

Proposed District Plan

Waikato District Council has notified a new Proposed District Plan which applies to the entire Waikato District, including the land which is the subject of this LIM report. The Proposed District Plan has been notified in two stages. Stage 1 covered all topics other than natural hazards and the impacts of climate change which are covered by Stage 2 and Variation 2.

Council’s website contains information on the Proposed District Plan relevant to the land which is the subject of this LIM report. You can view this information on Council’s website.

The Proposed Planning Map for this property for Stage 1 is included in this LIM.

Operative District Plan

For further information please refer to the planning maps attached and the Waikato District Plan, which is available to view on our website: <<https://www.waikatodistrict.govt.nz>>”

For any restrictions of the use of the property please refer to the Record/Certificate of Title.

► Resource Consents:

Application No	Description	Decision
70/99/159	Revocation of Easement	GRANTED 24 March 1999

Requisitions: No known planning requisitions to date.

Planning rules relating to this property are contained in the Waikato District Plan and are not outlined in this LIM report. The Waikato District Plan is available to view on Council’s website at www.waikatodc.govt.nz.

|

It is recommended that a potential purchaser engage a building consultant to complete a pre-purchase inspection of buildings. Irrespective of code of compliance, structures are subject to deterioration over time and works may have been undertaken without building consent. If requested and supplied, a copy of this may be filed on council records for future references and Land Information Memoranda.

Architects and designers require wind & earthquake information to establish bracing requirements for building development.

► Building Consents/Permits:

Number	Description	Consent/Permit issued date	CCC Issued/ Completed Date
BLD0172/12	Wet Shower Area	11 August 2011	30 September 2011

Requisitions: No known building requisitions to date.

Bulk Building - Housing NZ

Council records indicate that there is a dwelling on this property, however there are no building permits on file for this work. This may be due to bulk building works undertaken at the time by Housing Corporation of NZ. In the period leading up to the introduction of the Building Act 1991, the various agents who constructed housing on behalf of the crown were not bound by legislation to obtain a building permit/consent from council.

Please see the following link for further information

- <http://www.hnzc.co.nz/our-publications/research/our-archives/ex-state-houses/faqs>

If you feel there has been unauthorised building work undertaken on this property, please note that Council has no authority to issue retrospective building consents. The current owner can however apply for a Certificate of Acceptance (COA).

- Please refer to the [BuildWaikato](#) site for further information regarding COAs.

■ Water Supply

Information regarding –

44A(2)

- (ba) any information that has been notified to the territorial authority by a drinking-water supplier under section 69ZH of the Health Act 1956:
- (bb) information on—
 - (i) whether the land is supplied with drinking water and if so, whether the supplier is the owner of the land or a networked supplier:
 - (ii) if the land is supplied with drinking water by a networked supplier, any conditions that are applicable to that supply:
 - (iii) if the land is supplied with water by the owner of the land, any information the territorial authority has about the supply:

Council rate records indicate that the property is connected to the Huntly urban water supply and charged an annual targeted rate for domestic water supply.

The property is on a metered water supply and being charged on a volume basis for water supply.

Please contact the Customer Delivery Department at the Waikato District Council to arrange a final water meter reading prior to sale settlement.

■ Drinking Water (potable water supply)

The property is connected to the Huntly urban water supply; Councils urban water supply systems are full flow pressure systems.

The construction of a bore for the taking of ground water requires consent from the Waikato Regional Council, for further information contact Waikato Regional Council.

■ Wastewater

Council rate records indicate that the property is connected to a Council wastewater system and being charged a full targeted rate for domestic wastewater.

■ Stormwater

Stormwater disposal is served by Huntly Urban Drainage Area, administered by Waikato District Council. For further information please contact the Council's Reticulated Services Engineer.

For any new development, Onsite Stormwater Disposal will be required under the Waikato District Plan & Waikato Regional Plan prior to connection to any public stormwater network or drains.

For further Information please contact a Project Planning & Engineering Officer at the Waikato District Council.



**RECORD OF TITLE
UNDER LAND TRANSFER ACT 2017
FREEHOLD**

**Guaranteed Search Copy issued under Section 60 of the Land
Transfer Act 2017**




R.W. Muir
Registrar-General
of Land

Identifier **SA66B/669**
Land Registration District **South Auckland**
Date Issued 13 May 1999

Prior References
SA38D/296

Estate Fee Simple
Area 433 square metres more or less
Legal Description Lot 1 Deposited Plan South Auckland
83539

Registered Owners
Nikau Housing Limited

Interests

excepting thereout all mines, veins, seams and beds of coal and other mines and minerals whatsoever as excepted by
Conveyance 119589 (R41/265)

Subject to a mining right created by Conveyance 119589 (R41/265)

Subject to Part IV A Conservation Act 1987

Subject to Section 11 Crown Minerals Act 1991

Subject to a mining right created by Transfer 13477

Excepting thereout all mines veins seams and beds of coal and other mines and minerals whatsoever as are excepted by
Transfer 13477

Subject to a mining right created by Transfer 13479

Excepting thereout all mines veins seams and beds of coal and other mines and minerals whatsoever as are excepted by
Transfer 13479

S144900 Certificate under Section 26 of the Housing Act 1955 - 23.7.1958 at 12.22 pm

Subject to a right of way over part marked D on DPS 83539 specified in Easement Certificate H740032.2 - 23.7.1987 at
2.27 pm

The easements specified in Easement Certificate H740032.2 are subject to Section 309 (1) (a) Local Government Act 1974

Subject to a party wall right over part marked A and right to drain sewage over part marked C on DPS 83539 specified in
Easement Certificate B543356.2 - 13.5.1999 at 12.23 pm

Appurtenant hereto is a party wall right specified in Easement Certificate B543356.2 - 13.5.1999 at 12.23 pm

10460139.3 Mortgage to ANZ Bank New Zealand Limited - 15.6.2016 at 3:27 pm

2 | REVIN SURVEYOR GENERAL | AND INFORMATION, NEW ZEALAND.

Waikato District COUNCIL

Subject

File No.

Vol. / of

Title:

[illegible]

ILLEGAL BUILDING



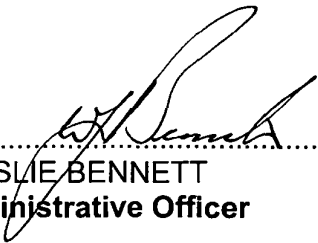
NOTICE OF REVOCATION OF EXISTING EASEMENT

The District Land Registrar
South Auckland Land Registry

FILE

In the matter of Deposited Plan S.42691 and pursuant to section 243(f)(ii) of the Resource Management Act 1991, I hereby certify that the Waikato District Council has cancelled the condition as to the easements in so far as it relates to Lot 2 DPS 83539.

DATED at Ngaruawahia this *24th* day of *MARCH* 1999


.....
WARWICK LESLIE BENNETT
Principal Administrative Officer

K:\SEC\BF\9032301P

MINUTE SHEET

Department:

Section:

Subject: Notice of Revocation
of Existing Easement

File No. 70/99/109.

Date: 23/3/99.

To -

Gudrun

Please confirm attached certificate is
satisfactory.

Thanks
Tenny
Yps, D.L. JJ.

Audra
23/3/99.

- please prepare attached certificate
1x original, 1x file copy

Thanks
Tenny



NOTICE OF REVOCATION OF EXISTING EASEMENT

The District Land Registrar
South Auckland Land Registry

In the matter of Deposited Plan S. 42691 and pursuant to section 243(f)(ii) of the Resource Management Act 1991, I hereby certify that the Waikato District Council has cancelled the condition as to the easements ~~set out in the Memorandum of Easements~~ endorsed on the said Plan. *in so far as it relates to Lot 2 DPS 83539*

DATED at Ngaruawahia this day of 199

.....
WARWICK LESLIE BENNETT
Principal Administrative Officer

K:\SEC\BF\9032301P



DELEGATED AUTHORITY DECISION

Applicant: Housing
NZ

To: District Policy Planner/Group Manager

Development Planner Recommendation

☐

Ready for signing

☒

Comments:

To: Development Planner

☐

Report requires review. Please attend to the following matters:

To: District Policy Planner/Group Manager

☒

Ready for decision

☐

Time to be charged

[Signature] 19-3-23

To: Supervising Consents Officer

☐

Prepare decision letter

☒

Prepare decision letter with amendments shown

[Signature]
22/mar/23

Report To: Manager Policy and Corporate Services Department

For Consideration By: Manager Policy and Corporate Services Department
pursuant to delegated authority

From: Sonya McCall - Planner

Date: 19 March 1999

Resource Consent Application Number: 7099159

Valuation Reference Number: 4330/215 A and B

Subject: Revocation of easement condition

Applicants: Housing New Zealand

Location: 12A and B Tither Street, Huntly

Zoning: Residential - Waikato District Plan

Legal Description: Lot 4 DPS 42691

INTRODUCTION

→ Housing New Zealand Limited has subdivided Lot 4 DPS 42691 into Lots 1 and 2. This subdivision was not processed by the Waikato District Council as section 28(6) of the Housing Restructuring Act 1992 allows Housing New Zealand to deposit plans with the District Land Registrar with out being assessed under the provisions of the Resource Management Act 1991, because work for the purpose of the subdivision was carried out on the land before 1 April 1979.

Currently Lot 4 DPS 42691 has a right of way over part of it in favour of Lot 3 DPS 42691. As Lot 4 has now been split into two the right of way to Lot 3 DPS 42691 is now located wholly within the new Lot 1. The right of way easement over Lot 2 is no longer required and can be revoked.

SECTION 243 OF THE RESOURCE MANAGEMENT ACT 1991

Section 243(e) of the Resource Management Act 1991 states: "*The territorial authority may at any time, whether before or after the survey plan has been deposited in the Land Registry Office or the Deeds Register Office, revoke the condition in whole or part.*" It is considered appropriate in the circumstances to revoke the right of way easement on Lot 2 DPS 83539 as access to Lot 3 DPS 42691 is contained wholly within Lot 1 DPS 83539.

RECOMMENDATION

That pursuant to sections 34(4) and 243(e) of the Resource Management Act 1991 and under delegated authority the Waikato District Council revokes the right of way easement denoted as Area "A" on DPS 42691 in so far as it relates to Lot 2 DPS 83539.

The reason for this decision is:

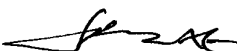


- a Lot 4 DPS 42691 has recently been subdivided into Lots 1 and 2 DPS 83539. Access to Lot 3 DPS 42691 is contained wholly within Lot 1 DPS 83539 and as such a right of way easement over Lot 2 DPS 83539 is no longer required.

.....

Sonya McCall
PLANNER

APPROVED PURSUANT TO DELEGATED AUTHORITY


.....

Mark Buttimore^{DP}
MANAGER – POLICY AND CORPORATE SERVICES DEPARTMENT

K:\planner\sonya\recovation of easement

6

Correspondence with Statutory Bodies (WRC, Transit NZ, DoC, Tainui)

FORM11

3

Engineering Services Department

The Application

(including additional information)

EDMONDS JUDD

BARRISTERS SOLICITORS & NOTARIES Te Awamutu

File Reference: CAR113/168
Partner Reference: Richard Gray

3 March 1999

The Planning Officer
Waikato District Council
Private Bag 544
Ngaruawahia

Waikato District Council	
Mail Ref: 09279	
Referred to:	
REC'D - 4 MAR 1999	REC'D
Copy to:	
Instructions:	
MAIL	

12A & B TITHER ST, HUNTLY
HOUSING NEW ZEALAND LIMITED

We are the solicitors acting for Housing New Zealand Limited on the subdivision of the above property. The property is subject to an existing right of way shown on Plan S.42691 (copy enclosed). We also enclose a copy of the new subdivisional plan S.83539.

We propose to surrender the right of way as to Lot 2 DPS.83539. We would be pleased if you could confirm that Council consents to this surrender and forward the appropriate Certificate to enable us to attend to registration at the Land Titles Office, together with a note of your costs.

Yours faithfully
EDMONDS JUDD

Per:

DENISE STYLES
Legal Executive

Enc



Te Awamutu
15 Albert Park Drive, PO Box 35, DXGA 29009, Te Awamutu, New Zealand.
Telephone 0-7-871 5035. Fax 0-7-871 7654.
Partners: Malcolm Brown, Bruce Page, Michael McIvor, Richard Gray.
Consultants: Bevan Kay, John Anderson.

Also at:
98 Maniapoto Street, Otorohanga. Telephone 0-7-873 8503.



An association of
independent legal practices



Land Transfer Plan

<Bookmark Land Transfer Plan>

Approvals

Approved for and on behalf of His Majesty the Queen for the purpose of the Housing Corporation Act 1974

Approved by the Council on the 15th day of May 1985

Approved by the Council on the 15th day of May 1985

Approved by the Council on the 15th day of May 1985

Approved by the Council on the 15th day of May 1985

Approved by the Council on the 15th day of May 1985

Approved by the Council on the 15th day of May 1985

Approved by the Council on the 15th day of May 1985

Approved by the Council on the 15th day of May 1985

Approved by the Council on the 15th day of May 1985

Approved by the Council on the 15th day of May 1985

Approved by the Council on the 15th day of May 1985

Approved by the Council on the 15th day of May 1985

Approved by the Council on the 15th day of May 1985

Approved by the Council on the 15th day of May 1985

Approved by the Council on the 15th day of May 1985

Approved by the Council on the 15th day of May 1985

Approved by the Council on the 15th day of May 1985

Approved by the Council on the 15th day of May 1985

Approved by the Council on the 15th day of May 1985

Approved by the Council on the 15th day of May 1985

Approved by the Council on the 15th day of May 1985

Approved by the Council on the 15th day of May 1985

Approved by the Council on the 15th day of May 1985

Approved by the Council on the 15th day of May 1985

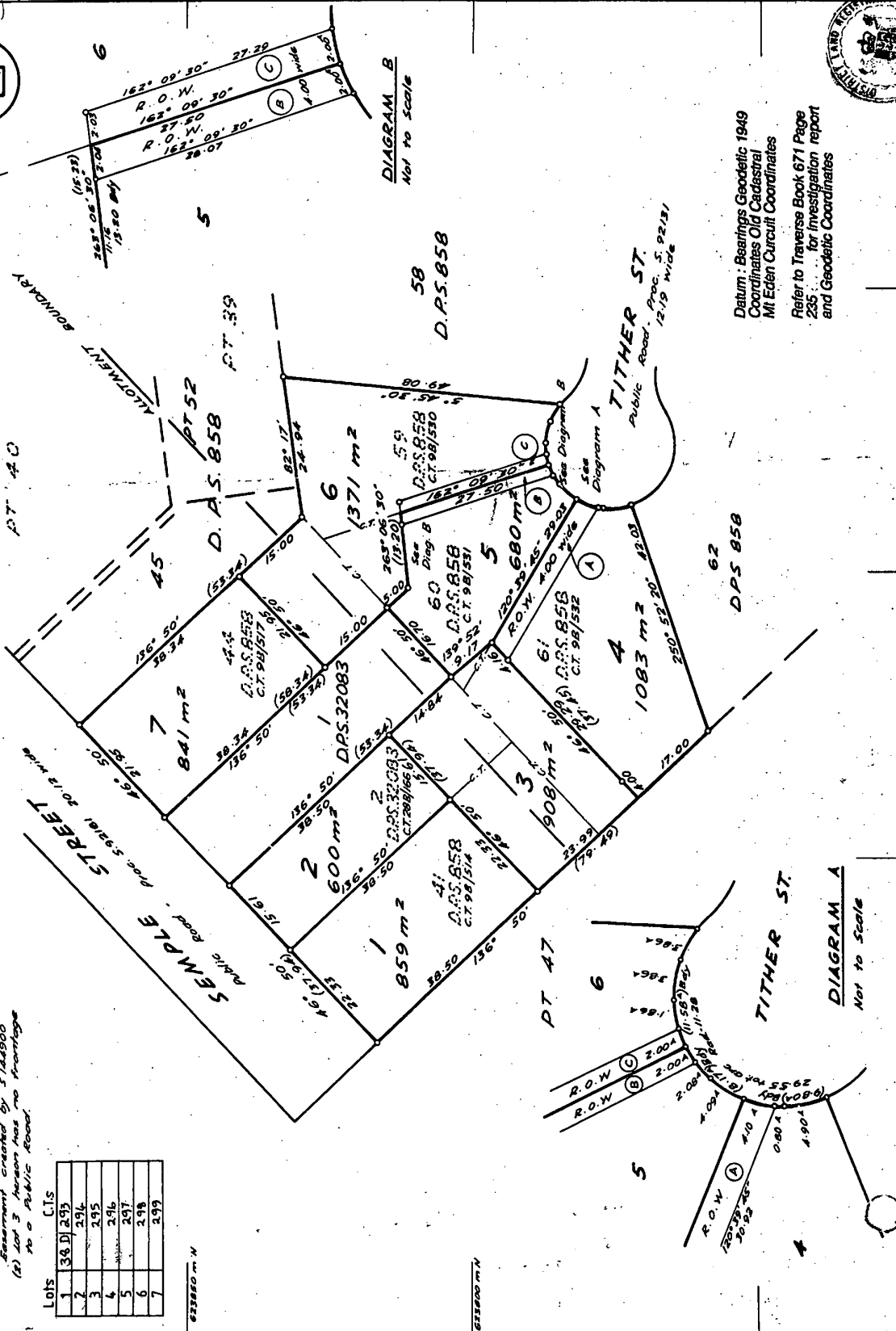
Approved by the Council on the 15th day of May 1985

Approved by the Council on the 15th day of May 1985

Approved by the Council on the 15th day of May 1985

Approved by the Council on the 15th day of May 1985

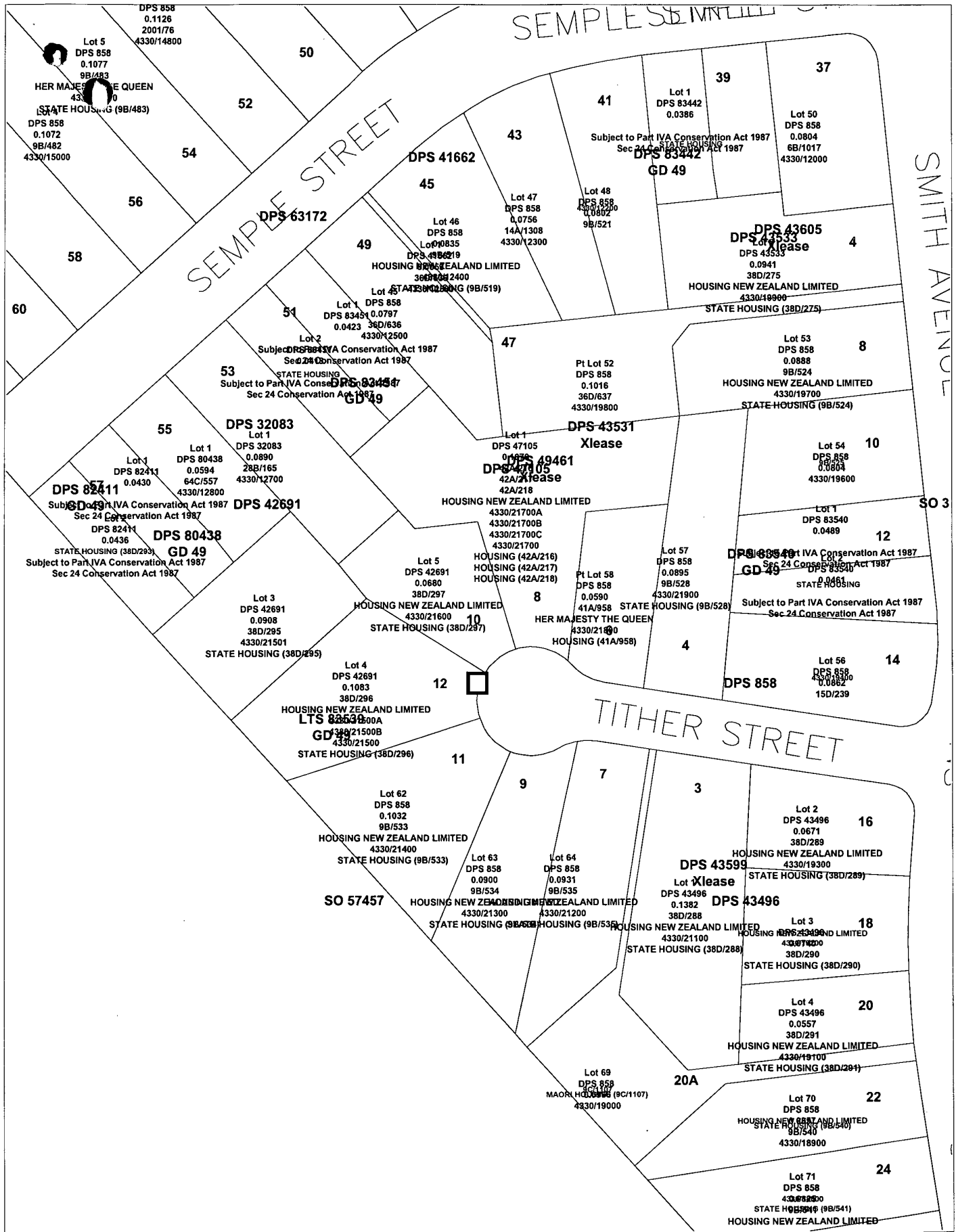
Approved by the Council on the 15th day of May 1985

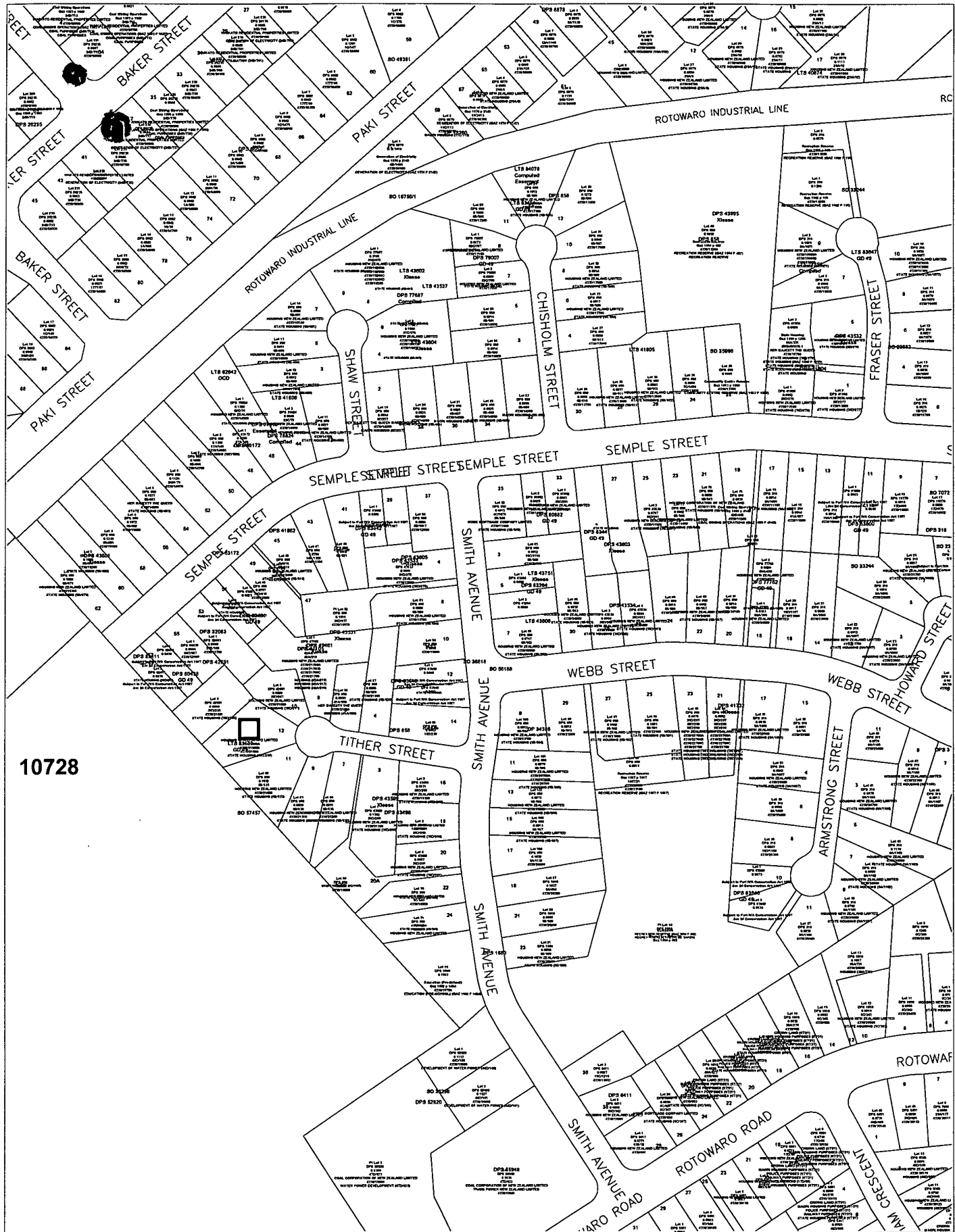


TERMINAL AUTHORITY HUNTLEY BARROW
Surveyed by McPHERSON & GOODWIN
Scale 1:500 Date December 1985
LOTS 1-7 BEING SUBDIVISION OF LOTS 41, 44, 59, 60 & 61, D.P.S. 858 AND LOT 2 D.P.S. 32083 BEING PT ALLOTS 39 AND 40 PEPEPE PARISH
LAND DISTRICT SOUTH AUCKLAND
SURVEY BLK. & DIST. XY. RANGIRIRI
NZMS 261 SHIT RECORD MAP No
Huntley 12

Approved as to Survey
Deposited this 23rd day of May 1985
Chief Surveyor
Approved by the Council on the 15th day of May 1985
DPS 42691

Approved by the Council on the 15th day of May 1985
DPS 42691



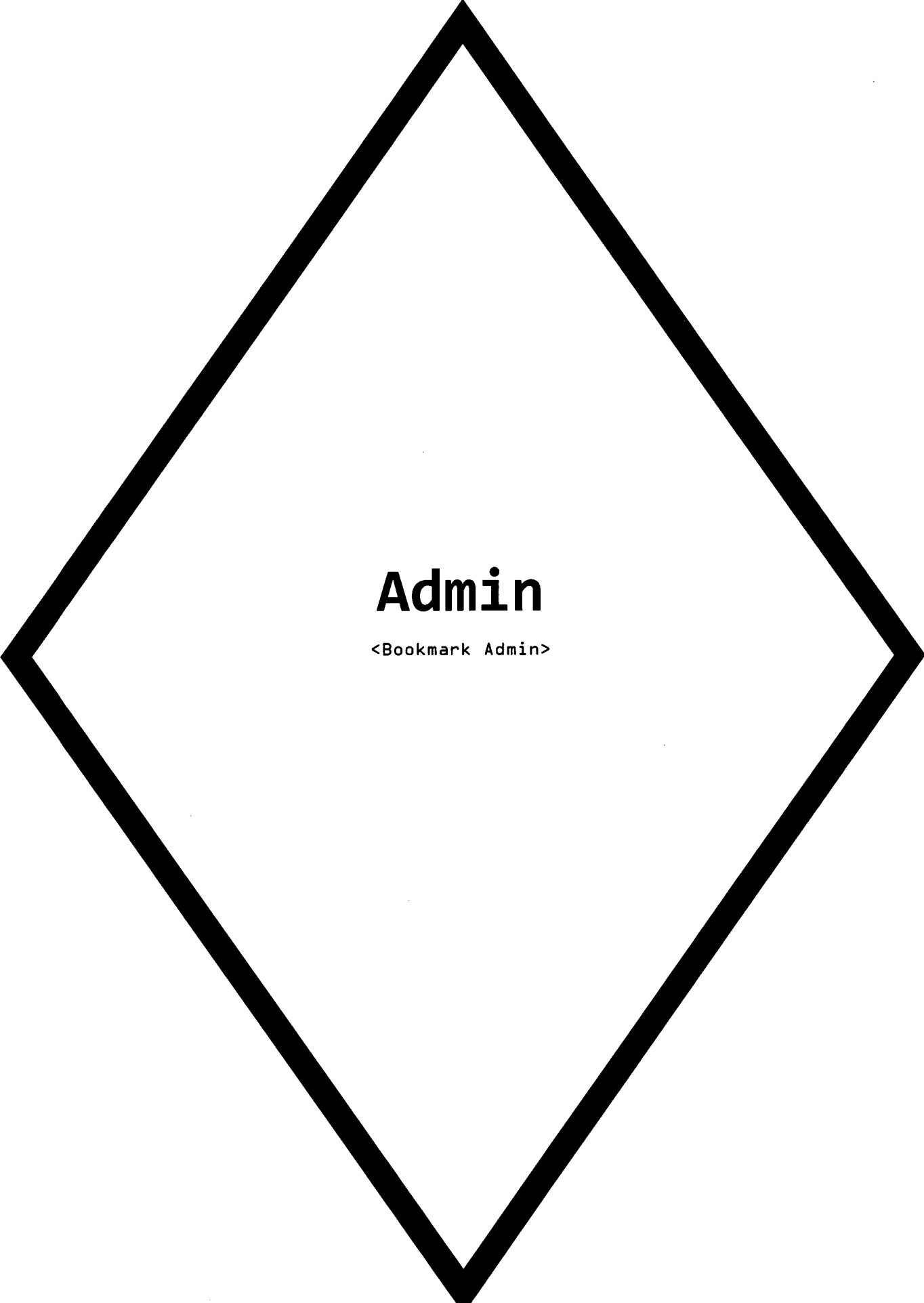


Scale 1:2630



4330/21500A

TERRALINK NZ LTD(Terraviva)-DCDB Data as at 19.02.99Title & VNZ data as at 19.02.99.Geodetic data as at 11.10.97.
Cadastral Information from LINZ Digital Cadastral Database (DCDB). CROWN COPYRIGHT RESERVED.



Admin

<Bookmark Admin>



15 Galileo Street
Private Bag 544
NGARUAWAHIA

Telephone: 0-7-824 8633
Facsimile: 0-7-824 8091

Your Ref:

CAR 113/168

In reply please quote:

70 99 159

If calling, please ask for:

Sonya McCall

8 March 1999

Edmonds Judd
Barristers, Solicitors and Notaries
P O Box 35
TE AWAMUTU

FILE

Dear Sir/Madam

APPLICATION FOR REVOCATION OF EASEMENT – HOUSING NEW ZEALAND

This application plan forwarded with your letter dated 3 March 1999 received on 4 March 1999 is acknowledged with thanks.

Please note that the minimum deposit for this type of activity is \$90.00. Please forward deposit as soon as possible so processing of this application may begin.

Although your cheque has been receipted Council reserves the right to accept or reject the application and may ask for further information before processing will start. You will be requested by letter for any further information required.

This application will be assessed under the provisions of the Waikato District Council's District Plan and where relevant the Proposed District Plan where it is subject to reference.

Therefore the status of this application could be altered and staff may contact you requesting further information to assist them in processing your application.

Once all necessary information is to hand a report will be prepared and a decision will be made, which will be forwarded to you.

If you have any concerns arising from this letter please contact Sonya McCall who is the consent manager dealing with your application.

Yours faithfully

A handwritten signature in black ink, appearing to be 'J E Smith', written over a circular stamp or seal.

J E Smith
PLANNING CONSENTS OFFICER
POLICY AND CORPORATE SERVICES
K:\SECUS\9030804P



Private Bag 544
Ngaruawahia
Phone 07 824 8633

RESOURCE CONSENT FEES

TAX INVOICE 17054
GST NO 52-054-982
DATE 12/03/1999

EDMONDS JUDD
P O BOX 35
TE AWAMUTU

CONSENT

APPLICATION NO: RMA 7099159

OWNERS NAME: HOUSING NEW ZEALAND LIMITED

PROJECT STREET ADDRESS: 12A TITHER STREET
HUNTLY

CUSTOMER CODE: 200623

INVOICED/PAID TO DATE: 0.00

**FEE
CODE**

DESCRIPTION

**THIS
INVOICE**

RAT

S243(e) revocation of easement

90.00

DUE & PAYABLE NOW

90.00

GST INCLUDED IN THIS INVOICE:

10.00

PAID

Rec. 204036
12/3/99

EDMONDS JUDD

BARRISTERS SOLICITORS & NOTARIES Te Awamutu

File Reference: CAR113/168
Partner Reference: Richard Gray

11 March 1999

The Planning Consents Officer
Policy & Corporate Services
Waikato District Council
Private Bag 544
Ngaruawahia

Waikato District Council	
Mail Ref:	03/602
Referred to:	
REC'D	12 MAR 1999 REC'D
Copy to:	
Instructions:	
MAIL	

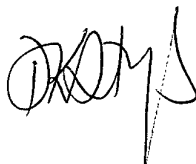
For: JE Smith

APPLICATION FOR REVOCATION OF EASEMENT - HOUSING NEW ZEALAND LIMITED
YOUR REFERENCE ; 70 99 159

We thank you for your letter of 8 March 1999 and enclose our trust account cheque for \$90.00 by way of deposit.

Yours faithfully
EDMONDS JUDD

Per:



DENISE STYLES
Legal Executive
Enc



Te Awamutu
15 Albert Park Drive, PO Box 35, DXGA 29009, Te Awamutu, New Zealand.
Telephone 0-7-871 5035. Fax 0-7-871 7654.
Partners: Malcolm Brown, Bruce Page, Michael McIvor, Richard Gray.
Consultants: Bevan Kay, John Anderson.
Also at:
98 Maniapoto Street, Otorohanga. Telephone 0-7-873 8503.



An association of
independent legal practices



15 Galileo Street
Private Bag 544
NGARUAWAHIA

Telephone: 0-7-824 8633
Facsimile: 0-7-824 8091

Your Ref:

In reply please quote:

70 99 159

If calling, please ask for:

Sonya McCall

8 March 1999

Councillor G Dow
3 Mary Street
HUNTLY

FILE

Dear Councillor Dow

APPLICATION FOR RESOURCE CONSENT

By Housing New Zealand Limited, 12A and B Tither Street, Huntly

The attached application has been received by Council.

The area concerned is within your ward and a locality plan is enclosed.

This application is referred to you for information in your capacity of Councillor or Community Board Chairperson. You may wish to discuss it with elected members or other interested parties.

Please quote the above reference number if you require further information from staff.

Yours sincerely

A handwritten signature in black ink, appearing to be 'J E Smith', written over a circular stamp or seal.

J E Smith
PLANNING CONSENTS OFFICER
POLICY AND CORPORATE SERVICES
K:\SEC\VS\9030805P



15 Galileo Street
Private Bag 544
NGARUAWAHIA

Telephone: 0-7-824 8633
Facsimile: 0-7-824 8091

Your Ref:

In reply please quote:

70 99 159

If calling, please ask for:

Sonya McCall

8 March 1999

Councillor G S Tait
40 Kimihia Road
HUNTLY

FILE

Dear Councillor Tait

APPLICATION FOR RESOURCE CONSENT

By Housing New Zealand Limited, 12A and B Tither Street, Huntly

The attached application has been received by Council.

The area concerned is within your ward and a locality plan is enclosed.

This application is referred to you for information in your capacity of Councillor or Community Board Chairperson. You may wish to discuss it with elected members or other interested parties.

Please quote the above reference number if you require further information from staff.

Yours sincerely

A handwritten signature in black ink, appearing to be 'J E Smith', written over a circular stamp or seal.

J E Smith
PLANNING CONSENTS OFFICER
POLICY AND CORPORATE SERVICES
K:\SECUS\9030805P



15 Galileo Street
Private Bag 544
NGARUAWAHIA

Telephone: 0-7-824 8633
Facsimile: 0-7-824 8091

Your Ref:

In reply please quote:

70 99 159

If calling, please ask for:

Sonya McCall

8 March 1999

Councillor I G Kimpton
P O Box 101
HUNTLY

FILE

Dear Councillor Kimpton

APPLICATION FOR RESOURCE CONSENT

By Housing New Zealand Limited, 12A and B Tither Street, Huntly

The attached application has been received by Council.

The area concerned is within your ward and a locality plan is enclosed.

This application is referred to you for information in your capacity of Councillor or Community Board Chairperson. You may wish to discuss it with elected members or other interested parties.

Please quote the above reference number if you require further information from staff.

Yours sincerely

A handwritten signature in black ink, appearing to be 'J E Smith', written over a circular stamp.

J E Smith
PLANNING CONSENTS OFFICER
POLICY AND CORPORATE SERVICES
K:\SEC\SV9030805P



CODE COMPLIANCE CERTIFICATE
Section 94(1) Building Act 2004
ISSUED BY THE WAIKATO DISTRICT COUNCIL
BUILDING CONSENT NUMBER: BLD0172/12

FILE

THE OWNER	THE CONTACT
Housing New Zealand Ltd Private Bag 76913 Manukau City Auckland 2241 Phone numbers: Landline: 092615000 Daytime: 092615858 Facsimile number: 092615295	APR Architects PO Box 1715 Rotorua 3040 Phone numbers: Daytime: (07)349 8333 Facsimile number: (07)349 0609 Email address: werner.naude@apr.co.nz
THE BUILDING	
Street address of building: Tither Street HUNTLY Legal description of land where building is located: LOT 1 DPS 83539 Valuation Number: 04330/215.00 Property Number: 2003701	
THE PROJECT	
Wet Shower Area	
Code Compliance The building consent authority named below is satisfied, on reasonable grounds, that — (a) the building work complies with the building consent	
Signed for and on behalf of Council: Signature:  Name: Rob Koppers Position: Building Inspector On behalf of: Waikato District Council Date: 30 September 2011	

BUILDING CONSENT NO: BLD0172/12
Section 51, Building Act 2004
ISSUED BY: WAIKATO DISTRICT COUNCIL

THE OWNER		THE CONTACT	
Housing New Zealand Ltd Private Bag 76913 Manukau City Manukau 2241 Phone numbers: Landline: 092615000 Daytime: 092615858 Facsimile number: 092615295		APR Architects PO Box 1715 Rotorua 3040 Phone numbers: Landline: Daytime: (07)349 8333 Facsimile number: (07)349 0609 Email address: werner.naude@apr.co.nz	
THE BUILDING			
Street address of building: Tither Street HUNTLY Legal description of land where building is located: LOT 1 DPS 83539 Valuation Number: 04330/215.00 Property Number: 2003701			
BUILDING WORK		THE PROJECT	
Wet Shower Area		Plumbing & Drainage	\$8050
Specified Intended Life, not less than 50 years		Total Est. Value of Projects	\$8050

The following building work is authorised by this building consent:

This building consent is issued under Section 51 of the Building Act 2004. This building consent does not relieve the owner of the building (or proposed building) of any duty or responsibility under any other Act relating to or affecting the building (or proposed building).

This building consent also does not permit the construction, alteration, demolition, or removal of the building (or proposed building) if that construction, alteration, demolition, or removal would be in breach of any other Act.

This building consent is subject to the following conditions specified in the attached pages headed "Conditions of Building Consent BLD0172/12".

Waikato District Council
Conditions of Building Consent No: BLD0172/12

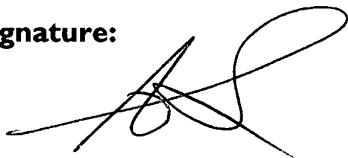
The Building Consent is issued subject to the following conditions:

- 1 **At least 48 hours' notice** is required prior to the intended commencement of construction and prior to any of the following mandatory inspections:
 - Pre-line plumbing - Pre-line building
 - Final inspection (Code Compliance Certificate) to be called for (the owner or builder shall be on site at time of inspection)When booking your inspections please ring (07) 824 8633 and quote your building consent number.
Code Compliance Certificate will be issued after your final inspection has been carried out and all documentation has been received and approved.
- 2 The following Certificates will be required in order for Council to issue a CCC:
Certificates / Memorandums / Statements / Letters:
 - Plumbing pressure test

Building Consent Advisory Notes:

- 3 Lapse of building consent. A building consent lapses and is of no effect if the building work to which it relates does not commence within:
 - a) 12 months after the date of issue of the building consent
 - b) Any further period that the building consent authority may allow
 - c) If reasonable progress on the building work has not been made within 12 calendar months after work has commenced.The Council can exercise its discretion in either case.
- 4 All drainage and plumbing shall comply with the New Zealand Building Code 1992.
- 5 Plumbing preline inspection shall be required.
- 6 Domestic smoke alarms must be installed before a final inspection is requested. The number of alarms required and their location in the dwelling is to be in accordance with the New Zealand Building Code.

Signature:



Anne Saunders
REGULATORY SUPPORT OFFICER

On Behalf of: Waikato District Council

Date: 11 August 2011

HUNTLY PLUMBERS LTD

27 RALPH ST. HUNTLY

PHONE: 07 828 9175 FAX: 07 828 9122

EMAIL: huntly.plumbers@xtra.co.nz

PLUMBING PRESSURE TEST MEMORANDUM

ISSUED

Ted Baker

REGISTRATION:

05398

TO:

☐

MATAMATA-PAIKO DISTRICT

☐

WAIPA DISTRICT COUNCIL

☐

HAMILTON DISTRICT COUNCIL

☐

OTOROHANGA DISTRICT COUNCIL

☐

WAIKATO DISTRICT COUNCIL

BUILDING CONSENT NUMBER:

BUDON 72/12

BUILDING OWNER:

HOUSING NZ CORPORATION

PROJECT ADDRESS:

12A Tiller Street
Huntly

DESCRIPTION OF BUILDING WORK:

Completion of a pressure test on the plumbing system

SCOPE OF WORK COVERED
BY STATEMENT:

We certify that the system was tested to 1500kpa for a period of 30 minutes. This test was conducted in accordance with manufacturer recommendations and complies with the pressure testing provisions of the New Zealand Building Code and Approved Solution G12 AS1 and AS/NZ3500.1.2 as appropriate

I understand that this statement, if accepted, may be relied upon for the purpose of establishing Compliance with the Building Code and Building Consent

SIGNED BY:

Ted Baker

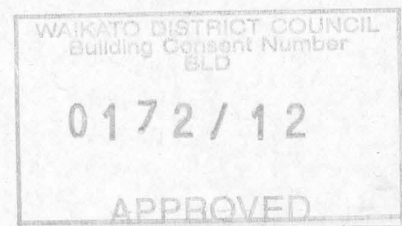
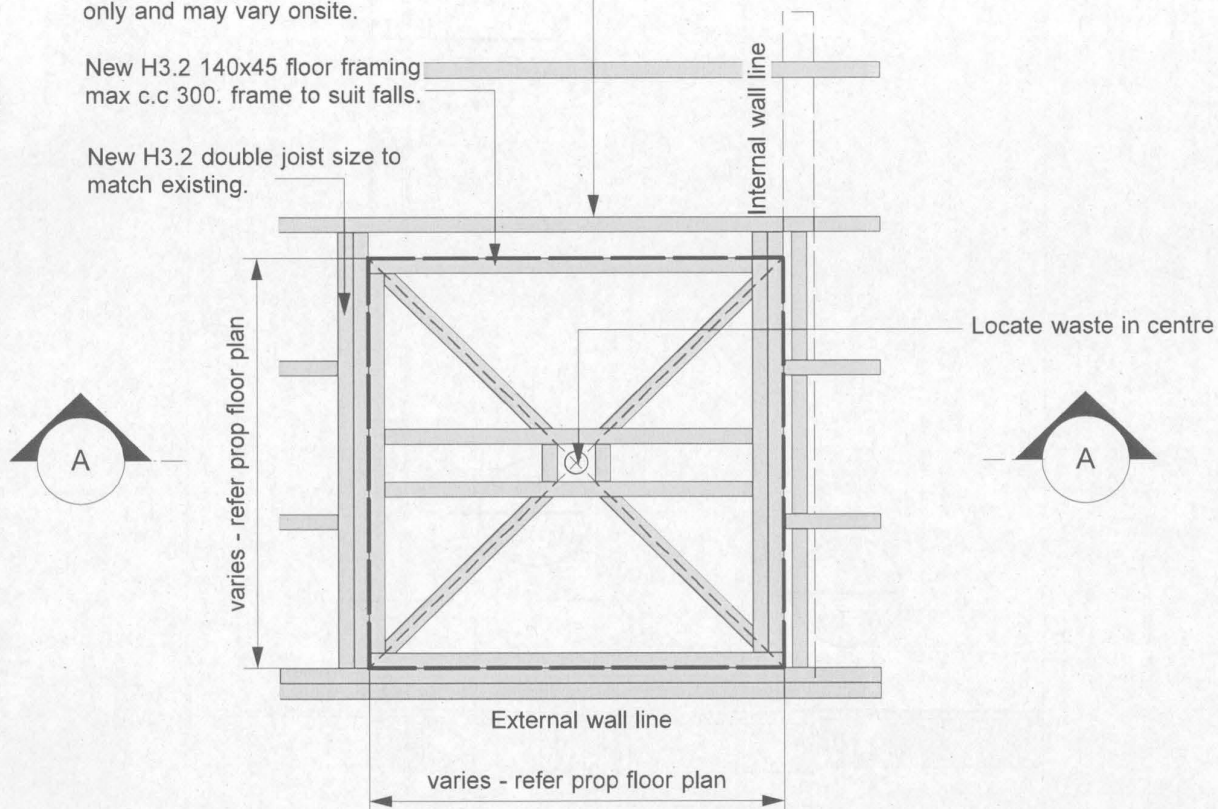
DATE:

12.9.2011

Existing floor joist allow to cut back joist to suit proposed opening. Refer to proposed floor plan for size of opening. Note existing joist layout indicative only and may vary onsite.

New H3.2 140x45 floor framing max c.c 300. frame to suit falls.

New H3.2 double joist size to match existing.



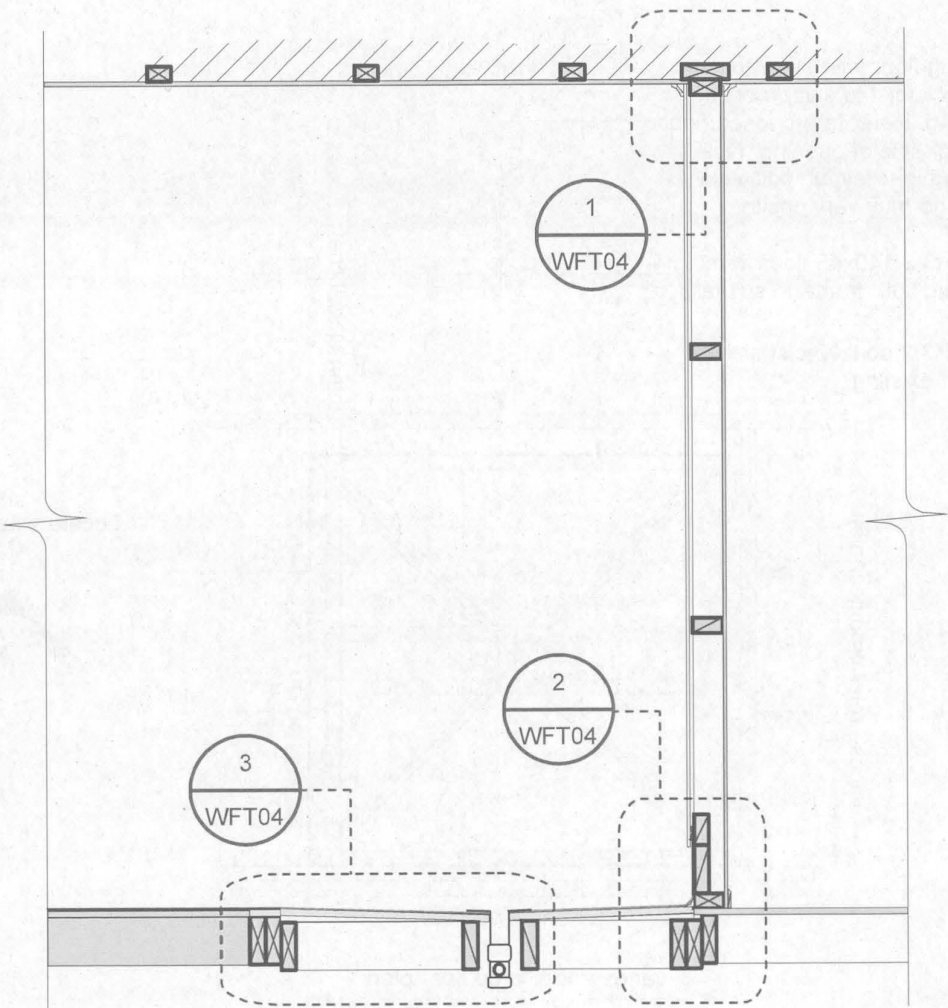
THE BUSINESS HUB
1209 HINEMARU ST
P.O. BOX 1715
ROTORUA
TEL: 07-3498333
FAX: 07-3490609
architects@apr.co.nz

Drawing title:
**Wet Floor Shower Detail
(Timber)**

Date:
Aug 2010
Scale:
1:10

Revised 100910 NJT

Cad file:
WFT
Drawing No:
WFT01



ARCHITECTURE
INTERIOR DESIGN
CAD DRAUGHTING
PROJECT MANAGEMENT
TOWN PLANNING
LANDSCAPE DESIGN

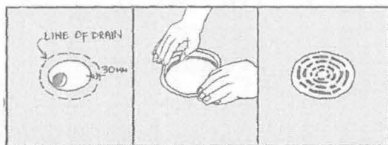
□ THE BUSINESS HUB
○ 1209 HINEMARU ST
○ P.O. BOX 1715
△ ROTORUA
TEL: 07-3498333
FAX: 07-3490609
architects@apr.co.nz

Drawing title:
**Wet Floor Shower Detail
(Timber)**

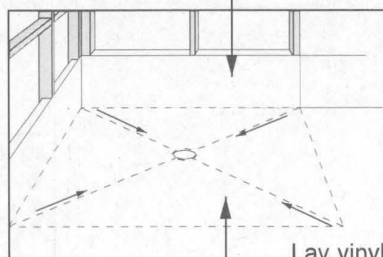
Date:
Aug 2010
Scale:
1:10

Cad file:
WFT
Drawing No:
WFT02

Revised 100910 NJT



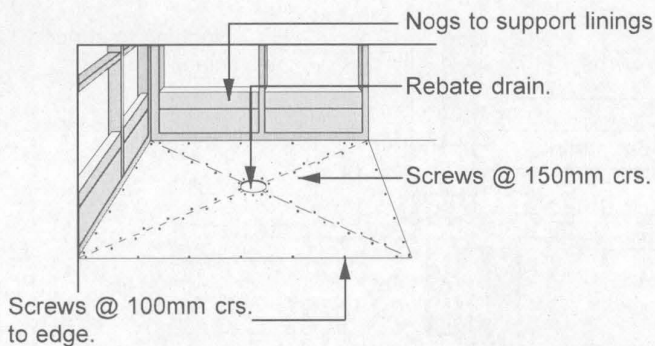
Vinyl coved 200mm to upstand



Lay vinyl to manufacturers recommendation over suitable substrate as per detail 02 sheet WFT04

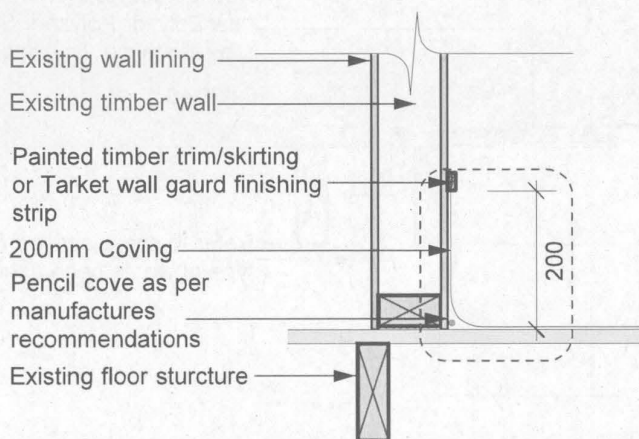
01 Typical Wet Area Shower Detail

-- N.T.S.



02 Typical Wet Area Shower Detail

-- N.T.S.



03 Typical Wall to Floor Detail

-- Scale: 1:10



Revised 310511 WN



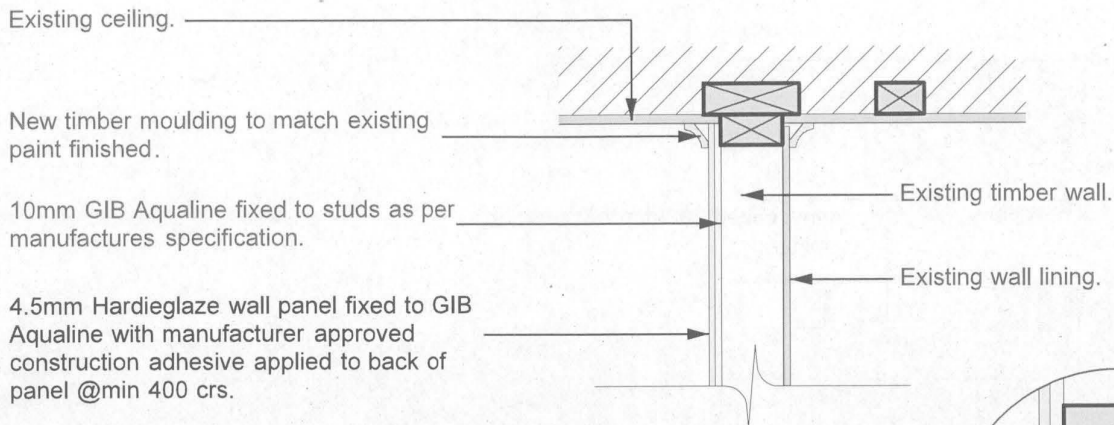
ARCHITECTURE
INTERIOR DESIGN
CAD DRAUGHTING
PROJECT MANAGEMENT
TOWN PLANNING
LANDSCAPE DESIGN

THE BUSINESS HUB
1209 HINEMARU ST
P.O. BOX 1715
ROTORUA
TEL: 07-3498333
FAX: 07-3490609
architects@apr.co.nz

Drawing title:
**Wet Floor Shower Detail
(Timber)**

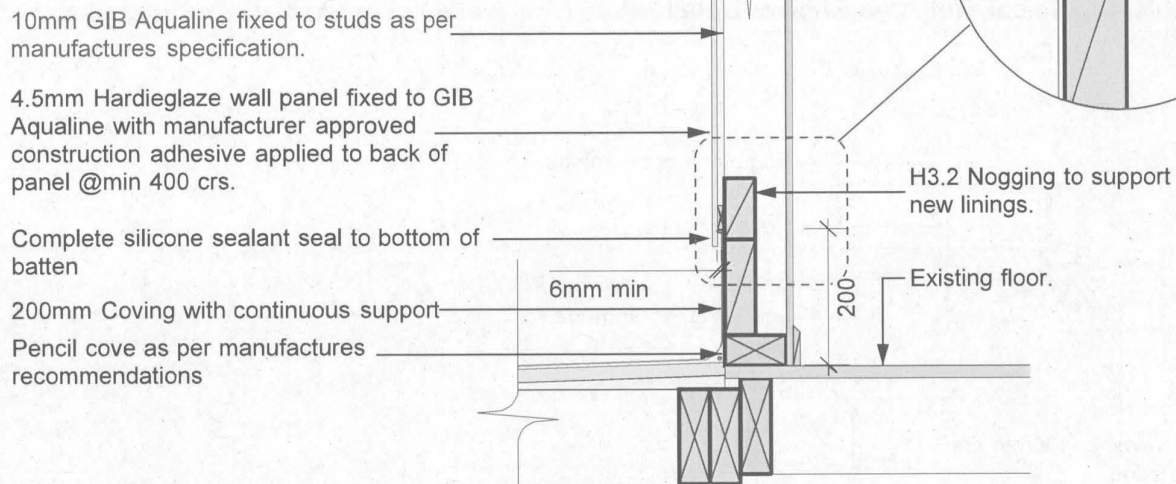
Date:
Aug 2010
Scale:
1:10

Cad file:
WFT
Drawing No:
WFT03



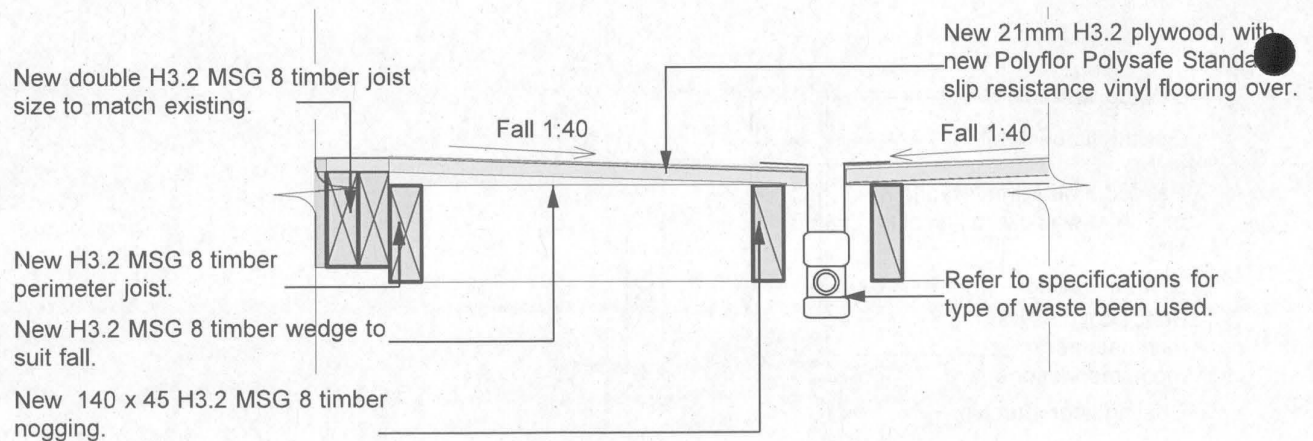
01 Typical Wall to Ceiling Detail

-- Scale: 1:10



02 Typical Wall to Shower Floor Detail

-- Scale: 1:10



03 Typical Floor Detail

-- Scale: 1:10

Revised 100910 NJT



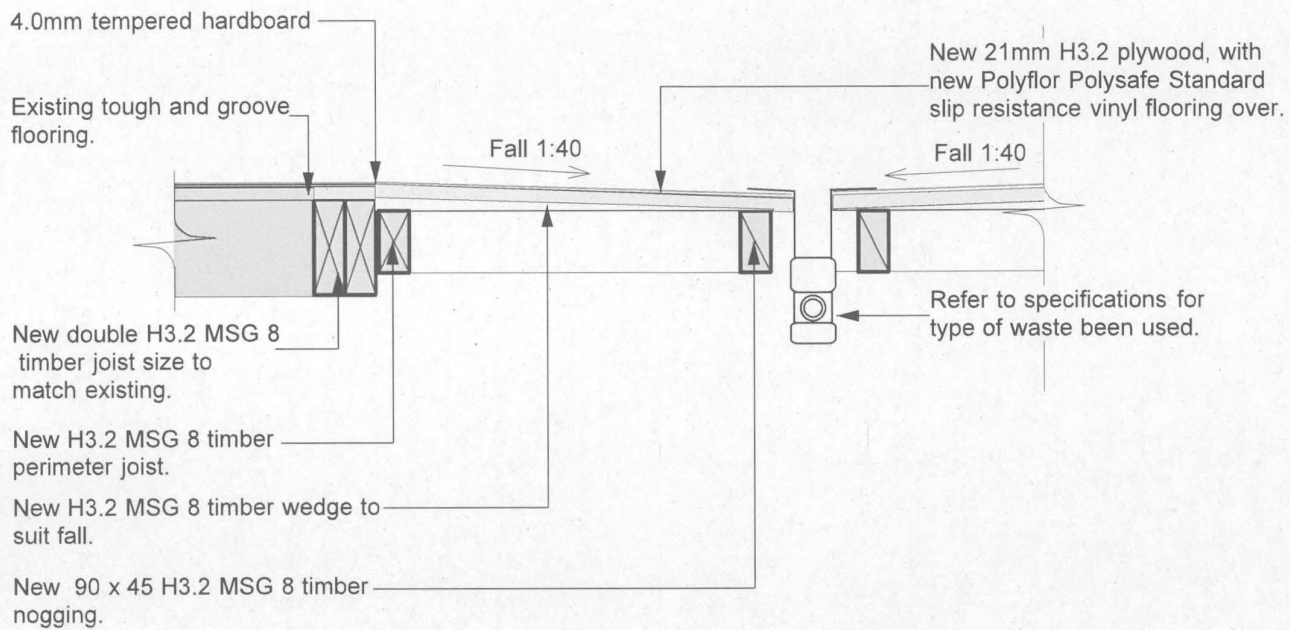
ARCHITECTURE
INTERIOR DESIGN
CAD DRAUGHTING
PROJECT MANAGEMENT
TOWN PLANNING
LANDSCAPE DESIGN

THE BUSINESS HUB
1209 HINEMARU ST
P.O. BOX 1715
ROTORUA
TEL: 07-3498333
FAX: 07-3490609
architects@apr.co.nz

Drawing title:
**Wet Floor Shower Detail
(Timber)**

Date:
Aug 2010
Scale:
1:10

Cad file:
WFT
Drawing No:
WFT04



01	Typical Floor Detail (T & G Flooring)
--	Scale: 1:10



Revised 100910 NJT



THE BUSINESS HUB
1209 HINEMARU ST
P.O. BOX 1715
ROTORUA
TEL: 07-3498333
FAX: 07-3490609
architects@apr.co.nz

Drawing title:
**Wet Floor Shower Detail
(Timber)**

Date: Aug 2010	Cad file: WFT
Scale: 1:10	Drawing No: WFT05



Maintenance

Safety Commercial Vinyl



Tarkett

- **Eminent Safe.T**
- **Safetred Universal**

Eminent Safe.T is a vinyl safety flooring reinforced with Safe.T Clean which makes it easier to remove dirt, scuffs and marks.

Protect

An effective barrier matting system should be installed at all entrances as 85% of dirt and soil enters a building by means for an outside entrance.

Cleaning



Daily cleaning: Vacuuming, damp or wet mopping.

Weekly cleaning: Manual brushing and vacuuming of the soiled liquid.

Cleaning products: Neutral floor cleaner (pH 7-10). Lime scale may form on products installed in wet areas. Lime scale deposits can be removed using an acidic cleaner (pH 2-4). Rinse with clean water after removal. NOTE: Always refer to the rates of dilution on the containers.



Machine cleaning: Cylinder brush machine, combined machine brushes. High pressure cleaning (e.g. industrial kitchens).



Where floors are heavily soiled, a single headed scrubbing machine with brushes is recommended. Wet the area with water/neutral floor cleaner or alkaline detergent. For the best results, scrub the area crosswise. Collect the slurry. Rinse with clean water and collect. A rubber squeegee is a useful tool.

Do not dry buff the floor.

Removing marks



Attend to marks when they are fresh. Use a white/red nylon cloths with a neutral floor cleaner, methylated spirits or cleaning spirit.

General advice

- Vinyl floors are damaged by solvents.
- All chair legs must have protective feet.
- Wipe up any spilt oil immediately because it may damage the surface.
- Black rubber wheels and rubber feet can discolour the floor.
- Consideration must be paid for the choice of colours: lighter colours may increase the amount of cleaning required.



Installation Instructions

Wetroom Systems



Tarkett

Finishing of Level Access Showers

It is imperative these Specifications are followed to ensure correct finishing of level access showers.

Preparation

■ Wood Floors

Either immediate shower area (e.g. 1.2m x 1.2m) or total room area needs to have floorboards or particle board removed and joists re-shaped to provide a fall of 25mm over 1.0m.

Re-nog total area and install standard plywood screw fixed and glued to provide a sound base. The shower area must be one piece of plywood with no joins in the area with falls.

Any minor filling or patching should be carried out using a plastic filler (e.g. Mendent, a flexible two part filler).

Sanding of floor area should then be carried out to the same specification as per standard vinyl installations.

which will produce the fall required for the wet area.

The overall floor finish required is as per standard vinyl installations.

■ Floor Waste

Very few floor wastes are designed solely for vinyl, but the following are two that are suitable and *recommended*. However, when installing on a concrete floor, they must be used in conjunction with the JCS mount ring (as per diagram 1).

1. Allproof Industries' "Vinyl clamp ring grate" (flowthrough)
2. The Metrix 5700 Valentin Series (in-built trap)

■ Concrete Floors

New Floors

Either

- (a) On new concrete floors the falls should be created during the pouring of the concrete slab. Required fall of 25mm over 1.0m.

Or

- (b) Box out the shower area and either pour concrete separately or plaster using Kerakoll Keracem or Rekord Pronto and/or Keralevel LR at a later date, after installing floor waste with JCS mount ring (as per diagram 1).

Existing Floors

The immediate shower area (e.g. 1.2m x 1.2m) will need to be either dug out entirely or at least chiselled out to a minimum depth of 40mm and the floor waste with JCS mount ring (as per diagram 1) will need to be installed to a depth of 25mm below floor level.

The shower area can then be plastered using Kerakoll Keracem or Rekord Pronto and/or Keralevel LR to provide a smooth transition from existing floor to floor waste

■ Walls

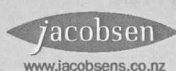
Aqualine Gib board finished to a paint finish and sealed with one coat of pigmented sealer is acceptable, but for commercial areas and anywhere that may be subjected to bangs and knocks we would recommend that Villaboard be used so as to provide a solid base.

The Villaboard should be installed using glue and screw fixing (do not use clouts) ensuring that the bottom of the sheet finishes hard against the floor, leaving no gaps larger than 5mm.

The stopping of the Villaboard should be carried out using "Villa Stop" available from Plaster Systems Ltd, or any Placemakers store.

Please ensure that the Gib Stopper is aware that a paint finish is required as anything less will provide an unsatisfactory finish.

As with Aqualine Gib board, Villaboard should be finished with one coat of pigmented sealer and sanded to provide a smooth surface.



www.jacobsens.co.nz

Auckland
228 Orakei Rd, Remuera
Ph 09 524 1460 - Fax 09 523 1047

Christchurch
314 Manchester Street, Christchurch
Ph 03 366 4153 - Fax 03 366 6660

Wellington
191 Thorndon Quay, Thorndon
Ph 04 495 4300 - Fax 04 472 8530



Installation Instructions

Wetroom Systems



Tarkett

Installation

Floors

Tarkett Eminent, Tarkett Granit Multisafe and Tarkett Granit

1. Sheets must be planned so as to avoid joins in immediate shower area.
2. Under no circumstances is a cross join acceptable.
3. All joins on the floor are to be thermowelded using matching weld rod.
4. All internal and external mitres must be of the butterfly method. Under no circumstances can the standard mitre be used in wet areas.
5. As we are using the butterfly method of mitre, fillet cove cannot be used, therefore pencil cove must be employed.
6. All mitres are to be thermowelded.

Floor Vinyl Coving Heights

mm	Used on Walls
0.200	Aqua-panel, Seratone, or similar
0.120 to 0.150	Tarkett Eminent, Granit or Optima
0.140 to 0.170	Tarkett Aquarelle Wallgard

Walls

Tarkett Eminent, Granit or Optima

1. All internal and external corners must be wrapped, not joined at these points.
2. Cross joins in wallcoverings are unacceptable.
3. All joins must be thermowelded, including the join between the floor and the wall.

Tarkett Aquarelle Wallgard

1. All internal and external corners must be wrapped, not joined, at these points.
2. Cross joins in wallcoverings are unacceptable.
3. Tarkett Wall/Floor Finishing Strip must be used at junction of wall and floor.
4. All joins must be thermowelded using the Tarkett Speed Welding Nozzle. The join between the Aquarelle Wallgard and the Wall/Floor Finishing Strip must be welded using Werner Mueller (available from Jacobsen Creative Surfaces Ltd).

It is imperative these Specifications are followed to ensure correct finishing of level access showers.

Accessory Products

Code

WRWSMTRING
PETLWNFFSW
DYSSC132
TATLSPWDNZ

Description

JCS Floor Waste Mount Ring
Tarkett Wall/Floor Finishing Strip
Werner Mueller - PVC Seam Sealer Type C (132g)
Tarkett Speed Welding Nozzle with Cleaning Brush

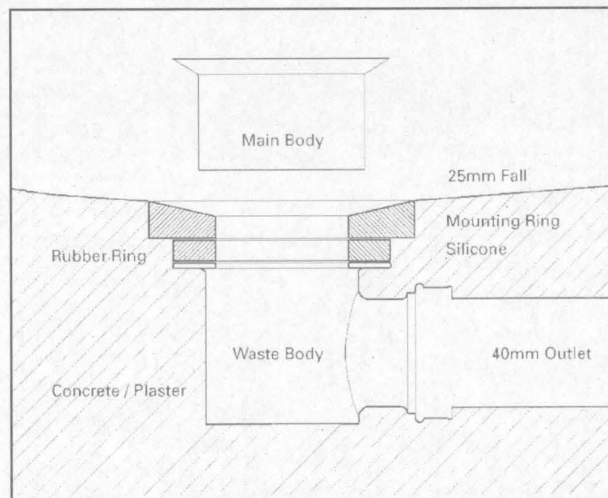


diagram 1 Waste Mount



Auckland
228 Orakei Rd, Remuera
Ph 09 524 1460 - Fax 09 523 1047

Christchurch
314 Manchester Street, Christchurch
Ph 03 366 4153 - Fax 03 366 6660

Wellington
191 Thorndon Quay, Thorndon
Ph 04 495 4300 - Fax 04 472 8530



Installation Instructions

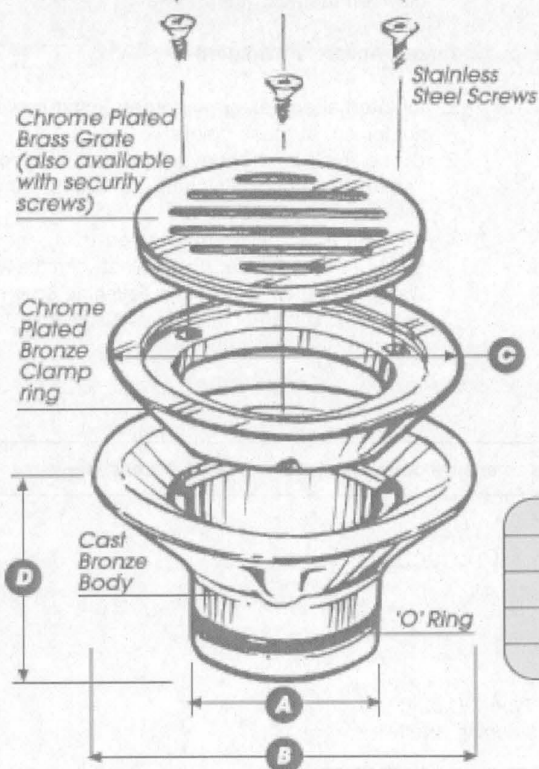
Wetroom Systems



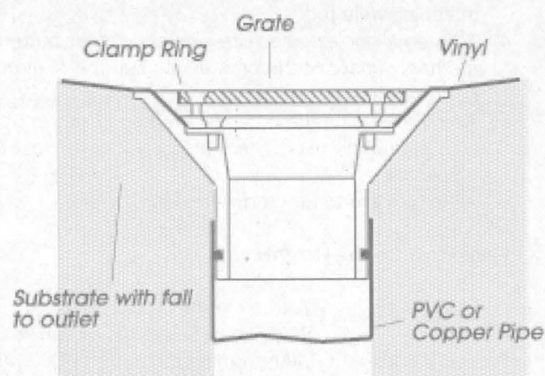
Tarkett

Vinyl Clamp Ring Grate

Exploded View:



Typical Installation :



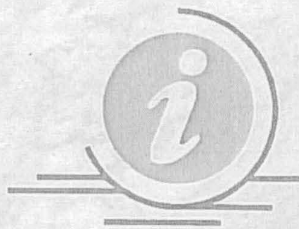
Data	50mm	80mm	100mm
A	50	75	100
B	115	150	170
C	95	130	145
D	55	60	55



Auckland
228 Orakei Rd, Remuera
Ph 09 524 1460 - Fax 09 523 1047

Christchurch
314 Manchester Street, Christchurch
Ph 03 366 4153 - Fax 03 366 6660

Wellington
191 Thorndon Quay, Thorndon
Ph 04 495 4300 - Fax 04 472 8530

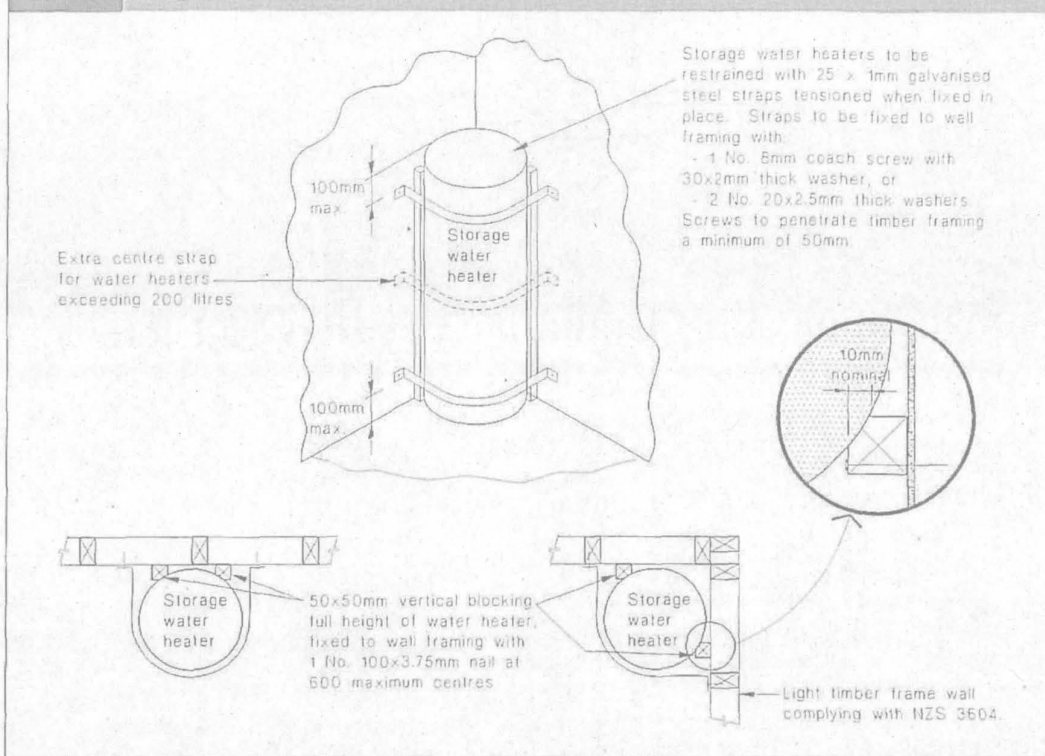


Recommendations for installation of safety rails etc...

- Ensure all fixings are secured and safe for the product to be attached to
- Toggle screws are not permitted
- Use stainless steel screws – for safety rails – a minimum of 8g x 40
- For folding and horizontal rails beside toilets 700mm is the recommended height, unless specified otherwise
- For horizontal rails when standing 900mm is the recommended height, unless specified otherwise
- For safety rails being fitted in wet areas, it is advisable to silicon around the screw holes before attaching to the wall
- Attaching rails to concrete or bricks, suitable masonry anchors should be used
- Extra precaution should be taken to avoid any plumbing and wiring in walls

Amend 5
Feb 2004

Figure 14: Seismic Restraint of Storage Water Heaters 90 – 360 litres
Paragraph 6.11.4



6.11.4 Structural Support

NZBC B1.3.2 requires *building elements* (including *storage water heaters*) to be adequately supported including support against earthquake forces. The method illustrated in Figure 14 is acceptable for *water heaters* up to 360 litre capacity. Where fittings and pipework are attached to the *water heater* through the supporting platform or floor a 50 mm minimum clearance shall be provided between the fitting and the support structure.

6.11.5 Another acceptable solution for securing *storage water heaters* against seismic forces is given in Section 203 of NZS 4603.

6.12 Hot water pipe sizes

6.12.1 The *diameter* of hot water supply pipes from *storage water heaters* and to *sanitary fixtures* shall be no less than those required by Table 4.

6.13 Wet-back water heaters

6.13.1 Wet-back *water heaters* shall be:

- Connected only to *open vented storage water heaters*, or a *water storage vessel* (see Figure 15), and
- Made of copper.

6.13.2 Copper pipework shall be used between the wet-back and the *water tank*.

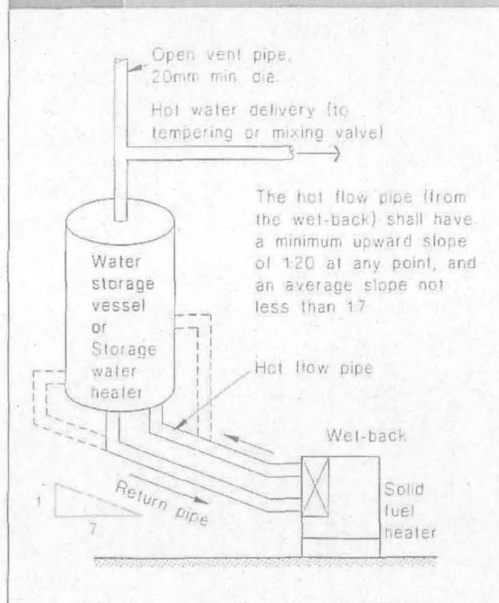
3rd Edition
Dec 2007

Amend 5
Feb 2004

Amend 5
Feb 2004

Amend 5
Feb 2004

Figure 15: Wet-back Installation – Open Vented System
Paragraph 6.13.1 a)



6.14 Safe water temperatures

6.14.1 Maximum temperatures

The delivered hot water temperature at any *sanitary fixture* used for personal hygiene shall not exceed:

- 45°C for early childhood centres, schools, old people's homes, institutions for people with psychiatric or physical disabilities, hospitals, and
- 55°C for all other *buildings*.

COMMENT:

- At greatest risk from scalding are children, the elderly, and people with physical or intellectual disabilities, particularly those in institutional care.
- Sanitary fixtures* used for personal hygiene includes showers, baths, hand basins and bidets.

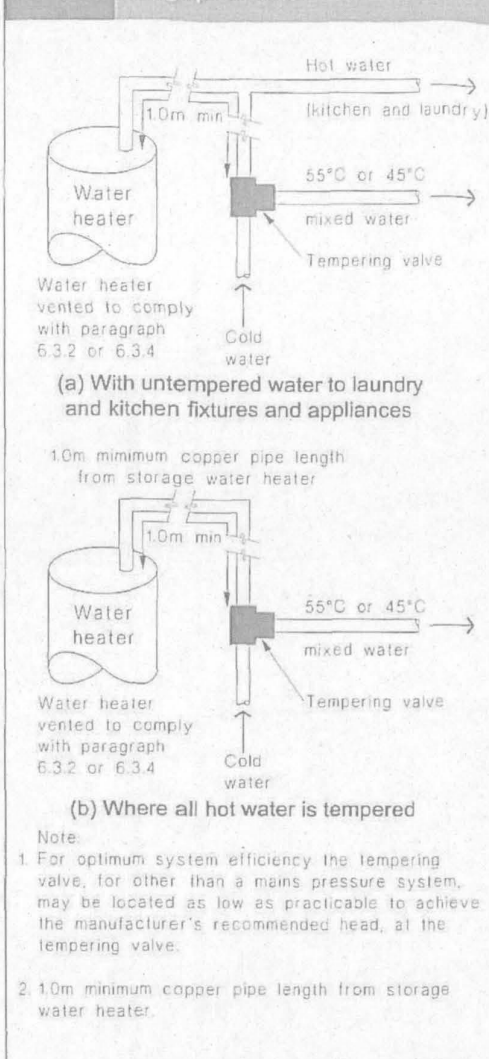
6.14.2 Hot water delivered from storage water heaters

- An acceptable method of limiting hot water temperature delivered from *storage water heaters* is to install a mixing device between the outlet of the *water heater* and the *sanitary fixture* (see Figure 16).

Amend 5
Feb 2004

Amend 5
Feb 2004

Figure 16: Tempering Valve Installation
Paragraph 6.14.2 a)

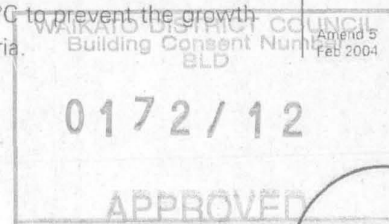


- Tempering valves shall comply with NZS 4617 or AS 1357.2.

6.14.3 Legionella bacteria

Irrespective of whether a mixing device is installed, the *storage water heater* thermostat shall be set at a temperature of not less than 60°C to prevent the growth of Legionella bacteria.

Third Edition
Dec 2007



Amend 5
Feb 2004