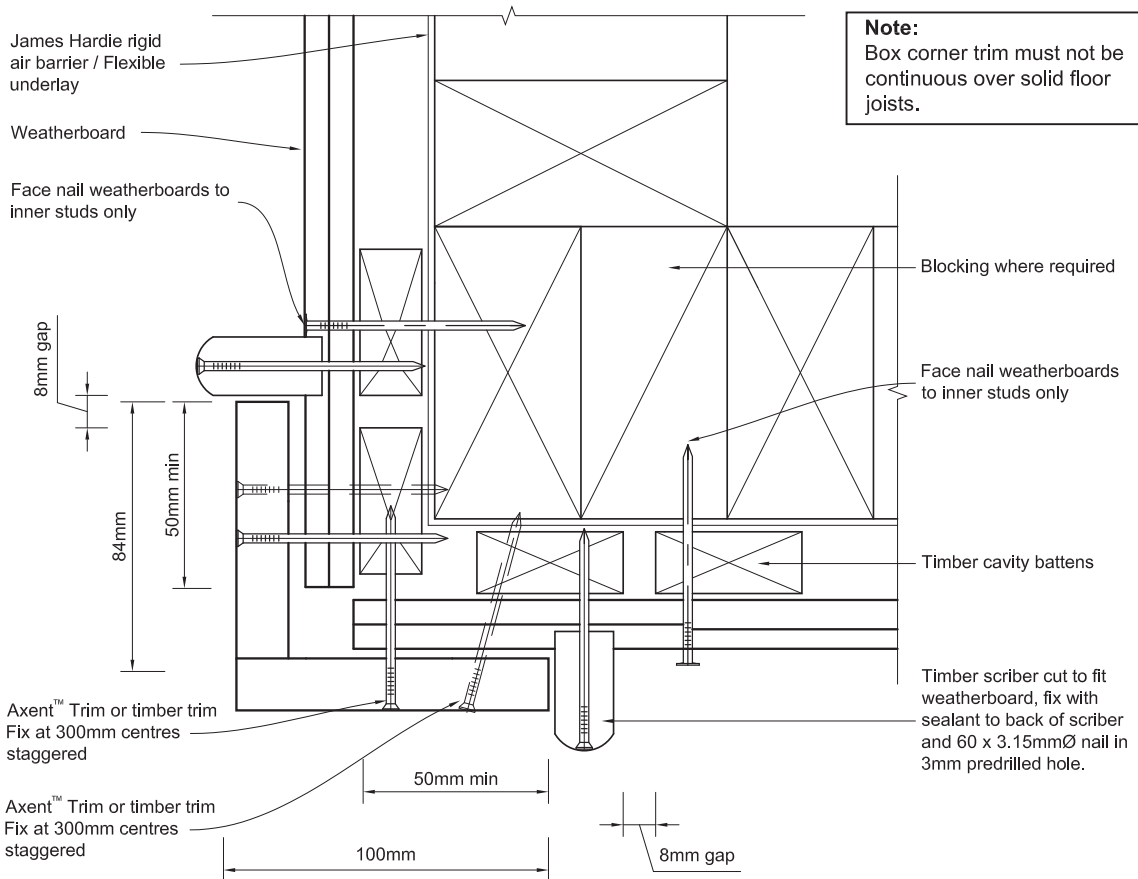
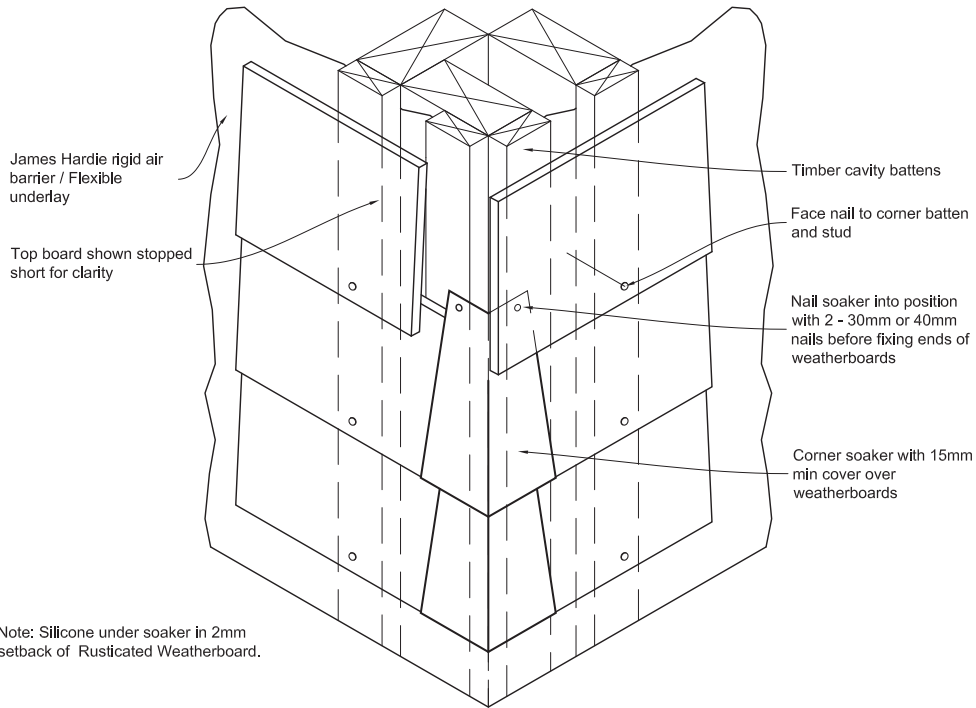


Figure 21: Cavity external corner soaker



Corner Soaker

Soaker material	Nail material
Aluminium or Galvanised Steel	Hot dip galvanised or Stainless Steel as required for durability

Figure 22: Cavity internal 90° uPVC or aluminium 'W' mould

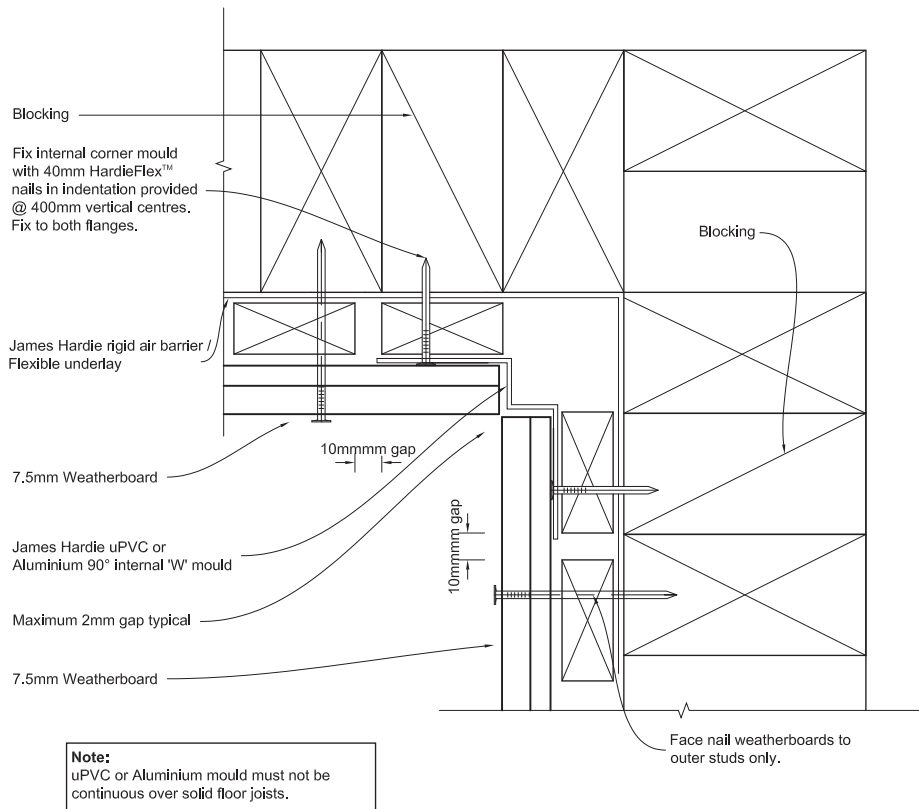


Figure 23: Cavity internal 135° aluminium 'W' mould

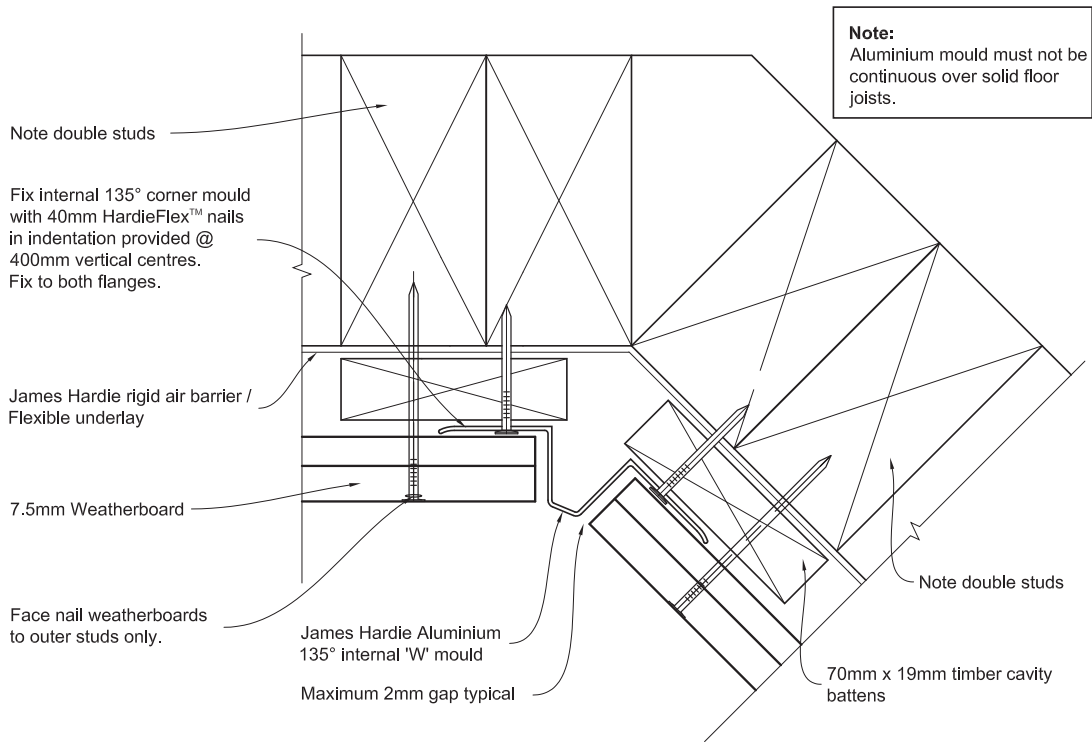


Figure 24: Cavity soffit detail

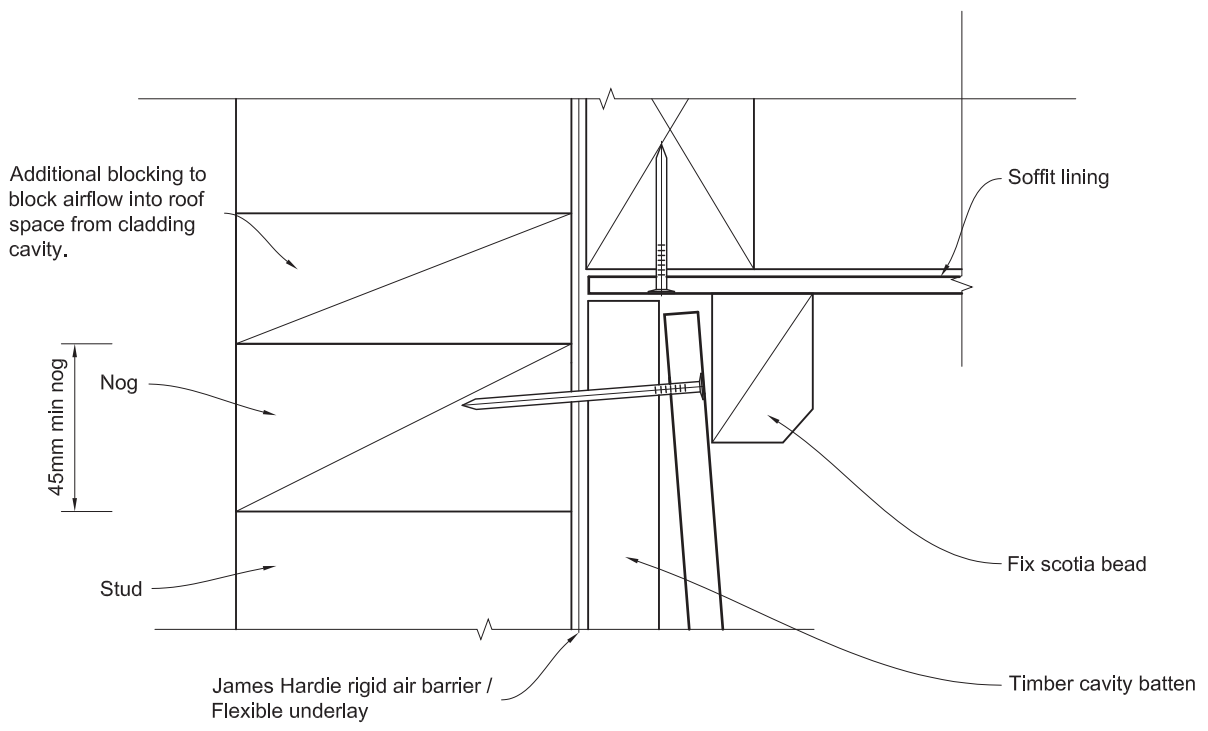
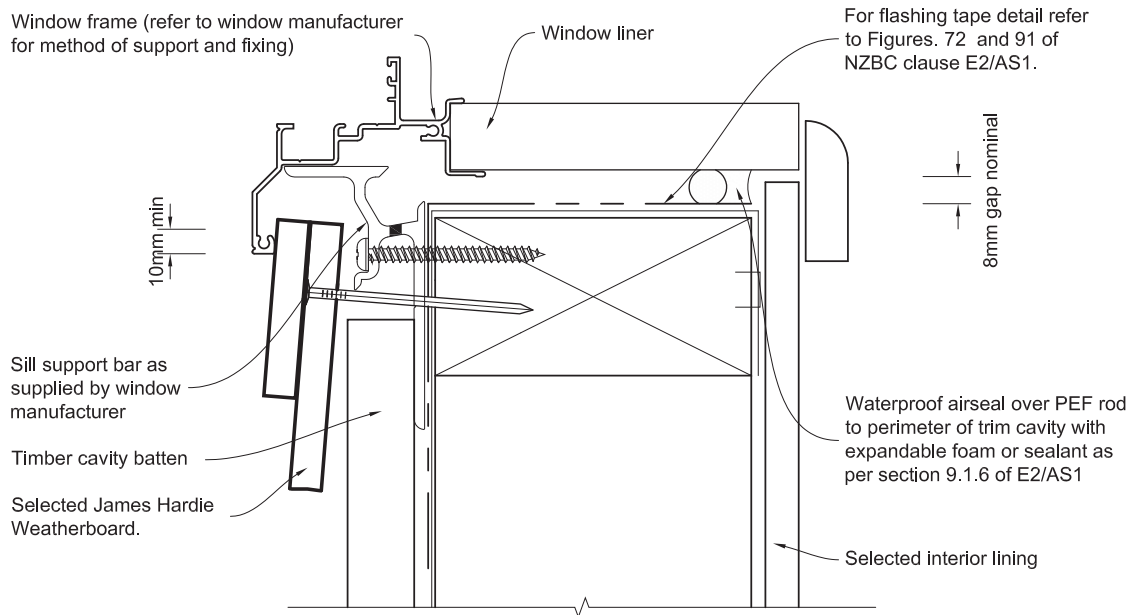


Figure 25: Cavity sill flashing without facings



General notes for materials selection

1. Flashing materials must be selected based on environmental exposure, refer to NZS 3604 and Table 20 of NZBC 'E2/AS1'.
2. Building underlay must comply with acceptable solution NZBC 'E2/AS1'.
3. Flashing tape must have proven compatibility with the selected building underlay and other materials with which it comes into contact.
4. Sill support bars must comply with EM6, E2/AS1 and B2/AS1

Refer to the manufacturer or supplier for technical information for these materials.

Figure 26: Cavity one piece head flashing without facings

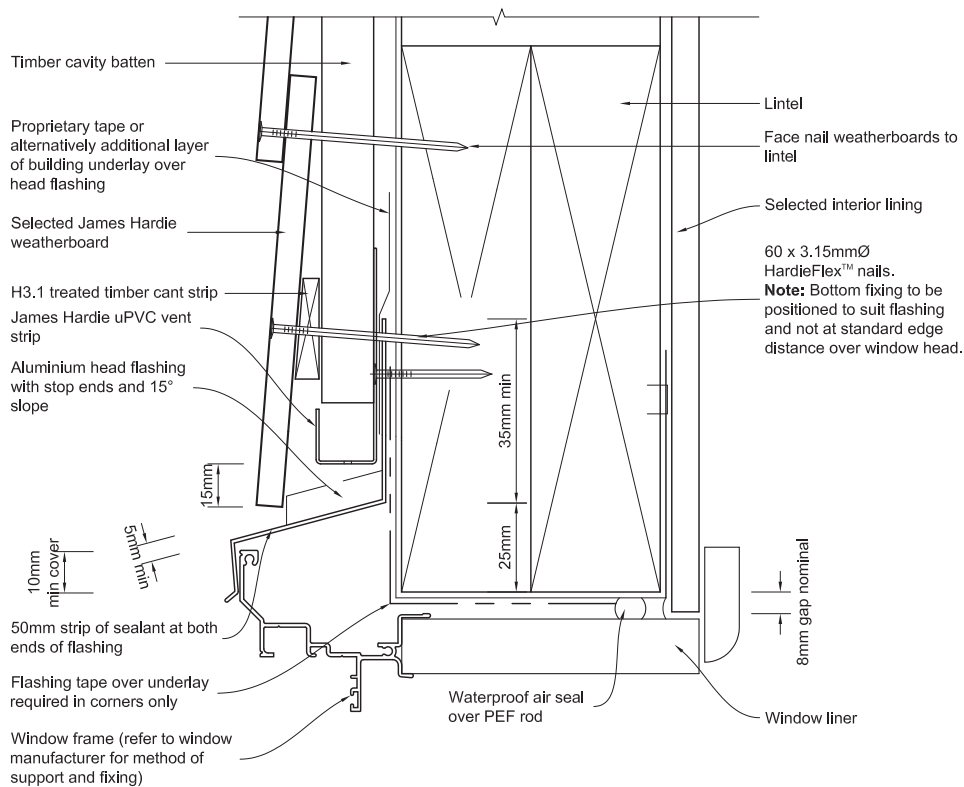


Figure 27: Cavity jamb flashing without facings

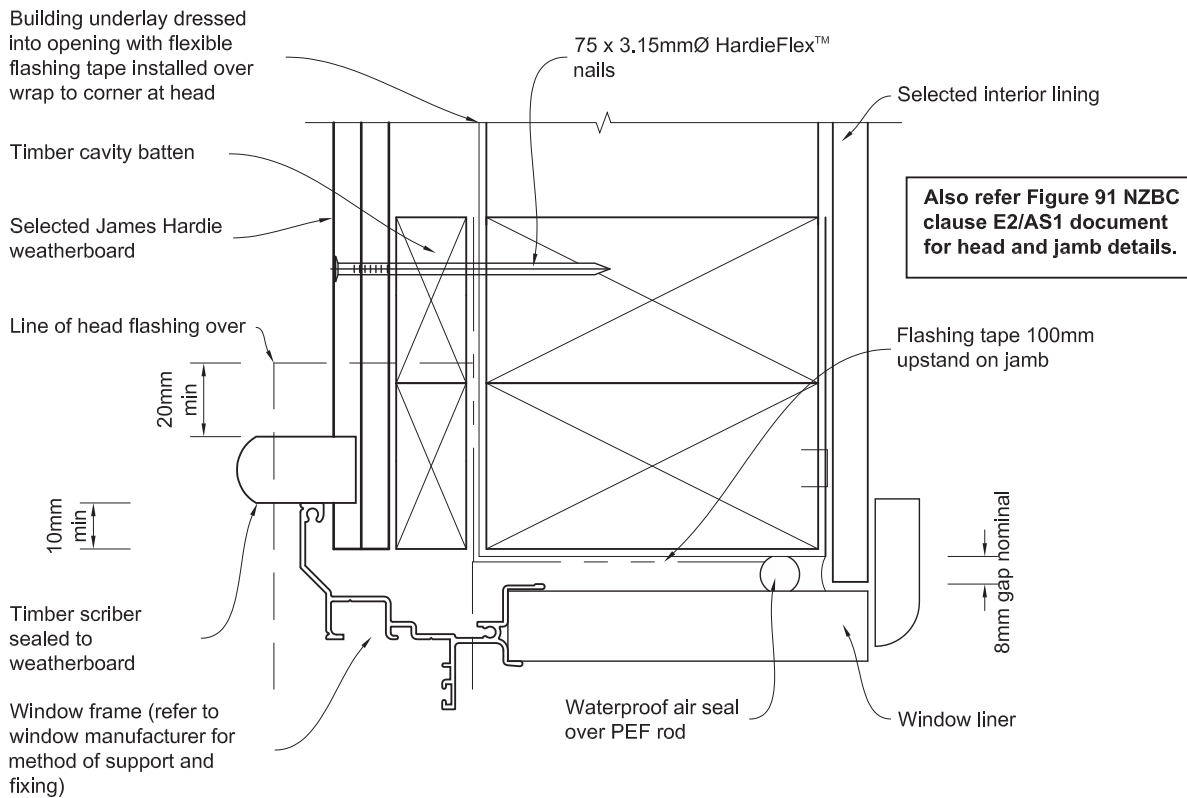
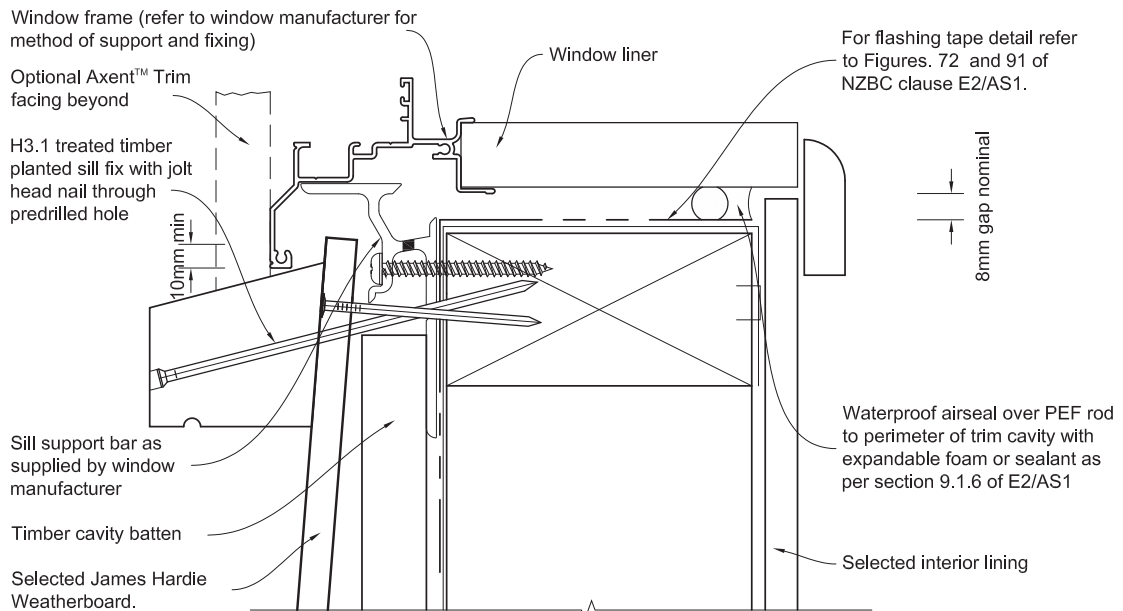


Figure 28: Cavity sill flashing with facing

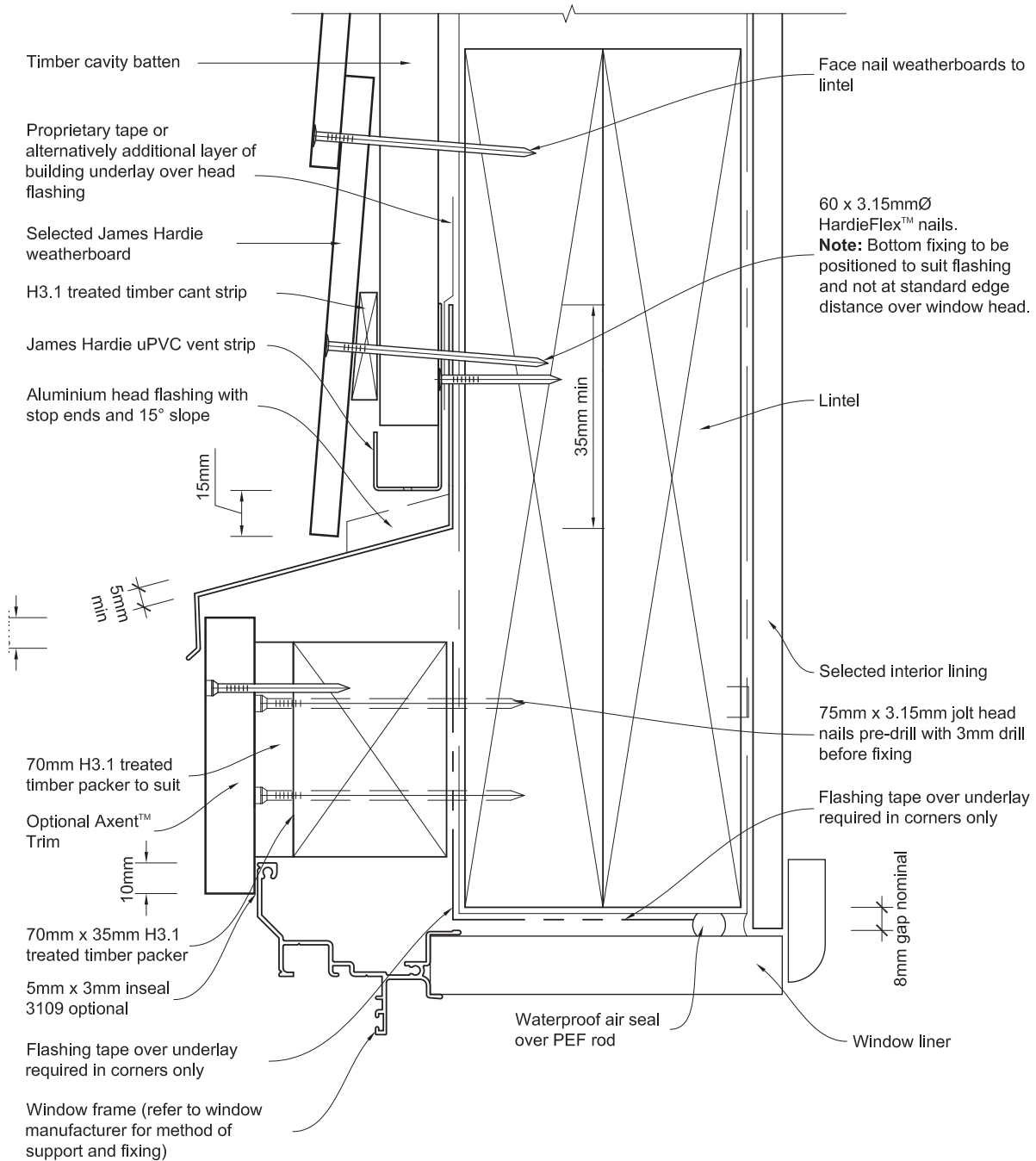


General notes for materials selection

1. Flashing materials must be selected based on environmental exposure, refer to NZS 3604 and Table 20 of NZBC 'E2/AS1'.
2. Building underlay must comply with acceptable solution NZBC 'E2/AS1'.
3. Flashing tape must have proven compatibility with the selected building underlay and other materials with which it comes into contact.
4. Sill support bars must comply with EM6, E2/AS1 and B2/AS1

Refer to the manufacturer or supplier for technical information for these materials.

Figure 29: Cavity one piece head flashing with facings



Note: Sealant between head flashing and window flange in VH and EH wind zones and SED projects. Refer Figure 71 of E2/AS1

Figure 30: Cavity jamb flashing with facings

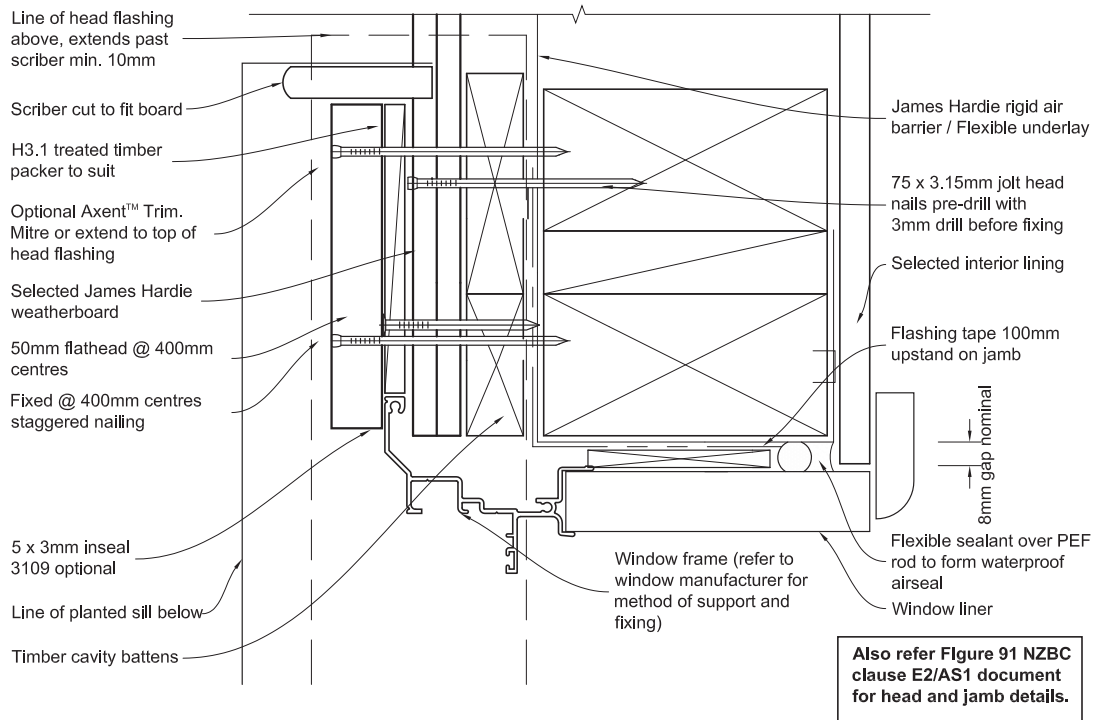
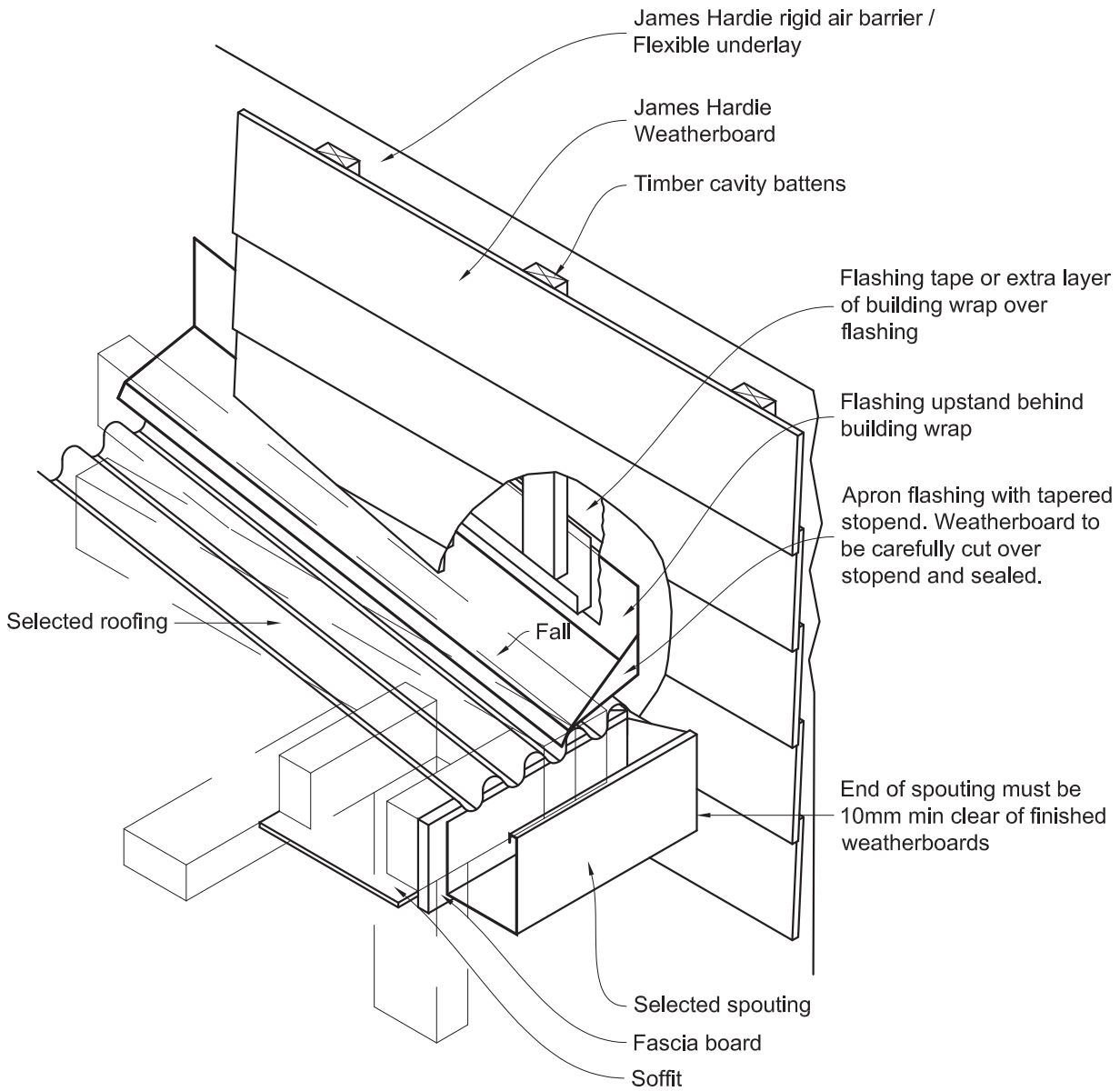


Figure 31: Cavity framing and batten setout



*

When 50 year durability for flashing is required refer Table 20 NZBC E2/AS1 document.

Figure 32: Cavity parapet flashing

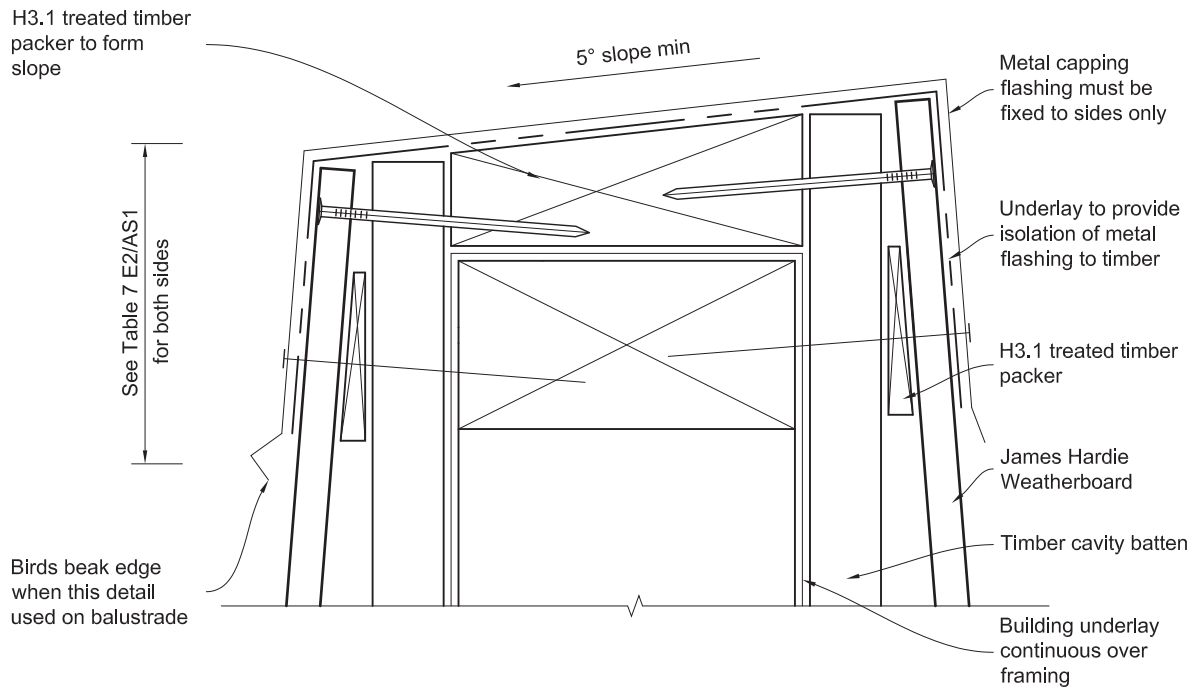


Figure 33: Cavity meter box at head

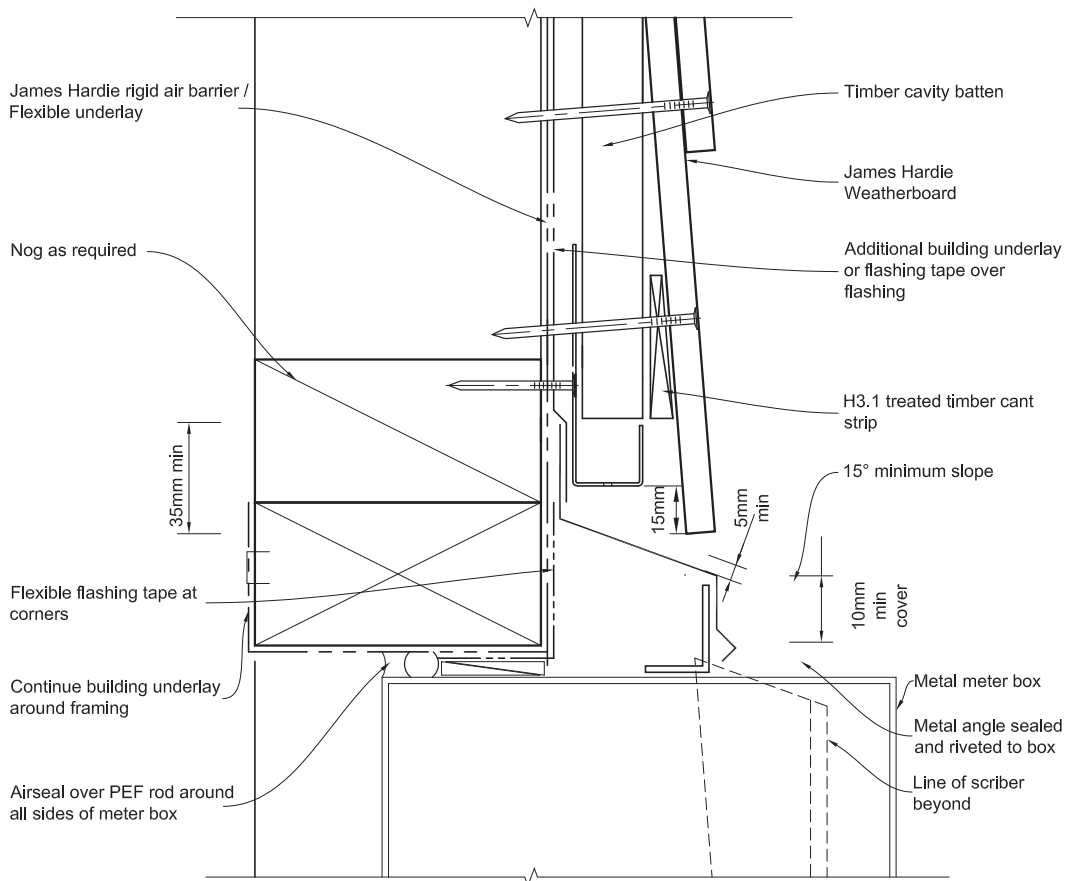


Figure 34: Cavity meter box at sill

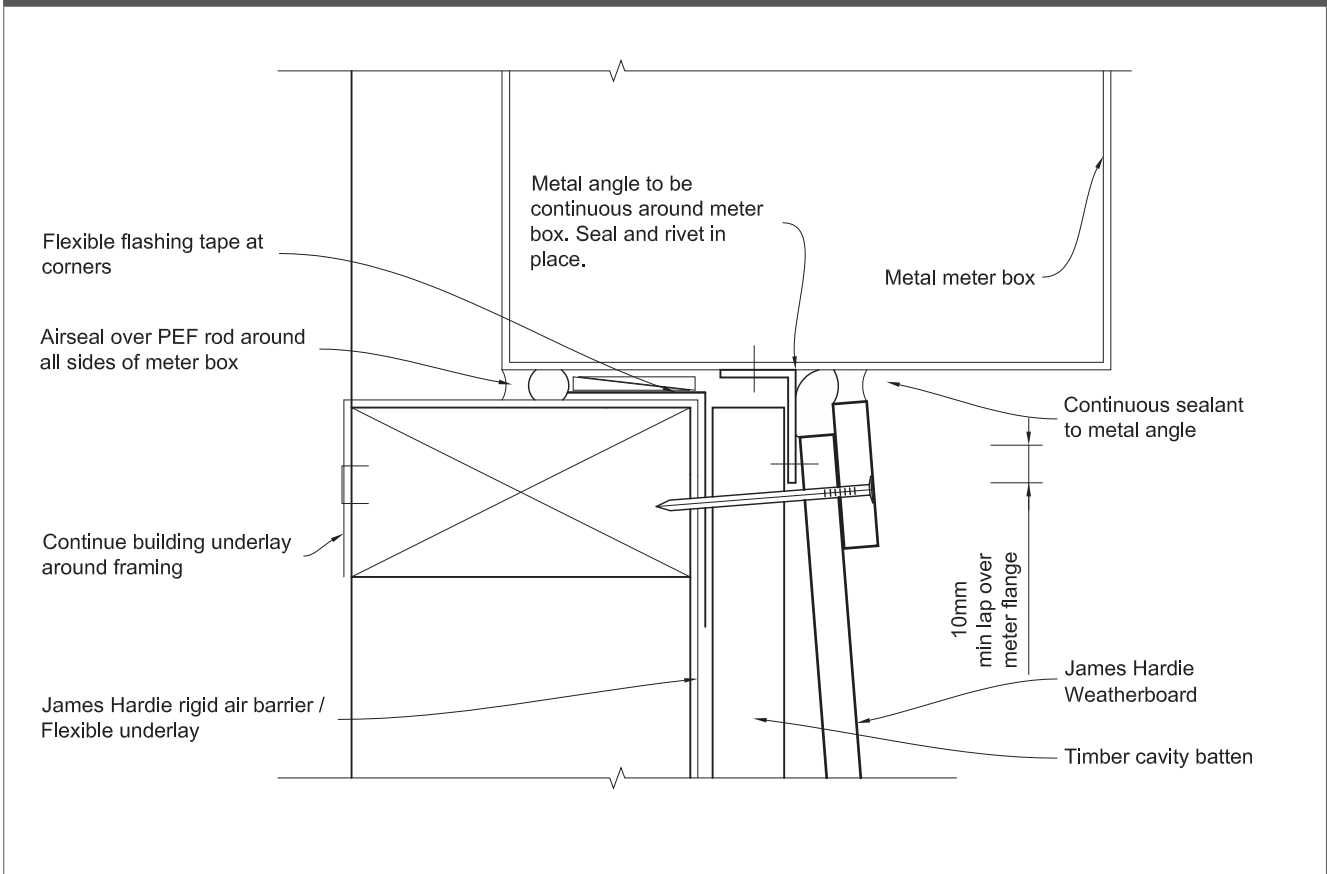


Figure 35: Cavity meter box head flashing at jamb

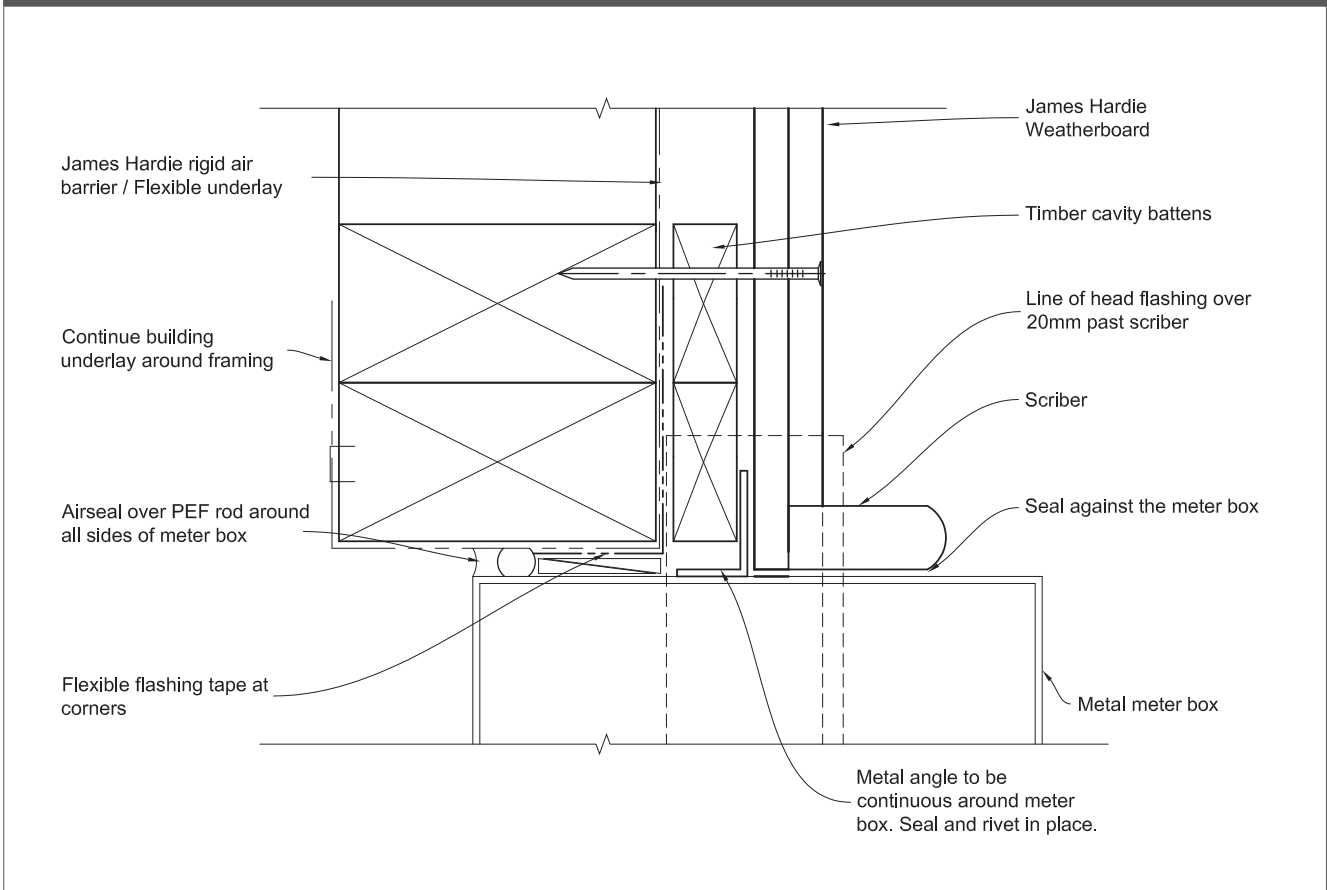


Figure 36: Cavity pipe penetration

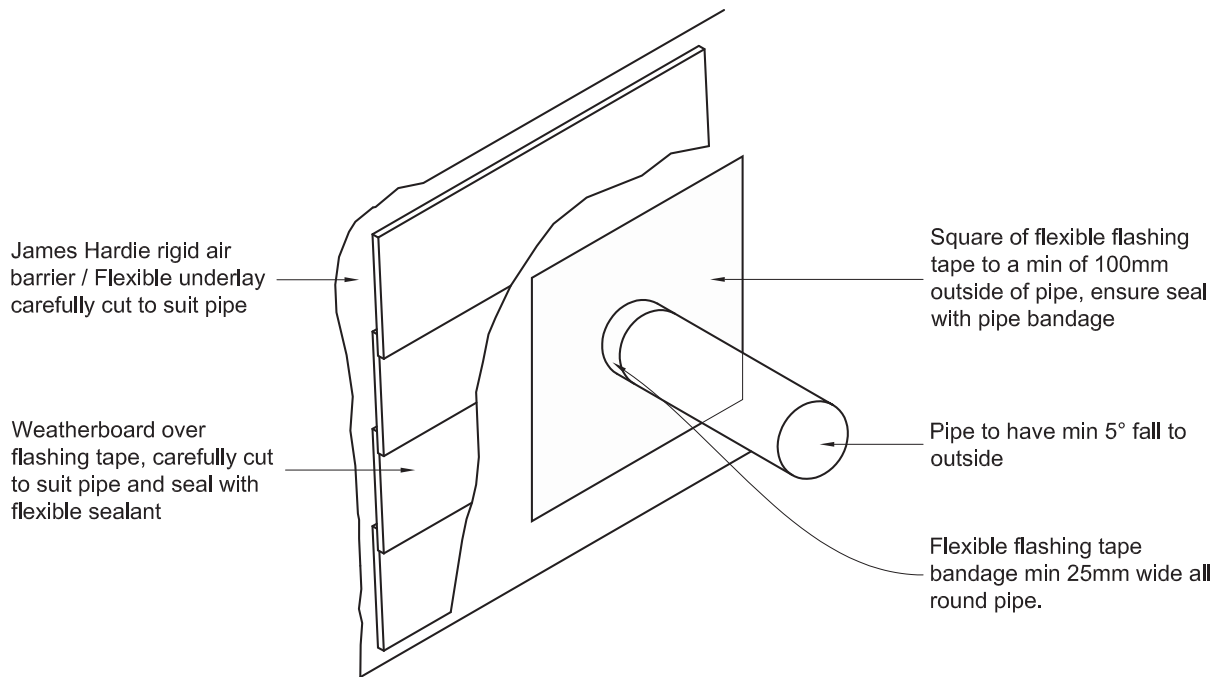
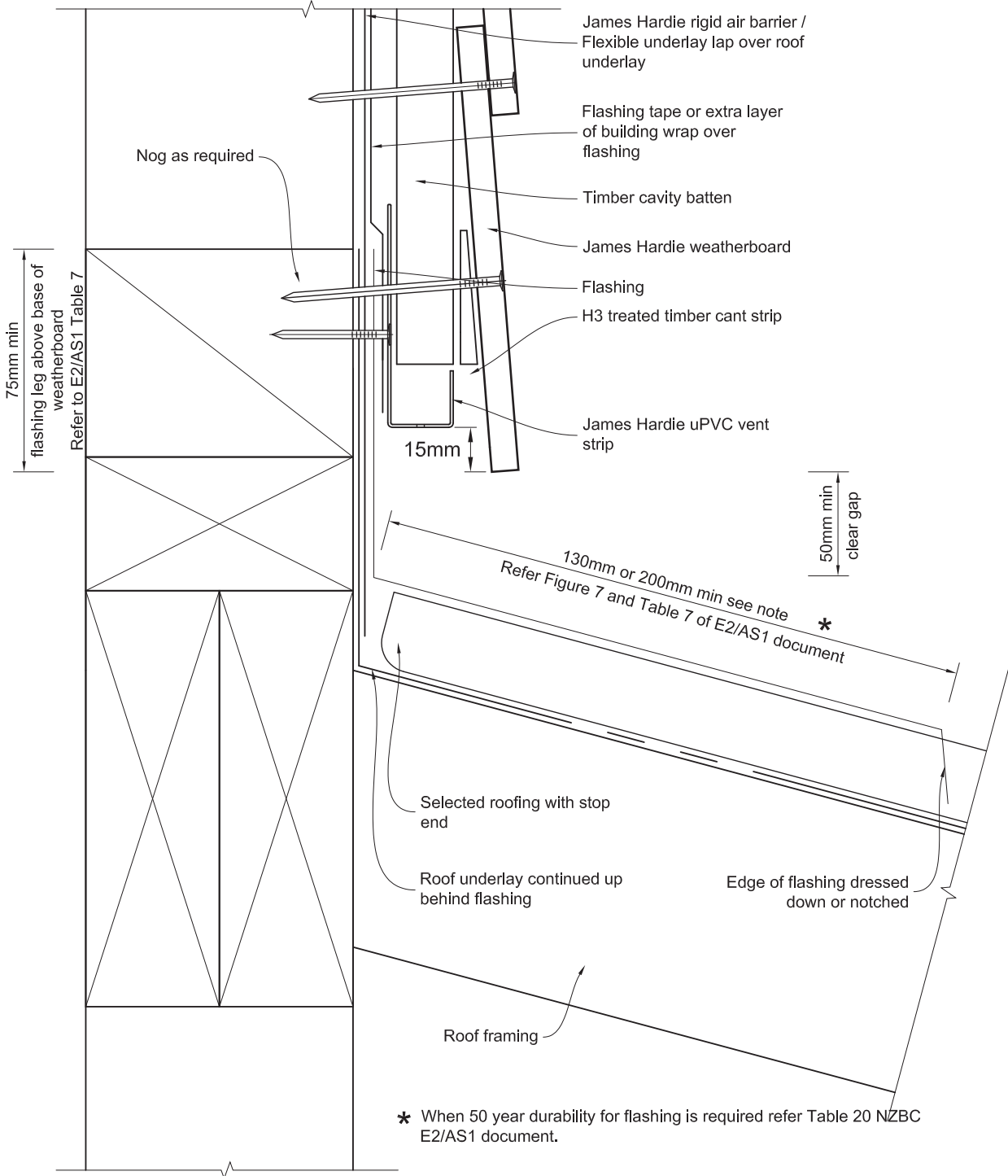


Figure 37: Cavity one piece apron flashing joint



Product Warranty

James Hardie

WEATHERBOARD

November 2015

James Hardie New Zealand ("James Hardie") warrants for a period of 15 years from the date of purchase that the James Hardie Weatherboards (the "Product"), will be free from defects due to defective factory workmanship or materials and, subject to compliance with the conditions below, will be resistant to cracking, rotting, fire and damage from termite attacks to the extent set out in James Hardie's relevant published literature current at the time of installation. James Hardie warrants for a period of 15 years from the date of purchase that the accessories supplied by James Hardie will be free from defects due to defective factory workmanship or materials.

Nothing in this document shall exclude or modify any legal rights a customer may have under the Consumer Guarantees Act or otherwise which cannot be excluded or modified at law.

CONDITIONS OF WARRANTY:

The warranty is strictly subject to the following conditions:

- a) James Hardie will not be liable for breach of warranty unless the claimant provides proof of purchase and makes a written claim either within 30 days after the defect would have become reasonably apparent or, if the defect was reasonably apparent prior to installation, then the claim must be made prior to installation.
- b) This warranty is not transferable.
- c) The Product must be installed and maintained strictly in accordance with the relevant James Hardie literature current at the time of installation and must be installed in conjunction with the components or products specified in the literature. Further, all other products, including coating and jointing systems, applied to or used in conjunction with the Product must be applied or installed and maintained strictly in accordance with the relevant manufacturer's instructions and good trade practice.
- d) The project must be designed and constructed in strict compliance with all relevant provisions of the current New Zealand Building Code ("NZBC"), regulations and standards.
- e) The claimant's sole remedy for breach of warranty is (at James Hardie's option) that James Hardie will either supply replacement product, rectify the affected product or pay for the cost of the replacement or rectification of the affected product.
- f) James Hardie will not be liable for any losses or damages (whether direct or indirect) including property damage or personal injury, consequential loss, economic loss or loss of profits, arising in contract or negligence or howsoever arising. Without limiting the foregoing James Hardie will not be liable for any claims, damages or defects arising from or in any way attributable to poor workmanship, poor design or detailing, settlement or structural movement and/or movement of materials to which the Product is attached, incorrect design of the structure, acts of God including but not limited to earthquakes, cyclones, floods or other severe weather conditions or unusual climatic conditions, efflorescence or performance of paint/coatings applied to the Product, normal wear and tear, growth of mould, mildew, fungi, bacteria, or any organism on any Product surface or Product (whether on the exposed or unexposed surfaces).
- g) All warranties, conditions, liabilities and obligations other than those specified in this warranty are excluded to the fullest extent allowed by law.
- h) If meeting a claim under this warranty involves re-coating of Products, there may be slight colour differences between the original and replacement Products due to the effects of weathering and variations in materials over time.

Disclaimer: The recommendations in James Hardie's literature are based on good building practice, but are not an exhaustive statement of all relevant information and are subject to conditions (c), (d), (f) and (g) above. However, as the successful performance of the relevant system depends on numerous factors outside the control of James Hardie (e.g. quality of workmanship and design) James Hardie shall not be liable for the recommendations made in its literature and the performance of the relevant system, including its suitability for any purpose or ability to satisfy the relevant provisions of the NZBC, regulations and standards, as it is the responsibility of the building designer to ensure that the details and recommendations provided in the relevant James Hardie installation manual are suitable for the intended project and that specific design is conducted where appropriate. James Hardie Weatherboards are classified as acceptable solution as per E2/AS1 and conforms to the requirements of NZBC when installed in accordance with the James Hardie Weatherboards Technical Specifications.

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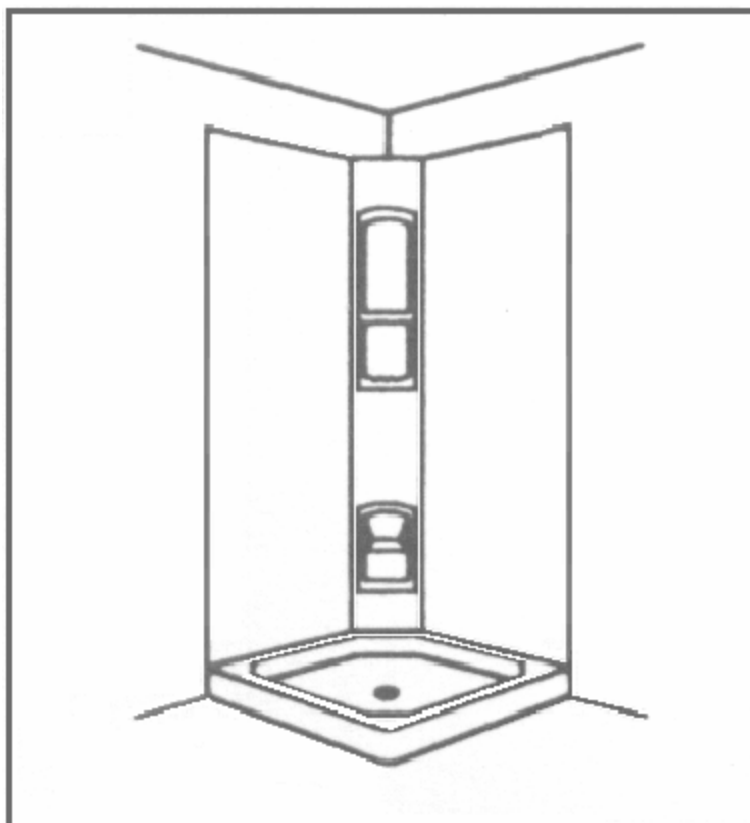
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Call 0800 808 868
www.jameshardie.co.nz







ACRYLIC SHOWER TRAY **AND ACRYLIC SHOWER LINING** **INSTALLATION INSTRUCTIONS**



Important note for Tiled Wall Installations.

Please check for any special installation requirements that may be required for the doors. Some doors will require the wall receivers to be fitted on top of the waterproof membrane prior to tiling application.

Dear Purchaser/Installer

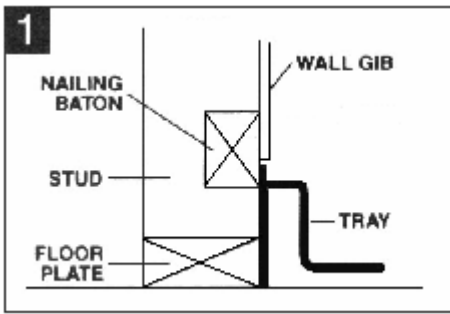
Thank you for purchasing a Clearlite Bathrooms product. We are proud to be 100% NZ owned and operated with over 30 years experience in the bathroomware industry. We hope you enjoy your Clearlite Bathroom experience.

You are about to install a Clearlite Bathrooms product. The unit that you have purchased has been designed and manufactured to the highest possible standard. Please read and ensure that you fully understand the installation principals and how they apply to your unit. Bear in mind that useful old adage - "measure twice and cut once".

Please note that before wrapping this product it was cleaned and polished under bright lights.

For your own peace of mind, please unwrap and check the product carefully as we cannot accept responsibility for damage that may occur in handling or installation.

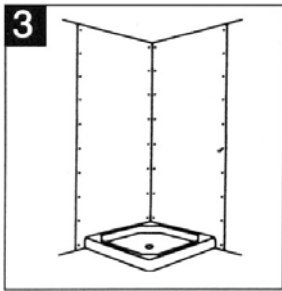
Important Note :- For ease of installation and best visual appearance you should ensure that the walls and floor are square, level and plumb.



Please read the complete installation instructions before proceeding.

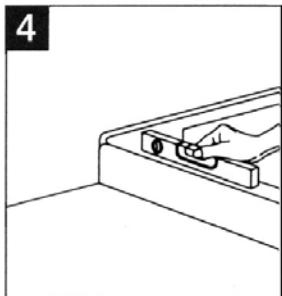


Use wet wall gib to line your walls and double nail into studs with a 200mm minimum centre. Do not stop, seal or sand the surface, as this will affect adhesion. At this stage, the hole in diagram 2 in which the waste is located needs to be filled with sand or dry mix on concrete floors, nogs on timber floor and levelled, this is to ensure tray and waste are supported on all load bearing areas particularly around the waste.



Place the shower tray into position, and mark around the tray. Cut away the gib 10mm above your pencil line and rebate the tray into the wall. Refer to diagram 1.

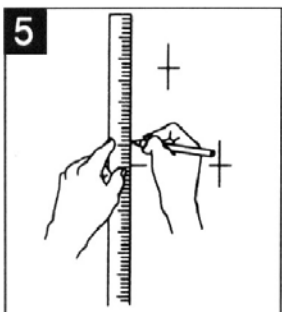
Note: Ensure walls are square and plumb and that the floor is level. If walls are not square, you may need to rebate the tray into the bottom plate and studs of the wall to ensure the wall lining fits properly.



Place the tray into position and check that it is level and that the tray and floor waste holes line up. Remove tray, apply "no more nails" or similar product to PVC rings, and a bead of silicone along the bottom plate of the walls (this will prevent squeaking), place tray into position.

Warning

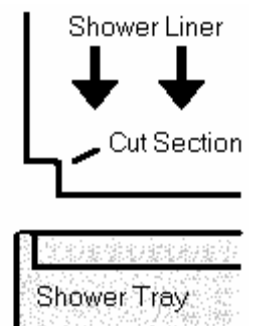
Warranty will be void if the base is not fully supported

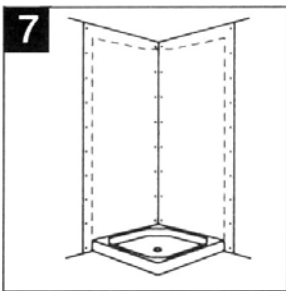


Have a plumber install the shower fittings, and then mark the position of the holes on the liner. Carefully drill holes in the liner for the shower fittings. Refer to page 4 for drilling details.

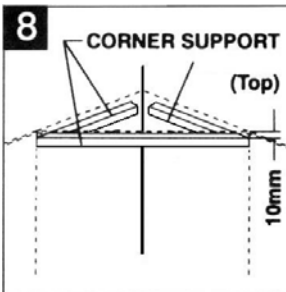


Trial fit the liner by taping it temporarily into position. If for any reason the liner requires cutting to the bottom corners (Pictured right) Use a fine tooth hacksaw and proceed with caution. Edges can be smoothed with a second cut file and medium fine sandpaper.

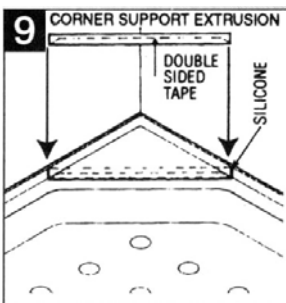




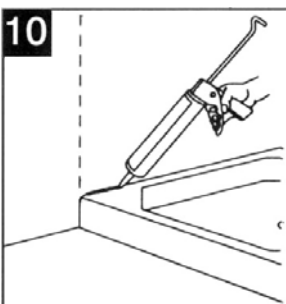
Mark around the liner before removing from wall.
Before gluing, ensure the gib surface is flat, clean and dry.
Any dust, protruding nails, loose paint or plaster will prevent the wall liner from adhering properly.



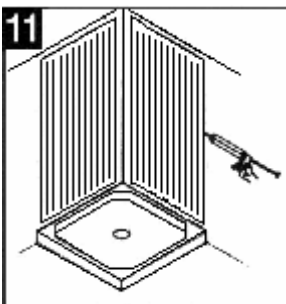
Steps 8 & 9 apply to **Millennium corner moulded liners only**.
Mark the wall where the liner cuts across the corner and fit top support extrusion strips (supplied with the liner) as shown in diagram 8. The diagonal strip should be fixed to the back of the liner. Once the liner is in position, fit and seal the plastic triangle cover supplied with the liner, over the support extrusion strips and seal in place within the white NG silicone



Having fitted the top support strips, fit bottom support extrusion to tray. This should be set at 45° across the corner of the tray to support the bottom edge of the corner liner. N.B. the corner support extrusion has double-sided tape fixed to one side to hold it in place on the tray. Refer to page 4.



Before fitting the liner, ensure both surfaces to be bonded are clean, dry and grease free. Apply a bead of silicone sealant along the top of the shower trays upstand as illustrated on page 4. This includes the bottom corner support extrusion for Millennium corner moulded liners. (See over page for more details).

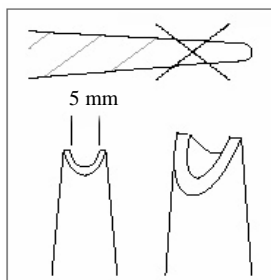


Use only the adhesive supplied.

Apply an adhesive bead of 5-6mm in vertical lines at approximately 50 mm centres, then a continuous bead 10 mm inside the perimeter of shower liner. As illustrated in diagram 11. Now place shower liner onto wall and firmly press over the entire sheet, ensuring that complete contact with all beads of adhesive is achieved. It is recommended that 3-sided liners be braced in position. Bracing if required should remain in position for not less than 18 hours. Do not use the shower for at least 24 hours after installation.

Poor adhesion may occur if instructions are not followed.
Refer to adhesive tube for manufactures recommendation.

- **The wallboard/gib should not be plastered/stopped as this will reduce adhesion.**
- **Do not attempt to adhere to painted or sealed wall boards/gib.**
- **Do not apply blobs of adhesive as these may cause unsightly undulations in the liner.**

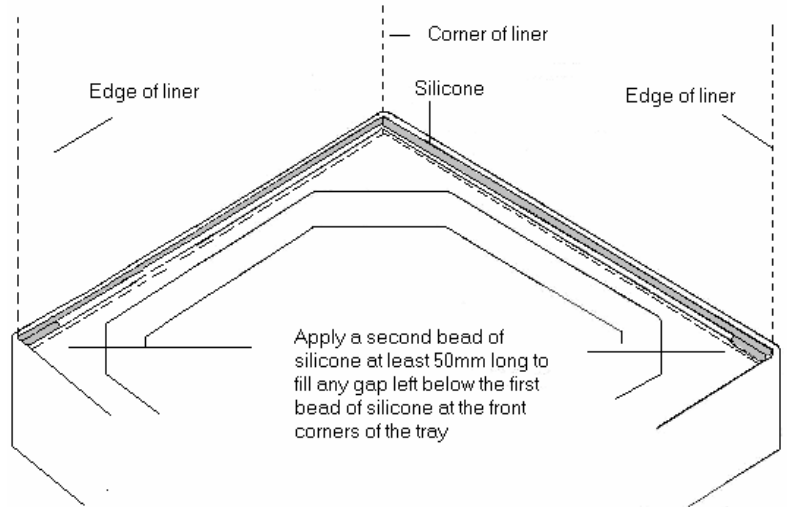


Finally, once liner is installed remove any silicone or adhesive that has been forced out during liner installation.

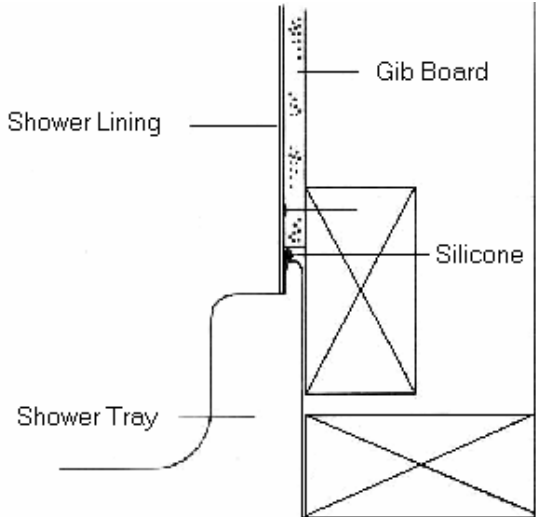
DETAIL APPLICATION OF SILICONE (Refer diagram 10 from page 3)

Silicone Application

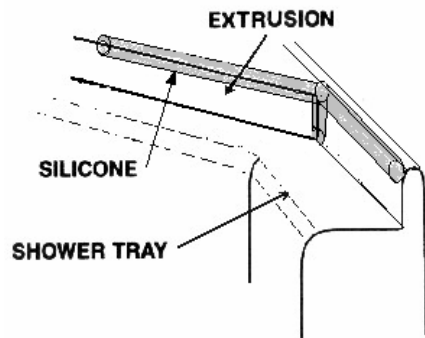
Note: No silicone should be visible inside shower.



Recessed Tray







Corner Support Extrusion Millennium Corner Moulded



In line with BRANZ recommendation, we suggest that silicone be applied to the top of the acrylic liner. This is to prevent any moisture penetrating down behind the lining.

If the acrylic is to be cut, use a fine tooth hacksaw and very carefully cut the acrylic. To smooth edges off use a fine tooth file or wet & dry sand paper. For a high sheen finish, use an abrasive cleaner such as Brasso to burnish. Small holes can be drilled using a twist drill with the cutting edge backed off with an oilstone (the sharp edge dulled) to prevent 'grabbing'. For larger holes, use a fine tooth hole-saw.

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Issue Date:- Aug 06

DESIGNTECH ARCHITECTURAL LTD

Building Specification

Employer/Client	TALB Alred Ltd
Designer	Andrew Duckworth (BP113354)
Builder	Unknown at this stage
Local Authority	Ashburton District Council
Date	6 th June 2017
Job Number:	22-04-17TA
Legal Description	Lot 30 DP40797
Site Location	40 Spaxton Street, Methven
Scope of Work	To convert the existing ski lodge into two 3 bedroom dwellings and one single bedroom studio unit. Build new walls and remove existing walls and re-clad sections of existing building where removal of windows and doors deems it necessary.

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Section 1 General Clauses

The contractor shall provide all labor and materials, supply and maintain the required plant and equipment etc. so all work can be carried out in accordance with the working drawings and this specification together with all Tertiary Authority by laws pertaining at the time of quotation.

1.01 All Trades

The General Conditions and requirements of the contract are equally binding on all trades. Each section of the specification shall be read in conjunction with conditions and requirements and with all other sections

1.02 Protection of Property

During the course of the work the Contractor and his Sub contractors shall take every precaution against unauthorized entry and damage to the client's premises and shall make good all damage at his expense.

1.03 Plant and Materials

Provide all plant and materials necessary for the completion of the contract. Unless otherwise specified all materials shall be new and of best quality. All materials brought onto site shall be properly stacked and covered where required or stored undercover.

1.04 Plans and Specifications

The working drawings with this specification and any special conditions attached shall form part of the contract. In the event of a difference between the working drawings and this specification the working drawings shall take precedence except reference to quantity or product which shall be contained herein. Figured dimensions shall take precedence over scaled dimensions.

1.05 Regulations and Consents

All work shall be carried out in accordance with the requirements of the New Zealand Building Code to the extent required by the NZ Building Act 2004. All necessary building consents under the Building Act and the NZ Building Code shall be obtained prior to commencement of works on site.

1.06 Setting Out

Set out all work as indicated. Verify all measurements on the job

1.07 Workmanship

Work of all trades shall be of first quality to best trade practice and to the manufacturers recommendations

1.08 Insurance

The contractor shall insure the building for the full contract price through his, 'Contractors All Risk' policy for the full duration of the works, until the date of possession by the owner. The contractor will take out and keep in force a public liability policy.

1.09 Scope of Work

Complete construction of a new dwelling

1.10 Subcontractors

All subcontractors shall be engaged and supervised by the builder except where by prior arrangement the client has employed his/her own subcontractor in which case he/she shall ensure cooperation by those trades. The client shall not negotiate any extras or variations with the contractor's subcontractor unless he/she has first consulted and received approval from the main contractor.

1.11 Temporary Services

The client shall allow for the provision of temporary water and electrical services according to local body satisfaction

1.12 Surplus Materials

All surplus materials, rubbish etc that may accumulate shall be carted away at regular intervals and the building and site shall be kept clean and tidy. Upon completion of the job the building shall have all surplus material and rubbish removed from site ready for cleaners prior to client taking possession of building.

1.13 Maintenance Period

The maintenance period shall be 30 Days from the date of completion of the contract

1.14 Guarantee

Generally all structure and materials shall comply with Section B2 – Durability under the Building Code. Any and all guarantees which the various manufacturers or suppliers may issue covering materials, workmanship and performance, shall be arranged by the contractor and shall be held responsible to see that all necessary documents, properly completed and signed, are handed to the owner at the completion of the contract.

1.15 Compliance

The contractor shall ensure that the Contract is carried out entirely according to the working drawings and specifications. No variations shall be made to the contract unless supplied in writing by the owner with the resulting costs being determined at the time the variations are agreed upon.

Section 2 Earthworks and Site Preparation

2.01 General

Clear unwanted vegetation and excavate topsoil and retain on site where directed by the client. Excavate for building and foundations to solid bearing. Excavate as directed for connection to services. All excavation for the building and foundations are to be supervised by the builder.

2.02 Site Access

The building site shall have suitable access provided for heavy vehicles. In the event that suitable access is not provided the contractor shall arrange same and any associated costs shall be passed onto the client.

2.03 Setting Out

The client shall be responsible for identifying the building site, locating and clearly identifying the boundary survey pegs prior to commencement of the works. The contractor is responsible for the accurate setting out of the building upon the site in accordance with the site plan of the proposed works. The contractor takes no responsibility for the accuracy of the boundaries or the boundary pegs.

2.04 Excavation

Excavation shall be carried out neatly to the line, levels, slopes and dimensions called for on the working drawings or as required for the satisfactory completion of the works.

The minimum depth of the foundations shall be that shown on the working drawings but should suitable bearing not be found at this depth, excavation shall be taken down until suitable bearing is reached. Any extra costs associated with not finding suitable bearing shall be passed onto the client. The contractor shall be responsible for the support of the sides to all excavations until these sides are supported by the new structure.

The contractor shall not be liable for any damage or deterioration of any work to the building or the site caused by or resulting from the inadequacy of earth fill or the negligent application thereof, and the owner indemnifies the contractor against any claim against him by any person whatsoever for damages or expenses incurred by faulty earth fill.

2.05 Backfill

(a) Beneath Footings: Where additional excavation is required.

1. When backfill depth is less than 600mm
Mass concrete (10MPa Crushing strength at 28 days)
2. When backfill depth exceeds 600mm
Mass concrete as for 1. or hardfilling consisting of rounded gravel, broken masonry, crushed rock or admixtures of the above placed and compacted in layers not exceeding 150mm deep

(b) Beneath Floor Slabs: As for (a)2. Above.

Section 3 Concrete

3.01 General

Make provisions and preparations and do all necessary work to receive or adjoin other work. All concrete construction shall comply with NZS3604:2011, NZS3104:2003, NZS3109:1997, NZS3112:1986, NZS3114:1987.

No concrete shall be placed until the formwork and reinforcing has been inspected by the appropriate authority.

All concrete must be well vibrated as it is being placed.

3.02 Concrete Strengths

<u>Grade</u>	<u>Strength</u>
Mass concrete backfilling and blinding layers	10MPa
Ordinary All other	20MPa

3.03 Concrete Floor Slab

The concrete work consists of strip footings and timber floors with a concrete floor slab contained to the basement area only. All in accordance with the engineers details and specification

3.04 Foundation Wall Footings

Foundation wall footings shall have soil bearing surfaces horizontal but may be stepped to accommodate variations in cleared ground level. Foundation wall footings to have reinforcing and shall be the sizes shown in the working drawings.

3.05 Reinforcing Steel

Shall be as shown on the working drawings and conforming to AS/NZS 4671:2001 and placed in accordance with NZS3109:1997 Mesh to conform to AS/NZS 4671:2001.

3.06 Moisture Membrane

A membrane of 250 micron polythene or equivalent shall be laid on a fine compacted base course. The membrane shall be lapped 100mm at all joints and sealed with purpose manufactured PVC tape. Ensure that all penetrations through the slab are sealed with PVC tape. Extra care is required when pouring concrete to avoid puncturing membrane.

3.07 Slab Finish

Upon placement of concrete this shall have an applied screed to an accurate level finish and upon concrete drying shall be finished with a power float or similar.

3.08 Curing of Concrete Slab

Protect fresh concrete from premature drying and extremes of temperature. Use suitable methods to limit evaporative drying and keep concrete damp for not less than 7 days. In winter protect from damage resulting from freezing.

Section 4 Concrete Block work

4.01 Materials and Workmanship

Exposed concrete blocks shall be approved sound concrete blocks free from defects. All concrete blocks shall be of approved manufacturer and contain a water resistant agent. Sand shall be clean and sharp, washed in clean fresh water and free from impurities. Blocks shall be laid by competent tradesmen to acceptable trade standards.

4.02 Mortar

Mortar shall be composed of 1 Part cement 4 Parts of clean sand and shall have an approved waterproof agent added in proportion of 6% of weight of cement.

4.03 Concrete Block work

All block work shall be constructed to the best trade standard and shall be coordinated with associated works. Ensure all blocks are protected on site and that defective blocks are not used on exposed faces. Wet blocks are not to be used for laying. Ensure all mortar joints are filled tight with mortar, weather struck on exterior face and concave on internal faces. Build in timber grounds, bolts etc. as required by associated trades. Ensure all block work is adequately braced prior to filling of cavities.

4.04 Reinforcing

Install steel reinforcing as shown on the working drawings and in accordance with NZS3604:2011

4.05 Clean Up

Upon completion of block laying ensure all surplus plaster, blocks and general debris is removed from site. Clean down all faces and leave free from all stains and defects.

Section 5 Carpentry

5.01 Workmanship

All carpentry work shall be carried out in accordance with the best trade practice, with NZS3604:2011 and the New Zealand Building Code B1,B2,E2,E3, & G6

5.02 Materials

All timber shall be the best of it's respective kind , free from defects and treated I accordance with NZS3602:2003

5.03 Schedule of Timbers

All framing timber including plates, studs, dwangs, fixings etc to be kiln dried machine stress graded Radiata or NZ Oregon. All beams and structural timber including purlins and rafters shall be either kiln dried machine stress graded Radiata or NZ Oregon. All other timber for finishing work – Untreated kiln dried Radiata or MDF/MUF Mouldings.

All Framing timber shall have a moisture content of between 12% - 16% the moisture content shall be based on the oven dry weight before linings are applied.

Trusses will be manufactured by an accredited Truss Manufacturer, and erected and set out as per the working drawings and manufacturers specification.

<u>Designation:</u>	<u>Size</u>	<u>Remarks</u>
Top and bottom plates Ext walls	90x45	Radiata KD MSG8 H1.2
Top and bottom plates Int walls	90x45	Radiata KD MSG8 H1.2
Ext wall studs	90x45	NZO MSG8 KD H1.2
Int wall studs	90x45	NZO MSG8 KD UT
Purlins	70x45	NZO MSG8 KD H1.2
Trusses	90x45	NZO KD MSG8 H1.2
Framing - All wall framing shall be braced as per the working drawings		

5.04 Wall Framing

Timber framed 90x45 external and 90mm internal walls as and where shown on the working drawings. Studs shall be full length at 400mm Max centers with extra studs at corners and junctions as required. Dwgangs shall be 45mm thick by full depth of wall at 800mm nominal centers and to suit wall linings and other fittings. Door and window trim opening lintels in accordance with NZS3604:2011. Entire framing structure will comply entirely with NZS3604:2011. Incorporate all beams as shown with a minimum of double studs beneath as support. Straighten all framing to the best Trade practice before lining.

See separate truss detailers layout drawings for details.

5.05 Damp Proofing

All timber abutting on to concrete or masonry surfaces shall be fully separated by a layer of three ply bituminous fabric or other approved damp course.

5.06 Roof Framing

Roof trusses erected and setout to manufacturer's specification as per working drawings, and securely spiked in position using nail plate fasteners as necessary.

Construct eaves framing as shown and at centers detailed.

See separate detailers mitek layout drawings for details.

5.07 Bracing

All bracing to be installed as per working drawings, bracing plan and per manufacturers instructions galvanized steel strap braces, sheet bracing, roof space and plane braces, all as shown and according to NZS3604:2011. Incorporate all galvanized fixing straps and holding down bolts as required by the various manufacturers of the bracing systems scheduled.

5.08 Vapour Barrier

To all external walls, cover walls with an approved breather type building wrap fixed and lapped at a minimum of 150mm.

Roofing underlay shall be beneath all metal roof claddings. Underlay shall be flame retardant breather type building paper complying with NZS2295:2006 and used in accordance with Acceptable Solutions E2/AS1.

Roofing underlay shall not be lapped less than 75mm at joints with upper sheet lapped over lower sheet, and support by corrosion resistant materials not more than 300mm centers

5.09 Insulation

All insulation must comply with the revised NZBC, E3 & H1

To the whole of the ceiling areas R3.6 fibreglass insulation quilt set between ceiling battens with ends tightly butted together.

To all external walls R2.6 fibreglass insulation quilt.

5.10 Interior Linings

All Internal walls lined as detailed and as specified in the working drawings, all carried out strictly in accordance with the various manufacturers instructions.

10mm standard GIB board to walls. Ceilings to be lined on Rondo ceiling battens at 400mm crs with 13mm standard GIB board with staggered joints across ceiling battens. All butt joints raised 3mm and back blocked.

Wet area walls to be lined with 10mm Aqualine GIB board, ceilings to be lined with 13mm Aqualine GIB board.

See drawings for fire resistant ceilings and party walls

5.11 Interior Trim

Architraves and skirtings are softwood as per working drawings.

Wardrobe and storage shelving is a proprietary brand metal shelving system fitted to areas indicated on the working drawings.

Section 6 Roofing

6.01 General

Exterior roof covering systems shall comply with relevant requirements of the NZBC relating to weather and corrosion resistance, condensation, and differential movement, and be of acceptable strength and durability.

6.02 Roofing

All roof claddings shall comply with NZS3403:1978 and supported and fixed to the manufacturers specification.

6.03 Corrugate Roofing to match existing

Corrugate Roofing

Corrugate roofing to be a minimum 0.7mm gauge. Side laps to be a minimum of one and a half corrugations or one rib for trapezoidal profile. Flash all openings through roof

Ridging

To be Aluminium edged 0.7 gauge colorsteel lapped 200mm at joints. Aluminium edges to be fitted to sheet corrugation.

Barges

Fit square edge barge with 300mm end lap to all joints

Fixing

Fix all sheets to purlins with approved manufacturers nails or screws. Fixings to be minimum of every second corrugation at top and bottom of sheet and every third corrugation at mid span

Flashings

Supply and install flashings to render building water tight. All flashings to be accurately fitted and shall be machine bent. Ensure compatible material is used when applying flashings.

Spouting and Downpipes

Supply and install stratco concept fascia and quad spouting compatible with roof. All spouting shall be fixed straight with even falls to downpipes. Fix downpipes in accordance with drainage plan. Entire installation shall be according to NZBC E2.

6.04 Cleaning

Remove all traces of swarf, broken rivets, screws, nails, or waste metal on roof and gutters.

Section 7 Aluminium Exterior Windows and Doors

7.01 General

The aluminium joinery supplier must manufacture and supply all aluminium windows complete with frames and fixing lugs and all head flashings as required, together with all primed timber reveal linings as required and in conjunction with industry code of practice issued by WANZ

7.02 Dimensions

All dimensions shown on the schedule take precedence over dimensions shown on plans and elevations.

7.03 Materials

- a) Performance All windows shall comply with NZS4211:1985
- b) Aluminium All sections shall be extruded from aluminium alloy designation to comply with AS/NZS 1866:1997. All mechanical joints shall be hairline and shall develop the full strength of the sections connected. All units shall be finished with a protective coating according to NZS4842.
- c) Aluminium Doors and Windows To be the color selected by the client.

7.04 Fittings

All latches, catches, operating gear and hinges shall be supplied and finished by the window manufacturer.

7.05 Glazing

Glazing shall be double glazed and carried out by aluminium window manufacturer all to comply with NZS4223:2008

7.06 Reveals

Construct reveals using finger jointed 20mm thick pre-primed LOSP H3.1 treated pine timber

Section 8 Exterior Claddings

8.01 General

Line all external walls as detailed and specified in the working drawings, all carried out strictly in accordance with the various manufacturers instructions, to comply with NZBC Acceptable Solutions E2/AS1. Claddings shall have cavities formed to manufacturer's instructions as per the E2 Risk Matrix.

8.02 Manufacturers Information

All Manufacturers cladding specification and installation instructions is attached as as an appendix as part of this Specification.

Section 9 Joinery

9.01 General

The work covered in this section includes the furnishing of all labour, equipment and materials necessary in connection with construction, supply, delivery and fixing of all joinery. Joinery is to be manufactured as per the working drawings.

9.02 Workmanship

All joinery shall be soundly constructed to the highest standard of workmanship. Only the highest standard of finish shall be accepted.

9.03 Doors and Frames

All internal door frames shall be 110x18mm finger jointed pre primed pine with 10mm planted stops. Internal doors shall be 38mm Starsmeare or similar paint grade MDF faced panels as indicated on schedule of materials attached as an appendix and shall be hung on one and a half pairs of butt hinges per leaf.

Section 10 Drainlaying

10.01 General

The whole of the work shall be carried by a licensed Drainlayer in accordance with the NZBC Sections E1, G12, G13, and AS/NZS3500: 2003 and to the approval of the local authority.

10.02 Scope

The work consists of laying foul drains and storm water drains to connections where shown on the site plan of the working drawings.

Provide all fittings necessary to complete the work and lay all drains at an even and consistent fall not less than 1:40 includes all trenching.

10.03 Excavations

Excavate as necessary for all drains and fittings. Backfill well consolidated after inspection clearance.

10.04 Pipes

Use PVC pipes as recommended by the manufacturers for appropriate purposes, unless otherwise specified or as directed by the Local Authority.

10.05 Storm Water

Entire system shall be installed according to Acceptable Solutions as stated in NZBC Section E1 completely in PVC.

10.06 Sewer Drains

Entire system shall be installed according to Acceptable Solutions as stated in AS/NZS1260:2002. Fit all necessary junctions, bends, connections and inspection fittings. Check positions and levels of all wastes and set gully traps on solid beds. Cap with grating.

10.07 Testing

Arrange for all testing to be carried out and seek approval of the Local Authority prior to backfilling.

Section 11 Plumbing

11.01 General

All plumbing work shall be carried out by a licensed plumber and shall be in full accordance with NZBC E1, E2, G12 and G13 and best trade practice. Give all necessary notices to the interested authorities for connections, inspection and testing of the works.

11.02 Scope

The work includes the whole of the sanitary and general plumbing work as per the working drawings, including hot and cold water reticulation, installation of all sanitary fittings, and supply and installation of hot water cylinder. Sub-contractor is to remove all waste material from site.

11.03 Water Supply

The proposal will involve utilising the existing water supply. Reticulate and insulate to all outlets as required and as necessary. Isolating valves shall be provided and installed where necessary.

Hot and cold water shall be reticulated through 20mm diameter main line polybutylene pipe with 15mm diameter to all fixtures. Pipes will be lagged with a Thermatec (or similar) foam lagging insulation where required.

11.04 Wastepipes

Join WC pan to drain above floor level using approved joint. Bath, shower, kitchen and Laundry wastes shall be not less than 38mm diameter. All waste pipes shall be approved PVC and fitted secure with adequate fall to all drains.

11.05 Hot Water System

Hot water shall be a water cylinder and all will be fitted with a tempering valve with a maximum setting of 55 degreeec C. Connect cold water supply as specified mains pressure.

The whole installation to be fitted to the manufacturer's recommendations and to the local authorities approval. All will be fitted by an approved fitter.

11.06 Taps

Plumber to fit all plumbing fixtures including mixers, taps, shower heads etc. Plumber shall provide where directed 12mm brass hose taps to positions agreed with the client. Tap ware and plumbing fixtures not supplied by the plumber are shown on the schedule of materials attached to this specification as an appendix.

11.07 Tests

Hot and cold water pipes to be water tested to a pressure of 1500kpa

11.08 Fireplace

No fireplaces on this project

Section 12 Electrical

12.01 General

Provide all labour and materials necessary to complete the electrical works as set out on the working drawings (supplied by others) and in accordance with these specifications. All work to be carried out by registered tradesmen in accordance with the specification and in conformity with the Electrical Wiring Regulations and amendments and NZBC G9.ECP51 1993. Obtain and pay for the necessary permits from the local authority prior to commencement of works on site.

12.02 Scope

The work of this section includes the supply and installation of wiring, light fittings, complete with bulbs, switches, sockets, etc as per the electrical layout and shall be carried out in accordance with best trade practice.

Sub-contractor is to remove waste material from site.

12.03 Mains Cable

Allow to co operate with Electricity Department to provide and install from boundary to distribution board, a neutral screen cable. Allow to trench cable 700mm below ground level and backfill. Charges applicable will be included in electrical price.

12.04 Materials

All materials used to conform with this contract shall be the best of their respective kinds, free from all defects and approved by the contractor before being incorporated in the installation.

12.05 Switchboard

Position switchboard as detailed on the electrical layout. Provide hinged composition panel recessed into the wall of sufficient size to take all switches, circuit breakers etc.

Supply meter box as required by the regulations, to be installed as per the working drawings.

12.06 Light Points

Provide light points as shown on the electrical layout. Provide energy efficient light bulbs to all fittings.

12.07 Light Switches

All light switches are to be 1200mm from the floor line.

12.08 Power Points

Provide power points at positions detailed on the electrical layout. Allow for 10 amp 3 pin power outlets fixed at 300mm from the floor line.

12.09 Television Wiring

Supply and install TV cable from points as shown on the electrical layout to suitable position at roof. Supply and install suitable TV aerial to receive the main TV channels in the area.

12.10 Telephone

Wire for telephone outlets as shown on the electrical layout. Client to arrange telephone cable to accommodation site.

12.11 Special Electrical and Light Fittings

Unless otherwise stated special electrical and light fittings are not included in the contract

12.12 Electric Cooker

Install electric cooker. Complete guarantee card and pass to contractor.

12.13 Dishwasher Allow for complete installation of Dishwasher

Section 13 Interior Plastering

13.01 General

All internal plastering to be carried out to the best trade practice to the Winstones stopping recommendations. All gib stopping is to be carried out in a 4 coat system as specified in the Winstones manual.

13.02 Scope

All Joints and defects are to be stopped in accordance with a level 4 standard of finish suitable for a non textured paint finish.

Section 14 Painting

14.01 General

The painting works on this contract shall be in accordance with best trade standards and upon completion of works shall be left in a clean and tidy state.

14.02 Application

All work included herein shall be executed by experienced tradesmen in a first class workmanlike manner. All prepared paints shall be applied in strict conformity with the manufacturer's directions. Prepare all areas which are to be painted prior to application of undercoat. Ensure that all surfaces are sanded between coats of paint and that blemishes are removed prior to application. Ensure all coats are thoroughly dry prior to application of subsequent coats. Colors to be advised by the client.

14.03 Wet Area Application

Where a 'wet area' paint system is required 1 Coat of Resene Sureseal alkyd primer plus and 2 coats waterborne enamel paint such as Resene Lustacryl (semi gloss) or Resene Zylone Spacecote (Low sheen) is to be used in accordance with the manufacturers recommendations and instructions.

Section 15 Floor Coverings

15.01 Qualifications

All floor coverings are to be laid by a qualified tradesman the best trade practice, the tradesman must have worked with and is familiar with the materials and techniques as specified.

15.02 Wet Areas

Kitchen, Bathroom and Laundry areas to have Vinyl and/or Tile floor covering supplied by owner.

15.02 Scope

Allow to supply and install all floor coverings as specified

15.03 Preparation

Check all surfaces are in good order before applying floor coverings, and if not allow to prepare unsuitable surfaces, by filling, grinding or any other method suitable.

15.04 Cleanup

Leave all areas free of adhesive, dirt and dust. Vacuum all areas when completed. Subcontractor to remove waste material from site

IMAGES NOTE:
Illustrations are indicative only and should not be used for construction



**Proposed Lodge Conversion Into
Two Dwellings**
for
TALB Alred Ltd
Lot 30 DP40797
38 Spaxton Street
Methven


Table of Drawings

01	Images Cover Sheet
02	Proposed Site Layout
03	Existing Floor Plan
04	Existing Elevations
05	Proposed Floor Plan
06	Proposed Elevations
07	NZS4218:2009 Calculations
08	Door & Window Schedule
09	Foundation Layout & Details
10	Cross Section A-A&B-B
11	Bathroom Details
12	Cladding Details
13	Existing Roof Layout
14	Services Layout

Approved Building
Consent Documents
BC0360/17
Ashburton District Council

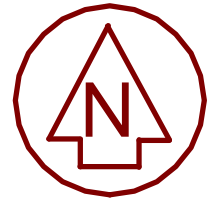
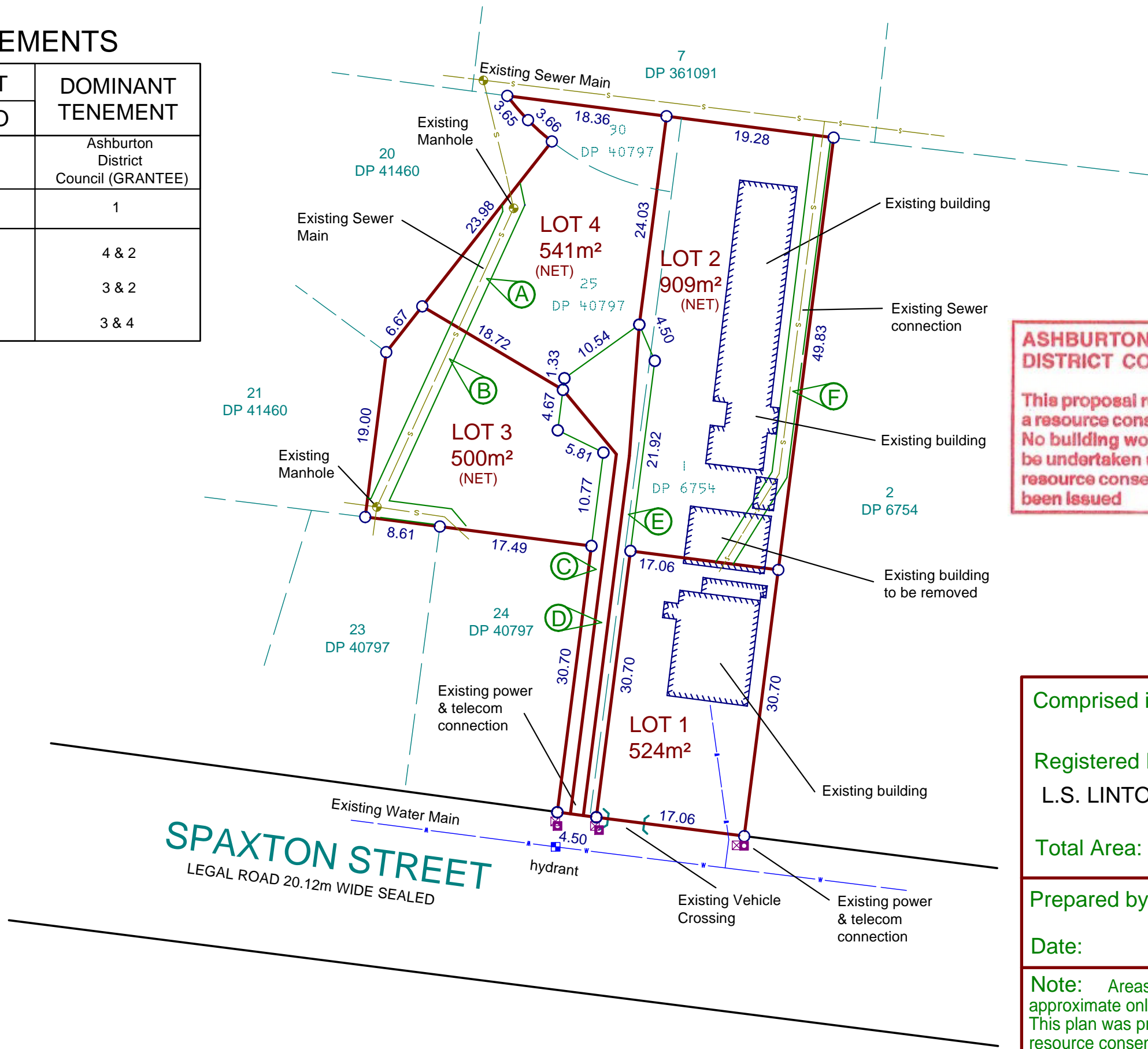
**ASHBURTON
DISTRICT COUNCIL**

**This proposal requires
a resource consent
No building work is to
be undertaken until the
resource consent has
been issued**

Proposed Lodge Conversion Into Two Dwellings For: TALB Alred Ltd 22-04-17TA	Site Address Lot 30 DP40797 38 Spaxton Street Methven	Sheet title Images Cover Sheet		CONSTRUCTION ISSUE 1 A of 14	Revision A 03.07.17 - Drawing Updated	 DESIGNTECH ARCHITECTURAL LTD Tel:03 6937 360 Cell:021 175 4276 E-Mail:Theduckworths@xtra.co.nz 508 Winchester-Geraldine Road, RD21, Geraldine, 7991.
		Designer LBP No. BP113354	Builder LBP No. Date 01.05.17			

MEMORANDUM OF EASEMENTS

PURPOSE	SERVIENT TENEMENT		DOMINANT TENEMENT
	SHOWN	LOT NO	
Right to drain sewage in gross	A	4	Ashburton District Council (GRANTEE)
	B	3	
Right to drain sewage	F	2	1
Right of way	C	3	4 & 2
Right to convey telecom, power & water	D	4	3 & 2
	E	2	3 & 4



ASHBURTON DISTRICT COUNCIL

This proposal requires a resource consent. No building work is to be undertaken until the resource consent has been issued.

Approved Building Consent Documents
BC0360/17
 Ashburton District Council

Comprised in: CB31B/730
 CB354/160

Registered Proprietor(s):
 L.S. LINTON

Total Area: 2757m²

Prepared by:

Date:

Note: Areas and dimensions are approximate only and subject to survey. This plan was prepared to accompany a resource consent application and is not to be relied on or used for any other purpose.

David Smith Surveying Ltd
 Licensed Surveyors
 Land Development Consultants

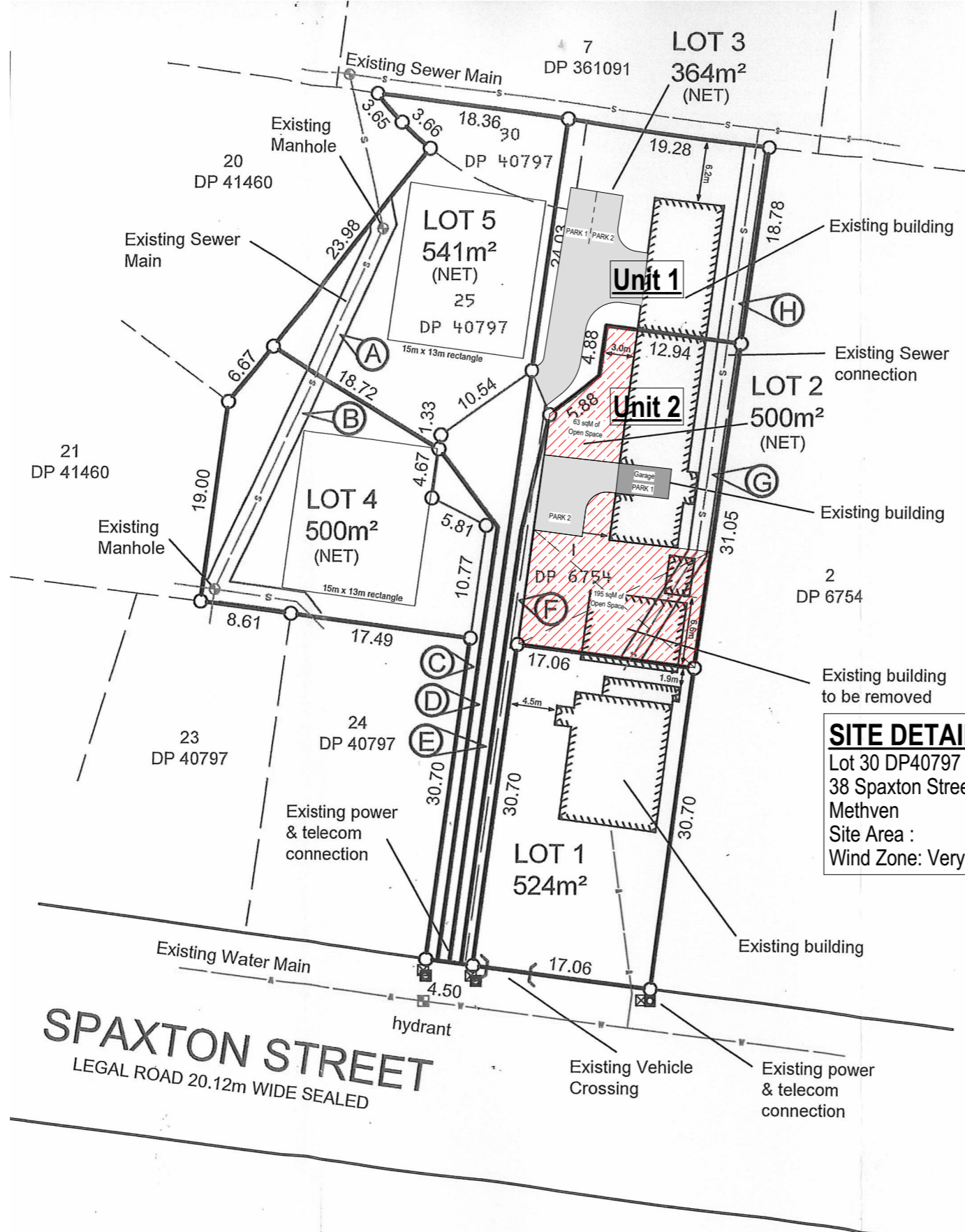
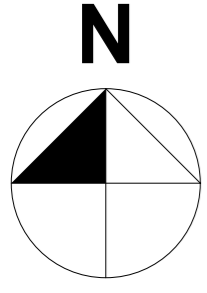
PROPOSED LOTS 1-5 BEING SUBDIVISION OF
 LOTS 25 & 30 DP 40797 AND LOT 1 DP 6754

Territorial Authority
 ASHBURTON DISTRICT COUNCIL

Land District CANTERBURY

Scale 1: 500 (A3)
 Date: 03/17
 File: 5204

SITE PLAN NOTE:
Site Plan is produced from information supplied by others and all information shall be checked on site prior to construction



MEMORANDUM OF EASEMENTS

PURPOSE	SERVIENT TENEMENT		DOMINANT TENEMENT
	SHOWN	LOT NO	
Right to drain sewage in gross	A	4	Ashburton District Council (GRANTEE)
	B	3	
Right to drain sewage	G	2	1
	H	3	2, 1
Right of way	C	4	2, 3 & 5
Right to convey telecom & water	D	5	2, 3 & 4
	E	3	2, 4 & 5
	F	2	3, 4 & 5

Unit 1 - 3 Bed Unit

Unit 2 - 3 Bed Unit Garage and Studio

SITE DETAILS
Lot 30 DP40797
38 Spaxton Street
Methven
Site Area :
Wind Zone: Very High

Approved Building
Consent Documents
BC0360/17
Ashburton District Council

ASHBURTON DISTRICT COUNCIL
This plan shall be read in part of
Resource consent no: 54B.17/0018
Sheet: 1 of 14
Date 18/5/17 Planner RWZ

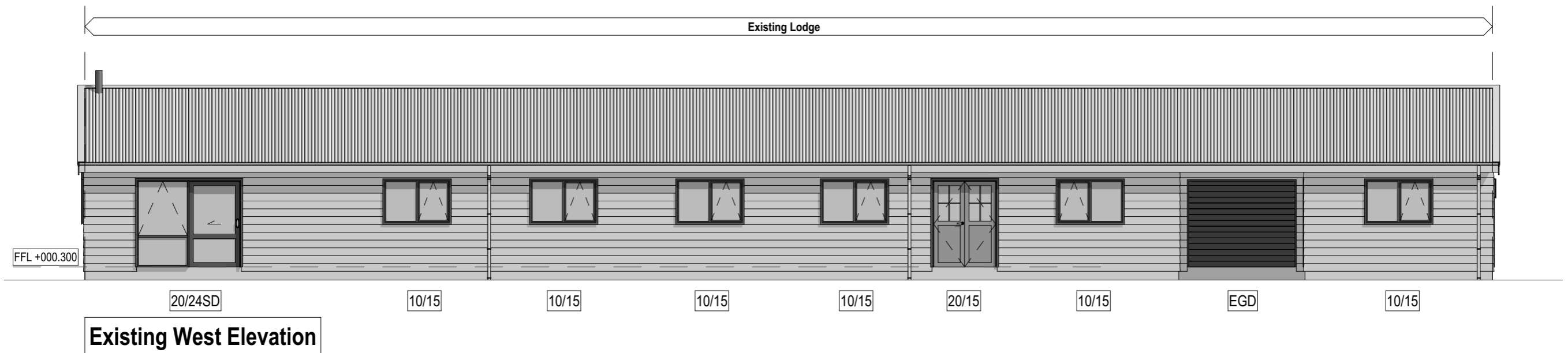
Proposed Lodge Conversion Into Two Dwellings For: TALB Alred Ltd 22-04-17TA	Site Address Lot 30 DP40797 38 Spaxton Street Methven	Sheet title Site Layout	CONSTRUCTION ISSUE 2 C of 14 Job No: 22-04-17TA Scale: 1:750	Revision A 21.06.17 - Site plan updated with latest sub division plan B 26.06.17 - Site plan updated with approved survey plan C 03.07.17 - Site plan updated	DESIGNTECH ARCHITECTURAL LTD Tel: 03 6937 360 Cell: 021 175 4276 E-Mail: TheDuckworths@xtra.co.nz 508 Winchester-Geraldine Road, RD21, Geraldine, 7991.
	Designer LBP No. BP113354	Builder LBP No. Date 01.05.17		Document Set ID: 731824 Version: 1, Version Date: 06/11/2023	



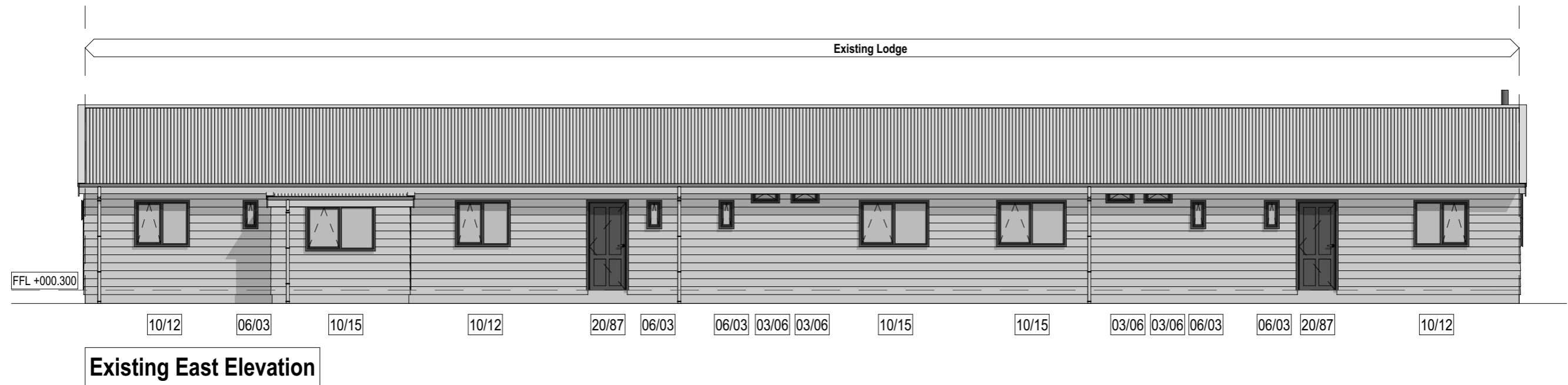
Existing Ground Floor Plan
 Floor Area over foundation 210.00m²
 Roof Area 267.00m²


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 BC0360/17
 Ashburton District Council

Proposed Lodge Conversion Into Two Dwellings For: TALB Alred Ltd 22-04-17TA	Site Address Lot 30 DP40797 38 Spaxton Street Methven	Sheet title Existing Floor Plan	CONSTRUCTION ISSUE 3 of 14	Revision	 DESIGNTECH ARCHITECTURAL LTD Tel:03 6937 360 Cell:021 175 4276 E-Mail:Theduckworths@xtra.co.nz 508 Winchester-Geraldine Road, RD21, Geraldine, 7991.
	Designer LBP No. BP113354	Builder LBP No. Date 01.05.17		Job No. 22-04-17TA Scale 1:100	



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Consent Documents
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Ashburton District Council



Proposed Lodge Conversion Into Two Dwellings For: TALB Alred Ltd 22-04-17TA	Site Address Lot 30 DP40797 38 Spaxton Street Methven	Sheet title Existing Elevations			CONSTRUCTION ISSUE 4 of 14	Revision Job No: 22-04-17TA Scale: 1:100	 DESIGNTECH ARCHITECTURAL LTD Tel:03 6937 360 Cell:021 175 4276 E-Mail:Theduckworths@xtra.co.nz 508 Winchester-Geraldine Road, RD21, Geraldine, 7991.
		Designer LBP No. BP113354	Builder LBP No.	Date 01.05.17			

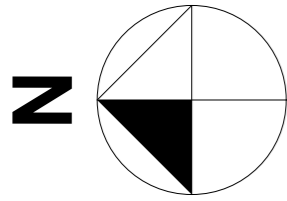


Table 2: Acceptable Slip Resistance for Walking Surfaces
Paragraphs 2.1.2, 3.1.4 and 4.1.4 c)

Walking surface ^{1m}	Level surface ^{2m}		Sloping surface ^{2m} or stairs ^{2m}		Typical values for coefficient of friction (wet)
	Acceptable dry slip resistance	Acceptable wet slip resistance	Acceptable dry slip resistance	Acceptable wet slip resistance	
Timber					
Uncoated smooth	Yes	No	No	No	0.20 – 0.35
Uncoated profiled ^a					
– across profile	Yes	Yes	Yes	Test	0.35 – 0.60
– along profile	Yes	No	No	No	0.15 – 0.20
Coated (paint, polyurethane, etc)	Yes	No	No	No	0.10 – 0.30
Coated and sand/grit impregnated ^b	Yes	Yes	Yes	Yes	0.55 – 0.90
Portland cement concrete					
Smooth trowelled finish (Class U3) ^b	Yes	No	Yes	No	0.30 – 0.45
Broomed (Class 5 or 6) ^b or wood float finish (Class U2)	Yes	Yes	Yes	Yes	0.65 – 0.85
Coated (paint, polyurethane, etc)	Yes	No	No	No	0.20 – 0.30
Coated and sand/grit impregnated ^b	Yes	Yes	Yes	Yes	0.55 – 0.90
Exposed aggregate finish					
– rounded aggregate	Yes	Test	Yes	Test	0.40 – 0.70
– crushed aggregate	Yes	Yes	Yes	Yes	0.60 – 0.90

2.0 Level Access Routes

2.1 Slip resistance

2.1.1 Level access routes to which the public has access, including level accessible routes, shall have a mean coefficient of friction μ , of not less than 0.4 when tested in accordance with AS/NZS 3661.1 (see D1/MM1). Requirements for ramps and stairways are given in Paragraphs 3.1.4 and 4.1.4.

COMMENT:

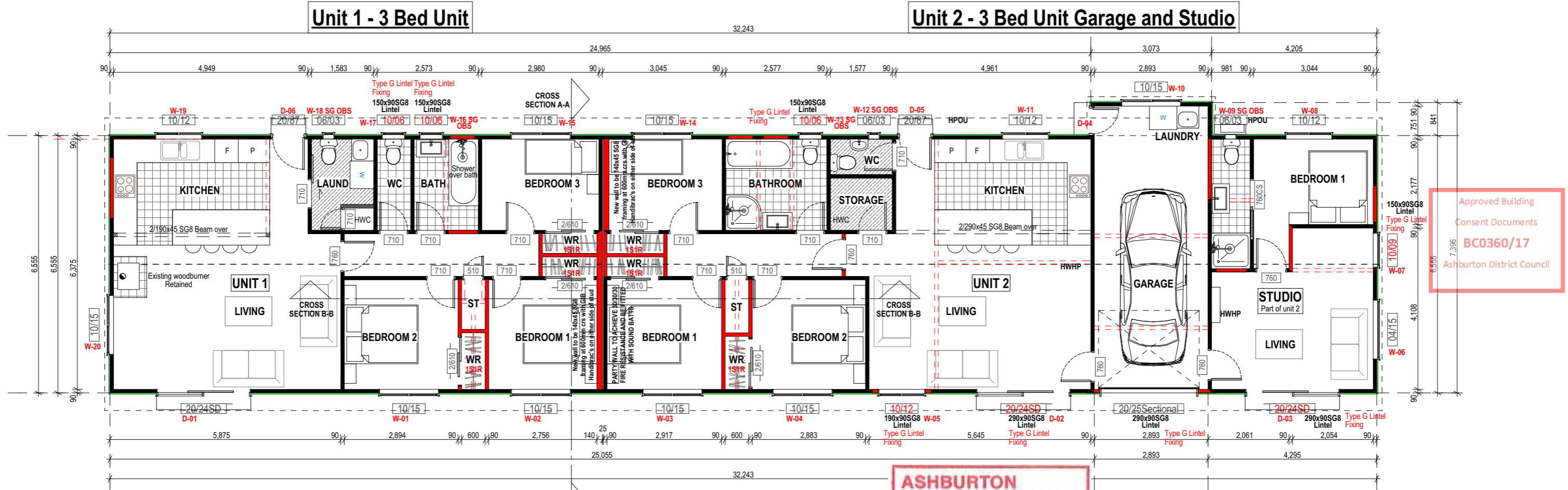
- Access routes to which the public have access include walking surfaces such as decks, patios and steps on the approach to the main entrance to Housing, and common areas of Communal Residential and Multi-unit dwelling accommodation.
- For other access routes a coefficient of friction of less than 0.4 may be acceptable, but account should be taken of the effectiveness of the surface when worn or wet.

2.1.2 For a level access route which is intended to remain dry under normal usage, any of the commonly used walking surfaces listed in Table 2 will provide adequate slip resistance ($\mu > 0.4$).

COMMENT:

- A cleaning regime should be established by the building owner to effectively maintain the slip resistance of the walking surface.
- Whenever a normally dry surface is wet, such as from cleaning or isolated spillage, at a time when the public have access, adequate signage should be used to identify the hazard. (Many walking surfaces which are slip resistant in the dry become very slippery when wet and can be the cause of slip injuries as pedestrians are unaware of the rapid change of slip resistance and have not altered their gait accordingly.)
- Slipping may still occur on slip resistant walking surfaces as other factors such as the use of unsuitable footwear or unusual gaits also influence slip resistance.

2.1.3 The walking surface for a level access route which may become wet during normal usage (for example, outdoor access routes or entranceways where water can be tracked indoors when it is raining) shall be selected from the list of acceptable wet slip resistant surfaces given in Table 2.



Proposed Ground Floor Plan

Floor Area over foundation 210.00m²
Roof Area 267.00m²

Floor Coverings

- House - Specified carpet
- Specified Non-Slip Vinyl Flooring
- Specified Tiles

Party Wall Construction:

Two New 140x45 party walls upto underside of roofing iron with 2/10mm standard Gib to each side (GBT(L) A 30a
All to be fitted with sound deadening batts to give an STC Rating of 58 and a fire rating of 30/30/30

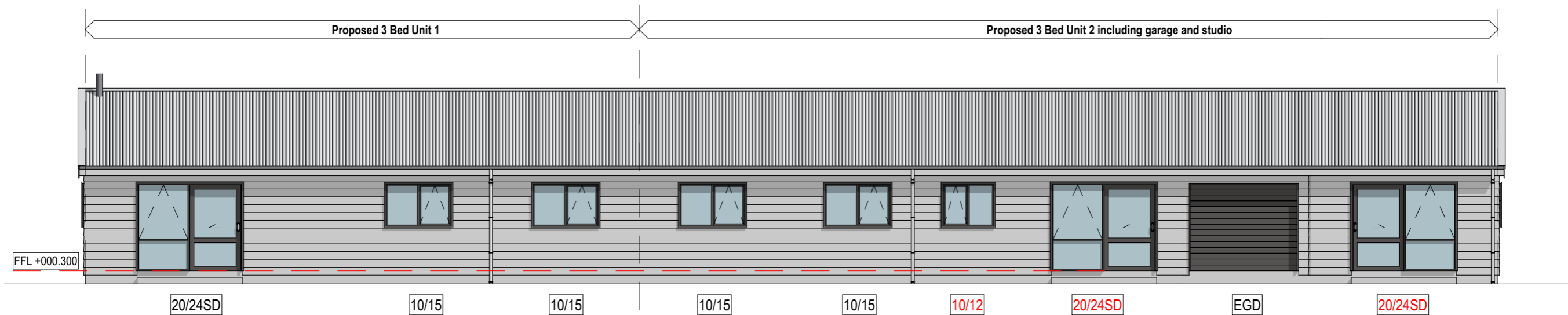
New External Steps:

All new external steps shall comply with D1/AS1

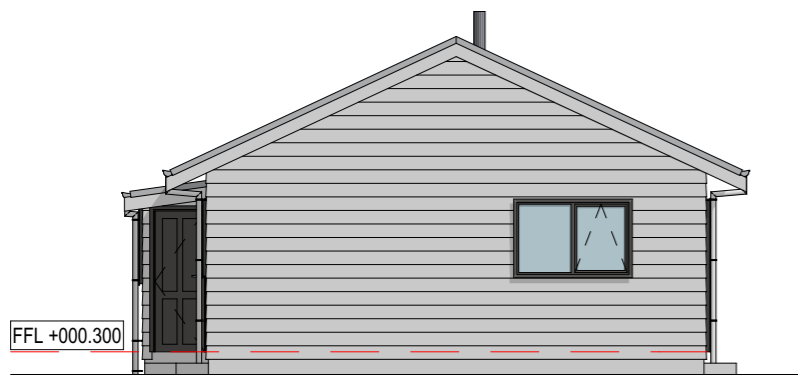
ASHBURTON DISTRICT COUNCIL
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DOUBLE TIMBER FRAME WALLS						
SPECIFICATION No.	LB/NLB	STC	RW	FRR	LINING REQUIREMENTS	PAGE
GBT(L)A 30a	LB	58	57	(30)/30/30	2 x 10mm GIB® Standard Plasterboard each side	16
GBT(L)A 30b	LB	58	57	(30)/30/30	2 x 10mm GIB Noiseline® one side 1 x 10mm GIB Noiseline® on other side	17
GBT(L)A 60	LB	60	59	(60)/60/60	2 x 10mm GIB Fyrelite® each side	18
GBT(L)A 90c	LB	63	62	(90)/90/90	2 x 13mm GIB Fyrelite® each side	19
GBT(L)A 90d	LB	68	67	(90)/90/90	2 x 13mm GIB Noiseline® each side	20

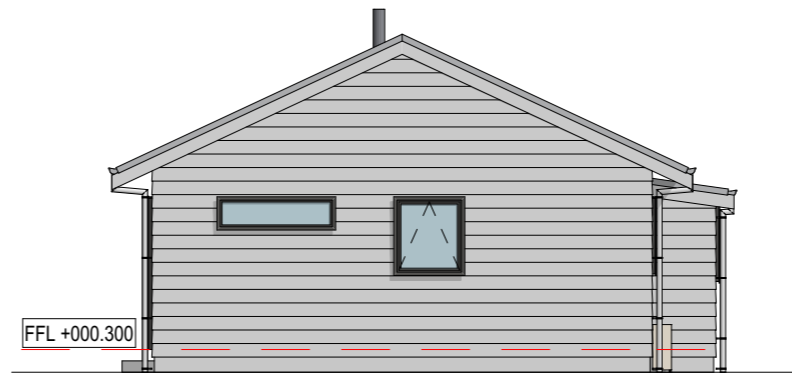
Proposed Lodge Conversion Into Two Dwellings For: TALB Alred Ltd 22-04-17TA	Site Address Lot 30 DP40797 38 Spaxton Street Methven	Sheet title Proposed Floor Plan Designer LBP No. BP113354 Builder LBP No. Date 01.05.17	CONSTRUCTION ISSUE 5 B of 14 Job No: 22-04-17TA Scale: 1:100	Revision A 26.06.17 - DWG updated B 03.07.17 - DWG updated	DESIGNTECH ARCHITECTURAL LTD Tel: 03 6937 360 Cell: 021 175 4276 E-Mail: TheDuckworths@xtra.co.nz 508 Winchester-Geraldine Road, RD21, Geraldine, 7991.
				Document Set ID: 731824 Version: 1, Version Date: 06/11/2023	



Proposed West Elevation



Proposed North Elevation



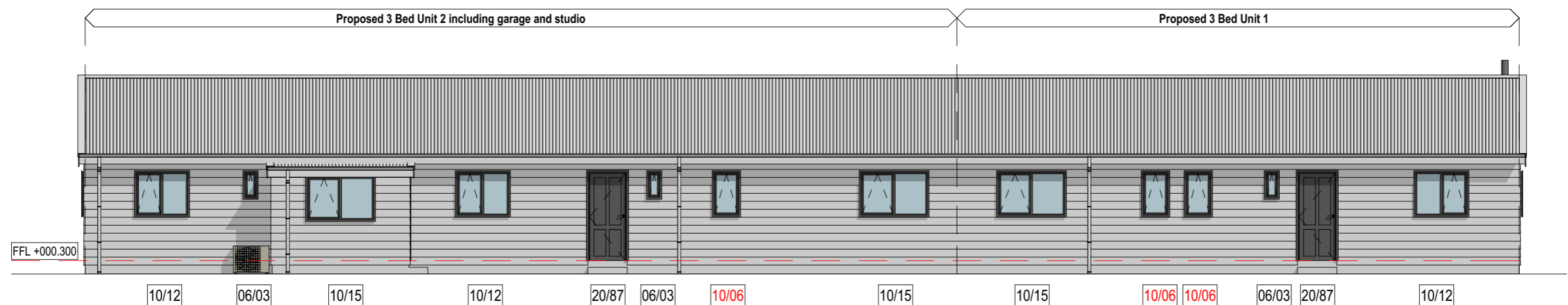
Proposed South Elevation

BUILDING ENVELOPE RISK MATRIX		
North Elevation		
Risk Factor	Risk Severity	Risk Score
Wind zone (per NZS 3604)	Very high risk	2
Number of storeys	Low risk	0
Roof/wall intersection design	Low risk	0
Eaves width	Medium risk	1
Envelope complexity	Medium risk	1
Deck design	Low risk	0
Total Risk Score:		4

BUILDING ENVELOPE RISK MATRIX		
West Elevation		
Risk Factor	Risk Severity	Risk Score
Wind zone (per NZS 3604)	Very high risk	2
Number of storeys	Low risk	0
Roof/wall intersection design	Low risk	0
Eaves width	Medium risk	1
Envelope complexity	Medium risk	1
Deck design	Low risk	0
Total Risk Score:		4

BUILDING ENVELOPE RISK MATRIX		
East Elevation		
Risk Factor	Risk Severity	Risk Score
Wind zone (per NZS 3604)	Very high risk	2
Number of storeys	Low risk	0
Roof/wall intersection design	Low risk	0
Eaves width	Medium risk	1
Envelope complexity	Medium risk	1
Deck design	Low risk	0
Total Risk Score:		4

BUILDING ENVELOPE RISK MATRIX		
South Elevation		
Risk Factor	Risk Severity	Risk Score
Wind zone (per NZS 3604)	Very high risk	2
Number of storeys	Low risk	0
Roof/wall intersection design	Low risk	0
Eaves width	Medium risk	1
Envelope complexity	Medium risk	1
Deck design	Low risk	0
Total Risk Score:		4



Proposed East Elevation

Proposed Lodge Conversion Into Two Dwellings For:

TALB Alred Ltd

22-04-17TA

Site Address
Lot 30 DP40797
38 Spaxton Street
Methven

Sheet title
Proposed Elevations

Designer LBP No. **BP113354** Builder LBP No. Date 01.05.17

CONSTRUCTION ISSUE

6 A of 14 Job No: 22-04-17TA Scale: 1:100

Revision A 03.07.17 - Drawing Updated

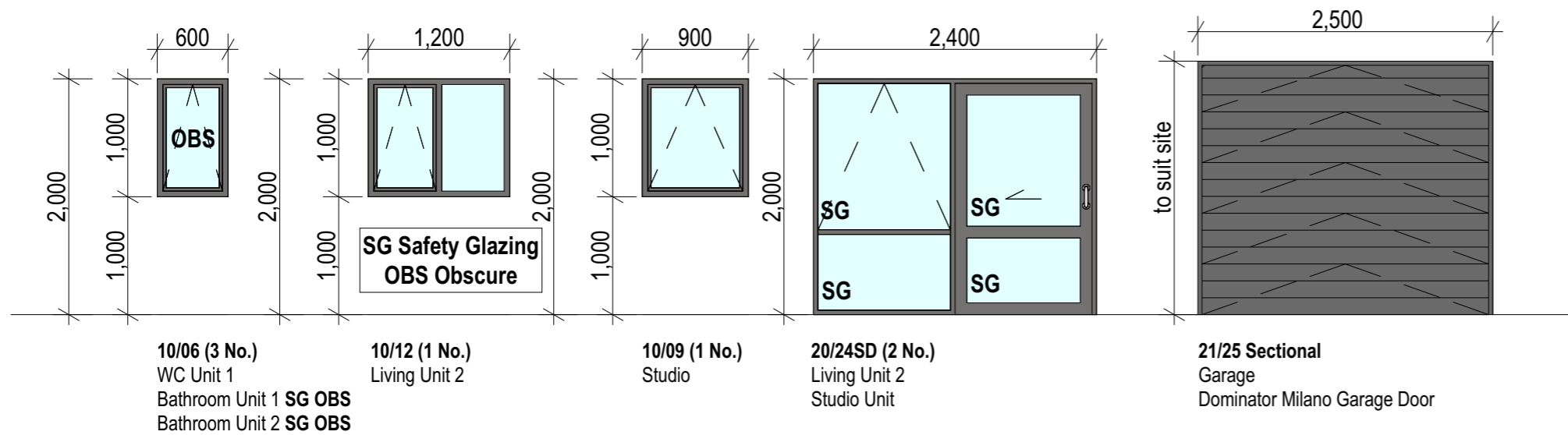


DESIGNTECH ARCHITECTURAL LTD

Tel: 03 6937 360 Cell: 021 175 4276

E-Mail: TheDuckworths@xtra.co.nz

508 Winchester-Geraldine Road, RD21, Geraldine, 7991.



Door and Window Note:
All existing windows which are located in new bathrooms shall be reglazed with Obscure Safety Glazing

Approved Building
Consent Documents
BC0360/17
Ashburton District Council

Door and Window Schedule Notes:

All external joinery is shown by the JOINERY size allow EXTRA 15mm which allows for shim space each way

All windows and doors shown are viewed from the outside

The following requirements for restrictor stays to windows with opening sashes if a fall of 1.000m can occur are:

- a) the lower edge of the opening window sash can be no less than 760mm above the FFL.
- b) the window restrictor stay to be fitted so as to limit the window opening to 450mm


Glazing requirements in accordance with NZS4223:1999 part 3 Human Impact Safety requirements.

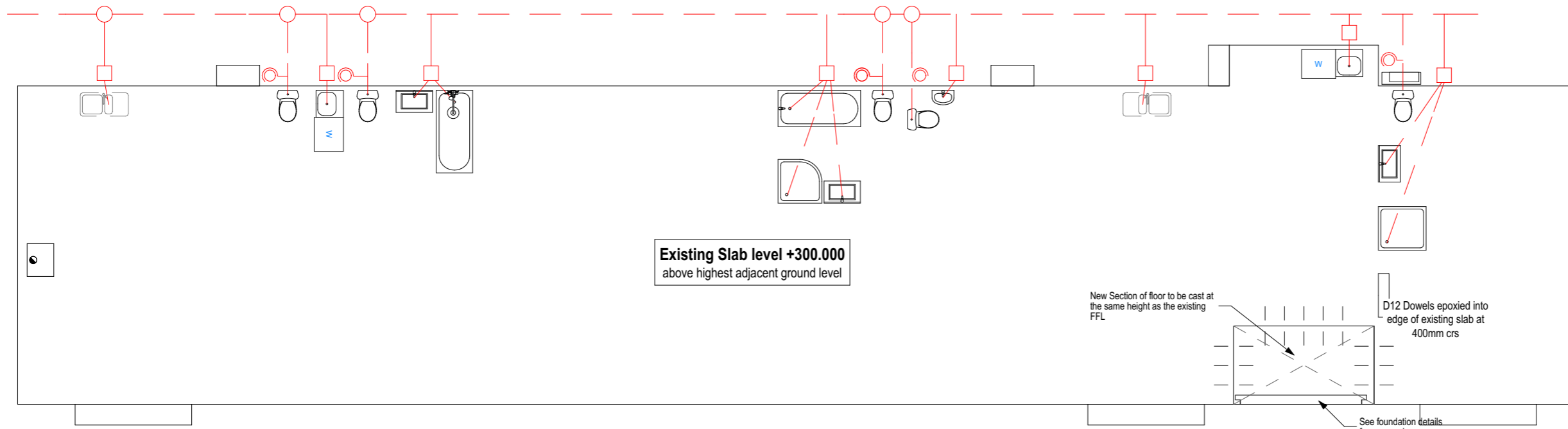
1. All glazing panels to windows are to be double glazed and also in bathrooms and ensuites are to be grade A safety glass as per NZS4223:1999 part 3 Table 3.1

Sill support bars shall be provided for all windows where required.

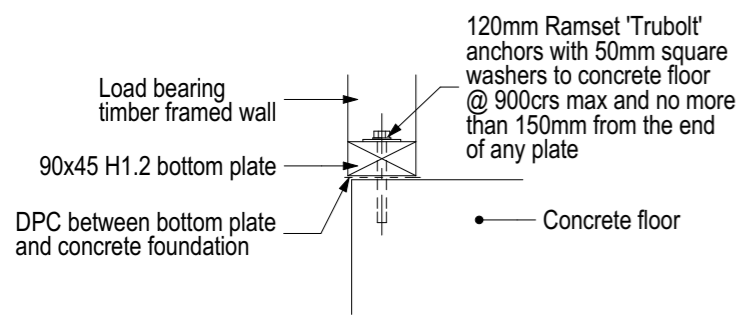
All windows and doors shall be measured on site prior to fabrication

See truss detailers layout for lintel details

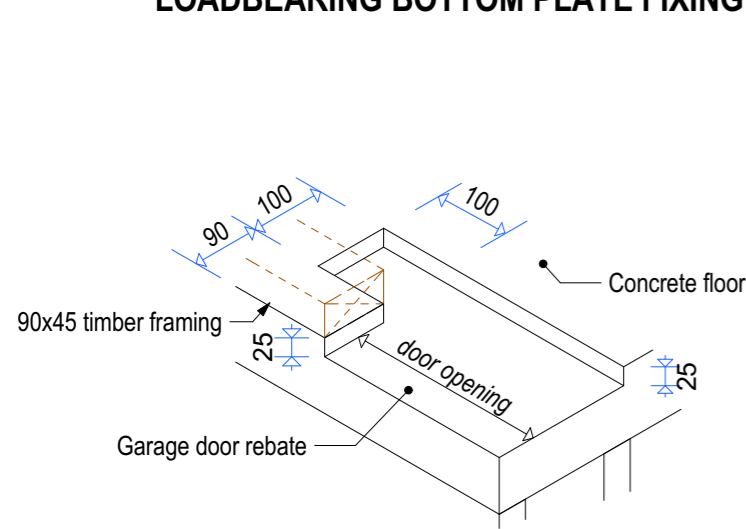
Proposed Lodge Conversion Into Two Dwellings For: TALB Alred Ltd 22-04-17TA	Site Address Lot 30 DP40797 38 Spaxton Street Methven	Sheet title Door & Window Schedule	CONSTRUCTION ISSUE 8 A of 14 Job No: 22-04-17TA Scale: 1:50	Revision A 03.07.17 - Drawing Updated	 DESIGNTECH ARCHITECTURAL LTD Tel:03 6937 360 Cell:021 175 4276 E-Mail:Theduckworths@xtra.co.nz 508 Winchester-Geraldine Road, RD21, Geraldine, 7991.
	Designer LBP No. BP113354	Builder LBP No.		Date 01.05.17	



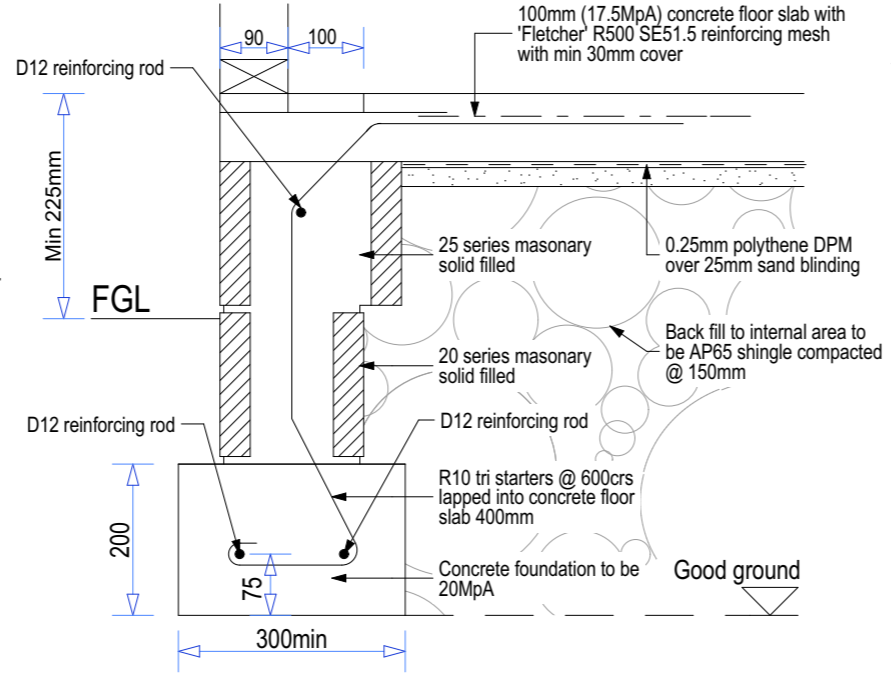
Proposed Foundation Layout
Scale 1:100



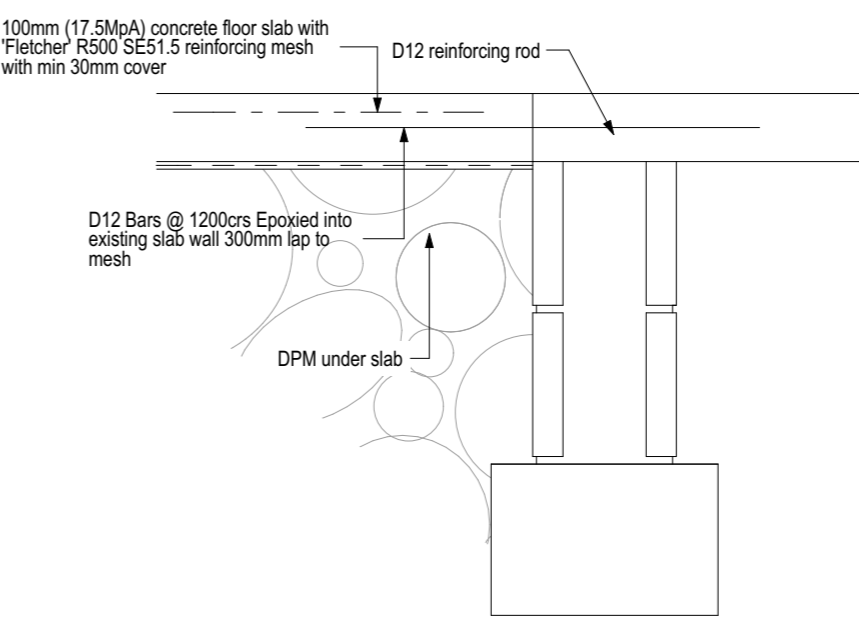
LOADBEARING BOTTOM PLATE FIXING



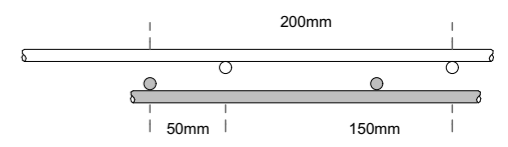
GARAGE DOOR REBATE DETAIL



TYPICAL GARAGE DOOR REBATE DETAIL




NEW SLAB INFILL TO EXISTING SLAB CONNECTION

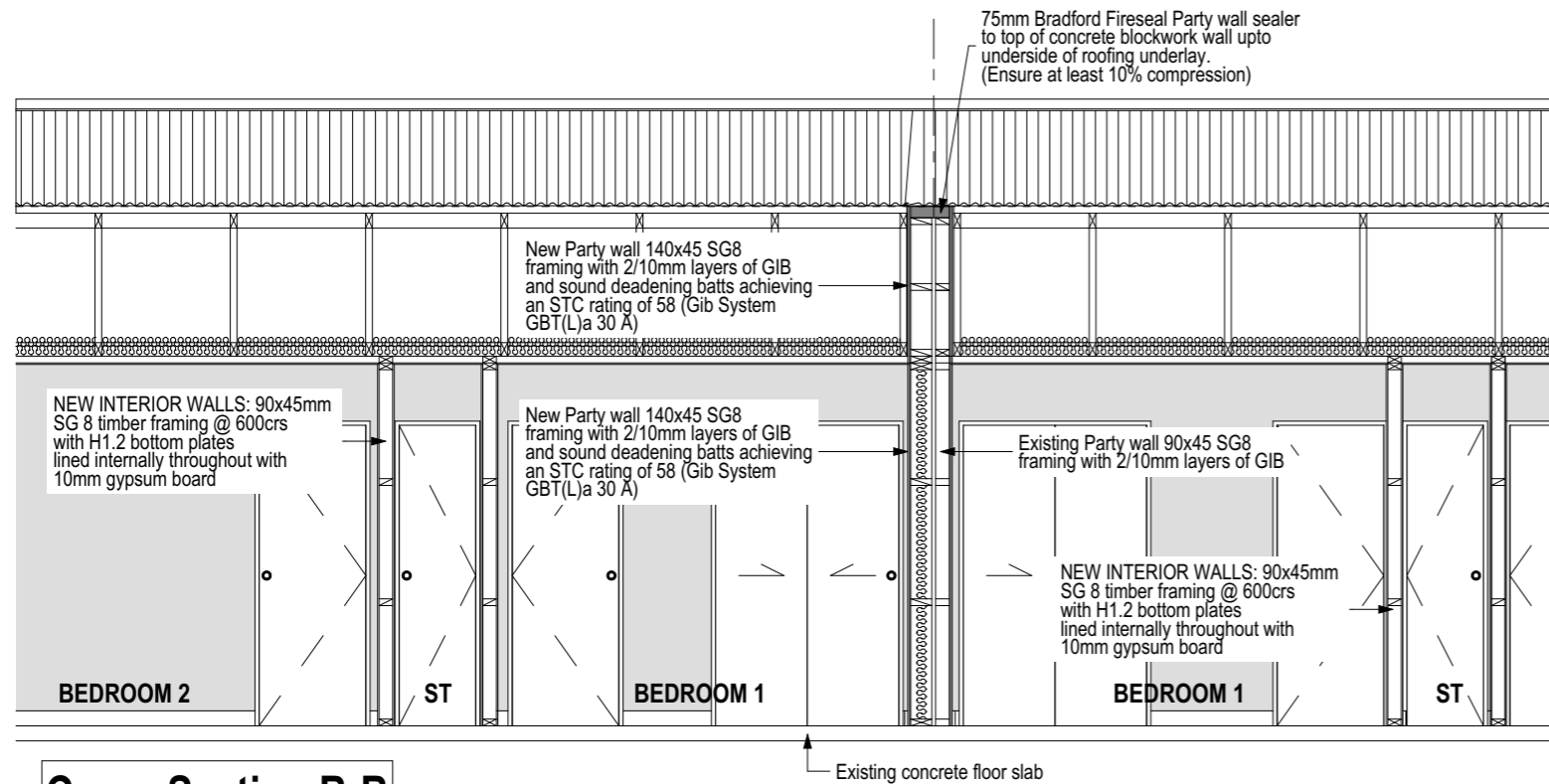


Side and End Lapping
'Fletcher' R500SE51.5 Reinforcing Mesh
MESH LAPPING DETAIL

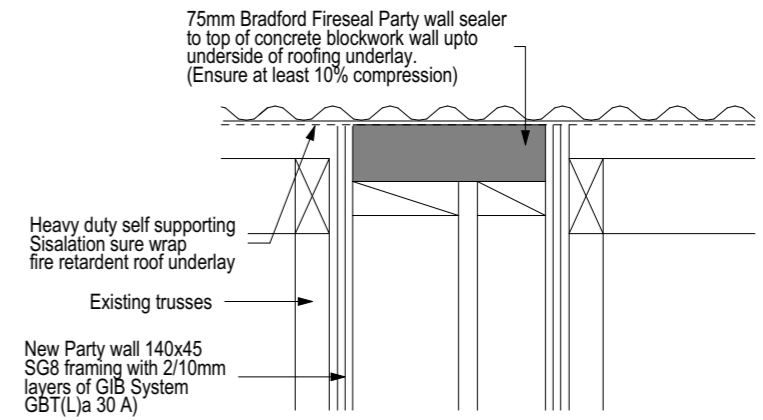
CONCRETE NOTES

- Concrete strength to comply to NZS 3604:2011
- The finished ground level surrounding the building shall have a fall of 1 in 25 away from the building for at least 1m.
- Refer to concrete footing sections for minimum height of slab to ground.
- The maximum plan dimension of slab cast in one operation shall be 24m. (Where slab has a total length longer than 24m a free joint is shown on the slab plan and must be used.)
- Granular fill under slab shall be at least 75mm thick nor more than 600mm deep layer of fill passing through a 19mm sieve with not more than 5% shall pass a 2.2mm sieve.
- The damp-proof membrane (DPM) shall have a vapour flow resistance not less than 90MN/g. And must be laid to the requirement of NZS 3604:2011
- Concrete Slab is to have a minimum thickness of 100mm.
500E mesh reinforcing to consist of a minimum of 2.27Kg/m² welded steel mesh for slabs 12m to 24m long or 1.29Kg/m² welded steel mesh for slabs no longer than 12m between free joints or edges. Free joints are joints which have no reinforcement passing through the joint that links both sides and no bonding between vertical faces. Bonding shall be prevented with building paper or a bituminous coating. Mesh sheets shall be lapped by 225mm at sheet joints.
Reinforcing mesh shall comply with AS/NZS 4671. Reinforcing steel shall have a cover of 30mm minimum from the top surface of the ground slab and should be placed in such a manner as to avoid damage to the DPM.
- Concrete Terraces should have a minimum thickness of 100mm with Mesh M662 lapped by 225mm at sheet joints and shall extend to 75mm of outside edge with a minimum cover of 50mm.
- Internal corners where required to have 2x D12 supplementary reinforcing bars 1.2m long as described in NZS 3604:2011 Section 7, Paragraph 7.5.8.6.4 supplementary reinforcing for reinforced slabs.
- The maximum plan dimension of reinforced concrete slabs between construction joints, or shrinkage control joints is 6m.
- REFER TO NZS 3604:2011 BEFORE ANY CONSTRUCTION OF CONCRETE FOUNDATIONS IS UNDERTAKEN !!!

Proposed Lodge Conversion Into Two Dwellings For: TALB Alred Ltd 22-04-17TA	Site Address Lot 30 DP40797 38 Spaxton Street Methven	Sheet title Foundation Layout & Details		CONSTRUCTION ISSUE 9 B of 14 Job No: 22-04-17TA Scale: 1:100	Revision A 26.06.17 - DWG updated B 03.07.17 - DWG updated	 DESIGNTECH ARCHITECTURAL LTD Tel: 03 6937 360 Cell: 021 175 4276 E-Mail: TheDuckworths@xtra.co.nz 508 Winchester-Geraldine Road, RD21, Geraldine, 7991.
		Designer LBP No. BP113354	Builder LBP No. Date 01.05.17			

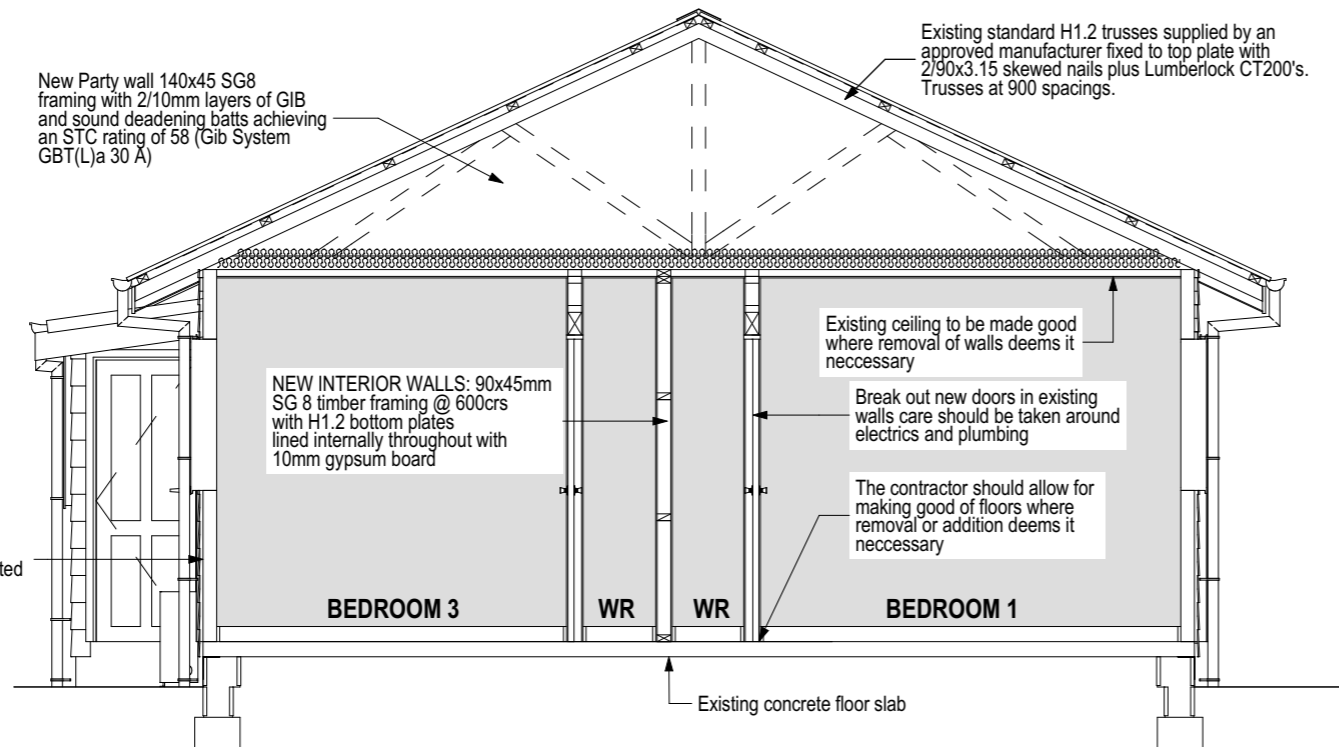


Cross Section B-B
Scale 1:50

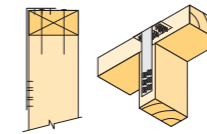


Fire stopping detail to top of Party walls.

Note: For installation Fireseal Party Wall Sealer must be compressed by 10%.
Specification
 Bradford Fireseal Party Wall range is designed for installation between the top of a fire resistance level (FRL) party wall and the roofing membrane. Its purpose is to meet the requirements, for fire resistance between adjacent tenancies.



Cross Section A-A
Scale 1:50

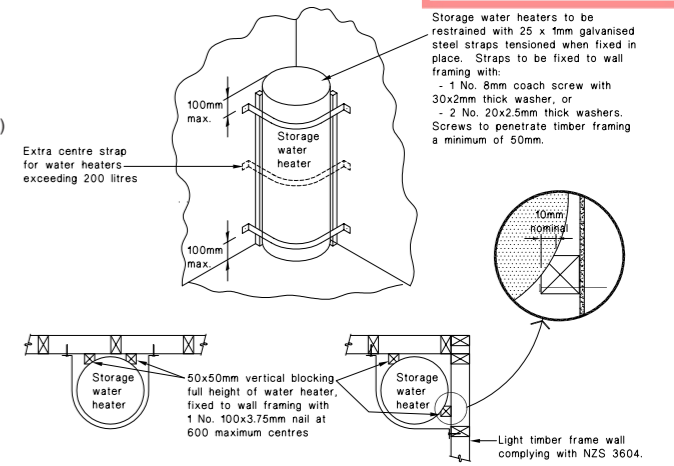


Plus
LUMBERLOK
 Stud Strap
 (one face only)

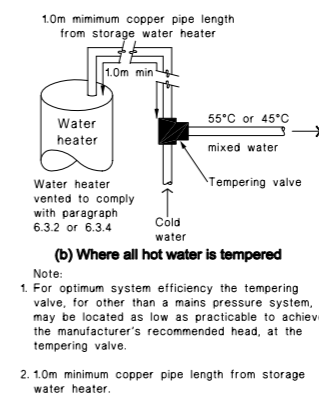
FIXING SELECTION CHART

(Suitable for walls supporting roof members at 600, 900 or 1200mm crs.)
 Wind Zones L, M, H, VH, EH, as per NZS 3604:2011

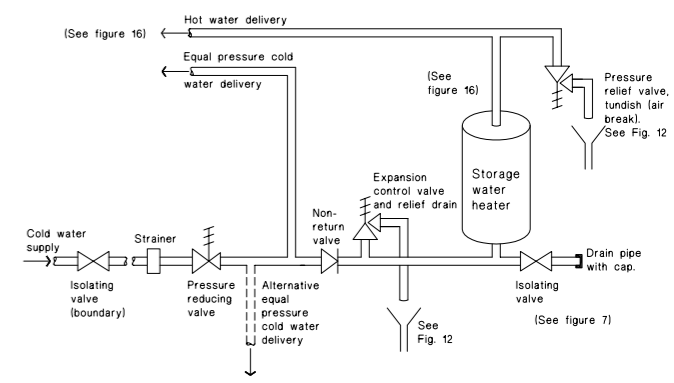
Loaded Dimension (m)	Stud Centres			Light Roof Wind Zone					Heavy Roof Wind Zone				
	300mm	400mm	600mm	L	M	H	VH	EH	L	M	H	VH	EH
3.0	2.3	1.5		A	A	B	B	B	A	A	B	B	B
4.0	3.0	2.0		A	A	B	B	B	A	A	B	B	B
5.0	3.8	2.5		A	B	B	B	B	A	A	B	B	B
6.0	4.5	3.0		A	B	B	B	B	A	A	B	B	B
7.0	5.3	3.5		A	B	B	B	B	A	A	B	B	B
8.0	6.0	4.0		A	B	B	B	B	A	A	B	B	B
9.0	6.8	4.5		B	B	B	B	B	A	A	B	B	B
10.0	7.5	5.0		B	B	B	B	B	A	A	B	B	B
11.0	8.3	5.5		B	B	B	B	B	A	A	B	B	B
12.0	9.0	6.0		B	B	B	B	B	A	A	B	B	B



Approved Building
 Consent Documents
BC0360/17
 Ashburton District Council



Note:
 1. For optimum system efficiency the tempering valve, for other than a mains pressure system, may be located as low as practicable to achieve the manufacturer's recommended head, at the tempering valve.
 2. 1.0m minimum copper pipe length from storage water heater.



Proposed Lodge Conversion Into Two Dwellings For:
TALB Alred Ltd
 22-04-17TA

Site Address
 Lot 30 DP40797
 38 Spaxton Street
 Methven

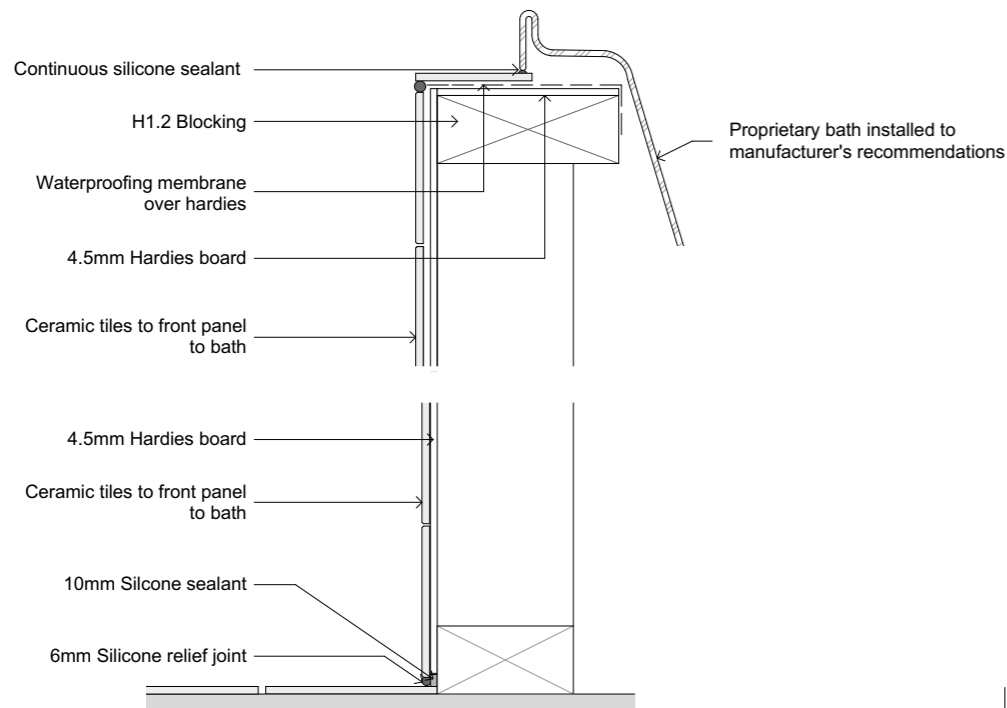
Sheet title
Cross Section A-A&B-B
 Designer LBP No. **BP113354**
 Builder LBP No.
 Date **01.05.17**

CONSTRUCTION ISSUE
10 A of 14
 Job No: **22-04-17TA**
 Scale: **1:50**

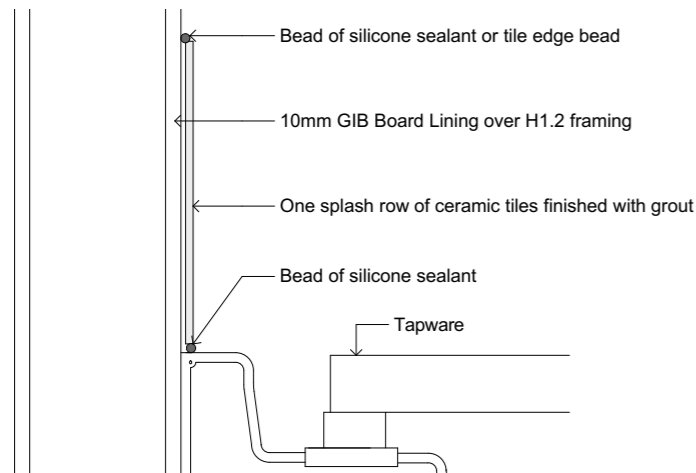
Revision
 A 03.07.17 - Drawing Updated



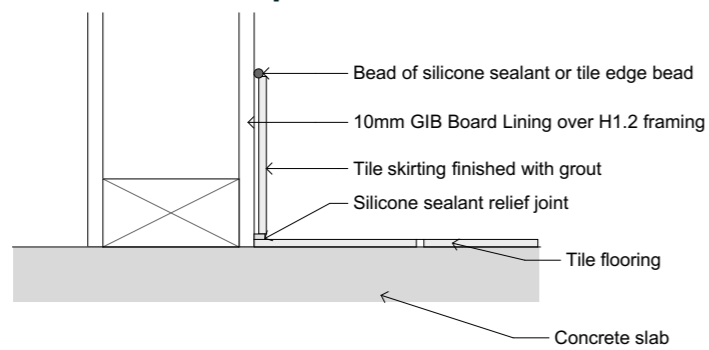
DESIGNTECH ARCHITECTURAL LTD
 Tel: 03 6937 360 Cell: 021 175 4276
 E-Mail: TheDuckworths@xtra.co.nz
 508 Winchester-Geraldine Road, RD21, Geraldine, 7991.



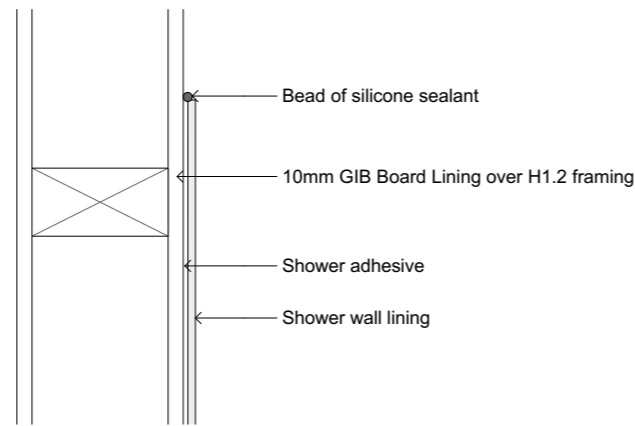
Bath & Plinth



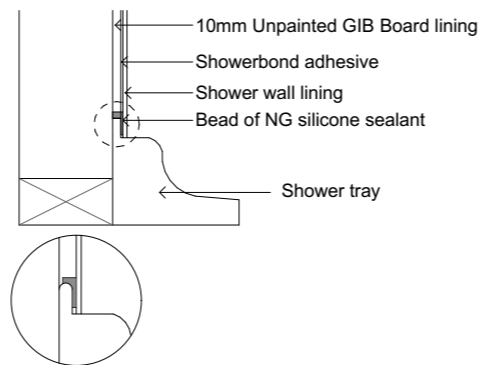
Basin Watersplash Back



Tiled Flooring Over Concrete



Acrylic Shower Tray Top



Acrylic Shower Tray

Approved Building
Consent Documents
BC0360/17
Ashburton District Council

SURFACES

Splash backs

(Including kitchen) Shall be sealed to the bench

Tiles

Ceramic or stone tiles having 6% maximum water absorption, grouted joints (Ardex FG8 or equivalent), and bedded with an adhesive specified by the tile manufacture as being suitable for tiles substrate material and the environment of use

Proposed Lodge Conversion Into Two Dwellings For:

TALB Alred Ltd

22-04-17TA

Site Address
Lot 30 DP40797
38 Spaxton Street
Methven

Sheet title
Bathroom Details

Designer LBP No. **BP113354**
Builder LBP No.
Date 01.05.17

CONSTRUCTION ISSUE

11 of **14**

Job No: **22-04-17TA**

Scale 1:5

Revision



DESIGNTECH ARCHITECTURAL LTD

Tel: 03 6937 360 Cell: 021 175 4276

E-Mail: TheDuckworths@xtra.co.nz

508 Winchester-Geraldine Road, RD21, Geraldine, 7991.

Figure 36: Cavity pipe penetration

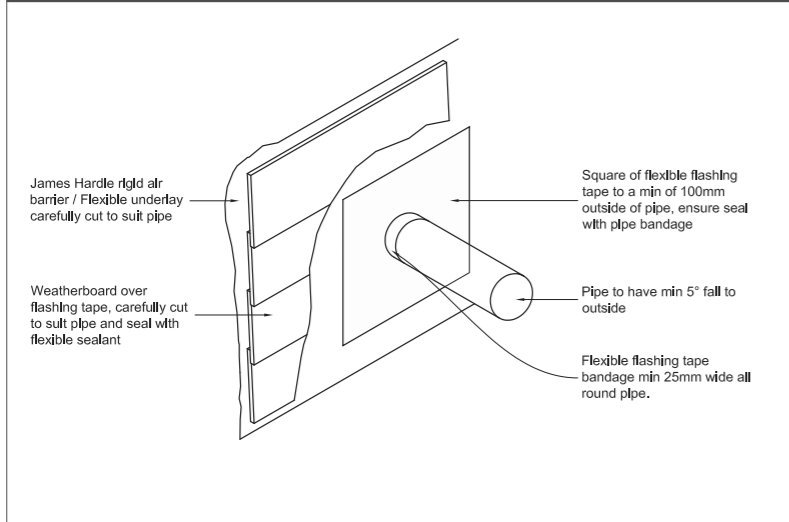


Figure 24: Cavity soffit detail

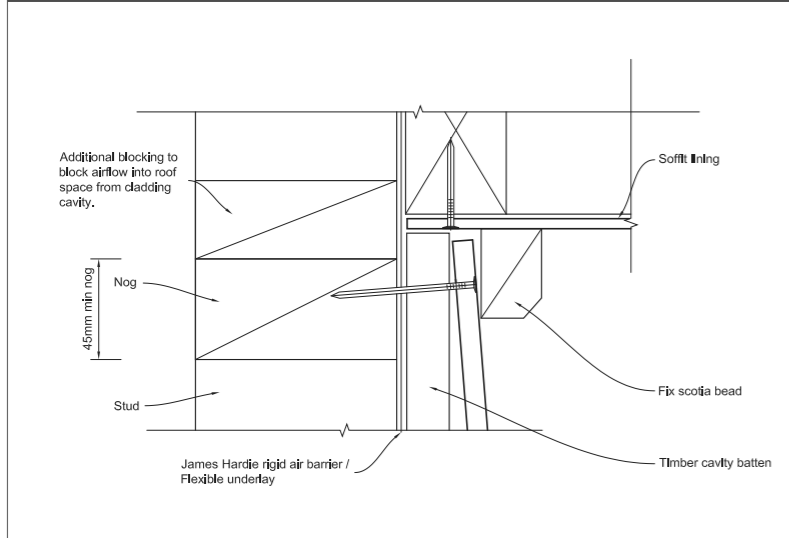


Figure 17: Cavity concrete footing

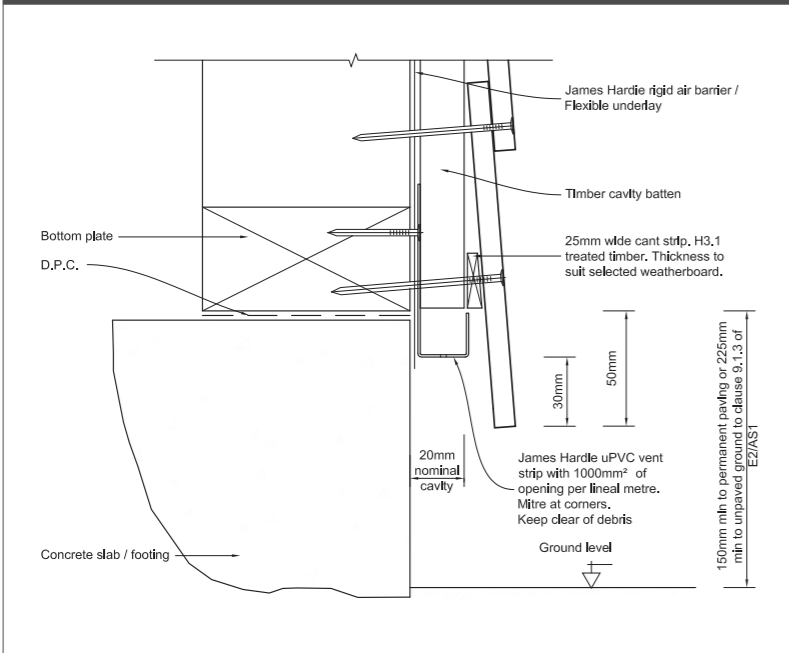


Figure 33: Cavity meter box at head

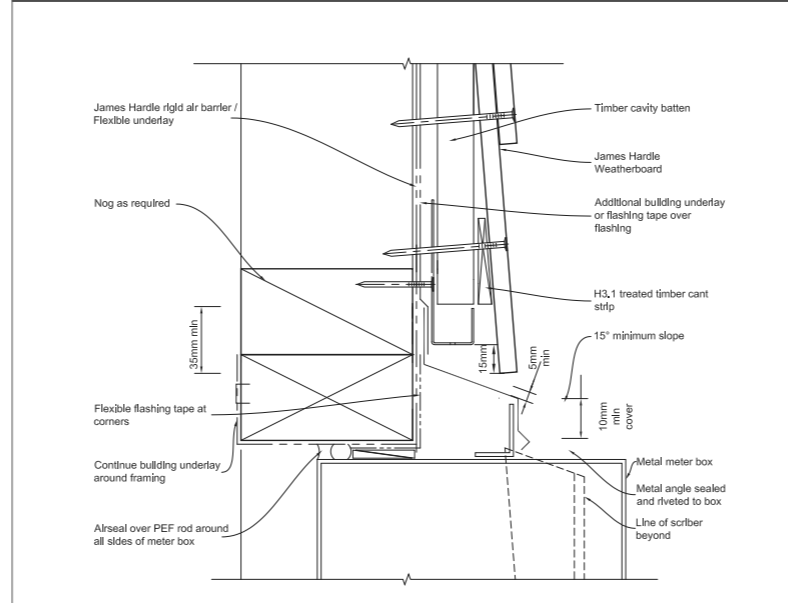


Figure 34: Cavity meter box at sill

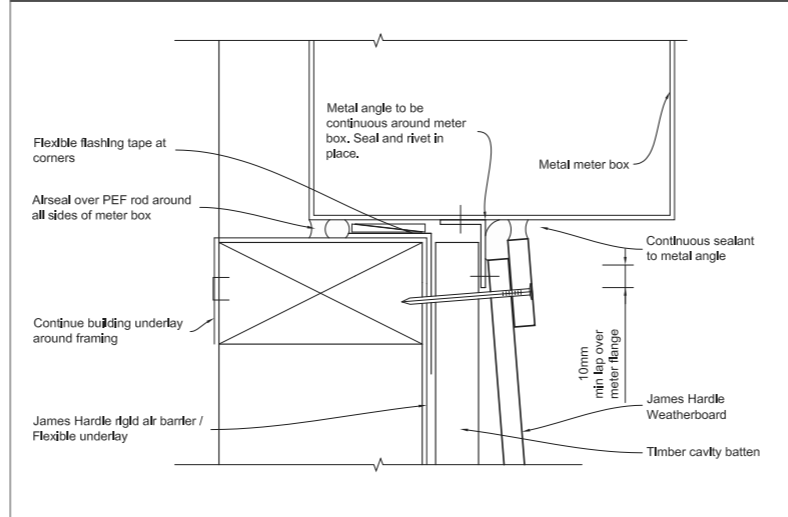


Figure 25: Cavity sill flashing without facings

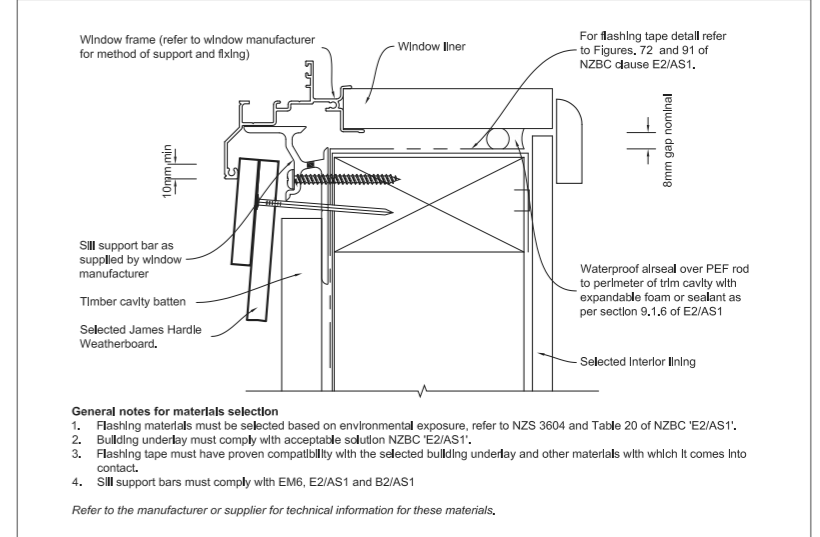
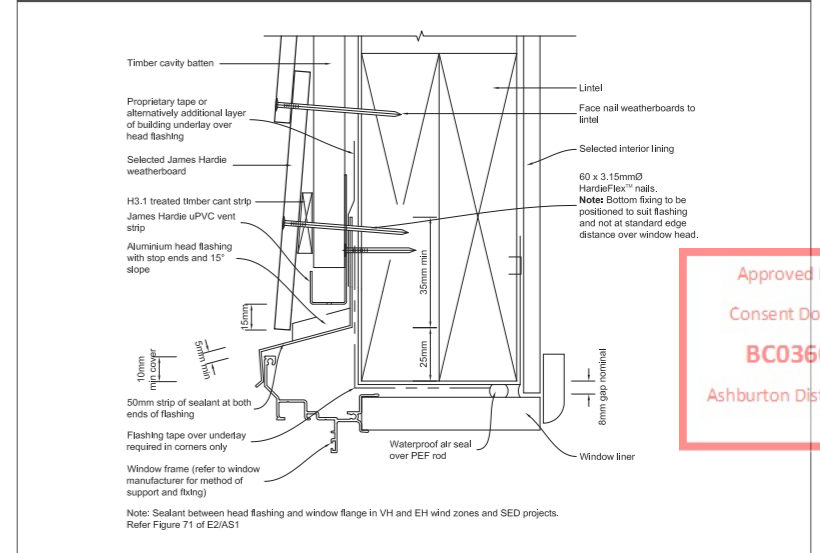


Figure 26: Cavity one piece head flashing without facings



Approved Building
Consent Documents
BC0360/17
Ashburton District Council

Proposed Lodge Conversion Into Two Dwellings For:
TALB Alred Ltd
22-04-17TA

Site Address
Lot 30 DP40797
38 Spaxton Street
Methven

Sheet title
Cladding Details

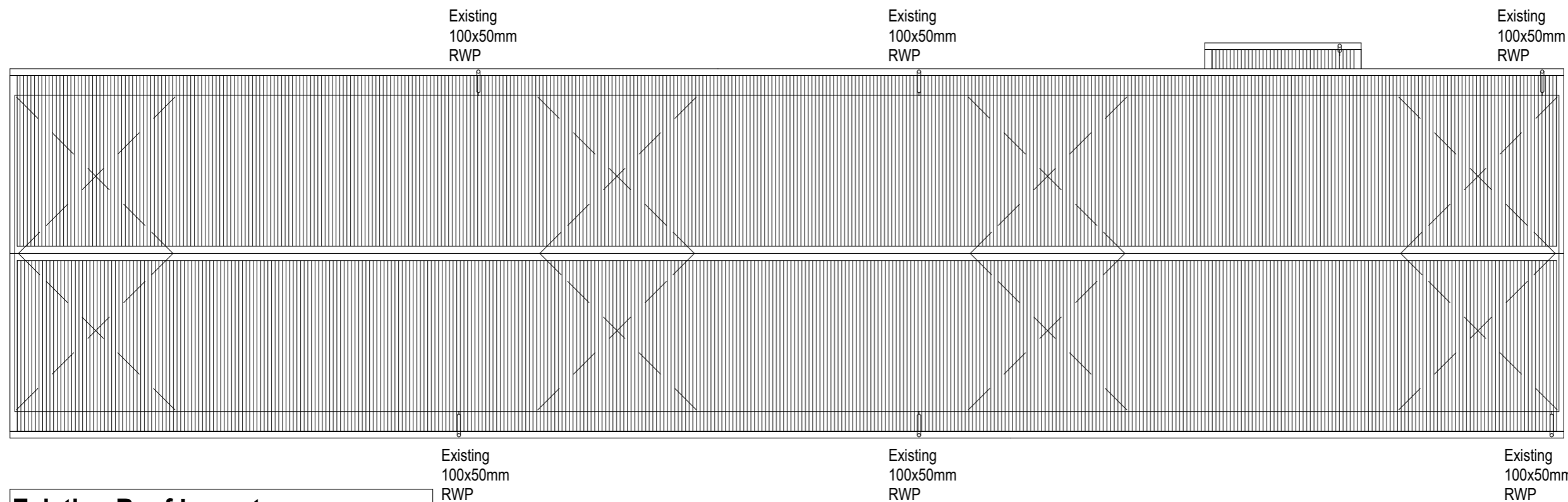
Designer LBP No. **BP113354**
Builder LBP No.
Date **01.05.17**

CONSTRUCTION ISSUE
12 of 14
Job No: **22-04-17TA**
Scale **1:5**

Revision



DESIGNTECH ARCHITECTURAL LTD
Tel: 03 6937 360 Cell: 021 175 4276
E-Mail: TheDuckworths@xtra.co.nz
508 Winchester-Geraldine Road, RD21, Geraldine, 7991.



Existing Roof Layout (Remains unchanged)
Scale 1:100

Roof Notes:

Existing Roofing is lightweight gabled construction clad with longrun profiled metal cladding
Very High wind zone
Roof to be 25 degree pitch with a 600mm eave overhang from outside face of framing

Total Roof area 267sqM. 1 no 100x50mm Rwp per 85sqM = 4 No required 6 No provided
Supply snow straps to all spouting

70x45 H1.2 purlins fixed to trusses at max 900 Centres using 10 gauge ramset screws

ROOF BRACING - Each roof plane brace can be a hip or valley rafter running continuously from the ridge to the top plate in accordance with NZS3604:2011 Clauses 10.2.1.3.2 or 10.2.1.3.3

TRUSS FIXING - As per NZS 3604:2011, TABLES 10.14 and 10.15 For truss spans not exceeding a loaded dimension of 6.0 require a type "E" or "F" fixing.
For 4.7kN fixing capacity use: 2/90x3.15 skew nails and 2 wire dogs
For 7.0 kN fixing capacity use: 2/90x3.15 skew nails and strap fixing (as detailed in figure 10.6 of NZS3604:2011)

TOP PLATE - As per NZS3604:2011, Table 8.18 For loaded dimensions not exceeding 6.0 require a type "A" or "B" fixing.
For "A" Type - 0.7kN fixing capacity use: 2/90x3.15 end nails
For "B" Type - 4.7kN fixing capacity use: 2/90x3.15 end nails and 2 wire dogs.

8.1.6 Gutters general

Gutters, downpipes and spreaders, including eaves gutters/spoutings are required for the drainage of roof water, and shall:

- a) Be to the minimum dimensions shown in this Acceptable Solution, or calculated to E1/AS1, whichever is the greater
- b) If a gutter depth is reduced to allow entry of a valley gutter, the reduced depth must be used to calculate the capacity of the gutter
- c) For internal, valley, and hidden gutters, have no fixings in gutter bottoms or sides, and be continuously supported on H1.2 minimum treated timber gutter boards or H3 ply which is separated from metal by roof underlay strip.

Eaves gutters/spoutings shall:

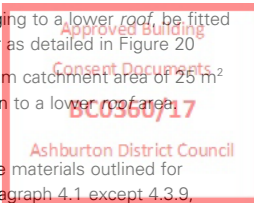
- d) Be to any of the materials outlined for flashings in Paragraph 4.1 except 4.3.9, 4.3.10 and 4.3.11
- e) Have a minimum cross sectional area of 2500 mm²
- f) Be designed to overflow water to the outside.


Downpipes shall:

- g) Be formed from any of the materials outlined for flashings in Paragraph 4.1 except 4.3.9, 4.3.10 and 4.3.11
- h) Upper roofs shall drain via downpipes directly to ground level where possible, or
- i) Where discharging to a lower roof, be fitted with a spreader as detailed in Figure 20
- j) Have a maximum catchment area of 25 m² if discharging on to a lower roof area.

Spreaders shall:

- k) Be to any of the materials outlined for flashings in Paragraph 4.1 except 4.3.9, 4.3.10 and 4.3.11
- l) Be to Figure 20 and not be used on masonry tile roofs unless a roof underlay is installed
- m) Discharge directed away from roofing laps and clear of roof penetrations.



Proposed Lodge Conversion Into Two Dwellings For: TALB Alred Ltd 22-04-17TA	Site Address Lot 30 DP40797 38 Spaxton Street Methven	Sheet title Existing Roof Layout	CONSTRUCTION ISSUE	Revision	 DESIGNTECH ARCHITECTURAL LTD Tel:03 6937 360 Cell:021 175 4276 E-Mail:Theduckworths@xtra.co.nz 508 Winchester-Geraldine Road, RD21, Geraldine, 7991.
	Designer LBP No. BP113354	Builder LBP No.		Date 01.05.17	

9.0 Disposal to Soak Pit

9.0.1 Where the collected surface water is to be discharged to a soak pit, the suitability of the natural ground to receive and dispose of the water without causing damage or nuisance to neighbouring property, shall be demonstrated to the satisfaction of the territorial authority.

COMMENT:
Means of demonstrating the suitability of the ground are outside of the scope of this Verification Method. Disposal of surface water to a soak pit may also require a resource management consent.

9.0.2 Field testing of soakage shall be carried out as follows:

- a) Bore test holes of 100 mm to 150 mm diameter to the depth of the proposed soak pit. If groundwater is encountered in the bore test hole then this depth shall be taken as the depth of the soak pit.

- b) Fill the hole with water and maintain full for at least 4 hours, (unless the soakage is so great that the hole completely drains in a short time).

- c) Fill the hole with water to within 750 mm of ground level, and record the drop in water level against time, at intervals of no greater than 30 minutes, until the hole is almost empty, or over 4 hours, whichever is the shortest.

- d) Plot the drop in water level against time on a graph, and the soakage rate in mm/hr is determined from the minimum slope of the curve. If there is a marked decrease in soakage rate as the hole becomes nearly empty, the lower rates may be discarded and the value closer to the average can be adopted.

9.0.3 The soak pit shall be designed utilising soakage and storage in accordance with 9.0.5 and 9.0.6 to ensure that surface water is discharged without overflowing. The rainfall intensity used in the design of the soak pit shall be that of an event having a duration of 1 hour and a 10% probability of occurring annually. Either local rainfall intensity curves produced by the territorial authority or rainfall frequency duration information produced by NIVVA shall be used to determine the rainfall intensity.

COMMENT:
This Verification Method does not cover the design of soak pits with overflows discharging to outfalls. Such soak pits are often provided to retain water until peak flows in the outfall have passed and it is normally considered sufficient to design them for an event having a 10 minute duration and a 10% probability of occurring annually.

9.0.4 The soak pit shall comprise either a rock filled hole (see Figure 13 (a)) or a lined chamber (see Figure 13 (b)). Both of these options shall be enclosed in filter cloth

9.0.5 The volume of storage required in the soak pit, V_{stor} (m³), shall be calculated by:

$$V_{stor} = R_c - V_{soak}$$

where

R_c = run-off discharged from catchment to soak pit in 1 hour (m³).

V_{soak} = volume disposed of by soakage in 1 hour (m³).

and

$$R_c = 10CIA$$

where

C = run-off coefficient (see Table 1).

I = rainfall intensity (mm/hr) based on 1 hour duration of an event having a 10% probability of occurring annually.

A = area (hectares) of the catchment discharging to the soak pit.

and

$$V_{soak} = A_{sp}S_r/1000$$

where

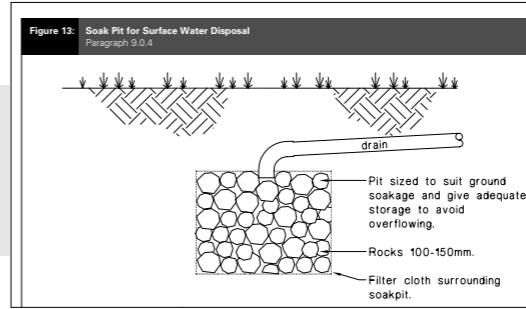
A_{sp} = area of the base of the soak pit (m²).

S_r = soakage rate (mm/hr) determined from 9.0.2.

COMMENT:

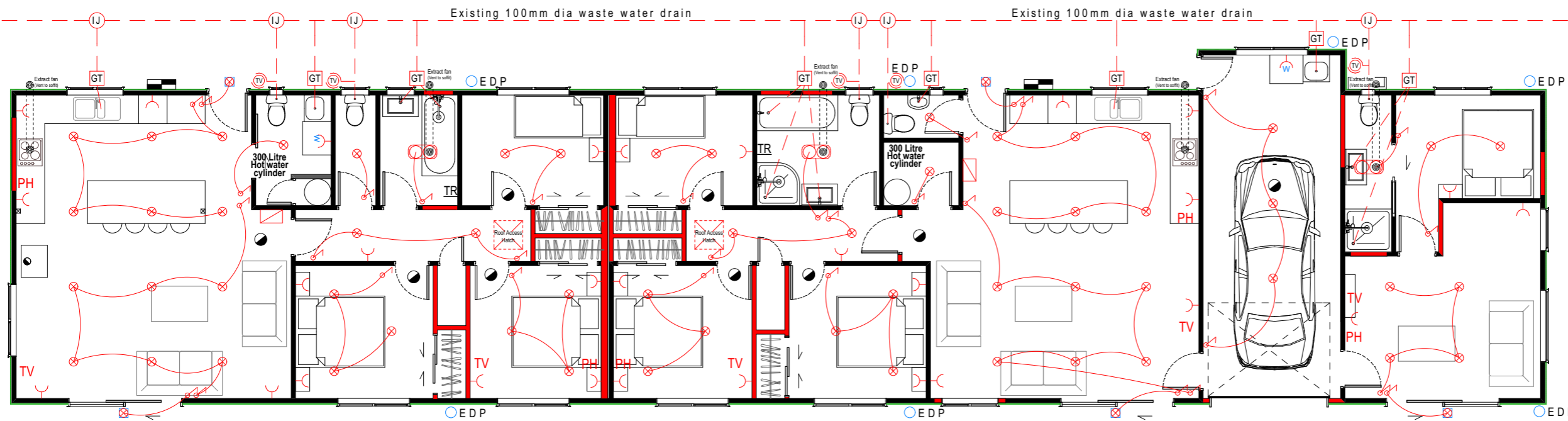
Generally where the test results show a soakage rate of greater than 500 mm/hour, soakage rather than storage will be the main mechanism to remove the water. Where the soakage rate is significantly less than 500 mm/hour, storage will become the dominant factor. Intermediate soakage rates will require a design utilising both in the proportions necessary to ensure the water will dissipate before it overflows from the pit.

9.0.6 Where the soak pit comprises a rock filled hole (see Figure 13 (a)) then the volume available for storage, V_{stor} , shall be taken as 0.38 times the volume of the hole.



Unit 1 - 3 Bed Unit

Unit 2 - 3 Bed Unit Garage and Studio



Electrical Key

	Double Power Plug
	Single Power Point
	Caravan Plug
	Light Switch
	Phone outlet
	Television
	LED Downlight
	CA Rated external downlight
	Switchboard
	Meterbox
	Heated Towel Rail
	Mechanical vent & light
	Smoke Detector to conform with NZBC:F7/AS1 Section 3
	Mechanical vent

Drainage Key

	Approved Building Consent Documents
	Foul Sewer min 1:120
	Storm Water min 1:120
	Ashburton District Council Existing Down Pipe
	E D P
	Gully Trap
	Inspection Junction
	Air admittance valve to be fitted to all drain runs exceeding 3.5m
	80mm dia Terminal Vent
	External Tap
	Cleaning Access

Waste Size and Gradients:
 Kitchen Size:40 mm Dia Gradient:1:40
 Laundry Size:50mm Dia Gradient:1:40
 Shower Size:40mm Dia Gradient:1:40
 W.C. Size:110mm Dia Gradient:1:60
 Vanities Size:40mm Dia Gradient:1:40
 Water Cylinder 20mm dia copper relief drain

NOTE:
 SANITARY PLUMBING TO AS3500/ G13/AS1, G13/AS2
 DRAINAGE PLAN IS INDICATIVE & FINAL PLUMBING & DRAINAGE PLAN SHALL BE PROVIDED ON COMPLETION OF WORKS

Proposed Lodge Conversion Into Two Dwellings For:
TALB Alred Ltd
 22-04-17TA

Site Address
 Lot 30 DP40797
 38 Spaxton Street
 Methven

Sheet title
Services Layout
 Designer LBP No. **BP113354**
 Builder LBP No. _____
 Date **01.05.17**

CONSTRUCTION ISSUE
14 B of 14
 Job No: **22-04-17TA**
 Scale: **1:100**

Revision
 A 26.06.17 - DWG updated
 B 03.07.17 - DWG updated



DESIGNTECH ARCHITECTURAL LTD
 Tel:03 6937 360 Cell:021 175 4276
 E-Mail:Theduckworths@xtra.co.nz
 508 Winchester-Geraldine Road, RD21, Geraldine, 7991.

Project Information Memorandum/Building Consent Application

BAM 002 PIM BC

VER. 9

Updated: Oct 2016

Review: Oct 2017

Section 33 or Section 45, Building Act 2004

For Office Use Only:

BC No:

Date Received:

Please return this form to: building@adc.govt.nz or Ashburton District Council, PO Box 94, Ashburton 7740

Application (Only complete items that are applicable to your project)

I request that you issue a:

Project Information Memorandum (PIM) <input type="checkbox"/>	Building Consent <input type="checkbox"/> <small>*Your project may also require a PIM, you will be advised when you submit your application if this is required</small>	Building Consent and PIM <input type="checkbox"/>
Has a PIM been issued previously in respect of this project? If yes , please provide a copy if applicable.	Yes <input type="checkbox"/>	No <input type="checkbox"/>
Is this project related to earthquake damage?	Yes <input type="checkbox"/>	No <input type="checkbox"/>
Is this consent for a relocated or transportable building?	Yes <input type="checkbox"/>	No <input type="checkbox"/>

Building Information

Building Name (if any):		
Street Address (or Rapid No.):		
Legal Description:	Valuation No:	
No. of levels:	Approx. Year constructed?	Level\Unit No:
Currently lawfully established use:		
Fencing of Swimming Pool Act 1987 Is there a swimming pool/spa pool on this site or associated with this project?	Yes <input type="checkbox"/>	No <input type="checkbox"/>
Total Floor Area (all floors, m ²):	Want to add (m ²):	

The Owner

Owner's Name:	
Contact Person (if different from owner):	
Mail/ Billing Address:	
Street Address/Registered Office:	
Daytime Phone No:	Cellphone:
Email Address:	After Hours No:



Ashburton
DISTRICT COUNCIL

The Agent

Note: The Agent will be the first point of contact for communications with the Council/Building Consent Authority regarding this application/building work and will receive all correspondence including all invoices.

Agent's Name:

Contact Person (if Agent is not an individual):

Mailing/Billing Address:

Street Address/Registered Office:

Daytime Phone No:

Cellphone:

Email Address:

After Hours No:

The Project

Description of building work (E.g. dwelling, commercial, farm shed, garage etc.):

Will the building work result in a change of use of the building?

Yes

No

If **yes**, please provide details on intended use:

Intended life of the building:

Indefinite but not less than 50 years

OR Specified as years

Is this project being completed in Phases/Stages?

Yes

No

If so, what stage is this application? (of)

Related BC Numbers:

List Building Consents previously issued for this building (if any):

Estimated Value of Building Work on which levy will be calculated (inc. GST) as defined in Section 7 of the Building Act 2004:

Restricted Building Work

Will the building work include any restricted building work? If **yes**, please provide the following details on all Licenced Building Practitioners involved. If these details are unknown at time of application, they must be supplied before work begins.

Yes

No

Note 1: For the table on the following page, enter the Licensed Building Practitioner (LBP) number or registration number if treated as being licensed under Section 291 of Building Act 2004.

Note 2: A Memoranda/Certificate of Design Work must be submitted for each LBP involved in the Design work. This form can be downloaded from ashburtondc.govt.nz

Name	Licence Class	LBP No.	Mailing Address	Phone No.	Work carried out or supervised

Project Information Memorandum

Tick the matters relevant to the project. **Complete this section only if you have applied for a PIM:**

- Subdivision
- Alteration to land contours
- New or altered connections to public utilities
- New or altered locations and/or external dimensions of the buildings
- New or altered access for vehicles
- Building work over or adjacent to any road or public place
- Disposal of storm water and waste water
- Building work over any existing drains or sewers or in close proximity to wells or water mains
- Rapid Numbers
- Other matters known to the applicant that may require authorisations from the territorial authority. Please specify:

Note: Development Contributions may be levied in cases where extra demand for services is required. Refer to our 'Customer Guide for Development Contributions' for more information.

Building Consent

Complete this section only if you have applied for a building consent:

Note: All plans and specifications must meet minimum requirements set out in the regulations or required by the Building Consent Authority.

The building work will comply with the Building Code as follows:

BUILDING CODE CLAUSE		MEANS OF COMPLIANCE (refer to the relevant compliance document(s) or detail of alternative solution in the plans & specifications; if not applicable, put n/a)	WAIVER/MODIFICATION REQUIRED (state nature of waiver or modification of building code required)
B1	Structure	NZS3604 <input type="checkbox"/> NZS1170 <input type="checkbox"/> NZS4229 <input type="checkbox"/> B1/AS1 <input type="checkbox"/> B1/AS2 <input type="checkbox"/> B1/AS3 <input type="checkbox"/> B1/AS4 <input type="checkbox"/> Other:	
B2	Durability	B2/AS1 <input type="checkbox"/> NZS3101 <input type="checkbox"/> NZS3602 <input type="checkbox"/> NZS3604 <input type="checkbox"/> Other:	
C1	Objective	C/AS1 – C/AS7 <input type="checkbox"/> C/VM1 <input type="checkbox"/> C/VM2 <input type="checkbox"/> Other:	
C2	Prevention of Fire Occurring	C/AS1 – C/AS7 <input type="checkbox"/> C/VM1 <input type="checkbox"/> C/VM2 <input type="checkbox"/> Other:	
C3	Fire Affecting Areas Beyond Fire Source	C/AS1 – C/AS7 <input type="checkbox"/> C/VM1 <input type="checkbox"/> C/VM2 <input type="checkbox"/> Other:	
C4	Movement to a Safe Place	C/AS1 – C/AS7 <input type="checkbox"/> C/VM1 <input type="checkbox"/> C/VM2 <input type="checkbox"/> Other:	
C5	Access and Safety for Fire-Fighting Operations	C/AS1 – C/AS7 <input type="checkbox"/> C/VM1 <input type="checkbox"/> C/VM2 <input type="checkbox"/> Other:	
C6	Structural Stability	C/AS1 – C/AS7 <input type="checkbox"/> C/VM1 <input type="checkbox"/> C/VM2 <input type="checkbox"/> Other:	
D1	Access Routes	D1/AS1 <input type="checkbox"/> NZS4121 <input type="checkbox"/> Other:	
D2	Mechanical installations for access	D2/AS1 <input type="checkbox"/> NZS4332 <input type="checkbox"/> EN81 <input type="checkbox"/> D2/AS2 <input type="checkbox"/> D2/AS3 <input type="checkbox"/> Other:.....	
E1	Surface water	E1/AS1 <input type="checkbox"/> AS/NZS3500.3 <input type="checkbox"/> Other:	
E2	External moisture	E2/AS1 <input type="checkbox"/> E2/AS2 <input type="checkbox"/> E2/AS3 <input type="checkbox"/> E2/AS4 <input type="checkbox"/> Specific design & testing <input type="checkbox"/>	
E3	Internal moisture	E3/AS1 <input type="checkbox"/> ES/AS2 <input type="checkbox"/> Other:	
F1	Hazardous agents on site	F1/AS1 <input type="checkbox"/> Other:	
F2	Hazardous building materials	F2/AS1 <input type="checkbox"/> NZS4223 <input type="checkbox"/> Other:	
F3	Hazardous substances and processes	F3/VMI <input type="checkbox"/> Other:	

F4	Safety from falling	F4/AS1 <input type="checkbox"/> FSP Act <input type="checkbox"/> Other:	
F5	Construction and demolition hazards	F5/AS1 <input type="checkbox"/> Other:	
F6	Lighting for emergency	F6/AS1 <input type="checkbox"/> Other:	
F7	Warning systems	F7/AS1 <input type="checkbox"/> NZS4512 <input type="checkbox"/> Other:	
F8	Signs	F8/AS1 <input type="checkbox"/> Other:	
G1	Personal hygiene	G1/AS1 <input type="checkbox"/> Other:	
G2	Laundering	G2/AS1 <input type="checkbox"/> Other:	
G3	Food prep. And prevention of contamination	G3/AS1 <input type="checkbox"/> Other:	
G4	Ventilation	G4/AS1 <input type="checkbox"/> AS1668.2 <input type="checkbox"/> Other:	
G5	Interior environment	G5/AS1 <input type="checkbox"/> Other:	
G6	Airborne and impact sound	G6/AS1 <input type="checkbox"/> Other:	
G7	Natural light	G7/AS1 <input type="checkbox"/> Other:	
G8	Artificial light	G8/AS1 <input type="checkbox"/> NZS6703 <input type="checkbox"/> Other:	
G9	Electricity	G9/AS1 <input type="checkbox"/> Other:	
G10	Piped services	G10/AS1 <input type="checkbox"/> NZS5601 <input type="checkbox"/> Other:	
G11	Gas as an energy source	G11/AS1 <input type="checkbox"/> Other:	
G12	Water supplies	G12/AS1 <input type="checkbox"/> G12/AS2 <input type="checkbox"/> AS/NZS3500.1 <input type="checkbox"/> AS/NZS3500.4 <input type="checkbox"/> Other:	
G13	Foul water	G13/AS1 <input type="checkbox"/> G13/AS2 <input type="checkbox"/> G13/AS3 <input type="checkbox"/> BS5572 <input type="checkbox"/> AS/NZS3500.2 <input type="checkbox"/> Other:	
G14	Industrial liquid waste	G14/AS1 <input type="checkbox"/> Other:	
G15	Solid waste	G15/AS1 <input type="checkbox"/> Other:	
H1	Energy efficiency provisions	H1/AS1 <input type="checkbox"/> NZS4218 <input type="checkbox"/> NZS4243 <input type="checkbox"/> ALF Design Manual <input type="checkbox"/> NZS4214 <input type="checkbox"/> Other:	

Compliance Schedule

Not applicable if applying for a Project Information Memorandum (PIM) only

Specified systems associated with this project				
Are there any specified systems being altered, added or to be removed in the course of the building work associated with this project? (specified systems are defined in regulations)			Yes <input type="checkbox"/>	No <input type="checkbox"/>
SS Code	Specified Systems Note: A Specified System Information Template must be completed for each Specified System. This form can be downloaded from ashburtondc.govt.nz	Applicable Systems	Specified System Information Template Completed?	
1	Automatic systems for fire suppression <i>(for example, sprinkler systems)</i>			
2	Automatic emergency warning systems for fire or other dangers <i>(other than a warning system for fire that is entirely within a household unit and serves only that unit)</i>			
3	Electromagnetic or automatic doors or windows <i>(for example, ones that close on fire alarm activation)</i>			
4	Emergency lighting systems			
5	Escape route pressurisation systems			
6	Riser mains for use by fire services			
7	Automatic backflow preventers connected to a potable water supply			
8	Lifts, escalators, travelators, or other systems for moving people or goods within buildings			
9	Mechanical ventilation or air conditioning systems			
10	Building maintenance units providing access to exterior and interior walls of buildings			
11	Laboratory fumes cupboards			
12	Audio loops or other assistive listening systems			
13	Smoke control systems			
14	Emergency power systems for, or signs relating to, a system of feature specified in any clauses of 1 - 13			
15	Any or all of the following systems and features, so long as they form part of a building's means of escape from fire, and so long as those means also contain any or all of the systems or features specified in clauses 1 - 6, 9, and 13			
15a	Systems for communicating spoken information intended to facilitate evacuation; and			
15b	Final exits <i>(as defined by clause A2 of the building code)</i> ; and			
15c	Fire separations <i>(as so defined)</i> ; and			
15d	Signs for communicating information intended to facilitate evacuation; and			
15e	Smoke separations <i>(as so defined)</i>			
16	Cable Cars			
Purpose Groups:		Fire Hazard Category:	Max. Occupant Load:	

Required Attachments

Please ensure that you have included these documents to your application. **Tick the documents that you have attached.**

- Plans and Specifications (2 copies for Residential and Commercial PIM only – 1 copy of Site Plans, Floor Plan and Elevations)
- Project Information Memorandum
- Certificate attached to Project Information Memorandum
- Development Contribution Notice New or altered access for vehicles
- Evidence of Ownership
- Building Consent Application Checklist (Residential or Commercial)
- Memoranda (Certificate of Design Work) from each Licensed Building Practitioner who carried out or supervised any design work that is restricted building work
- Specified System Information Template for each Specified System
- Application fee (Refer to our current Schedule of Fees and Charges at ashburtondc.govt.nz)

Note: All plans and specifications must meet minimum requirements set out in the regulations or required by the Building Consent Authority.

Notes by Applicant (Please include any notes or comments you may wish to add)

Fee payer for lodgement fees:

Fee payer for processing fees prior to BC uplift:

Fee payer for fees incurred after BC uplift:

Method of Payment

Cash <input type="checkbox"/>	Cheque <input type="checkbox"/>	Eftpos <input type="checkbox"/>
Credit Card <input type="checkbox"/>	Direct Credit <input type="checkbox"/>	

Note: For direct credit, please make payment to account number 03-15920521970-00 include name of applicant and the Building Consent Number (if known). If you don't know the Building Consent number, please enter letters BC in the reference field. This will enable us to match your payment and prevent delays in processing your request.

Privacy Act

Applicants for Building Consents are advised that the details provided on the Building Consent Application form are required to be held in a public register and on file where they may be perused by any interested individual. A summary of information compiled from these forms is also provided to the Councils Valuation Service Provider, Department of Building and Housing, Building Research Association, the media and on request, to the public. The consequence of not providing information is that a Building Consent will not be issued.

Signature

Declaration: I declare as owner or agent of the owner, that I have provided all the information requested on this form, in relation to the project site, known to the owner and agent. I am aware that withholding any such information may invalidate the Project Information Memorandum and the Building Consent issued by Council.

Signed by Owner or on behalf of the owner:

Date:

.....

Name: