

Enhancing the quality of the environment



ENVIRONMENTAL SERVICES

WANGANUI DISTRICT COUNCIL

APPLICATION for P.I.M / Building Consent

This application is for a: (tick the appropriate box)

- Project Information Memorandum - PIM (preliminary application for a Building Consent)
- Building Consent

BC 11245

Owner

Name: MAHARIV J FITZSIMMONS ⁵⁹⁴⁰¹

Mailing Address: 30 KAKAHO DRIVE
(2 ST HELENS PLACE)

Phone: 3445577

Contact Person

Name: as above

Phone:

Fax:

Project

Description of PROJECT and USE: Erect Carport (2A)

Project Location

Street Address/Rural No.: 30 Kakaho Drive

Durable Life of Project (please tick ONE box only)

- 5 Years
- 15 Years
- Indefinite but not less than 50 Years
- Other (please state):

Value of Project Work

(include all labour & materials)

\$ 4000 (Incl. G.S.T)

Fees & Key Personnel

Consent Fees to be paid by? Owner

Code Compliance Certificate to be sent to? Owner

Builder(s)

Craftsman Plumber

Registered Drainlayer

Floor Area of Project

New Residential Dwellings or New Commercial Only m²

Signed by (or on behalf of) the applicant

Signature: [Signature]

owner, builder, plumber, designer, agent
(circle appropriate one)

Date: 28/04/97

Office use only

LEGAL DESCRIPTION

WDC Property No. 23153

Valuation Roll No. 13140-778-00

Lot(s) 22 DP 79132

Section Block

Survey District

FEES APPLICABLE

Building Consent Application	\$ <u>45.00</u>
Building Consent Issue	\$ <u></u>
P.I.M	\$ <u></u>
Non-Notified Appl. Fee	\$ <u></u>
Prepaid Crossing	\$ <u></u>
Prepaid Sewer Connection	\$ <u></u>
Prepaid Water Connection	\$ <u></u>
Stormwater Connection	\$ <u></u>
Building Research Levy	\$ <u></u>
BIA Levy	\$ <u></u>
Additional Charges	\$ <u></u>

Total Fees (Incl. G.S.T) \$

Return application to:
 Technical Officer
 Environmental Services
 Wanganui District Council
 PO Box 637
 Wanganui

PTO

The information will be included in a Public Register of Consents issued which is available for public perusal under the Privacy Act 1993 section 54. This may result in receipt by the 'Owner' of trade advertising.

101 Guyton Street P.O.Box 637 Wanganui New Zealand Phone 06 345 8529 Fax 06 348 1836

● PARKING ● ANIMAL CONTROL ● PLANNING ● LIQUOR LICENSING ● BUILDING CONTROL ● ENVIRONMENTAL HEALTH

Project Details

The project involves the following:

(tick each applicable box, if any, and attach two (2) copies of any relevant information)

- (1) Location in relation to legal boundaries, and external dimensions of new, relocated or altered buildings
- (2) New provisions to be made for vehicular access and on-site parking, ie: a new crossing
- (3) Provisions to be made in building over or adjacent to any road or public place, ie: hoardings, signs
- (4) New provisions to be made for disposing of stormwater and wastewater
- (5) Precautions to be taken where building work is to take place over existing drains or sewers or in close proximity to wells or watermains
- (6) New connections to public utilities, ie: new drainage or water connections
- (7) Provisions to be made for any demolition work, ie: the protection of the public, suppression of dust, disposal of debris, disconnection from public utilities and suppression of noise
- (8) Any cultural heritage significance of the building or building site, including whether it is on a marae

Project Documents (provided with this application)

- Plans & Specifications
- (22) Producer Statements (ie: truss design, design review) - specify:
- (23) Other Documents - specify:

Inspections

- (26) By Wanganui District Council
- (27) Other - specify (ie: Design Engineer):

for office use only							
Unit	Checks				Inspections No.	Approved	
	Initials	Date	Initials	Date		Initials	Date
Administration	AM	28/4					
Planning	AM	29/4					
Building	AM	30/4				AM	5/5
Drainage							
Water							
Structural							
Plumbing/Drainage						AM	28/4
Roading							
Health							
Dangerous Goods							
Approved for issue of P.I.M./Building Consent							
District Building Controller: <i>Am</i>						Date: 06 MAY 1997	

Development Checksheet

Residential

Property Address: 30 Kakaho Drive						
Project: Carport				Site Area: 363 m²		
	Operative Plan			Proposed Plan		
Rule	Required	Provided	O.K.	Required	Provided	O.K.
Coverage	≤ 127.1 m ² .	126.32 + (6 x 2.7) = 145.52 m ²	* X	≤ 145.2 m ² .	145.52	✓
Maximum Height			/			/
9m x 9m Triangle			X			/
Front Boundary			/			✓
Side Boundary		Less than 7.5m and 3.5m high	/			✓
Side Boundary			/			✓
Rear Boundary			/			✓
Separation of Units			-			-
Outdoor Living			-			-
Storage			-			-
Parking			/			/
Access						
Dimensions/ Easements						

Comments: * Resource Consent is required. Affects are minor & there are no affected parties. ~~See~~ *See*

**RESOURCE MANAGEMENT ACT 1991
APPLICATION FOR RESOURCE CONSENT UNDER SECTION 88
(LANDUSE CONSENT / COASTAL PERMIT)**

To the Wanganui District Council.

I, Allan Fitzsimons..... apply for the resource consent(s)
described below:

1. The names and addresses of the owner and occupier (other than the applicant) of
any land to which the application relates are as follows:

NIL
.....
.....

2. The location to which this application relates is:

30 Kakaho Drive, Wanganui
.....

3. The type of resource consent(s) sought is / are:

Land Use
.....

4. A description of the activity to which the application relates is:

Erecting of a car port - Coverage \approx 35% but = 40% (Proposed plan).
.....

5. The following additional resource consents are required in relation to this proposal
and have or have not been applied for: NIL
.....
.....

6. I attach an assessment of any effects that the proposed activity may have on the
environment in accordance with the Fourth Schedule to the Act.

7. I attach other information (if any), required to be included in the application by the
district or regional plan or regulations.

8. I attach information in accordance with section 88 (7) of the Act to show the area
proposed to be reclaimed, including its size and location, and the proportion of the
area (if any) to be set apart as an esplanade reserve.

Address for service of applicant:
2 St Helens Place
.....
.....

[Signature]
.....
Signature
(of applicant or person authorised to sign on
behalf of applicant)

Telephone No.:
Facsimile No.:

2-5-97
.....
Date

Annexures:

- (a) An assessment of the effects on the environment in accordance with the Fourth Schedule to the Act;
- (b) Any other information required by the district plan or regional plan or Act or regulations to be included;
- (c) Other information in accordance with section 88 (7) of the Act.

NON-NOTIFIED LAND USE CONSENT
FOR A NON-COMPLYING/DISCRETIONARY ACTIVITY

503

Mr Allan Fitzsimons
30 Kakaho Drive

Pursuant to Sections 94(2), 104 and 105(1)(b) of the Resource Management Act 1991 the Wanganui District Council grants to Mr Allan Fitzsimons Resource Consent as listed in the schedule hereto and in accordance with the plans attached on the property described as 30 Kakaho Drive being Lot 22, DP 79132

SCHEDULE

REQUIREMENT

Rule:

3.2.2
A.2

CONSENT

To erect a car port
which will increase the
site coverage above
the 35%.

SUBJECT TO THE FOLLOWING CONDITION/S:

That the carport is not to be closed in.

CONSENT IS GRANTED ON THE GROUNDS THAT:

- The effects will be minor
- There are no affected parties.

APPROVED ON THE 30 April 1997

[Signature]
PP. PLANNING MANAGER



30 APR 97

MR A J FITZSIMONS
2 ST HELENS PL
WANGANUI
5001

Dear Sir or Madam

RE : 30 KAKAHO DR
ERECT CARPORT AGAINST RESIDENCE.

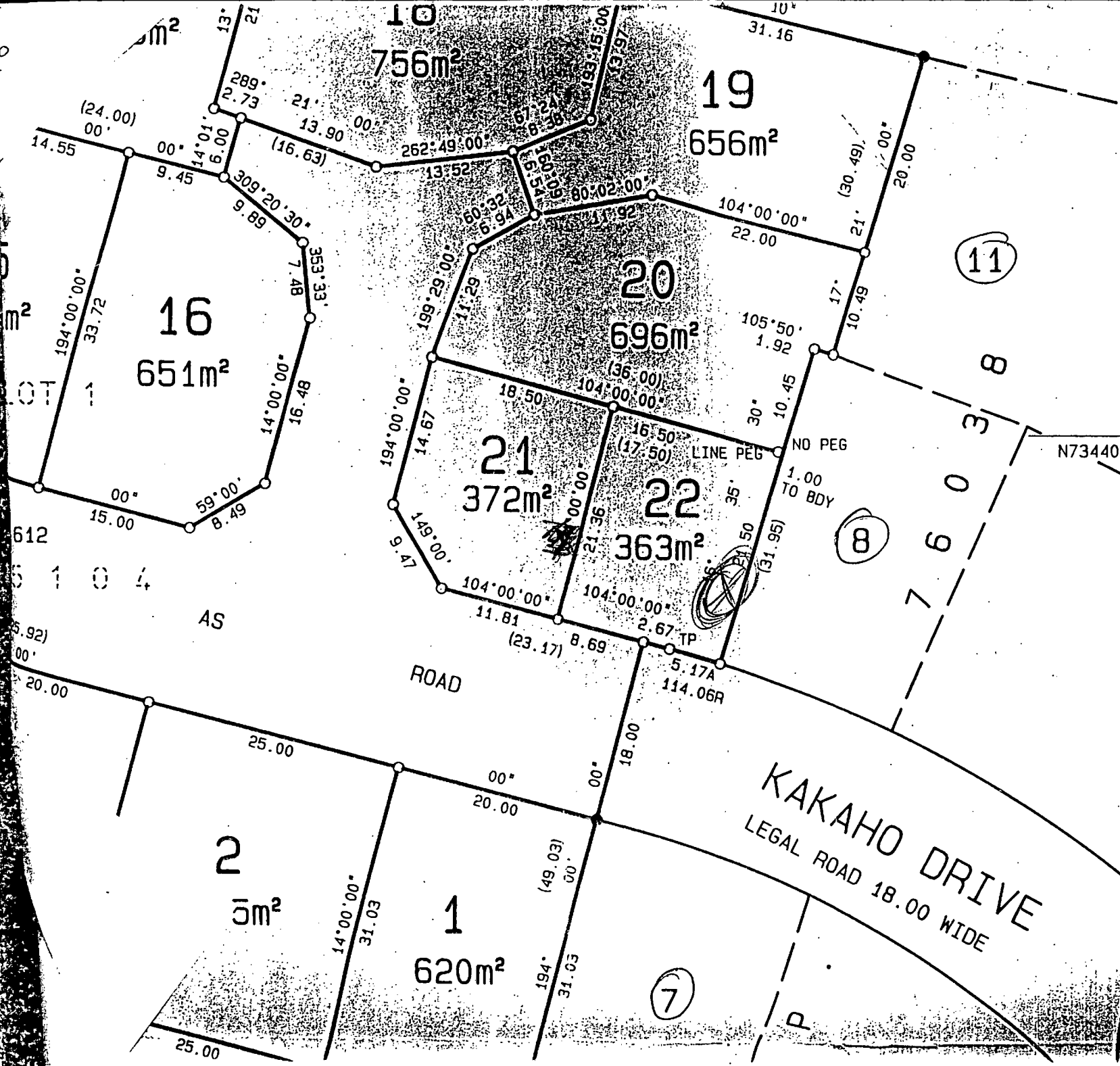
I acknowledge receipt of your building application for the above work. A perusal of the plans and specifications raises the following comments.

- Please note on the plans, that 75mm is to remain of the 100x100 posts cut outs, for the 200x50 beam. (AV)
- Please note on the plans, that the 75x50mm purlins will be on edge. (AV)

Receipt of your advice regarding the above comments will enable your application to be further considered. Please quote project number 11245.

Yours faithfully

Technical Officer



NOTE:
LOT 23 TO VEST IN THE WA

NEW CERTIFICATE OF

LOT 1 CT:	LC
LOT 2 CT:	LC
LOT 3 CT:	LC
LOT 4 CT:	LC
LOT 5 CT:	LC
LOT 6 CT:	LC
LOT 7 CT:	LC
LOT 8 CT:	LC
LOT 9 CT:	LC
LOT 10 CT:	LC
LOT 11 CT:	LC

Total Area 1.7935 Ha

Comprised in ... C.T. 42C/6

PETER ALLAN TONG
I,
Registered Surveyor and holder of an
who may act as a registered surveyor
Survey Act 1996) hereby certify that
surveys executed by me or under my
survey are correct and have been made
Regulations 1972 or any regulations in
Dated at WANGANUI this 24
of June 1994

WANGANUI DISTRICT COUNCIL

Footpaths and Crossing Inspection:

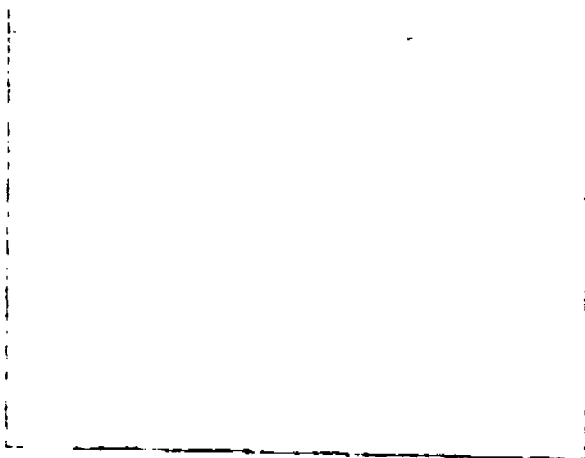
STREET NAME: KAKAMO DRIVE

STREET NUMBER: 30

DATE: 16 11 94

FOOTPATH TYPE: _____ 16.11.94

CROSSING TYPE: _____



FOOTPATH	4m	3m
	Recently Broken	

ROAD

DAMAGE: 4m of footpath is in at a point 2m in from RAB boundary this break is recent + is in close proximity to

REMARKS/PRICE: Quote Please Re propose via New King @ \$585

➔ G. DYHRBERG

WANGANUI DISTRICT COUNCIL

Footpaths and Crossing Inspection:

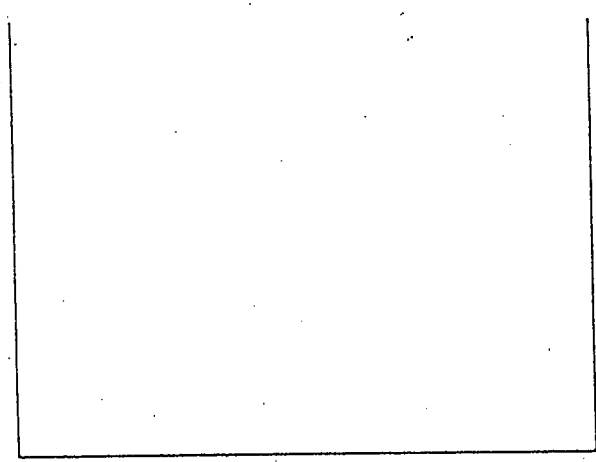
STREET NAME: KAKAHO DRIVE

STREET NUMBER: 30

DATE: 16 11 94

FOOTPATH TYPE: _____

CROSSING TYPE: _____



FOOTPATH _____

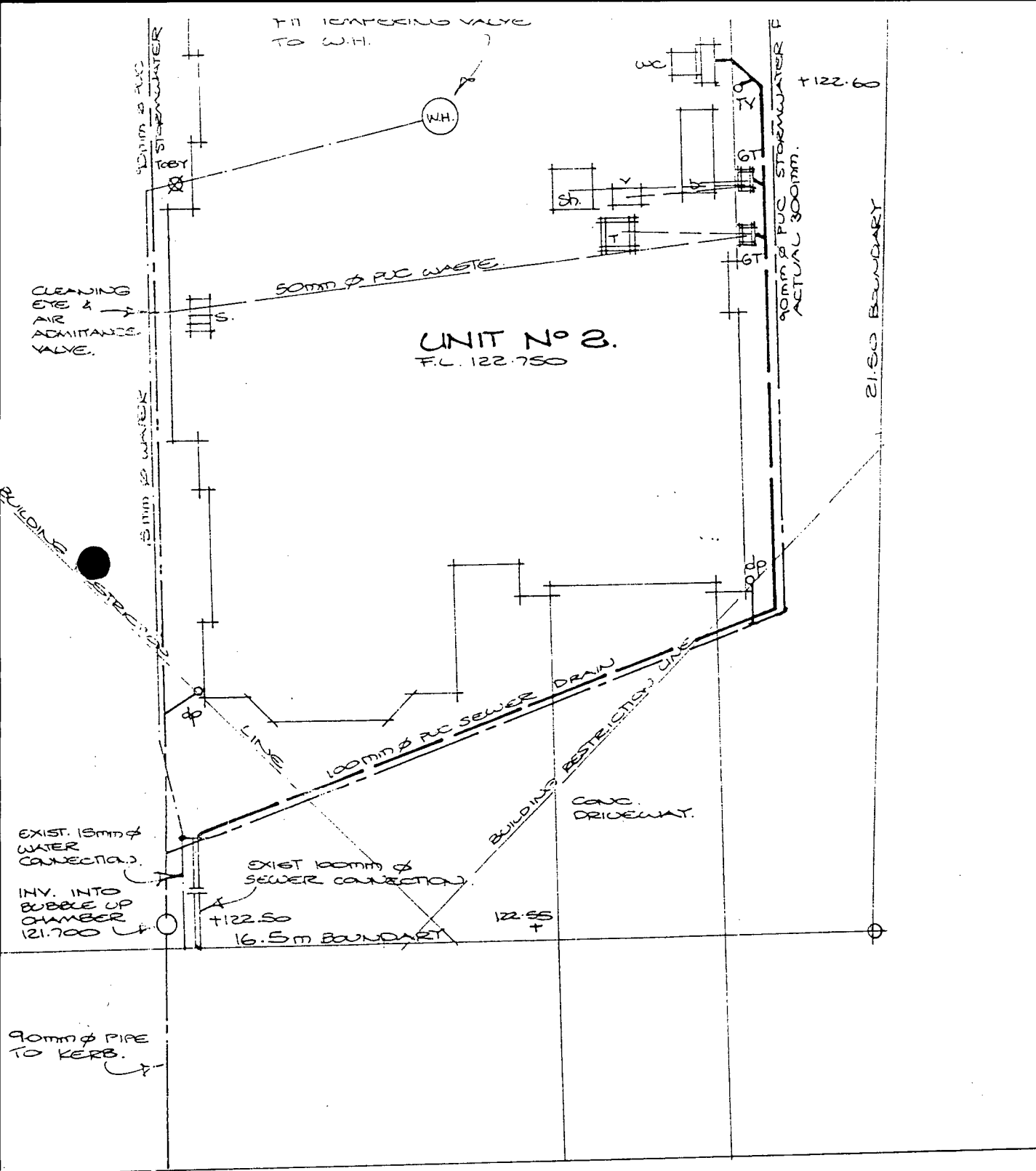
KERB _____

ROAD

DAMAGE: _____

QUOTE PLEASE

REMARKS/PRICE: _____



UNIT No 2.
F.L. 122.750

30 KAKATO DRIVE

7 JUNE 1994

Sheet No. 7

Enhancing the quality of the environment



ENVIRONMENTAL
SERVICES
WANGANUI DISTRICT COUNCIL

30 APR 97

MR A J FITZSIMONS
2 ST HELENS PL
WANGANUI
5001

Dear Sir or Madam

RE : 30 KAKAHO DR
ERECT CARPORT AGAINST RESIDENCE.

I acknowledge receipt of your building application for the above work. A perusal of the plans and specifications raises the following comments.

- Please note on the plans, that 75mm is to remain of the 100x100 posts cut outs, for the 200x50 beam. (AV)
- Please note on the plans, that the 75x50mm purlins will be on edge. (AV)

Receipt of your advice regarding the above comments will enable your application to be further considered. Please quote project number 11245.

Yours faithfully

Technical Officer

PROPOSED NEW CARPORT
FOR MR & MRS A FITZSIMONS
30 KAKAHO DRIVE
WANGANUI

SPECIFICATION & DRAWINGS

SPECIFICATION FOR MR. & MRS A FITZSIMONS

30 KAKAHO DRIVE, WANGANUI

DRAWINGS : THIS SPECIFICATION SHALL BE READ IN CONJUNCTION WITH THE ATTACHED DRAWINGS (SHEETS 1 TO 2 INCLUSIVE).

ALL WORK SHALL COMPLY WITH LOCAL AUTHORITY REGULATIONS, AND BE IN ACCORDANCE WITH NZS 3604 1990 AND THE NZ BUILDING CODE.

CHECK AND CO-ORDINATE ALL DIMENSIONS ON SITE PRIOR TO ORDERING OR COMMENCING ANY WORK.

MATERIALS AND WORKMANSHIP: ALL MATERIALS SHALL BE THE BEST OF THEIR RESPECTIVE KINDS AND WORK SHALL BE CARRIED OUT ACCORDING TO THE BEST TRADE PRACTICE.

STANDARD SPECIFICATIONS: NEW ZEALAND OR ANY STANDARD SPECIFICATIONS REFERRED TO IN ANY SECTION OF THIS SPECIFICATION SHALL BE THE LATEST ISSUE OF SUCH SPECIFICATIONS AND ALL SUBSEQUENT AMENDMENTS UP TO THE TIME OF THE COMMENCEMENT OF THE WORK.

EXCAVATION

THE EXISTING SLAB TO BE CUT TO ALLOW FOR FOOTING FOR THE NEW POSTS TO BE INSTALLED. ALLOW TO EXCAVATE FOOTINGS AS NECESSARY TO ACCOMMODATE FOOTINGS AS DESCRIBED ON DRAWINGS

ENSURE THAT BEARING UNDER ALL FOOTINGS, PILES, AND SLABS IS CAPABLE OF SUSTAINING LOADS OF 100 KPA AS PER NZS 3604. REMOVE ANY UNSUITABLE MATERIAL, AND BACKFILL USING CLEAN SAND, COMPACTED IN 150MM LAYERS AT OPTIMUM MOISTURE CONTENT, TO GIVE A MINIMUM 'SCALA' PENETROMETER READING OF 5 BLOWS FOR 75MM.

PROTECTION OF WORKS: SECURE AND MAINTAIN THE SIDES OF ALL EXCAVATIONS AND KEEP CLEAR OF WATER AND FALLEN MATERIAL AT ALL TIMES.

BACKFILL: WHERE REQUIRED BACKFILL SHALL BE CLEAN GRANULAR FILL COMPACTED IN LAYERS AS REQUIRED.

COMPLETION: THE CONTRACTOR SHALL AT THE COMPLETION OF THE WORK REINSTATE ANY WORK DAMAGED AS A RESULT OF HIS OPERATIONS.

CONCRETE

CONCRETE WORK SHALL COMPLY WITH NZS 3109 : 1987.

THIS SECTION INCLUDES FOR THE PLACING OF CONCRETE FOOTINGS, AND ALL REINFORCING STEEL AS PER DRAWING.

CONCRETE STRENGTH: CONCRETE SHALL HAVE A 28 DAY STRENGTH OF 20 MPA:

REINFORCEMENT: REINFORCEMENT SHALL COMPLY WITH NZS 3109 : 1987.

CURING: CONCRETE SHALL BE CURED FOR A MINIMUM OF 7 DAYS.

CARPENTRY

ALL WORK SHALL BE CARRIED OUT UNDER THE SUPERVISION OF COMPETENT AND EXPERIENCED TRADESMEN IN ACCORDANCE WITH THE BEST TRADE PRACTICES, AND THE REQUIREMENTS OF NZS 3604 1990.

ALL TIMBER SHALL BE TREATED TO THE APPROPRIATE DEGREE SPECIFIED BY THE TIMBER PRESERVATION AUTHORITY (T.P.A.).

FRAME UP ROOF AS INDICATED ON THE DRAWINGS.

BRACING IS TO BE INSTALLED IN ACCORDANCE WITH THE DRAWINGS. ALL BRACES ARE TO BE INSTALLED IN ACCORDANCE WITH MANUFACTURERS RECOMMENDATIONS.

ROOFING UNDERLAY : PROVIDE AND FIX 'AHI FLAMESTOP 660' ROOFING UNDERLAY IN ACCORDANCE WITH MANUFACTURERS' RECOMMENDATIONS.

ROOFING

SUPPLY AND INSTALL 0.45MM BMT C.G. IRON LONG RUN ROOFING. ROOFING TO BE SUPPLIED COMPLETE WITH ALL NECESSARY ACCESSORIES TO COMPLETE THE ROOF AS INDICATED ON DRAWINGS, LEAVING SAME COMPLETELY WEATHERTIGHT AND WATERPROOF.

ALL WORK SHALL BE CARRIED OUT IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS AND THE BEST TRADE PRACTICES.

DRAINAGE

ALL WORK SHALL BE CARRIED OUT BY A LICENSED DRAINLAYER IN ACCORDANCE WITH THE NZ PLUMBING AND DRAINAGE REGS AND THE LOCAL AUTHORITY BY-LAWS, AND THE BEST TRADE PRACTICE.

ALLOW FOR MAKING ALL TESTS REQUIRED BY INSPECTOR, AND TRENCHES MAY ONLY BE FILLED AFTER THE WORK HAS BEEN PASSED.

OBTAIN ALL PERMITS, SERVE ALL NOTICES AND PAY ALL FEES REQUIRED.

EXCAVATE FOR ALL DRAINS TO CORRECT FALLS AND TO MAINTAIN MINIMUM COVER OF 500MM OVER PIPES. WHERE NECESSARY THE EXCAVATION SHALL BE BOXED TO PREVENT ANY SOIL FALLING INTO THE TRENCH.

ALL MATERIALS SHALL BE THE BEST OF THEIR RESPECTIVE KINDS. ALL DRAINS SHALL BE PVC CONFORMING TO NZS 7649, JOINTED AS PER MANUFACTURERS' RECOMMENDATIONS.

JUNCTIONS : ALL JUNCTIONS SHALL BY Y SHAPED, AND INCORPORATE AN INSPECTION EYE.

BENDS : BENDS SHALL BE EVEN SWEEPS, INCORPORATING INSPECTION EYES.

ON COMPLETION THE WHOLE DRAIN SYSTEM SHALL BE TESTED IN THE PRESENCE OF THE INSPECTOR, DEFECTS RECTIFIED, AND THE WHOLE LEFT IN PERFECT WORKING ORDER.

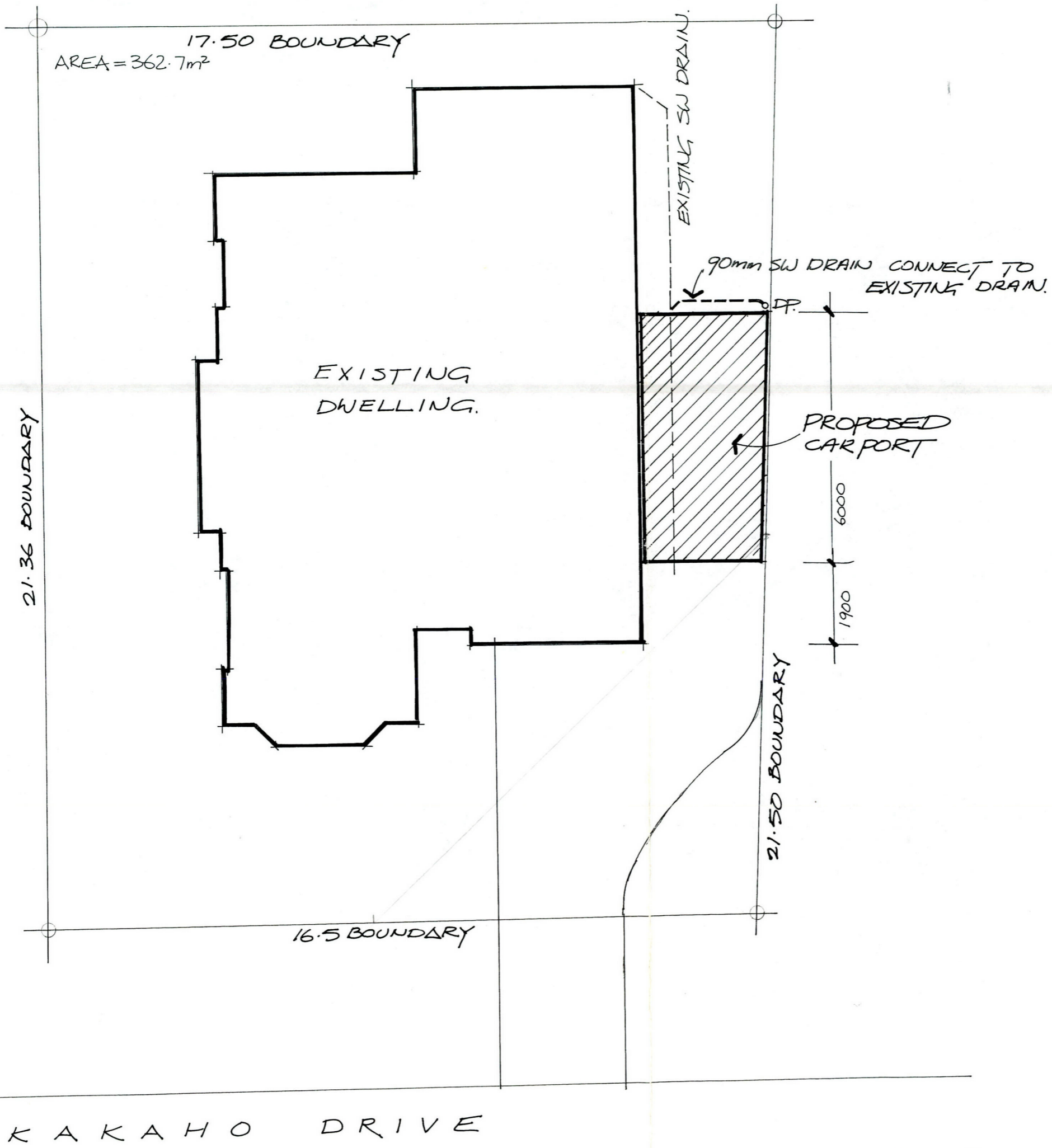
ELECTRICAL

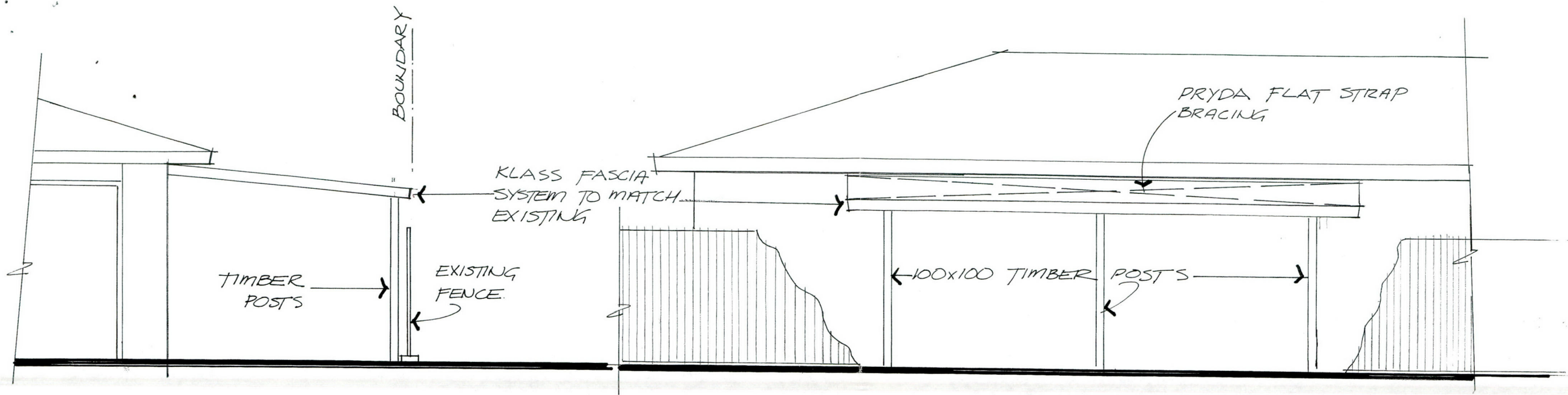
ALL WORK SHALL BE CARRIED OUT IN STRICT ACCORDANCE WITH THE NZ ELECTRICAL WIRING REGULATIONS, AND THE LOCAL SUPPLY AUTHORITY'S REQUIREMENTS.

SUPPLY AND INSTALL ALL OUTLETS, SWITCHING, LIGHTS, ETC, IN THE POSITIONS AS AGREED WITH THE OWNER.

CO-OPERATE WITH THE MAIN CONTRACTOR, SUPPLYING ALL NECESSARY INFORMATION FOR THE SUPPLY OF FIXINGS, HOLES, CHASES, ETC.

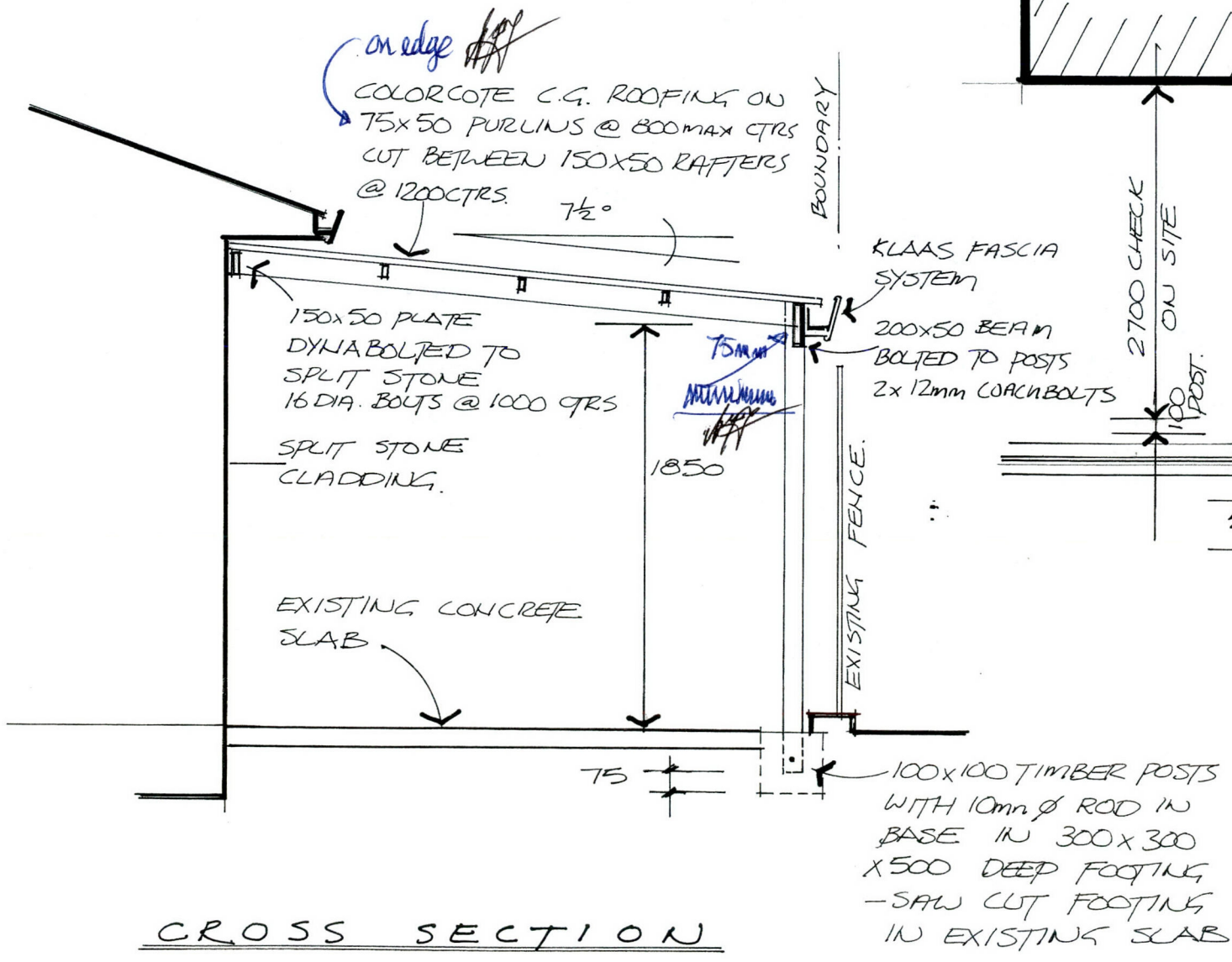
ALL WIRING SHALL BE CONCEALED.



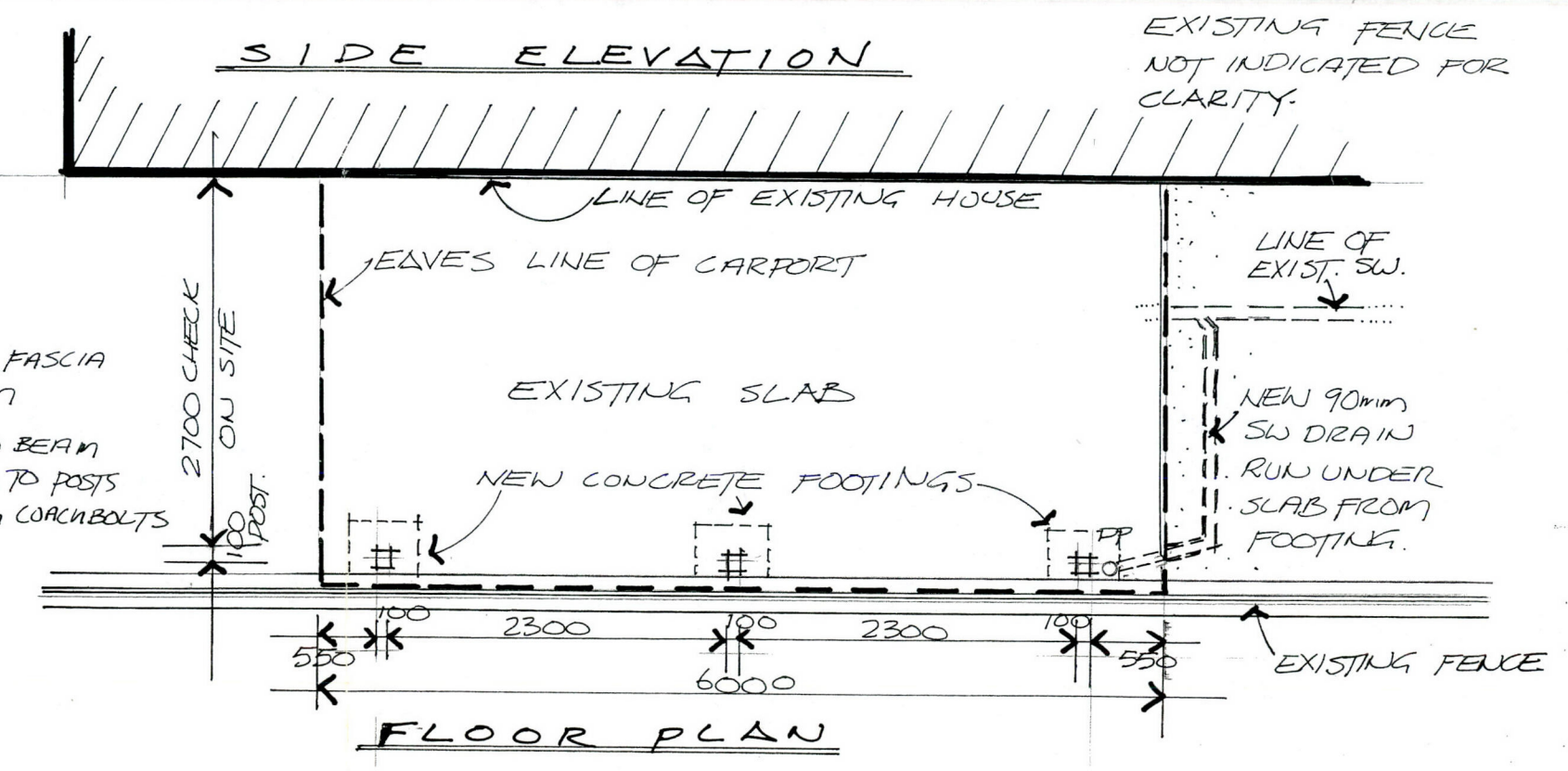


FRONT ELEVATION

SIDE ELEVATION

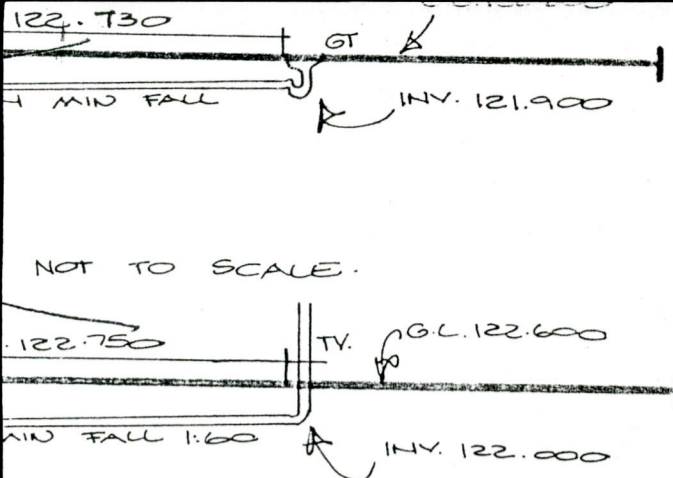


CROSS SECTION

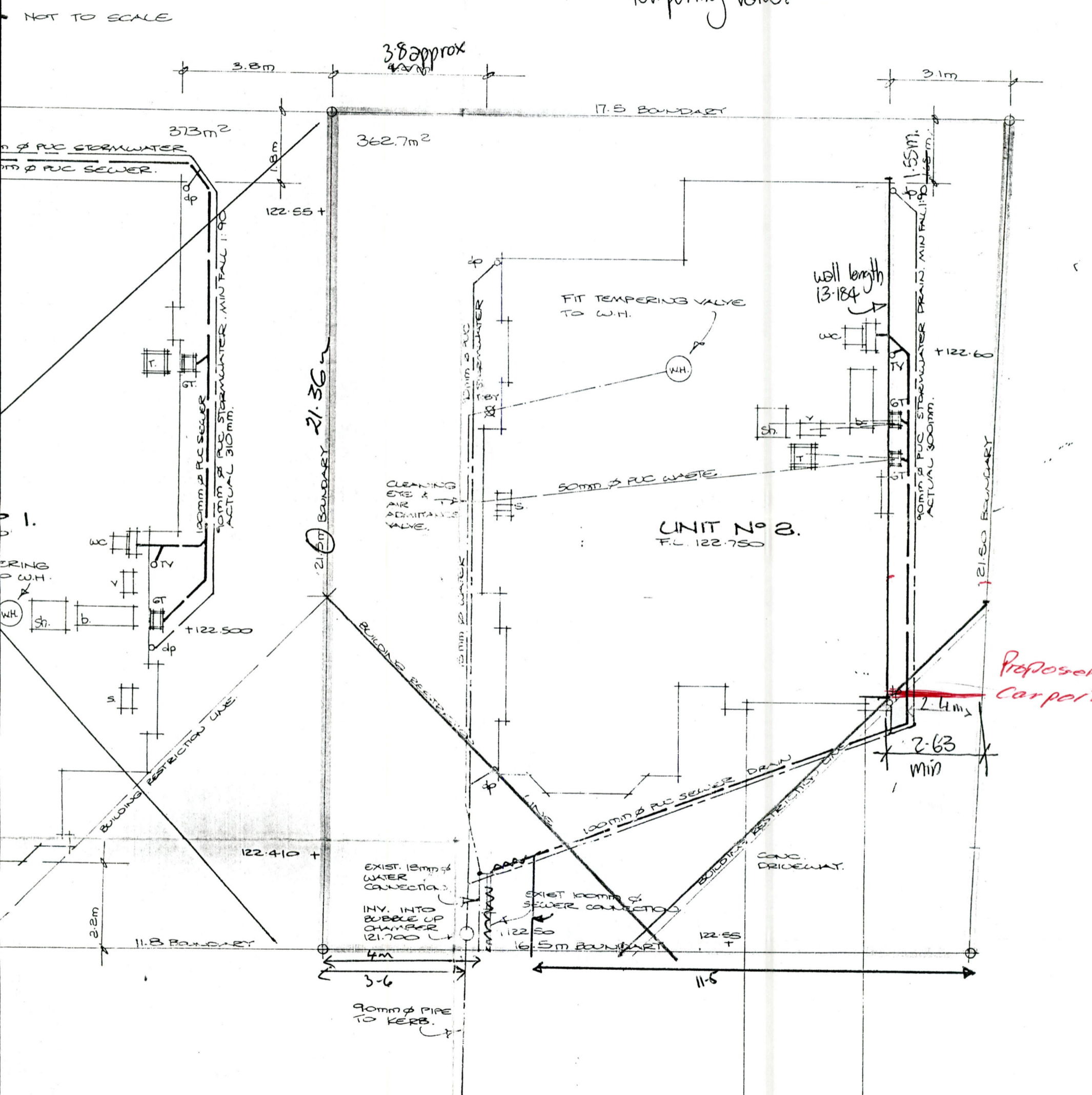


FLOOR PLAN

NOTES : FIX RAFTERS TO BEAM + WALL PLATE WITH PRYDE 140x47 JOIST HANGERS.



Hot water cylinders to be gas mains pressure, value vented & fitted with tempering valve.



AGE PLAN

KAKAHO DRIVE

No 2.
LIBDIVISION.

7 JUNE 1994

Sheet No. 7