

Property File Request



Property File Request

PFR/2025/3435

ISSUED UNDER SECTION 44A OF THE LOCAL GOVERNMENT
OFFICIAL INFORMATION AND MEETINGS ACT 1987

APPLICANT DETAILS	
Applicant:	Teresa Marie Haley
Mailing Address:	113 Park Avenue, Waitarere Beach, Levin 5510
Phone:	0272421720
Email Address:	teresa.h@arizto.co.nz

LOCATION OF PROPERTY	
Site Address:	8 Rosedale Place Levin 5510
Legal Description:	Lot: 3 DP: 77974
Current Owner:	Jan Leonie Bevan
Valuation No:	1505036601
Area:	361 square metres more or less
R/T/Identifier:	WN44B/529
R/T/Date Issued:	25 October 1994

BUILDING CONSENTS/PERMITS PREVIOUSLY ISSUED AND HELD IN HOROWHENUA DISTRICT COUNCIL RECORDS

Building Consent and/or Permit	Purpose of Works	Date Approved	Code Compliance Certificate Issued
Building Consent 20000595	New residential two-story dwelling & separate single garage	07/08/2000	16/01/2004

QV indicates a dwelling was built circa 2000. QV hold no floor or site plans for the dwelling.

Note:

Code Compliance Certificate are not required for building permits issued prior to the Building Act 1991. Under the Act the owner is responsible for requesting final inspections and the issue of completed Code Compliance Certificates.

*the attached Report has been accepted by Horowhenua District Council (Council) as a record only. The contents of the report has not been validated or endorsed by Council. Receipt of the report by Council does not authorise or certify any building works undertaken without a building consent and Council is not obliged to make any decision or determination in relation to any unauthorised building work as a result of having received the report. Council does not accept any liability whatsoever for the content or accuracy of the report. No responsibility is accepted on behalf of any third party for the whole or any part of the contents of the report.

DISCLAIMER - The information supplied in a Property File Report represents information held by Horowhenua District Council (Council) and where supplied to Council by a third party, it may not have been independently verified.

Council does not warrant the accuracy of the information and shall not be held liable whatsoever for any error, inaccuracy or incompleteness of the information provided whether supplied by a third party or otherwise.

In the event that Council is held liable, liability shall be restricted to the cost of obtaining the Property File Report, if any. The applicant should not rely on any information without personally seeking appropriate independent and professional advice.

The information provided in this report does not constitute a Land Information Memorandum (LIM) or any similar document.

If you consider purchasing a property in the Horowhenua District, it is recommended that you obtain a LIM before finalising the purchase. You'll find a LIM useful in helping you decide whether the land is worth purchasing, free from any restrictions, and whether the intended use of the land is feasible.

<http://www.horowhenua.govt.nz/Services/Building-Planning/Land-Information-Memorandum-LIM#Information-included-in-a-LIM-Report-2>

Signed: _____



Jhardia Hemi
Information Specialist
3 September 2025

HOROWHENUA DISTRICT COUNCIL

13 Bath Street, Private Bag 4002, LEVIN, New Zealand. Telephone 64 6 949 4949, Fax 64 6 949 4963



CODE COMPLIANCE CERTIFICATE #00/00595/10

APPLICANT

Owners Name & Address:

Desmond Horace GROVES
8 Rosedale Place
LEVIN 5500

PROPERTY

Location:

8 ROSEDALE PLACE, LEVIN 5500

Legal Description:

SEC 1 SO 36566

Valuation Roll N°: 1505036601

CONSENT DETAILS

Description of Consent:

RESIDENTIAL
NEW TWO STOREY DWELLING.
NEW SEPERATE SINGLE GARAGE.

Intended Life:

Indefinite, but not less than 50 yrs

Or specified as years

Consent Type:

Floor Area: 117.00sq.m

Value: \$48000.00
(GST include)

This is ☒ A final code compliance certificate issued in respect of all of the building work under the above building consent.

☐ An interim code compliance certificate in respect of part only, as specified in the attached particulars, of the building work under the above building consent.

☐ This certificate is issued subject to the conditions specified in the attached page(s) headed "Conditions of Code Compliance Certificate N°....." (being this certificate).

Signed for and on behalf of the **Horowhenua District Council**

R. Sargent
COPY

DATE: 16 January 2004

L/357/8



HOROWHENUA DISTRICT COUNCIL

PRIVATE BAG 4002, LEVIN.

Telephone: (06) 949 4949

Fax: (06) 949 4963

Email: building@horowhenua.govt.nz

D. Groves
8 Rosedale Place
LEVIN

BUILDING CONSENT No.

00/595

BUILDING ASSESSMENT REPORT

This report is to confirm progress inspections on your building project.

Date	Item	Comments	Appr'd
13.5.03	☐ Siting	* Cladding warranties to be submitted for the materials & application of the plaster finish.	
	☐ Footings		
	☐ Sub-Floor		
	☐ Concrete Slab Pre-pour	* Horizontal facing & plaster junction to be sealed & suitably painted for weathertightness.	
	☐ P & D Sub-Floor		
	☒ Wall Framing		
	☒ Structural Connections		
	☒ Roof Framing	* Random shrinkage cracks to be raked out & sealed & painted.	
	☐ Timber Moisture		
	☒ Bracing	* Bedroom sill to be flashed where no cover provided over slab edge.	
	☐ Insulation		
	☒ Internal Services	* Provide internal gutter to chimney/roof junction.	
	☐ External Services	(It may be feasible to return a roof tile with built in fall to divert to spouting.)	
	☒ Exterior Cladding		
	☐ Fire & Egress		
	☐ Other (specified)		
	☐ Final Inspection		

Inspector:

J.P. Bata

Site Address:

A.A

L1357/8



HOROWHENUA DISTRICT COUNCIL

PRIVATE BAG 4002, LEVIN.

TELEPHONE: (06) 368-7189
FAX: (06) 367-9212

D. Groves

BUILDING CONSENT No.

00/595

BUILDING ASSESSMENT REPORT

This report is to confirm progress inspections on your building project.

Date	Item	Comments	Appr'd
2-11-00 New dwg.	☐ Siting ☐ Footings ☐ Sub-Floor ☐ Concrete Slab Pre-pour ☐ P & D Sub-Floor ☐ Wall Framing ☐ Structural Connections ☐ Roof Framing ☐ Timber Moisture ☒ Bracing ☐ Insulation ☐ Internal Services ☐ External Services ☒ Exterior Cladding ☐ Fire & Egress ☐ Other (specified) ☐ Final Inspection	Bracing nail patterns excellent ✓ As per schedule. Solid plastering- making good progress. Water cured. Excellent work.	

Inspector:

J.P. Ball

Site Address:

236 Haverhill

8/1357/8



HOROWHENUA DISTRICT COUNCIL

PRIVATE BAG 4002, LEVIN.

TELEPHONE: (06) 368-7189
FAX: (06) 367-9212

D. Groves

BUILDING CONSENT No.

00/595

BUILDING ASSESSMENT REPORT

This report is to confirm progress inspections on your building project.

Date	Item	Comments	Appr'd
26.9.00	☐ Siting ☐ Footings ☐ Sub-Floor ☐ Concrete Slab Pre-pour ☐ P & D Sub-Floor ☒ Wall Framing ☒ Structural Connections ☒ Roof Framing ☐ Timber Moisture ☐ Bracing ☐ Insulation ☐ Internal Services ☐ External Services ☐ Exterior Cladding ☐ Fire & Egress ☐ Other (specified) ☐ Final Inspection	V-Good framing. *Advice for prelite inspection. *Piped water test required 1500 kPa 30 mins minimum.	✓

New
dig.

Prelim
frame
check.

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Inspector:

J.P. Ball

Site Address:

8 Rosedale



HOROWHENUA DISTRICT COUNCIL

PRIVATE BAG 4002, LEVIN.

TELEPHONE: (06) 368-7189

FAX: (06) 367-9212

D. GROVES & SONS LTD

BUILDING CONSENT No.

00/595

BUILDING ASSESSMENT REPORT

This report is to confirm progress inspections on your building project.

Date	Item	Comments	Appr'd
24.8.00	☐ Siting	Thickened edge slab.	
8.45AM	☐ Footings	All pipe penetrations	
	☐ Sub-Floor	logged O.K.	✓
	☐ Concrete Slab Pre-pour	1 strip of poly to be	
	☐ P & D Sub-Floor	placed along thickened	
	☐ Wall Framing	edge. All reo in situ.	
	☐ Structural Connections	Final placement of	
	☐ Roof Framing	chairs required.	
	☐ Timber Moisture	Good prep	
	☐ Bracing	Poly & reo O.K.	✓
	☐ Insulation	* but provide 6 dia	
	☐ Internal Services	starters to chimneys	
	☐ External Services		
	☐ Exterior Cladding		
	☐ Fire & Egress	OK to pour	✓
	☐ Other (specified)	when ready.	
	☐ Final Inspection		

Inspector:

J.P. Bath

Site Address:

8 Rosedale

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HOROWHENUA DISTRICT COUNCIL

PRIVATE BAG 4002, LEVIN.

TELEPHONE: (06) 368-7189

FAX: (06) 367-9212

D Groves
8 Rose date Place
Levin

BUILDING CONSENT No.

00/595

BUILDING ASSESSMENT REPORT

This report is to confirm progress inspections on your building project.

Date	Item	Comments	Appr'd
28/2/01	☐ Siting ☒ Footings ☐ Sub-Floor ☐ Concrete Slab Pre-pour ☐ P & D Sub-Floor ☐ Wall Framing ☐ Structural Connections ☐ Roof Framing ☐ Timber Moisture ☐ Bracing ☐ Insulation ☐ Internal Services ☐ External Services ☐ Exterior Cladding ☐ Fire & Egress ☐ Other (specified) ☐ Final Inspection	very good	yes
Inspector: <i>al</i>	Site Address: <i>as above</i>		

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Solid Plasterers

Neil Reynolds

WARRANTY of WORKMANSHIP

Date of completion work 15/10/2000

To DESMOND GROVES,

This is your 20 year warranty on my workmanship for the solid plastering of your home at 8 Rosedale Place Levin. It covers the standard of workmanship and the adherence to the details and specification of the plaster work only; as covered in accordance with NZS 4521.1 : 1998

It does not cover any problems arising from : Damage done by others or failure through poor maintenance or shrinkage of timberwork, poor flashings, ground settlement, or any other cause out of my control, or the failure of a system designed by others that has been accepted by 'Building Authorities' and approved by Council Building Departments. In other words seen as 'accepted trade practice' at the time of execution.

I thank you for intrusting us with this work, and should I be able to help you in the future please do not hesitate to contact me.

Yours sincerely



Neil Reynolds

L/357/8

HOROWHENUA DISTRICT COUNCIL

13 Bath Street, Private Bag 4002, LEVIN, New Zealand. Telephone 64 6 368-7189, Fax 64 6 367-9212



BUILDING CONSENT #00/00595/10

ISSUE IN ACCORDANCE WITH PROJECT INFORMATION MEMORANDUM #00/00595/10

APPLICANT/CONTACT	CONSENT DETAILS
Owners Name & Address: Desmond Horace GROVES [REDACTED]	Description of Consent: RESIDENTIAL NEW TWO STOREY DWELLING. NEW SEPERATE SINGLE GARAGE.
Contact Name & Address: Desmond Horace GROVES [REDACTED]	Intended Life: Indefinite, but not less than 50 yrs Or specified as years
PROPERTY	Consent Type: RESIDENTIAL
Location: 8 ROSEDALE PLACE, LEVIN 5500	Floor Area: 117.00
Legal Description: LOT 3 DP 77974	Accepted Value: \$ 48000
Valuation Roll N°: 1505036601	Receipt Number: 0460505 Date: 07/08/2000

This building consent is a consent under section 35 of the Building Act 1991 to undertake building work in accordance with the attached plans and specifications so as to comply with the provisions of the building code. It does not affect any duty or responsibility under any other Act nor permit any breach of any other Act.

This building consent is issued subject to the conditions specified in the attached pages, headed "Conditions of Building Consent No / "

Signed for and on behalf of the Horowhenua District Council

COPY
COPY

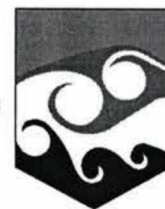
ALL
INBUILT or FREE STANDING
WOODBURNERS
REQUIRE ADEQUATE
SEIZMIC RESTRAINT

DATE: 7 August, 2000

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HOROWHENUA DISTRICT COUNCIL

13 Bath Street, Private Bag 4002, LEVIN, New Zealand. Telephone 64 6 368-7189, Fax 64 6 367-9212



PROJECT INFORMATION MEMORANDUM

00/00595/10

APPLICANT	PROJECT
Applicant Name & Address: Desmond Horace GROVES [REDACTED]	Description of Project: RESIDENTIAL NEW TWO STOREY DWELLING. Est. Value: \$ 48000

PROPERTY	
Location: 8 ROSEDALE PLACE LEVIN 5500 Receipt Number: 0460505 Date: 07/08/2000	Legal Description: LOT 3 DP 77974 Valuation Roll No: 1505036601

This project information memorandum is:

- ☒ Confirmation that the proposed building work may be undertaken, subject to the provisions of the Building Act 1991 and any requirements of the building consent.
- ☐ Notification that the proposed building work may NOT be undertake because a necessary authorisation has been refused.

The following attachments are provided from existing Council records. You should also seek information from relevant power, gas and telecommunication network operators.

- ☒ Information identifying relevant special features of the land concerned.
- ☒ Information about the land or buildings concerned notified to the Council by any statutory organisation having the power to classify land or buildings.
- ☒ Details of relevant utility systems.
- ☒ Details of authorisations which have been granted.
- ☒ Notification of any other authorisations which must be obtained before the proposed building work may be undertaken
- ☒ Details of authorisations which have been refused.

Signed for and on behalf of the **Horowhenua District Council**

COPY

Date: 7 August 2000

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HOROWHENUA DISTRICT COUNCIL

Drainage and Plumbing Plan

Valuation No. 15050 366 01.

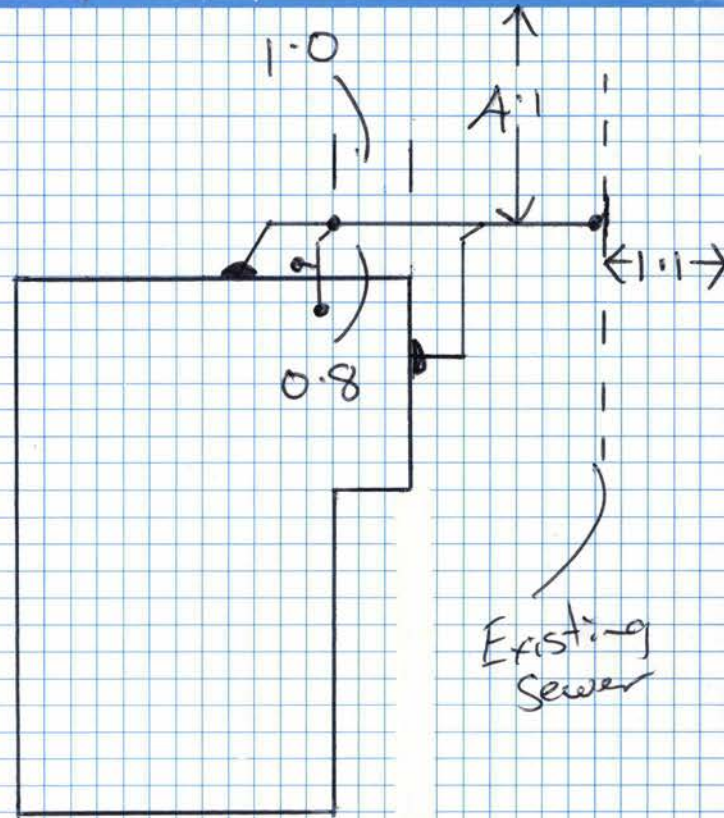
Permit No. 00/595.

Name of Owner D. H. Groves

Street 8 Rosedale Place

Sewerage Connection No. _____

Description of Property: LOT 3 D.P. 77974. SEC. _____



STREET FRONTAGE

Scale 1—100

Application Approved.

Drainage and Plumbing Inspector.

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Registered Plumber and/or Drainlayer

Date _____

Permit Issued _____, 19_____

SPECIFICATIONS For DESMOND GROVES AT 6 GROSEDALE PLACE LEVIN

☐ **BUILDING CONTRACT**

Shall be carried out under NZS 3901 : 1974 Agreement for small building contracts.

☐ **INSURANCE**

The builder will arrange all insurances as required under NZS 3901:1974.

☐ **BUILDING CONSENT**

The owner or their appointed agent shall be responsible for the application of a **building consent** and all charges and fees associated with the application.

☐ **INTERPRETATION**

Workmanship shown on plans, and otherwise specified or not shown , must be applied as though both shown and specified, or alternatively, constructed to accepted trade practice. Materials shown but not specified must be of a kind commonly employed for the service it is intended to perform . All figure dimensions shall be taken in preference to those scaled and all detail drawings shall supercede those of a smaller scale .

The specifications are to be read in conjunction with the accompanying drawings and to be followed in conjunction with NZS 3604 /1990, NZSS 1990 and common trade practices.

Base heights as shown on plans may vary from final heights on site and the builder shall be held responsible for such variations.

☐ **SITE PREPARATION**

Remove vegetation, tree roots and 150mm of top soil within the area to be covered by the building.

☐ **CLEARING OF SITE**

It is the builders responsibility to ensure that all trade waste is removed from site.

☐ **CONCRETE FLOOR SLAB**

The concrete slab shall have a minimum thickness of 100mm. Mixing and placing shall comply with NZS 3109 and to have a minimum compressive strength of 17.5 Mpa at 28 days. The slab to be reinforced with HRC 665 and the top cover over the steel shall be not less than 30mm or greater than 35mm. Concrete slabs to be tied to footings with D10 rods at 600 centers. All footings to contain a minimum of three D12 rods. All rods to have a minimum of 75mm of concrete cover. Site mixed concrete shall consist of an approved brand of portland

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cement in fresh condition . All sand to be clean and sharp and aggregate shall be broken 20mm gauge metal . The mix shall be one part cement , two part manufactured sand, three parts broken 20mm gauge metal.Mix shall be placed immediately after mixing and well rammed.

☐ HARDFILL

Use only approved granular fill material complying with E5.2 and to be placed in layers not less than 75mm and not more than 600mm, well compacted, and blinded off with not less than 5mm of sand.

☐ MOISTURE CONTROL

A vapour barrier shall be placed between the fines and the concrete slab.(see details on plan). This shall be continuous over the entire floor area and be adequately sealed around service pipes and other projections. The barrier shall be 0.25 polythene sheeting and laid in the longest widths and lengths available, and shall be lapped a minimum of 100mm , and sealed with polythene backed pressure sensitive tape.

☐ FRAMED WALLS.

☐ DAMP COURSE

Fix three ply damp course between all concrete or brick and adjacent woodwork.

☐ FRAMED WALLS TO CONCRETE FIXING

Bottom plates of exterior framed walls shall be secured to the floor slab by 10mm bolts or pins bedded in at least 150mm of concrete. Fixing shall not be placed at more than 1.4 m centers. Internal partitions excepting sheet bracing walls may be fixed with approved 4mm disc fitted shot fired fasteners.

☐ GENERAL FRAMING

100X50 No.1 Boric treated planer gauged.

Exterior studs at 400 centers

Interior studs at 600 centers

Two rows of dwangs upstairs .Three rows ground level.

☐ WINDOW LINTOLS

(Except where girder trusses are supported)

Single or top floor only, lightweight roof.

			Supporting up to 8 metres	Supporting up to 12 metres
0.00 to 0.95	use	double	100x50	125x50
0.95 "	1.55 "	"	125x50	150x50
1.55 "	2.45 "	"	150x50	200x50
2.45 "	3.05 "	"	200x50	250x50
3.05 "	3.65 "	"	250x50	300x50
3.65 "	4.80 "	"	300x50	_____

Or as Shown on Plan

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See also the bracing schedule for wall bracing elements that may require cut in angle braces. Wall bracing types listed under interior linings.

☐ **ROOF FRAMING**

The main structure of the roof has been calculated and a cutting list provided. These lists form part of the plan. Care must be taken to use the material size shown on the plan or cutting list otherwise the dimensioning will be incorrect. In essence the planned gauged material is the older green gauged 94x47 type not Timeframe and the rough sawn has been calculated using the full call size, unless shown otherwise.

☐ **SOFFITS AND FASCIA**

Are all detailed on the plan.

☐ **ROOF SHEATHING**

The 50 Deg. sections are sheathed with Gerard Oberon shingles to be fixed to the manufacturer's specifications by an approved fixer and to carry the normal guarantees. The flat roof section is Butynol over 12mm Structex all the preliminary work to be done to the fixer's specifications so that he can cover this work under his own guarantees.

☐ **EXTERIOR WALL SHEATHING**

The breather type building paper shall lap over both bottom and top plates (carried above the soffit line before framing soffits).

- **SOLID PLASTERED WALLS.** The 40 mm POLYSTYRENE sheets shall be all fixed in accordance with the manufacturer's exterior cladding system technical information brochure with particular attention to their relief joints, using their tapes & in-seals, caps & flashings on all joints and interior & exterior corners.
- All of this work is to be covered with a company warranty..

☐ **INSULATION**

Install R2.4 AHI batts to Flat ceilings and 40 mm Polystyrene over the close sarking of the chapel ceilings and R1.6 batts to the exterior walls in accordance with NZS 4218P., NZS 4214 & Branz paper C1 1978.

☐ **ALUMINIUM WINDOWS**

Shall be of approved make, colour to be selected by owner. Opening sashes to have friction stays and catches. Sizes to be overall shown on plan and to have factory fitted jamb liners. All aluminium window head flashings shall accurately fit the work.

☐ **INTERIOR LININGS**

Except for wet walls and walls designated as bracing panels requiring the use of GIB BRACELINE (See below), all walls are to be lined with 9.5 GIBRALTER BOARD and ceilings to be lined 12.5 GIBRALTER BOARD. All fixed

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and stopped as per the manufacturers specifications at a maximum fixing line of 600 centers. finish to paint quality standard and paper with a good quality lining paper.

- WET WALL LININGS.

LAMIWAL or FORMICA wall board as to be selected by the owner. To be cemented continuously to the backing material or studs & dwangs with ADOS F2 CONTACT CEMENT complying to the directions on the can. All edges that are subject to moisture penetration to be sealed with boiled linseed oil or a suitable propriety sealer designed for the job.

❑ BRACING PANELS

CARE WHEN LINING! must be taken to comply to the nominated bracing panel elements that have their position marked on the bracing plan and their brace type listed in the bracing schedule. For your convenience the various bracing types are listed below, one or a number of which will be specified in the bracing schedule.

- GIB 1 standard 9.5 GIB on one face plus a cut in metal angle brace.
- GIB 2 " " " " two faces " " " " " "
- GIB 3 " " " " " " not less than 1.2 long. N/A
- BR 1 GIB BRACELINE on one face(as per length shown in schedule)+ angle brace
- BR 2 " " " " " " Vertically fixed (no angle brace)
length shown in schedule.
- BR 3 All as above but horizontally fixed.
- BR 4 GIB BRACELINE,one face (length in schedule) 6kn metal strap anchor each end.
- BR 5 All as above (only the element length has changed).
- BR 6 GIB BRACELINE one face, standard GIB on other. Two 6kn. or one 12 kn. metal strap anchor each end.
- BR 7 GIB BRACELINE one face, 7.5 mm ply on the other , length as indicated on bracing schedule . 6kn metal strap anchor each end.

All the above is to be read along with the WINSTONE WALLBOARDS LTD brochure called GIB BOARD WALL BRACING SYSTEMS available from the suppliers of the product.

❑ KITCHEN JOINERY

It will be the owners responsibility to choose their preferred kitchen specialist giving them a full choice in regards style, finish and price and supply any necessary details to the builder before the signing of this contract. The location of the units such as sink, stove, fridge pantry etc. shown on the plan may vary in the final design after consultation between the kitchen specialist and the owner. Whether the builder or the joiner installs the units is also to be clarified .The manufacturer of the units is to supply the builder with the necessary details for positioning of waste pipes, dwangs etc.before commencement of the job.

❑ INTERIOR DOORS

Pale rimu veneer flush doors clashed one side, hung in ex 150x50 rebated pale rimu slimline jambs with one and a half prs. of 75mm bronze finish loose pin butt hinges. Door widths as shown on plan.

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☐ **EXTERIOR DOORS**

- GARAGE VEHICULAR ENTRY DOOR. - AHI SECTIONAL. Sheathed with 75x20 t.g.v. cedar . Electronically operated.
- GARAGE SIDE DOOR. 1980X810 FRAMED AND LEDGED exterior quality hung in frame with sill on one and a half prs. of 100mm fixed pin galv. butt hinges.
- REAR ENTRY DOOR 1980X810 exterior four light joinery door hung in frame with sill on one and a half pr. of 100mm fixed pin galv. butt hinges.
- FRONT ENTRY DOOR. 1980X860 EXTERIOR COLONIAL joinery door hung in purpose built frame with side light as shown on plan.

☐ **DOOR HARDWARE**

- Exterior doors- Heritage range lock sets with deadlocks.
- Bathroom and W.C.- SIERRA Y SERIES Y40S Privacy locks- Antique brass
- Wardrobes -SIERRA Y SERIES Y170 Antique brass
- All other internal doors - SIERRA Y SERIES Y10S Passage latchsets .

☐ **FINNISHINGS**

- Skirtings No. 20 60mm single bevelled.
- Cornice No. 7 30mm bevelled cornice.

☐ **WARDROBES**

Fix ex 300x25 full length shelf at door height and full width shelf at 1700mm from floor supported on ex 150x25 cleats housing 20mm galv.pipe coat rail.

☐ **HOT WATER CUPBOARD**

Build removable slat shelving out of ex 75x25 spaced approx. 15mm apart at intervals of 400mm.

☐ **COAT CUPBOARD**

Fit two shelves and six coat hooks.

☐ **CEILING ACCESS**

Form a 600x600 mm manhole in ceiling where indicated on plan, line with dressed timber and finish off with No.18 40mm double bevelled architrave.

☐ **BATHROOM & W.C.**

Build cradle for bath with toe space and form waterproof splash back above the bath and line the front apron with wet wall lining to the owners choice and using the appropriate PVC bathmould and internal extrusions and cappings designed for the work and prepared and fixed as already mentioned under wet wall linings. Supply and fix towel rails , soap holders , toilet roll holders and fit and fix vanities of the owners choice. Supply and fix 800x800 mirror positioned to the owners approval.

Supply and fit a 900x900mm ENGLEFIELD CABANA acrylic shower system where shown on plan complete with clear hinged door. See also sanitary fittings under PLUMBER.

☐ **PLUMBER**

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- GENERAL

All work shall be carried out in accordance with the specifications , local authority and public health regulations. Approved NZ manufactured materials are to be used wherever possible . all materials are to be approved manufacture . Water pipes shall be set out in straight runs avoiding all places where air locks are likely to occur.

- FLASHINGS

Flash as necessary to render building watertight . All flashings shall accurately fit the work and shall be machine bent and cut in as long lengths as possible with all joints well lapped and fixed.

- ROOF

Flash all vents , chimneys and other upstands through roof.

SPOUTING & DOWNPIPES

See roof sheathing.

- WASTES.

Join W.C. pan to drain above the level of the floor with a spun yarn ring sealed with mastic or other approved material which will provide a non rigid gas tite joint. Fix toilet basin with 32mm polypropylene trap and copper or rigid p.v.c.waste pipes to ground level with an approved floor flange. All other wastes shall be either screwed galvanized iron , pvc or copper pipes, with polypropylene traps and cleaning eyes. Bath and wash tub wastes shall be 38 mm in diameter . Sink wastes shall not be less than 38mm in diameter. Where waste pipes terminate this will determine position of the drainage gully traps, not as indicated on site plan.

- COLD WATER SUPPLY.

Lay cold water supply from point in 18mm diameter galvanised, 20mm pvc , 20mm copper , or 20mm polybutylene pipe buried not less than 400mm. Take 20mm polybutylene feed with 15mm branches (copper, where branches rise up through walls) to bath, shower, basins, sink, tubs, washing machine , w.c. flushing system and to the front and rear exterior hose taps giving the shower priority feed.

- HOT WATER SUPPLY.

Supply and fix 250 litre 3kw hot water cylinder of approved type and manufacturer , complete with lagging and galvanised iron casing. Connect copper or polybutylene expansion pipe . Also provide lagged exhaust pipe between cylinder and through roof .Connect 15mm diameter , copper or polybutylene sludge pipe with screw cap to g.t.. Take 20mm polybutylene feed from HWC with 15mm branches (Copper , where branches rise up through walls) to showers ,baths, basins, tubs and washing machine. Lagg all hot water pipes.

- TAPS

Taps should be chromium plated streamlined pattern of owner approved manufacture marked HOT & COLD with 15mm bibs to bath, 15mm pillar

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cocks to basins , 15mm bibcocks to tub , 15mm stopcocks to w.c. and washing machine and 15mm brass hose taps. Provide TOPLISS ,FELTON or approved mixer to showers. Provide 15mm faucet to sink bench.

- **SANITARY FITTINGS**

Supply and fit owners choice of bath and vanity unit . Fix chrom.plugs and gratings to all fittings . Supply and fix owners choice of glazed earthenware w.c. pan and fit with double flap rigid plastic seat and low down flushing cistern. Supply and fit stainless steel tub to laundry with cupboard under. See also under BATHROOM & WC .

❑ **DRAINLAYER**

SEWER CONNECTION:

Arrange with local authority to lay sewer connection . The material used must be the best of their respective kinds and all work to comply to the local body requirements and good trade practice.The 100mm PVC drains shall be laid in straight lines and to even gradients and be properly cleaned out as work proceeds .Fix 100mm gully traps to take wastes ,and 100mm bends to take soil pipe , terminal vents , etc. The position of drains may vary from those shown on the drainage plan if it is to the benefit of the job and to the agreement of both the plumber and the drainlayer .

STORMWATER DRAINS.

Fix 100mm PVC stormwater bends to each downpipe and pipe to the local body approved connection or soakage system clear of the house site as required by the local authority.

❑ **ELECTRICIAN**

Give all necessary notice to the supply authority and obtain any necessary permits for the permanent supply of electric power to the building.

Allow for overhead/ underground supply to a point of entry which shall be determined by the local authority engineer. Provide and install exterior meter box and interior fuse box .

All installations shall be made in a sound ,safe practical and workmanlike manner in conformity with modern practice in accordance with the wiring regulations 1961 and to the satisfaction of the local authority.

Switches and plugs shall be flush type with boxes adequately backed and screwed so they fit neatly to the wall and all cables shall be C.M.A. brand or similar approved and to be placed in protected positions not likely to be damaged by subsequent tradesmen. Cables shall not be embedded in concrete or plaster work. Switches for lights to be fixed generally adjacent to the opening side of doorways approx. 1350mm from floor.

- **DOUBLE POWER POINTS** to be 10 amp. located where directed by the owner and positioned 300mm from the floor and 1200 from the floor in service areas such as laundry , kitchen etc. where they occur above ironing boards, bench tops washing machines etc..

- **LIGHTS**

Allow P.C. Sum of \$1000.00 for the supply only of light fittings to be chosen by the owner. Allow in addition for fixing and connecting.

- **T.V. POINTS**

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Supply two t.v. points where directed by the owner.

- **ELECTRIC RANGE**

Allow P.C. Sum of \$1500.00 for the supply only of a electric range of the owners choice . Allow in addition to take delivery and fix in position ; provide range point with approved isolating switch.

- **TELEPHONES**

Telephones are to be installed in dining room and bedroom 1.

- **DOOR CHIMES**

Supply and fix front and rear door chimes.

- **SMOKE ALARM.**

Supply and fix smoke alarm in hallway between living and sleeping area.

- **EXTERIOR LIGHTS**

Supply and fix exterior security lights above both front and back doors.

□ PAINTING AND DECORATING.

GENERAL

All materials shall be of the best kind and applied in accordance to the manufacturer's specifications especially in regards to the priming or sealing , sanding etc. that may be required to prepare the new surface for the product involved. Wash, dust or otherwise clean down all surfaces . Remove all imperfections to the surface by filling with an accepted putty or filler designed for the work entailed. Protect all work against adjacent surfaces and damage . All of this work to be done to the satisfaction of the owners.

- **EXTERIOR WOODWORK (PAINTED)**

One coat of oil based primer , one coat of oil based undercoat and one coat of exterior quality gloss finish enamel. Colour to be chosen by owner.

- **EXTERIOR WOODWORK (STAINED)**

Cedar timber to be finished with 3 coats of top quality low sheen oil stain .

- **EXTERIOR METAL WORK.**

To be previously zinc sprayed or galvanised, free of moisture and scale, to given one coat off zinc chromate or metal primer, one coat of exterior undercoat and one coat of exterior enamel.

- **SOFFITS & VERANDAH CEILINGS.**

Two coats of RESENE P.V.A. paint

- **TIMBER DECKS**

All deck timber to be given two coats of a see-through good quality deck stain such as WATTYL DECK STAIN.

INTERIOR WORK

- **CEILINGS**

Flat ceilings to have two coats of P.V.A flat paint. Walls and ceilings in the service rooms shall be scuff sanded and sealed then papered

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with a good quality lining paper and given two liberal coats of TAUBMANS LIVING PROOF vinyl paint of the owners choice of colour.

- INTERIOR WOOD WORK.

All woodwork , including doors , jambs, cornice , skirting etc. to be given two coats of approved sealer . Use tinted stopping to match finished work ; sand down between coats with fine sandpaper , dust off ; then apply two coats of approved gloss clear varnish.

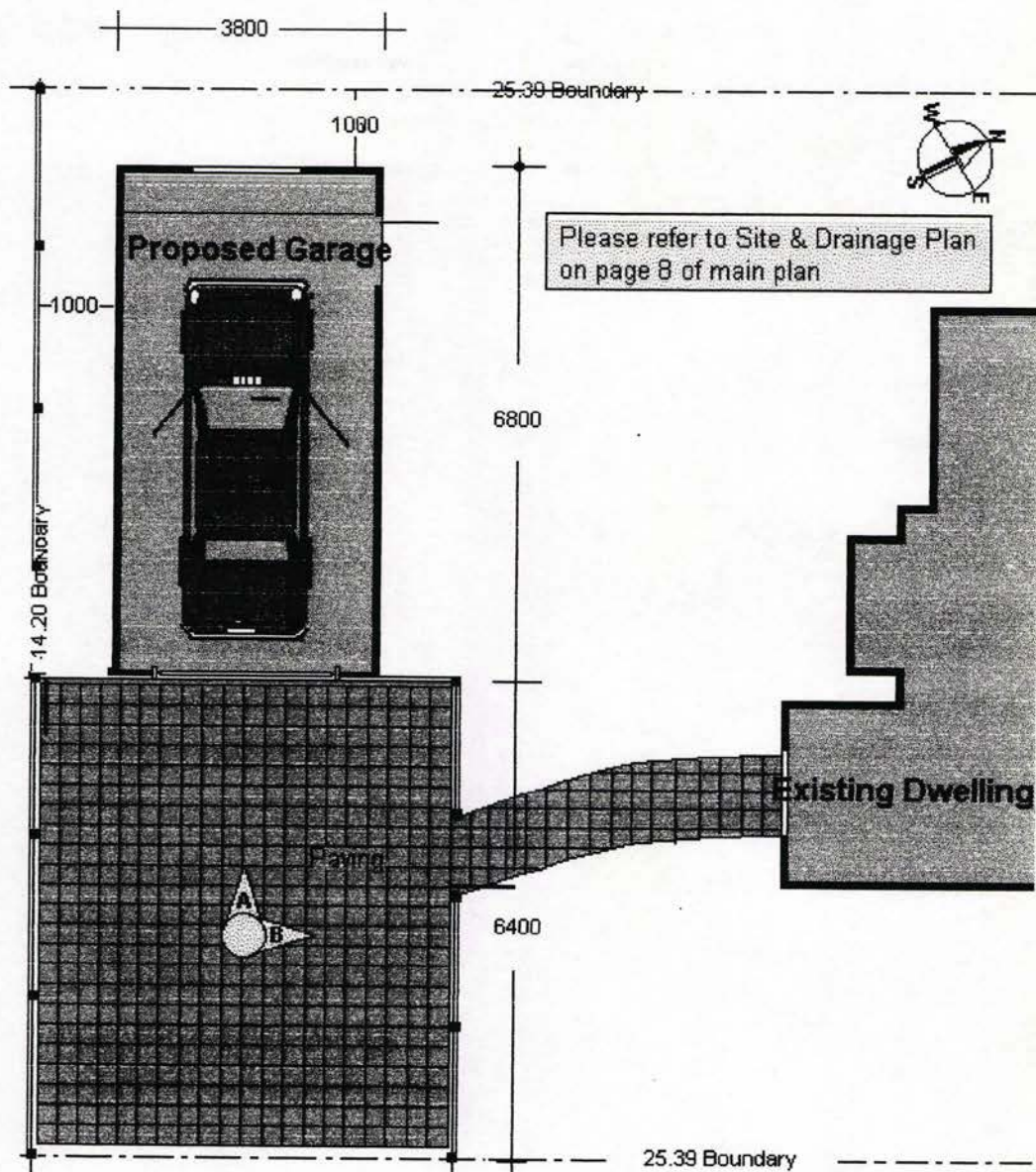
- INTERIOR WALLS.

To be the owners choice between vinyl painted walls over a good quality lining or textured paper ;or wallpaper. Difference in price to be stated at time of quotation.

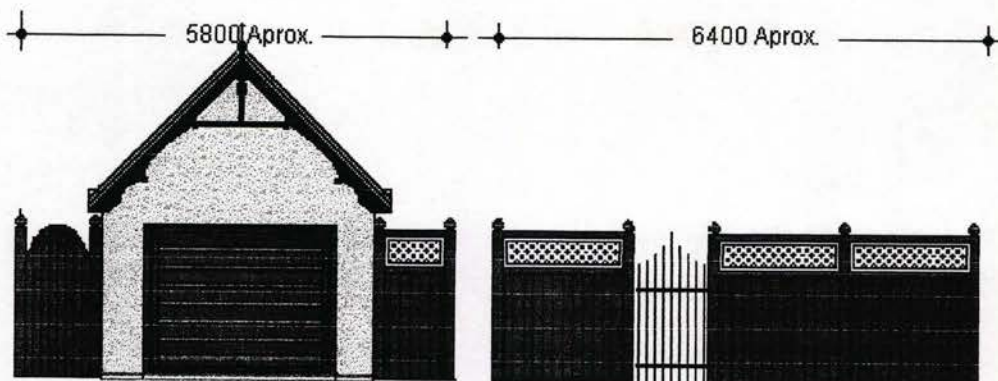
- MAKING GOOD.

Make good at the completion of the contract before the handing over , any damage done to the surfaces; clean down all work , glass etc. leaving the job in a satisfactory and acceptable condition for the owner.

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ROSEDALE PLACE



View A

Garage Front & Fence

View B

PROPOSED GARAGE FOR D.H.GROVES
AT 6 ROSEDALE PLACE LEVIN

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**PROPOSED GARAGE FOR
D.H.GROVES
AT 6 ROSEDALE PLACE LEVIN**

SPECIFICATIONS

PLEASE READ IN CONJUNCTION
WITH MAIN SPECIFICATION AND
SITE PLAN SUBMITTED WITH THE
ORIGINAL APPLICATION FOR A
BUILDING CONSENT

SITE PREPARATION

Remove all tree roots, vegetation and
top soil within area covered by
structure

FOUNDATION & SLAB

Concrete to have a minimum strength
of 17.5 Mpa at 28 days. All to comply
with NZS 3109 and laid as per Detail 1
on this plan.

WALL FRAMING

To consist of 100x50 No.1 Framing, to
sit on 3 ply dampcourse with studs at
450 centers and contain two rows of
dwangs. A double 150x50 Lintol
supported by double door studs to be
placed camber up over Tilta door.

ROOF FRAMING

To be either Pryde or Gangnail trusses
at 900 centers to manufacturers
design.

WALL SHEATHING

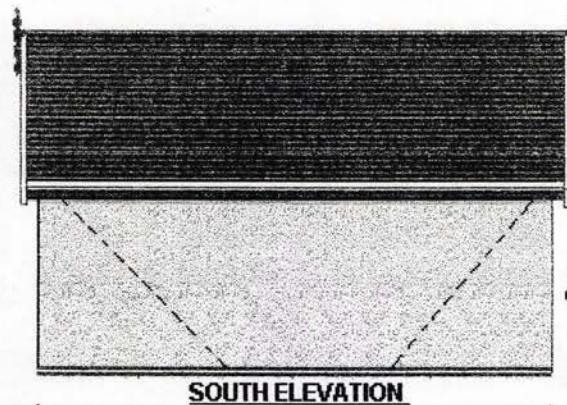
Solid plaster over netting & 40mm
Polystyrene as per master specification
previously submitted.

ROOF SHEATHING

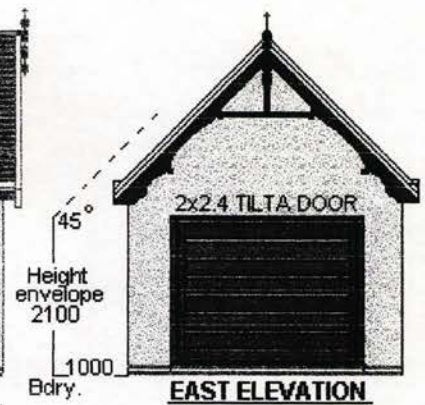
Gerard Oberon Shingles to match
existing roof of house.

BRACING

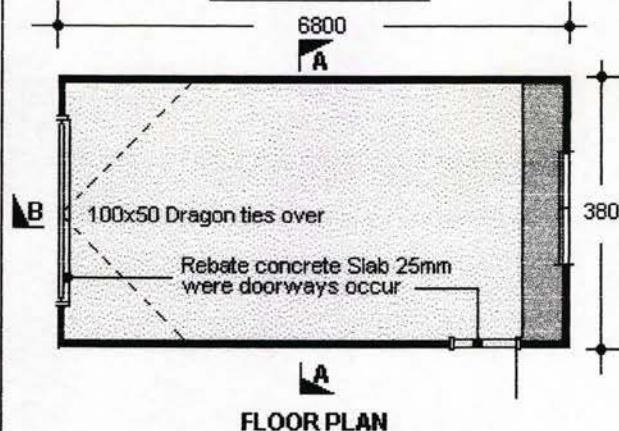
As per Bracing Schedule
attached



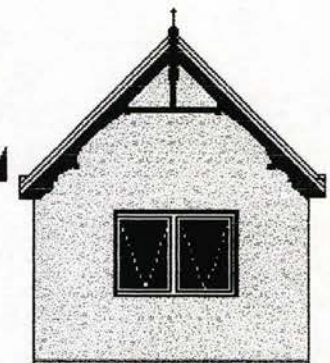
SOUTH ELEVATION



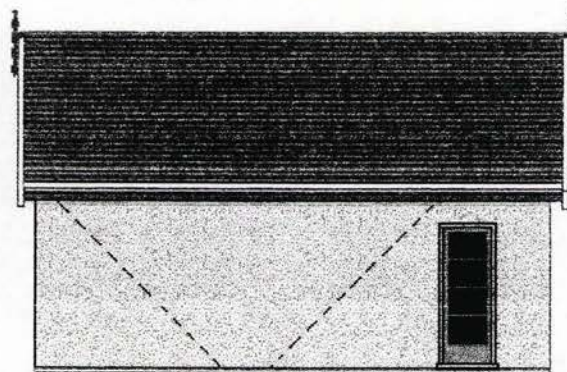
EAST ELEVATION



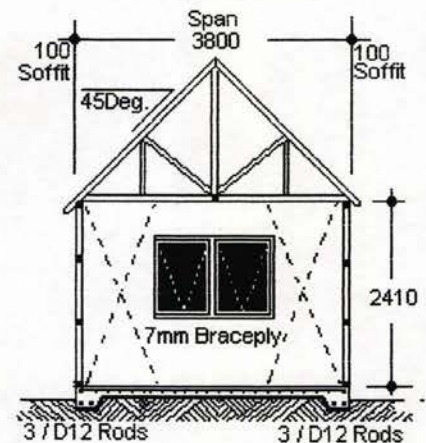
FLOOR PLAN



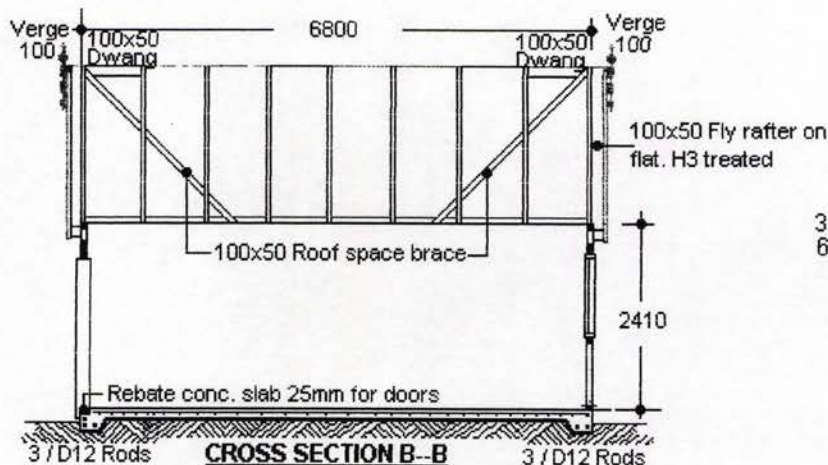
WEST ELEVATION



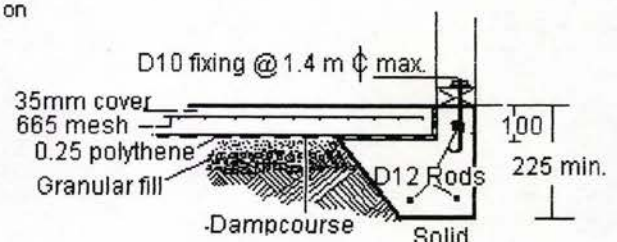
NORTH ELEVATION



CROSS SECTION A-A



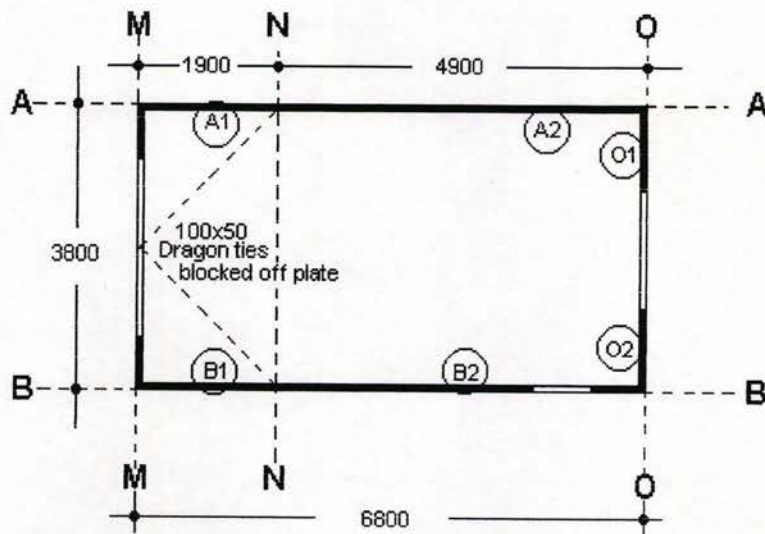
CROSS SECTION B-B



**DETAIL 1
FOUNDATION PLAN**

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WALL BRACING PLAN



Dragon ties in accordance to C.6.3.3.3.(within 7.5 M.)
Construct as per 6.3.3.4. & 6.3.3.5. NZS 3604:1990

A1, A2, B1, AND B2. Let in metal angle brace x 2.4 (Plan length).

O1 AND O2. 7mm brace ply x 0.900 wide

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WALL BRACING CALCULATION SHEET A.

OWNER: D.H.GROVES

SITE ADDRESS

6 ROSEDALE PLACE LEVIN

Location of **STOREY** . **SINGLE**

UPPER OF TWO
LOWER OF TWO

Site **WIND ZONE**

(Table 2.4) **HIGH** / VERY HIGH

Wind speed = 44 m/s 50 m/s

EARTHQUAKE ZONE: **A**

(Fig. 2.2 , Table 2.3)

FOR EARTHQUAKE

Roof weight : **LIGHT** / HEAVY Average roof pitch: **45 DEG**.....

Wall cladding: **LIGHT** / HEAVY

Storey in roof space: **YES** / **NO**

E = 2.7 **BU's /m2**

If under 50% of roof space E+1

If over " " " " additional story.

FOR WIND

Building height: **4.5**..... m. Roof height: **2.0**.....m

Stud height: **2.4**.....m. Wind speed: **44** m/s.

ALONG.

W= 64 **BU's /m**

ACROSS.

W= 54

BU's/m

BUILDING LENGTH

BL = 6.8.....Metres.

BUILDING WIDTH

BW = 3.8.....Metres.

GROSS BUILDING

PLAN AREA

GPA = 25.8.....M2

EARTHQUAKE LOAD(across & along) **E x GPA = 2.7 x 25.8 = 69.7** **BU's**

WIND LOAD : ACROSS **W across x BL = .54 x 6.8 = 367.2** **BU's**

WIND LOAD : ALONG **W along x BW = .64 x 3.8 = 243.2** **BU's**

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ALONG**WALL BRACING CALCULATION SHEET B**

WALL OR BRACING LINE		BRACING ELEMENTS PROVIDED			WIND		EARTHQUAKE	
1	2	3	4	5	6 W	7 W	6 EQ	7 EQ
Line Label	minimum BU's Required	Bracing Element No.	Bracing Type	length of Element metres L	Rating BU/m W	BU's Achieved BU/m x L W	Rating BU/m EQ	BU's Achieved BU/m x L EQ
A	100	A1	Type 1	2.4	42	100.8	42	100.8
		A2	Type 1	2.4	42	100.8	42	100.8
B	100	B1	Type 1	2.4	42	100.8	42	100.8
		B2	Type 1	2.4	42	100.8	42	100.8
C								
D								
E								
TOTALS ACHIEVED					W.	403.2	EQ.	403.2
TOTALS REQUIRED					W.	243.2	EQ.	69.7

From Sheet A

**READ IN CONJUNCTION WITH
ACROSS BRACING PLAN.**

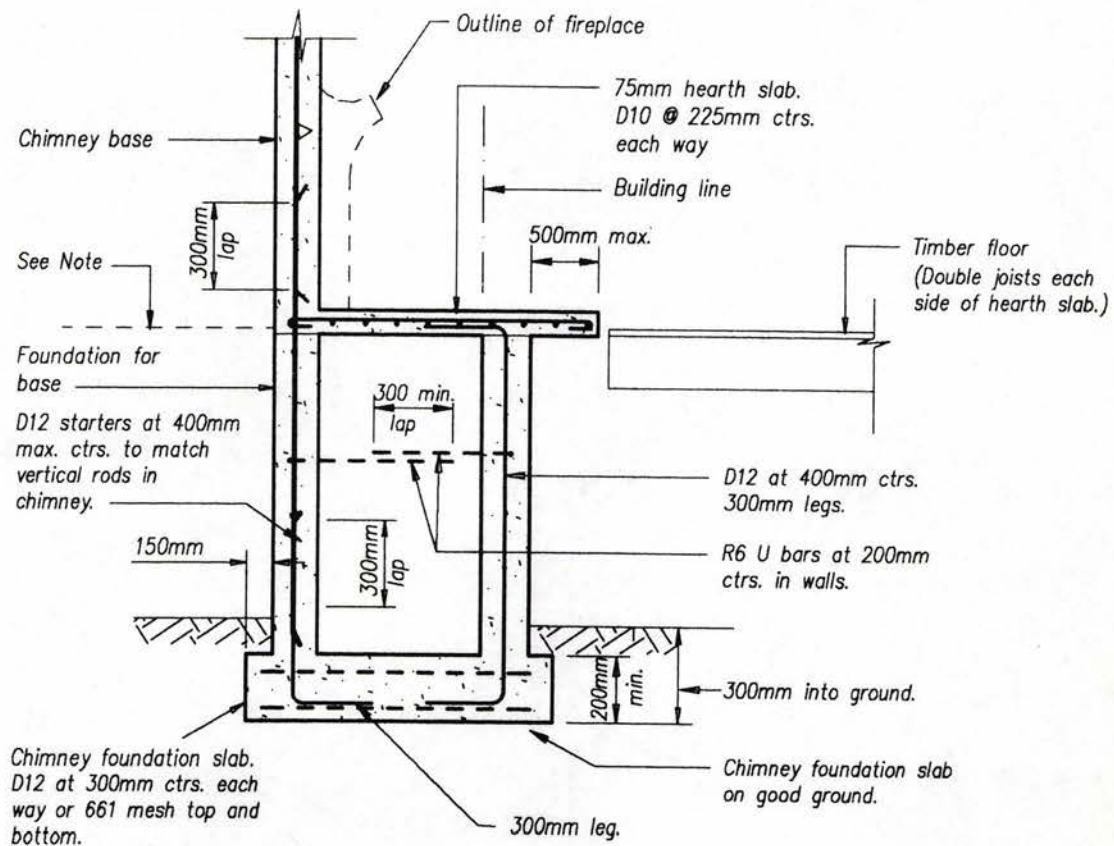
WALL OR BRACING LINE		BRACING ELEMENTS PROVIDED			WIND		EARTHQUAKE	
1	2	3	4	5	6 W	7 W	6 EQ	7 EQ
Line Label	Minimum BU's Required	Bracing Element No.	Bracing Type	length of Element Metres L	Rating BU/m W	BU's Achieved BU/mxL W	Rating BU/m EQ	BU's Achieved BU/mxL EQ
M	38	M1						
Dragon ties in accordance to C.6.3.3.3.(within 7.5 M.) Construct as per 6.3.3.4. & 6.3.3.5. NZS 3604:1990								
N	38	N1 N2						
O	38	O1	Type 4 Type 4	0.9 0.9	67 67	60.3 60.3	67 67	60.3 60.3
P								
Q								
TOTALS ACHIEVED					W	120.6	EQ	120.6
TOTALS REQUIRED					W	367.2	EQ	69.7

FROM SHEET A

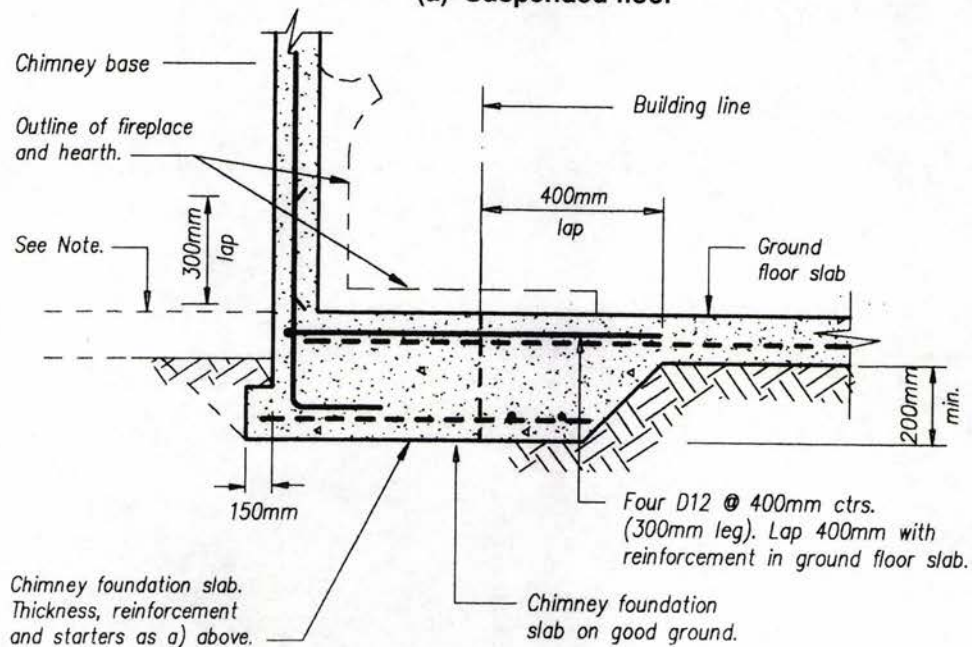
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Figure 1: Chimney foundation

Paragraphs 1.3.1, 1.3.2(b) and 1.4.1, and Figures 2, 3, 4 and 5



(a) Suspended floor



(b) Slab on ground

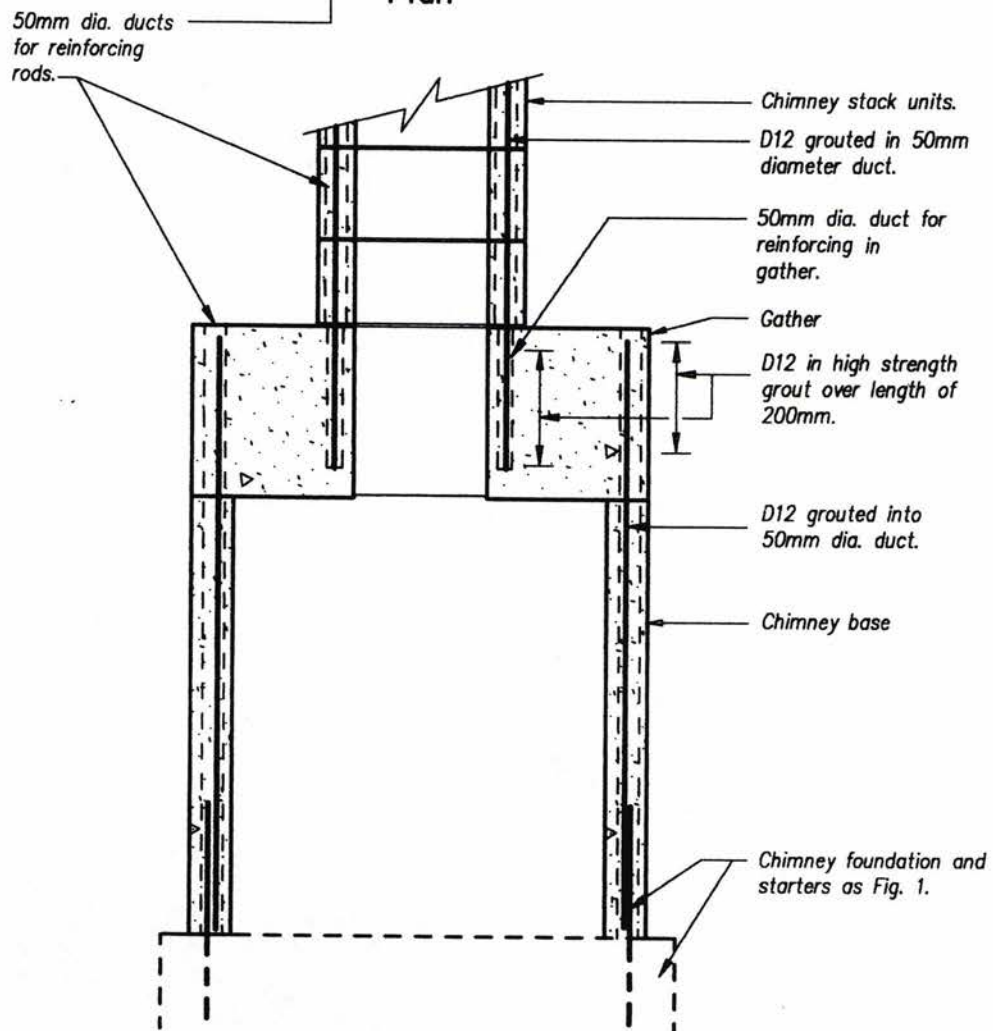
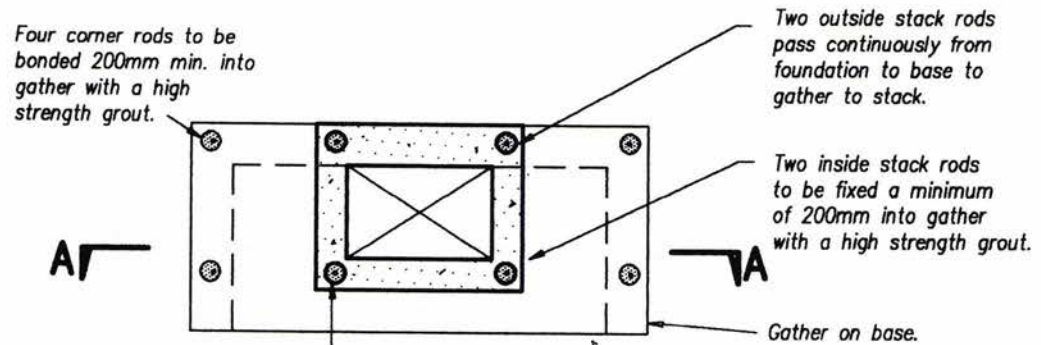
NOTE:

Figures 1(a) and 1 (b) have been drawn for the chimney being exterior to the building. The dotted line indicates the timber floor in Figure 1(a) and the ground floor slab in Figure 1(b) for the situation where the chimney is internal.

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Figure 5: Reinforcing details - Precast pumice concrete chimney

Paragraph 1.6.1 and 1.6.2(b)



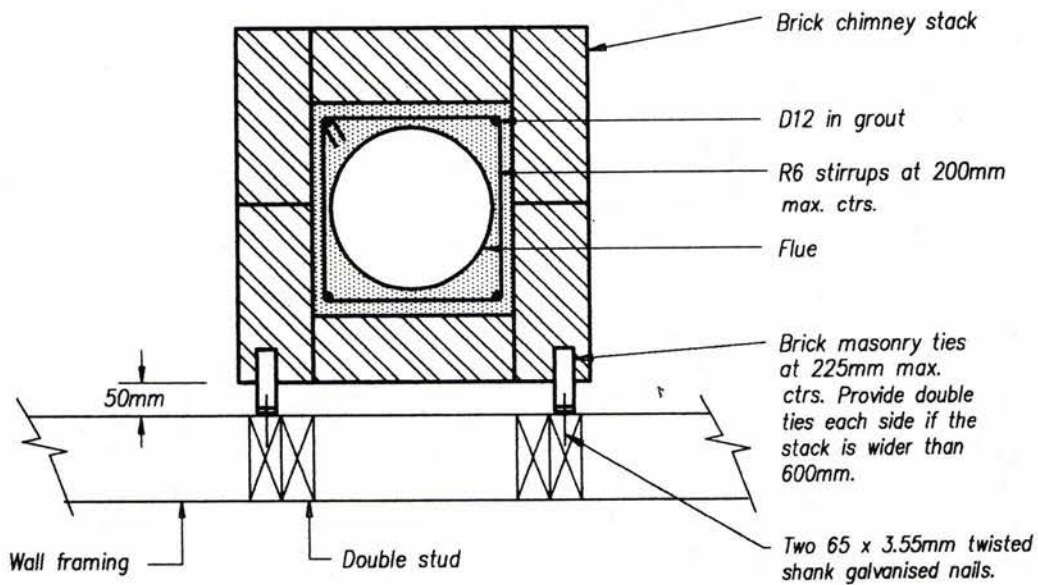
Paragraph 1.7.2 and 1.7.3



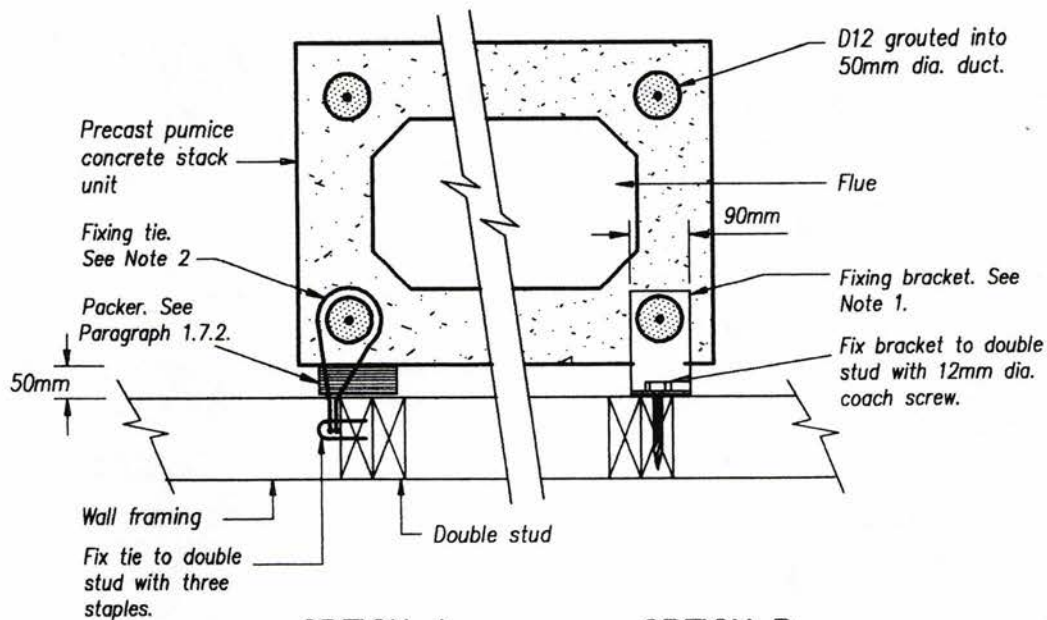
Although drawn for a chimney on an exterior wall, the bracket details also apply to an interior chimney.

Figure 7: Chimney restraint

Paragraphs 1.7.2, 1.7.1, and 1.7.13



(a) Brick chimney



OPTION A

OPTION B

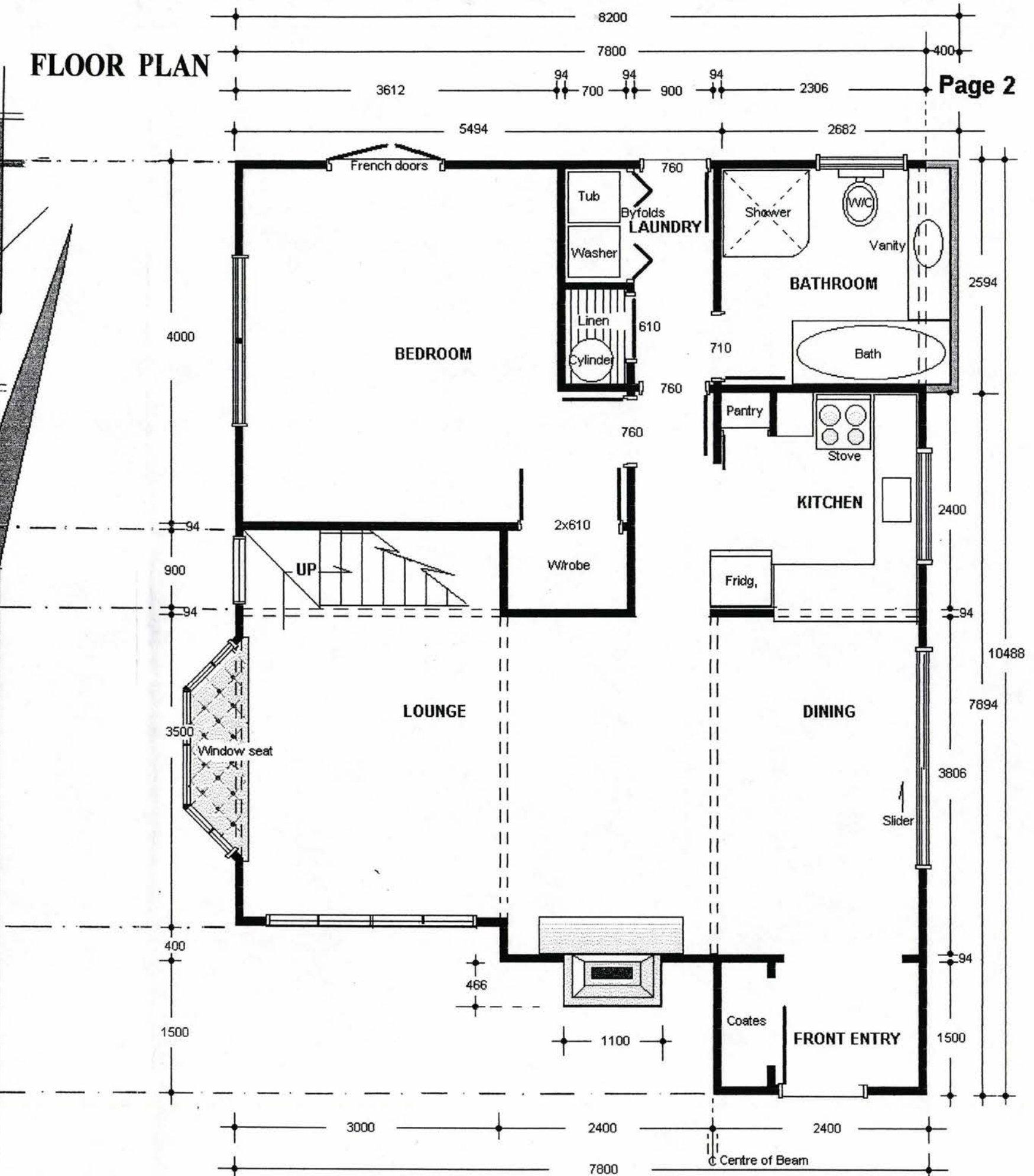
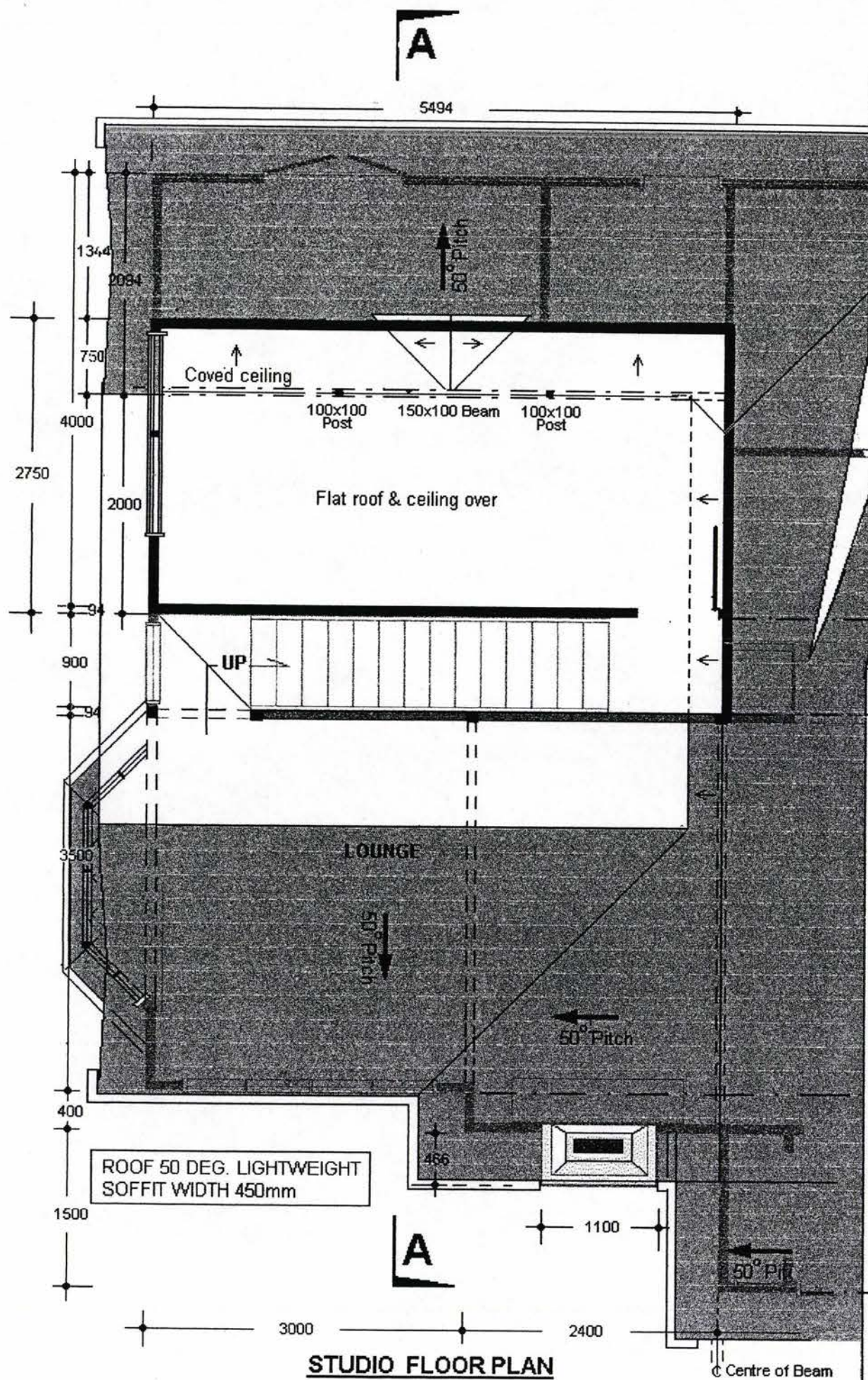
(b) Precast pumice concrete chimney

NOTES:

1. Brackets shall be made from 5 mm thick m.s angle drilled with 50 mm dia hole to suit the reinforcing duct. Locate brackets in the mortar joints between units at no more than:
480 mm maximum centres for stacks up to 600 mm wide
320 mm maximum centres for stacks over 600 mm wide
2. Ties shall comprise 4 mm galvanized hairpins located in the mortar joint between units at no more than:
320 mm maximum centres for stacks up to 600 mm wide
160 mm maximum centres for stacks over 600 mm wide.

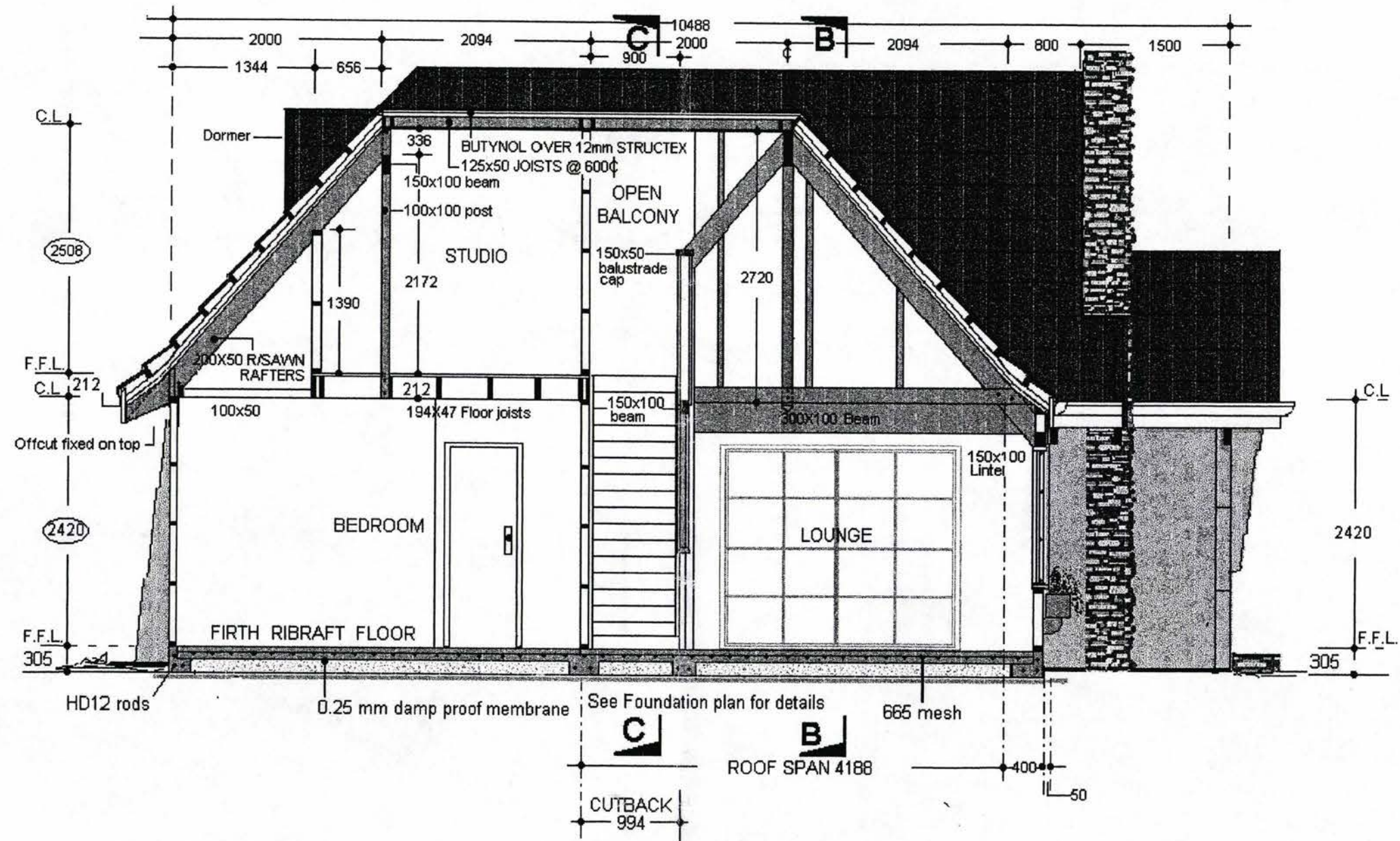
FLOOR PLAN

Page 2



* All glazing to NZS A223 Pt.3

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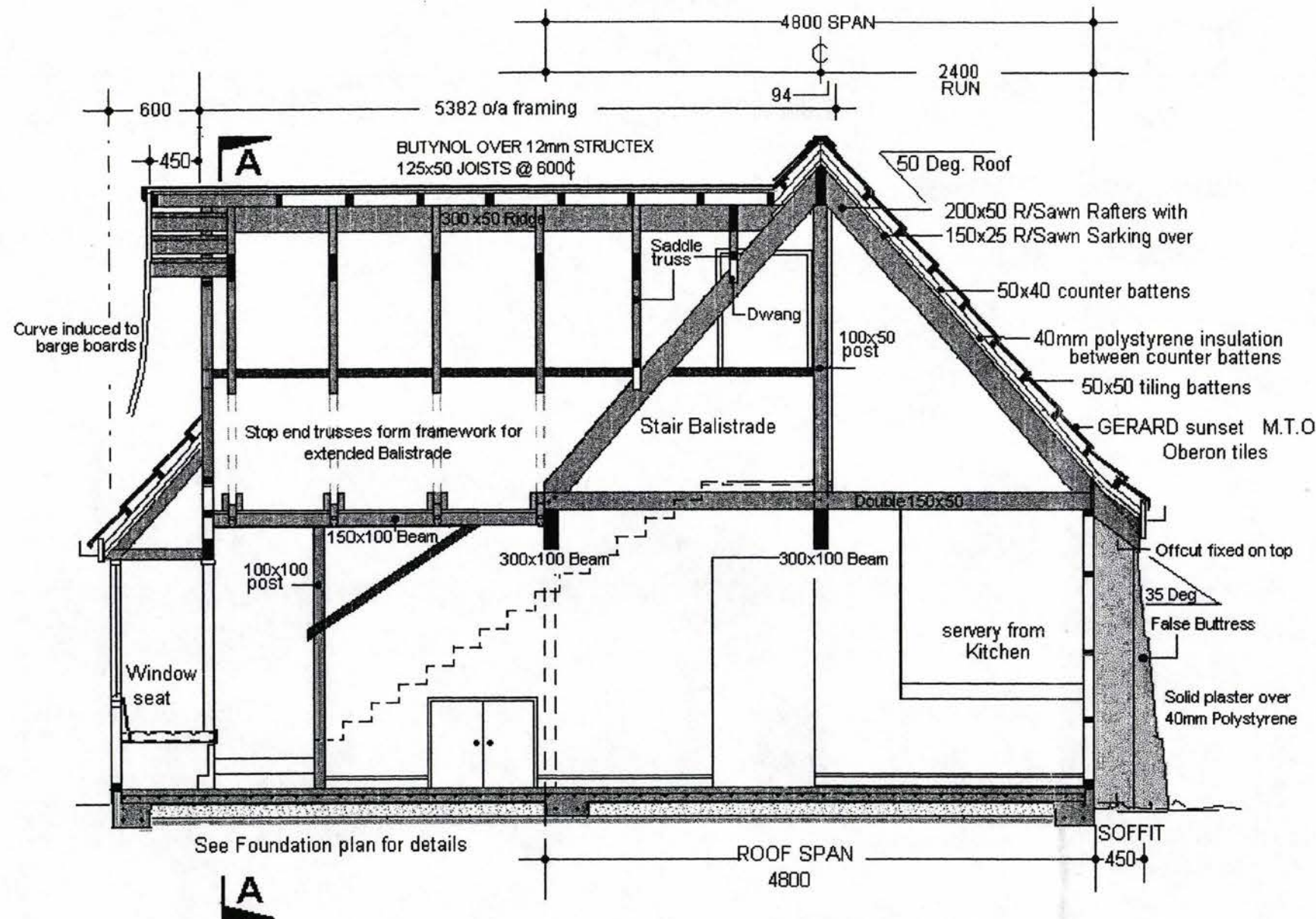


ALL ROOF FRAMING TIMBER
TO BE R/SAWN MACRACARPA

* Graded to NO'1

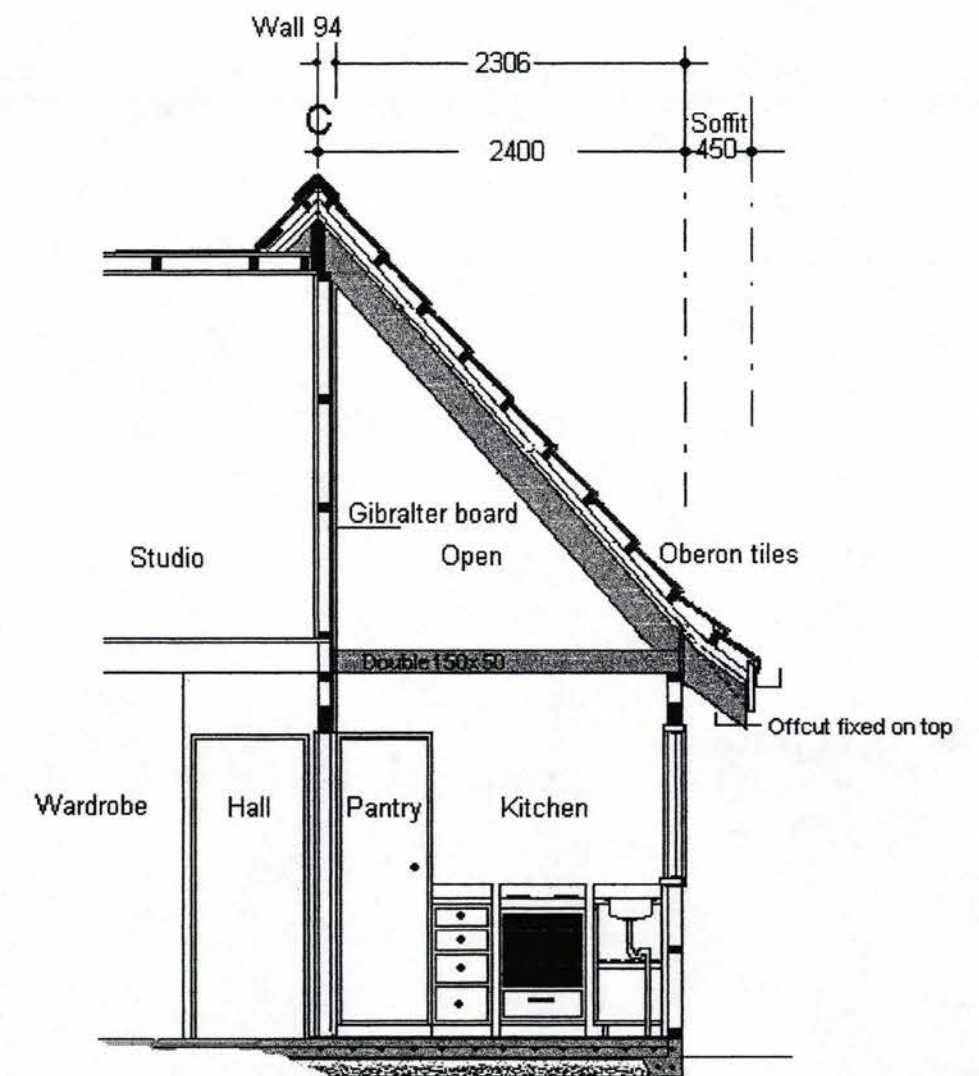
CROSS SECTION A-A
Scale 1:50

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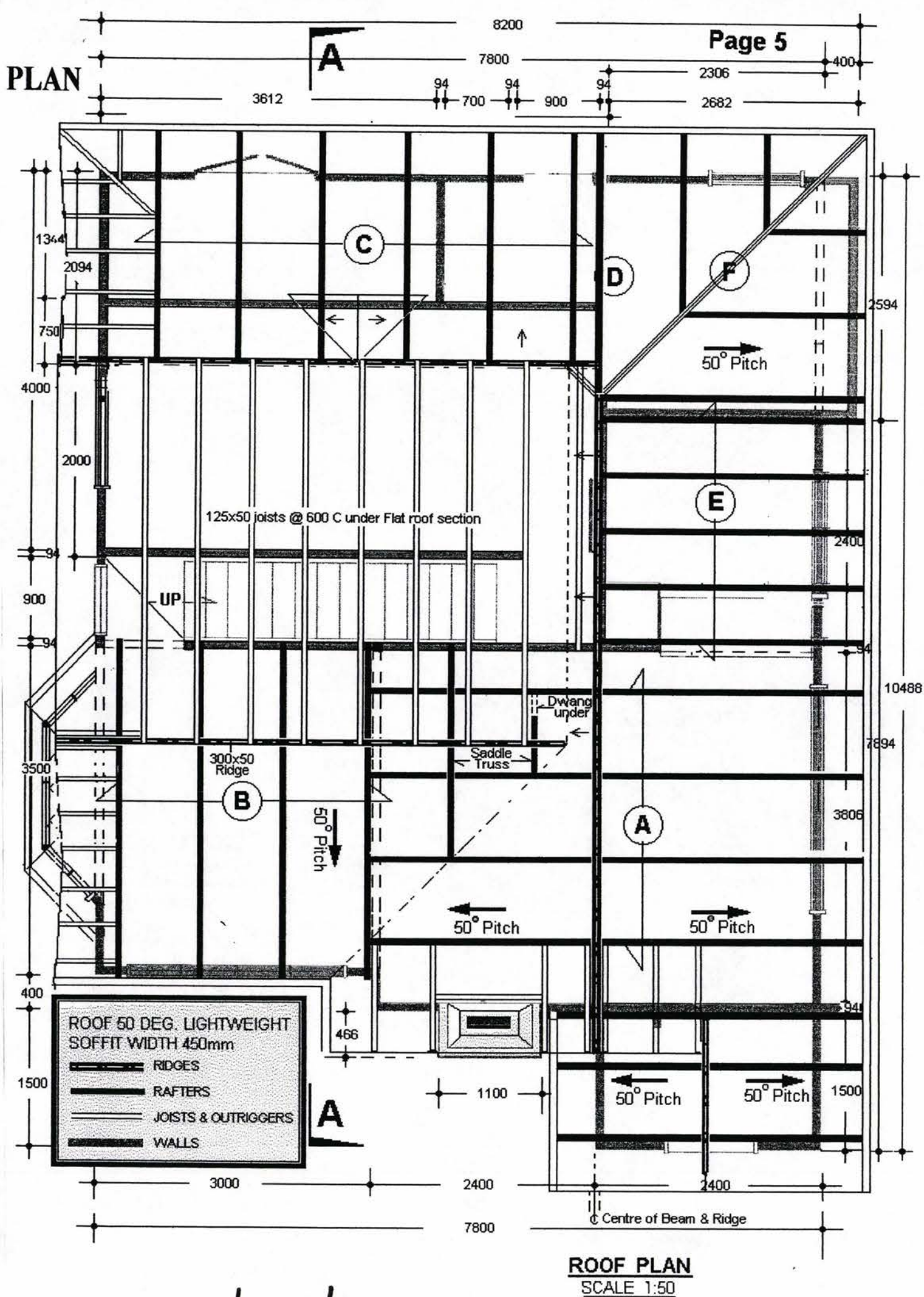
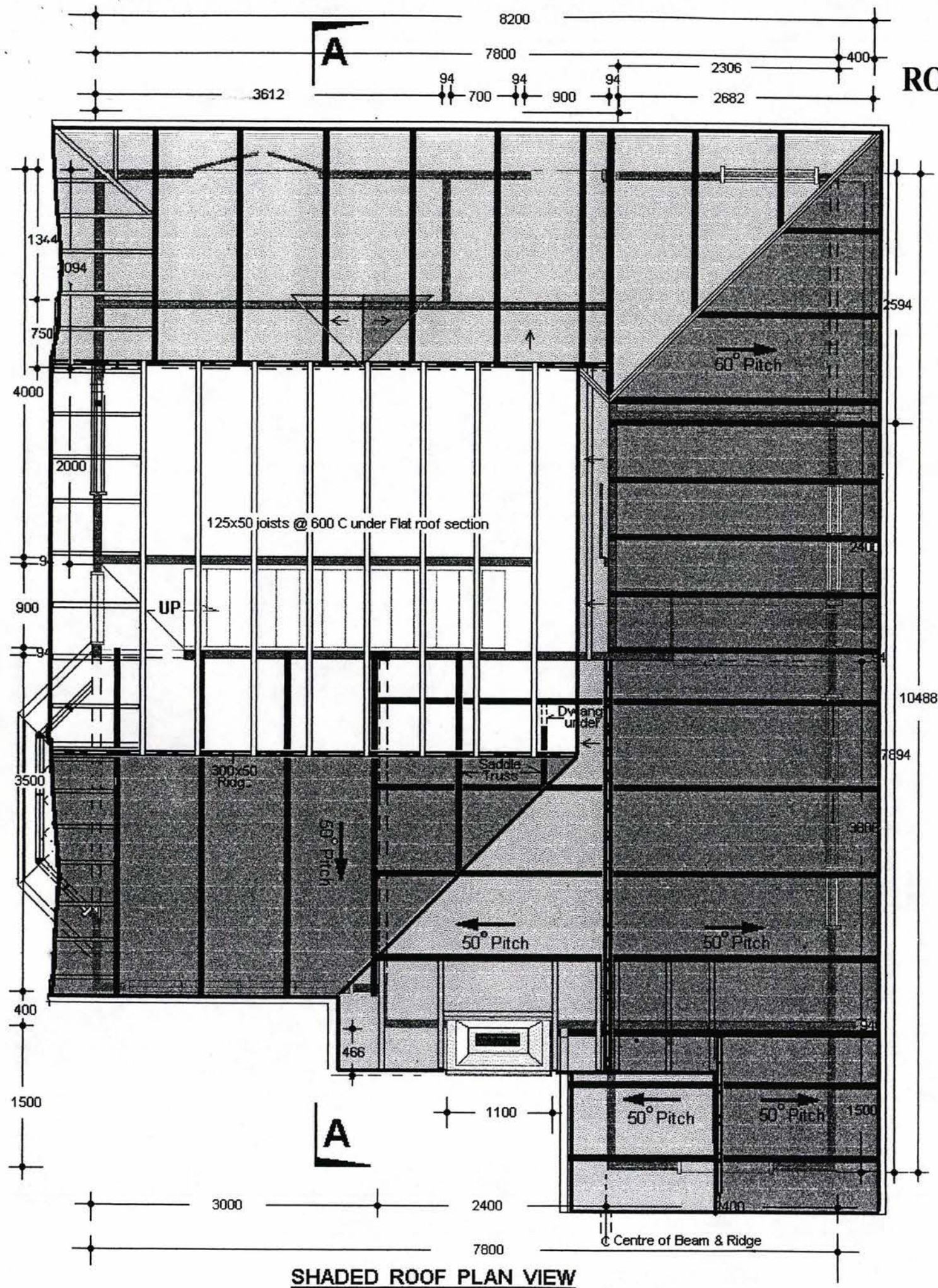
ALL ROOF FRAMING TIMBER
TO BE R/SAWN MACRACARPA

CROSS SECTION B -- B
Scale 1:50

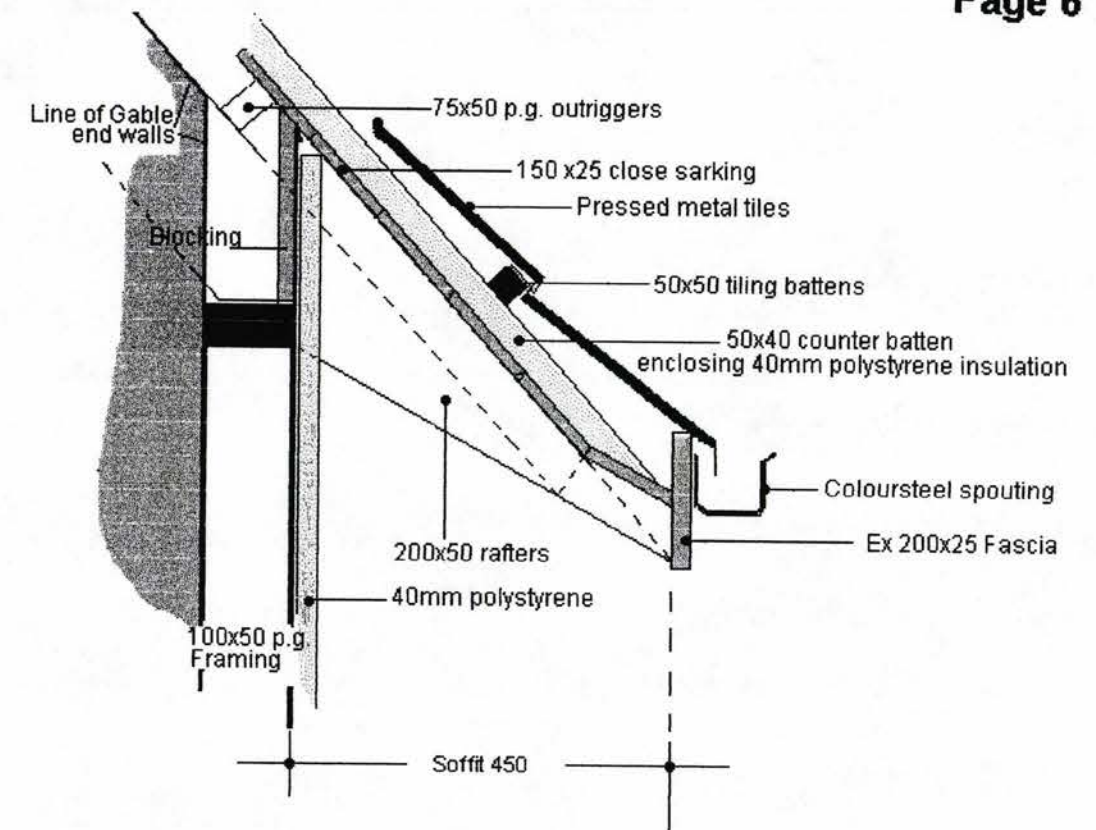


CROSS SECTION C -- C
Scale 1:50

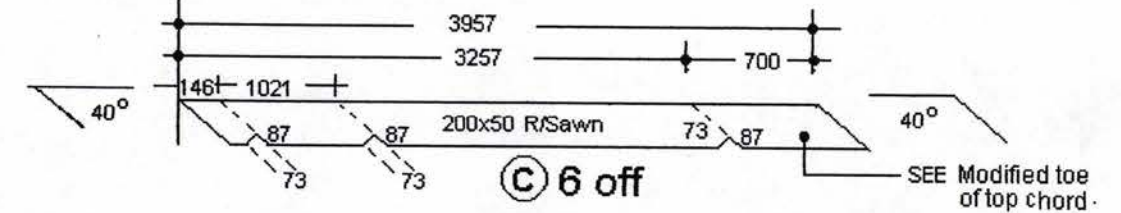
4/357/8



SOFFIT DETAILS



COMMON
RAFTERS

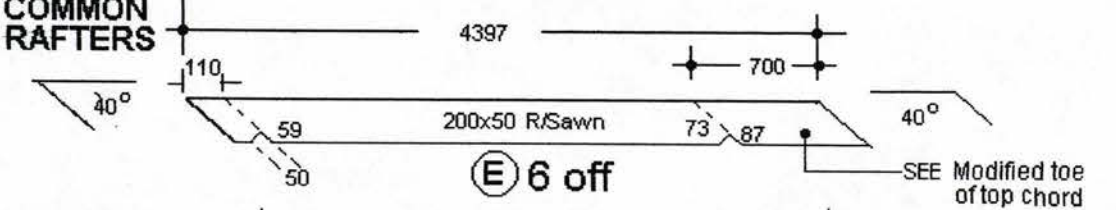


STAR
RAFTER

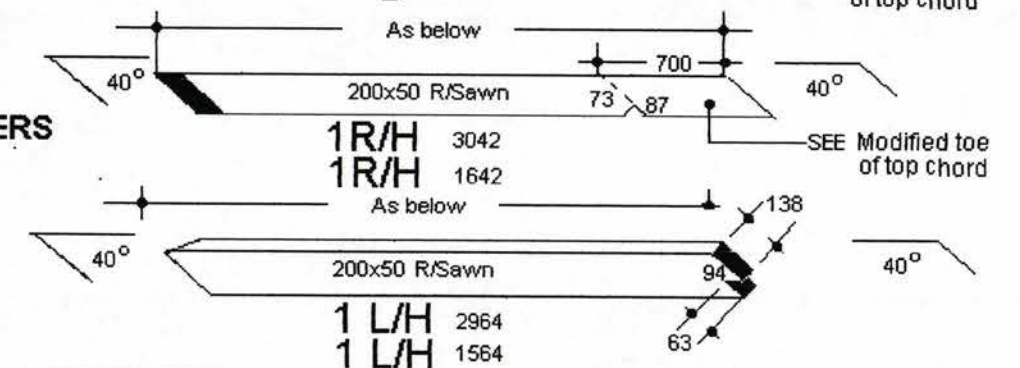
SAME AS ABOVE BUT 4434 LONG (ADDED TO TOP END)

① 1 off

COMMON
RAFTERS

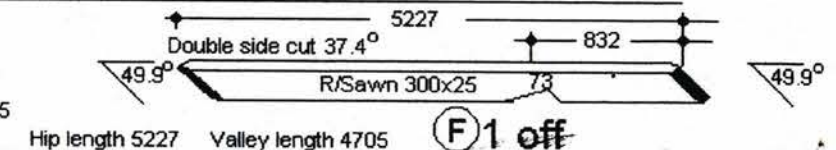


JACK
RAFTERS

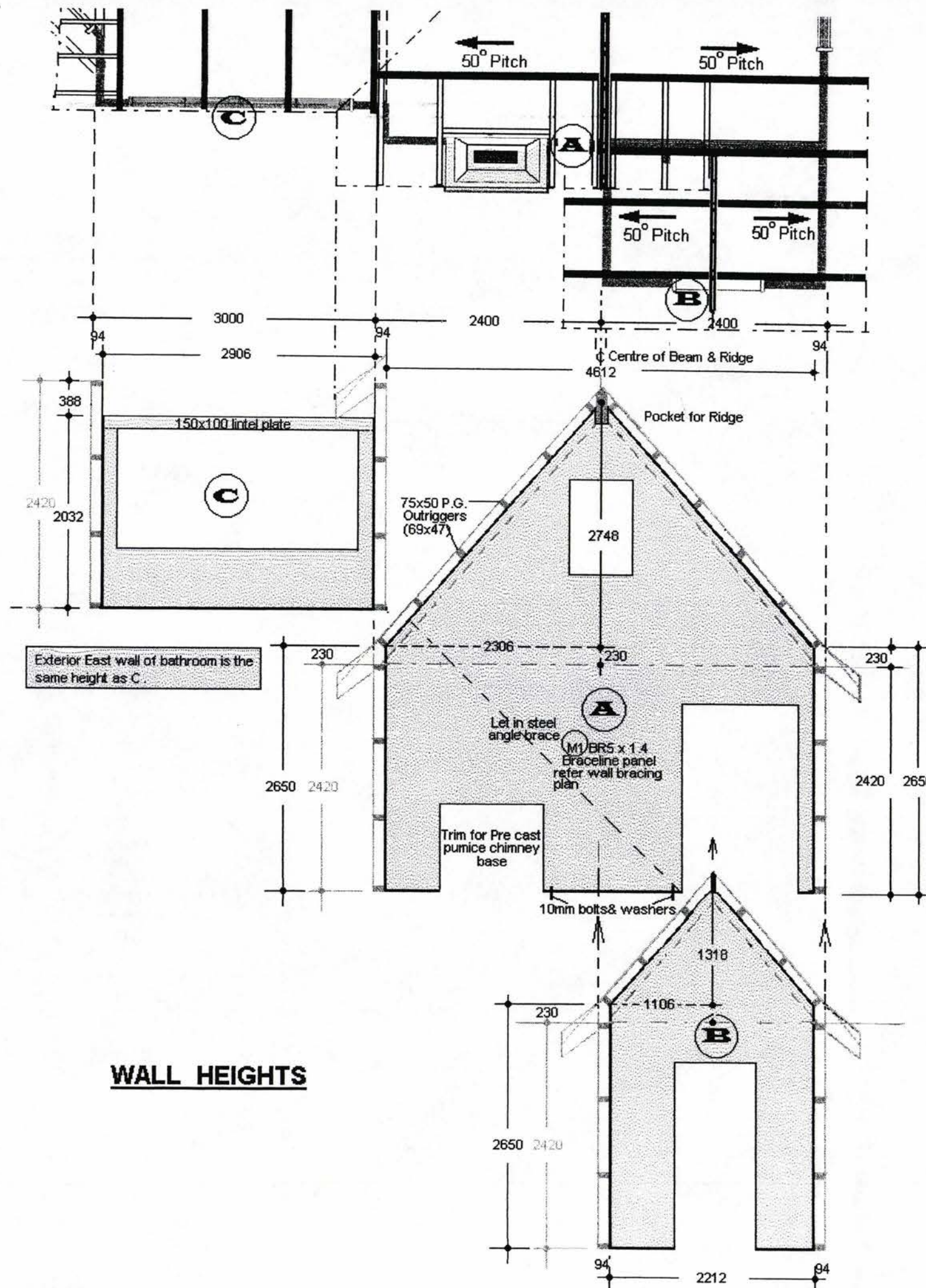


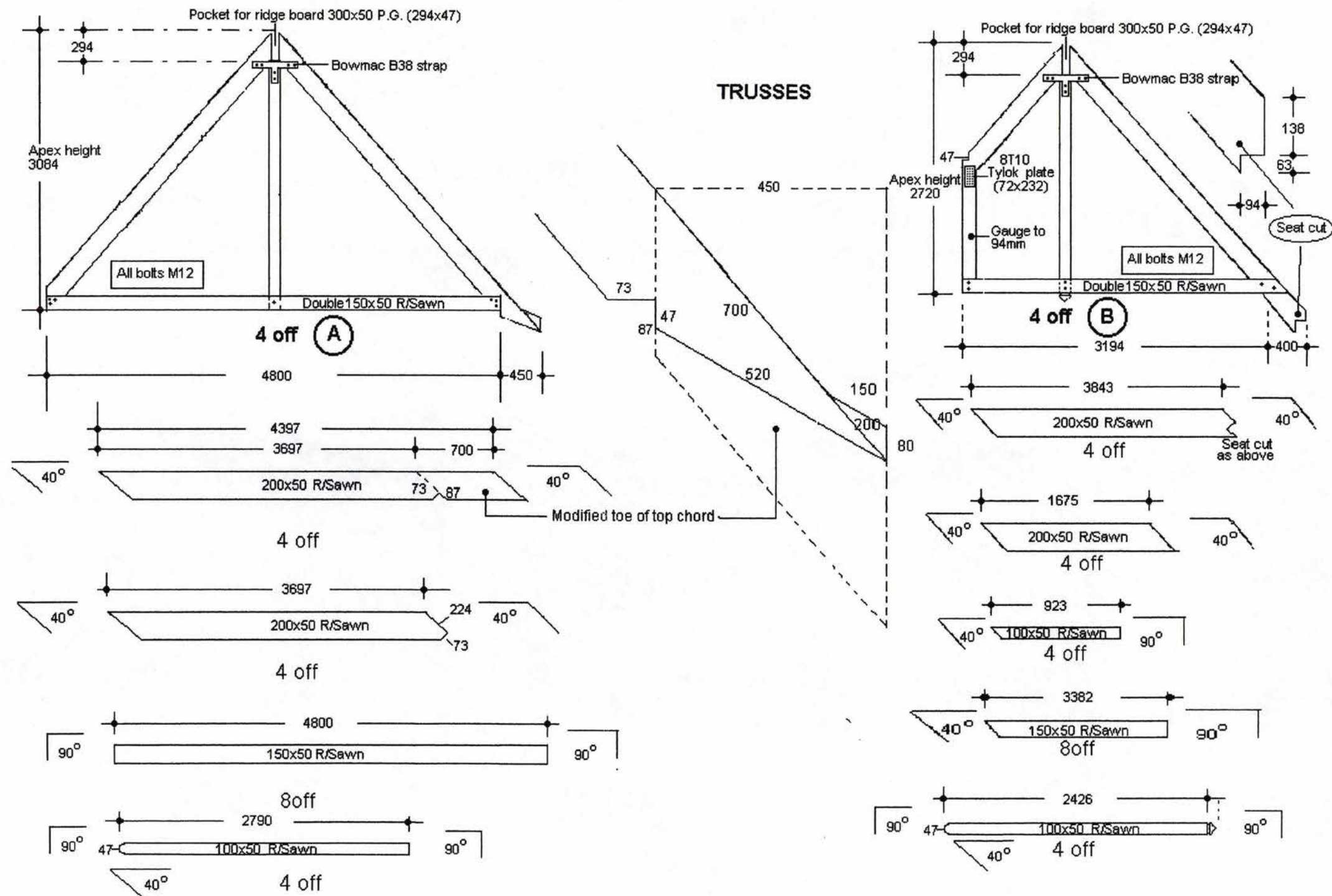
HIP &
VALLEY

Plum cut 49.9
Side cut 37.4
Backing angle 57.2
Purlin Down cut 52.5
Purlin Side cut 57.3

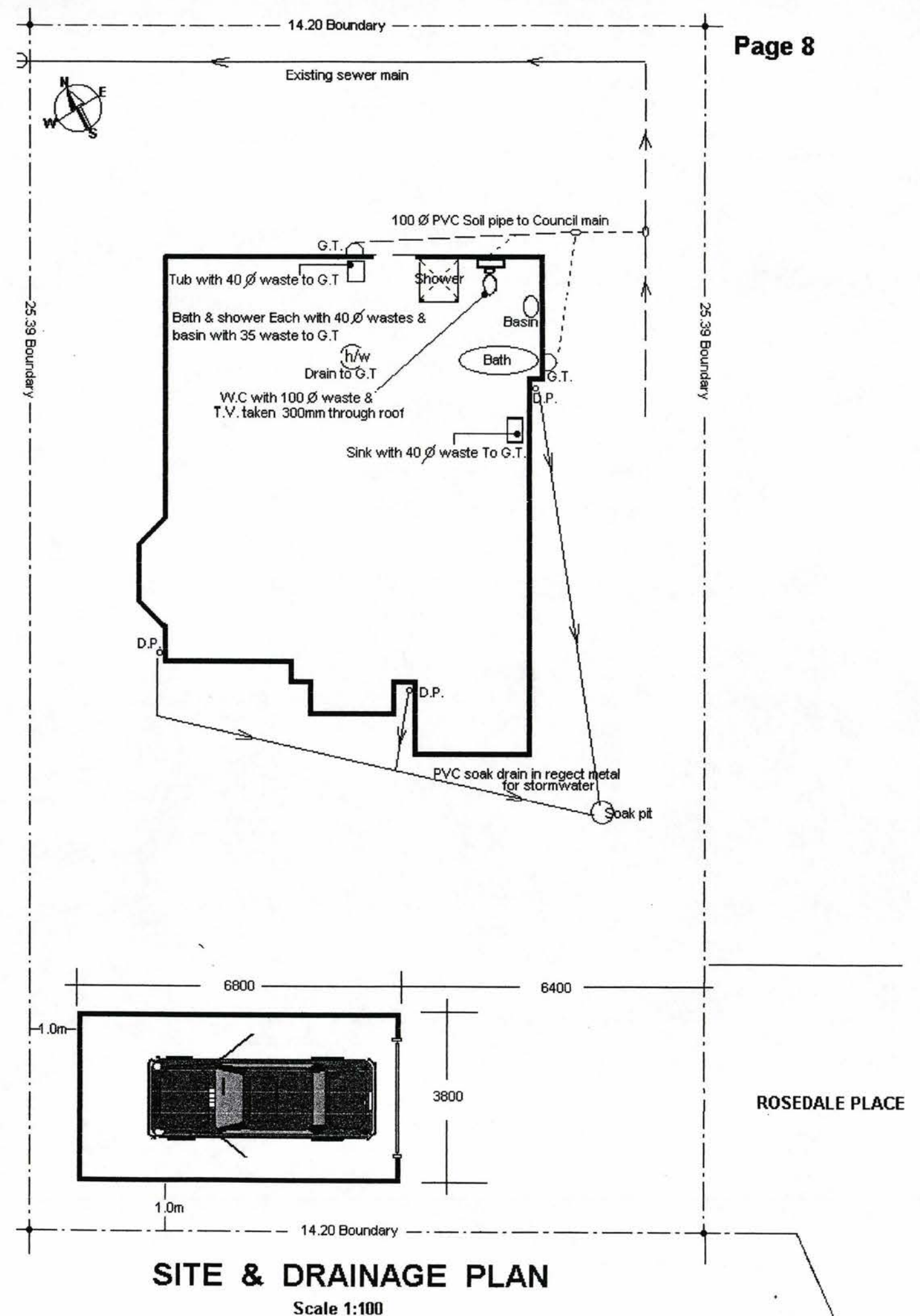
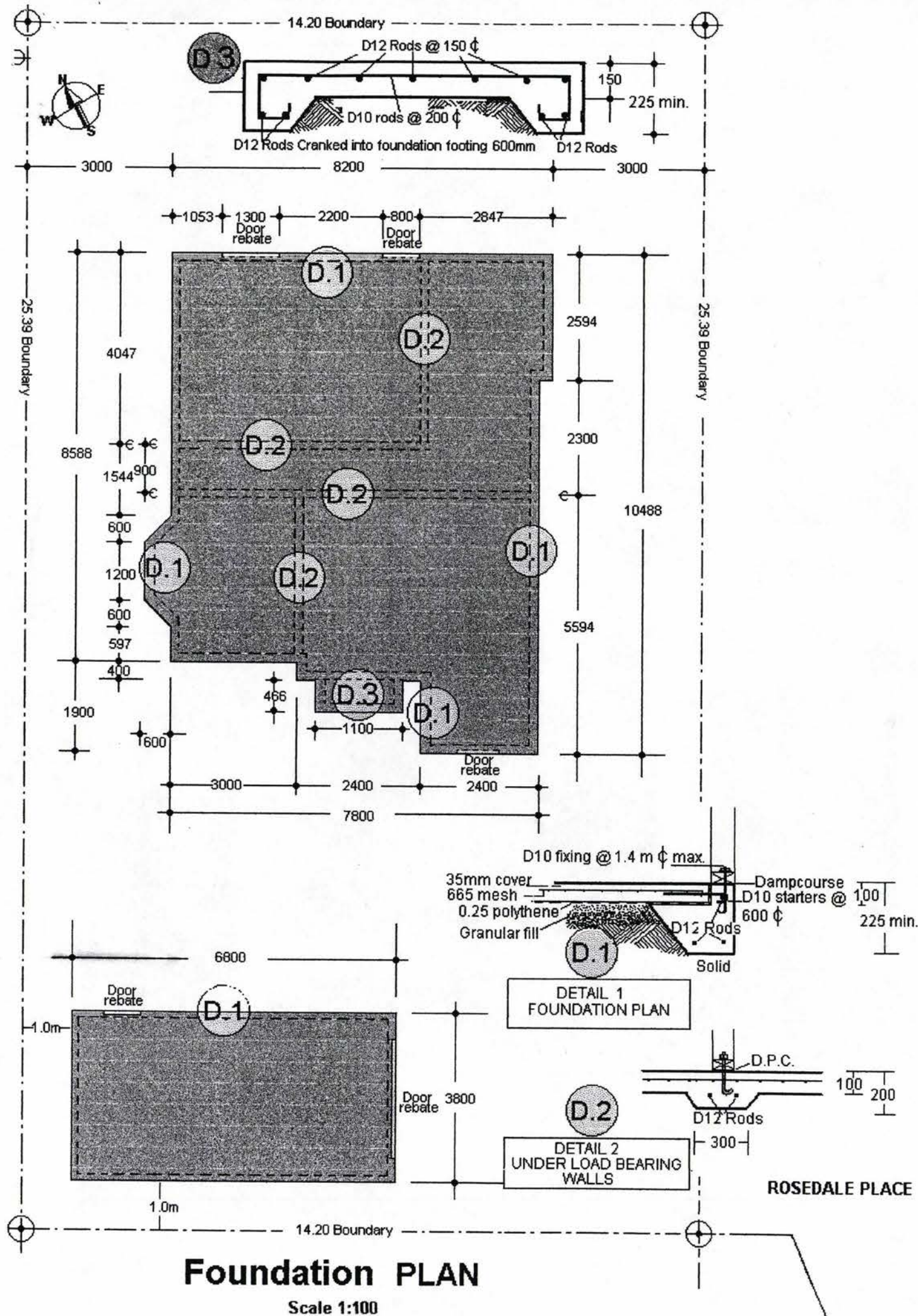


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WALL BRACING CALCULATION SHEET A.

OWNER: Desmond Groves

SITE ADDRESS

6 Rosedale Place
Levin.

Site **WIND ZONE**

(Table 2.4) **HIGH**

Wind speed = 44 m/s

EARTHQUAKE ZONE: A

(Fig. 2.2, Table 2.3)

FOR EARTHQUAKE

Roof weight : **LIGHT** Average roof pitch: **50 DEG**.....

Wall cladding: **LIGHT**

Storey in roof space: **YES**

under 50% of roof space E+1

E = 3.7 BU's /m2

FOR WIND

Building height: **6.0** m. Roof height: **3.3** **W= 93 BU's /m**

Stud height: **2.4** m. Wind speed: **44** m/s.

. ACROSS

W= 117 BU's/m

ROOF LENGTH over 35 deg. BL = 11.0 Metres.

ROOF WIDTH " 25 deg. BW = 9.0 Metres.

GROSS

ROOF PLAN AREA GPA = 99 M2

EARTHQUAKE LOAD(across & along) E x GPA = 3.7x99.0= **366.3 BU's**

WIND LOAD ACROSS = WXBL = 117X11= **1287 BU's**

WIND LOAD ALONG = W along X BW = 93 X 9= **837 BU's**

ALONG

WALL BRACING CALCULATION SHEET B

Page 9

WALL OR BRACING LINE		BRACING ELEMENTS PROVIDED			WIND		EARTHQUAKE	
1 Line Label	2 minimum BU's Required	3 Bracing Element No.	4 Bracing Type	5 length of Element metres L	6 W Rating BU/m W	7 W BU's Achieved BU/m x L W	6 EQ Rating BU/m EQ	7 EQ BU/S Achieved BU/m x L EQ
A	90	A1	BR4	1.2	100	120	85	102
B	70	B1	BR5	2.4	115	276	85	204
C	104.9	C1	GIB 1	2.4	75	180	50	120
D		C2	BR5	2.4	115	276	85	204
E								
TOTALS ACHIEVED					W.	852	EQ.	630
TOTALS REQUIRED					W.	837	EQ.	366.3

From Sheet A

READ IN CONJUNCTION WITH

ACROSS

BRACING PLAN.

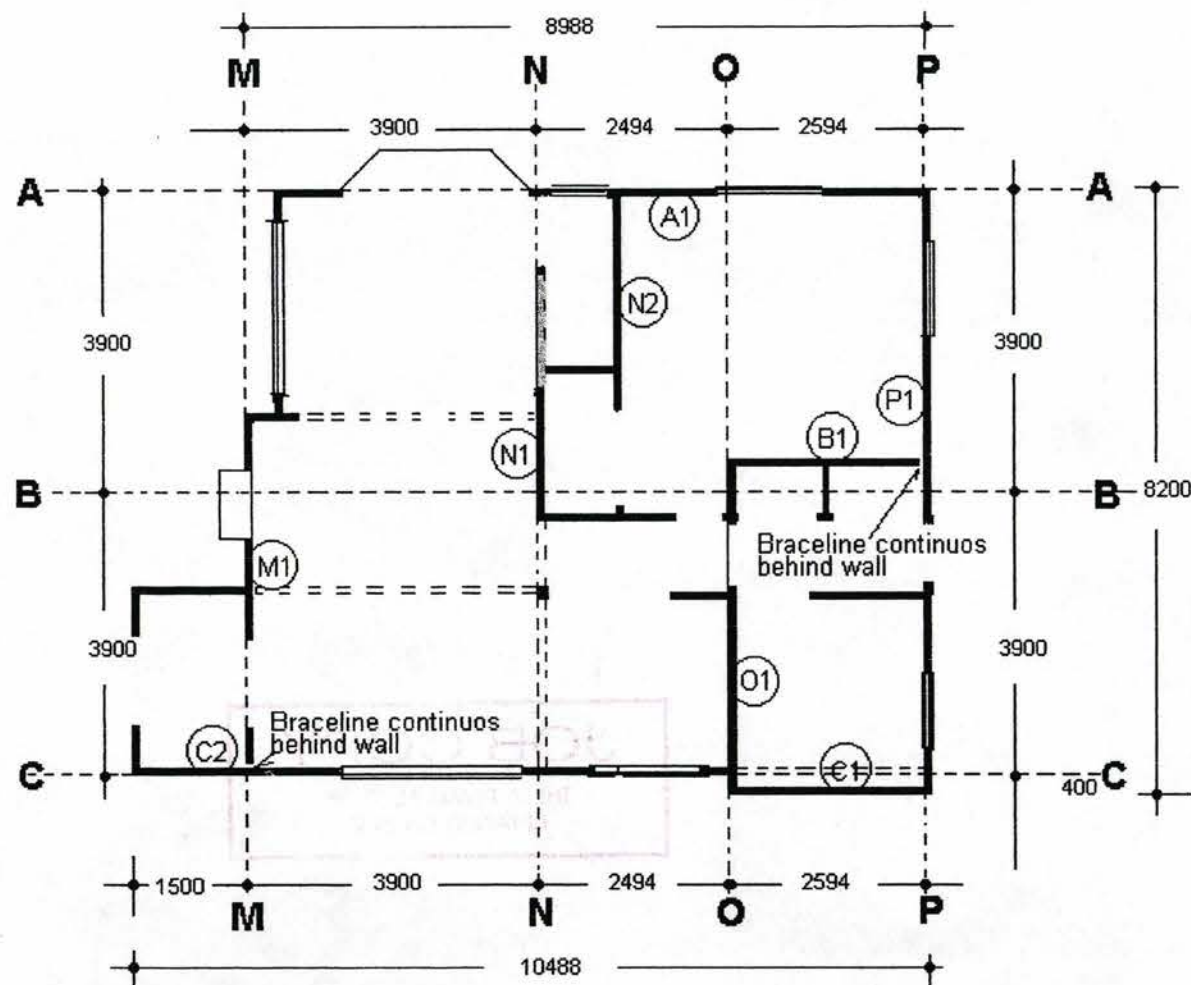
WALL OR BRACING LINE		BRACING ELEMENTS PROVIDED			WIND		EARTHQUAKE	
1 Line Label	2 Minimum BU's Required	3 Bracing Element No.	4 Bracing Type	5 length of Element Metres L	6 W Rating BU/m W	7 W BU's Achieved BU/mxL W	6 EQ Rating BU/m EQ	7 EQ BU's Achieved BU/mxL EQ
M	78	M1	BR5	1.4	115	161	85	119
N	70	N1	BR6	1.5	150	225	110	165
		N2	BR6	2.4	150	360	110	264
O	70	O1	BR6	2.4	150	360	110	264
P	82	P1	BR5	2.2	115	253	85	187
Q								
TOTALS ACHIEVED					W	1359	EQ	999
TOTALS REQUIRED					W	1287	EQ	366.3

FROM SHEET A

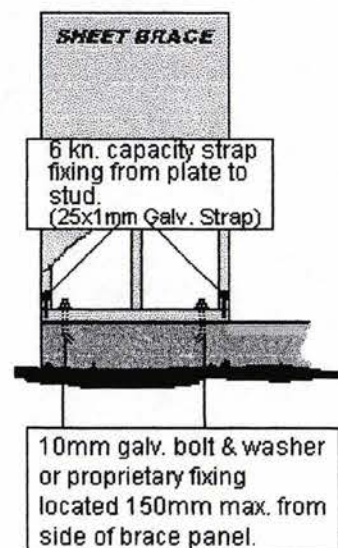
L/357/8

WALL BRACING PLAN

Scale 1:100

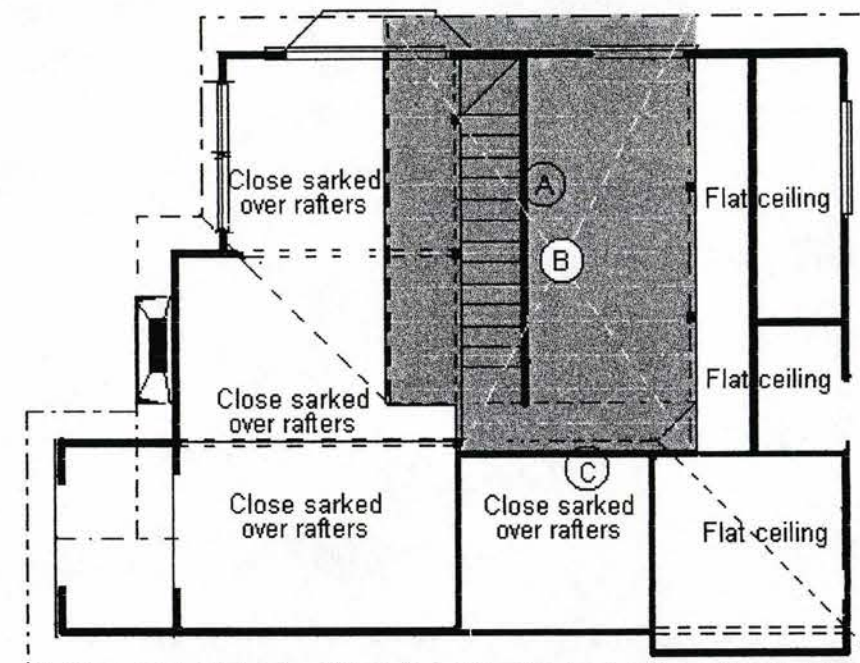


- A1 BR4 X 1.2 m. GIB Braceline on one face 6Kn Metal strap both ends.
- B1 BR5 x 2.4m GIB Braceline on one face 6Kn Metal strap both ends.
- C1 GIB 1 x 2.5m 9.5 Gib Board on one face plus Diagonal brace.
- C2 BR5 x 2.4m GIB Braceline on one face 6Kn Metal strap both ends.
- M1 BR5 x 1.4m GIB Braceline on one face 6Kn Metal strap both ends.
- N1 BR6 x 1.5m GIB Braceline on one face, 9.5 GIB Board on other plus 2 metal straps both ends
- N2 BR6 x 2.4m GIB Braceline on one face, 9.5 GIB Board on other plus 2 metal straps both ends
- O1 BR6 x 2.4m GIB Braceline on one face, 9.5 GIB Board on other plus 2 metal straps both ends
- P1 BR5 x 2.2m GIB Braceline on one face 6Kn Metal strap both ends.



ROOF BRACING PLAN

Scale 1:100



- A GIB 2 9.5 mm Gib Board both sides + diag. brace x 4.4M = **ACHIEVED ACROSS** WIND=352 EARTHQUAKE = 308
- B 12mm STRUCTEX diaphragm over flat roof section
- C GIB2 9.5 mm Gib Board both sides + diag. brace x 2.4 = **ALONG** WIND=192 EARTHQUAKE =168



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