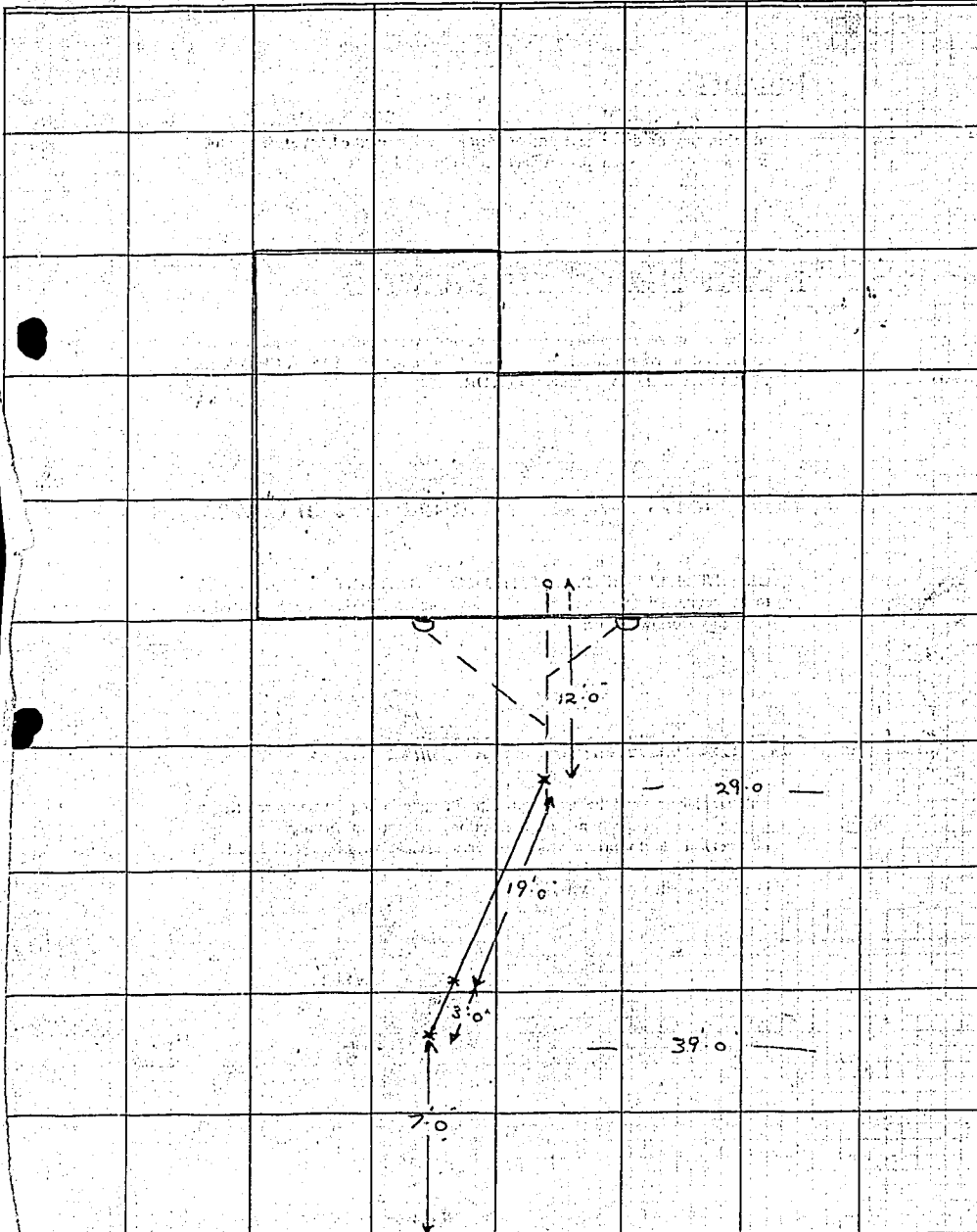


GRAPH FOR PLAN:—

Where drainage plans are necessary (see page 2) the graph below is to be completed accurately to scale in ink, and must show clearly street boundary, property boundaries, outline of buildings as well as layout of ALL drains & inspection fittings.

Owner's Name: J. THOMSON
Address of Property: N^o 4 RATHCAR RD.
Lot: _____ D.P. _____
Drainlayer's Name: D.O. WOOD

Scale: _____
Where possible use $\frac{1}{8}'' = 1$ foot
Otherwise use $\frac{1}{4}'' = 1$ foot
Please Indicate Scale Used.



For Office Use Only:—

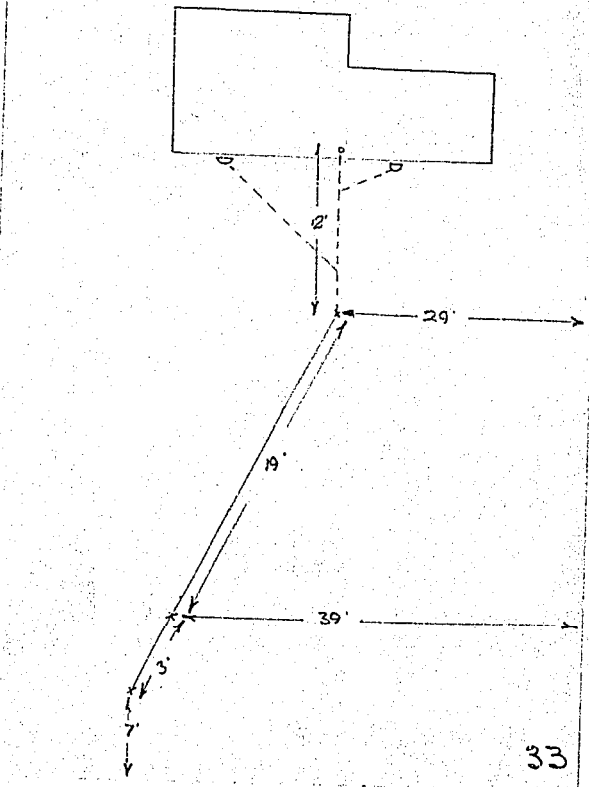
Drainage Permit No. 11535

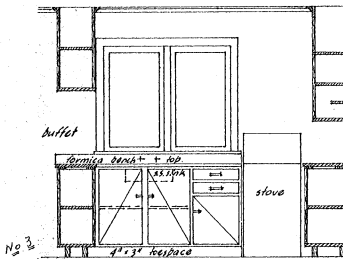
Building Permit No. NA

Remarks: _____

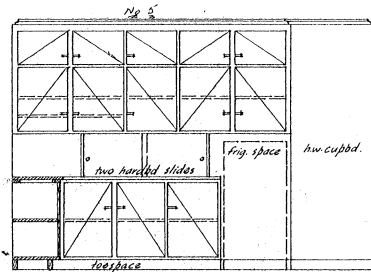
Date inspected 3/3/65 Inspector W.B.

Johnson No. 4 Redgate Rd.

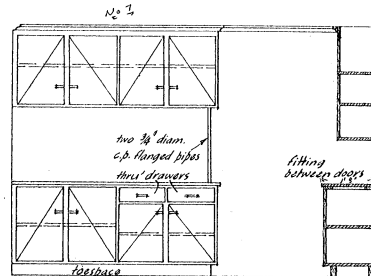




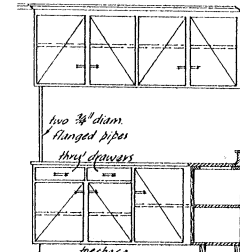
sinkbench wall



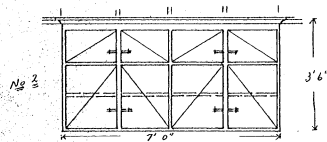
wall to living room service slides



dining side of buffet

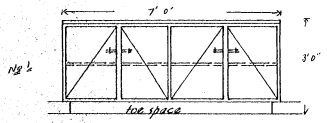


kitchen side of buffet

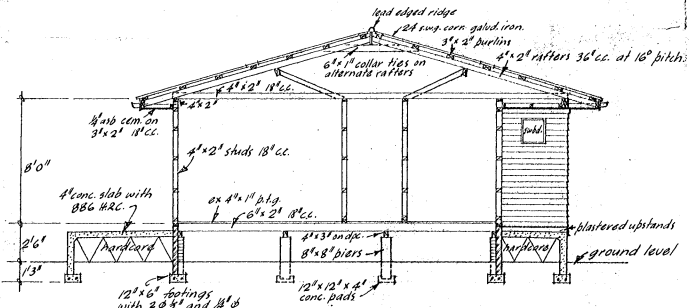


KITCHEN DETAILS

Scale: 1/2\"/>

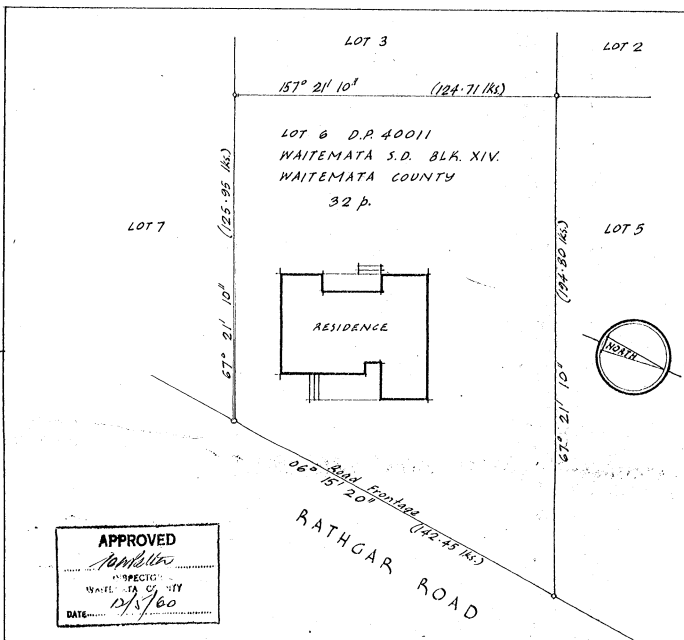


fitting between doors



STRUCTURAL CROSS SECTION

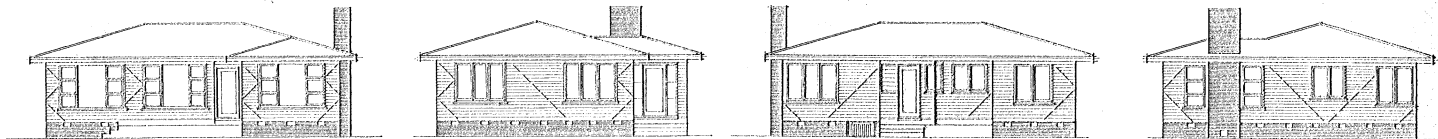
Scale: 1/4\"/>



APPROVED
[Signature]
 SPECIFIC
 WAITEMATA C. C. 1911
 DATE: 12/15/60

SITE PLAN
Scale: 1/16\"/>

set
DUPLICATE



front

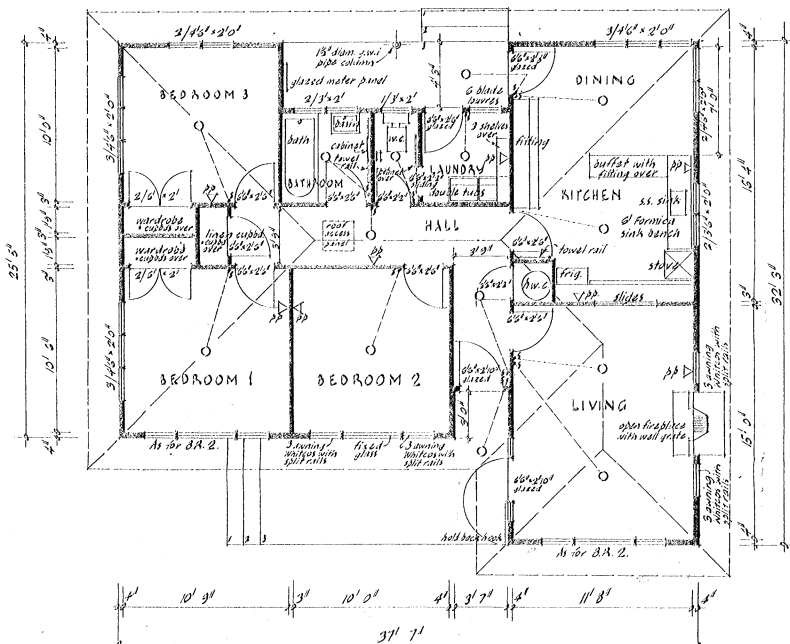
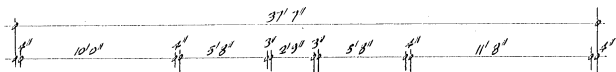
bedroom end

rear

living-kitchen end

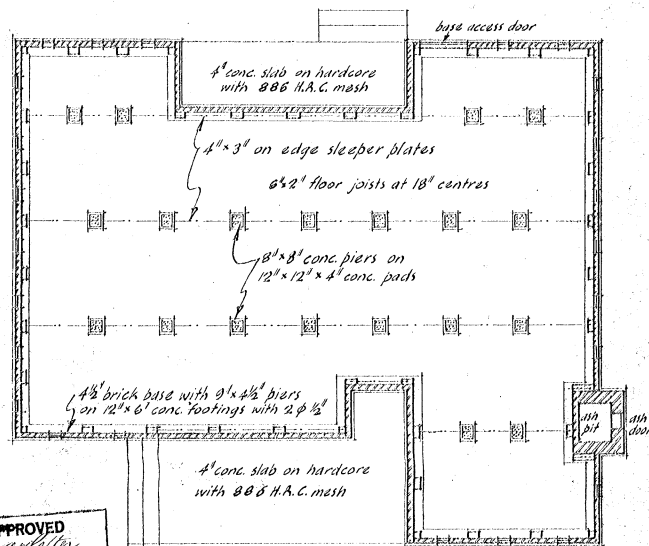
ELEVATIONS

Scale: $\frac{1}{8}$ " to one foot



FLOOR PLAN

Scale: $\frac{1}{8}$ " to one foot



APPROVED
Walter
 INSPECTOR
 WALESIANA COUNTY
 DATE: 12/1/60

DUPLICATE *dit*

FOUNDATION PLAN (refer floor plan for dimensions)

Scale: $\frac{1}{8}$ " to one foot

N Waipareira.

County of Waitemata

No 13968

Roll No. 350 / 624

BUILDING PERMIT

Date 19.5.60.

Owner of Section **J. THOLESTON, A**
Address **12 Valron Road, Henderson.**

This Permit is granted to the undermentioned person authorising the following building work on

Lot No. **6 of allotment 6 Waipareira Parish D.P. 40011**

Saf Rathgar, Road **Henderson** in accordance with the plans lodged and subject to the following conditions:

Nature of proposed work **Dwelling**

Value of work, £ **2,975**

Fee £ **12:-** Rec. No. **355A**

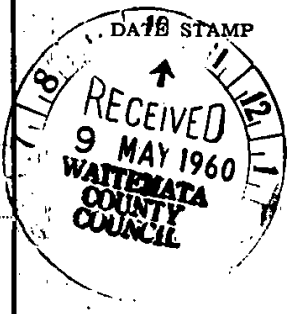
For the Waitemata County Council.

L. L. JONES,
County Clerk.

per.....
County Building Inspector.

Mr. A.P. F. Morrow,
14 Catherine Street,
HENDERSON.

APPLICATION No. 244.3 PERMIT No. 13968
 VALUATION Roll No. 330,624 DATE ISSUED 19.5.1960



NEW ADDRESS
 P.O. BOX 5440,
 AUCKLAND.

WAITEMATA COUNTY COUNCIL
 P.O. BOX 8175 — NEWTON, AUCKLAND, C.2.

Application for a Building Permit

OWNER OF SECTION. NAME J. THOMPSON PHONE No. _____
 (BLOCK CAPITALS)

PRESENT POSTAL ADDRESS 12 VAIRON RD HENDERSON

BUILDER. NAME A.P.W. MORROW PHONE No. 6590

POSTAL ADDRESS 11 CATHERINE ST HENDERSON
 (Note:—Permit will be posted to builder unless otherwise requested).

NATURE OF PROPOSED BUILDING WORK RESIDENCE

VALUE OF WORK £2975 FEE £ 12 - - (See back page).

FULL LEGAL DESCRIPTION OF SECTION (as appears on either rate demand or title deeds).
LOT 6 OF ALLOTMENT 6 WAI PAREIRA RD. P. 40011

NAME OF PREVIOUS OWNER OF SECTION E. CLARKE

AREA OF SECTION 32 P Acre(s). Frontage 94 Feet.

ROAD NAME RATHEAR RD LOCALITY HENDERSON

FOR OFFICE USE ONLY

Footpath-Deposit	Refund
Fee <u>/ /</u>	Amount <u>/ /</u>
Recpt. _____	To _____
Paid By _____	Date _____
Date _____	Date _____

Remarks: Duplicate plans handed to builder

Permit issued subject to the following conditions:—

APPROVED BY [Signature] BUILDING INSPECTOR 12/5/60 DATE

APPROVED BY [Signature] DRAINAGE INSPECTOR 12/5/60 DATE

FEE £ 12 RECEIPT No. 3534 DATE 9.5.60

SPECIFICATION

FOUNDATIONS

If solid concrete. Size of footings..... Walls..... Reinforcing.....

If concrete blocks. Size..... Spacing.....

N.B.—All blocks must be at least 12" in to ground on a 12" x 12" x 4" concrete pad.

FRAMING

	Size	Spacing	Span	Timber
Jack Studs
Along Runs.				
(Note: If base over 6ft. in height, Jack studs to be spaced at 20in. centres).				
Bearer Plates
Floor Joists
Outer Studs
Inner Studs
Ceiling Joists
Bottom Plates. Size.....		Top Plates. Size.....		
Noggins. Size.....		Number of rows of noggins.....		

N.B.—Minimum stud height for dwellings is 8 feet.

ROOF

Covering	Ridges. Size.....	Purlins. Size.....		
Collar ties. Size	Sarking. Size.....	Under Purlins.....		
	Size	Spacing.	Span	Timber
Rafters .....	.....	.....	.....	.....

MISCELLANEOUS

Flooring. Size..... Exterior Sheathing.....

Inside lining.....

Is any second hand material to be used in the proposed constructions?.....

N.B.—Top window trimmers must be checked $\frac{1}{2}$ " or otherwise supported.

SANITATION

Privy Type.....e.g. Water closet, chemical pan or night soil?

N.B.—If chemical pan or night soil pan, the privy building must be at least 15' away from any dwelling.

DRAINAGE & PLUMBING

All drainage and plumbing must be carried out by registered tradesmen. If it is intended to install a septic tank, now or in the future, the site must be inspected by the Sanitary Inspector before building is commenced.

IT IS MOST IMPORTANT that buildings should not be occupied before complete plumbing and drainage systems have been installed and officially approved.

Signature of Applicant.....

APPLICATION No. / PERMIT No.

VALUATION Roll No. / / DATE ISSUED

WAITEMATA COUNTY COUNCIL

NEW ADDRESS
P.O. BOX 5440,
AUCKLAND.

P.O. BOX 8175 — NEWTON, AUCKLAND, C.2.

Application for a Building Permit

OWNER OF SECTION. NAME J. THOMPSON PHONE No. _____
(BLOCK CAPITALS)

PRESENT POSTAL ADDRESS 12 VALRON RD HENDERSON

BUILDER. NAME A.P.W. MORROW PHONE No. 6590

POSTAL ADDRESS 14 CATHERINE ST HENDERSON

(Note:—Permit will be posted to builder unless otherwise requested).

NATURE OF PROPOSED BUILDING WORK RESIDENCE

VALUE OF WORK £2975 FEE £ 12 - - (See back page).

FULL LEGAL DESCRIPTION OF SECTION (as appears on either rate demand or title deeds).

LOT 6 OF ALLOTMENT 6 WAIPAREMA D.P. 40011

NAME OF PREVIOUS OWNER OF SECTION E. CLARKE

AREA OF SECTION 32 P. Acre(s). Frontage 94 Feet.

ROAD NAME RATHGAR RD LOCALITY HENDERSON

FOR OFFICE USE ONLY

Footpath-Deposit	Refund
Fee / /	Amount / /
Recpt. _____	To _____
Paid By _____	Date _____
Date _____	Date _____

Remarks: _____

Permit issued subject to the following conditions:—

APPROVED By _____ BUILDING INSPECTOR _____ DATE _____

APPROVED BY _____ DRAINAGE INSPECTOR _____ DATE _____

FEE £ _____ RECEIPT No. _____ DATE _____

SPECIFICATION

FOUNDATIONS

If solid concrete. Size of footings..... Walls..... Reinforcing.....

If concrete blocks. Size..... Spacing.....

N.B.—All blocks must be at least 12" in to ground on a 12" x 12" x 4" concrete pad.

FRAMING

	Size	Spacing	Span	Timber
Jack Studs			Along Runs.	
<small>(Note: If base over 6ft. in height, Jack studs to be spaced at 20in. centres).</small>				
Bearer Plates
Floor Joists
Outer Studs
Inner Studs
Ceiling Joists
Bottom Plates. Size.....			Top Plates. Size.....	
Noggins. Size.....			Number of rows of noggins.....	

N.B.—Minimum stud height for dwellings is 8 feet.

ROOF

Covering.....	Ridges. Size.....	Purlins. Size.....		
Collar ties. Size.....	Sarking. Size.....	Under Purlins.....		
	Size	Spacing.	Span	Timber
Rafters.....	.....	.....	.....	.....

MISCELLANEOUS

Flooring. Size..... Exterior Sheathing.....

Inside lining.....

Is any second hand material to be used in the proposed constructions?.....

N.B.—Top window trimmers must be checked $\frac{1}{2}$ " or otherwise supported.

SANITATION

Privy Type..... e.g. Water closet, chemical pan or night soil?

N.B.—If chemical pan or night soil pan, the privy building must be at least 15' away from any dwelling.

DRAINAGE & PLUMBING

All drainage and plumbing must be carried out by registered tradesmen. If it is intended to install a septic tank, now or in the future, the site must be inspected by the Sanitary Inspector before building is commenced.

IT IS MOST IMPORTANT that buildings should not be occupied before complete plumbing and drainage systems have been installed and officially approved.

Signature of Applicant.....

SITE PLAN

RESIDENTIAL SECTIONS

The site plan must be accurately drawn to the scale provided (16 feet to 1 inch).

ALL OTHER SECTIONS
(including farms, etc.)

Please state scale used.

Note

1. This site plan must show the desired position of the proposed building and also ALL existing buildings.
2. Distances of each building from boundary lines must be clearly indicated.
3. No building shall be erected closer than 3 feet to a side boundary. This measurement is from the fascia board in the case of an overhanging roof.
4. Separate plans, drawn to scale (preferably 1/8" or 1/4" to 1'), must be submitted, showing a ground plan, and elevations of two sides. In cases of extensions to existing buildings, these plans should show the whole building, and the extension should be shaded or coloured.
5. Applications must be made in duplicate and two copies of the plan must be supplied if applying for a permit to erect a dwelling, bath or if any plumbing or drainage is to be installed.
6. Location plan must be completed.

PENCIL DRAWINGS WILL NOT BE ACCEPTED.

In drainage layout see drainage plan

20'
40'
60'
80'
100'
120'
140'
160'
180'

SECOND SCHEDULE

Fees Payable on the Issue of Any Building Permit According to
the Estimated Value of the Building Work.

Estimated Value of Building Work		£	s.	d.
Not exceeding £10	.....	0	5	0
Over £10 and not exceeding £100	.....	0	10	0
" £100	" £200	1	0	0
" £200	" £300	1	10	0
" £300	" £400	2	0	0
" £400	" £500	2	10	0
" £500	" £600	3	0	0
" £600	" £700	3	10	0
" £700	" £800	4	0	0
" £800	" £900	4	10	0
" £900	" £1,000	5	0	0
" £1,000	" £1,250	6	0	0
" £1,250	" £1,500	7	0	0
" £1,500	" £1,750	8	0	0
" £1,750	" £2,000	9	0	0
" £2,000	" £2,500	10	10	0
" £2,500	" £3,000	12	0	0
" £3,000	" £3,500	13	10	0
" £3,500	" £4,000	15	0	0
" £4,000	" £4,500	16	10	0
" £4,500	" £5,000	18	0	0
" £5,000	" £6,000	20	0	0
" £6,000	" £7,000	22	0	0
" £7,000	" £8,000	24	0	0
" £8,000	" £9,000	26	0	0
" £9,000	" £10,000	28	0	0
" £10,000	" £12,500	32	0	0
" £12,500	" £15,000	36	0	0
" £15,000	" £17,500	40	0	0
" £17,500	" £20,000	44	0	0
" £20,000	" £25,000	49	0	0
" £25,000	" £30,000	54	0	0
" £30,000	" £35,000	59	0	0
" £35,000	" £40,000	64	0	0
" £40,000	" £45,000	69	0	0
" £45,000	" £50,000	74	0	0
" £50,000	" £60,000	79	0	0
" £60,000	" £70,000	84	0	0
" £70,000	" £80,000	89	0	0
" £80,000	" £90,000	94	0	0
" £90,000	" £100,000	99	0	0
Exceeding £100,000	.....	100	0	0

In any dispute the Engineer shall have the absolute
determination of the value of such work.

SPECIFICATION of the work to be done and materials to be supplied in connection with the erection and completion of a RESIDENCE at Rathgar Road, Henderson, for J. & R.H. Thomson all in accordance with this specification and the accompanying drawings.

PRELIMINARY AND GENERAL

1. EXTENT OF WORK:

The works in this contract comprise:

- (a) The clearing of the site and skimming off topsoil under building.
- (b) The erection and completion of the residence complete with all services.
- (c) The laying of all sanitary and stormwater drainage.

2. DRAWINGS AND SPECIFICATIONS:

The drawings and specifications shall be read together and the works shall be completed according to the true intent and meaning of same. Anything shown and not specified or vice versa shall be equally binding as if included in both. Any item not expressly shown or specified shall be constructed and finished in conformity with the standard of construction and finish described throughout the job generally. "Provide", "supply" and "fix" shall be taken to mean "provide and fix".

3. TRADE SECTIONS:

The separate trade sections of this specification shall not be construed as complete and separate contracts and no claims will be admitted for work not specifically mentioned in a trade section, but which is provided for (expressed or implied) elsewhere in the specification or shown on the drawings and/or is indispensably necessary to the completion of the works.

4. PERMITS:

Obtain all permits for Building, Plumbing, Drainage etc. and pay all fees and charges connected therewith.

5. INSURANCE:

Take out insurance policies as follows:

- (a) Fire Insurance to cover the works until the contract is completed.
- (b) Workers Compensation Insurance to cover persons engaged on the works.
- (c) Public Risk Insurance with a cover of £2,500 in respect of any one claim.

Such policies shall be continued by the contractor until the works are completed.

6. MATERIALS:

All materials shall be the best of their respective kinds, qualities and grades.

7. PLANT ETC:

Provide all necessary plant and labour for the proper, expeditions and complete execution of the works. Provide and maintain proper sheds for the use of the men, storage and protection of materials etc.

8. WORKMANSHIP:

All workmanship shall be in accordance with the best trade practice, work shall be accurately set out, structurally sound, true to line and face and neatly executed and finished. Defective work, if any, shall be made good. Remove from site all rubbish, materials and debris caused by the building operations. Clear all rubbish and debris from under floor before laying flooring.

9. SERVICES:

Arrange for all water, electrical and other services required for the contract and obtain all permits and pay all fees in connection with same. Arrange and pay for all carriage and cartage and provide competent supervision to complete the works.

10. ATTENDANCE:

Co-operate with, attend upon and provide all reasonable assistance for all trades engaged upon the works.

11. ACCESS:

Provide all weather access to the building site and make all arrangements with the Local Authority and pay all fees for crossings etc. required.

12. SET OUT WORKS:

Set out the works to figured dimensions and make good any errors at own expense. Dimensions shown are between rough framing.

13. DAMAGE:

Make good any damage caused by the operation of the contract.

14. COMPLETION:

Remove from the site and the building at completion all debris caused by the operation of every trade. Leave all floors clean and free from stains, all glass cleaned inside and out and any cracked or broken glass replaced. Leave the whole building weathertight and fit for occupation with all equipment in good condition and proper working order.

15. MAINTENANCE:

Make good any defects or faults which may arise within 30 days of the completion of the works.

EXCAVATOR.

16. BUILDING AREA:

Clear area of all vegetation and remove topsoil for a depth of 3" and deposit and spread it where directed on site.

17. EXCAVATIONS:

Excavate for all foundations, piers and pads, chimney base etc. to a minimum depth of 1' 3" and thoroughly ram and consolidate beds of same. Make good any weak bearing areas with thoroughly consolidated hardcore. Keep all trenches and holes clear of water and fallen material. Excavate for all water mains for a depth of at least 1'6". Do all other excavation as necessary.

18. RETURN AND FILL:

Return and fill with selected excavated material around all foundations, piers etc. up to finished ground level, thoroughly consolidate by ramming and make good any settlement.

19. HARDCORE FILLING:

Hardcore filling under porches etc. shall be broken brick, concrete or stone to a 3" maximum size blinded with fine metal or scoria before concrete is laid.

DRAINLAYER.

20. REGULATIONS:

Lay the whole of the drainage systems in accordance with the Drainage and Plumbing Regulations (1959) and to the approval of the Health Inspector.

21. PERMITS AND FEES:

Apply to the Local Authority for the necessary permits and pay all fees in connection with same, including inspection and testing.

22. MATERIALS:

Provide and fix all materials which shall be the best of their respective kinds, necessary for the installation of the complete drainage systems. All G.E.W. pipes, traps, fittings etc. shall be socketted first quality salt glazed earthenware free from defects. Joints shall be made with 1 : 2 cement and sand mortar wiped clean inside. C.I. pipes and fittings shall be socketted, heavy grade and free from defects. Field tiles shall be 4" plain, butt, laid with open joints.

23. WORKMANSHIP:

All workmanship shall be in accordance with the best trade practice and shall be carried out by a licensed drainlayer.

24. GENERAL:

Excavate for and lay the whole of the drainage systems, set on a bed of 6 : 1 scoria concrete 3" thick and benched up to centre line of pipes with a minimum cover of 12". Fit inspection pipes at outlet of gully traps and make all changes of direction and junctions with inspection fittings. Leave the heads of systems ready for the Plumber to make the necessary connections. Gully traps shall be complete with C.I. gratings and set in 5 : 1 shingle and cement concrete dished and kerbed with 2 : 1 sand and cement trowelled to a smooth finish. Bring up bend for T.V. ready for Plumber. Lay all drains to set out and grades approved by the Local Health Inspector.

25. SEPTIC TANK:

Excavate for and construct septic tank in waterproof concrete all to the approval of the Health Inspector, complete with connections, fresh air inlet and sealed removeable covers.

26. EFFLUENT DISPOSAL:

Excavate for and lay 150' of effluent drainage in 4" field tiles set in 2'0" deep by 1'6" wide trench with 2" to 3" scoria filling topped with 4" of topsoil all to the approval of the Health Inspector. Provide wiers if required benched in 5 : 1 scoria concrete.

27. STORMWATER DRAINAGE:

Discharge roof water into sealed bends and excavate for and lay drains as for sanitary drains. Lead off to approved outfall in watertable.

28. INSPECTION:

No drains shall be covered in prior to inspection, testing and approval by the Health Inspector.

29. FILLING:

Backfill round drains with dry excavated material. Take care to keep drains undisturbed during backfilling.

30. COMPLETION:

On completion the drainage shall be left in perfect working order.

CONCRETOR.

31. CEMENT:

Cement shall be N.Z. Normal Portland cement.

32. SAND:

Sand shall be clean, sharp, coarse, free from earth or organic matter, graded from 3/16" down.

33. COARSE AGGREGATE:

Shall be clean crushed blue metal passing 1", 3/4", 1/2" and 1/4" sieves in equal proportions.

34. WATER:

Shall be Local Authority supply.

35. REINFORCEMENT:

Reinforcement shall be H.R.C. mesh and plain round mild steel bars free from loose scale, paint, oil etc with internal radii of bends equal to four diameters. Binding wire shall be soft black iron wire. Lap all steel 40 diameters, well secured at laps and intersections with 16 s.w.g. binding wire and carried not less than 2'0" round all angles.

37. FORMWORK:

All formwork shall be clean, plumb, true to line and face, well braced and secured with No. 8 g. wire ties.

38. CONCRETE:

Concrete shall be 1 : 2 : 4 nominal mix of 2000 p.s.i. Grade C. concrete in accordance with N.Z.S.S. 95 part V. with minimum of 540 lb. of cement to each cu. yard of mixed concrete. All concrete shall be mechanically mixed for minimum of 2 minutes with sufficient water to make a workable plastic mix and be deposited immediately.

39. CONCRETE BLOCKS:

Concrete Blocks shall be 8" x 8" cast insitu set on 12" x 12" x 4" concrete pads, complete with No. 8 s.w.g. ties for sleeper plates.

40. SLABS AND STEPS:

Slabs shall be 4" thick concrete laid on hard core filling with 886 H.R.C. mesh reinforcement all as detailed. Carry mesh down into steps slabs and add $\frac{3}{8}$ " diam. rods under each tread turned down into wing walls. Fall all slabs and treads to outside to shed water. Wing walls shall be 6" thick concrete with $\frac{3}{8}$ " diam. rods 12" centres both ways. Foundation slab under chimney shall be 6" thick with $\frac{3}{8}$ " rods 9" centres both ways. Hearth slab shall be 4" thick with $\frac{3}{8}$ " rods 12" centres both ways with opening for well grate.

41. FOOTINGS:

Footings shall be 12" x 6" concrete as detailed with 2 rods $\frac{1}{2}$ " diam. and $\frac{1}{4}$ " diam. ties at 4'0" centres. Footings are 15" deep as shown.

BRICKLAYER.

42. MATERIALS:

(a) Bricks:

Bricks shall be Amalgamated Plain Red Tunnel Facing Bricks, hard, sound, square, well burnt and sharp arrissed. Firebricks shall be 1st quality.

(b) Mortar:

Mortar shall be 1 : 3 cement and sand with 10% hydrated lime. Lay firebricks with fireclay mortar with firm, flush joints. Lay damp proof course of waterproof cement mortar 2 courses above ground level.

43. WORKMANSHIP:

All shall be in accordance with the best trade practice. Thoroughly wet all bricks, carry up all work plumb and true with square quoins and true perpends. Use bats only as needed for bond. Rub all joints.

44. BASE WALLS:

Build up base walls in $4\frac{1}{2}$ " work stretcher bond with 9" x $4\frac{1}{2}$ "

piers as necessary. Provide and build in vents as shown. Vents shall be 9" x 6" vermin proof precast.

45. CHIMNEY:

Build up off base slab, form pit and supply and build in C.I. tip up grate and frame and C.I. ash door and frame. Build up, chimney as shown with flue liner and precast concrete lintel. Build up fireback in firebricks on flat with fire brick hobs rebated for 12" colonial grate and supply and fix same. Form chases for roof flashing etc. where necessary.

46. FIREPLACE SURROUND:

Supply and fix selected fireplace surround (allow P.C. sum of £17. 10s. for surround).

47. CLEAN DOWN:

Clean down all exposed brickwork at completion and leave free from stains and defects.

PLASTERER.

48. MATERIALS:

- (a) Cement shall be Portland as for Concretor.
- (b) Sand shall be clean, sharp and washed and screened to a uniform grade. Finishing sand shall be white silver sand.
- (c) Hydrated lime shall be Wilsons or other approved.

49. WORKMANSHIP:

Workmanship shall be in accordance with the best trade practice. Clean down surfaces and well dump, hack where needed and damp score and scratch between coats. Allow adequate time for curing and shrinkage before finishing and finish all work to true line and face. Leave all work free from joints, stains and blemishes. Hydrated lime up to 10% of cement content may be added for workability.

50. GENERAL:

Plaster all exposed concrete work, slabs, upstands, treads, risers, spandrels etc. in two coat work to a minimum thickness of $\frac{1}{2}$ " in two coat work with a dash coat of 1 : 1 cement and sand and finishing coat of 1 : 3 cement and sand finished to a true even surface off a wood flat.

CARPENTER AND JOINER.

51. MATERIALS:

- (a) Timber:
All timber shall be accurately graded, free from defects and structurally sound. All external finishing timbers shall be dry and seasoned and all machined stuff dry run. Exposed surfaces must be wrought. Cover up and protect all joinery in transit and upon delivery.
- (b) Priming:
Prime before fixing all external joinery, laps and bottoms of all weatherboards and all external finishing timbers and wrought members exposed to weather.

(c) Nails and Screws:

All nails for the fixing of weatherboards and exterior facings shall be galvanised. All screws used externally shall be galvanised. Punch all nails in exposed work inside and out.

(d) Dampcourse:

Dampcourse shall be 3 ply malthoid fixed continuously below all timbers in contact with brick or concrete. Lay evenly and project $\frac{1}{2}$ " beyond sides of timber members.

52. WORKMANSHIP:

All timbers shall be fixed, framed, trussed, braced, nailed, screwed, bolted and fitted together in a workmanlike manner in accordance with the best trade practice. All members shall be fixed plumb, true to line and face and work accurately set out, neatly executed and finished. Any work which develops defects shall be made good or replaced. Machine dress all external finishing timbers. Leave all surfaces smoothly finished and free from defects, hammer marks and rough or uneven patches.

Cut away for and attend upon all trades. Protect all work from damage and discolouration. Leave all work in proper condition with all doors, sashes, drawers etc. fitting satisfactorily and in proper working order. Make good all shrinkages etc., and leave all fit for use.

Execute the whole of the work as shown or as necessary, build all formwork etc. and supply all plant, tools, labour and hardware.

Thickness all framing to receive linings and brace as shown. Frame all external angles with three studs and provide and fix all bearers and noggins required to accommodate the work of all trades. Frame up the structure to ensure maximum stability. All timbers shall be in longest possible lengths with all joints made over a support. Give all beams full end bearing.

53. TIMBER GRADES:

- (a) All subfloor timbers including both bottom plates to external walls shall be B.A. Heart Rimu.
- (b) All framing timbers above floor shall be B.A. Rimu Pressure Treated.
- (c) Flooring shall be D.A. Heart Rimu.
- (d) Weatherboards shall be D.A. Heart Rimu or D.A. Rimu Pressure Treated.

NOTE: Alternative timbers and grades may be allowed with the owners approval but in no case shall alternatives be approved below those allowed by the State Advances Corporation.

54. SUB-FLOOR FRAMING:

(a) Sleepers and Plates:

Fix in long lengths halved at corners and dovetail scarfed at intersections, bolted and wired to blocks and base walls. All half lapped joints on sleepers are to be made over a support. Refer to clause on D.P.C. No timber shall come in direct contact with concrete or brickwork.

Sleepers are 4" x 3" on edge. Plates are 4" x 2" on flat.

(b) Floor Joists:

Joists shall be 6" x 2" in long lengths at 18" centres maximum. Gauge down on sleepers and plates to uniform level with no joist spanning less than three piles and with staggered joints lapped 12" over a support and well spiked. Fix double joists to all partitions. Trimmer joists and trimmers shall be 6" x 3".

55. FRAMING:

Frame up off 4" x 2" and 3" x 2" plates for walling as shown with 4" x 2" and 3" x 2" studs at 18" centres. Make all jamb studs to 4" walls 4" x 3". Check all heads etc. $\frac{1}{2}$ " and securely spike. Fix double studs under the ends of all beams. Top plate shall be 4" x 2" in long lengths half lapped over supports. Brace walls with 6" x 1" cut into studs at 45°. Nog as requisite for various linings etc. with 3" x 2" noggins in three rows. Thickness all lined wall framing to a uniform width, vee notch noggins for ventilation and trim for all openings. Brace all external corners with 9'0" long dragon ties of 4" x 2". Frame up 2/8" x 2" beam as detailed and fix as detailed. Fix ceiling joists 4" x 2" at 18" centres lapped 12" over partitions and spiked at passings. Securely spike to wall plates and feet of rafters. Nog as requisite for linings and trim for access opening in hall. Rafters are 4" x 2" at 36" centres birds mouthed over plates and beams and supported with 4" x 3" runners strutted up with 4" x 2" from partitions. Tie every second pair of rafters with 6" x 1" under ridge as detailed. Well spike rafters to 1" timber to depth of ridges. Hips shall be in single lengths.

Purlins shall be 3" x 2" as detailed, butted on solid bearing, carried along ridges and hips for ridding. Trim for chimney as required.

Form eaves as detailed with 3" x 2" soffit bearers at 18" centres.

56. (a) WEATHERBOARDS:

Weatherboards shall be ex 6" x 1" dressed bevelled back in long lengths. Fix with $1\frac{1}{2}$ " lap gauged to constant width on face. Butt joints shall be splayed and staggered, external angles mitred and internal angles scribed. (Refer Plumber for soakers). Prime all laps and edges before fixing with galvanised nails.

(b) FACINGS ETC :

Fascias shall be 8" x $1\frac{1}{4}$ ".

Facings shall be 1" stuff.

Architraves shall be 3" x 1" weathered to sills.

Scotias to soffits shall be $1\frac{1}{8}$ " x $1\frac{1}{4}$ " radius.

Fillets under sills shall be $\frac{3}{8}$ " quadrant and to all other locations where necessary.

(c) SOFFIT LININGS:

Line soffits with $\frac{1}{4}$ " asbestos cement sheathing sealed both sides before fixing. Cover battens shall be segmental. Finish at back of fascias with $\frac{3}{4}$ " quadrant. Note that soffits carry in under porches as detailed.

57. FLOORING:

Clean up all debris from under joists before laying. Lay 4" x 1" t. & g. flooring in long lengths, cut close to sides and angles, tightly cramped, double nailed with 3" brads with all butts bored. Stagger butts and punch all brads. No two butts shall occur in adjacent boards on the same joist. Lay to all locations and leave vermin proof. Machine sand on completion with coarse and fine paper to all locations and finish by hand where necessary. Protect all floors from damage and leave in first class order at completion free from damage and stains.

58. INTERIOR LININGS:

- (a) All interior wall linings shall be 1st quality $\frac{3}{8}$ " Gibraltar Board and stopped according to the finish.
- (b) All ceilings shall be lined with $\frac{3}{8}$ " 1st quality fibrous plaster. Trim with selected fibrous plaster cornice to living room and $1\frac{3}{4}$ " scotias to all other locations. Stop for paint finish. A first class finish is required throughout.

59. INTERIOR TRIM:

Architraves shall be ex. 3" x 1" mitred at corners. Skirtings shall be ex. 4" x 1" bullnose scribed at angles. Scotias shall be $1\frac{3}{4}$ " except for living room which has fibrous plaster cornice. Fix $\frac{1}{2}$ " quadrants up the wall angles where fittings abut wall surfaces and to all internal angles of cupboards, linen cupboard, wardrobes etc. Fix $\frac{1}{2}$ " quadrants to fire place surround and hearth. To all external wall angles fix $\frac{3}{8}$ " thick x 2" wide fillets flush with Gib. Board linings to protect corners from damage. Punch all nails and hand sand all trim. A first class finish is required.

60. WARDROBES ETC :

Frame up wardrobes and linen cupboard in 3" x 2" framing at 18" centres. Ceil and build in cupboards over with $\frac{1}{8}$ " core-board doors. Fix ex. 9" x 1" shelf in tops of all wardrobes and $\frac{3}{4}$ " diameter pipe hanging rails on timber brackets. Fix five full width batten shelves in linen cupboard with $\frac{1}{2}$ " spacing between battens and three similar shelves to hot water cupboard.

61. SHAVING CABINET:

Construct cabinet with 1" carcass set in wall thickness and finish round with $\frac{1}{2}$ " quadrant to wall linings. Check in $\frac{1}{2}$ " shelves and supply and fix 12" x 10" polished plate glass mirror on door face.

62. BUILD IN BATH AND BASIN:

Cradle bath on 3" x 2" frames and frame up front with 3" x 2" on flat lined with single sheet of selected Lami-wall. Build in basin with cupboard unit and $\frac{1}{8}$ " coreboard door.

63. LAUNDRY:

Build in cupboards under tubs with $\frac{7}{8}$ " coreboard doors with one intermediate full depth shelf. Pack up false floor to skirting height. Fix 6" x 1" bevel shot board to back of tubs and trim linings with $\frac{1}{2}$ " quadrant. Build in three ex. 9" x 1" shelves where shown with ex. 9" x 1" ends.

64. METER CUPBOARD:

Build in glazed fronted meter cupboard to wall of back porch and line with asbestos millboard. Check with Electrician for size.

65. KITCHEN:

Refer to details. All cupboards shall have false floors with toe recesses. All drawers shall have $\frac{3}{4}$ " fronts dove-tailed to $\frac{1}{2}$ " sides and bottoms shall be $\frac{3}{4}$ " ply. All carcasses and shelving shall be ex. 1". Subdivide cutlery drawer as instructed. All cupboard doors shall be $\frac{7}{8}$ " coreboard. Supply and fix 6'0" Formica topped bench (Refer to Plumber for Stainless Steel sink).

66. TOILET FITTING:

Supply and fix a c.p. toilet paper holder to W.C.

67. HARDWARE:

Supply and fix all hardware as specified and required.

(a) Door Butts and Hinges:

- (i) Hang base door on 1 pr. 6" galvd. Tee hinges with galvd. screws.
- (ii) Hang exterior doors on $1\frac{1}{2}$ pairs of 4" x $2\frac{3}{4}$ " galvd. butts with loose pins with galvd. screws.
- (iii) Hang interior doors on $1\frac{1}{2}$ pairs of $3\frac{1}{2}$ " x $2\frac{1}{4}$ " antique bronze on steel butts with loose pins and matching screws.
- (iv) Hang all cupboard doors on 1 pair of $2\frac{1}{2}$ " galvd. butts with galvd. screws.

(b) Window Fittings etc.:

Supply and fix all butts to casements (3" x 2" galvd. with fixed brass pins. Casements shall be fitted with approved c.p. telescopic stays with quick release lock and a c.p. spur fastener to each sash. Whitco hung sashes shall be awning hung on 14" galvd., Whitco fittings with c.p. spur fasteners. Louvres to Laundry shall be Cooper louvres with $\frac{1}{4}$ " rough rolled plate glazing.

(c) Cupboard Fasteners:

To all cupboards fix c.p. 'Chester' cupboard catches.

(d) Drawers:

To all drawers fix 4" c.p. pull handles screw fixed from back.

(e) Doors:

Supply and fix a 6" galvd. padbolt to base access door.

Front door shall have a Yale night latch with 8" c.p. pulls inside and out.

Laundry door shall have a 4" mortice lock with c.p. lever furniture.

Back door shall have a 4" mortice lock with c.p. lever furniture.

Bedrooms, linen cupboard, wardrobe and living room doors shall have 4" mortice latches with c.p. lever furniture.

Bathroom and W.C. Doors shall have 4" mortice latches with snibs and c.p. lever furniture.

(f) Hang sliding door on King Homestic or similar approved sliding door gear complete with pelmets and 4" c.p. flush pulls.

(g) Supply and fix c.p. towel rails where shown to Kitchen (1), Bathroom (1) and Laundry (1).

68. Door Frames:

(a) Exterior door frames shall be solid rebated, grooved with sills weathered double sunk, rebated over flooring with W.I. galvd. weather bar ploughed in.

(b) Interior door frames shall be ex 1 $\frac{1}{4}$ " stuff with 1 $\frac{5}{8}$ " x $\frac{1}{2}$ " planted stops except where sliding.
All exterior frames shall be D.A.Heart Matai or Totara.

69. Doors:

All doors shall be D.A.Heart Rimu whether framed up or flush. Flush doors shall have clashing strip to lock style. Provide and fix rubber door stops to all doors.

Front door shall be 1 $\frac{5}{8}$ " solid framed one light with 5" heads and styles and 9" bottom rails.

Back door and laundry door shall be solid flush Ht. faced with 1'6" x 1'6" glazed panel. Glazing shall be $\frac{1}{4}$ " rough rolled.

Interior doors shall be framed flush.

Base door shall be ledged, braced, 4" x 1" t. & g. sheathed with solid rebated ex 4" x 3" frame.

70. WINDOWS:

Sashes shall be D.A.Heart Totara or Clear Cedar. Frames shall be D.A. Heart Matai or Totara.

Sashes shall be tenoned and glue wedged to finish 1 $\frac{3}{4}$ " thick, rebated for glass with weather grooves all round. Round off for Whitco swinging. Bottom rails ex 4" x 2", top and meeting rails and styles ex 2 $\frac{1}{2}$ " x 2".

Frames shall be ex. ex. 6" x 2" solid rebated grooved and throated.

Transoms shall be ex. 4" x 3", weathered to opening sashes, double sunk, rebated below for fixed glazing.

Door mullions shall be ex. 6" x 3".

Window mullions shall be ex. 4" x 3".

Mullions shall be solid rebated grooved for sashes or fixed glazing etc.

Sills shall be ex. 8" x 2½" double sunk, weathered and throated and rebated for fixed glazing.

Sill boards shall finish 1½" and all weathered cappings shall be ex. 3" x 2" weathered and throated.

ROOFER.

71. CORRUGATED GALVANISED IRON:

Cover the house with 1st Quality 24 g. galvd. corrugated iron. Lap 1½ corrugations at sides and at least 9" at end laps. Fix with 2½" cup lead-headed nails every second corrugation at sheet ends and at three points to each intermediate purlin. Turn up hollows at ridge and hips. Paint laps before fixing. Cover ridges and hips with 18" 24 gauge 3 lb. lead edged ridging lapping 8" at ends and closely nailed with lead headed nails. Paint ridging on underside before fixing.

PLUMBER.

72. GENERAL:

Execute the whole of the plumbing work for the complete installation of the sanitary, waste and roof water systems; the hot and cold water supply systems, together with all flashings and special items etc.

Provide all fittings, materials and plant.

All work shall be in accordance with the Local Authority, and Health Department Regulations. Pay all fees and give all notices to interested Authorities for connections, inspection and testing.

Conceal all within framing where they enter building and run to fittings.

73. FLASHINGS:

Fit all flashings in long lengths, solder all joints. Fold backs ½" and fix with 1" galvd. clouts at 3" centres. Cut in 6" x 1" timber to support flashings where necessary. Render the building completely water tight.

Chimney shall be guttered, apron and step flashed with 5lb. lead dressed into joints, lead wedged and cement pointed, carried out 9" over iron. Flash and overflash all roof penetrations.

Flash under sills with 26 g. galvd. iron trays turned up 2" at ends. Flash over weathered drips to door and window heads.

74. SOAKERS:

Supply and fix 26 g. galvd. soakers to weatherboards at mitres and on straight runs.

75. SPOUTING:

Sputings shall be 5" x 3" quarter round 26 g. galvd. soldered at joints with stopped ends, supported on brackets

at 2' 6" centres.

Downpipes shall be 3" galvd. soldered into spoutings with swan necks and bends and supported and strapped to walls.

76. TERMINAL VENT:

At drain head provide and fix 4" C.I. terminal vent to 1'0" above roof line. Secure to wall with wood blocks and brass screws.

77. WASTES AND TRAPS:

Wastes generally shall be 1½" g.w.i. screwed tubing in easy bends to discharge over gully traps. Traps shall be copper with brass unions.

78. WATER SUPPLY:

Arrange with local Authority for connection and pay all fees and charges. Supply and fix an approved meter and stopcock housed in a precast concrete meter box with lid set flush to ground level. Carry in water supply in ½" copper pipe 18" in ground. Supply and fix Ajax P.R.V. to cylinder. Reticulate in building all in ½" copper strapped with 1" wide copper straps with brass screws at 4'0" centres.

Lag all hot water piping with hair felt and bind with copper wire at 2" pitch.

Supply and install two (2) c.p. hose taps complete with screwed ruff. All pipes where exposed shall be nickel plated.

79. CYLINDER:

Supply and fix an approved 30 gallon electric H.W. cylinder complete with 1000 W. element and thermostat. Cylinder shall be cased and lagged and readily removeable. Fix ½" copper sludge pipe to discharge over nearest gully trap.

80. COCKS ETC:

All interior cocks and taps shall be c.p.
Bath taps shall be ¾" c.p. streamline bibcocks (H and C) with 3" extension.
Tubs taps shall be ½" c.p. streamline bibcocks with c.p. extension.
Provide and fix hot ½" c.p. tap for washing machine.

81. FITTINGS:

- (a) Bath shall be 1st Quality selected R.V. Pressed steel coloured square end bath.
- (b) Basin shall be 1st Quality selected R.V. Pressed steel coloured to match bath.
- (c) Sink shall be approved stainless steel.
- (d) W.C. Pan shall be 1st Quality white glazed vitrious china with selected hammer glaze seat and flap.
- (e) Flushing cistern shall be low down copper lined wood cased with ½" ball cock and silencer pipe, c.p. operating handle and ¾" overflow pipe through wall. Cistern shall be syphonic with screw fixed lid. Supply and fix 1½" c.p. on brass flush pipe.

- (f) Tubs shall be approved 1st Quality two compartment reinforced wash tub unit.
Tubs shall be supported on cupboard framing.
- (g) Soap holder to bathroom shall be selected white vitrious enamelled set into wall thickness over bath.

ELECTRICIAN.

82. GENERAL:

Pay all fees and charges and obtain permits.

Carry out the whole of the installation in accordance with the Regulations. Conceal all wiring. All material and workmanship shall be first class. Leave the whole installation complete, tested and in proper working order.

Connect up to nearest available supply and allow for and supply any power poles necessary.

83. SWITCHBOARD:

Fix switchboard in glazed cupboard provided by carpenter on back porch wall. Lighting and heating fuses shall not be interchangeable.

Clearly label all switches and fuses.

84. POWER POINTS:

Refer to plan. Points shall be 3 pin, 10 amp with combined switches in white flush covers 12" above floor or in upstand where shown.

85. SWITCHES:

Switches shall be "Mutac" silent flush tumbler type with white plates set 4'6" off floor.

86. LAMPS:

Lamps shall be coiled coil pearl.

87. CEILING ROSES AND BATTEN HOLDERS:

Shall be 1st Quality bakelite with white shades. Porches shall have plastic based ball fittings.

88. RANGE:

Provide and fix a 30 amp. flush switch for range with $\frac{3}{4}$ " flexible conduit and connection. Install selected range. (Allow the P.C. sum of £60 for range to be selected).

89. WATER HEATER:

Connect up 30 gallon water heater.

90. AERIAL:

Install a 40' aerial in roof space of 7/029 bare stranded copper as high as possible, and away from house wiring, on a pair of insulators with a soldered dropper connected to plastic face plate with aerial and earth terminals located by power point in living room. Run an earth to nearest water pipe onto an earthing clip.

Painter.

91. GENERAL:

Paint the whole of the exterior and interior of the building and fittings. Inspect work and refer main contractor to any defects which would affect the quality of the paint job. Supply and maintain all scaffolding, planks and trestles. Employ only skilled tradesmen and carry out work in accordance with sound trade practice. A first class finish is required throughout.

Paint shall impinge on glass for weather protection. The top and bottom and edges of all doors, sashes etc. shall be painted with the same number of coats as for face surfaces. Remove all locks, fittings etc. before painting and replace at completion.

Check all doors and sashes for paint clearance.

Rub down all surfaces and make good all imperfections before commencing.

Exterior paint and the first coat of interior paint shall be applied with brush only.

Clean up at completion and scrape clean all glass.

Stop all nail holes, cracks and blemishes with rock hard water putty tinted to work for all clear finishes and with pure linseed oil putty for painted work.

92. EXTERIOR PAINTING:

All exterior woodwork shall be primed with P.W.D. No. 2 Red Lead Primer thinned 10% with genuine turps.

Cast iron pipes shall be primed with Aluminium primer.

After priming all exterior work except soffits shall be given one approved high gloss base coat tinted to finish and one approved high gloss finishing coat.

Asbestos cement soffits are to be sealed both sides before fixing and finished with two coats of P.V.A. Semigloss Resene or equal.

93. INTERIOR PAINTING:

Primers and sealers shall be oil based to suit the work.

Semi Gloss Enamel shall be approved non emulsion plastic alkyd. type e.g. Monocoat or equal.

Full Gloss enamel shall be 1st Quality full gloss synthetic resin based finish e.g. Revelite full gloss or B.A.L.M. full gloss enamel.

Clear varnish shall be two coats Resene P.V.A. rubbed down between coats with No. 320 dry paper and finished with one full coat of approved clear gloss varnish e.g. Dulux Clear.

(a) The following shall be Semi Gloss finish:

All ceilings complete with cornices and scotias except kitchen and dining area, bathroom and laundry.

(b) The following shall be Full Gloss Enamel finish:

Kitchen and dining area, laundry and bathroom, including ceilings, inside and outside of all fittings, cupboards and drawers, shelving, shaving cabinet and fittings to tubs.

All interior trim throughout except coving and scotias. Interior of sashes and frames to all locations.

Interior of all wardrobes, cupboards over wardrobes, linen cupboard and cupboard over linen cupboard. All door faces facing into dining area, kitchen, laundry toilet and bathroom.

(c) The following shall be Clear Varnish finish:

All interior doors except those door surfaces specified in clause (b) above.

GLAZIER.

94. Glaze all windows as follows:

Up to 8 square feet with 24 oz. clear glazing quality.

Eight square feet and over with 32 oz. clear glazing quality.

Glaze front and back and laundry doors with $\frac{1}{2}$ " rough rolled, beaded in.

Glazing to bathroom and toilet shall be obscure.

Glaze meter cupboard with 18 oz. clear.

All beads used externally shall be back puttied to glass and to bead.

95. WALLPAPER:

Hang selected wallpapers to all locations except kitchen, dining area, bathroom, laundry and toilet.

Allow the average sum of 7/- per single roll.

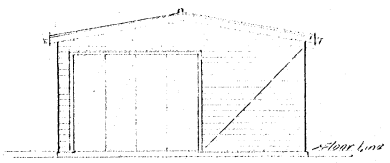
All paste shall be anti-fungicide.

Trim all papers, cut straight and true, butt join and correctly register all patterns.

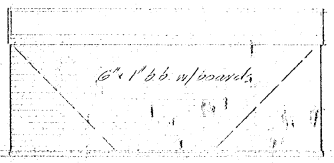
At completion leave all surfaces free from defects and disfigurements. A first class job is required.

PLAN AND SPECIFICATIONS
APPROVED
 SUBJECT TO SUCH CONDITIONS AS ARE TO BE ENDORSED BY OR APPENDED TO BUILDING PERMIT
 SIGNED: *[Signature]*
 DATE: 3-9-25

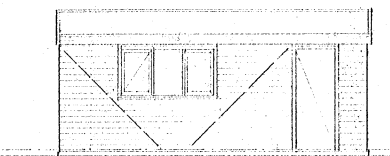
IMPORTANT
 A CONDITION OF THIS PERMIT IS THAT THE OWNER SHALL BE RESPONSIBLE FOR ALL STORAGE OF MATERIALS AND FOR STRUCTURE TO COMPLY WITH HEALTH INSPECTOR'S REQUIREMENTS.



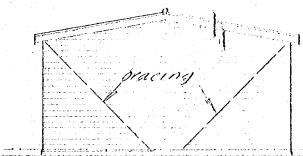
EAST ELEVATION



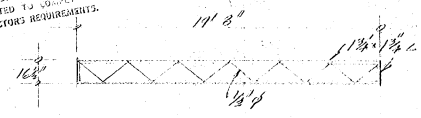
SOUTH ELEVATION



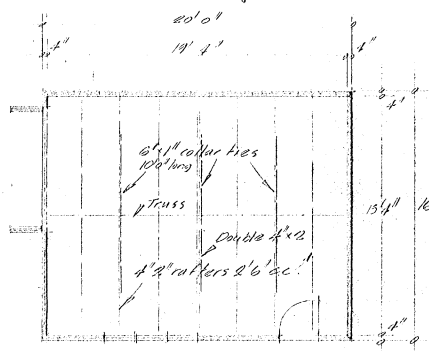
NORTH ELEVATION



WEST ELEVATION

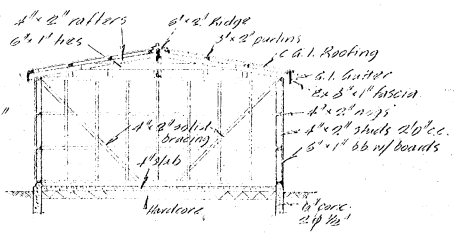


RIDGE TRUSS

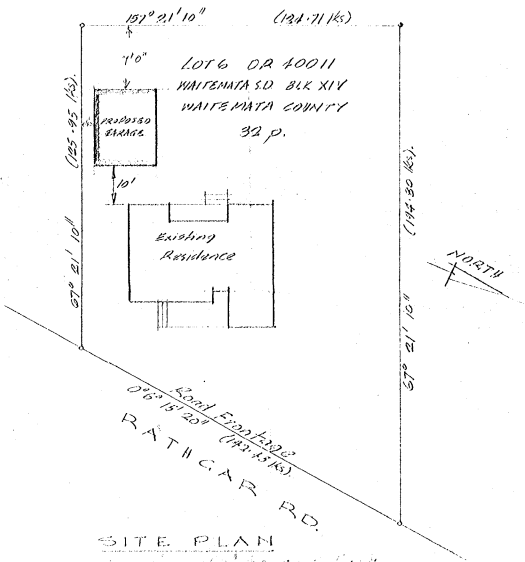


FLOOR PLAN

SCALE 1/4" TO ONE FOOT



CROSS SECTION



SITE PLAN

PROPOSED GARAGE FOR MR. J THOMSON
 RATIGAR ROAD - BENDERSON

Riding

Waiparoira

County of Waitemata

No 3337

Roll No. 330/62

BUILDING PERMIT

Date

11.9.63.

Owner of Section

J. THOMSON.

Address

4 Rathgar Rd. Henderson.

This Permit is granted to the undermentioned person authorising the following building work on

Lot No. 6, D.P. 40011 of allots 6/6A, Waiparoira Psh.

on Rathgar Road Henderson in accordance with the plans lodged and

subject to the following conditions: All work must conform with the N.Z.S.S. No part of this building can be erected over any drainage system. This permit covers the erection of a building (or part of a building as the case may be) to be used as a garage the use of which Nature of proposed work is incidental to the use of a residential building.

Private Garage & Workshop.

Value of work, £ 100.

Fee £ 10 - Rec. No. 13424.

For the Waitemata County Council.

L. L. JONES.

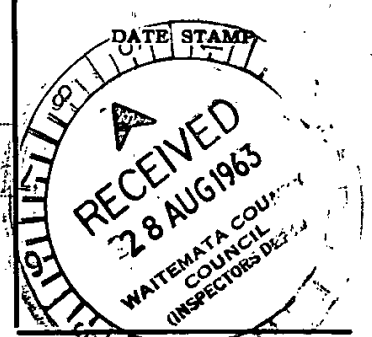
County Clerk.

per

County Building Inspector.

Mr. J. Thomson,
4 Rathgar Road,
HENDERSON.

APPLICATION No. 768/19 PERMIT No. 3337
VALUATION Roll No. 330/624 DATE ISSUED 11. 9 1963



WAITEMATA COUNTY COUNCIL
P.O. BOX 5440 — AUCKLAND, C.I.

Application for a Building Permit

OWNER OF SECTION. NAME JOHN THOMSON PHONE No. 14 915
(BLOCK CAPITALS)

PRESENT POSTAL ADDRESS A RATHGAR RD. HENDERSON

BUILDER. NAME JOHN THOMSON PHONE No. _____

POSTAL ADDRESS A RATHGAR RD. HENDERSON
(Note:—Permit will be posted to builder unless otherwise requested).

NATURE OF PROPOSED BUILDING WORK PRIVATE GARAGE & WORKSHOP.

VALUE OF WORK £ 100 FEE £ 10-0 (See back page)

FULL LEGAL DESCRIPTION OF SECTION (as appears on either rate demand or title deeds).

LOT 6 D.P. 40011 of Allots 6/6A Waipareira Pch.


NAME OF PREVIOUS OWNER OF SECTION E. A. Clarke

AREA OF SECTION 32 p. Acre(s). Frontage 120 Feet.

ROAD NAME RATHGAR RD. LOCALITY WAIKAREIRA

IMPORTANT SEE INSTRUCTIONS INSIDE

FOR OFFICE USE ONLY

Remarks: 

Permit Issued Subject to the Following Conditions: All work must conform with the N.Z.B.C. If no part of this bldg is to be sited over any drainage system

Approved by _____ Building Inspector _____ Date _____

Approved by _____ Health Inspector _____ Date _____

Building Permit Fee £ 10/- Receipt No. 15424 Date 30.8.63

Footpath Deposit Fee £ _____ Receipt No. _____ Date _____

Footpath Deposit Refund £ _____ to _____ Date _____

IN ACCORDANCE WITH TOWN PLANNING ACT 1952
SIGNED: [Signature]
39.63

SPECIFICATION

FOUNDATIONS

If solid concrete. Size of footings Integral Walls 6" Reinforcing 2 ϕ 1/2"
If concrete blocks. Size N/A Spacing N/A

N.B.—All blocks must be at least 12" in to ground on a 12" x 12" x 4" concrete pad.

FRAMING

	Size	Spacing	Span	Timber
Jack Studs	<u>N/A</u>		Along Runs.	
<small>(Note: If base over 6ft. in height, Jack studs to be spaced at 20in. centres).</small>				
Bearer Plates	<u>N/A</u>			
Floor Joists	<u>Conc. Slab.</u>			
Outer Studs	<u>4" x 2"</u>	<u>2' 0"</u>		<u>PINUS</u>
Inner Studs	<u>N/A</u>			
Ceiling Joists	<u>N/A</u>	<u>2' 0"</u>		
Bottom Plates. Size	<u>4" x 2"</u>	Top Plates. Size	<u>4" x 2"</u>	
Noggins. Size	<u>4" x 2"</u>	Number of rows of noggins	<u>2</u>	

N.B.—Minimum stud height for dwellings is 8 feet.

ROOF

Covering	<u>2kg. C. G. I.</u>	Ridges. Size	<u>6" x 2"</u>	Purlins. Size	<u>3" x 2"</u>
Collar ties. Size	<u>6" x 1"</u>	Sarking. Size	<u>N/A</u>	Under Purlins	<u>N/A</u>
Rafters	Size <u>4" x 2"</u>	Spacing <u>2' 6"</u>	Span <u>8' 0"</u>	Timber	<u>PINUS</u>

MISCELLANEOUS

Flooring. Size Conc. Slab. Exterior Sheathing 6" x 1" B.B. w/boards.
Inside lining N/A Area of New Building or Addition 320 sq. ft.
Is any second hand material to be used in the proposed constructions? No.

N.B.—Top window trimmers must be checked 1/2" or otherwise supported.

SANITATION

Privy Type N/A e.g. Water closet, chemical pan or night soil?
N.B.—If chemical pan or night soil pan, the privy building must be at least 15' away from any dwelling.

DRAINAGE & PLUMBING

All drainage and plumbing must be carried out by registered tradesmen. If it is intended to install a septic tank, now or in the future, the site must be inspected by the Health Inspector before building is commenced.

IT IS MOST IMPORTANT that buildings should not be occupied before complete plumbing and drainage systems have been installed and officially approved.

Signature of Applicant J. Thomas

SITE PLAN

RESIDENTIAL SECTIONS

The site plan must be accurately drawn to the scale provided (16 feet to 1 inch).

ALL OTHER SECTIONS

(including farms, etc.)

Please state scale used.

Note

1. This site plan must show the desired position of the proposed building and also ALL existing buildings.
2. Distances of each building from boundary lines must be clearly indicated. Consult your Building Inspector if in doubt as to council's requirements as to the Siting of Buildings. BUILDING INSPECTORS ARE AVAILABLE AT COUNTY OFFICE BETWEEN 8.30-9.45 A.M. MONDAY TO FRIDAY.
3. Separate plans, drawn to scale (preferably 1/4" or 1/2" to 1'), must be submitted, showing a ground plan, and elevations of two sides. In cases of extensions to existing buildings, these plans should show the whole building, and the extension should be shaded or coloured.
4. Applications, plans and specifications MUST be made in duplicate, except for minor outbuildings.
5. Location plan must be completed.

PENCIL DRAWINGS WILL NOT BE ACCEPTED.

IMPORTANT

A condition of this permit is that THE BUILDER is responsible for all stormwater drains being constructed to comply with health inspectors requirements.

*Refer to 1/16" Scale
Site Plan on Drawing*

SECOND SCHEDULE

Fees Payable on the Issue of Any Building Permit According to
the Estimated Value of the Building Work.

Estimated Value of Building Work				£	s.	d.
Not exceeding	£10	.....	.....	0	5	0
Over	£10 and not exceeding	£100	.....	0	10	0
"	£100	"	£200	1	0	0
"	£200	"	£300	1	10	0
"	£300	"	£400	2	0	0
"	£400	"	£500	2	10	0
"	£500	"	£600	3	0	0
"	£600	"	£700	3	10	0
"	£700	"	£800	4	0	0
"	£800	"	£900	4	10	0
"	£900	"	£1,000	5	0	0
"	£1,000	"	£1,250	6	0	0
"	£1,250	"	£1,500	7	0	0
"	£1,500	"	£1,750	8	0	0
"	£1,750	"	£2,000	9	0	0
"	£2,000	"	£2,500	10	10	0
"	£2,500	"	£3,000	12	0	0
"	£3,000	"	£3,500	13	10	0
"	£3,500	"	£4,000	15	0	0
"	£4,000	"	£4,500	16	10	0
"	£4,500	"	£5,000	18	0	0
"	£5,000	"	£6,000	20	0	0
"	£6,000	"	£7,000	22	0	0
"	£7,000	"	£8,000	24	0	0
"	£8,000	"	£9,000	26	0	0
"	£9,000	"	£10,000	28	0	0
"	£10,000	"	£12,500	32	0	0
"	£12,500	"	£15,000	36	0	0
"	£15,000	"	£17,500	40	0	0
"	£17,500	"	£20,000	44	0	0
"	£20,000	"	£25,000	49	0	0
"	£25,000	"	£30,000	54	0	0
"	£30,000	"	£35,000	59	0	0
"	£35,000	"	£40,000	64	0	0
"	£40,000	"	£45,000	69	0	0
"	£45,000	"	£50,000	74	0	0
"	£50,000	"	£60,000	79	0	0
"	£60,000	"	£70,000	84	0	0
"	£70,000	"	£80,000	89	0	0
"	£80,000	"	£90,000	94	0	0
"	£90,000	"	£100,000	99	0	0
Exceeding	£100,000	.....	.....	100	0	0

In any dispute the Engineer shall have the absolute determination of the value of such work.

M.C. BENNETT
L. RALPHIC RD
HENNINGSON
7-673

11' 8"

THESE PLANS AND SPECIFICATIONS
MUST BE KEPT ON SITE
DURING CONSTRUCTION.
ALL BOUNDARY SURVEY PEGS
MUST BE LOCATED AND FLAGGED
BEFORE WORK IS COMMENCED.

K/Room

PLANS
AND SPECIFICATIONS
APPROVED

SUBJECT TO SUCH
CONDITIONS AS ARE TO
BE ENDORSED ON OR
APPENDED TO
BUILDING PERMIT
SIGNED:
DATE: 2/28/73
Building Inspector

WALL

10' 0"

WALL

WALL

NEW
SHEDDER
WALL
WITH
CONCRETE
DECK
FLOOR OVER
THIS WALL
TAKEN OUT

OLDF
DORR
BR
11' 3"

RELINQUISH
RIGHT
HERE
OLD POSSESSIONS

Room

WALL

Room

EXISTING
FOUNDATION
SHOWN
LUMP

EXISTING
FOUNDATION
SHOWN
LUMP

Riding **LINCOLN**

COUNTY OF WAITEMATA

Roll No. **3303 / 2**

No **27227**

620/2

BUILDING PERMIT

Owner of Section

H.C. & G.A. Bennett

Date **21.12.73**

Address

4 Rathgar Rd Henderson

THIS PERMIT is granted to the undermentioned person authorising the following building work on Lot No. **6 DP40311**

on **4 Rathgar**, Road **Henderson**

in accordance with the plans lodged and

subject to the following conditions: **Drainlayer and plumber to contact Plumbing & Drainage Inspector before work begins.**

Nature of proposed work

Adds & Alts to Dwelling

M.C. Bennett

Value of work, **\$1,000.**

Fee \$ **6 : 00 :**

Rec. No. **3885 - 23.11.73**

For the Waitemata County Council

Duly Authorised Officer.

FOR FURTHER CONDITIONS SEE OVER

File returned, as s/o defect not involved. [Signature] 22/1/74

..... Inspector

Building Inspected. Date

Final Inspection

Register Noted. Date

23.7.74

Riding **LINCOLN**

COUNTY OF WAITEMATA

Roll No. **3935 / 2**

No 27227

BUILDING PERMIT

Owner of Section **H.C. & G.A. Bennett**
Address **4 Rathgar Rd Henderson**

Date **21.12.73**

THIS PERMIT is granted to the undermentioned person authorising the following building work on Lot No. **3 DP40011**
on **4 Rathgar** Road **Henderson** in accordance with the plans lodged and

subject to the following conditions: **Drainlayer and plumber to contact Plumbing & Drainage Inspector before work begins.**

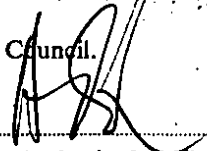
Nature of proposed work
Wells & pits to Drilling

H.C. Bennett

Value of work, \$ **1,000.**

Fee \$ **6 00** Rec. No. **3935 - 23.11.73**

For the Waitemata County Council.


Duly Authorised Officer.

M. C. BENNETT.

4 Rathgar Road.

HENDERSON

Proposed alterations at above
address

Carpentry

Remove wall "C"

Remove wall "D"

Relocate Toilet and

build in new closet with

3x2 Framing & Gib Board

Lining. Build in new

Shower with dressing cubicle

3x2 Framing and Hard

Board inside lining (treated)

Remove Wash house doorway

& relocate in new addition

at Steps. Frame up on

new concrete Block base

8'6" x 4'6" built up to existing

Flow level. Cover over

2
existing concrete deck of
old porch with wooden flooring
and extend this flooring over
new porch addition.

Frame up in 4" x 2" new
walls of porch addition
to meet existing Roof
Line at surface level.
~~to~~ Pitch new roof rafters &
purlins with 1" gull
to take Brown Bruli
metal roof. 4' 6" x
6' window to be
set in rear wall.

Existing Joist & Workhouse
single light windows to
be used in new rear
wall, one for new toilet
and one at Bathroom.
Cover walls with weather
Boards removed from
old wall. New Combined rear

porch and laundry to have
 to large opening windows
 in 4'6" x 6" frame mentioned
 above make provision for
 relocation of meter
 Board to regulation
 height on rear wall
 of Bedroom.

Plumber.

Re locate all Hot
 & cold pipes at Bathroom
 to suit relocation of Bath
 & Hand Basin.

Reposition single wash tub
 in Laundry using existing
 Hot & cold pipes for
 New shower.

Re locate Cold Waterⁱⁿ supply
 for WC. & connect new
 WC to existing sewer
 no change required to existing
 line.

APPLICATION NO. 170/14 PERMIT NO. 27227
 DISTRICT OFFICE NO. 620, 2 DATE ISSUED 21.12.73

LODGED AT DISTRICT OFFICE
 DATE 26 NOV 1973 DISTRICT TE ATATU D.O.
 HEAD OFFICE DATE STAMP
 RECEIVED
 23 NOV 73
 WAITEMATA COUNTY COUNCIL (INSPECTORS DEPT.)

WAITEMATA COUNTY COUNCIL
 68 GREYS AVENUE (P.O. BOX 5440), AUCKLAND, PHONE 33-419.

BUILDING PERMIT APPLICATION

OWNER OF SECTION: NAME M.C. & G.A. BENNETT PHONE NO. HSN 63678
 (BLOCK CAPITALS)
 PRESENT POSTAL ADDRESS 4 Rathgar Road
 BUILDER: NAME M.C. BENNETT PHONE NO. HSN 63678
 POSTAL ADDRESS 4 Rathgar Rd
 (Permit will be posted to builder unless otherwise requested)
 SIGNATURE OF APPLICANT M.C. Bennett

NATURE OF PROPOSED BUILDING WORK
Addition of Small Porch
AT REAR OF HOUSE PLUS
REPOSITIONING OF TOILET AND
ADDITION OF SHOWER CURTAIN



FLOOR AREA OF PROPOSED WORK
 Basement: _____
 Ground Floor: 38 1/4 sq. ft.
 First Floor: _____
 Others: _____
 Total: 38 1/4 sq. ft.

VALUE OF WORK \$ 1000 FEE \$ 6.00 ✓
 FULL LEGAL DESCRIPTION OF SECTION
 (as appears on either rate demand or title deeds)

BUILDING RESEARCH ACT 1969
 Levy on Buildings Valued at \$3,000 or over
 Amount of Levy _____
 Receipt No. _____
 Date _____

LOT 6 DP 40011 ✓
1809/13
 VALUATION ROLL NO. 3303/21
 NAME OF PREVIOUS OWNER OF SECTION J. Thompson
 AREA OF SECTION 32 PERCH. Acre(s) FRONTAGE _____ Feet
 ROAD NAME (4) Rathgar Road LOCALITY HENDERSON

IMPORTANT — SEE INSTRUCTIONS ON PAGE FOUR

FOR OFFICE USE ONLY

REMARKS crossing 9 F/path in good order

Permit Issued Subject to the Following Conditions
draughtlayer 9 plumber to contact P97 inst
before work begins

Approved by [Signature] Building Inspector 28-11-73 Date
 Approved by [Signature] Plumbing/Drainage Inspector 18/12/73 Date
 Approved by _____ Health Inspector _____ Date
 Town Planning Zoning Res. A Town Planning Officer [Signature] 20/12/73 Date
 Building Permit Fee \$ 6.00 Receipt No. 3885 Date 23.11.73
 Road Damage Deposit Fee \$ _____ Receipt No. _____ Date _____
 Road Damage Deposit Refund \$ _____ To _____ Date _____
 Cost of Vehicular Crossing \$ [Signature] Date 18/12/73

Electricity Transmission Lines: Present / Not Present over property* Location of ARA or NSDB Trunk Sewers Checked — Release/Hold

*Delete not applicable. Initials [Signature] Date 18/12/73

PLEASE REFER TO INSTRUCTIONS ON PAGE FOUR

SPECIFICATION TO BE COMPLETED BELOW FOR MINOR BUILDINGS ONLY
(Full specifications are required for all other work)

FOUNDATIONS

If solid concrete. Size of footings Walls Reinforcing

If concrete blocks. Size 12 x 8 x 6 Spacing

N.B. All blocks must be at least 12" in to ground and set on a 12" x 12" x 4" concrete pad.

FRAMING

	Size	Spacing	Span	Timber
Jack Studs				
Bearer Plates	<u>4 x 2</u>			
Floor Joists	<u>4 x 2</u>			
Outer Studs	<u>4 x 2</u>			
Inner Studs	<u>3 x 2</u>			
Ceiling Joists	<u>4 x 2</u>			
Bottom Plates	Size <u>4 x 2</u>			Top Plates. Size <u>4 x 2</u>
Noggins	Size <u>4 x 2</u>	<u>4' 3" x 2</u>		Number of rows of noggins <u>3</u>

N.B. (a) Minimum stud height for dwellings is eight feet.
(b) Top window trimmers must be checked 1" or otherwise supported.

ROOF

Covering BROWN - BUILT Ridges. Size Purlins. Size

Sarking. Size Under Purlins

	Size	Spacing	Span	Timber
Rafters				

MISCELLANEOUS

Flooring. Size 8.6 x 4.6 Exterior Sheathing W/BOARD

Inside Lining G.I.B. BOARD

Is any second-hand material to be used in the proposed construction? If YES, then a separate application must accompany this form.

SANITATION

Privy Type WATER CLOSET e.g. water closet, chemical pan or night soil?

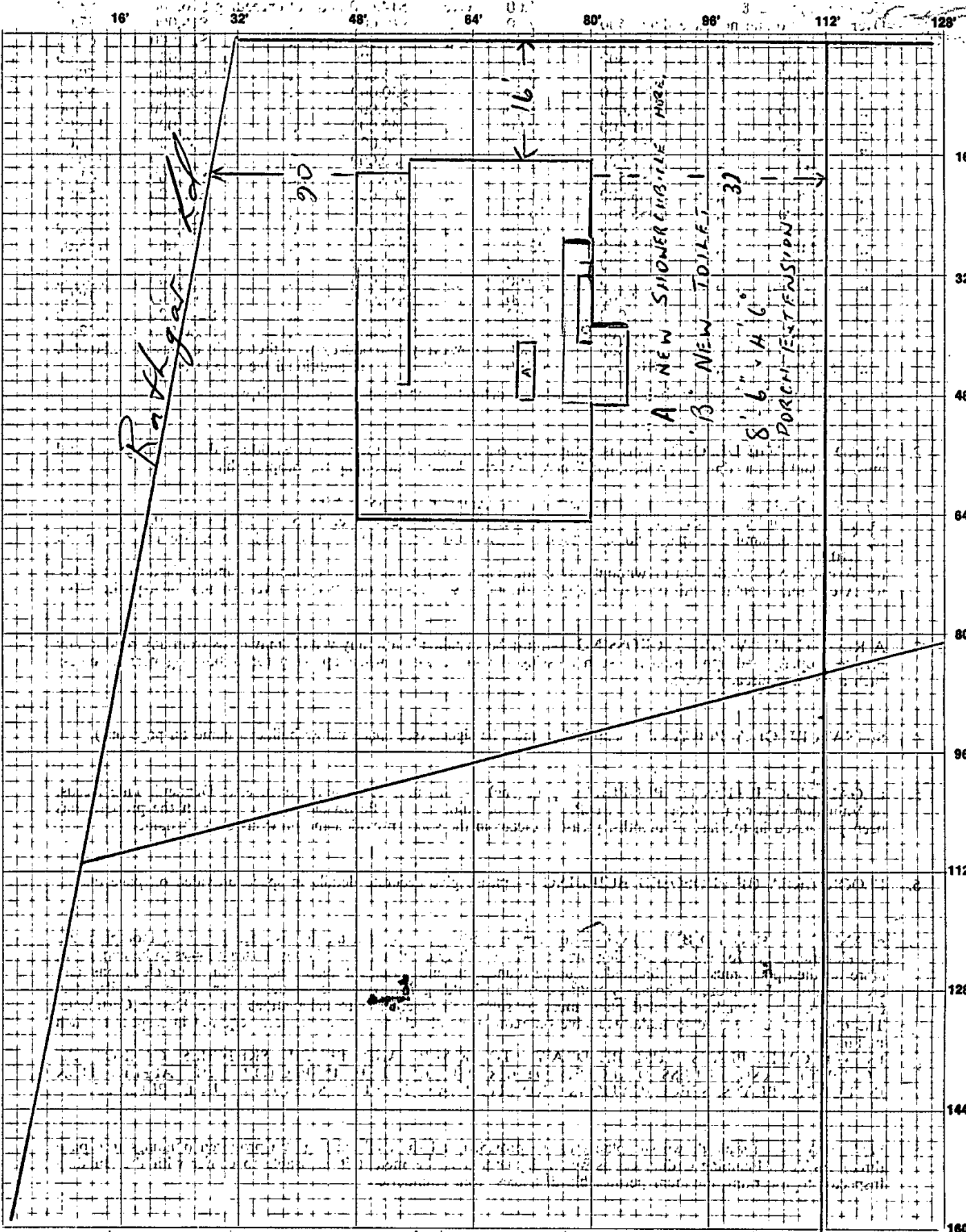
N.B. If chemical pan or night soil pan, the privy building must be at least 15' away from dwelling.

<p>LOCALITY SKETCH TO SHOW LOCATION OF BUILDING SITE</p>	<p>DRAINAGE AND PLUMBING</p> <p>All drainage and plumbing must be carried out by registered tradesmen. If it is intended to install a septic tank, now or in the future, the site must be inspected by the Health Inspector before building is commenced.</p> <p>IT IS MOST IMPORTANT that buildings should not be occupied before complete plumbing and drainage systems have been installed and officially approved.</p>
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PLEASE REFER TO INSTRUCTIONS ON PAGE FOUR.

- SITE PLAN:** (a) All existing buildings are to be shown in black ink and new buildings in red.
 (b) For residential sections the site plan must be accurately drawn to scale provided. 1/16" = 1' (i.e., one square equals two feet).
 (c) All other sections (including farms, etc.), please state scale used.

~~ROAD BOUNDARY~~



IMPORTANT: Please read the following instructions and ensure that all details are supplied.

1. **BUILDING PERMIT APPLICATION FEE.** This is payable at time of application—refer to schedule below.

Estimated Value of Building Work

		\$ c.				\$ c.	
Not exceeding \$200	.....	1.00		Over	\$14,000 and not exceeding \$16,000	.....	53.00
Over \$200 and not exceeding \$400	.....	2.00		"	\$16,000	.....	57.00
" \$400	" \$600	3.00		"	\$18,000	.....	62.00
" \$600	" \$800	4.00		"	\$20,000	.....	70.00
" \$800	" \$1,000	6.00		"	\$25,000	.....	79.00
" \$1,000	" \$1,200	7.00		"	\$30,000	.....	88.00
" \$1,200	" \$1,400	8.00		"	\$35,000	.....	97.00
" \$1,400	" \$1,600	9.00		"	\$40,000	.....	108.00
" \$1,600	" \$1,800	10.00		"	\$50,000	.....	119.00
" \$1,800	" \$2,000	11.00		"	\$60,000	.....	130.00
" \$2,000	" \$2,500	13.00		"	\$70,000	.....	141.00
" \$2,500	" \$3,000	15.00		"	\$80,000	.....	152.00
" \$3,000	" \$3,500	18.00		"	\$90,000	.....	163.00
" \$3,500	" \$4,000	20.00		"	\$100,000	.....	174.00
" \$4,000	" \$5,000	23.00		"	\$120,000	.....	185.00
" \$5,000	" \$6,000	26.00		"	\$140,000	.....	196.00
" \$6,000	" \$7,000	30.00		"	\$160,000	.....	207.00
" \$7,000	" \$8,000	33.00		"	\$180,000	.....	218.00
" \$8,000	" \$9,000	36.00		"	\$200,000	.....	231.00
" \$9,000	" \$10,000	40.00		"	\$240,000	.....	242.00
" \$10,000	" \$12,000	44.00		For every \$40,000 or part thereof in excess of \$280,000,			
" \$12,000	" \$14,000	48.00		an additional fee of \$11.00.			

In any dispute the Engineer shall have the absolute determination of the value of such work.

2. **ROAD DAMAGE DEPOSIT:** This is compulsory on all work over the value of \$1,000 at the following rates and must be paid at the time of application: Where the road frontage adjoining the property has—
- (a) No footpath, no kerb or channel, no water main. Amount of deposit: Nil.
 - (b) No footpath but one or more of the other services set out in (a) above. Amount of deposit: \$10.
 - (c) Metalled or similar footpath with or without any of the other services set out in (a) above. Amount of deposit: \$10.
 - (d) A bitumen footpath with or without any of the other services set out in (a) above. Amount of deposit: \$20.
 - (e) A concrete footpath with or without any of the other services set out in (a) above. Amount of deposit: \$40.
3. **A REGISTERED VEHICLE CROSSING** — must be installed before any vehicle may cross from any road to any private property and application for such crossing should be made when applying for a building permit, unless such a crossing already exists.
4. **SIGNATURE OF APPLICANT** — application must be signed (see space below builder's name on page one).
5. **LEGAL DESCRIPTION OF PROPERTY** (page one) — this may be obtained from Rate Demand, Title Deeds, or Valuation Advice (i.e. Lot D.P. of Allot Parish of). If the property has been purchased in the last 12 months, please indicate in the space provided the previous owner's name.
6. **FLOOR AREA OF PROPOSED BUILDING** — please give accurate details in space provided on page one.
7. **PLANS OF PROPOSED BUILDING** — for simple sheds, garages, etc., all that is necessary is a floor plan and two elevations, but for baches, dwellings and additions where conventional building construction is to be employed, more detailed plans must be submitted including foundation and basement plans, floor plan, four elevations and cross sections. For more elaborate structures, or any building involving special design for retaining walls, steel fabrication, etc., complete detailed plans must be submitted together with calculations and a Design Certificate. The office will be pleased to make available on request a full schedule of particulars required in respect to such buildings.
IN ALL CASES PLANS MUST BE DRAWN TO SCALE, AND PENCIL SKETCHES CANNOT BE ACCEPTED, AND UNLESS DIRECTED OTHERWISE BY THE INSPECTOR, THE APPLICATION INCLUDING PLANS, SPECIFICATIONS AND SITE PLANS MUST BE SUBMITTED IN DUPLICATE.
8. **SITE PLAN** — a scale drawn site plan must be provided and show all existing and proposed buildings (see page three). As Town Planning Ordinances as well as By-laws must be met, it is advisable to confer with the Building Inspector to ascertain minimum permissible distances from boundaries.
9. **LOCATION SKETCH** — please illustrate in the space provided on page two a brief locality plan showing location of the property concerned in the application.

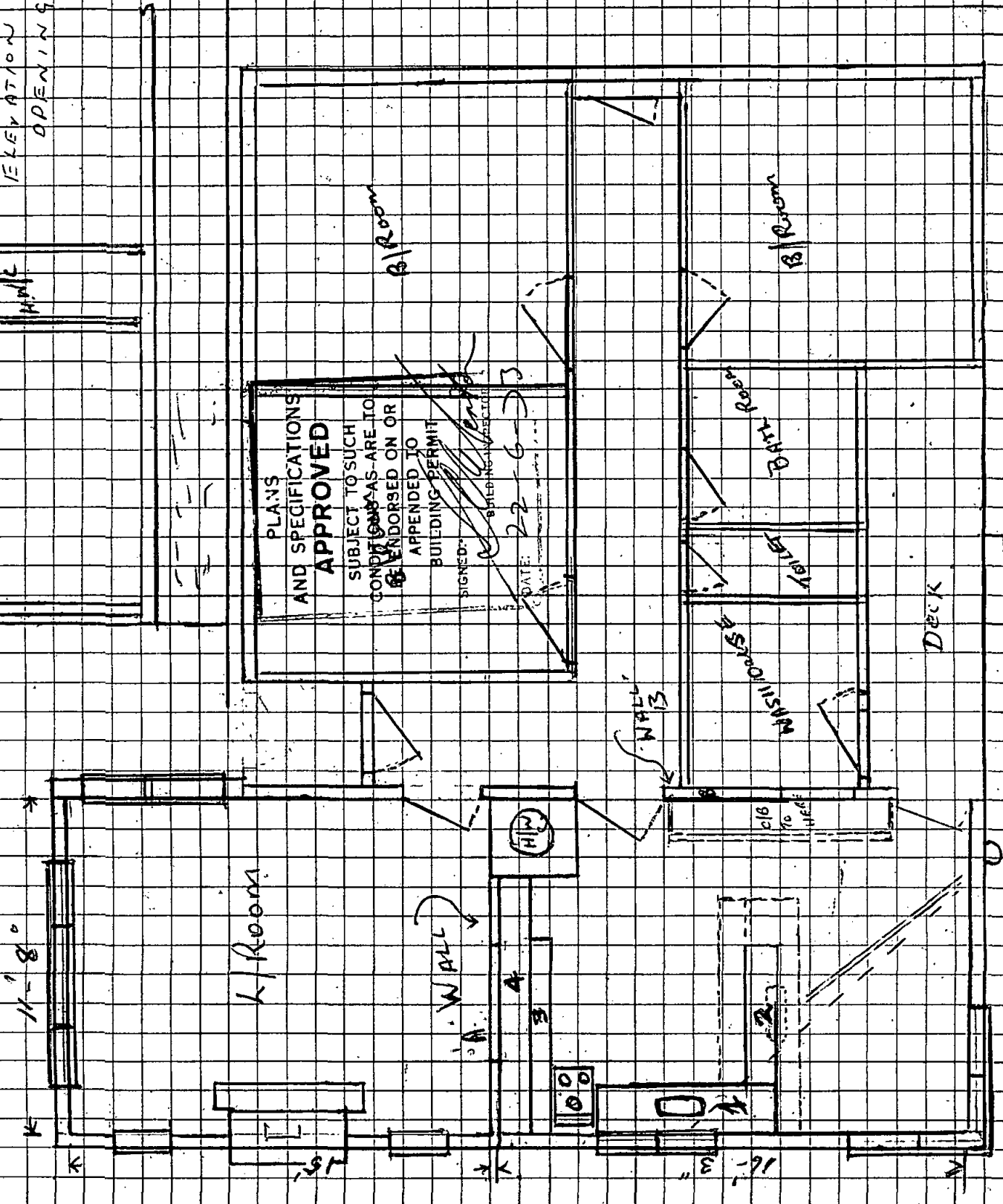
7-673

M.C. BENNETT

H. RATHGAP RD.
HENDERSON.

PROPOSED
ALTERATION.

ELEVATION OF
OPENING



SCALE 1/4" TO FOOT

ing LINCOLN

County of Waitemata

Roll No. 3303 / 2 /

23/3 9411

No 24009

BUILDING PERMIT

Date 18.7.73

Owner of Section **M.C. Bennett**
Address **4 Rathgar Rd., HENDERSON.**

This Permit is granted to the undermentioned person authorising the following building work on Lot No. **6 D.P.40011** on **4 Rathgar**, Road **Henderson** in accordance with the plans lodged and subject to the following conditions:

Nature of proposed work **Alterations to Dwelling**

F.L. Rogers Ltd

Value of work, \$**490**

Fee \$**3.00**: Rec. No. **71979 8.6.73**

For the Waitemata County Council.



FOR FURTHER CONDITIONS SEE OVER.

Duly Authorised Officer.

STANDARD INSPECTION

INSPECTOR

Inspector.

Building Inspected. Date

Final Inspection

Register Noted. Date

<p>19-2-76</p>

15.3.76

Riding **LITTLE**

County of Waitemata

No 24009

Roll No. 5303 / 27

BUILDING PERMIT

Date 18.7.73

Owner of Section **W.C. Bennett**
Address **4 Rathgar Rd,
HENDERSON.**

This Permit is granted to the undermentioned person authorising the following building work on

Lot No. **6** **D.9.40011**

on **4 Rathgar Road, Henderson**

in accordance with the plans lodged and

subject to the following conditions:

Nature of proposed work **Alterations to Dwelling**

F.L. Rogers Ltd

Value of work, \$**490**

Fee \$ **3** : **00** :

Rec. No. **71979 8.5.73**

For the Waitemata County Council.



Duly Authorised Officer.

M. C. Bennett
4 Rathgar Road
Henderson.

7.6.43

Proposed alterations at above address.

Carpenters. Remove wall "A" on plan.
Place 4x2 Beam under ceiling
and box in. Also Box in Beam
supports at each wall end.
Existing cupboards "4" at wall "A"
to be relocated on wall "B".
Also position kitchen dresser "2"
under cupboards on wall "B".
Existing Sink Bench unit "1" to
be moved to position shown
by Red dotted lines on
plan to form Island Unit
dividing kitchen from dining
& living room. 3" Sub wall
framing to be built up to
front of Sink to support
plumbing & to which new
Cabinets will be fitted on
dining side. Replace
all Formica tops as arranged
by owner. Remove Dresser No 3.
Estimate \$395/-

Electrician

Change Stove Switch to new position on ~~west~~ ^{North} wall. Relocate existing Power Point from Wall A to West Wall under window 12" from floor. Install new Power Point on South Wall above dresser & below existing light switch at back door.

Estimate \$ 50.00

Plumber

Relocate Hot & Cold water connections to new position Island Sink. Shorten Waste pipe to line up with sink.

Estimate \$ 45.00

TOTAL APPROX ESTIMATE \$ 490.

APPLICATION NO. 23 / 3
DISTRICT OFFICE NO. 9411

PERMIT NO. 24009
DATE ISSUED 18.7.73

LODGED AT DISTRICT OFFICE
DATE 17 JUN 1973

DISTRICT TE ATATU D. O.

HEAD OFFICE DATE STAMP
RECEIVED
8 JUN 1973
WAITEMATA COUNTY COUNCIL
(CONSTRUCTION DEPT.)

WAITEMATA COUNTY COUNCIL
68 GREYS AVENUE (P.O. BOX 5440), AUCKLAND. PHONE 33-419.

BUILDING PERMIT APPLICATION

OWNER OF SECTION NAME BENNETT M C PHONE NO. 540009
(BLOCK CAPITALS)

PRESENT POSTAL ADDRESS 4 Rathgar Rd HENDERSON

BUILDER: NAME F. Rogers Ltd PHONE NO. 262 262

POSTAL ADDRESS PLEASE POST PERMIT TO MC BENNETT AT RATHGAR RD
(Permit will be posted to builder unless otherwise requested)

SIGNATURE OF APPLICANT: M C Bennett

NATURE OF PROPOSED BUILDING WORK
Remove DIVIDING INTERIOR WALL RE LOCATE SINK ALTERATIONS BENCH WALL CUPBOARDS

FLOOR AREA OF PROPOSED WORK
Basement: _____
Ground Floor: 192 N/A
First Floor: _____
Others: _____
Total: _____

VALUE OF WORK \$ 1190 FEE \$ 3-00

FULL LEGAL DESCRIPTION OF SECTION (as appears on either rate demand or title deeds)
LOT 6 DP 40011

VALUATION ROLL NO. 1809/13
3303 / 21

NAME OF PREVIOUS OWNER OF SECTION J. Thompson

AREA OF SECTION 32 PERCHES Acre(s) FRONTAGE _____ Feet

ROAD NAME 4 Rathgar Road LOCALITY HENDERSON

IMPORTANT — SEE INSTRUCTIONS ON PAGE FOUR

BUILDING RESEARCH ACT 1969
Levy on Buildings Valued at \$3,000 or over

Amount of Levy _____
Receipt No. _____
Date _____

FOR OFFICE USE ONLY
REMARKS: crossing existing ground level

Permit Issued Subject to the Following Conditions

Approved by [Signature] Building Inspector 22-3-23 Date _____
Approved by [Signature] Plumbing/Drainage Inspector 10/7/73 Date _____
Approved by _____ Health Inspector _____ Date _____
Town Planning Zoning Res A Town Planning Officer [Signature] Date 13/7/73
Building Permit Fee \$ 3-00 Receipt No. 21979 Date 8/6/73
Road Damage Deposit Fee \$ _____ Receipt No. _____ Date _____
Road Damage Deposit Refund \$ _____ To _____ Date _____
Cost of Vehicular Crossing \$ Existing Date _____

Electricity Transmission Lines: Present/Not Present over property* Location of ARA or NSDB Trunk Sewers Checked — Release [Signature]

*Delete not applicable. Initials [Signature] Date 10/7/73

PLEASE REFER TO INSTRUCTIONS ON PAGE FOUR

SPECIFICATION TO BE COMPLETED BELOW FOR MINOR BUILDINGS ONLY

(Full specifications are required for all other work)

FOUNDATIONS

If solid concrete. Size of footings Walls Reinforcing

If concrete blocks. Size Spacing

N.B. All blocks must be at least 12" in to ground and set on a 12" x 12" x 4" concrete pad.

FRAMING

	Size	Spacing	Span	Timber
Jack Studs	.....	.....	.....	.....
Bearer Plates	.....	.....	.....	.....
Floor Joists	.....	.....	.....	.....
Outer Studs	.....	.....	.....	.....
Inner Studs	.....	.....	.....	.....
Ceiling Joists	.....	.....	.....	.....
Bottom Plates	Size			Top Plates. Size
Noggins	Size		Number of rows of noggins	



N.B. (a) Minimum stud height for dwellings is eight feet.
(b) Top window trimmers must be checked 1/2" or otherwise supported.

ROOF

Covering	Ridges. Size	Purlins. Size		
	Sarking. Size	Under Purlins		
	Size	Spacing	Span	Timber
Rafters

MISCELLANEOUS

Flooring. Size Exterior Sheathing

Inside Lining

Is any second-hand material to be used in the proposed construction? If YES, then a separate application must accompany this form.

SANITATION

Privy Type e.g. water closet, chemical pan or night soil?

N.B. If chemical pan or night soil pan, the privy building must be at least 15' away from dwelling.

LOCALITY SKETCH TO SHOW LOCATION OF BUILDING SITE

DRAINAGE AND PLUMBING

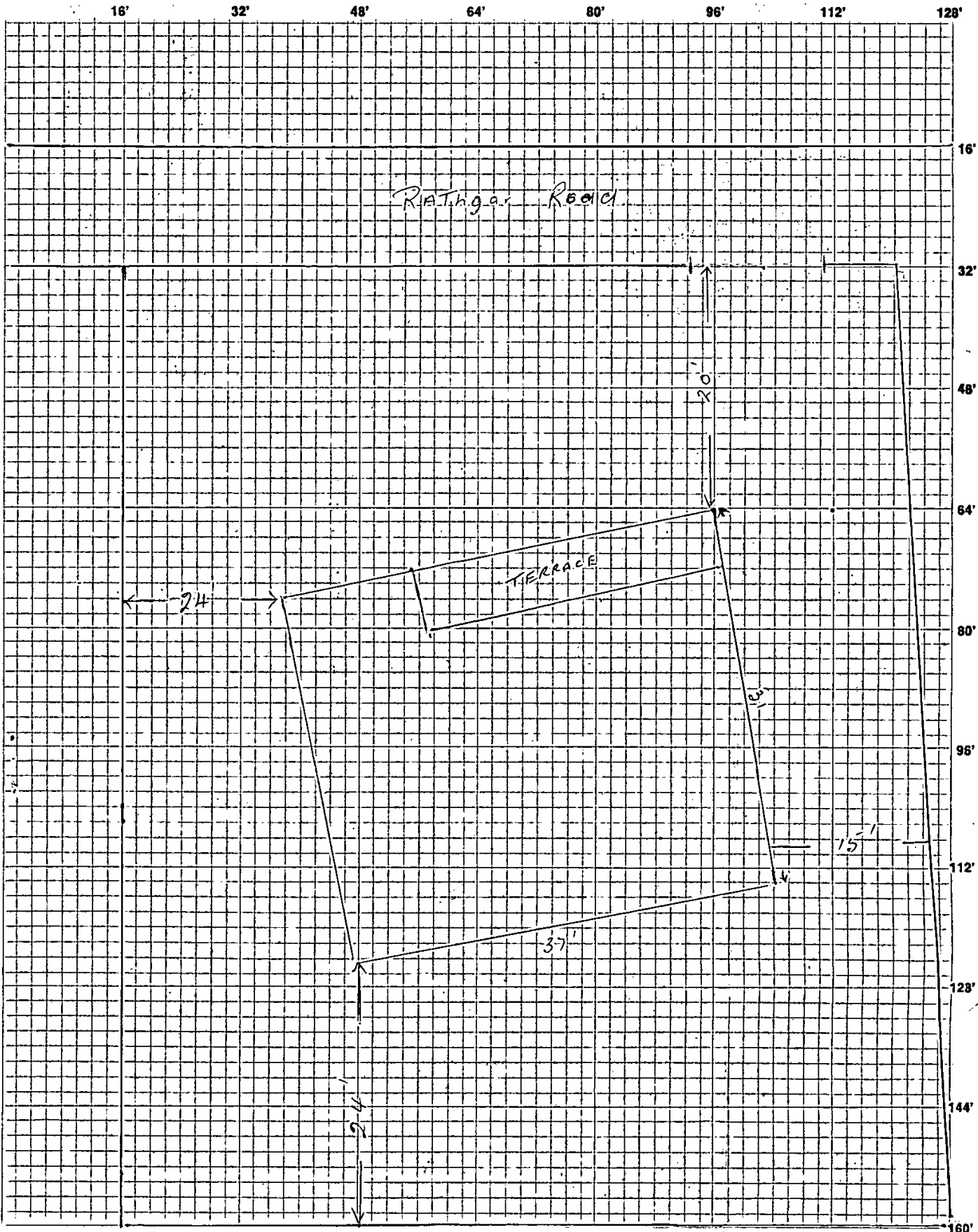
All drainage and plumbing must be carried out by registered tradesmen. If it is intended to install a septic tank, now or in the future, the site must be inspected by the Health Inspector before building is commenced.

IT IS MOST IMPORTANT that buildings should not be occupied before complete plumbing and drainage systems have been installed and officially approved.

PLEASE REFER TO INSTRUCTIONS ON PAGE FOUR

- SITE PLAN:** (a) All existing buildings are to be shown in black ink and new buildings in red.
(b) For residential sections the site plan must be accurately drawn to scale provided. 1/16" = 1' (i.e., one square equals two feet).
(c) All other sections (including farms, etc.), please state scale used.

ROAD BOUNDARY



IMPORTANT: Please read the following instructions and ensure that all details are supplied.

1. **BUILDING PERMIT APPLICATION FEE.** This is payable at time of application—refer to schedule below.

		Estimated Value of Building Work				
		\$ c.				
Not exceeding \$200	1.00	Over	\$14,000 and not exceeding \$16,000	.....	53.00
Over \$200 and not exceeding \$400	2.00	„	\$16,000	.....	57.00
„ \$400	3.00	„	\$18,000	.....	62.00
„ \$600	4.00	„	\$20,000	.....	70.00
„ \$800	6.00	„	\$25,000	.....	79.00
„ \$1,000	7.00	„	\$30,000	.....	88.00
„ \$1,200	8.00	„	\$35,000	.....	97.00
„ \$1,400	9.00	„	\$40,000	.....	108.00
„ \$1,600	10.00	„	\$50,000	.....	119.00
„ \$1,800	11.00	„	\$60,000	.....	130.00
„ \$2,000	13.00	„	\$70,000	.....	141.00
„ \$2,500	15.00	„	\$80,000	.....	152.00
„ \$3,000	18.00	„	\$90,000	.....	163.00
„ \$3,500	20.00	„	\$100,000	.....	174.00
„ \$4,000	23.00	„	\$120,000	.....	185.00
„ \$5,000	26.00	„	\$140,000	.....	196.00
„ \$6,000	30.00	„	\$160,000	.....	207.00
„ \$7,000	33.00	„	\$180,000	.....	218.00
„ \$8,000	36.00	„	\$200,000	.....	231.00
„ \$9,000	40.00	„	\$240,000	.....	242.00
„ \$10,000	44.00	For every \$40,000 or part thereof in excess of \$280,000,			
„ \$12,000	48.00	an additional fee of \$11.00.			

In any dispute the Engineer shall have the absolute determination of the value of such work.

2. **ROAD DAMAGE DEPOSIT:** This is compulsory on all work over the value of \$1,000 at the following rates and must be paid at the time of application: Where the road frontage adjoining the property has—

- (a) No-footpath, no kerb or channel, no water main. Amount of deposit: Nil.
- (b) No footpath but one or more of the other services set out in (a) above. Amount of deposit: \$10.
- (c) Metalled or similar footpath with or without any of the other services set out in (a) above. Amount of deposit: \$10.
- (d) A bitumen footpath with or without any of the other services set out in (a) above. Amount of deposit: \$20.
- (e) A concrete footpath with or without any of the other services set out in (a) above. Amount of deposit: \$40.

3. **A REGISTERED VEHICLE CROSSING** — must be installed before any vehicle may cross from any road to any private property and application for such crossing should be made when applying for a building permit, unless such a crossing already exists.

4. **SIGNATURE OF APPLICANT** — application must be signed (see space below builder's name on page one).

5. **LEGAL DESCRIPTION OF PROPERTY** (page one) — this may be obtained from Rate Demand, Title Deeds, or Valuation Advice (i.e. Lot D.P. of Allot Parish of). If the property has been purchased in the last 12 months, please indicate in the space provided the previous owner's name.

6. **FLOOR AREA OF PROPOSED BUILDING** — please give accurate details in space provided on page one.

7. **PLANS OF PROPOSED BUILDING** — for simple sheds, garages, etc., all that is necessary is a floor plan and two elevations, but for baches, dwellings and additions where conventional building construction is to be employed, more detailed plans must be submitted including foundation and basement plans, floor plan, four elevations and cross sections. For more elaborate structures, or any building involving special design for retaining walls, steel fabrication, etc., complete detailed plans must be submitted together with calculations and a Design Certificate. The office will be pleased to make available on request a full schedule of particulars required in respect to such buildings.

IN ALL CASES PLANS MUST BE DRAWN TO SCALE, AND PENCIL SKETCHES CANNOT BE ACCEPTED, AND UNLESS DIRECTED OTHERWISE BY THE INSPECTOR THE APPLICATION INCLUDING PLANS, SPECIFICATIONS AND SITE PLANS MUST BE SUBMITTED IN DUPLICATE.

8. **SITE PLAN** — a scale drawn site plan must be provided and show all existing and proposed buildings (see page three). As Town Planning Ordinances as well as By-laws must be met, it is advisable to confer with the Building Inspector to ascertain minimum permissible distances from boundaries.

9. **LOCATION SKETCH** — please illustrate in the space provided on page two a brief locality plan showing location of the property concerned in the application.

COPY

CODE COMPLIANCE CERTIFICATE NO: ABA 99002044

Section 43(3), Building Act 1991

ISSUED BY: WAITAKERE CITY COUNCIL

BUILDING CONSENT NO: ABA 99002044

(Insert a cross in each applicable box. Attach relevant documents).

PROJECT	PROJECT LOCATION
<p>All <input checked="" type="checkbox"/></p> <p>Intended Use(s) in detail:</p> <p>Unknown</p> <p>Proposed Work:</p> <p>heater installation</p> <p>Intended Life:</p> <p>15 Years</p>	<p>Name: BIRKS, MARK KENNETH</p> <p>Street Address: 4 RATHGAR RD, HENDERSON, WAITAKERE CITY 1008</p> <p>Mailing Address: C/- POOL PATIO & HEARTH LTD P O BOX 15856 NEW LYNN WAITAKERE CITY 1232</p> <hr/> <p style="text-align: center;">LEGAL DESCRIPTION</p> <p>Property Number: 28138</p> <p>Valuation Roll No: 33030 00200</p> <p>Legal Description: LOT 6 DP 40011</p>

This is:

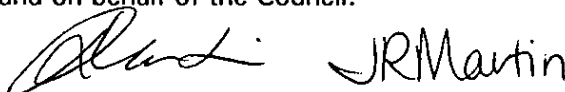
A final code compliance issued in respect of all of the building work under the above building consent.

An interim code compliance certificate in respect of part only, as specified in the attached particulars, of the building work under the above consent.

This certificate is issued subject to the conditions specified in the attached ...page(s) headed "Scope and Conditions of Code Compliance Certificate No. ABA 99002044 (being this certificate)

Signed for and on behalf of the Council:

Name:



Position: ~~Building/Plumbing and Drainage Surveyor~~

Date: 06/05/1999



.....
(Territorial Authority)

BUILDING CONSENT NO:
BUILDINGREGULATIONCLAUSE

PRODUCER STATEMENT - CONSTRUCTION

ISSUED BY: DENNIS JUDD.....
(N.Z. Home Heating Assoc. Certified Installer)

Installer No: 1008.....

TO: DEBBIE BIRKS.....
(Owner)

IN RESPECT OF: Installation of Solid Fuel Heater

AT: 4 RATHGAR RD.....
HENDERSON.....
(Address)

LOT: 6..... DP: 40011..... SO: 33030-00200.....

DENNIS JUDD..... has contracted to DEBBIE BIRKS.....
(Certified Installer) (Owner/Developer)

to perform the above work as described.

I DENNIS JUDD..... Certified Installer No. 1008..... have
sighted Building Consent No. FBA 99002044..... and believe on reasonable
grounds that the solid fuel heating appliance installation has been installed as per the above
Building Consent and the Heater Manufacturers Instructions.

SIGNATURE OF CERTIFIED INSTALLER: 

DATE:

EMPLOYMENT STATUS

(Complete as Applicable)

SELF EMPLOYED

EMPLOYEE

Address:

Employer Name:

Ph No:

Address:

COOL PAHO & HEARTH LTD
P.O. BOX 15-850
Ph No: 2 ASTLEY AVE., NEW LYNN
PH: 826 0738/826 0748

Chief Executive	
Corporate Services	
Community Devel.	
Regulatory	<input checked="" type="checkbox"/>
Strategy & Dev.	
Human Resources	
City Infrastructure	
Main Office	

ADVICE of COMPLETION OF BUILDING WORK

Section 43(1), Building Act 1991

WAITAKERE CITY COUNCIL

TO WAITAKERE CITY COUNCIL

- 4 MAY 1999

Under building consent no : 99002044

(Insert a cross in each applicable box. Attach relevant documents.)

From (Applicant):

401471

Name: BIRKS, MARK KENNETH

Mailing Address: C/- POOL PATIO & HEARTH LTD
P O BOX 15856
NEW LYNN
WAITAKERE CITY

You are hereby advised that:

All

Part only as specified in the attached particulars

of the building work under the above building consent is believed to have been completed to the extent required by that building consent .

You are requested to issue

A final

An interim

code compliance certificate accordingly (except where a code compliance certificate has been issued by a building certifier as stated below).

The attached particulars include:

Building certificates

Code compliance certificate issued by a building certifier.

Producer Statements

Signed by/for and on behalf of the owner:

Name: *Rob Lorratta Surtees*

Position: *Clerk, Pool Patio & Hearth*


Date: *2*

BUILDING CONSENT NO: ABA 99002044

Section 35, Building Act 1991

ISSUED BY: WAITAKERE CITY COUNCIL

(Insert a cross in each applicable box. Attach relevant documents).

APPLICANT	PROJECT
Name: BIRKS, MARK KENNETH Mailing Address: C/- POOL PATIO & HEARTH LTD P O BOX 15856 NEW LYNN WAITAKERE CITY	All <input checked="" type="checkbox"/> Proposed Work : heater installation
PROJECT LOCATION	
Street Address: 4 RATHGAR RD, HENDERSON, WAITAKERE CITY 1008	Intended Use(s) in detail: Unknown
LEGAL DESCRIPTION	
Property Number: 28138 Valuation Roll No: 33030 00200 Legal Description: LOT 6 DP 40011	Intended Life: 15 Years Estimated Value: \$1774
	Signed for and on behalf of the Council:  Name: M. JESSON Position: Clerk - Building Consents Date: 27/04/1999

This building consent is a consent under the Building Act 1991 to undertake building work in accordance with the attached plans and specifications so as to comply with the provisions of the building code. It does not affect any duty or responsibility under any other Act nor permit any breach of any other Act.

This building consent is issued subject to the conditions specified in the attached / pages headed "Conditions of Building Consent No "

99002044

CONDITIONS OF BUILDING CONSENT ABA 99002044

The above Building Consent has been approved today subject to the following conditions:-

1. Subject to compliance with the maximum building height and the height in relation to boundary controls contained in the Waitakere City District plan. (If you have any concern above this you should apply separately for a planning clearance).
2. Installation to comply with NZS 7421 and the manufacturer's installation instructions.
3. Seismic restraints must be provided.
4. A Producer Statement from the installer is to be forwarded to Council on completion of the installation.

PLEASE NOTE:

If second-hand parts or material are to be incorporated into this installation they should be checked to determine soundness by a suitably qualified person prior to installation.

The inspection carried out after installation in terms of the building consent only covers the installation of the unit to ensure that the installation is in accordance with the manufacturer's installation instructions.


POOL, PATIO & HEARTH
 AUCKLAND'S SPECIALIST LIFESTYLE CENTRE

Please supply a BUILDING CONSENT for the installation of

a ~~FREESTANDING~~ **INBUILT** SOLID FUEL / GAS FIRE

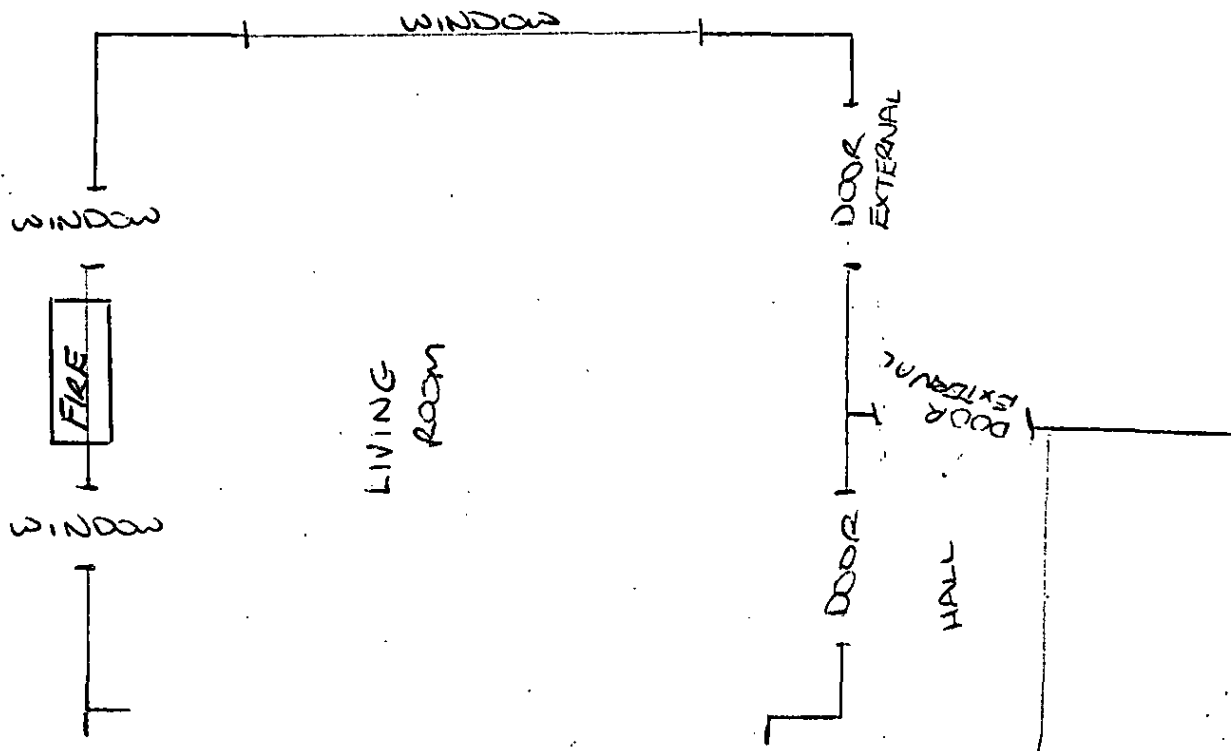
Name : MARK & DEBBIE BIRKS
 Address : 4 RATHGAR ROAD HENDERSON
 Telephone : 8387119
 Installer : _____ Cert. Install. No : _____



Information from rates demand:

Lot No: 6 DP No: 40011 Valuation No: 33030-00200

Location of fire in dwelling please sketch



Authorised Dealership

PLANS AND SPECIFICATIONS
 APPROVED
 SUBJECT TO CONDITIONS ENDORSED
 ON BUILDING CONSENT.

SIGNED: MS DATE: 27.4.99
 BUILDING CONTROL OFFICER

2 Astley Ave (Portage Road Roundabout)
 P.O. Box 15-856, New Lynn, Auckland 7
 Telephone 826-0738, 826-0748

4 RATHGAR RD

APPLICATION FOR BUILDING CONSENT
SOLID FUEL HEATERS

WAITAKERE CITY COUNCIL

26 APR 1999

WAITAKERE
CITY
COUNCIL

PRIVATE BAG 93109 HENDERSON
WAITAKERE CITY
PH 836-8000

(Attach all relevant documents in duplicate)

APPLICATION NUMBER 99002044

OWNER	CONTACT (if not owner)
Name: <u>DEBBIE BIRKS</u>	Contact Name/Company: <u>LORRETTA SURTEES</u>
Postal Address: <u>1-</u>	Postal Address: _____
Phone Number: <u>POOL PATIO & HEARTH LTD. P.O. BOX 15 810 2 ASTLEY AVE, NEW LYNN PH: 826 0738/826 0748</u>	Phone Number: <u>POOL PATIO & HEARTH LTD. P.O. BOX 15 810 2 ASTLEY AVE, NEW LYNN PH: 826 0738/826 0748</u>
Fax Number: _____	Fax Number: _____

PROJECT LOCATION

Number: 4 Street: RATHGAR RD

Locality: HENDERSON

LEGAL DESCRIPTION

Valuation Number: 33030 - 00200

Lot: 6 DP: L0011

CHEQUE FOR \$ 55.00 TO CASHIERS

PROJECT

Proposed Work: INSTALL DS HEATER TO EXISTING FIREPLACE

Estimated Value: \$ 1776.00 (GST Incl)

Intended Life: Indefinite but not less than 50 years or specified as 10+ Years.

Do high-tension electricity transmission lines cross the property? Yes No

Will a wet-back be installed? Yes No

Chief executive	
Corporate Services	
Community Devel.	
Regulatory	
Strategy & Dev.	
Human Resources	
City Infrastructure	
Major Issues	
BCA	<input checked="" type="checkbox"/>

The information collected in this form is required under provisions of the Building Act 1991 to process this application for Building Consent.

This information forms part of the Council's records relating to the property and will be held for at least the life of the building to which it relates. The information is freely available upon request to any person who so wishes to inspect Council's record except for those plans marked confidential pursuant to S.27 of the Building Act 1991.

Personal information relating to the applicant/owner, the project and the property contained in this form will be used as part of statistical information produced by Council which is provided to Valuation NZ and Statistics New Zealand and is also available, for a fee, to any person upon request from the Council.

Signed by Loretta Surtees for and on behalf of owner:

Position Clerk Pool Patio & Hearth Date: 23/4/99

NOTES

Application for Building Consent:

This application form can be used to apply for a building consent to install a solid fuel heater, a wood/coal burning range, or a domestic 'chip' heater. All applicable parts of the form should be completed.

Supporting Documentation:

With your application it will be necessary to provide (in duplicate) the manufacturer's installation instructions and a floor plan or plan of the room showing the position of the proposed appliance.

Wet-back Installation:

If it is intended to connect the appliance to the hot water system it will be necessary to show on the above plan the position of the hot water cylinder and the position of the pipes between the cylinder and the wet-back.

Solid Brick Screens/Feature Walls:

If solid brick screens or feature walls are proposed that exceed 1.2 metres in height a report will be required from a registered engineer proving that the floor will support the weight of the screen/wall. The report and any upgrading measures that may be necessary should accompany your application for building consent.

High-Tension Electricity Transmission Lines:

If high-tension electricity transmission lines cross your property in the vicinity of your building, proof will be required from the line owner that the flue complies with the conductor clearances prescribed in the New Zealand Electrical Code of Practice. This approval will need to be included with your application for building consent.

Note: The above requirement does not refer to the power lines that are on the street frontage or the domestic supply from the street to the house

Inspection fee:

An inspection fee is not applicable if a producer statement is provided by an approved installer.

Further Help:

Should you have any queries about making your application for a building consent please contact our Customer Services Staff on 836-8080.

OFFICE USE ONLY	
CHARGES	CATEGORY 1
The Council's charges payable on the making of this application are:	Plan Processing Fee: B1
\$ Receipt No:	Code Compliance Certificate: B8
Date:	Inspection Fee: B1

This application will not be processed until the Application Fee is paid	TOTAL

NEW ZEALAND HOME HEATING ASSOCIATION

NEW ZEALAND HOME HEATING ASSOCIATION

INSTALLERS' CERTIFICATE



INCORPORATED

NEW ZEALAND HOME HEATING ASSOCIATION (INC)

SOLID FUEL INSTALLERS' CERTIFICATE

This is to certify that

DENNIS JUDD

OF

D. J. INSTALLATIONS

has passed the examinations of the New Zealand Home Heating Association in Solid Fuel Safety Technician's Certification Programme conducted in the year 1996 and has qualified for a three year period as a Registered Installer of Solid Fuel Heating Appliances.

Dated : 9 MAY 1996

President

Installer's No. 1008

Secretary

All Metro woodfires are tested to NZS 7421:1990 with full specifications detailed in the installation and operation manual supplied with every Metro. As research and development is

ongoing, specifications may alter and those detailed below should be used as a guide only. Consult your local Metro retailer if in doubt.

SPECIFICATIONS

	METRO PIONEER'S & CHAMELEON	METRO X-TREME	METRO ASPIRE	METRO INSERTS	
				COMPACT	HIGH OUTPUT
Tested =*, Estimated = () PEAK OUTPUT	14.6kw *	17.7kw *	19.8kw *	(13kw)	(16kw)
WIDTH	590mm	670mm	670mm	560mm	560mm ⁽²⁾
DEPTH	530mm	575mm	575mm	410mm	500mm ⁽²⁾
HEIGHT	640mm ⁽¹⁾	690mm	715mm	550mm ⁽²⁾	550mm ⁽²⁾
FASCIA DIMENSION	N.A.	N.A.	N.A.	650 high x 810 wide	
WETBACK INLET CENTRE HEIGHT	270mm ⁽¹⁾	315mm	340mm	170mm	170mm
WETBACK RETURN CENTRE HEIGHT	460mm ⁽¹⁾	505mm	530mm	360mm	360mm
FLUE CENTRE HEIGHT (Rear O/Let)	550mm ⁽¹⁾	N.A.	N.A.	N.A.	N.A.
WARRANTY - ALL MODELS	5 YEARS ON FIREBOX, 1 YEAR OTHER PARTS				
FLUE SIZE - ALL MODELS	150mm DIAMETER, MINIMUM 3.6m LONG				
WETBACK - ALL MODELS	OPTIONAL - 3kw and 4kw WETBACK AVAILABLE				
FIREBOX - ALL MODELS	6mm STEEL, FIREBRICK/CERAMIC LINING				
BOILER	N/A	X-TREME & ASPIRE ONLY		N/A	N/A

Note (1) A reduced height pedestal is available, but an insulating hearth is required when fitted. See manual.

Note (2) These insert measurements exclude insulation supplied with and fitted to the cabinet.

CLEARANCES

		TOP FLUED PIONEER & METRO CHAMELEON	METRO PIONEER REAR OUTLET	METRO ASPIRE & METRO X-TREME
WITH PIONEER DOUBLE FLUESHIELD	REAR CLEARANCE	50mm	N/A	80mm
	SIDE CLEARANCE	300mm ⁽³⁾	N/A	240mm
	CORNER CLEARANCE	85mm	N/A	110mm
	MINIMUM HEARTH SIZE	680 Deep x 830 W	N/A	755 Deep x 910 W
WITHOUT FLUESHIELD	REAR CLEARANCE	430mm	60mm	650
	SIDE CLEARANCE	300mm	270mm	240
	CORNER CLEARANCE	280mm	100mm	250
	MINIMUM HEARTH SIZE	1,060 Deep x 830 W	690 Deep x 830 W	1,325 Deep x 910 W

Clearances specified are minimum allowable from combustible surfaces tested to NZS7421:1990.

Note (3) By fitting the optional flueshield side extension panel, min side clearances reduce to 270mm or 220mm if in an alcove not projecting forward of the Metro.

HEARTHS All Metro free standing woodfires comply with NZS 7421 when installed on an ash hearth, which must extend 200mm forward, to each side and rear of the door opening. Refer to the installation and operation manual for full specifications.

Metro inserts must be installed on an insulated base of 12mm minimum thickness. If the insert is raised above the combustible floor a 200mm ash hearth projection applies, the compact insert must be raised a minimum of 50mm and high output model 40mm. Refer to manual for full details.

1999

APPROVED
SUBJECT TO CONDITIONS ENDORSED
ON BUILDING CONSENT

SIGNED: MB DATE: 27.4.99
BUILDING CONTROL OFFICER

METRO

Pioneer Manufacturing Limited
MAMAKU STREET, PO BOX 11, INGLEWOOD
TELEPHONE 06 756 6520
FAX 06 756 6540
NEW ZEALAND

APPLICATION NO 99,2044

BUILDING CONSENT PROCESSING SHEET - HEATERS ONLY

Approved by: M. Jesson

Building Surveyor 27.4.99 Date

Approved by:

Plumbing/Drainage Surveyor Date

REMARKS.....
.....
.....
.....

BUILDING SURVEYOR'S CHECKLIST

INITIAL OR N/A

Electricity Transmission Line Clearance Received

NA

BUILDING CONSENT CONDITIONS

1. Subject to compliance with the maximum building height and the height in relation to boundary controls contained in the Waitakere City District Plan. (If you have any concern about this you should apply separately for a planning clearance).
2. Installation to comply with NZS 7421 and the manufacturer's installation instructions.
3. Seismic restraints must be provided.
4. A producer statement from the installer is to be forwarded to Council on completion of the installation.

FOR OFFICE USE ONLY

FEES PAYABLE ON APPROVAL			\$	¢
CODE	FEE DESCRIPTION	MNEMONIC		
1	Plan Processing Fee	B1	45	
2	Inspection Fee	B1		
21	Code Compliance Certificate	B8	10	
TOTAL			55	

FINAL CHECK

Initials mf

BUILDING CONSENT NO

Date 27.4.99

DATE ISSUED