

CASH SETTLED CLAIM(S)

The following information contains documents relating to claim(s) that were cash settled for the property.

If you require sign off or repair completion documents, they may be obtainable from the contractors who completed the substantive repairs at the property.



Scope of Works

Completed by:	JOHNNY TRAN	CLM	2010/006707
Date:	2-Nov-2011	Claimant Name:	
		RUSSELL WENN	
		16 HEMINGWAY PLACE	
		BROOKLANDS	

Element details:

Land	Building	Bridges/culverts	Retaining walls	Other
Lounge	Dining	Kitchen	Family room	Bedroom
Office/Study	Rumpus	Hallway	Stairwell	Toilet
Laundry	Bathroom	Ensuite	Chimney	Foundations
Piling	Services	Kitchen ovens	Hot water cylinders	Header tanks
Glazing/windows	Fireplace/woodburner	Floors	External walls	Roof
Outbuildings	Other			

Description: Substantial Damage to Dwelling

Repair strategy: Cost to Repair Exceeds Maximum EQC Entitlement

Line items:

Description:	Units	Length	Breadth	Depth	Qty	Rate	Cost
TOTAL AREA OF DWELLING	m²	221.00	1.00		221.00	\$ 2,500.00	\$ 552,500.00
TOTAL AREA OF EXTERNAL GARAGE (IF APPLICABLE)	m ²				0.00	\$ 800.00	\$ -
TOTAL AREA OF GARDEN SHED	m ²				0.00	\$ 100.00	\$ -
TOTAL AREA OF SLEEP-OUT	m ²				0.00		\$ -
					0.00		
					0.00		
					0.00		
					0.00		
					0.00		
					0.00		
					0.00		
					0.00		
					0.00		
					0.00		
Subtotal						\$ 552,500.00	
+ P&G, Margin & GST Figure						\$ 202,325.50	
Total						\$ 754,825.50	

* Unit categories to be used as follows:
Each, Sheet, Kilogram, Linear metre, Square metre, Cubic metre, Per hour, Per day, Per week. Cubic metre calculations must include length, breadth and depth figures. Square metre calculations must include length and breadth figures.

EQC 039 - Revised 07-09

Completed by:

JOHNNY TRAN

CLM

2010/006707

Date:

2-Nov-2011

Claimant Name:

RUSSELL WENN

16 HEMINGWAY PLACE

BROOKLANDS

Land		Building		Bridges/culverts		Retaining walls		Other
Lounge		Dining		Kitchen		Family room		Bedroom
Office/Study		Rumpus		Hallway		Stairwell		Toilet
Laundry		Bathroom		Ensuite		Chimney		Foundations
Piling		Services		Kitchen ovens		Hot water cylinders		Header tanks
Glazing/windows		Fireplace/woodburner		Floors		External walls		Roof
Outbuildings		Other						

Description:	Substantial Damage to Dwelling
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Repair strategy:	Cost to Repair Exceeds Maximum EQC Entitlement
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Line items:

[illegible]

* Unit categories to be used as follows:

Each, Sheet, Kilogram, Linear metre, Square metre, Cubic metre, Per hour, Per day, Per week. Cubic metre calculations must include length, breadth and depth figures. Square metre calculations must include length and breadth figures.

+ P&G, Margin & GST Figure

EQC 039 - Revised 07-09

EQC EARTHQUAKE COMMISSION								
Scope of Works								
Completed by:	JOHNNY TRAN			CLM	2010/006707			
Date:	2-Nov-2011			Claimant Name:				
				RUSSELL WENN				
				16 HEMINGWAY PLACE				
				BROOKLANDS				
Element details:								
Land		Building		Bridges/culverts		Retaining walls		Other
Lounge		Dining		Kitchen		Family room		Bedroom
Office/Study		Rumpus		Hallway		Stairwell		Toilet
Laundry		Bathroom		Ensuite		Chimney		Foundations
Piling		Services		Kitchen ovens		Hot water cylinders		Header tanks
Glazing/windows		Fireplace/woodburner		Floors		External walls		Roof
Outbuildings		Other						
Description:	Substantial Damage to Dwelling							
Repair strategy:	Cost to Repair Exceeds Maximum EQC Entitlement							
Line items:								
Description:	Units	Length	Breadth	Depth	Qty	Rate	Cost	
Demolition								
	Hrs					\$ 45.00	\$ -	
Demolition of Heavy Roof/Heavy Wall/Heavy Floor	m ²				0.00	120.00	\$ -	
Concrete Slab	m ²	221.00	1.00		221.00	75.75	\$ 16,740.75	
Concrete Footings	Lm	74.80			74.80	60.00	\$ 4,488.00	
Piles	Each					\$ 15.00	\$ -	
Remove Brick Veneer and Dispose - 10 Series Block	m ²	74.80	2.40		179.52	\$ 48.00	\$ 8,616.96	
					0.00		\$ -	
Cut away internal wall linings for a lift on slab	m ²	162.00	1.00		162.00	\$ 3.50	\$ 567.00	
((gfa x 0.53) + (perimeter x 0.6))					0.00		\$ -	
Remove concrete roof tiles	m ²				0.00	\$ 25.00	\$ -	
Deck	m ²				0.00	\$ 40.00	\$ -	
					0.00		\$ -	
4m3 SKIP BIN HIRE	Each				1.00	\$ 240.00	\$ 240.00	
LIFTING & REMOVAL								
Lift & Reinststate Dwelling	Each				1.00	\$ 12,000.00	\$ 12,000.00	
Lift & Reinststate Garage	Each					\$ 4,000.00	\$ -	
WEATHER PROOF WRAP	m ²	74.80	2.40		179.52	\$ 7.20	\$ 1,292.54	
	Subtotal						\$ 43,945.25	
* Unit categories to be used as follows: Each, Sheet, Kilogram, Linear metre, Square metre, Cubic metre, Per hour, Per day, Per week. Cubic metre calculations must include length, breadth and depth figures. Square metre calculations must include length and breadth figures.	+ P&G, Margin & GST Figure							
	Total							
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Lounge	Dining	Kitchen	Family room	Bedroom
Office/Study	Rumpus	Hallway	Stairwell	Toilet
Laundry	Bathroom	Ensuite	Chimney	Foundations
Piling	Services	Kitchen ovens	Hot water cylinders	Header tanks
Glazing/windows	Fireplace/woodburner	Floors	External walls	Roof
Outbuildings	Other			

Description: Substantial Damage to Dwelling

Repair strategy: Cost to Repair Exceeds Maximum EQC Entitlement

Line items:

Description:	Units	Length	Breadth	Depth	Qty	Rate	Cost
LIQUIFACTION							\$ -
Remove from under dwelling	Each					\$ 8,000.00	\$ -
					0.00		\$ -
ASBESTOS							\$ -
Strip & remove from site	m ²				0.00	\$ 75.00	\$ -
Test	Each					\$ 200.00	\$ -
					0.00		\$ -
FOUNDATIONS							\$ -
Concrete Slab Footings	Lm	74.80			74.80	\$ 136.00	\$ 10,172.80
Concrete slab	m ²	221.00	1.00		221.00	\$ 130.00	\$ 28,730.00
Hardfill	m ²	221.00	1.00		221.00	\$ 34.00	\$ 7,514.00
Relevel Dwelling Engineer Design	m ²				0.00	\$ 500.00	\$ -
					0.00		\$ -
REPAIRS TO CONCRETE SLAB							\$ -
Slab repair - cracks 10 - 25 mm wide	Lm				0.00	\$ 190.00	\$ -
Self levelling compound 10-20 mm thick	m ²				0.00	\$ 85.00	\$ -
Epoxy repair to cracks - cracks up to 10 mm wide	Lm				0.00	\$ 42.00	\$ -
Asphalt concrete (AC) - repairs up to 30 mm thick	Lm				0.00	\$ 37.00	\$ -
						Subtotal	\$ 46,416.80
* Unit categories to be used as follows: Each, Sheet, Kilogram, Linear metre, Square metre, Cubic metre, Per hour, Per day, Per week. Cubic metre calculations must include length, breadth and depth figures. Square metre calculations must include length and breadth figures.						+ P&G, Margin & GST Figure	
						Total	
							EQC 039 - Revised 07-09

EQC EARTHQUAKE COMMISSION									
Scope of Works									
Completed by:	JOHNNY TRAN			CLM	2010/006707				
Date:	2-Nov-2011			Claimant Name:					
				RUSSELL WENN					
				16 HEMINGWAY PLACE					
				BROOKLANDS					
Element details:									
Land		Building		Bridges/culverts		Retaining walls		Other	
Lounge		Dining		Kitchen		Family room		Bedroom	
Office/Study		Rumpus		Hallway		Stairwell		Toilet	
Laundry		Bathroom		Ensuite		Chimney		Foundations	
Piling		Services		Kitchen ovens		Hot water cylinders		Header tanks	
Glazing/windows		Fireplace/woodburner		Floors		External walls		Roof	
Outbuildings		Other							
Description:	Substantial Damage to Dwelling								
Repair strategy:	Cost to Repair Exceeds Maximum EQC Entitlement								
Line items:									
Description:	Units	Length	Breadth	Depth	Qty	Rate	Cost		
EXTERNAL STEPS TO DECKS									
Concrete 450mm rise x 1.000m length	Each				1.00	\$ 500.00	\$ 500.00		
					0.00		\$ -		
WALL & ROOF FRAMING									
External wall framing	m ²				0.00	\$ 94.00	\$ -		
Internal wall framing	m ²				0.00	\$ 37.50	\$ -		
Roof framing	m ²				0.00	\$ 110.00	\$ -		
					0.00		\$ -		
HEAVY ROOF									
Concrete roof tiles	m ²				0.00	\$ 50.00	\$ -		
Ridge capping	Lm				0.00	\$ 75.00	\$ -		
							\$ -		
Marseille (Clay Tiles) supply & install	m ²				0.00	\$ 85.00	\$ -		
Roof tiles - small job	Each					\$ 10.00	\$ -		
					0.00		\$ -		
LIGHT ROOF									
American shingles supply and install	m ²				0.00	\$ 100.00	\$ -		
					0.00		\$ -		
	Subtotal						\$ 500.00		
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						Total			
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Scope of Works							
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Date:	2-Nov-2011			Claimant Name:			
				RUSSELL WENN			
				16 HEMINGWAY PLACE			
				BROOKLANDS			
Element details:							
Land	Building	Bridges/culverts	Retaining walls	Other			
Lounge	Dining	Kitchen	Family room	Bedroom			
Office/Study	Rumpus	Hallway	Stairwell	Toilet			
Laundry	Bathroom	Ensuite	Chimney	Foundations			
Piling	Services	Kitchen ovens	Hot water cylinders	Header tanks			
Glazing/windows	Fireplace/woodburner	Floors	External walls	Roof			
Outbuildings	Other						
Description:	Substantial Damage to Dwelling						
Repair strategy:	Cost to Repair Exceeds Maximum EQC Entitlement						
Line items:							
Description:	Units	Length	Breadth	Depth	Qty	Rate	Cost
NETTING AND UNDERLAY PAPER							
Roofing Underlay	m ²				0.00	\$ 3.00	\$ -
					0.00		\$ -
FASCIA AND SPOUTING							
Coloursteel Quarter Round Spouting	Lm				0.00	\$ 74.00	\$ -
PVC Downpipes - 80mm - Supply and Install	Each				0.00	\$ 68.00	\$ -
					0.00		\$ -
EXTERIOR CLADDING							
Brick/Block							
Standard Brick Veneer	m ²	74.80	2.40		179.52	\$ 104.00	\$ 18,670.08
Concrete block 15 / 20 series supply / Lay / fill	m ²				0.00	\$ 180.00	\$ -
					0.00		\$ -
Hebel Panels							
75mm thick sound floor	m ²				0.00	\$ -	\$ -
					0.00		\$ -
Stone/Rock Veneers							
Summerhill Stone	m ²				0.00	\$ 130.00	\$ -
					0.00		\$ -
	Subtotal						\$ 18,670.08
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	Total						
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Date:	2-Nov-2011			Claimant Name:			
				RUSSELL WENN			
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				BROOKLANDS			
Element details:							
Land		Building		Bridges/culverts		Retaining walls	
Lounge		Dining		Kitchen		Family room	
Office/Study		Rumpus		Hallway		Stairwell	
Laundry		Bathroom		Ensuite		Chimney	
Piling		Services		Kitchen ovens		Hot water cylinders	
Glazing/windows		Fireplace/woodburner		Floors		External walls	
Outbuildings		Other					
Description:	Substantial Damage to Dwelling						
Repair strategy:	Cost to Repair Exceeds Maximum EQC Entitlement						
Line items:							
Description:	Units	Length	Breadth	Depth	Qty	Rate	Cost
INSULATION							
Ceiling batts - supply and install	m ²				0.00	\$ 20.00	\$ -
Wall batts - supply and install	m ²				0.00	\$ 25.00	\$ -
Underfloor- supply and install	m ²				0.00	\$ 15.00	\$ -
					0.00		\$ -
					0.00		\$ -
CEILING LININGS							
13mm aqualine	m ²				0.00	\$ 80.00	\$ -
13mm gib	m ²				0.00	\$ 75.00	\$ -
					0.00		\$ -
					0.00		\$ -
WALL LININGS							
10mm aqualine	m ²				0.00	\$ 60.00	\$ -
10mm aqualine	m ²				0.00	\$ 60.00	\$ -
External wall linings to be replaced after a lift	m ²	74.80	0.60		44.88	\$ 50.00	\$ 2,244.00
Internal wall linings to be replaced after a lift (gfa x 0.53)	m ²	221.00	0.53		117.13	\$ 50.00	\$ 5,856.50
					0.00		\$ -
					0.00		\$ -
	Subtotal						\$ 8,100.50
* Unit categories to be used as follows: Each, Sheet, Kilogram, Linear metre, Square metre, Cubic metre, Per hour, Per day, Per week. Cubic metre calculations must include length, breadth and depth figures. Square metre calculations must include length and breadth figures.	+ P&G, Margin & GST Figure						
	Total						
	EQC 039 - Revised 07-09						



Scope of Works

Completed by:	JOHNNY TRAN	CLM	2010/006707
Date:	2-Nov-2011	Claimant Name:	
		RUSSELL WENN	
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		BROOKLANDS	

Element details:

Land	Building	Bridges/culverts	Retaining walls	Other
Lounge	Dining	Kitchen	Family room	Bedroom
Office/Study	Rumpus	Hallway	Stairwell	Toilet
Laundry	Bathroom	Ensuite	Chimney	Foundations
Piling	Services	Kitchen ovens	Hot water cylinders	Header tanks
Glazing/windows	Fireplace/woodburner	Floors	External walls	Roof
Outbuildings	Other			

Description: Substantial Damage to Dwelling

Repair strategy: Cost to Repair Exceeds Maximum EQC Entitlement

Line items:

Description:	Units	Length	Breadth	Depth	Qty	Rate	Cost
LOUNGE ceiling							
Rake stop paint	m ²	4.50	4.40		19.80	\$ 27.00	\$ 534.60
Paint	m ²				0.00	\$ 25.00	\$ -
Walls							
Rake stop paint	m ²	17.80	2.70		48.06	\$ 27.00	\$ 1,297.62
ADJUST DOORS	Each				1.00	\$ 180.00	\$ 180.00
Floor							
Supply & Lay tiles	m ²				0.00	\$ 130.00	\$ -
Vinyl	m ²				0.00	\$ 125.00	\$ -
DINING + KITCHEN ceiling							
Rake stop paint	m ²	6.60	4.00		26.40	\$ 27.00	\$ 712.80
Paint	m ²				0.00	\$ 25.00	\$ -
Walls							
Rake stop paint	m ²	21.20	2.40		50.88	\$ 27.00	\$ 1,373.76
Paint	m ²				0.00	\$ 25.00	\$ -
Floor							
Supply & Lay tiles	m ²	2.70	1.30		3.51	\$ 130.00	\$ 456.30
Vinyl	m ²				0.00	\$ 125.00	\$ -
						Subtotal	\$ 4,555.08

* Unit categories to be used as follows:

Each, Sheet, Kilogram, Linear metre, Square metre, Cubic metre, Per hour, Per day, Per week. Cubic metre calculations must include length, breadth and depth figures. Square metre calculations must include length and breadth figures.

+ P&G, Margin & GST Figure

EQC 039 - Revised 07-09



Scope of Works

Completed by:	JOHNNY TRAN	CLM	2010/006707
Date:	2-Nov-2011	Claimant Name:	RUSSELL WENN
			16 HEMINGWAY PLACE
			BROOKLANDS

Element details:

Land	Building	Bridges/culverts	Retaining walls	Other
Lounge	Dining	Kitchen	Family room	Bedroom
Office/Study	Rumpus	Hallway	Stairwell	Toilet
Laundry	Bathroom	Ensuite	Chimney	Foundations
Piling	Services	Kitchen ovens	Hot water cylinders	Header tanks
Glazing/windows	Fireplace/woodburner	Floors	External walls	Roof
Outbuildings	Other			

Description: Substantial Damage to Dwelling

Repair strategy: Cost to Repair Exceeds Maximum EQC Entitlement

Line items:

Description:	Units	Length	Breadth	Depth	Qty	Rate	Cost
FAMILY ROOM ceiling							
Rake stop paint	m ²	4.20	5.60		23.52	\$ 27.00	\$ 635.04
Paint	m ²				0.00	\$ 25.00	\$ -
Walls							
Rake stop paint	m ²	19.60	2.70		52.92	\$ 27.00	\$ 1,428.84
Paint	m ²				0.00	\$ 25.00	\$ -
Floor							
Supply & Lay tiles	m ²				0.00	\$ 130.00	\$ -
Vinyl	m ²				0.00	\$ 125.00	\$ -
BEDROOM 1 ceiling							
Rake stop paint	m ²	3.50	5.50		19.25	\$ 27.00	\$ 519.75
Paint	m ²				0.00	\$ 25.00	\$ -
Walls							
Rake stop paint	m ²	18.00	2.40		43.20	\$ 27.00	\$ 1,166.40
Paint	m ²				0.00	\$ 25.00	\$ -
Floor							
Supply & Lay tiles	m ²				0.00	\$ 130.00	\$ -
Vinyl	m ²				0.00	\$ 125.00	\$ -
						Subtotal	\$ 3,750.03

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Each, Sheet, Kilogram, Linear metre, Square metre, Cubic metre, Per hour, Per day, Per week. Cubic metre calculations must include length, breadth and depth figures. Square metre calculations must include length and breadth figures.

+ P&G, Margin & GST Figure

EQC 039 - Revised 07-09

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Date:	2-Nov-2011			Claimant Name:				
				RUSSELL WENN				
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				BROOKLANDS				
Element details:								
Land		Building		Bridges/culverts		Retaining walls		Other
Lounge		Dining		Kitchen		Family room		Bedroom
Office/Study		Rumpus		Hallway		Stairwell		Toilet
Laundry		Bathroom		Ensuite		Chimney		Foundations
Piling		Services		Kitchen ovens		Hot water cylinders		Header tanks
Glazing/windows		Fireplace/woodburner		Floors		External walls		Roof
Outbuildings		Other						
Description:	Substantial Damage to Dwelling							
Repair strategy:	Cost to Repair Exceeds Maximum EQC Entitlement							
Line items:								
Description:	Units	Length	Breadth	Depth	Qty	Rate	Cost	
ENSUITE ceiling								
Rake stop paint	m ²	3.20	2.20		7.04	\$ 27.00	\$ 190.08	
Paint	m ²				0.00	\$ 25.00	\$ -	
Walls								
Rake stop paint	m ²	10.80	2.40		25.92	\$ 27.00	\$ 699.84	
Paint	m ²				0.00	\$ 25.00	\$ -	
Floor								
Supply & Lay tiles	m ²	3.20	2.20		7.04	\$ 130.00	\$ 915.20	
Vinyl	m ²				0.00	\$ 125.00	\$ -	
BEDROOM 2 ceiling								
Rake stop paint	m ²	3.60	3.80		13.68	\$ 27.00	\$ 369.36	
Paint	m ²				0.00	\$ 25.00	\$ -	
Walls								
Rake stop paint	m ²	14.80	2.40		35.52	\$ 27.00	\$ 959.04	
Paint	m ²				0.00	\$ 25.00	\$ -	
Floor								
Supply & Lay tiles	m ²				0.00	\$ 130.00	\$ -	
Vinyl	m ²				0.00	\$ 125.00	\$ -	
	Subtotal						\$ 3,133.52	
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						Total		
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Element details:							
Land		Building		Bridges/culverts		Retaining walls	
Lounge		Dining		Kitchen		Family room	
Office/Study		Rumpus		Hallway		Stairwell	
Laundry		Bathroom		Ensuite		Chimney	
Piling		Services		Kitchen ovens		Hot water cylinders	
Glazing/windows		Fireplace/woodburner		Floors		External walls	
Outbuildings		Other					
Description:	Substantial Damage to Dwelling						
Repair strategy:	Cost to Repair Exceeds Maximum EQC Entitlement						
Line items:							
Description:	Units	Length	Breadth	Depth	Qty	Rate	Cost
BEDROOM 3 ceiling							
Rake stop paint	m ²	2.80	2.80		7.84	\$ 27.00	\$ 211.68
Paint	m ²				0.00	\$ 25.00	\$ -
Walls							
Rake stop paint	m ²	11.20	2.40		26.88	\$ 27.00	\$ 725.76
Paint	m ²				0.00	\$ 25.00	\$ -
Floor							
Supply & Lay tiles	m ²				0.00	\$ 130.00	\$ -
Vinyl	m ²				0.00	\$ 125.00	\$ -
BATHROOM ceiling							\$ -
Rake stop paint	m ²	2.20	2.70		5.94	\$ 27.00	\$ 160.38
Paint	m ²				0.00	\$ 25.00	\$ -
Walls							
Rake stop paint	m ²	9.80	2.40		23.52	\$ 27.00	\$ 635.04
Paint	m ²				0.00	\$ 25.00	\$ -
Floor							
Supply & Lay tiles	m ²	2.20	2.70		5.94	\$ 130.00	\$ 772.20
Vinyl	m ²				0.00	\$ 125.00	\$ -
	Subtotal						\$ 2,505.06
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	Total						
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Element details:							
Land		Building		Bridges/culverts		Retaining walls	
Lounge		Dining		Kitchen		Family room	
Office/Study		Rumpus		Hallway		Stairwell	
Laundry		Bathroom		Ensuite		Chimney	
Piling		Services		Kitchen ovens		Hot water cylinders	
Glazing/windows		Fireplace/woodburner		Floors		External walls	
Outbuildings		Other					
Description:	Substantial Damage to Dwelling						
Repair strategy:	Cost to Repair Exceeds Maximum EQC Entitlement						
Line items:							
Description:	Units	Length	Breadth	Depth	Qty	Rate	Cost
TOILET ceiling							
Rake stop paint	m ²	2.20	0.90		1.98	\$ 27.00	\$ 53.46
Paint	m ²				0.00	\$ 25.00	\$ -
Walls							
Rake stop paint	m ²	6.20	2.40		14.88	\$ 27.00	\$ 401.76
Paint	m ²				0.00	\$ 25.00	\$ -
Floor							
Supply & Lay tiles	m ²	2.20	0.90		1.98	\$ 130.00	\$ 257.40
Vinyl	m ²				0.00	\$ 125.00	\$ -
WIR Ceiling							
Rake stop paint	m ²	2.30	2.20		5.06	\$ 27.00	\$ 136.62
Paint	m ²				0.00	\$ 25.00	\$ -
Walls							
Rake stop paint	m ²	9.00	2.40		21.60	\$ 27.00	\$ 583.20
Paint	m ²				0.00	\$ 25.00	\$ -
Floor							
Supply & Lay tiles	m ²				0.00	\$ 130.00	\$ -
Vinyl	m ²				0.00	\$ 125.00	\$ -
	Subtotal						\$ 1,432.44
* Unit categories to be used as follows: Each, Sheet, Kilogram, Linear metre, Square metre, Cubic metre, Per hour, Per day, Per week. Cubic metre calculations must include length, breadth and depth figures. Square metre calculations must include length and breadth figures.	+ P&G, Margin & GST Figure						
	Total						
	EQC 039 - Revised 07-09						



Scope of Works

Completed by:	JOHNNY TRAN	CLM	2010/006707
Date:	2-Nov-2011	Claimant Name:	
		RUSSELL WENN	
		16 HEMINGWAY PLACE	
		BROOKLANDS	

Element details:

Land	Building	Bridges/culverts	Retaining walls	Other
Lounge	Dining	Kitchen	Family room	Bedroom
Office/Study	Rumpus	Hallway	Stairwell	Toilet
Laundry	Bathroom	Ensuite	Chimney	Foundations
Piling	Services	Kitchen ovens	Hot water cylinders	Header tanks
Glazing/windows	Fireplace/woodburner	Floors	External walls	Roof
Outbuildings	Other			

Description: Substantial Damage to Dwelling

Repair strategy: Cost to Repair Exceeds Maximum EQC Entitlement

Line items:

Description:	Units	Length	Breadth	Depth	Qty	Rate	Cost
Lounge Ceiling							
Rake stop paint	m ²	1.50	3.20		4.80	\$ 27.00	\$ 129.60
Paint	m ²				0.00	\$ 25.00	\$ -
Walls							
Rake stop paint	m ²	9.40	2.40		22.56	\$ 27.00	\$ 609.12
Paint	m ²				0.00	\$ 25.00	\$ -
Floor							
Supply & Lay tiles	m ²	1.50	3.20		4.80	\$ 130.00	\$ 624.00
Vinyl	m ²				0.00	\$ 125.00	\$ -
HALLWAYS Ceiling							\$ -
Rake stop paint	m ²	9.20	1.00		9.20	\$ 27.00	\$ 248.40
Paint	m ²				0.00	\$ 25.00	\$ -
Walls							
Rake stop paint	m ²	20.40	2.40		48.96	\$ 27.00	\$ 1,321.92
Paint	m ²				0.00	\$ 25.00	\$ -
Floor							
Supply & Lay tiles	m ²				0.00	\$ 130.00	\$ -
Vinyl	m ²				0.00	\$ 125.00	\$ -
						Subtotal	\$ 2,933.04

* Unit categories to be used as follows:

Each, Sheet, Kilogram, Linear metre, Square metre, Cubic metre, Per hour, Per day, Per week. Cubic metre calculations must include length, breadth and depth figures. Square metre calculations must include length and breadth figures.

+ P&G, Margin & GST Figure

Total

EQC 039 - Revised 07-09



Scope of Works

Completed by:	JOHNNY TRAN	CLM	2010/006707
Date:	2-Nov-2011	Claimant Name:	
		RUSSELL WENN	
		16 HEMINGWAY PLACE	
		BROOKLANDS	

Element details:

Land	Building	Bridges/culverts	Retaining walls	Other
Lounge	Dining	Kitchen	Family room	Bedroom
Office/Study	Rumpus	Hallway	Stairwell	Toilet
Laundry	Bathroom	Ensuite	Chimney	Foundations
Piling	Services	Kitchen ovens	Hot water cylinders	Header tanks
Glazing/windows	Fireplace/woodburner	Floors	External walls	Roof
Outbuildings	Other			

Description: Substantial Damage to Dwelling

Repair strategy: Cost to Repair Exceeds Maximum EQC Entitlement

Line items:

Description:	Units	Length	Breadth	Depth	Qty	Rate	Cost
ENTRY/HALL ceiling							
Rake stop paint	m ²	5.10	1.80		9.18	\$ 27.00	\$ 247.86
Paint	m ²				0.00	\$ 25.00	\$ -
Walls							
Rake stop paint	m ²	13.80	2.40		33.12	\$ 27.00	\$ 894.24
Paint	m ²				0.00	\$ 25.00	\$ -
Floor							
Supply & Lay tiles	m ²	5.10	1.80		9.18	\$ 130.00	\$ 1,193.40
Vinyl	m ²				0.00	\$ 125.00	\$ -
GARAGE ceiling							
Rake stop paint	m ²	5.60	5.80		32.48	\$ 27.00	\$ 876.96
Paint	m ²				0.00	\$ 25.00	\$ -
Walls							
Rake stop paint	m ²	22.80	2.40		54.72	\$ 27.00	\$ 1,477.44
Paint	m ²				0.00	\$ 25.00	\$ -
Floor							
Supply & Lay tiles	m ²				0.00	\$ 130.00	\$ -
Vinyl	m ²				0.00	\$ 125.00	\$ -
						Subtotal	\$ 4,689.90

* Unit categories to be used as follows:

Each, Sheet, Kilogram, Linear metre, Square metre, Cubic metre, Per hour, Per day, Per week. Cubic metre calculations must include length, breadth and depth figures. Square metre calculations must include length and breadth figures.

+ P&G, Margin & GST Figure

EQC 039 - Revised 07-09

Completed by: JOHNNY TRAN

CLM	2010/006707
-----	-------------

Date:	2-Nov-2011
-------	------------

Claimant Name:

RUSSELL WENN

16 HEMINGWAY PLACE

BROOKLANDS

Land		Building		Bridges/culverts		Retaining walls		Other
Lounge		Dining		Kitchen		Family room		Bedroom
Office/Study		Rumpus		Hallway		Stairwell		Toilet
Laundry		Bathroom		Ensuite		Chimney		Foundations
Piling		Services		Kitchen ovens		Hot water cylinders		Header tanks
Glazing/windows		Fireplace/woodburner		Floors		External walls		Roof
Outbuildings		Other						

Description:	Substantial Damage to Dwelling
---------------------	--------------------------------

Repair strategy:	Cost to Repair Exceeds Maximum EQC Entitlement
-------------------------	--

Description:	Units	Length	Breadth	Depth	Qty	Rate	Cost
GLAZING							
Single Glazed							
4mm clear float	m²				0.00	\$ 102.00	\$
4mm obscured	m²				0.00	\$ 120.00	\$
Lead lighting	m²				0.00	\$ 750.00	\$
Small Job Charge -less than 3 windows to reglaze + glass	m²				0.00	\$ 150.00	\$
Double Glazing							
4/4mm standard	m²				0.00	\$ 172.00	\$
					0.00		\$
ELECTRICAL Costs							
For Dwellings 130>250	m²				0.00	\$ 75.00	\$
					0.00		\$
					0.00		\$
PLUMBING Costs							
For Dwellings 130>250	Each				1.00	\$ 15,000.00	\$ 15,000.00
Toilet suite - wall mounted cistern in wall	Each					\$ 1,620.00	\$
cistern vitreous china	Each					\$ 463.00	\$
					0.00		\$
	Subtotal						\$ 15,000.00

* Unit categories to be used as follows:

Each, Sheet, Kilogram, Linear metre, Square metre, Cubic metre, Per hour, Per day, Per week. Cubic metre calculations must include length, breadth and depth figures. Square metre calculations must include length and breadth figures.

+ P&G, Margin & GST Figure

EQC 039 - Revised 07-09

EQC EARTHQUAKE COMMISSION									
Scope of Works									
Completed by:	JOHNNY TRAN			CLM	2010/006707				
Date:	2-Nov-2011			Claimant Name:					
				RUSSELL WENN					
				16 HEMINGWAY PLACE					
				BROOKLANDS					
Element details:									
Land		Building		Bridges/culverts		Retaining walls		Other	
Lounge		Dining		Kitchen		Family room		Bedroom	
Office/Study		Rumpus		Hallway		Stairwell		Toilet	
Laundry		Bathroom		Ensuite		Chimney		Foundations	
Piling		Services		Kitchen ovens		Hot water cylinders		Header tanks	
Glazing/windows		Fireplace/woodburner		Floors		External walls		Roof	
Outbuildings		Other							
Description:	Substantial Damage to Dwelling								
Repair strategy:	Cost to Repair Exceeds Maximum EQC Entitlement								
Line items:									
Description:	Units	Length	Breadth	Depth	Qty	Rate	Cost		
DRAINAGE COSTS									
reinstate drains	Each				1.00	\$ 5,000.00	\$ 5,000.00		
					0.00		\$ -		
KITCHEN JOINERY									
Medium 130-250 m2	Each				1.00	\$ 12,000.00	\$ 12,000.00		
Laminated Rimu	m ²				0.00	\$ 499.00	\$ -		
					0.00		\$ -		
GARAGE									
Floor									
Concrete floor slab including foundation & hardfill	m ²				0.00	\$ 300.00	\$ -		
Wall Framing									
Concrete block wall 15 / 20 series block	m ²				0.00	\$ 180.00	\$ -		
Wall Cladding									
Heavy weight - brick / stone veneers	m ²				0.00	\$ 104.00	\$ -		
Roof framing	m ²				0.00	\$ 110.00	\$ -		
Roof cladding									
Light weight - corrugate	m ²				0.00	\$ 50.00	\$ -		
					0.00		\$ -		
	Subtotal						\$ 17,000.00		
* Unit categories to be used as follows: Each, Sheet, Kilogram, Linear metre, Square metre, Cubic metre, Per hour, Per day, Per week. Cubic metre calculations must include length, breadth and depth figures. Square metre calculations must include length and breadth figures.						+ P&G, Margin & GST Figure			
						Total			
						EQC 039 - Revised 07-09			



Scope of Works

Completed by:	JOHNNY TRAN	CLM	2010/006707
Date:	2-Nov-2011	Claimant Name:	
		RUSSELL WENN	
		16 HEMINGWAY PLACE	
		BROOKLANDS	

Element details:

Land	Building	Bridges/culverts	Retaining walls	Other
Lounge	Dining	Kitchen	Family room	Bedroom
Office/Study	Rumpus	Hallway	Stairwell	Toilet
Laundry	Bathroom	Ensuite	Chimney	Foundations
Piling	Services	Kitchen ovens	Hot water cylinders	Header tanks
Glazing/windows	Fireplace/woodburner	Floors	External walls	Roof
Outbuildings	Other			

Description: Substantial Damage to Dwelling

Repair strategy: Cost to Repair Exceeds Maximum EQC Entitlement

Line items:

Description:	Units	Length	Breadth	Depth	Qty	Rate	Cost
Garage Doors & Windows							
4.800mm wide double garage door with opener	Each					\$ 3,608.00	\$ -
					0.00		\$ -
					0.00		\$ -
Outbuilding							
Sleepout	m ²				0.00		\$ -
					0.00		\$ -
					0.00		\$ -
Sundries							
Metal chimney flue	Each				1.00	\$ 1,200.00	\$ 1,200.00
Inbuilt gas	Each				1.00	\$ 2,700.00	\$ 2,700.00
REPIPE GAS CONNECTION	Each				1.00	\$ 1,000.00	\$ 1,000.00
							\$ -
CHIMNEY'S							
External single level 3.7h plastered (small)	Each				1.00	\$ 9,648.00	\$ 9,648.00
External double level 7.6h brick veneer	Each					\$ 17,368.00	\$ -
External double level 7.6h plastered	Each					\$ 18,403.00	\$ -
Hearths	Each						\$ -
						Subtotal	\$ 14,548.00

* Unit categories to be used as follows:

Each, Sheet, Kilogram, Linear metre, Square metre, Cubic metre, Per hour, Per day, Per week. Cubic metre calculations must include length, breadth and depth figures. Square metre calculations must include length and breadth figures.

+ P&G, Margin & GST Figure

EQC 039 - Revised 07-09

Completed by: JOHNNY TRAN

CLM	2010/006707
-----	-------------

Date:	2-Nov-2011
-------	------------

Claimant Name:

RUSSELL WENN

16 HEMINGWAY PLACE

BROOKLANDS

Land		Building		Bridges/culverts		Retaining walls		Other
Lounge		Dining		Kitchen		Family room		Bedroom
Office/Study		Rumpus		Hallway		Stairwell		Toilet
Laundry		Bathroom		Ensuite		Chimney		Foundations
Piling		Services		Kitchen ovens		Hot water cylinders		Header tanks
Glazing/windows		Fireplace/woodburner		Floors		External walls		Roof
Outbuildings		Other						

Description:	Substantial Damage to Dwelling
---------------------	--------------------------------

Repair strategy:	Cost to Repair Exceeds Maximum EQC Entitlement
------------------	--

Description:	Units	Length	Breadth	Depth	Qty	Rate	Cost
Page 2							\$ 24,720.00
Page 3							\$ 43,945.25
Page 4							\$ 46,416.80
Page 5							\$ -
Page 6							\$ 500.00
Page 7							\$ -
Page 8							\$ 18,670.08
Page 9							\$ -
Page 10							\$ -
Page 11							\$ 8,100.50
Page 12							\$ 4,555.08
Page 13							\$ 3,750.03
Page 14							\$ 3,133.52
Page 15							\$ 2,505.06
	Subtotal						\$ 156,296.32

* Unit categories to be used as follows:

Each, Sheet, Kilogram, Linear metre, Square metre, Cubic metre, Per hour, Per day, Per week. Cubic metre calculations must include length, breadth and depth figures. Square metre calculations must include length and breadth figures.

+ P&G, Margin & GST Figure

EQC 039 - Revised 07-09

Completed by: JOHNNY TRAN

CLM	2010/006707
-----	-------------

Date:	2-Nov-2011
-------	------------

Claimant Name:

RUSSELL WENN

16 HEMINGWAY PLACE

BROOKLANDS

Land		Building		Bridges/culverts		Retaining walls		Other
Lounge		Dining		Kitchen		Family room		Bedroom
Office/Study		Rumpus		Hallway		Stairwell		Toilet
Laundry		Bathroom		Ensuite		Chimney		Foundations
Piling		Services		Kitchen ovens		Hot water cylinders		Header tanks
Glazing/windows		Fireplace/woodburner		Floors		External walls		Roof
Outbuildings		Other						

Description:	Substantial Damage to Dwelling
---------------------	--------------------------------

Repair strategy:	Cost to Repair Exceeds Maximum EQC Entitlement
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[illegible]

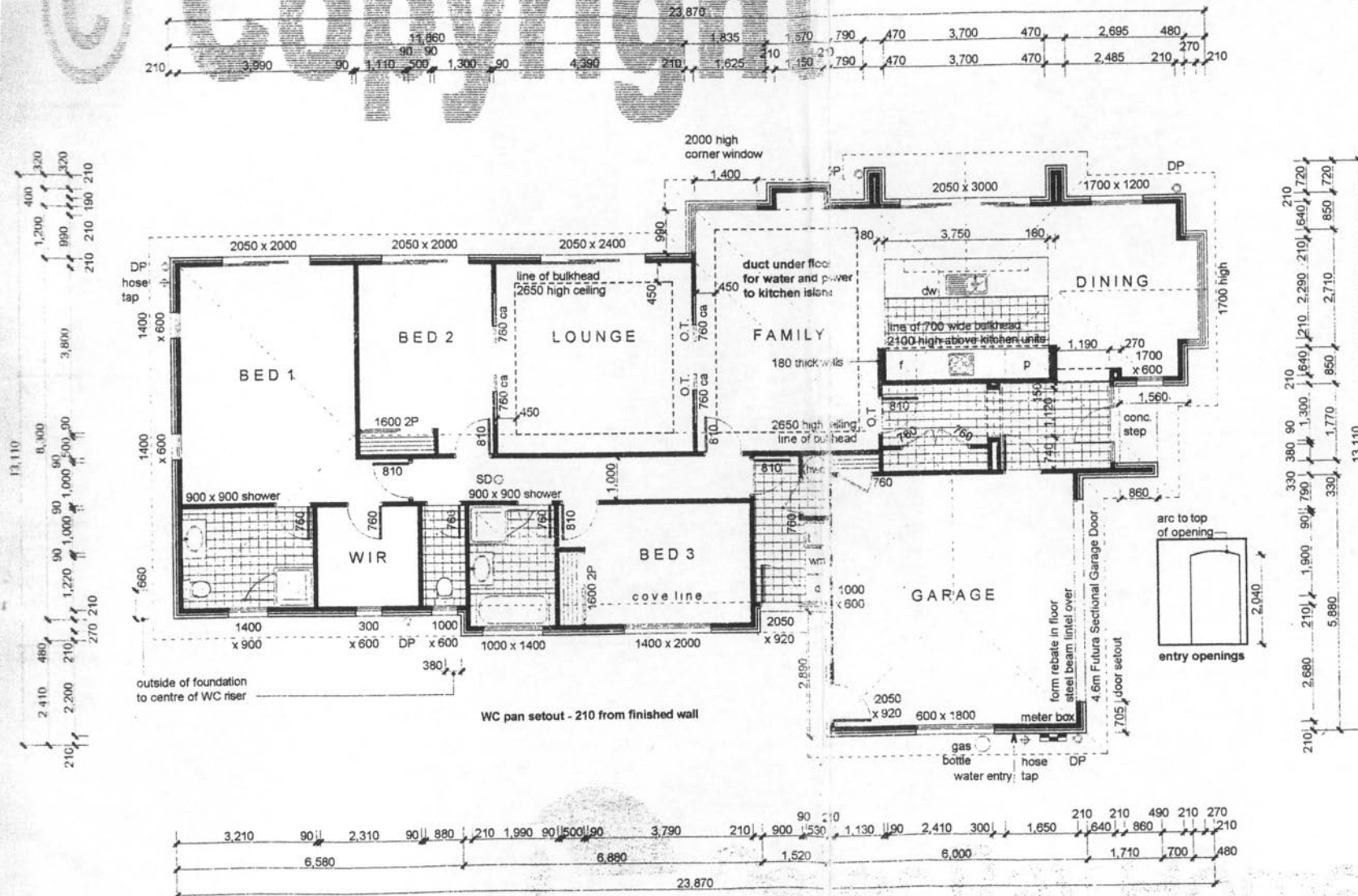
* Unit categories to be used as follows:

Each, Sheet, Kilogram, Linear metre, Square metre, Cubic metre, Per hour, Per day, Per week. Cubic metre calculations must include length, breadth and depth figures. Square metre calculations must include length and breadth figures.

+ P&G, Margin & GST Figure	\$ 77,597.67
----------------------------	--------------

EQC 039 - Revised 07-09

2010/006707
 Russell Wenn & Julie Collier
 16 Hemingway Place
 Seaford Park



NOTES:

1. mains pressure hwc
2. auto opener to garage door
3. mesh to all tiled and vinyl areas
4. grooved jambs to all internal doors refer to J & G Doors for opening sizes return studs required to all openings
5. double glazing to all windows and doors except garage
6. 600 wide stainless steel under bench oven
7. stainless steel gas hob
8. fanlight heaters to bathroom and ensuite
9. vitreous china pans and cisterns
10. Manhattan entry door
11. lever handles throughout
12. no shelving to WIR
13. Manhattan open top doors to entry/family door and family/lounge cavity sliders

GOLD SPECIFICATION

- SD smoke detectors with hush facility to comply with NZBC S7

finished floor level of dwelling to be the higher of:

- a) a minimum level of RL 11.225m in terms of the CCC datum
- b) 150mm above the crown of the road

PROPOSED DWELLING AREA
 = 221.020 Sq.m
 = 2378 Sq.ft

ADDITIONAL CONCRETE AREA
 = 1.522 Sq.m
 = 16 Sq.ft



213 Blenheim Road, Christchurch. P.O. 8184 Riccarton, Christchurch
 Telephone - 03 348 1994 Fax - 03 343 2026

NOTE

1. All work shall comply with NZS 3604:1999
2. All windows and doors to comply with NZS 4211:1985
3. Glazing to comply with NZS 4223:1985 & Pt 3 1993
4. Contractor must verify all dimensions on site prior to commencing any work
5. The copyright of this drawing is vested with Peter Ray Homes Ltd and cannot legally be used, copied or in any form reproduced without written authority

Rev	Date	Amendment
A	03.11.03	remove grille, move gas bottles, change bay window

Drawn
 A. Fahey
 Date:
 28.10.03
 Scale:
 1:100

Job Name & Location

Russell Wenn & Julie Collier
 Lot 35 Hemingway Place, Seaford Park

Sheet Title

FLOOR PLAN

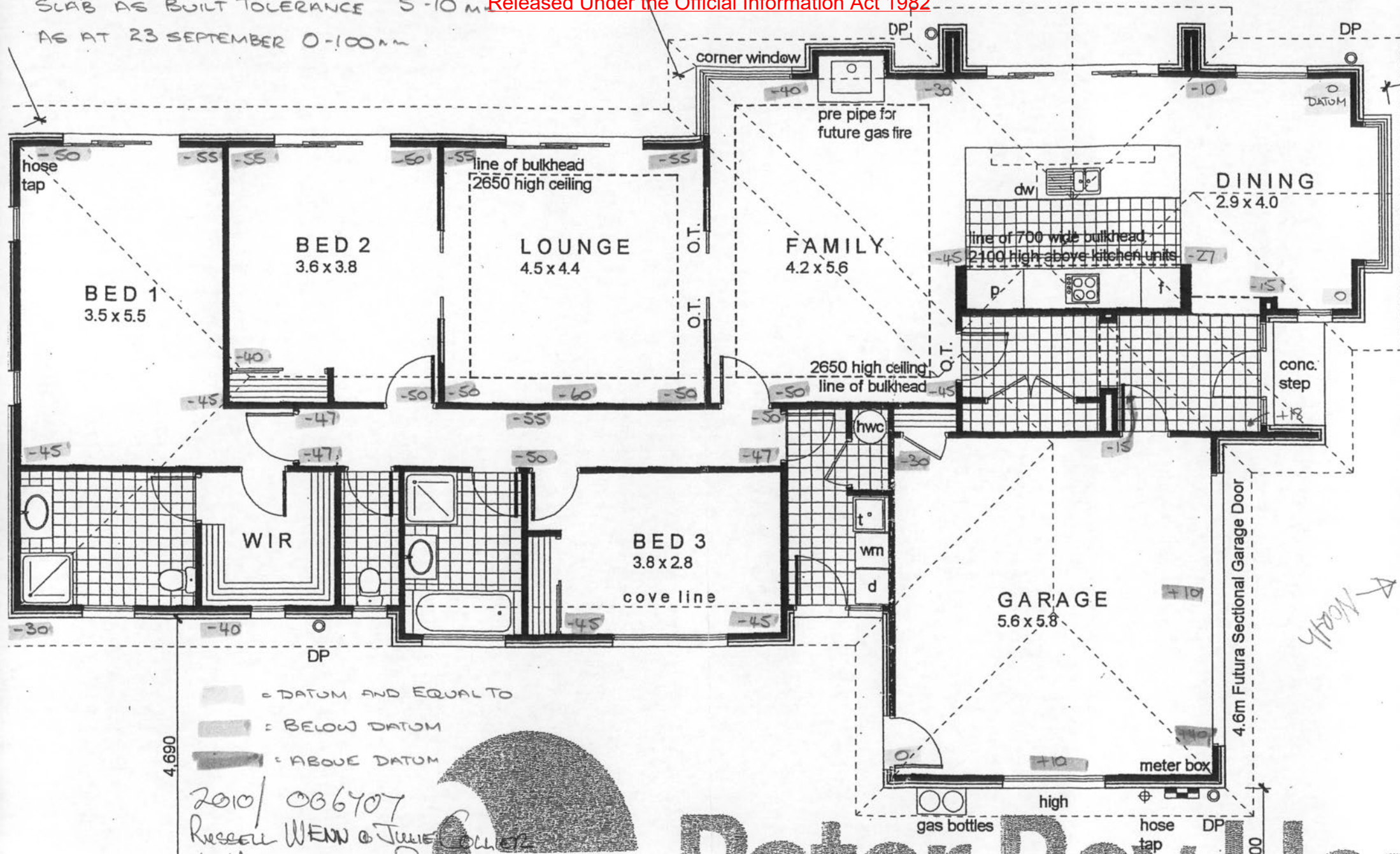
Sheet No.

1 of 4

Revision

SLAB AS BUILT TOLERANCE 5-10 mm
AS AT 23 SEPTEMBER 0-100 mm

Released Under the Official Information Act 1982



2010/006407
Russell Wenn & Julie Collier
16 Hemingway Race
SPENCERVILLE

16 HEMINGWAY RACE
SPENCERVILLE,
RUSSELL WENN + JULIE COLLIER
D. 270 0000

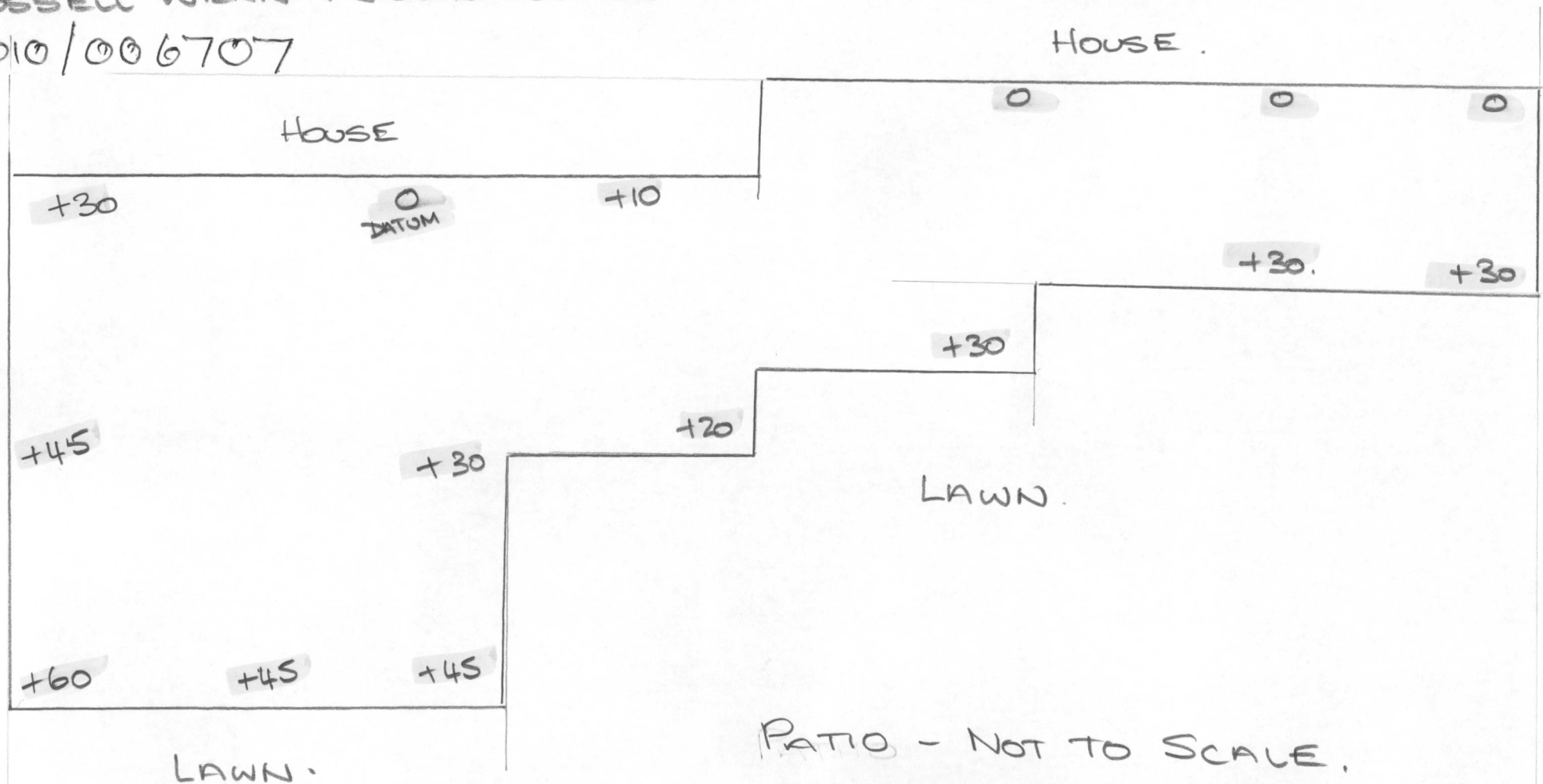
16 HEMINGWAY RACE.

SPENCERVILLE.

RUSSELL WENN + JULIE COLLIER

2010/006707

PI 379.8329
Released Under the Official Information Act 1982



RATIO - NOT TO SCALE.

 = DATUM AND EQUAL TO

 = ABOVE DATUM.

Sketch Plan of Property

 Completed By: Brent shannon
 Supvr ID
 LA ID

Date:

27/9/2010

LA File Ref:

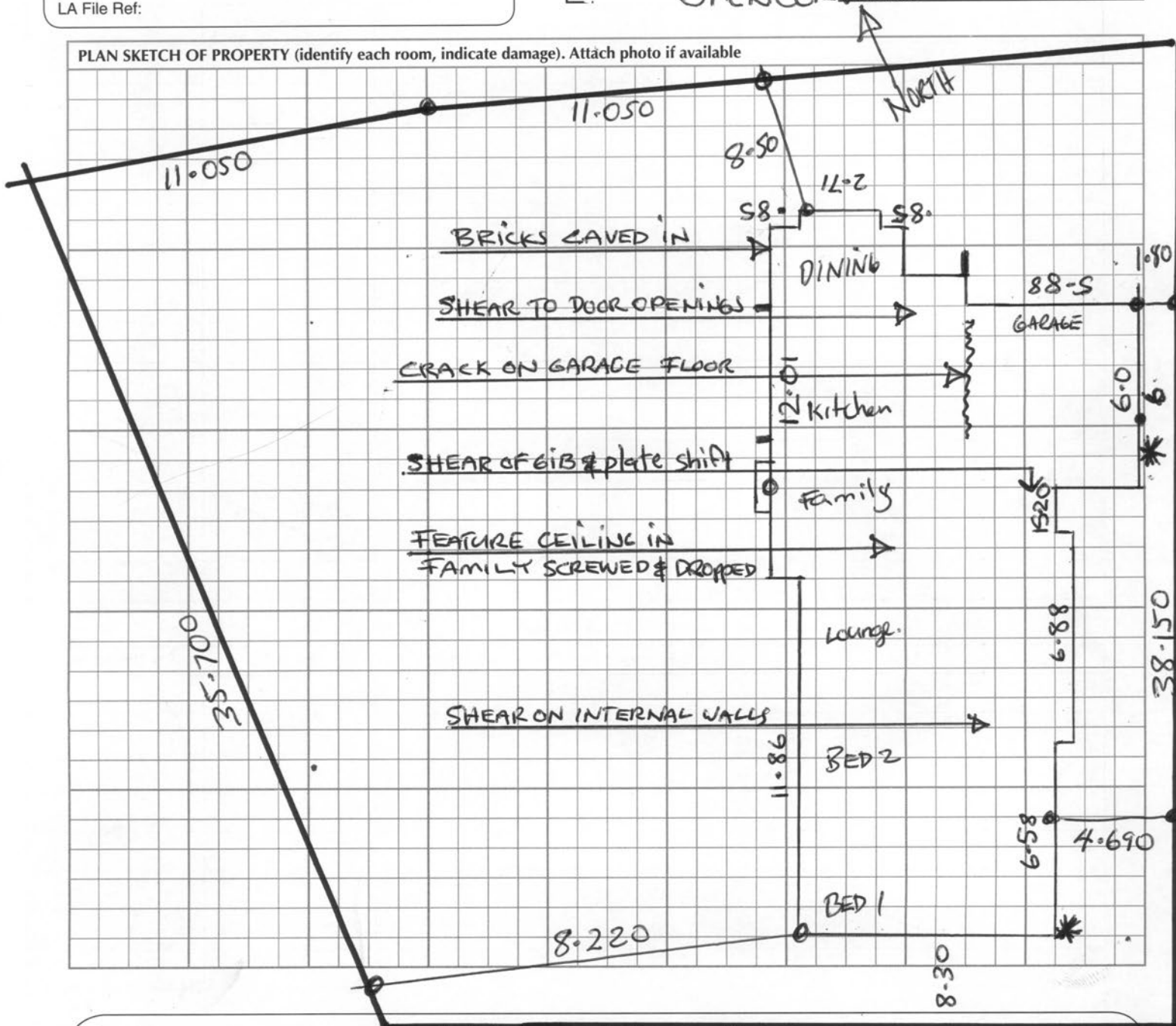
2010/ 006707

Affix Label

Here

Russell Wenn & Julie Collier
16 Hemingway Place
SPENCERVILLE

PLAN SKETCH OF PROPERTY (identify each room, indicate damage). Attach photo if available



Additional Information

DOORS OUT OF SQUARE - SHEAR TO GIB - CRACKS - ceiling SCREWED .
 REFER TO ATTACHED PLANS FOR Height differences.
 House & Patio

* SAND BOILS

LAND DOCUMENTS

The following information contains documents relating to the land assessments that were either cash settled or declined:

The attached land document(s) help NHC Toka Tū Ake identify information that may be relevant to its assessment of your residential land claims. They are not intended to form a complete technical report on land damage to your land. The land information, including valuations, repair costs and estimates, do not necessarily reflect the final land settlement received

Inspection Summary

EQC

Completed by: LINDSAY PROFFIT

CLM / 2010 / 006707
 RUSSELL WENN
 16 HEMINGWAY PLACE
 BROOKLANDS
 CHRISTCHURCH

Date: - 4 FEB 2013 Page: 1 of 1
dd / mm / yy

Time arrived at site: 12:45 Time left site: 13:30 Was an inspection carried out? Yes ☒ No ☐

Customer present: Yes ☒ No ☐ Customer Name: Russell WENN
 Access denied ☐ Loose dogs ☐ Other ☐ If other, please provide reason

If No inspection carried out, why not? ☐ ☐ ☐**Where an inspection has been conducted:**

Yes No

Notes

- Any land damage under the main access way or other hard surfaces?	☒	☐	<u>Patio's only</u>
- Were any bridges or culverts damaged within EQC Cover?	☐	☒	
- Were any retaining walls damaged within EQC Cover?	☐	☒	
- Is an engineer required?	☐	☒	
- Is a valuation required?	☐	☒	
- Is a resource consent required for any remediation work? (proximity to protected trees and waterways)	☐	☒	
- Has anything in this pack been escalated?	☐	☒	
- Customer has advised of invoices for emergency work?	☐	☒	
- Customer advised of next action?	☒	☐	
- Was any silt found under the dwelling?	☐	☒	<u>Slab Construction</u>
- If there was nil damage, why was that?	Building removed ☐ Building repairs have fixed ☐ No visible damage ☐		

Land Damage to Area A? If Yes, add detailsYes ☐ No ☒**Land Damage to Area B?** If Yes, add detailsYes ☐ No ☒**Land Damage to Area C?** If Yes, add detailsYes ☒ No ☐undulation under lawn and patio'sTotal m² of Damaged Land: 451 m²Notional Land Damage Value @\$300/m² (Incl GST): \$135,300.00

Comments

Home To be rebuilt 300 mm Global settlement

Next action

Settlement action.

CHECKED
 19/2/13

V1.21

Situation of Loss: 16 Hemingway Place Author: LINDSAY PROFFIT

[illegible]

12/23/2019





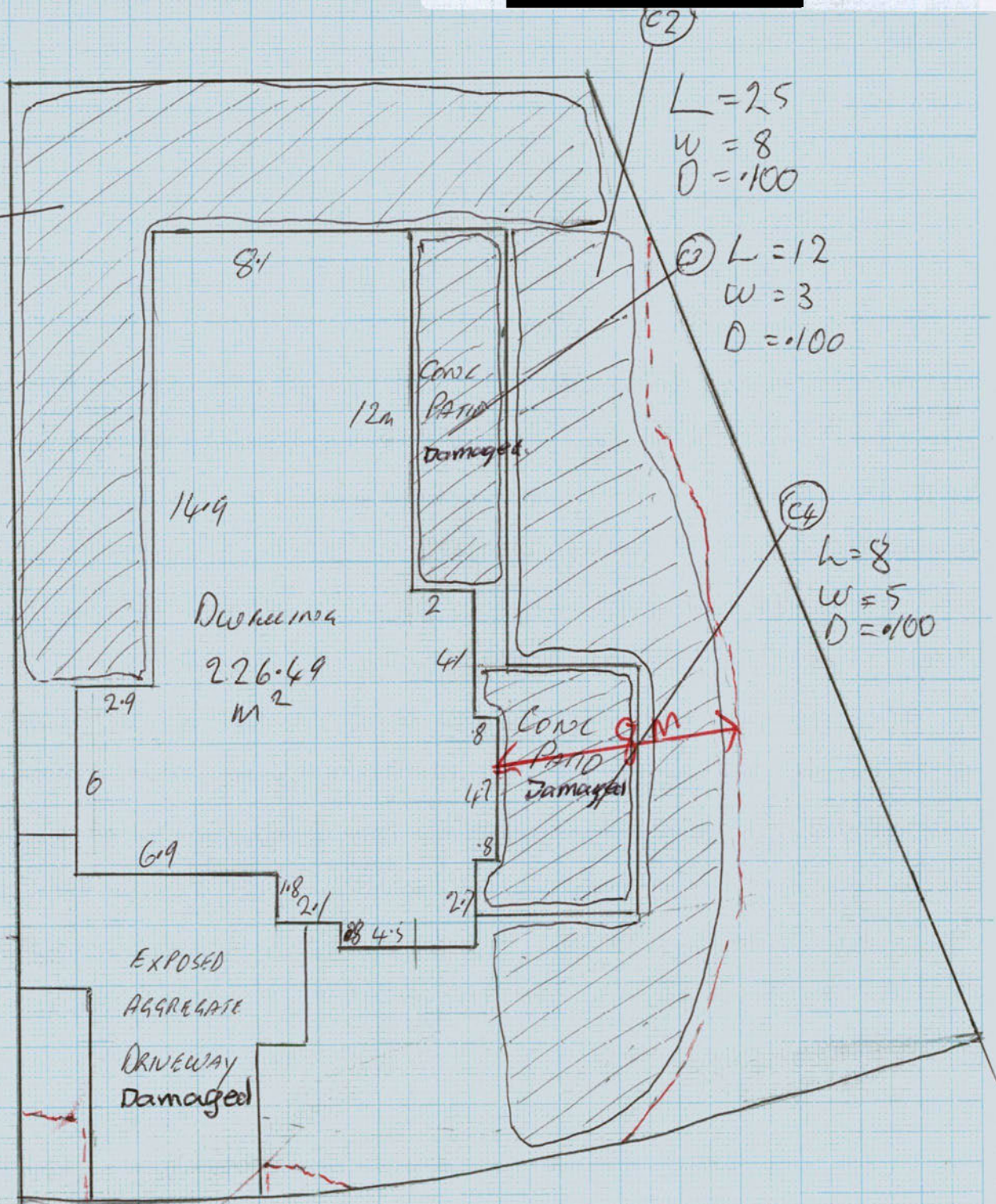
CLM / 2010 / 006707

RUSSELL WENN
16 HEMINGWAY PLACE
BROOKLANDS
CHRISTCHURCH

Doug Barker

4-2-2013

(C1)
 $L = 35$
 $W = 5$
 $D = .1$



CHECKED

19/2/13

Scope of Works

EQC

 Completed by: **LINDSAY PROFFIT**

 Date: **- 4 FEB 2013** Page: 1 of 1
 dd / mm / yy

 RUSSELL WENN
 16 HEMINGWAY PLACE
 BROOKLANDS
 CHRISTCHURCH

 Description: **Damage to Land**

Repair Strategy: Removal and/or import materials and labour to repair land

451

 m²

Description – Removal of Debris/Minor Works	Units	Length	Breadth	Depth	Quantity	Rate	Cost
Transporter- machine	each					\$160.00	
Machine Hire	hrs					\$110.00	
Truck Hire	hrs					\$100.00	
Labour	hrs					\$45.00	
Contaminated Spoil Removal	m ³					\$100.00	
Spoil Removal/Tip Fees (clean)	m ³					\$20.00	
Skip (4m ³)	each					\$190.00	
Materials	each						

 NB A Small/Minor Works cost may only be applied when the total area of land damage is under 15m² and no debris removal is required.

Description	Units	Length	Breadth	Depth	Quantity	Rate	Cost
Land Under Residential Buildings (Type 'A') - Supply and Level Hard fill	m ²					\$12.00	
Land Under Access way (Type 'B') - Supply and Level Hard fill	m ²					\$12.00	
Land Under Paved/Patio + Concrete Area (Type 'C') - Supply and Level Hard fill	m ²	7.6	10		76	\$12.00	912.00
Undulating Lawn Areas (Type 'C') - Level and Seed	m ²	37.5	10		375	\$10.00	3750.00
Lateral Spread Cracks under 10mm but greater than 5mm	Lm					\$25.00	
Lateral Spread Cracks greater than 10mm	Lm					\$90.00	

* Unit categories to be used as follows:

 Each, Sheet, Kilogram, Linear metre, Square metre, Cubic metre,
 Per hour, Per day, Per week.

Cubic metre calculations must include length, breadth and depth figures.

Square metre calculations must include length and breadth figures.

 Sub-total **4662.00**

 P&G, Margin & GST Figure
 x 1.3662 **1707.22**

 Total **6369.22**

CHECKED
19/2/13

V1.22

Completed by: **LINDSAY PROFFIT**



Date: 4/2/13 Page: 1 of 1
dd / mm / yy

What is the insured land area to repair (m²)?

820

Description is either Services, Dwellings or Structures.

[illegible]

CHECKED ~~_____~~ y132,

V1.32, FEB 2013

V1.21

Scope of Works

EQC

Completed by: LINDSAY PROFFIT

(2)

Date: - 4 FEB 2013

dd / mm / yy

Page: 1 of 1



RUSSELL WENN
16 HEMINGWAY PLACE
BROOKLANDS
CHRISTCHURCH

Description: **Enabling Works – 8/9 - Dwellings**Dwelling Type: Ring Foundation ☐ Piled ☐ Concrete Slab ☒ Combined Piles/Slab ☐Average finished floor level above ground level: 100 mmUnable to determine ☐ (refer to file note)

Enter this information onto the Enabling Works 8/9 SOW, where P&G, margin and GST will be added.

Description – Creating Access/Reinstating	Units	Length	Breadth	Depth	Quantity	Rate	Cost
Disconnect Services	each				1	\$1,000.00	1000.00
Site Establishment	each				1	\$9,000.00	9000.00
Dwelling Storage (off site)	each					\$5,000.00	5000.00
Dwelling Lift 0-150	m ²				1	\$12,200.00	
150-200	m ²				1	\$13,300.00	
200-250	m ²				1	\$18,500.00	18500.00
250-2 Storey	m ²				1	\$22,000.00	
Removal of Debris 0-150	m ²				1	\$6,050.00	
150-200	m ²				1	\$8,250.00	
200-250	m ²				1	\$11,000.00	11000.00
250-2 Storey	m ²				1	\$13,750.00	
Garage Block	m ²					\$800.00	
Versatile	m ²					\$550.00	
Artificial Surfaces	m ²					\$65.00	
Garden Shed/ Glasshouse (reinstate)	m ²					\$100.00	
Car Port (reinstate)	m ²					\$200.00	
Deck (reinstate)	m ²					\$240.00	
Patio (reinstate)	m ²					\$185.00	
Artificial Surfaces	m ²					\$65.00	

Any item where a cost for reinstatement only is provided needs to be costed for deconstruction and removal of waste – assuming that machinery is already on site. Estimate the labour hours and waste volumes below.

Labour	hrs				8	\$45	360
Contaminated Spoil Removal	m ³					\$100.00	
Skip (4m ³)	each					\$190.00	
						Total:	44500



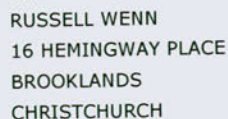
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19/2/13
V1.21

EQC

Completed by:

Date: 4/2/13
dd/mm/yy

Page: 1 of 1



RUSSELL WENN

16 HEMINGWAY PLACE

BROOKLANDS

CHRISTCHURCH

Description:

Enter this information onto the Enabling Works 8/9 SOW, where P&G, margin and GST will be added.

Total:	3585.00
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CHECKED

V132, FEB 2013

19/2/13



2312111 2011 CHCH EQ - LAND ENGINEERING REPORT

EQC Claim Number: New: 201_/ Old: 201_/ Significant Risk to Safety: YES ☒ NO ☐
 Claimant Name: Engineer's Names: B. GORMAN P. SALTER
 Claimants Address: 16 HEMINGWAY PLACE SPENCERVILLE Engineers E-mail: NOT REQ'D
 Date: 14/2 /2011 Team no: 3

Was an EQC Engineering Land Assessment undertaken following the Darfield Earthquake (4 September 2010) and prior to 22 February 2011:

YES NO

GENERAL

Type of Damage	<u>Earthquake</u>	Landslip	Storm/Flood	Other
EQC Priority of claims	1 - Home/Land seriously damaged and uninhabitable	2 - Home/Land seriously damaged but habitable		
	3 - Home/Land moderately damaged & Habitable	4 - All other damage		
Is this natural Disaster Damage?	<u>YES</u>	NO		
Is there an Imminent Risk of Loss?	YES	<u>NO</u>	(If 'YES' - Fill in Summary Information Table and Imminent Loss Checklist)	

INSPECTION DATA & DISCUSSION WITH CLAIMANT(S)

Discussion with Claimant/Occupier?	<u>YES</u>	NO
What happened? Claimant's story	Sand / small amount. House written off, due to settlement / tilting. Slab cracked. Have settled in ~200mm (clothesie shows extent). All damage Sept 4.	

SITE DESCRIPTION (Refer Site Plan and/or Cross Section)

General:	Flat site, single level dwelling with adjoining garage.
----------	---

LAND - (DAMAGED ACCESS, LAND, & DESTROYED LAND, & RETAINING WALLS, BRIDGES, CULVERTS)

None

LIQUEFACTION/Flat land damage		None	<u>Sand boils</u>	Lateral spreading	<u>Settlement</u>	Remediation Rqd (TBC in office)		
Land damage observed:						Yes	No	Notes
(i) Lateral Spreading	<u>Not Observed</u>	Spreading <100mm over property		Tilt > 5 degrees			☒	
		Spreading >100mm over property		Vertical offset > 50 mm				
(ii) Crust Thinning (TBC in office)								
(iii) Cracks	<u>Not Observed</u>	Distribution:	Single crack	Multiple cracks			☒	
		Crack Width:	>100mm	>100mm				
			<100mm	<100mm				
			<5mm	<5mm				
		Resulting from:	Lateral spreading	Liquefaction	Ground oscillation			
(iv) Undulating land	Not Observed	Lawn: > 50 mm high	<u>Lawn steeper than 1 in 20 slope</u>	<u>Patio/Paths >10 mm high</u>	<u>Patio/Paths steeper than 1 in 100</u>	☒		
		Lawn < 50 mm high	Lawn shallower than 1 in 20 slope	Patio/Paths <10 mm high	Patio/Paths shallower than 1 in 100			
(v) Flood risk (TBC in office)		Above 50yfl pre 4 Sept	Above 50yfl pre 22 Feb	Above 50yfl post 22 Feb	No Increased Flood Risk		☒	
		Below 50yfl pre 4 Sept	Below 50yfl pre 22 Feb	Below 50yfl post 22 Feb	Increased Flood Risk			
(vi) Local Ponding	<u>Not Observed</u>	<u>Observed within EQC covered land</u>				☒		
(vii) Localised settlement causing drainage issues	<u>Not Observed</u>	Property no longer draining to road/public services					☒	
(viii) New Groundwater Springs	<u>Not Observed</u>	Observed				☒		
(ix) Inundation of land with sand to silt	Not Observed	<u>Observed</u>	<u>Already Removed</u>			☒	☒	

Refer to the Potential Remedial Works page of this report

EQC Claim Number: 201 /

LAND - (DAMAGED ACCESS, LAND, & DESTROYED LAND, & RETAINING WALLS, BRIDGES, CULVERTS) Continued

LIQUEFACTION/Flat land damage comments:

Minor sand (a few cups full) by house. Lawns all undulate - access ok.

OTHER Flat land damage

None

Settlement resulting from:

Ground Oscillation

Consolidation of fill

Other (specify).....

LANDSLIDE/SLOPING LAND & RETAINING WALL DAMAGE

None

Landslip

Rockfall

Retaining wall damage

Other

Geological situation (fill/loess/bedrock etc):

Groundwater situation (seepage/runoff etc):

Landslip:

Tension Cracks

Toe-bulge

Erosion

Surface slump

Description:

Rotational Slip

Translational Slip

Ridge-venting

Other.....

Rockfall:

Source:

Upslope

Within property boundary

Description:

Downslope

Beyond property boundary

Are multiple properties affected:

Yes

No

If Yes, list affected properties:

Imminent risk
(Y/N)Remediation
(TBC in office)Refer to the Potential Remedial
Works page of this report

Comments:

RETAINING WALL DAMAGE

Retaining wall damaged?

None

No. of walls damaged

Description:

Type of damage to retaining wall(s) :

Cracks

Rotated/leaning

Slid

Bulging

Location of retaining wall(s) :

Within 8m of building

Within 60m & needed to protect of land within 8m of accessway/building

Other

Are multiple properties affected:

Yes

No

If Yes, list affected properties:

Imminent risk
(Y/N)Remediation
(TBC in office)Refer to the Potential
Remedial Works page of this
report

Comments:

EQC Claim Number: 201 /

LAND - (DAMAGED ACCESS, LAND, & DESTROYED LAND, & RETAINING WALLS, BRIDGES, CULVERTS) Continued

LAND DAMAGE AREAS

(see table on page 6 for more details)

Areas of land Damage	Entire Site	Portion of Site	None
Land beneath Main access way damaged?	No-N/A	Within 60m of building	Other.....

PRELIMINARY LAND REMEDIAL OPTION & COST (Refer Site Plan and Cross Section)

Land Remedial option	Drainage	Retaining Wall	Pallisade Wall	Soil Nail/Rock Bolt	Earthworks
	Debris Wall/Catch Fence	Remove rock hazard	Other	Combination of Above	None
Estimated Land Remedial Cost	TBC - (To be confirmed by Cost Estimator)				

DWELLING DESCRIPTION (Refer Site Plan and Cross Section)

General : (eg. Single level, roof type, foundations, cladding etc)	Single level, brick clad, iron roof, concrete slab.
---	---

BUILDING DAMAGE - GENERAL

Has the building been Damaged?	YES	NO
Is the Dwelling at Imminent Risk?	YES	NO
Estimated Remedial Value?	TBC - (To be confirmed by Cost Estimator)	
Have any Appurtenant structures been damaged?	YES	NO
Are any appurtenant structures at Imminent Risk?	YES	NO
Have any services within 60 m of dwelling been damaged?	YES	NO
Are any services within 60 m of dwelling at Imminent Risk?	YES	NO

(Does not include Patios/Paving)

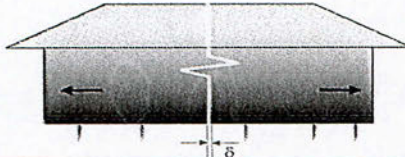
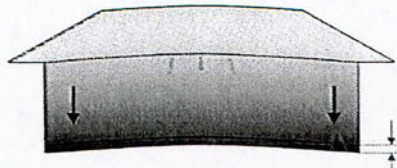
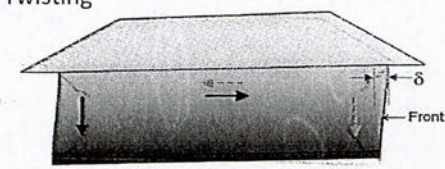
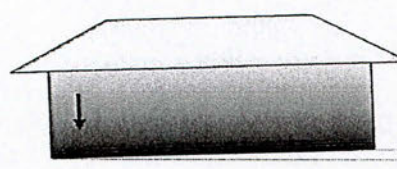
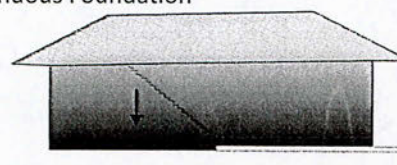
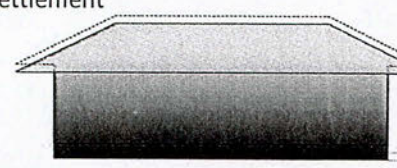
DAMAGED DWELLING, APPURTENANT STRUCTURES, & SERVICES (Refer Site Plan and Cross Section)

Dwelling : features damaged :	None	External walls	Internal walls	Ceiling	Door/window frames
	Window glass	Steps	Foundation/slab	Roof	Chimney
	Other:				
Type of damage to Dwelling:	Cracks (walls)	Cracks (ceiling)	Cracks (window glass)	Cracks (chimney)	Floor sloping
	Racking/sagging	Walls etc out of vertical	Crack in slab	Crack in footing	Other:
Appurtenant structure(s) damaged :	None	Garage/shed	Carport	Deck	Other:
What services have been damaged?	Water	Sewer	Drainage	Gas	Electrical
	Telephone	Service structures	Don't Know	Other:	None

GENERAL :

	Global settled ~ 200mm. Slab cracked. Cracks in brickwork over extent of building cladding.
--	---

Floors and Foundations	Roof Cladding	Wall Cladding
Timber floor on piles	Light: Iron roof	Light: weatherboard/plywood/stucco etc
Timber on internal piles with perimeter concrete footing	Heavy: concrete tiles/clay tiles/slate etc	Heavy: brick veneer/stone/solid plaster
Concrete slab on grade		

Damage to Dwelling predominantly from:	Shaking		Land damage
Type of Damage	Severity		
	Minor	Moderate	Major
Stretching 	0 to 5mm	5 to 30mm	>30mm
Hogging 	0 to 20mm	20 to 50mm	>50mm
Dishing 	0 to 20mm	20 to 50mm	>50mm
Racking/Twisting 	0 to 10mm	10 to 30mm	>30mm
Tilting 	0 to 20mm	20 to 50mm	>50mm
Discontinuous Foundation 	0 to 10mm	10 to 20mm	>20mm
Global Settlement 	0 to 50mm	50 to 100mm	>100mm

Potential Remedial Works

The works described below are to repair or protect insured land (i.e. within the property boundary, on or supporting the main access within 60m of the dwelling, or within 8m of a residential building) and the structure(s) that has/have been damaged or is/are at imminent risk as a direct result of the natural disaster that has occurred.

A solution that reinstates the damaged land and removes the imminent risk threat would comprise the following works:

- Trim top of undulations, fill depressions
- Remove sand/silt ejected.
- Land below house will be repaired when the dwellings (conc. floor slab) is re-levelled.
- Ponding - Fill depressions with sand/topsoil + grass
- Install drainage works.

Additional information for cost estimation:

<u>Construction Issues</u>	<u>Easy</u>	<u>Moderate</u>	<u>Hard</u>	<u>N/A</u>
• Construction Access	✓			
• Drilling				✓
• Reinstatement	✓			

This preliminary design is for the purposes of costing for the claim settlement process only, it is not for construction. There may be a solution that is more cost effective and/or appropriate. Even if this concept is considered to be appropriate, further subsurface investigation, detailed design and consenting may be required prior to construction.

We estimate the cost (excluding GST) to construct the proposed solution will be as follows:

Engineering investigation, design and drawings	\$	N/A
Construction Observations and PS4	\$	
Survey (if required)	\$	
Building/Resource consents (if required)	\$	
Project Management	\$	
Construction of(as detailed above)		
(Cost to be determined by cost estimator)	\$ TBC	
TOTAL non construction Costs (Excluding GST)	\$	

The total construction cost estimates should be confirmed by a contractor or estimator.

Preliminary Summary Information (all costs excl GST)

Is this Natural Disaster damage?	Yes
Land within 8m of dwelling or appurtenant structures	
Area of Land damaged Evacuated: ✓ Inundated:	823 m ² 790 m²
Area of Land at imminent risk Evacuation: Inundation:	NA
Main access way within 60m of dwelling (or an appurtenant structure)	
Area of Land damaged on accessway or supporting accessway: Evacuated: ✓ Inundated:	11 m ² //
Additional Area of Land at imminent risk on accessway or supporting accessway: Evacuation: Inundation:	NA
Retaining Walls within 8m of Dwelling or Appurtenant Structure	
Description.....(list and describe each affected wall)..... Damaged: (face area - m ²); At imminent risk: (face area - m ²);	NA
Dwelling & Appurtenant Structures	
Has dwelling or appurtenant structure been damaged as a result of the natural disaster? Description..... Ground Damage	Yes
Cost to repair damage:	TBC
Is dwelling (or appurtenant structure) at imminent risk as a result of the natural disaster: Description.....	No
Cost to remove imminent loss threat to dwelling (or appurtenant structure):	TBC
Value of imminent risk damage to dwelling (or appurtenant structures) :	
Services within 60m of Dwelling or Appurtenant Structure	
Services damaged (list) Services at imminent risk (list)	T.B.C.
Remedial Option: Description..... Earthworks	TBC (excluding GST)

TBC – To be calculated & confirmed by cost estimator



Notes:

① = liquidation
land & portion

② =

|||||

NON EQC
ACCEN

Drawn by:

14/7/11

Date:

EQC
EARTHQUAKE COMMISSION
KŌHĀHANA BŪWHENUA
www.eqc.govt.nz

22 FEB 2011 - EARTHQUAKE
SPENCERVILLE, CHRISTCHURCH
(C134-065055) - 16 Hemingway Place

EQC Claim No: 201 _ /

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