Code Compliance Certificate 43044

Section 95, Building Act 2004

The Building

Street address of building: Alpha Street CAMBRIDGE 3434
Legal description of land where building is located: LOT 2 DPS 90225
Property id: 52710 Rating unit number: 04351/843.02
Intended use: Private Dwelling

The Owner

RV TAYLOR
PO Box 142
Cambridge 2351

First point of contact for communications with the council/building consent authority:
RV TAYLOR
PO Box 142
Cambridge 2351

Building Work

Building consent number (if different): 43044
Issued by: Waipa District Council
Proposed work: Erect 4 Storey Split Level Dwelling
Value of work: $ 230,000
Intended life: 50 years

Code Compliance

The building consent authority named below is satisfied, on reasonable grounds, that –

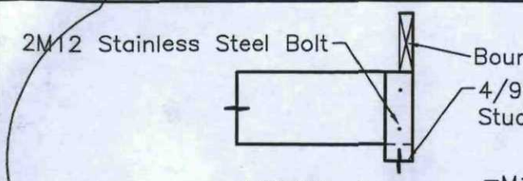
(a) the building work complies with the building consent

Council Charges

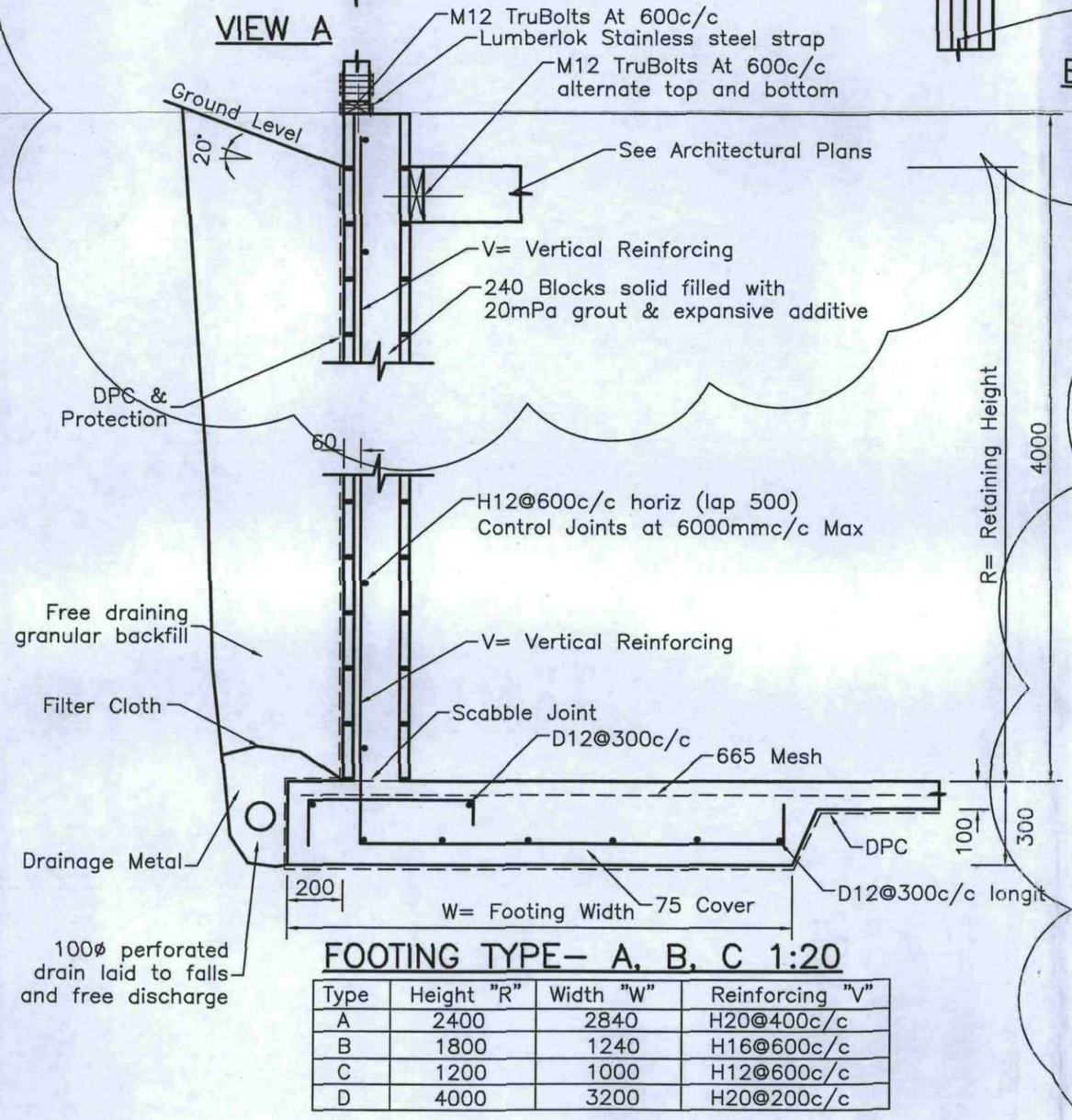
Paid with receipt number/s:
Amount outstanding: $ 0.00

Jon Turney
Building Control Officer

On behalf of: Waipa District Council
Date building consent received: 26/05/2005
Date CCC issued: 17/05/2007

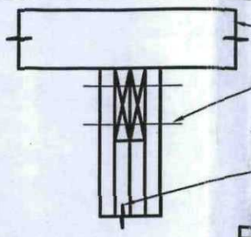


VIEW A

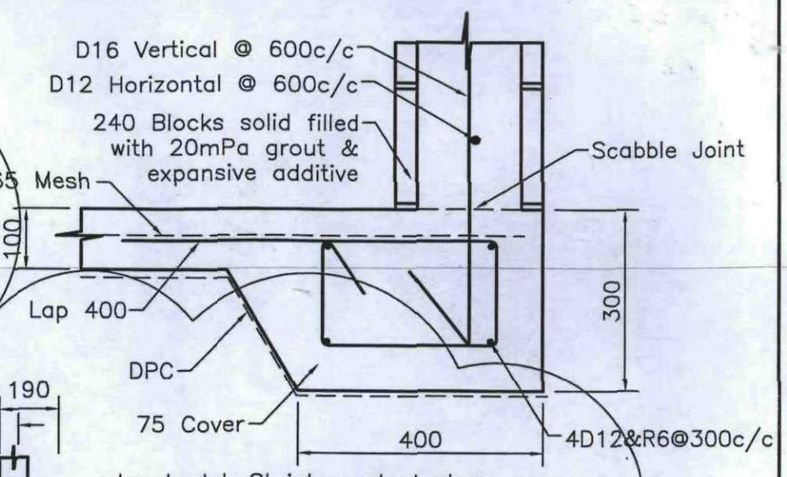


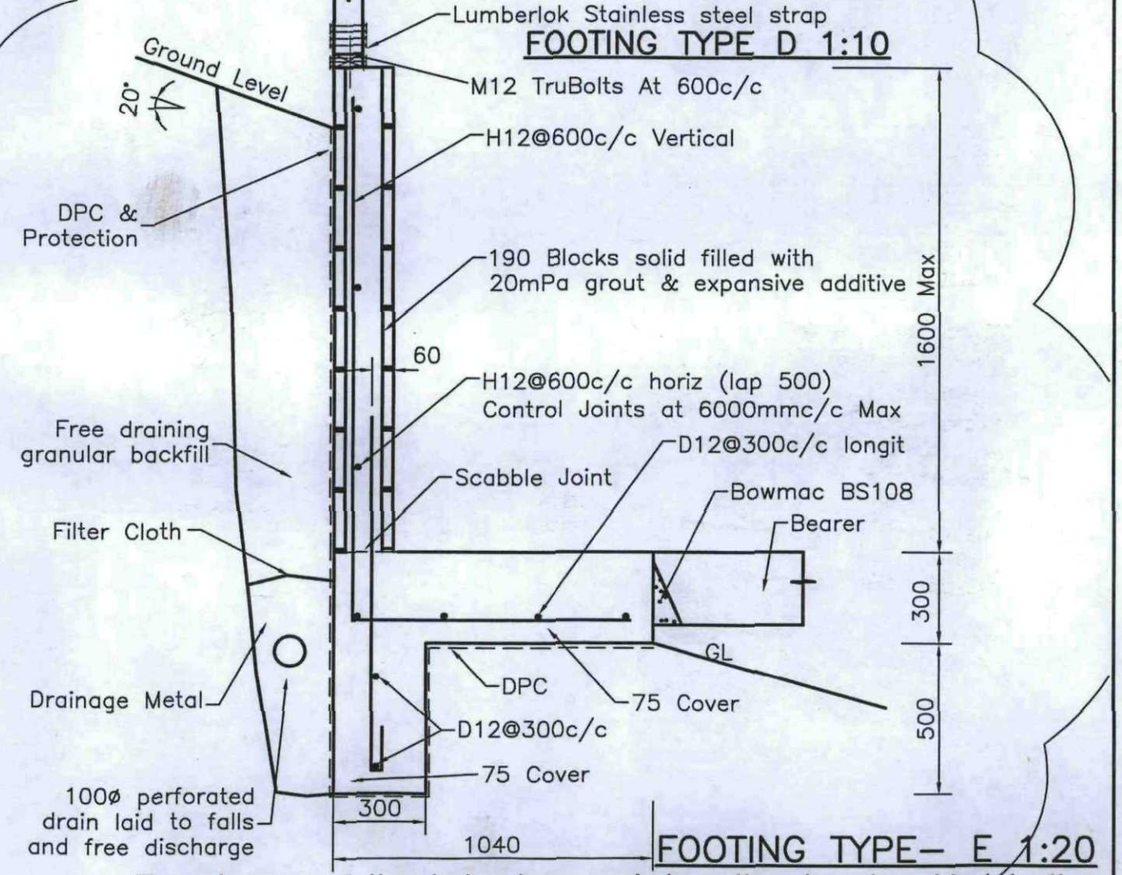
FOOTING TYPE– A, B, C 1:20

Type	Height "R"	Width "W"	Reinforcing "V"
A	2400	2840	H20@400c/c
B	1800	1240	H16@600c/c
C	1200	1000	H12@600c/c
D	4000	3200	H20@200c/c



BEARER TO TIMBER FRAMING 1:20





FOOTING TYPE– E 1:20

The adequacy of the design incorporated on the plans is subject to the requirements included in the specification for the works and the design assumption incorporated into the calculations and reports for the project

Contractor to check all dimensions on site and with Architectural drawings.

Details

Proposed Residence For
Vance Developments
22 Alpha Street Cambridge

G.A.HUGHES & ASSOCIATES Ltd.
CONSULTING CIVIL & STRUCTURAL ENGINEERS
Cnr. Graham & Newall Streets, Hamilton East. P.O. BOX 4306

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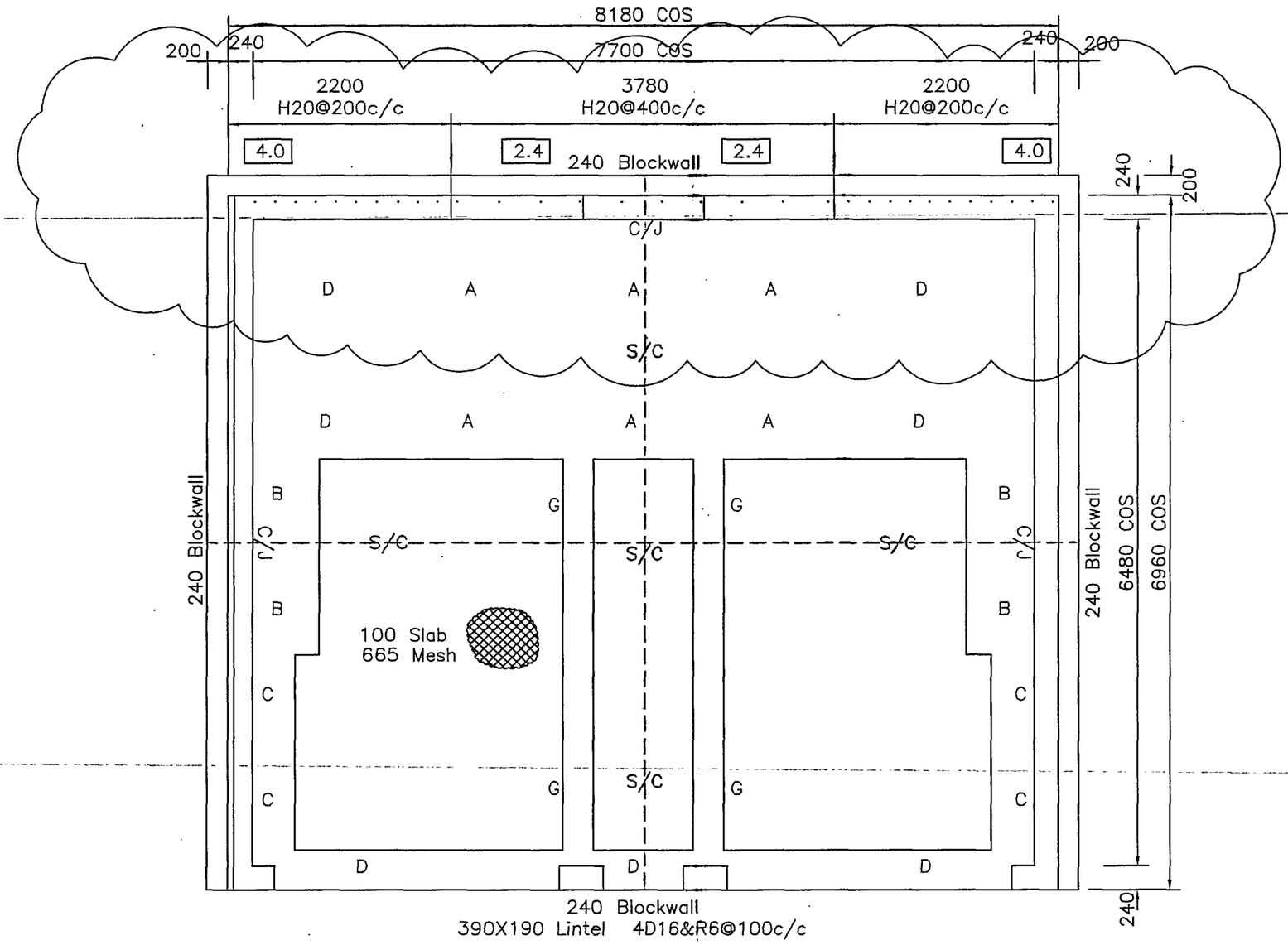
TRACED	DATE 14:04:05	1:10	REF052101

SHEET A
6029/4



FLOOR & FOUNDATION PLAN (FFL–1) 1:50

Notes:
1: Concrete strength to be 20mPa at 28 days.
2: Subgrade and Compacted sand fill to be 100kPa.

The adequacy of the design incorporated on the plans is subject to the requirements included in the specification for the works and the design assumption incorporated into the calculations and reports for the project

Contractor to check all dimensions on site and with Architectural Drawings

Foundation Plan	Proposed Residence For Vance Developments 22 Alpha Street Cambridge	G.A.HUGHES & ASSOCIATES Ltd. CONSULTING CIVIL & STRUCTURAL ENGINEERS Cnr. Graham & Newall Streets, Hamilton East. P.O. BOX 4306		SHEET A 6029/1
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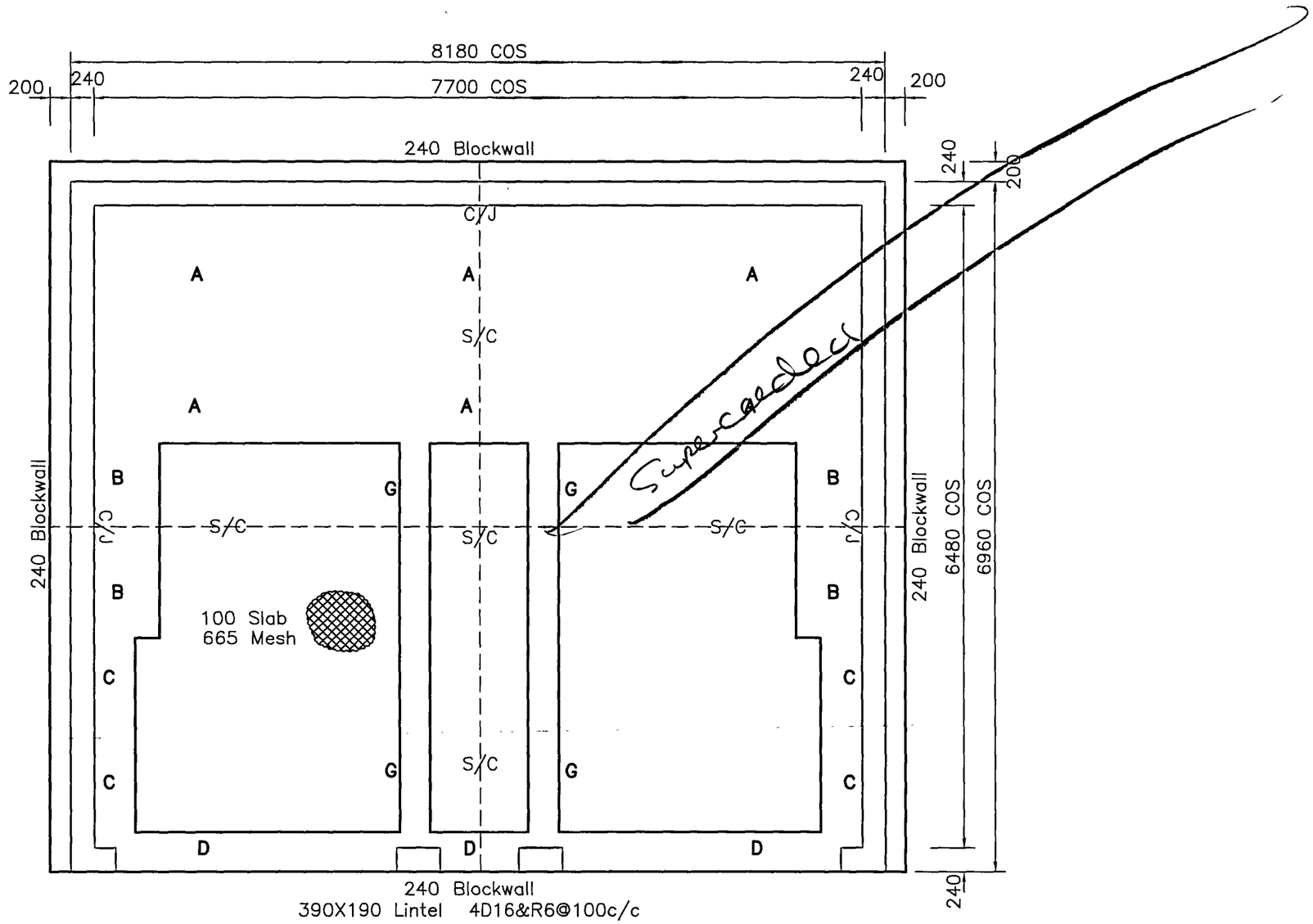
		TRACED	DATE 14:04:05	NO 7 REF 052101



FLOOR & FOUNDATION PLAN (FFL–1) 1:50

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Foundation Plan	Proposed Residence For Vance Developments 22 Alpha Street Cambridge	G.A.HUGHES & ASSOCIATES Ltd. CONSULTING CIVIL & STRUCTURAL ENGINEERS Cnr. Graham & Newall Streets, Hamilton East. P.O. BOX 4306		SHEET 6029/1
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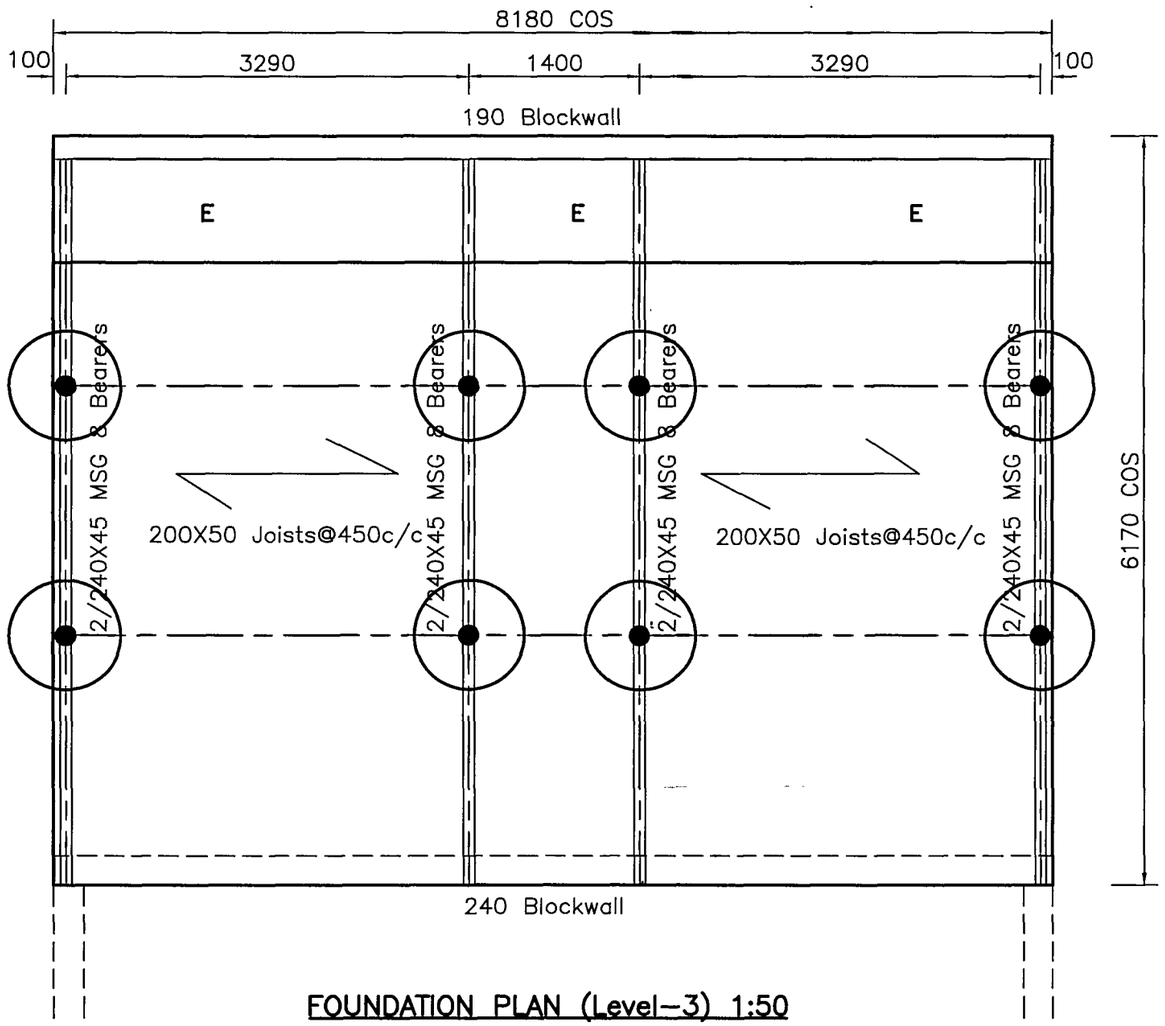

FOUNDATION PLAN (Level-3) 1:50

Key:

175SED Piles in
ø900X900 Deep
Concrete Filled Holes

Contractor to check all dimensions on site and with Architectural drawings.

The adequacy of the design incorporated on the plans is subject to the requirements included in the specification for the works and the design assumption incorporated into the calculations and reports for the project

Foundation Plan	Proposed Residence For Vance Developments 22 Alpha Street Cambridge	G.A.HUGHES & ASSOCIATES Ltd. CONSULTING CIVIL & STRUCTURAL ENGINEERS Cnr. Graham & Newall Streets, Hamilton East. P.O. BOX 4306	SHEET 6029/2
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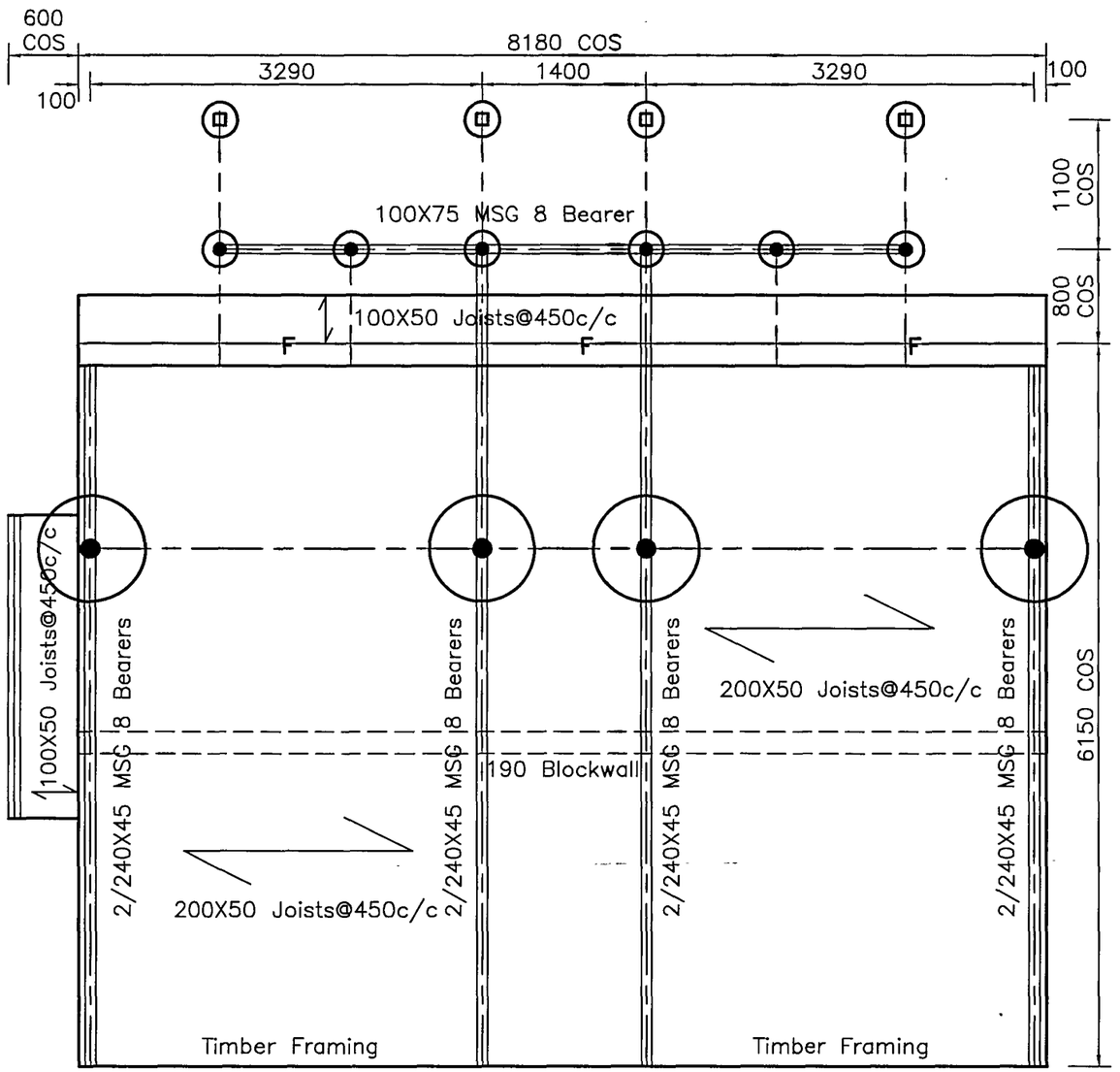

FOUNDATION PLAN (Level–4) 1:50

Key:

175SED Piles in ø900X600 Deep Concrete Filled Holes

125SED Piles in ø300X600 Deep Concrete Filled Holes

100X100 Post in ø300X600 Deep Concrete Filled Holes

Contractor to check all dimensions on site and with Architectural drawings.

The adequacy of the design incorporated on the plans is subject to the requirements included in the specification for the works and the design assumption incorporated into the calculations and reports for the project

Foundation Plan	Proposed Residence For Vance Developments 22 Alpha Street Cambridge	G.A.HUGHES & ASSOCIATES Ltd. CONSULTING CIVIL & STRUCTURAL ENGINEERS Cnr. Graham & Newall Streets, Hamilton East. P.O. BOX 4306	SHEET 6029/3
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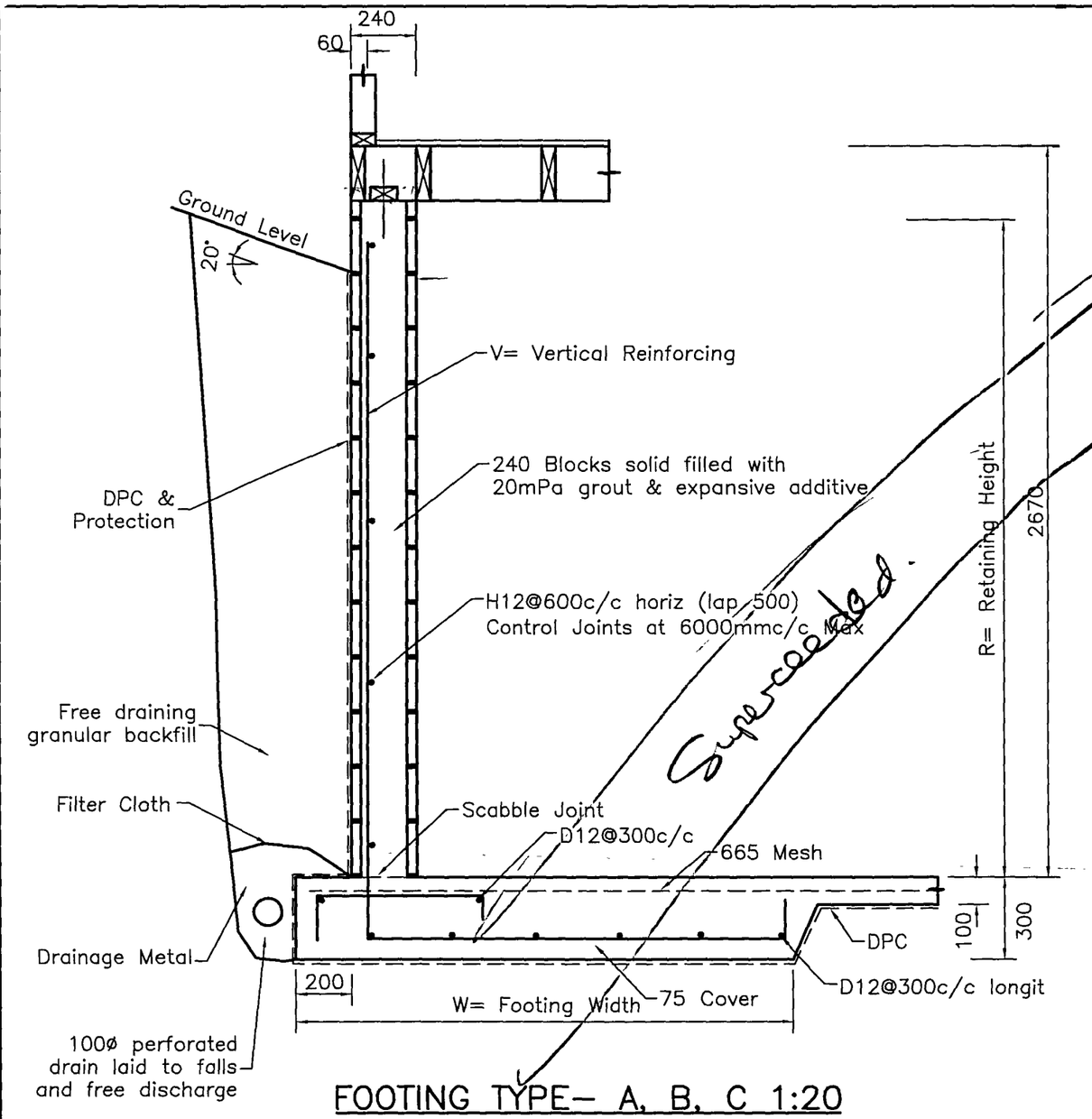

FOOTING TYPE- A, B, C 1:20

Type	Height "R"	Width "W"	Reinforcing "V"
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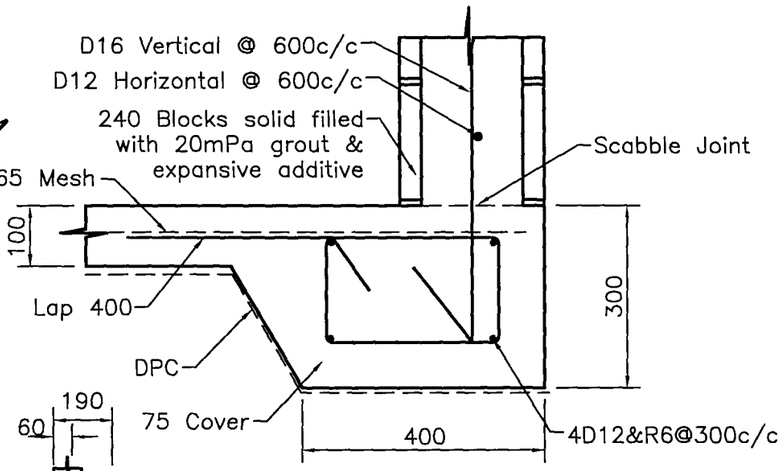
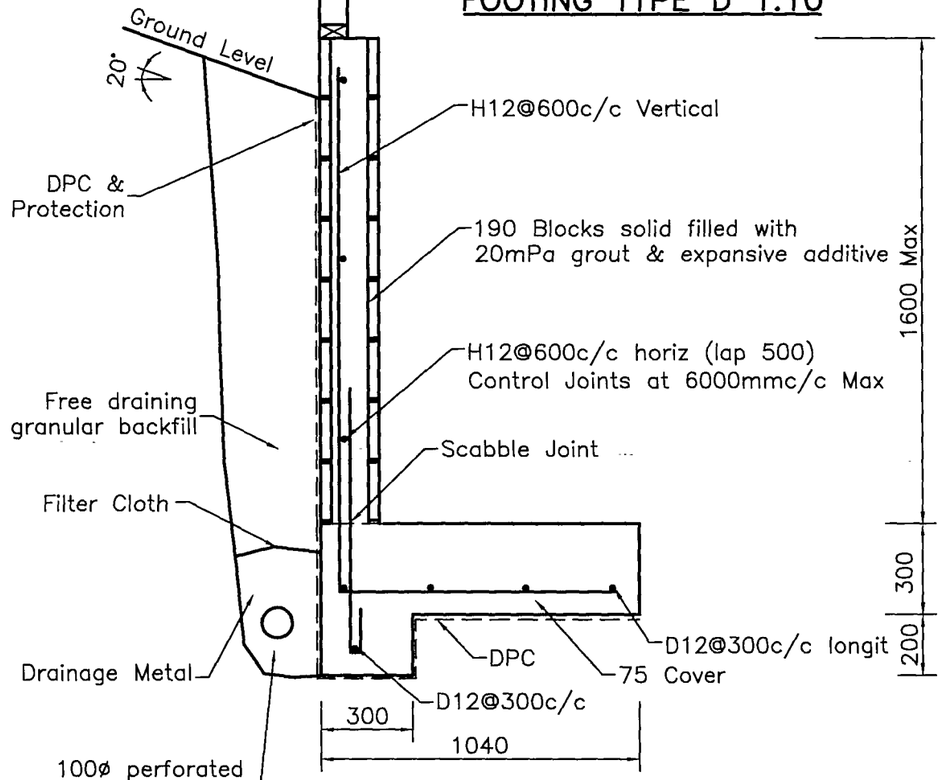
B	1800	1240	H16@600c/c
C	1200	1000	H12@600c/c



FOOTING TYPE D 1:10



FOOTING TYPE- E 1:20

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Contractor to check all dimensions on site and with Architectural drawings.

Details	Proposed Residence For Vance Developments 22 Alpha Street Cambridge	G.A.HUGHES & ASSOCIATES Ltd. CONSULTING CIVIL & STRUCTURAL ENGINEERS Cnr. Graham & Newall Streets, Hamilton East. P.O. BOX 4306	SHEET 6029/4
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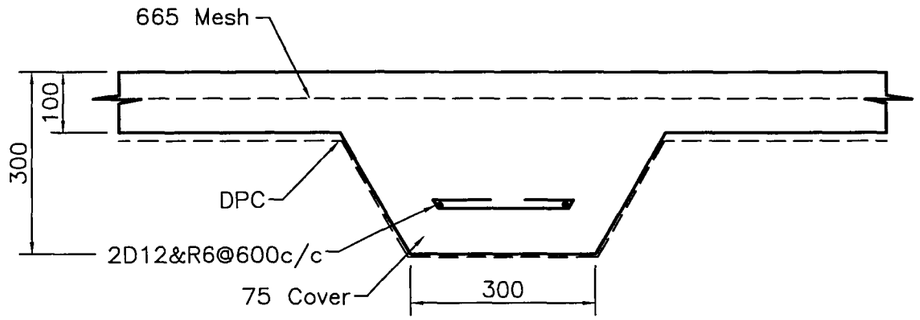
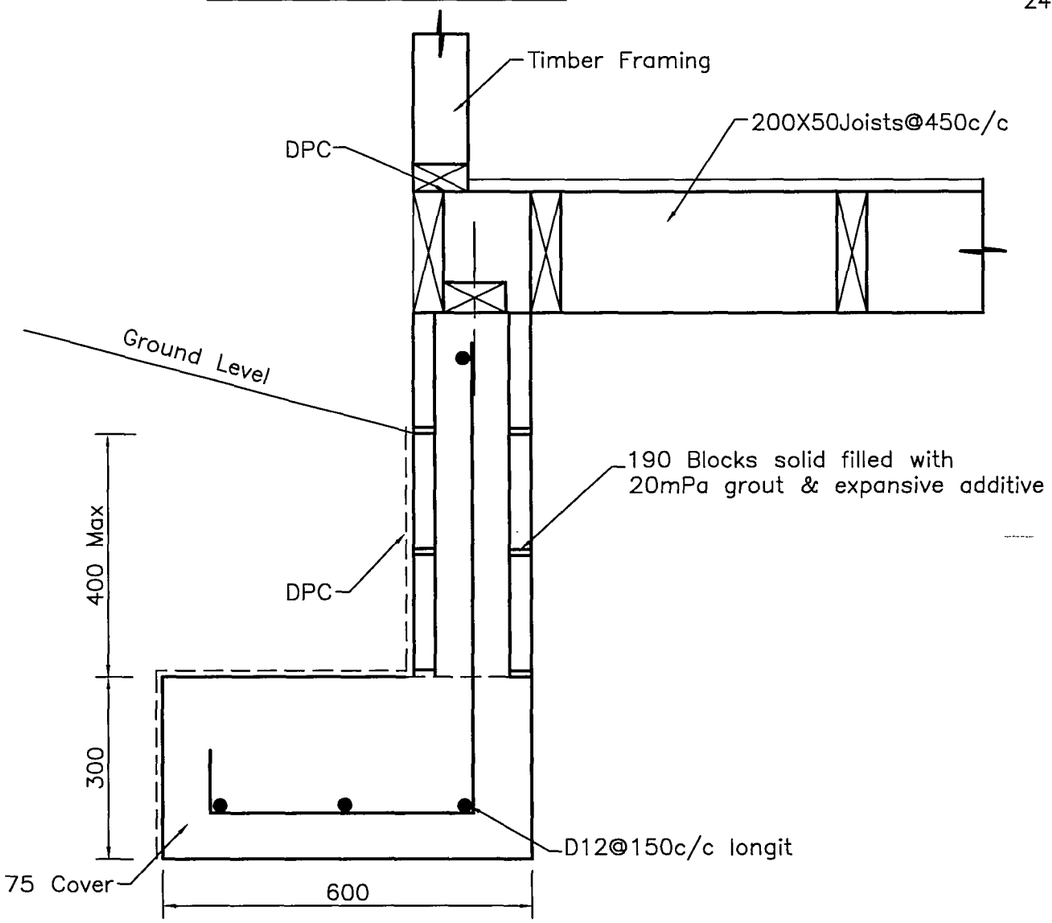
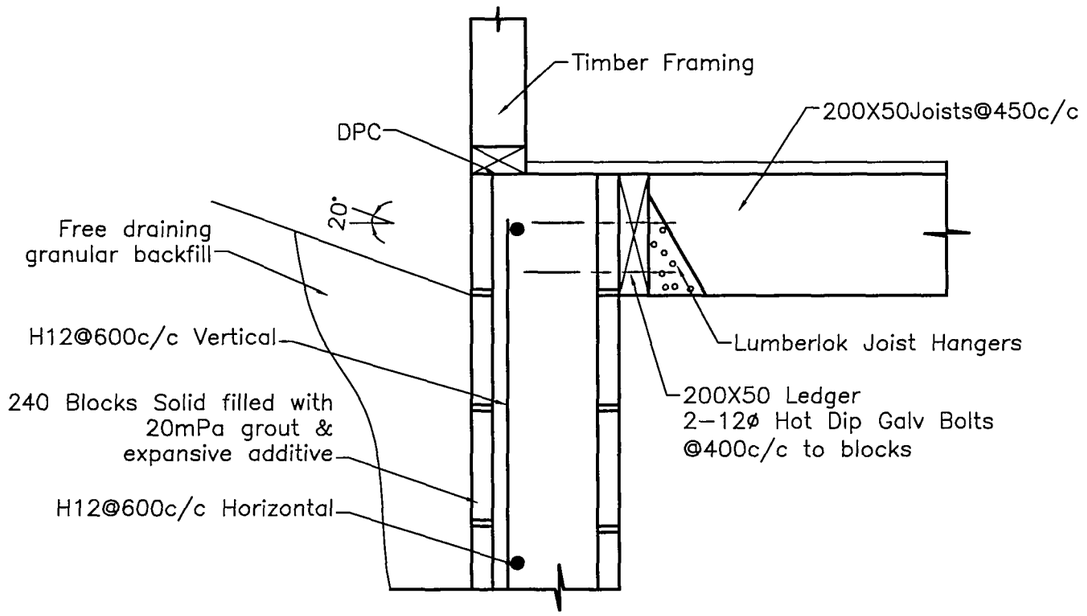


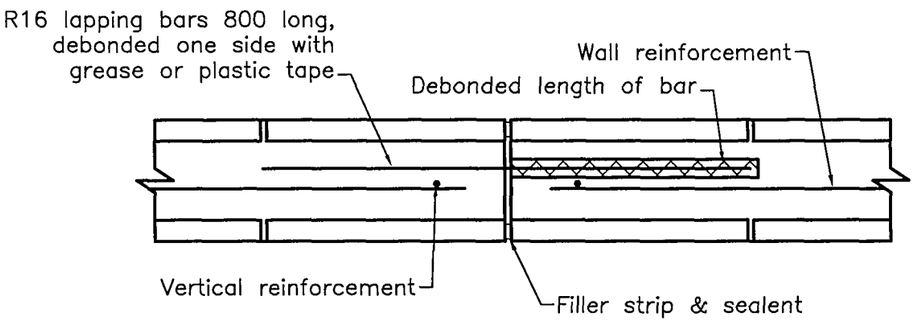
FOOTING TYPE G 1:10



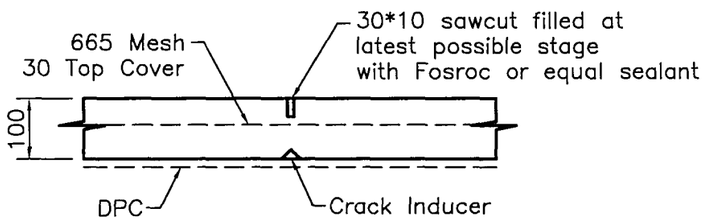
FOOTING TO JOIST FIXING 1:10
(At FFL–4) & FOOTING TYPE–F



BLOCK WALL TO JOIST FIXING 1:10
(At FFL–2)



CONTROL JOINT 1:10



SAWCUT DETAIL "S/C' 1:10

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Contractor to check all dimensions on site and with Architectural drawings.

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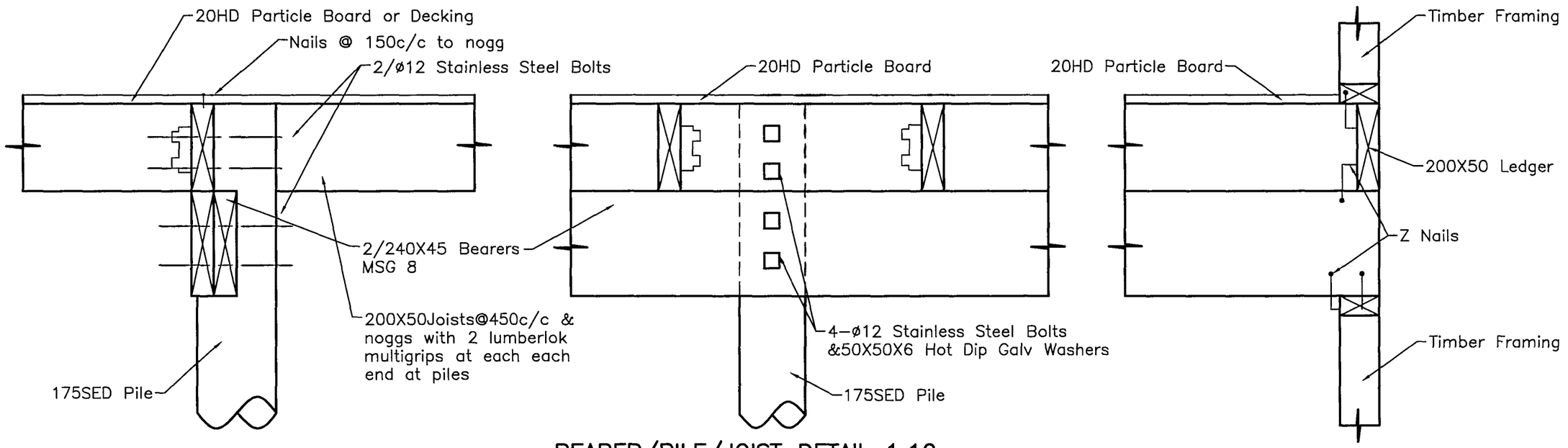
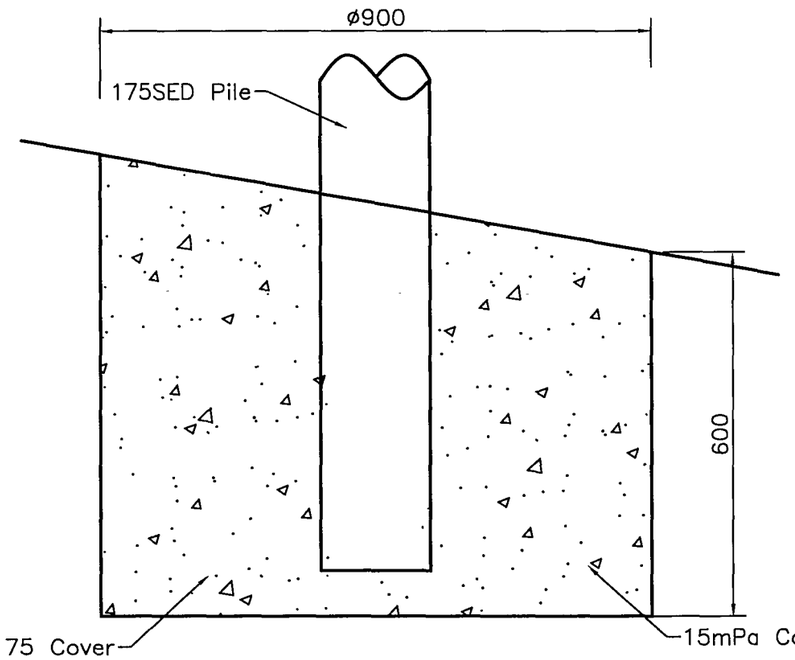
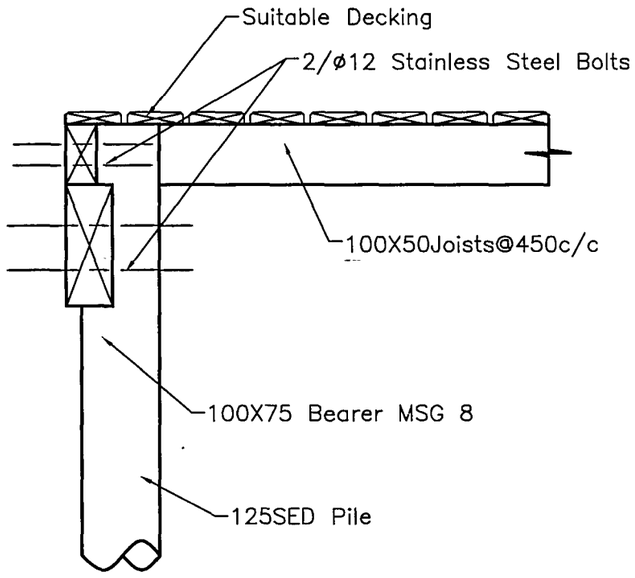


BEARER/PILE/JOIST DETAIL 1:10



TYPICAL POLE FOUNDATION DETAIL 1:10



BEARER/PILE/JOIST DETAIL 1:10
(At Deck)

PILING NOTES

1 PAINT ALL CUT SURFACES WITH 'ENSEAL' OR EQUAL
2. BUILDER TO CHECK ALL DIMENSIONS ON SITE

Contractor to check all dimensions on site and with Architectural drawings.

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Details	Proposed Residence For Vance Developments 22 Alpha Street Cambridge	G.A.HUGHES & ASSOCIATES Ltd. CONSULTING CIVIL & STRUCTURAL ENGINEERS Cnr. Graham & Newall Streets, Hamilton East. P.O. BOX 4306		SHEET 6029/6
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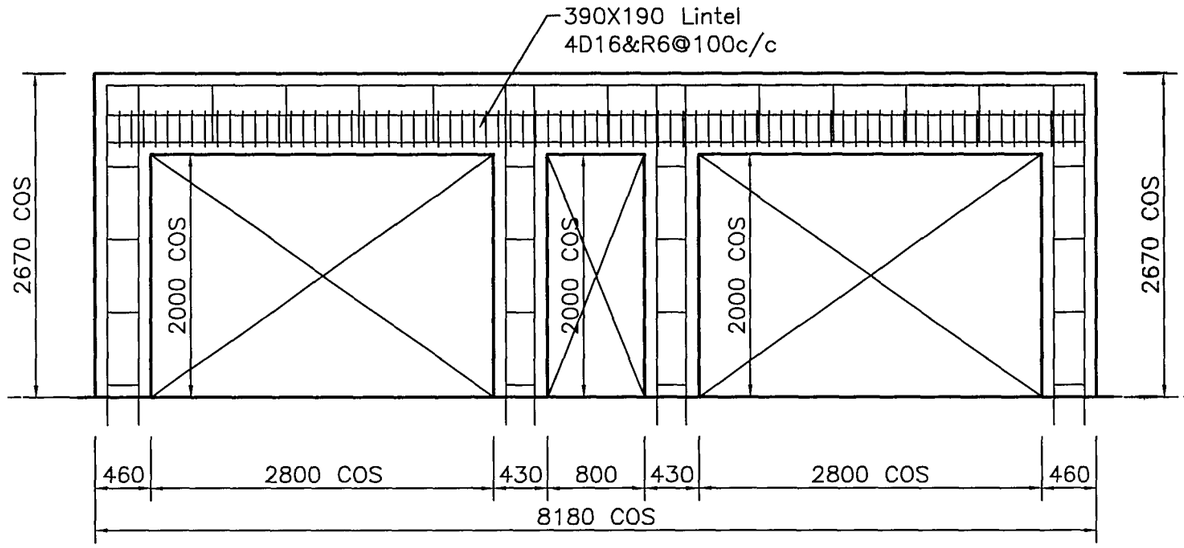
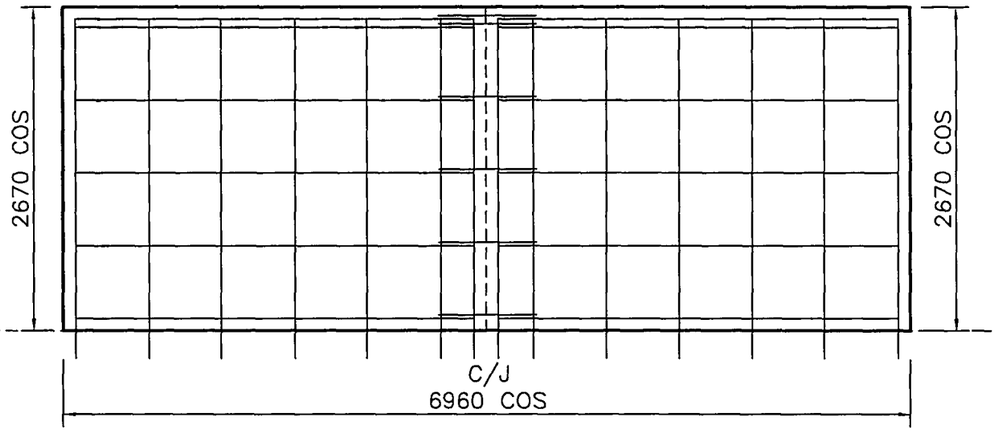
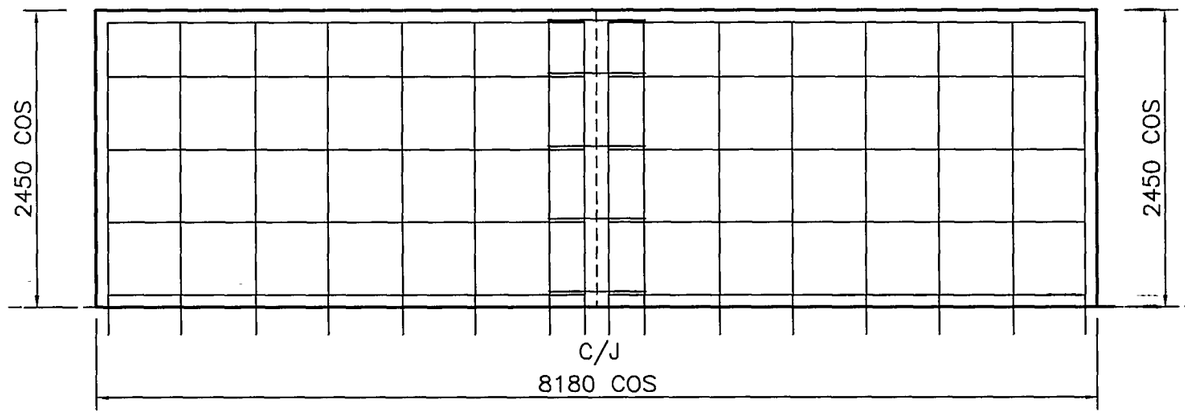
				REF 052101



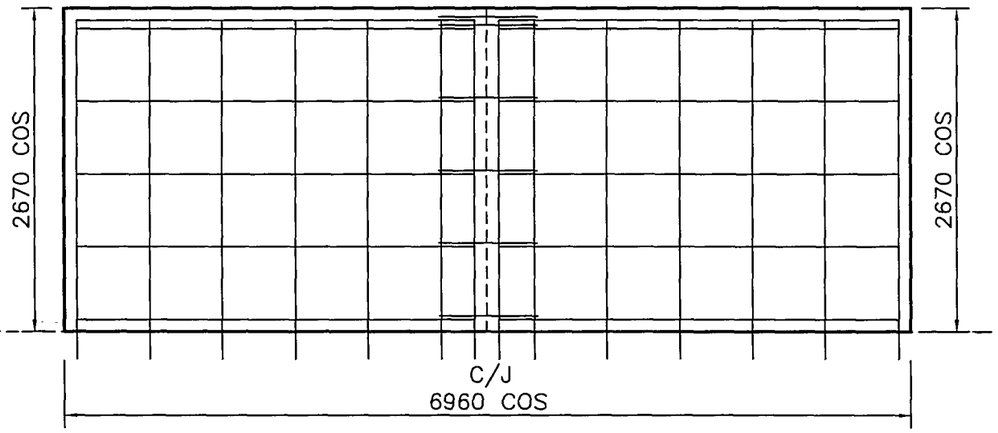
WALL–1



WALL–2



WALL–3



WALL–4

ELEVATIONS 1:50

Blockwork Notes:
1: Concrete strength to be 20mPa at 28 days.
2: Reinforcing steel to be
  –H12@600c/c Horizontal or D12@600c/c
  –H16@400c/c Vertical or H16@600c/c or H12@600c/c or D12@600c/c (Central)
3. 240 blocks solid fill with expansive additive
4. All Blockwork elevations are viewed from outside of building.
5. Lintel reinforcing to extend 400mm past edge of opening.
6. Builder & Block layer to confirm all sizes & positions of blockwork openings with Architect prior to construction.
7. Control joints at 6000c/c max.

Contractor to check all dimensions on site and with Architectural drawings.

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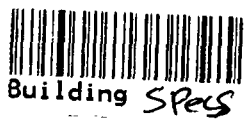
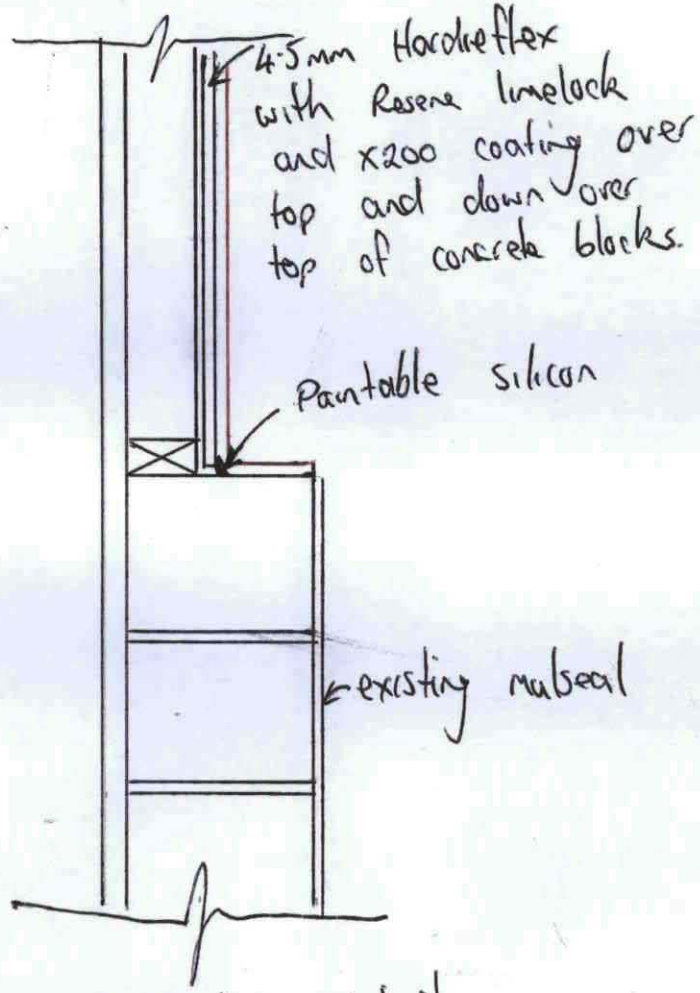
Blockwall Elevations	Proposed Residence For Vance Developments 22 Alpha Street Cambridge	G.A.HUGHES & ASSOCIATES Ltd. CONSULTING CIVIL & STRUCTURAL ENGINEERS Cnr. Graham & Newall Streets, Hamilton East. P.O. BOX 4306	SHEET 6029/7
		DRAWN NSSB / TRACED; CHECKED / DATE 14:04:05; SCALES 1:50	NO 7 / REF052101

22 Alpha st Cambridge

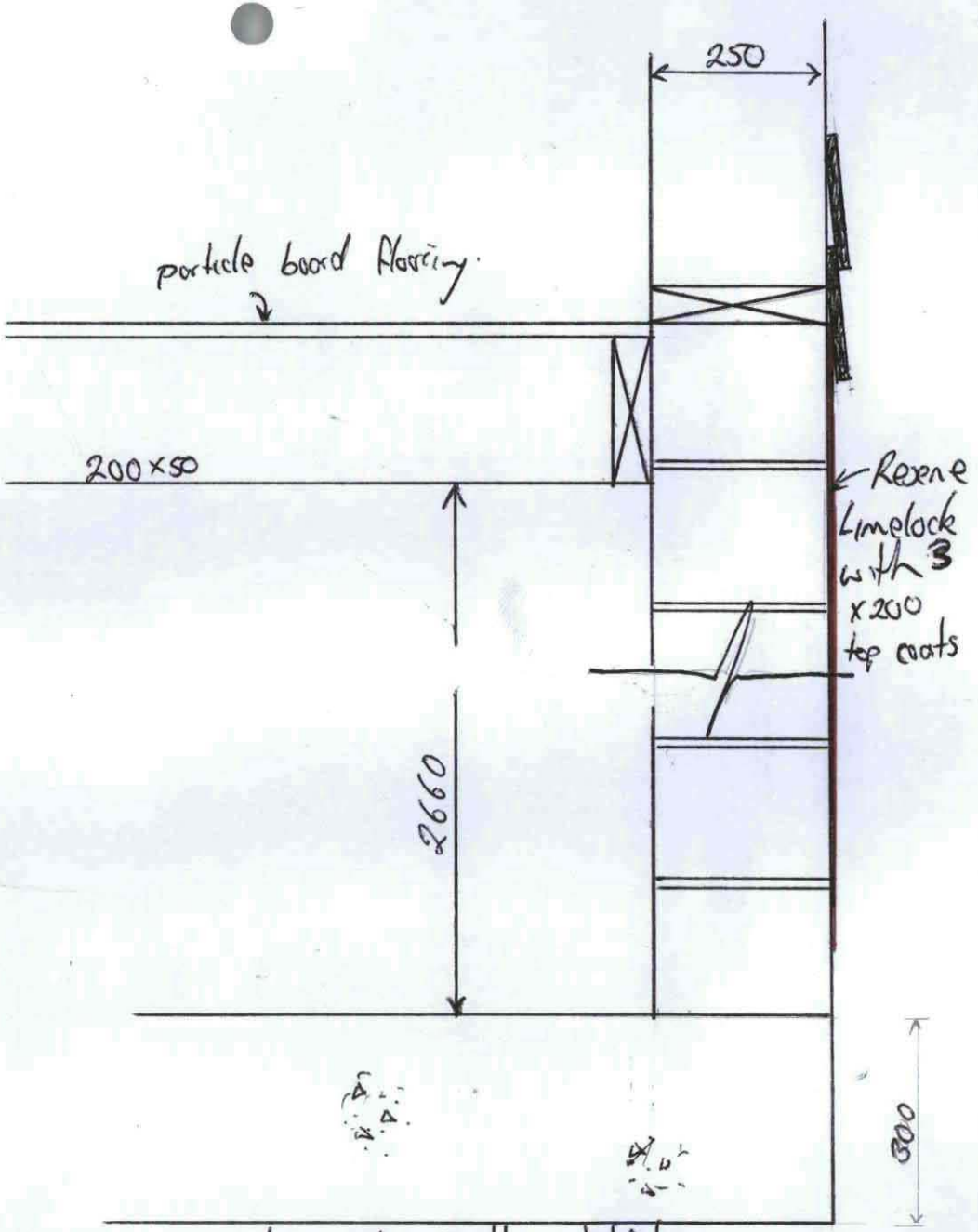
The Detail between solid poured concrete blocks and timber is to be sealed using one coat of Resene limelock with 3 top coats of Resene x-200

By protecting the concrete from moisture from the external environment
I believe this will satisfy clause 2.3.3 of NZS 3604: 1999.





eastern detail
(back wall)



North and South detail.
(side walls.

SPECIFICATION

VANCE DEVELOPMENTS.
DEVELOPMENT PROPOSAL.
ALPHA STREET CAMBRIDGE.

PREPARED BY ULTERIORZ DESIGN
BOX 191 CAMBRIDGE

PRELIMINARY AND GENERAL

Labour Only Contract.

This project shall be carried out on a Labour only basis with each contractor being directly employed by the Owner. The Builder will be the Main Contractor and shall be responsible for nominating preferred sub-contractors and gathering all labour and material prices to supply a completed tender price for the project, to the owner. The Main contractor shall also be responsible for primary management of the project, and subsequent reporting to the Owner, for which a management fee should be allowed. Sub-Contractors shall be obliged to co-operate with all other trades on the job and will be responsible for carrying out all the work of their trade and to ensure that preparatory work for their trade, if carried out be another trade, has been properly executed.

Site

The Site is Lot2/22B Alpha street, Cambridge and is to be visited by tenderers in order to ascertain actual site conditions, levels, soil types etc. as no extras will be allowed through lack of knowledge of the site.

Permits

The Owner shall arrange to obtain the Building Permit and pay the fee. However, each sub-contractor must apply for and pay fees for any permits required within their particular sub-contracts and as required by the various Local Authorities.

By Law

The whole of the work in this contract shall be carried out in strict accordance with the Building Act 1991, and Local Authorities regulations and to be of standards approved by the various Lending Institutions. Generally all work shall comply with the provisions of NZS 3604:99 and Builders must be conversant with this Standard.

Insurance

The Owner shall at all times keep the whole of the works fully covered by All Risk Insurance, but each sub-contractor must be covered for Public Liability, Accident Compensation, etc.

Extent of Work

This Contract comprises the erection and completion in the soundest and most workmanlike manner of all the works shown or reasonably implied on the accompanying drawings and in accordance with this specification, this includes the supply of all plant, tools, labour, materials, fixtures and fittings required for the due completion of the work.

Protection of Work

All parts of the work liable to damage or cause injury, and all adjoining property, existing work, footpath, trees etc, shall be protected throughout the currency of the Contract.

Maintenance

Each Sub-contractor shall maintain his work for a period of 90 days after completion, and any damage done, arising during that time through faulty workmanship or materials shall be made good at the Contractors expense.

Completion

On completion of respective sub trades and of the entire project, all trade debris shall be removed from the site and the building left clean and ready for occupancy, with all services and mechanical parts in good working order.

HEALTH AND SAFETY.

It shall be the responsibility of the builder, hereon in called the Main Contractor, to demonstrate that all practical steps are taken to ensure that Contractors, subcontractors, their Employees, and any members of the Public are not harmed whilst working on the contract work or being on or near the Contract site.

The Contractor shall be fully responsible for compliance with:
1 - Health and Saftey in Employment Act 1992
2 - New Zealand legislation and relevantlocal bylaws
3 - National Standards or Codes of Practice
4 - The Principal's safety rules and procedures.

Health and Safety Programme.
The Programme presented by the Contractor shall include, but not be restricted to, the following information specific to this contract:

a) Management Responsibilty (within the contractors Organisation).
The name of the person who will be responsible for Health and Safety at the place of work and details of the experience and training of that person.
b) Hazards - Identification and Control.
Identification of all significant hazards that are, or likely to present, or may be created, at the place of workand confirmation that these significant hazards cannot be eliminated.
Details of what action will be taken to control the significant hazards.
How the significant hazards will be isolated from the place of work or from the employees and others. If they cannot be isolated, how the significant hazards will be minimised and what procedures will be used to monitor the hazards and the health of employees and others.
The contractor will ensure that his/her staff have been trained for any emergencies and know where to go and what to do.
c) Substances - Health Risks.
An information sheet for products, chemicals or any substances that will be present at the place of work which may have a health risk for any person, detailling:
- the substances and quantities anticipated.
- the nature of the health risks associated with the substance and who is at risk.
- any specific emergency procedure that may be required including first aid.
- what action the contractor is going to take to eliminate, isolate or minimise the exposure to people and how they intend to monitor the risks.
- the type of personal protective equipment to be used.
- what action will be taken to protect the environment.

d) Training - Experience level of Employees.
Confirmation that all Employees are trained in the safe use of all plant, equipment, chemicals, substances and products they will work with, including details of the training of specialised plant, equipment, chemicals, substances or products.
e) Details of how subcontractors are to be included in the Health and Safety programme and controlled with regards to Health and Safety.
f) Health and Safety Accident Reporting.
The contractor shall immediately notify the Authorities of all accidents resulting in:
1 - Fatalities and other lost time injuries to it's or any subcontractors employees.
2 - Non-employee injuries. (public)
3 - All actual or potential damage to the environment. (spills, emissions or discharge.)
Immediate notification shall be followed by an interim report within 24 hours and a full report within 1 week.

Health and Safety Audit.
The Contractor shall assist in carrying out audit inspections of their Health and Safety Programme.

EXCAVATOR and SITE-WORKS.

Refer to Structural Engineers Drawings and Specifications.

REINFORCING STEEL.

General.
The following standards shall apply:

NZS 1900 : 9.3a concrete, general requirements, materials and workmanship.
NZS 3402P: Hot rolled bars for reinforced concrete.
NZS 3421 : Hard drawn mild steel for reinforced concrete.
NZS 3422 : Welded fabric of drawn steel wire for concrete.

Materials
Provide all supports, hangers, spacers and ties to approval where shown.

Plain and deformed bars shall be grade 27S to NZS 3402P. Welded wire fabric shall conform with NZS 3422.

Protection
Store steel clear of ground and mesh under cover. Brace adequately all reinforcement projecting from concrete. Cut out defects surrounding bars caused by movement before resuming concreting.

Fabrication
Fit ties and stirrups tightly around main reinforcement in accordance with the drawings. Bend deformed bars around rollers not fixed pins.

Tolerance and Protective Cover
Tolerances shall be as set out in clause 35.2 NZS 1900.

Minimum concrete cover shall be as follows:

Concrete cast against ground	75mm.
Exposed concrete faces	50mm.
Concrete not exposed to weather	38mm.
Welded wire fabric mesh	30mm top cover.

Laps
Where it is necessary to join bars, adjacent bars shall lap each other by not less than 40 diameters. Lap mesh at least 1 1/2 meshes plus end extensions but in no case less than 300mm. (not applicable if using Fibremesh MD)

Inspection
Before concreting reinforcement must be inspected by the Local Authority. Allow 24 hours notice to local authority prior to inspection.

CONCRETOR

Materials
Concrete shall be pre mixed with a test strength of 20 MPa after 28 days.

Reinforcement shall be MS rods and reinforcing mesh as detailed free from scale, loose rust, paint, grease, dirt etc.

Formwork shall be erected and braced in such a manner that concrete shall finish to the dimensions as indicated on the drawings and reinf. as shown or specified. The formwork is to be hosed out and kept wet before and while the concrete is being placed.

Concrete Work

Construct the various foundations as detailed on the Structural Engineers drawings and reinforce as shown. Construct the various floor slabs, steps and porch slabs as indicated on the drawings and reinforce as shown.

Hard filling to be 74mm down scoria or clean pit sand compacted in layers of 150mm max. depth. Overlay with Duroid Dampgard, DPC with 150mm taped laps. Tape round all penetrations and rips etc.

All floor slabs to be laid to true and straight surfaces, screeded, wood floated and finished with a power float to a fine finish.
Sawcut at 4.0m c/c min or as indicated on the drawings to minimise uncontrolled slab cracking.
Thickness and reinforcing as detailed on the drawings.

Allow to install all galv. steel posts and build in all Pryde bottom plate anchors, pipes, wire etc. as required prior to the pouring of the slab.
Bottom plate fasteners to be 400mm from corners and at 800mm crs.

All exposed concrete work, except floors, to be roughened or scratched for subsequent plastering unless a suitable self finish can be obtained.

BLOCKLAYER.

Refer to Structural Engineers Drawings and Specifications.

CARPENTER.

Timber.

Timber throughout shall be true and straight, properly seasoned and free from shakes, large or loose knot edge or other defect and of the grades specified below: Internal Framing - No.1 LOSP/tan (H1+,H3)
External Framing - No.1 tanalised (H3,H4,H5)
All plates shall be in as long lengths as possible, nail-plated at joints and junctions between walls in accordance with NZS 3604 (1999).
Spacing of fixing of bottom plate to floor to be halved at corners, at wall ends and large openings.
Wall framing shall be 100x50 generally, with 100x75 framing to selected overheight walls as set out in NZS3604.99 .
All corners and intersections are to be formed with a minimum of three studs lapping each other by approx 12mm and securely nailed together with blocks at 800mm c/s max. Provide solid nogs spaced at 800c/s measured from the floor in all wall frames.
In addition nogs are to be provided where necessary to provide fixing for joinery items and other fittings.
Cut-in and securely fix all angle bracing called for in the bracing schedule.

Roof Framing.

Frame up roof over dwellings with Pryda or similar Gangnailed trusses, purposemade and guaranteed by an approved manufacturer. Use nominated timber rafters, as detailed on the accompanying drawings, to frame up for specific roof areas. Trusses shall be fixed to framing at 900c/s and braced as called for in NZS 3604 (1999).
At gable-ends, trusses are to be fixed to framing with metal strap fasteners and the plate/stud/floor connections all reinforced to take the additional loads to be expected.
Generally, overhangs to roof areas are sloping and vary in dimension.
Refer to the accompanying drawings.

Building Paper.
Fix over the exterior of framing an approved fire-retardant breather type building paper. Duroid Greenwrap.
Roof framing to be similarly covered with fire retardant self supporting building paper. Duroid Greencap.
Building paper where specified to be run horizontally and weather lapped a minimum of 150.

External Linings.
External linings shall be clad with Hardies Linea fibro-cement weatherboarding fixed in strict accordance with the manufacturers recommendations. Use patented jointing system with 100x25 tan timber boxed corners and window facings.

Insulation.
Exterior wall insulation shall consist of R1.8 (minimum) Dacron Insulite or equivalent, set between wall framing so that no voids are left.
Roof insulation shall consist of R2.2 (minimum) Dacron Insulite or equivalent, fixed over the ceilings in either roll or batts form in accordance with NZS 4218P.

Ceilings.
Generally, fix 9.5mm Gib Ultraline sheets directly to underside of ceiling strapping, to form all ceilings generally.
Fix all Gib board sheeting in strict accordance with the manufacturers requirements as set out in the GIB Solutions, Technical Manual.
Ensure correct moisture content to timber work, before attempting to fix ceilings. Pack true to level as necessary.

Interior Linings.
Interior wall linings generally to be purpose selected 9.5mm gibralter board sheets fixed in strict accordance with the GIB Solutions Technical information, with flat head galvanised clouts or screws. Ensure correct moisture content to all timber framing, before attempting to fix wall or ceiling linings.
Gibstopper to prepare all Gib board wall and ceiling surfaces for a Type 4 paint finish.
Linings to Ensuite shower/bath areas shall be selected 4.75mm Hardiglaze with PVC jointers and edge moulds.
Seal and flash bottom edges at junction with floor/bath.

Wardrobes shall be fitted with one ex.300x25mm shelf, 1.800m above floor level and with aluminium coat hanger profile fixed to front of shelf. Owner to supply patented wardrobe storage system.

Linen cupboard to be shelved with slatted shelves ex. 100x25mm as directed.
Nog for and build in the various joinery fitments as supplied by the joiner and trim around as required.

Skirtings to be No 20 FJPine mould, or as directed by the owner, scribed to the floor and internal corners and mitred at external corners.

Co-operate with the Electrician in the building in of a meter box and switchboard recess lined with fire retardant material and trimed around as required.

All interior finishing timbers shall be sanded to remove machine marks and on completion shall be free from all hammer marks, splits or other defects.
All nails in exposed work (interior and exterior) are to be punched and filled with an approved putty.

Sheet materials are to be fixed in accordance with their respective manufacturer's recommendations.
No wall linings are to be fixed until the framing is dry, straight and true.
Straightening of studs etc to be carried out in accordance with NZS3604 (1990)

TIMBER JOINERY.

Interior Doors.

All interior doors are to be flush hollowcore plywood veneered timber.
Allow to hang all interior doors on 1.5 pr BMA loose-pin butts or Sylon sliding doortrack and runners, suited to the size and weights of the doors concerned.
Allow to fit all hardware as scheduled below.
Door furniture - Sopers NZ Devon collection/Valentina.

Kitchen & Vanity units.

Construct all bench and shelf unit carcases from selected 18mm Melteca, glued and screwed in the best tradesmanlike manner, to sizes as indicated on the drawings. Confirm all dimensions on site prior to commencement of work.
All bench tops, cupboard door & drawer fronts shall be clad in selected laminate, glue fixed to customwood substrate. Use also ex 150x25 solid rimu to form kickboard to toe space. Fit patented plastic clad wire baskets on drawerslides to all cupboards, and purposemade customwood drawers on patented drawerslides to bank as shown on the drawings.
Allow to fit all hardware as scheduled below.

Cupboard door handles - UNO cabinetware 2394.128 PC
Cupboard door hinges - Concealed self closing type.

Towel rails, toilet roll holders, etc from the JAECO York Manor range, to be supplied by the Owner.

ALUMINIUM JOINERY.

Window & Door Joinery.

All windows and most doors are to be selected powdercoat, glazed aluminium finished as noted, supplied and guaranteed by an approved manufacturer to NZS 4211, NZS 4223 and all other relevant codes, complete with all locks, latches, handles, etc.
Allow for 20mm FJPine timber liners with selected architraves generally to all joinery fixed to timber framing.
Entry door only, shall be framed, ledged, braced and battened solid timber in aluminium frames. Allow to hang all 2000 high doors on 1.5pr, and all 2400 high doors on 2pr galv loose pin butt hinges, fitted with Legge Pacific Alpha 500 series furniture and keyed alike.
Fit all head flashings as required.
Ensure a permanent seal around all openings.

ROOFER.

Roof areas generally are to be covered with 0.4mm longrun corrugated ZR8 colboursteel roofing sheets, laid strict in accordance with the manufacturers recommendations.

The roofing sheets are to be fixed to timber purlins, with approved fasteners by competent tradesmen in accordance with best trade practice, this specification and the roofing manufacturer's recommendations.

Spacing of fixings is to be halved at gable roof verges, at eaves and at ridges. Roofing sheets are to be laid with the side-laps away from the prevailing winds. Where, because of conditions peculiar to the site, winds above normal for the area may be expected, then the frequency of fixing of the roofing must be increased.

Cleaning.

On completion of all other work on the roof the entire roof and gutters are to be cleaned of all dirt, debris, discarded nails etc and metal cuttings.

PLUMBER.

All plumber's work shall be carried out by certified tradesmen.
Materials shall be the best available and must fully conform to all relevant codes, regulations and bye laws.

Flashings.

Flashings to coloursteel wall cladding and to openings in roofs shall be neatly formed and dressed to the contours of the roofing to form a weathertight seal.
All coloursteel flashings shall be formed in as long lengths as practicable, machine bent and cut as necessary with neatly formed ends and joints.
Prepare and fix all flashings necessary to complete the roof and walls, and make all weathertight.

Spoutings and Gutters.

All guttering shall be coloursteel 1/4 round external gutter system with falls to rainwater pipes. Use concealed fixing brackets and coloursteel external fascia.

Downspouts shall be 75mm diameter zincalume fixed to walls with three stand-off brackets per 2.4m drop and complete with formed swan-necks etc. Downspouts are to discharge over 90mm dia storm drains but not sealed to them.

Waste Pipes.

All wastepipes shall be PVC of the required sizes and grades complete with cleaning eyes at all accessible bends.
Inaccessible bends, where unavoidable, shall be securely supported swept bends of not less than 1200mm dia. or preformed swept bends.
All wastepipes from W.H.B.s, tubs, sinks, showers and baths shall discharge over gulley traps outside the building.

Cold Water Supply

Lay on cold water supply from the existing water connection serving the property to the proposed dwellings in 25mm UPVC piping.
All piping outside the building shall be buried at least 450mm below finished ground level.
Supply toilets, sinks, tubs, showers and handbasins in 15mm copper pipe.

Provide and install Rinnai Infinity 24, Gas operated califont Hot Water unit where directed. Lag all pipework from HWC.

Taps.

Supply and Install Polished Chrome taps from the Methven range, as scheduled below.

Kitchen Sink	- FU120Q mixer
Vanity basin	- LUBASF faucet
Bath	- LUBATF faucet
Shower	- LUSR rose
	- LUSL mixer

Supply and install also 2 No. brass hose taps per dwelling, where directed.

W.C Cisterns

Selected wall mounted, centre flush with syphonic valves and 20mm overflows to be piped to the outside. Flush pipes to be P.V.C. Install and connect to pans.

W.C Pans

First quality standard grade P trap type floor mounted vitreous china pan, with timber double flap seat.

Completion.

The Plumber is to test and clean his installation, removing all labels from fittings and leaving all in a satisfactory condition.
He is to pass to the Main Contractor all manufacturer's guarantees for equipment installed by him.

ELECTRICIAN.
The electrical Installation shall comply with the Electrical Wiring Regulations and the bye-laws of the Supply Authority.

Workmanship.
The installation shall be carried out by competent registered electricians in accordance with sound trade practice and all relevant regulations.
All wiring shall be concealed within walls. Where walls are unlined wiring shall be in conduit within the framing.
Where it is necessary to traverse a wall horizontally, the wiring shall be carried vertically to the top or bottom plate and the traverse made above the top or below the floor then a vertical rise or drop through noggings to the fitting. Note that all ceilings and intermediate floors are skillion type and special care is required to traverse these areas.

Materials.
Materials shall comply with N.Z.Standards and with the descriptions in this specification.

Lead-In Pipes.
The electrical sub-contractor shall supply and position lead-in pipes for mains wires and for telephone where concrete floors are to be laid. It is his responsibility to ensure that they are not damadged, dislodged or the draw cords lost during concreting.

Mains Supply.
Mains supply shall be installed to the requirements of the local supply authority. All mains shall be carried underground to the building from the existing connection point, and finished overlength. Surplus lead shall be neatly folded in the back of the meter box, not coiled.
The meter box shall be an approved enamelled steel semi-flush cabinet built in where shown on plan, mounted 1800mm above floor.

Switchboard.
Provide distribution board in meter box, where shown on plan. All circuit protection is to be by means of MCBs. All breakers and switches are to be clearly and permanently marked to indicate circuits controlled.

Light fittings.
Supply and install all light fittings as selected by owner, in accordance with the electrical layout. Allow a PC SUM of $100.00 per fitting.

Light Switches.
All light switches shall be flush plateswitches from the PDL 500 series.
Generally light switches shall be mounted 800mm above floor level. Where a number of switches are located in the same area they shall be mounted on ganged plates, and where the number of switches exceeds the available ganging,plates shall be grouped in rectangular pattern of even numbers.

Socket Outlets
Socket outlets shall be switched flush plate units to match light switches.
Generally socket outlets shall be mounted 200mm above floor, or where fixed benches occur then 200mm to bottom of plate from bench top.
Note use of specialised socket outlets required to be fitted to the Kitchen bench unit.

Fixed Outlets.
Fixed outlets are to be provided for water-heaters and all other heavy duty appliances of a fixed nature. All fixed outlets are to have isolating switches and indicating neon. Where a fixed-wired outlet is inaccessible
a remote flush-plate neon indicator is to be mounted at eye-level where it can be seen.

Electrical Fitments.
Allow PC Sums for the following items to be included in the contract.

STANDARD OVEN (double)	$ 1200.00
RANGE HOOD	$ 800.00
DISHWASHER (standard)	$ 1200.00

Aerial Sockets.
Provide and install where shown flush ivory plate-mounted co-axial aerial sockets. Mount plates as for socket outlets Connect aerial sockets to eaves mounted weatherproof connector block with TV/VHF aerial cable routed as far as possible from any mains cables. The electrical contractor is not responsible for the supply of aerials but must ensure the correct operation of the downlead and socket.

Earth Bonding.
Provide earth bonding to metal plumbing, cladding and to metal light fittings.

Completion and Testing.
On completion of his work the electrical sub-contractor is to test the installation to the satisfaction of the Supply Authority and to arrange and pay for the final connection to be carried out.

DRAINLAYER.

Drainlaying shall be carried out by, or under the supervision of a registered tradesman in accordance with the requirements of the Drainage and Plumbing Regulations, the requirements of the Local Authority and of "best Trade Practice".

Pipes.
Pipes for foul and storm drainage to be 100mm and 90mm min diam respectively, of unplasticised P.V.C. all as described in the Sixth Schedule of the Drainage and Plumbing regulations.

Falls.
Foul drainage lines shall be laid to falls not less than 1:100 tabulated in the Second Schedule of the Drainage and Plumbing Regulations. All foul drains shall have inspection points at all changes in direction and at junctions.
Storm drains are to be laid similarly but swept bends will be permitted provided adequate access is provided for cleaning. Falls to be not less than 1:100.
Pipe barrels to be fully supported by the bottom of the trench, on undisturbed, firm sub-soil.

Backfilling.
Trenches are to be backfilled to within 200mm of finished ground level, with sand, well packed and consolidated around the pipe. The final 200mm is to be filled with top-soil, lightly packed, and finished proud of surrounding ground to allow for settlement.

Testing and Approval
The Drainlayer shall notify the inspector of the Local Authority when all drains have been laid and shall provide facilities for the testing of the system to the Inspector's satisfaction, and shall obtain his permission before proceeding with backfilling.

As Installed' Drainage diagram.
The Drainlayer is to provide an 'As Installed' diagram of the drainage systems dimensioned from the building with levels relative to floor marked at key points so that future alteration and/or repair work may be facilitated. A copy of this diagram is to be lodged with the local authority and a further copy delivered to the Owner.

Stormwater.
All off roof stormwater is to run to link with new connection as shown on the site plan. Confirm IL on site. Run all stormwater in 90mm dia. P.V.C pipe.

Sewerage.
All soil drainage is to run to link with new connection, as shown on the site plan. Run sewerage in 100mm dia. PVC pipe.

PAINTER AND DECORATOR.

The Painting and Decorating Sub-Contractor shall be responsible for the entire painting and decorating of the building.
All materials used shall be straight from the new unopened cans, and applied strictly in accordance with the manufacturer's instructions.
Any failure of the finishes in appearance or performance will require their being stripped and redone. The cost of such work shall be outside the scope of this contract and shall lie between the manufacturer of the materials and the sub-contractor who is responsible for ensuring the suitability of surfaces for the finish applied.
If the sub-contractor feels that a surface is unsuitable for finishing or for the finish specified he must inform the Owner in writing and obtain from him instruction on how he should proceed before carrying out work.

Completion
On completion of the works remove all trade debris, clean down windows and glass work and leave the building ready for occupancy.

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Wall Bracing Calculation Sheet A

Job Details

LEVEL 2 box 1

Name VANCE DEVELOPMENTS

Street and Number 22 ALPHA STREET

Lot and DP Number LOT 2 DPS 90225

City/Town/District CAMBRIDGE

Location of Storey: single / [upper of two] / lower of two Floor load: [2kPa] / 3kPa

Building height to apex 4280 m

Roof height above eaves 1.240 m

Stud height 2.4 m

Average roof pitch 15°

Building length BL = 8.18 m

Building width BW = 4.780 m

Roof weight [light] / heavy

Cladding weights:

Subfloor light/medium/heavy

Lower Storey light/medium/heavy

Upper Storey [light]/medium/heavy

Room in Roof Space Yes / [No]

Gross Building Plan Area, GPA = 39.1 m²

Note: *When the average roof pitch is over 25 degrees, use the eaves length and width to determine BL and BW.*

Wind Zone

box 2

Region:		Terrain:		Exposure:		Topography:	
R1	0	Inland	0	Sheltered	0	Gentle	0
R2	1	Coastal	1	Exposed	1	Moderate	1
						Extreme	3

Total points _____

Wind Zone: _____ Low (0) _____ Very high (3)

_____ Medium (1) _____ Specific Design (4)

✓ High (2)

Earthquake Zone

box 3

From figure EQ1 select Earthquake Zone: A (B) C

BUs required Wind

box 4

From Table W1A/W1B

W along = 64 BUs/m

W across = 54 BUs/m

Total wind load,

W ALONG:

W along x BW = 306 BUs

W ACROSS

W across x BL = 442 BUs

BUs required Earthquake

box 5

From Table EQ1/EQ2/EQ3/EQ4/EQ5/EQ6

E = 5.0 BUs/m²

Note: For a room in the roof space use E + 3

Total earthquake load,

EQ ALONG and EQ ACROSS

E x GPA BUs = 196 BUs

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Wall Bracing Calculation Sheet B

Along

LEVEL 2

Wall or Bracing Line		Bracing Elements Provided			Wind		Earthquake	
1	2	3	4	5	6 W	7 W	6 E	7 E
Line Label	Minimum BUs Required	Bracing Element No.	Bracing Type	Length Element (m) L	Rating BU/m W	BUs Achieved (BU/m x L) W	Rating BU/m E	BUs Achieved (BU/m x L) E
A		D	GIB1	2.4	75	180		
		E	GIB2	2.2	80	165		
B		F	BR5	1.4	115	161		
			BR4	1.1	100	110		
C								
D								
E								
		Totals Achieved		6.16	W	616	E	
		From Sheet A	**Totals Required**	524	W	306	E	195.5
		Wreq/Ereq =	1.57	*				

***If Wreq/Ereq is 1 or less complete E column only**
If Wreq/Ereq is 1.5 or more complete W column only
Otherwise complete both W and E

Across

Wall or Bracing Line		Bracing Elements Provided			Wind		Earthquake	
1	2	3	4	5	6 W	7 W	6 E	7 E
Line Label	Minimum BUs Required	Bracing Element No.	Bracing Type	Length Element (m) L	Rating BU/m W	BUs Achieved (BU/m x L) W	Rating BU/m E	BUs Achieved (BU/m x L) E
M		M	GIB1	2.4	75	180	50	120
		N	GIB2	2.4	80	192	70	168
N		O	GIB1	1.8	75	99	58	95
O								
P								
Q								
		Totals Achieved		471	W	471	E	378
		From Sheet A	**Totals Required**	257	W	442	E	195.5
		Wreq/Ereq =	2.26	*				

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Wall Bracing Calculation Sheet A

Job Details

LEVEL 3

box 1

Name VANCE DEVELOPMENTS

Street and Number 22 ALPHA STREET

Lot and DP Number LOT 1 DPS 90225

City/Town/District CAMBRIDGE

Location of Storey: single/upper of two/lower of two (lower of two) Floor load: 2kPa/3kPa (2kPa)

Building height to apex	7.373 m	Roof weight	(light)/heavy
		Cladding weights:	
Roof height above eaves	2.110 m	Subfloor	(light)/medium/heavy
		Lower Storey	(light)/medium/heavy
Stud height	2.4 m	Upper Storey	(light)/medium/heavy
Average roof pitch	15°	Room in Roof Space	Yes / (No)
Building length BL =	8.18 m	Gross Building	
Building width BW =	6.170 m	Plan Area,	GPA = 50.5 m²

Note: *When the average roof pitch is over 25 degrees, use the eaves length and width to determine BL and BW.*

Wind Zone

box 2

Region:		Terrain:		Exposure:		Topography:	
R1	0 ✓	Inland	0 ✓	Sheltered	0 ✓	Gentle	0
R2	1	Coastal	1	Exposed	1	Moderate	1
						Extreme	3 ✓

Total points

Wind Zone: Low (0) Very high (3)

Medium (1) Specific Design (4)

✓ High (2)

Earthquake Zone

box 3

From figure EQ1 select Earthquake Zone: A (B) C

BUs required Wind

box 4

From Table W1A/W1B

W along = 139 BUs/m

W across = 163 Us/m

Total wind load,

W ALONG:
W along x BW = 858 BUs

W ACROSS
W across x BL = 1334 BUs

BUs required Earthquake

box 5

From Table EQ1/EQ2/EQ3/EQ4/EQ5/EQ6

E = 10 BUs/m²

Note: For a room in the roof space use E + 3

Total earthquake load,

EQ ALONG and EQ ACROSS

E x GPA BUs = 505 BUs

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Wall Bracing Calculation Sheet B

LEVEL 3

Along

Wall or Bracing Line		Bracing Elements Provided			Wind		Earthquake	
1	2	3	4	5	6 W	7 W	6 E	7 E
Line Label	Minimum BUs Required	Bracing Element No.	Bracing Type	Length Element (m) L	Rating BU/m W	BUs Achieved (BU/m x L) W	Rating BU/m E	BUs Achieved (BU/m x L) E
A		B	GIB1	2.4	75	180		
			GIB1	2.4	75	180		
B		C	GIB2	2.0	75	150		
			BR9	0.7	110	77		
			GIB2	2.1	75	157		
C		D	BR5	1.4	115	161		
			BR4	1.1	100	110		
D								
E								

Totals Achieved	1015	**W**	1015	**E**	
From Sheet A **Totals Required**	858	**W**	858	**E**	505
Wreq/Ereq = *	1.7				

***If Wreq/Ereq is 1 or less complete E column only**
If Wreq/Ereq is 1.5 or more complete W column only
Otherwise complete both W and E

Across

Wall or Bracing Line		Bracing Elements Provided			Wind		Earthquake	
1	2	3	4	5	6 W	7 W	6 E	7 E
Line Label	Minimum BUs Required	Bracing Element No.	Bracing Type	Length Element (m) L	Rating BU/m W	BUs Achieved (BU/m x L) W	Rating BU/m E	BUs Achieved (BU/m x L) E
M		m	BR9	0.6	110	66		
			BR5	2.4	115	276		
N		n	BR4	1.1	100	110		
O		o	BR5	1.6	115	184		
			GIB2	3.0	80	240		
			GIB2	3.0	80	240		
P		p	BR4	1.1	100	110		
			BR5	2.4	115	276		
Q								

Totals Achieved	1502	**W**	1502	**E**	
From Sheet A **Totals Required**	1334	**W**	1334	**E**	505
Wreq/Ereq = *	2.64				

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Wall Bracing Calculation Sheet A

Job Details

LEVEL 4 box 1

Name VANCE DEVELOPMENTS

Street and Number 27 ALOHA STREET

Lot and DP Number LOT 1 DRS 90225

City/Town/District CAMBRIDGE

Location of Storey: single/upper of two/lower of two Floor load: 2kPa/3kPa

Building height to apex 7.373 m

Roof height above eaves 2.110 m

Stud height 2.4 m
Average roof pitch 15°

Building length BL = 8.18 m

Building width BW = 7.980 m

Roof weight light/heavy

Cladding weights:

Subfloor ~~light/medium/heavy~~

Lower Storey light/medium/heavy

Upper Storey light/medium/heavy

Room in Roof Space Yes/No

Gross Building Plan Area, GPA = 52.4 m²

Note: *When the average roof pitch is over 25 degrees, use the eaves length and width to determine BL and BW.*

Wind Zone

box 2

Region:		Terrain:		Exposure:		Topography:	
R1	0	Inland	0	Sheltered	0	Gentle	0
R2	1	Coastal	1	Exposed	1	Moderate	1
						Extreme	3

Total points

Wind Zone: ___ Low (0) ___ Very high (3)

___ Medium (1) ___ Specific Design (4)

✓ High (2)

Earthquake Zone

box 3

From figure EQ1 select Earthquake Zone: A (B) C

BUs required Wind

box 4

From Table W1A/W1B

W along = 78 BUs/m

W across = 78 BUs/m

Total wind load,

W ALONG:
W along x BW = 623 BUs
W ACROSS
W across x BL = 639 BUs

BUs required Earthquake

box 5

From Table EQ1/EQ2/EQ3/EQ4/EQ5/EQ6

E = 5.3 BUs/m²

Note: For a room in the roof space use E + 3

Total earthquake load,

EQ ALONG and EQ ACROSS

E x GPA BUs = 278 BUs

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Wall Bracing Calculation Sheet B

LEVEL 3

Along

Wall or Bracing Line		Bracing Elements Provided			Wind		Earthquake	
1	2	3	4	5	6 W	7 W	6 E	7 E
Line Label	Minimum BUs Required	Bracing Element No.	Bracing Type	Length Element (m) L	Rating BU/m W	BUs Achieved (BU/m x L) W	Rating BU/m E	BUs Achieved (BU/m x L) E
A		B	GIB1	2.4	75	180		
			GIB1	2.4	75	180		
B		C	GIB2	2.0	75	150		
			BR9	0.7	110	77		
			GIB2	2.1	75	157		
C		D	BR5	1.4	115	161		
			BR4	1.1	100	110		
D								
E								
		Totals Achieved		1015	**W**	1015	**E**	
From Sheet A		**Totals Required**		858	**W**	858	**E**	505
Wreq/Ereq =				* 1.7				

***If Wreq/Ereq is 1 or less complete E column only**
If Wreq/Ereq is 1.5 or more complete W column only
Otherwise complete both W and E

Across

Wall or Bracing Line		Bracing Elements Provided			Wind		Earthquake	
1	2	3	4	5	6 W	7 W	6 E	7 E
Line Label	Minimum BUs Required	Bracing Element No.	Bracing Type	Length Element (m) L	Rating BU/m W	BUs Achieved (BU/m x L) W	Rating BU/m E	BUs Achieved (BU/m x L) E
M		M	BR9	0.6	110	66		
			BR5	2.4	115	276		
N		N	BR4	1.1	100	110		
O		O	BR5	1.6	115	184		
			GIB2	3.0	80	240		
			GIB2	3.0	80	240		
P		P	BR4	1.1	100	110		
			BR5	2.4	115	276		
Q								
		Totals Achieved		1502	**W**	1502	**E**	
From Sheet A		**Totals Required**		1334	**W**	1334	**E**	505
Wreq/Ereq =				* 2.64				

IPENZ NEW ZEALAND INSTITUTE OF ARCHITECTS ACENZ

P.I.M. No 43044
Building Regulation Clause B1

PRODUCER STATEMENT – PS4 – CONSTRUCTION REVIEW

(Guidance notes on the use of this form are printed on the reverse side)

ISSUED BY

G A Hughes & Associates Limited...

(Suitably qualified Design Professional)

TO: Vance Developments / R Taylor

TO BE SUPPLIED TO: Waipa District Council

(Territorial Authority)

IN RESPECT OF Dwelling

AT 22A Alpha Street- Cambridge

Lot 2 DP 590225

G A Hughes & Associates Limited has been engaged by the Owner ....
(Design Firm) (Owner/Developer/Developer)

to provide Design & Observation for Dwelling as clause(s) ... B1 .... of the Building Regulations 1992 for the

building work for Excavations and Compacted Fill, Concrete Block Retaining Walls, Blockwork and Lintels for the work

as described by the drawings and specifications prepared by G A Hughes & Associates Ltd – References 052101 dated

14/12/2005, 52101,52485 and 07635 Authorised variation(s) No. .... (copies attached) have been

issued during the course of the works. I have sighted Building Consent No 2254 / 07
43044

and the attached conditions of building consent.

As an independent design professional covered by a current policy of Professional Indemnity Insurance to a minimum value of $200,000, I or personnel under my control have carried out periodic reviews of the work appropriate to the engagement and based upon these reviews and information supplied by the contractor during the course of the works **I BELIEVE ON REASONABLE GROUNDS** that Part only as specified in the attached particulars of the building work under the above Building Consent with respect to Clause(s) ...B1 .... of the Building Regulations 1992 has been completed to the extent required by that Building Consent.

(Signature of suitably qualified Design Professional) Date 26th April 2007

BE, MIPENZ (Civil & Structural) C P Eng #13402...
(Professional Qualifications)

Member IPENZ

1036 Whangaparaoa Road, Whangaparaoa HBC 0930...
(Address)

This form to accompany Form 9 of the Building Regulations 1992 for the issue of a Code Compliance Certificate.

S/October 94

BC 430444

P.I.M. No 43044
Building Regulation Clause B1

PRODUCER STATEMENT – PS4 – CONSTRUCTION REVIEW

(Guidance notes on the use of this form are printed on the reverse side)

ISSUED BY

G A Hughes & Associates Limited...

(Suitably qualified Design Professional)

TO: Vance Developments / R Taylor

TO BE SUPPLIED TO: Waipa District Council

(Territorial Authority)

IN RESPECT OF Dwelling

AT 22A Alpha Street- Cambridge

Lot 2 DP S90225

G A Hughes & Associates Limited has been engaged by the Owner .....
(Design Firm) *(Owner/Developer/Contractor)*

to provide Design & Observation for Dwelling as clause(s) ... B1 ..... of the Building Regulations 1992 for the

building work for Excavations and Compacted Fill, Concrete Block Retaining Walls , Blockwork and Lintels for the work as described by the drawings and specifications prepared by G A Hughes & Associates Ltd – References 052101 dated 14/12/2005, 52101,52485 and 07635 Authorised variation(s) No. ..... (copies attached) have been issued during the course of the works. I have sighted Building Consent No 0344 / 07 and the attached conditions of building consent.

As an independent design professional covered by a current policy of Professional Indemnity Insurance to a minimum value of $200,000, I or personnel under my control have carried out periodic reviews of the work appropriate to the engagement and based upon these reviews and information supplied by the contractor during the course of the works **I BELIEVE ON REASONABLE GROUNDS** that Part only as specified in the attached particulars of the building work under the above Building Consent with respect to Clause(s) ...B1..... of the Building Regulations 1992 has been completed to the extent required by that Building Consent.

(Signature suitably qualified Design Professional)

Date 26th April 2007

BE, MIPENZ (Civil & Structural) C P Eng #13402.....
(Professional Qualifications)

Member IPENZ

1036 Whangaparaoa Road, Whangaparaoa HBC 0930.....
(Address)

This form to accompany Form 9 of the Building Regulations 1992 for the issue of a Code Compliance Certificate.

BrOctober 94

GUIDANCE ON USE OF PRODUCER STATEMENTS

This producer statement has been prepared by a combined task committee consisting of members of the New Zealand Institute of Architects, Institution of Professional Engineers New Zealand, Association of Consulting Engineers New Zealand and the Building Officials Institute of New Zealand.

Four producer statements are available and brief details on the purpose of each are as follows:

Design: Intended for use by the person responsible for the design in circumstances where the Territorial Authority will rely on the producer statement to issue a Building Consent.

Design Review: Intended for use by a suitably qualified independent design professional where the Territorial Authority does not undertake an internal review and relies on the independent design professional's review to issue the Building Consent.

Construction: Intended for the use by the contractor of the building works where the Territorial Authority requires a producer statement at the completion of construction.

Construction Review: Intended for use by the person required by the Building Consent to undertake construction monitoring of the building works in circumstances where the Territorial Authority will rely on the producer statement to issue a Code Compliance Certificate.

The producer statements system is intended to provide Territorial Authorities with reasonable grounds for the issuing of a Building Consent or Code Compliance Certificate without having to duplicate design or construction checking by others.

The following criteria are recommended to Territorial Authorities with respect to the use of the producer statements.

Definition of Suitably Qualified Design Professional

A suitably qualified design professional should have recognised qualifications and experience for the work undertaken and should be either:

(i) an active member of the Association of Consulting Engineers New Zealand (ACENZ) or,
(ii) a member of the Institution of Professional Engineers New Zealand (IPENZ) having a current policy of Professional Indemnity Insurance for a sum not less than $200,000 or;
(iii) a member of the New Zealand Institute of Architects (NZIA) having a current policy of Professional Indemnity Insurance for a sum of not less than $200,000.

Design Build Contracts

If the design professional is engaged by the contractor, the territorial authority should satisfy itself that it is appropriate for the territorial authority to rely upon a producer statement from the design professional.

Consulting Services during Construction Phase

There are several levels of service which a design professional may provide during the construction phase of a project. The territorial authority is encouraged to require that the service to be provided by the design professional is appropriate for the project concerned.

Requirement to provide Producer Statement

Territorial Authorities should ensure that the applicant is aware of any circumstances in which there may be a requirement for producer statements for the construction phase of building work at the time the building consent is issued as no design professional should be expected to provide a producer statement unless such a requirement forms part of the design professional's engagement.

Attached Particulars

Attached particulars referred to in this producer statement refer to supplementary information appended to the producer statement.

$120.50

Resene X-200

Acrylic Waterproofing Membrane

Resene X-200 is an acrylic waterproofing membrane incorporating the most recent advances in polymer and paint technology. Shows significant advances in the areas of film build, adhesion, penetration, application and durability.

Exterior/Interior

Typical Uses

- Concrete Blocks
- Concrete Surfaces
- Fibre Reinforced Cement

Physical Properties

Vehicle Type	Pure Acrylic
Pigmentation	Titanium Dioxide/Mineral and Fibre Reinforcement
Solvent	Water
Finish	Eggshell, Very Fine Texture
Colour	Selected Total Colour System, including BS2660, BS5252, Multi-Finish, Whites & Neutrals and The Range.
Dry Time	1 hour at 18°C
Recoat	3 hours
Primer Required	Yes, dependent on surface
Theoretical Coverage	1st Coat: 5 sq. metres/litre 2nd Coat: 7.5 sq. metres/litre
Dry Film Thickness	2 coats 180 microns
Usual No. of Coats	2; Blockwork – 3
Abrasion Resistance	Very Good
Chemical Resistance	Very Good
Heat Resistance	Thermoplastic
Solvent Resistance	Good
Toxicity	No added lead or chromate
Durability	Excellent
Thinning & Clean Up	Do not thin. Clean up with water.
Pack Size	4 and 10 litre
VOC	c. 89 grams per litre

Performance & Limitations

Performance

1. Remarkable ease of application.
2. Superior void and crack filling properties.
3. Excellent durability. Requires no further 'weathering' coats.
4. An Environmental Choice approved product.

Limitations

1. Old, weathered concrete requires surface conditioning with Resene Sureseal (Data Sheet D42).
2. Do not apply at temperatures below 10°C, or when it is liable to drop below 10°C during the drying period.
3. Not designed to be used under ponded water.

Information contained in this Data Sheet is re-validated every two years following issue date. Please ensure the current Data Sheet and Material Safety Data Sheet are consulted prior to specification or application of product. If in doubt contact Resene.

ENVIRONMENTAL CHOICE NEW ZEALAND
Water Based Paint
Licence No 1296003

Building Specs

$65.00

Resene Limelock

Cure and Seal

Resene Limelock is a new preparatory coating used for the curing and sealing of cementitious substrates. Promotes cure by producing a water barrier, which, unlike traditional curing membranes, can be overcoated with acrylics at any stage.

Its ability to cure and seal the substrate eliminates the need to leave the plaster to cure for 7 days before painting. When dark, heat-absorbing topcoats are planned, it is still prudent to wait 7 days before painting.

Resene Limelock traps free lime in the cementitious substrate protecting the paint finish against the appearance of unsightly lime staining, and providing a perfect base for subsequent Resene finishes.

Exterior

Typical Uses

- Cementitious Surfaces, including:
  - Renders
  - Stucco
  - Thin Layer, Polymer Modified Plasters
  - Concrete

Physical Properties

Vehicle Type	100% Acrylic
Pigmentation	TiO_2
Solvent	Water
Finish	Semi-transparent Gloss
Colour	White
Dry Time	30 minutes at 18°C
Overcoat	Dependent on final colour planned
Primer Required	No
Theoretical Coverage	10-12 sq. metres per litre
Usual No. of Coats	1
Heat Resistance	Thermoplastic
Chemical Resistance	Good
Abrasion Resistance	Very Good
Solvent Resistance	Good
Toxicity	No added lead or chromate
Durability	Excellent
Thinning & Clean Up	Water
Can Size	10 litre
V.O.C.	c. 80 grams per litre

Performance

(1) Promotes early cure of fresh cementitious surfaces minimising downtime between the completion of plastering and commencement of painting.
(2) White pigmentation increases the albedo of the system to retain moisture.
(3) Seals in free lime to protect against the unwanted appearance of lime staining.
(4) Good adhesion to fresh cementitious substrates.
(5) Provides an excellent base for a wide range of Resene coatings.

Limitations

(1) Do not apply at temperatures below 10°C, or when it is liable to drop below 10°C during the drying period.
(2) Resene Limelock is designed to be overcoated.
(3) Resene Limelock is considered to be part of the surface preparation process and should be applied as soon as possible over plaster systems to achieve maximum potential.

Information contained in this Data Sheet is re-validated every two years following issue date. Please ensure current Data Sheet is consulted prior to specification or application of Resene products.

Limelock Cure and Seal

Surface Preparation

If Resene Limelock is applied immediately following plastering, no surface preparation is necessary. If the surface has been allowed to weather, some surface preparation may be required, as for Old Work.

Old Work Ensure surface is clean and free from all contaminants. Waterblasting is the preferred preparation over older weathered surfaces.

Surface rust stains may indicate a deeper problem of carbonation and re-bar corrosion. Contact Resene if surface rust is present.

Application and Precautions

Apply to spray plasters immediately after spraying. Apply to trowelled plasters immediately after final trowelling. Apply to poured concrete, including slabs, as soon as the surface water has evaporated or as soon as the boxing is removed.

Application Apply by knapsack, spray, long pile roller or brush. Apply one coat of Resene Limelock over the fresh substrate and allow to dry.

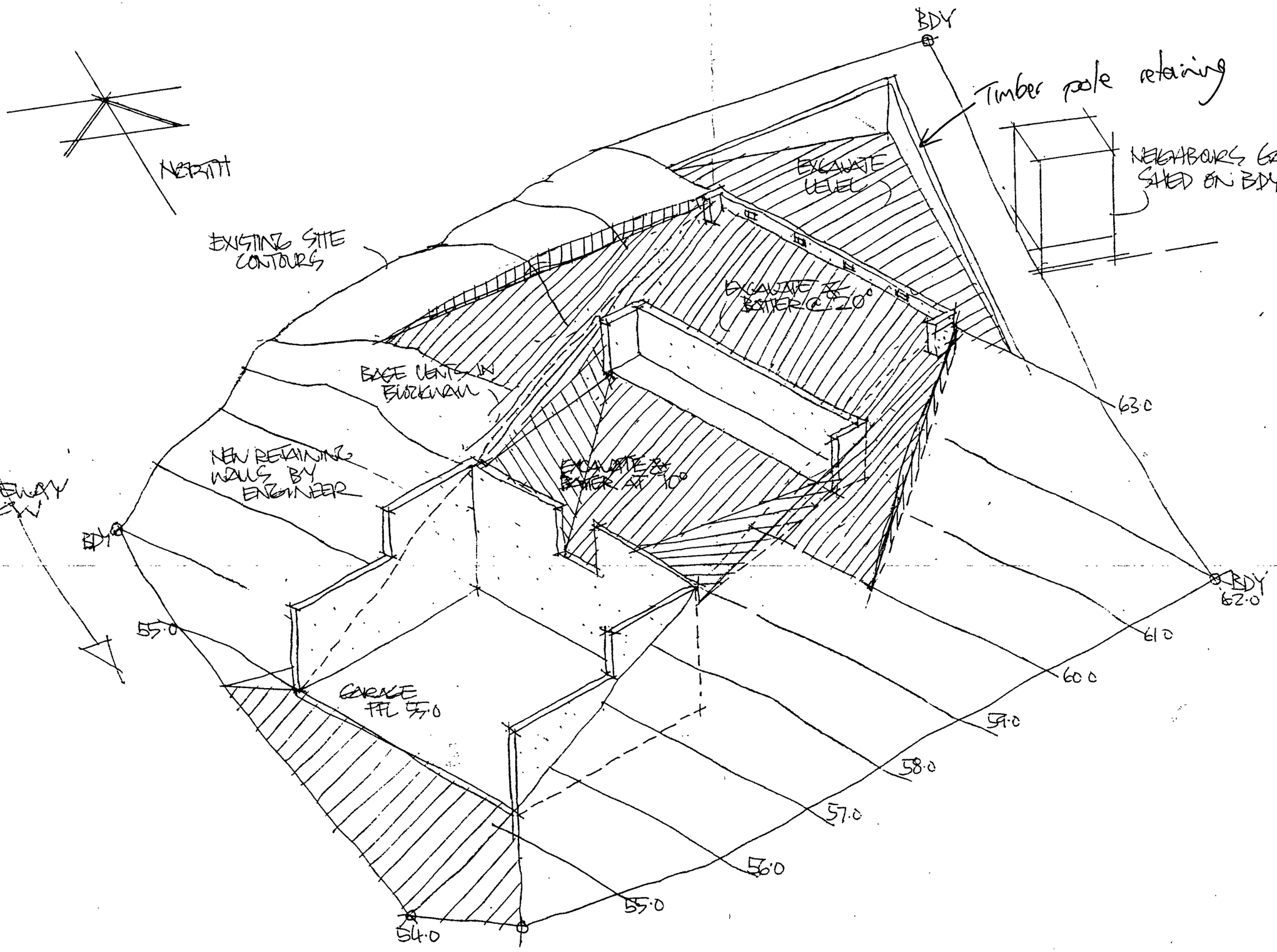
Evenly coat all fresh cementitious surfaces to ensure uniform curing and that free lime cannot be transferred through weak points.

Precautions When dark, heat-absorbing topcoats are planned, it is prudent to wait 7 days before painting.

If the surface that you propose to coat is not referred to by this Data Sheet, please contact Resene Paints for clarification on one of the numbers provided.

In New Zealand: 32-50 Vogel Street, Lower Hutt, PO Box 38-242, Wellington Mail Centre
Call 0800 RESENE (0800 737 363)
In Australia: 7 Production Avenue, PO Box 785, Ashmore City, Queensland 4214
Call 1800 738 383
Visit our website www.resene.com or email us at advice@resene.co.nz

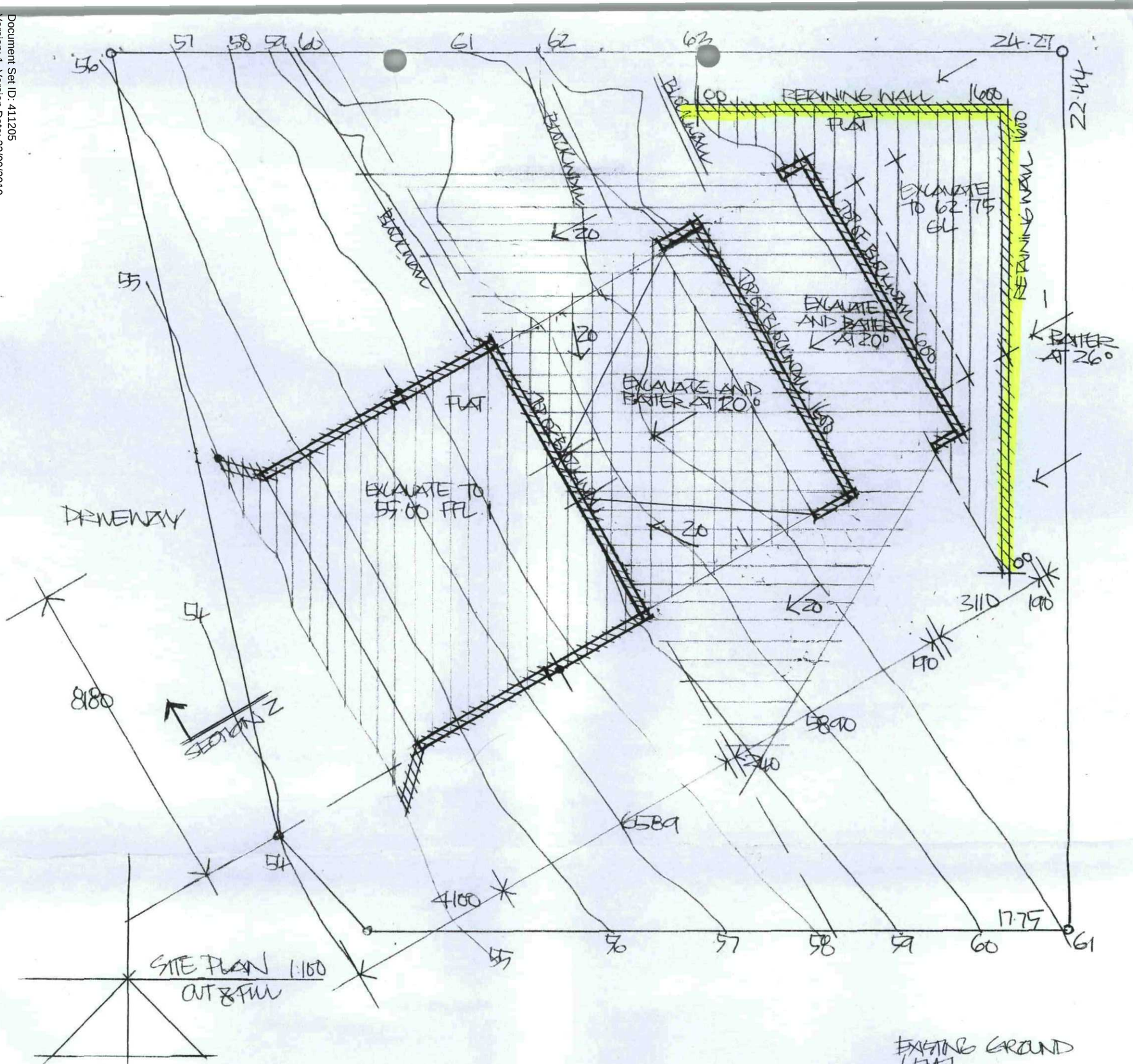
Resene
the paint the professionals use

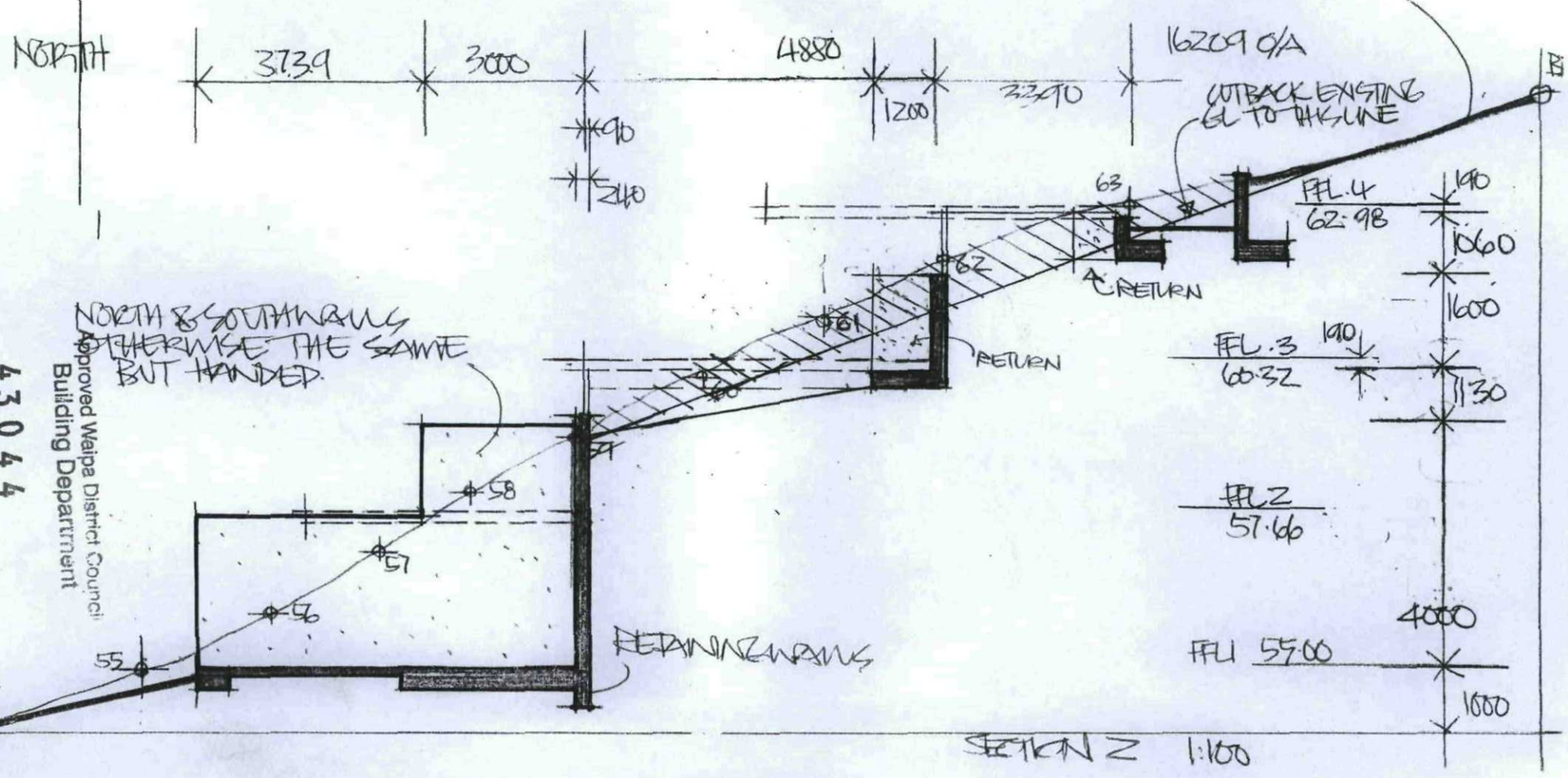


LANCE - 22 ALPHA
ISOMETRIC FROM S/WEST (1:122 SCALE) 7/05

Approved Waipa District Council
Building Department
43044
Subject to conditions of Building Consent No.

Building Plans





LEGEND	
GT	GULLY TRAP
TV	TERMINAL VENT
IC	INSPECTION CHAMBER
IB	INSPECTION BEND
RE	RODDING EYE

LOT 1 DPS 90225

RL 56.02
KERB TOP

63.000

24.27

22.44

8180

1500

LOT 2 DPS 90225

20°

LOT 1
DPS 148

LOT 7
DPS 90225
('ACCESS)

SEALED DRIVEWAY

T.V.

S.T.

FFL 4 63.00

30°

FFL 3 60.43

100Ø PVC SOIL/DRAIN
GRADIENT THUS MIN
FALL 1 IN 100

DP

PROPOSED DWELLING
HATCHED

RODDING EYE

GT

DP

IB

N

LOT 1
DPS 6281

DRIVEWAY

FFL 2 57.67

FFL 1 55.00

T.V.

GT

20°

WATER

DP

N

DOUBLE
CATCH PIT
RL 53.77
EDGE CATCH PIT

STORM WATER

SEWER

IB

POWER PILLAR

PUMPAT CONNECTION

16209

4100

NORTH

SITE PLAN AUTOCAD

1:100

55.000

17.75

60.000

Approved Waipa District Council
Building Department

43044 - C

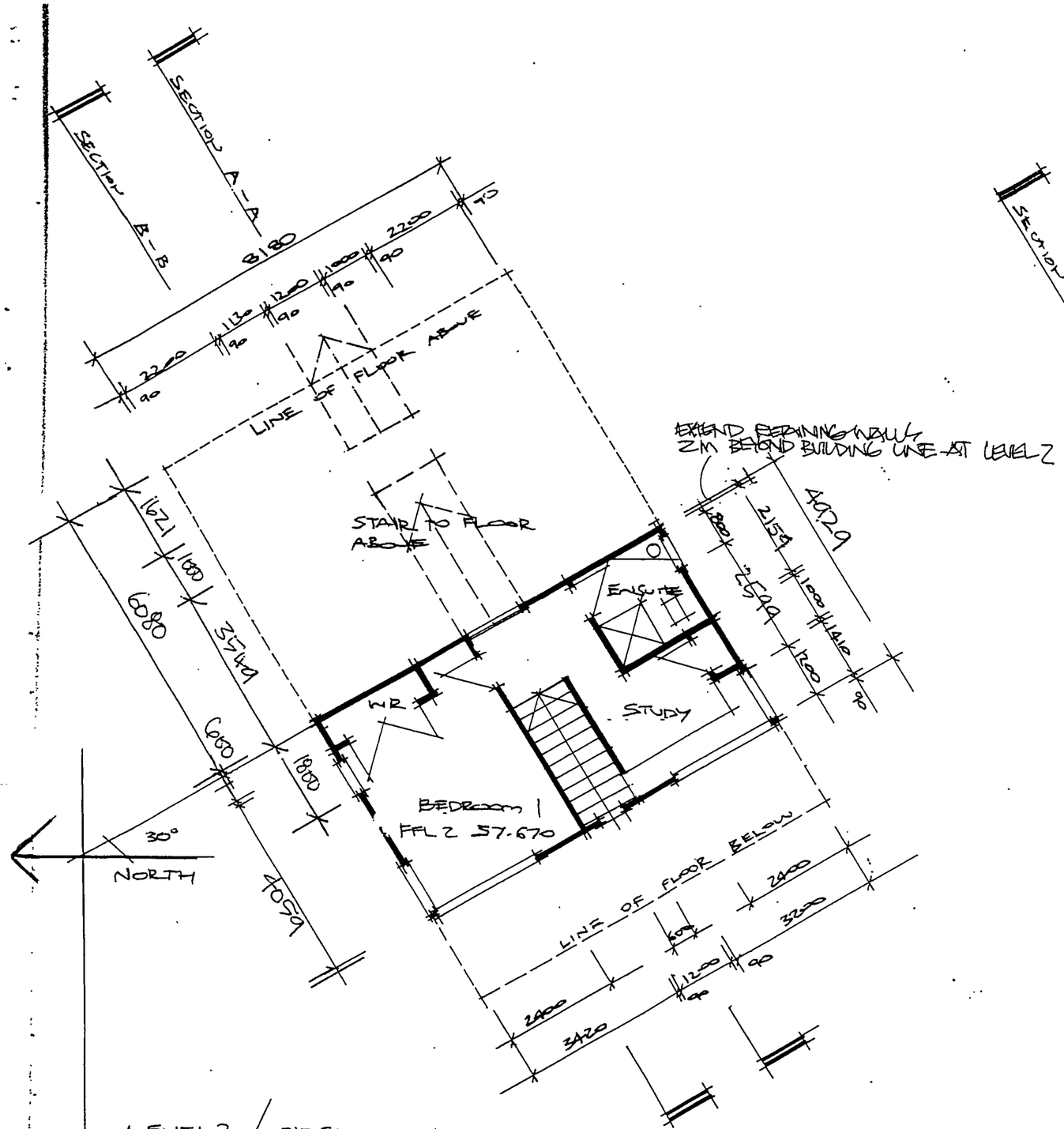
Subject to conditions of
Building Consent No.

CONTRACTOR TO CONFIRM ALL DIMENSIONS ON SITE

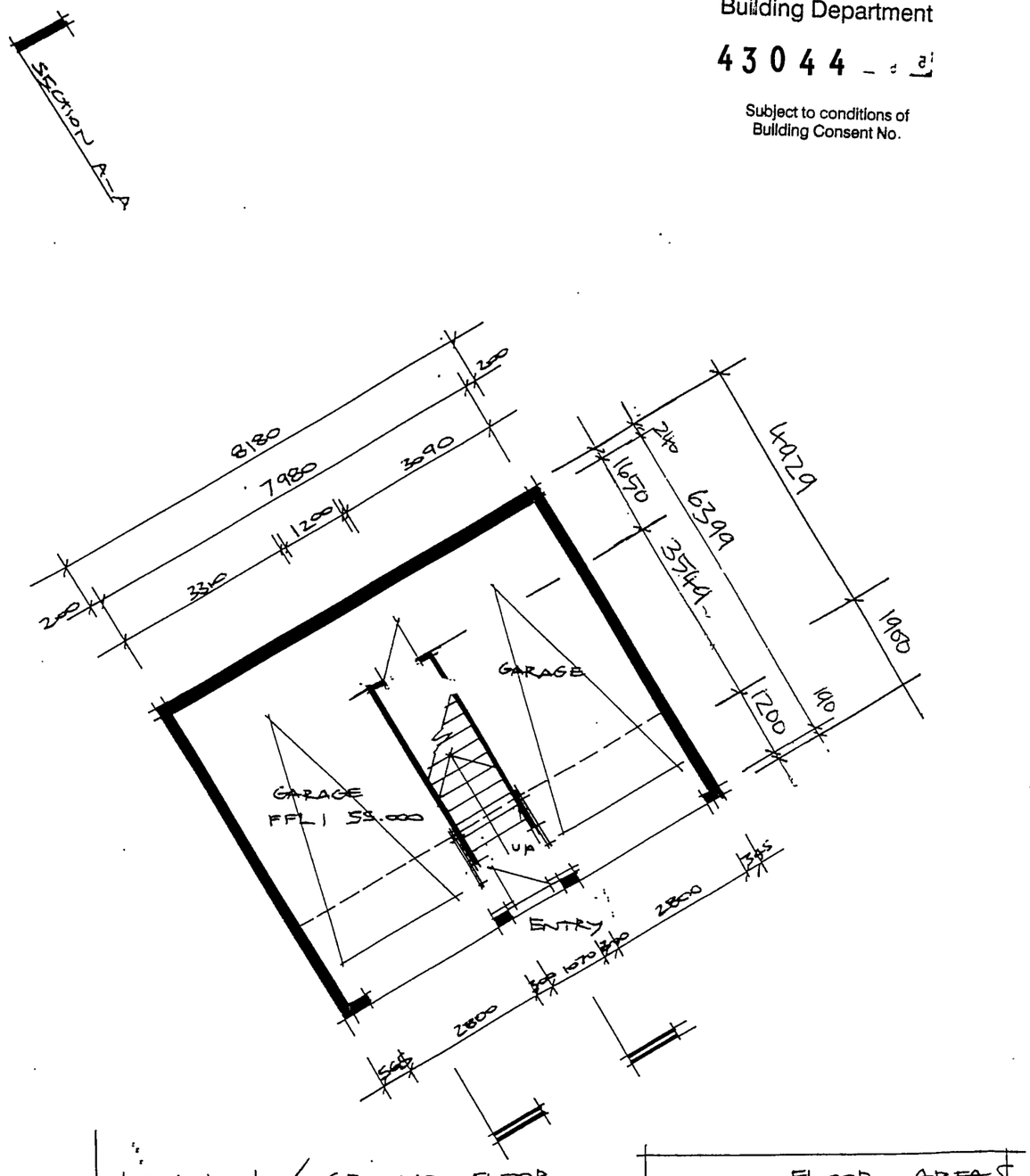
VANCE DEVELOPMENTS

DWELLING PROPOSAL 22 ALPHA STREET CAMBRIDGE SHEET 1/11

SCALE NZS:3604



LEVEL 2 / FIRST FLOOR
1:100



LEVEL 1 / GROUND FLOOR
1:100

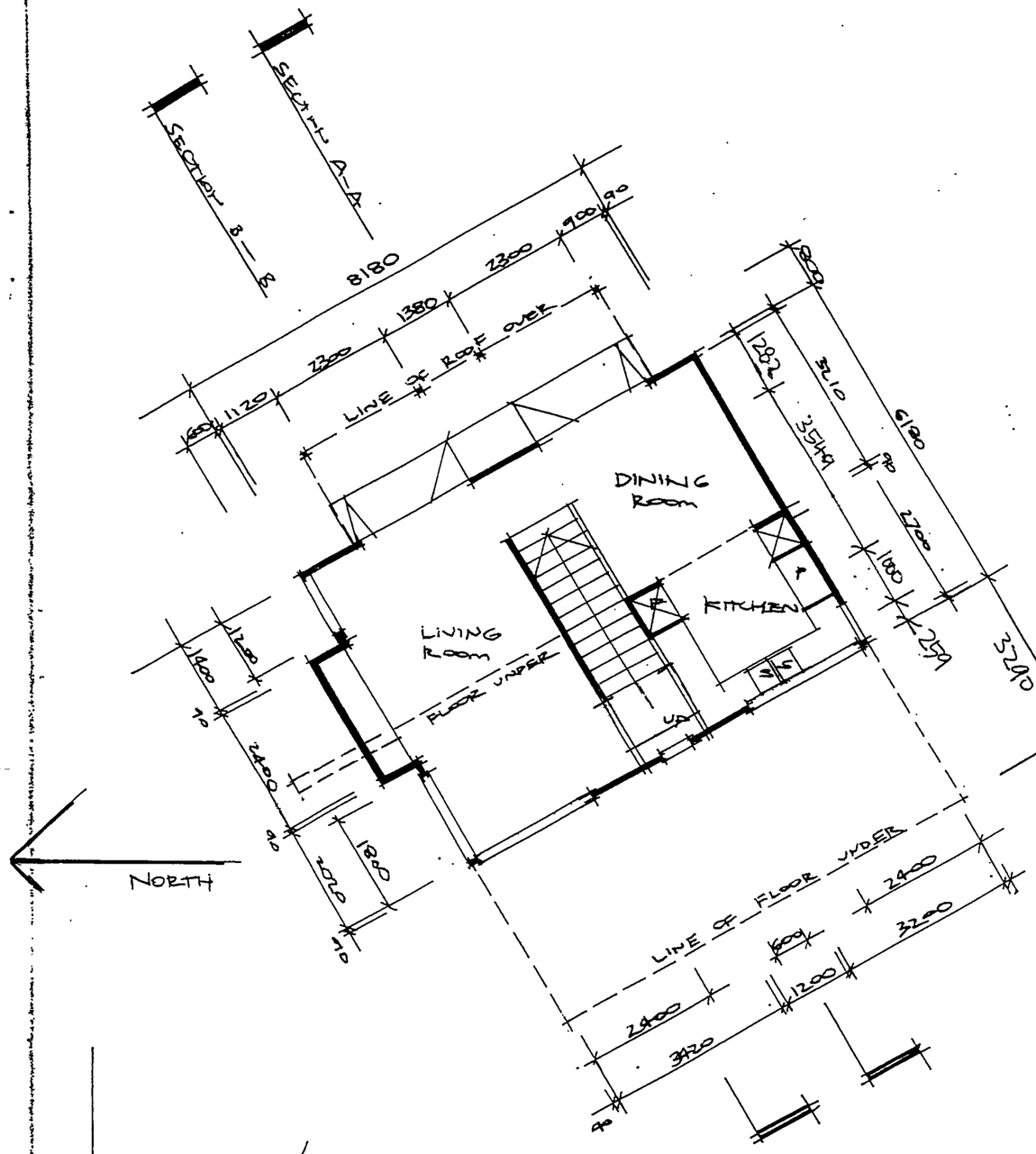
FLOOR AREAS		
LEVEL	4	52.4 m²
	3	50.5
	2	39.1
	1	54.7
TOTAL		196.7 m²

CONTRACTOR TO CONFIRM ALL DIMENSIONS ON SITE
VANCE DEVELOPMENTS

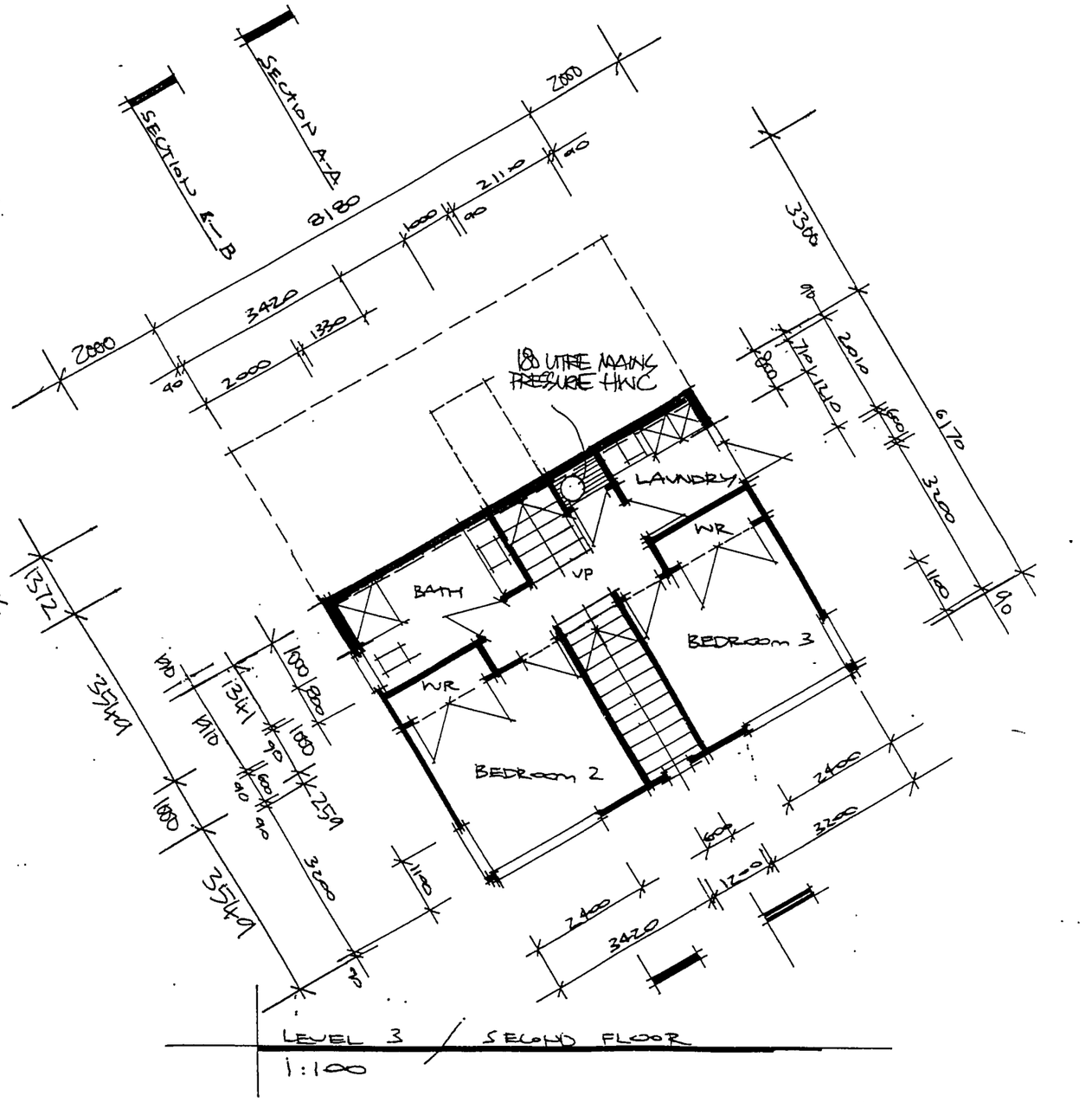
DWELLING PROPOSAL 22 ALPHA STREET CAMBRIDGE

SHEET 2/11

REF. SLOPE NZS: 3604.



LEVEL 4 / THIRD FLOOR
1:100



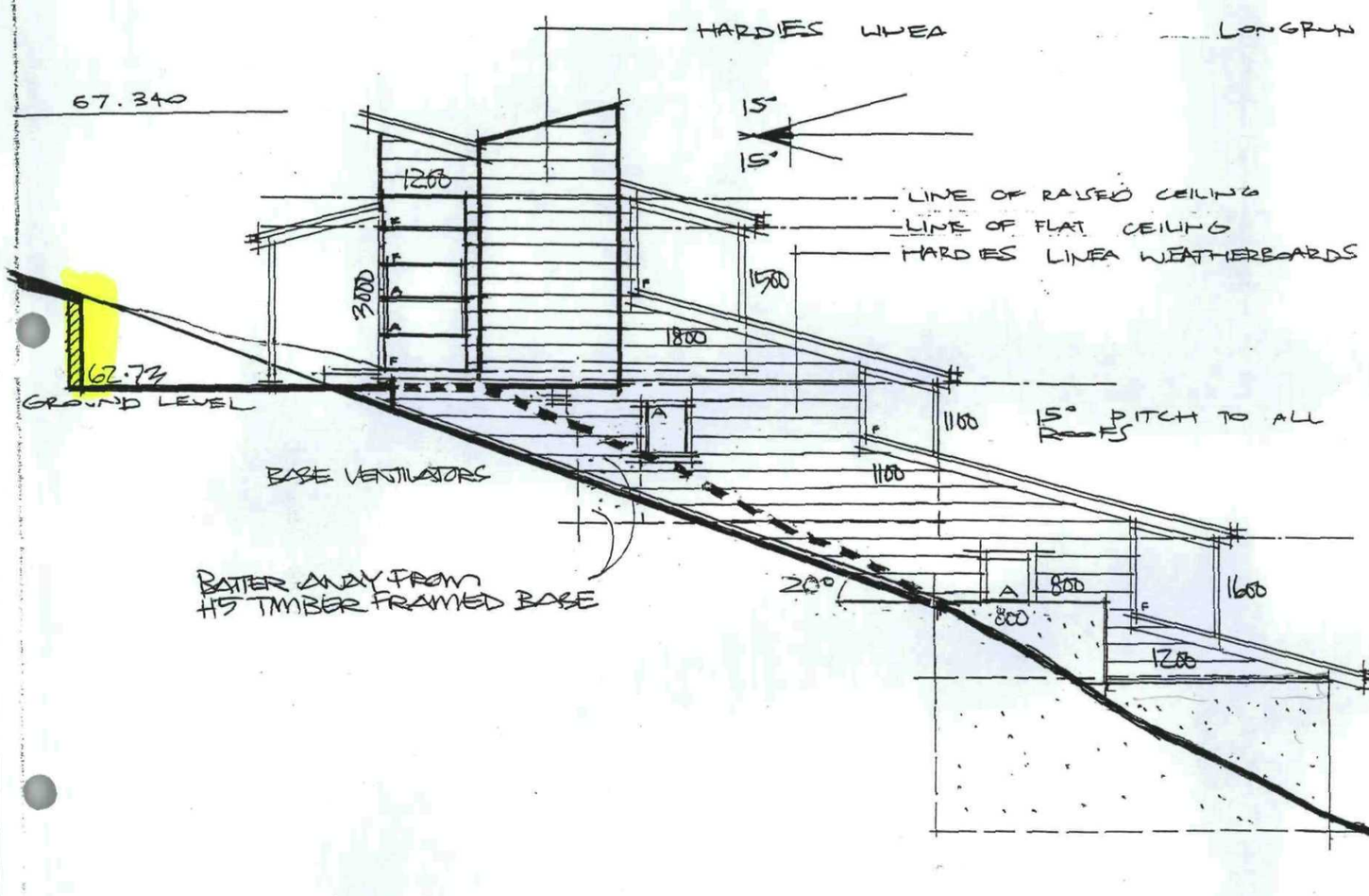
LEVEL 3 / SECOND FLOOR
1:100

CONTRACTOR TO CONFIRM ALL DIMENSIONS ON SITE

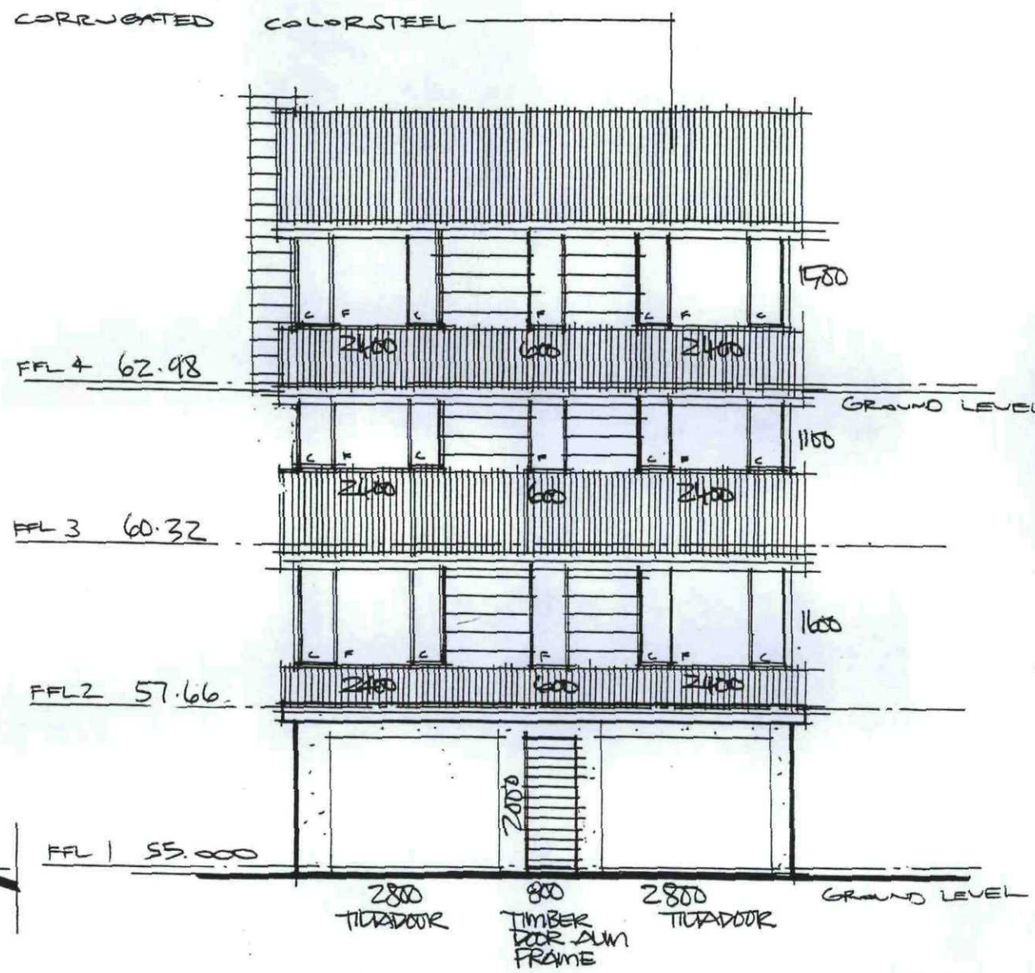
VANCE DEVELOPMENTS

DWELLING PROPOSAL 22 ALPHA STREET CAMBRIDGE SHEET 3/11

REF. SLOPE



NORTH ELEVATION
1:100



WEST ELEVATION
1:100

CONTRACTOR TO CONFIRM ALL DIMENSIONS ON SITE
VANCE DEVELOPMENTS

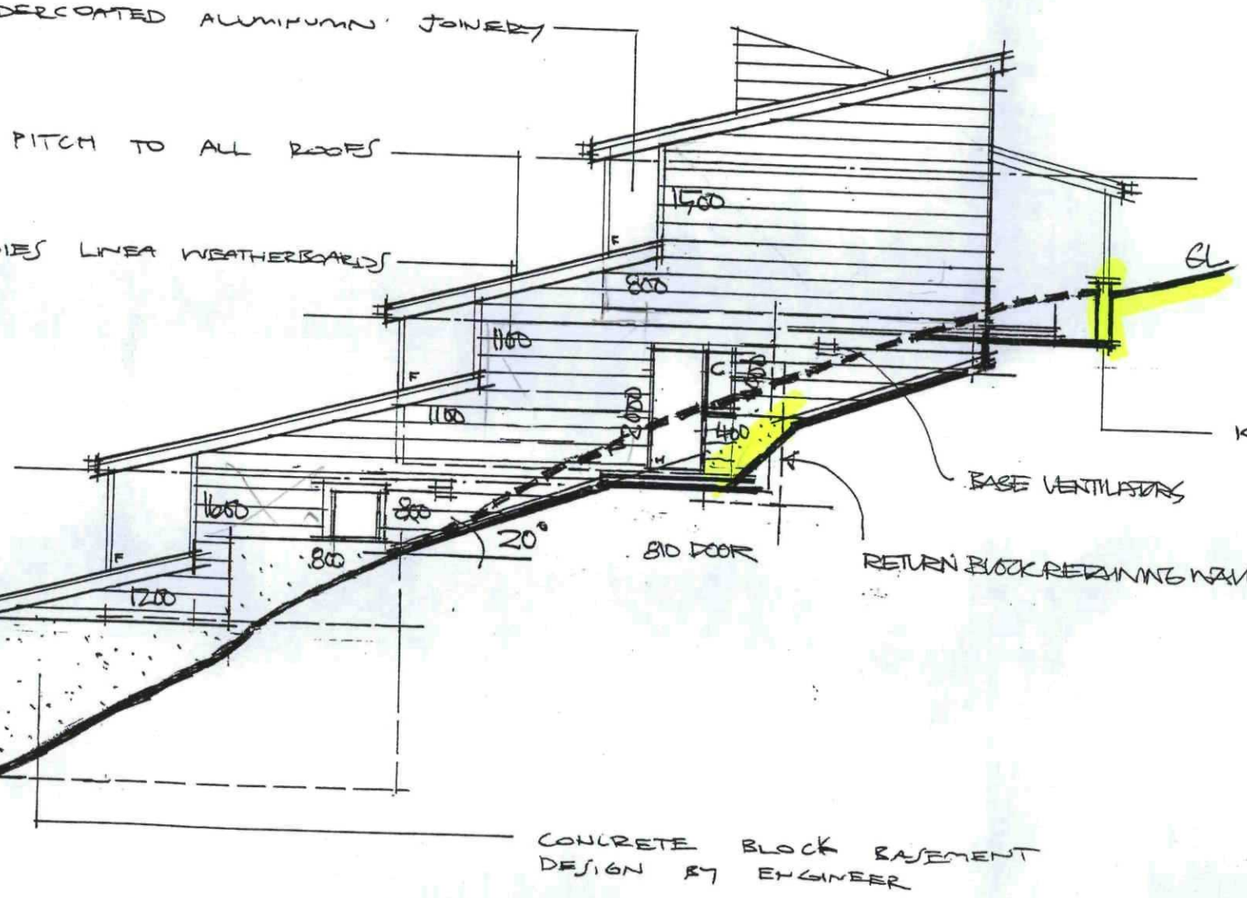
DWELLING PROPOSAL 22 ALPHA STREET CAMBRIDGE SHEET 4/11

SCALE NZS: 3604

POWDERCOATED ALUMINUM JOINERY

15° PITCH TO ALL ROOFS

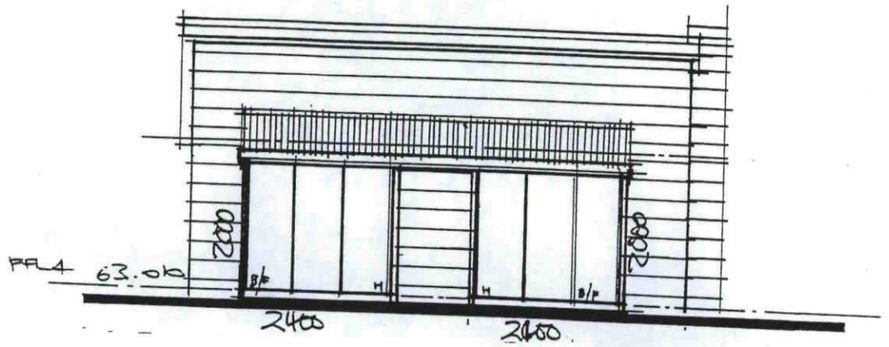
HARDIES LINEA WEATHERBOARDS



100x100 TIMBER POSTS

BASE VENTILATORS

RETURN BLOCK RETAINING WALL 1000 MAX



CONCRETE BLOCK BASEMENT
DESIGN BY ENGINEER

SOUTH ELEVATION
1:100
ACT 6/05

EAST ELEVATION
1:100

CONTRACTOR TO CONFIRM ALL DIMENSIONS ON SITE
VANCE DEVELOPMENTS

DWELLING PROPOSAL
REF. SLOPE N2S:36D4

22 ALPHA STREET CAMBRIDGE

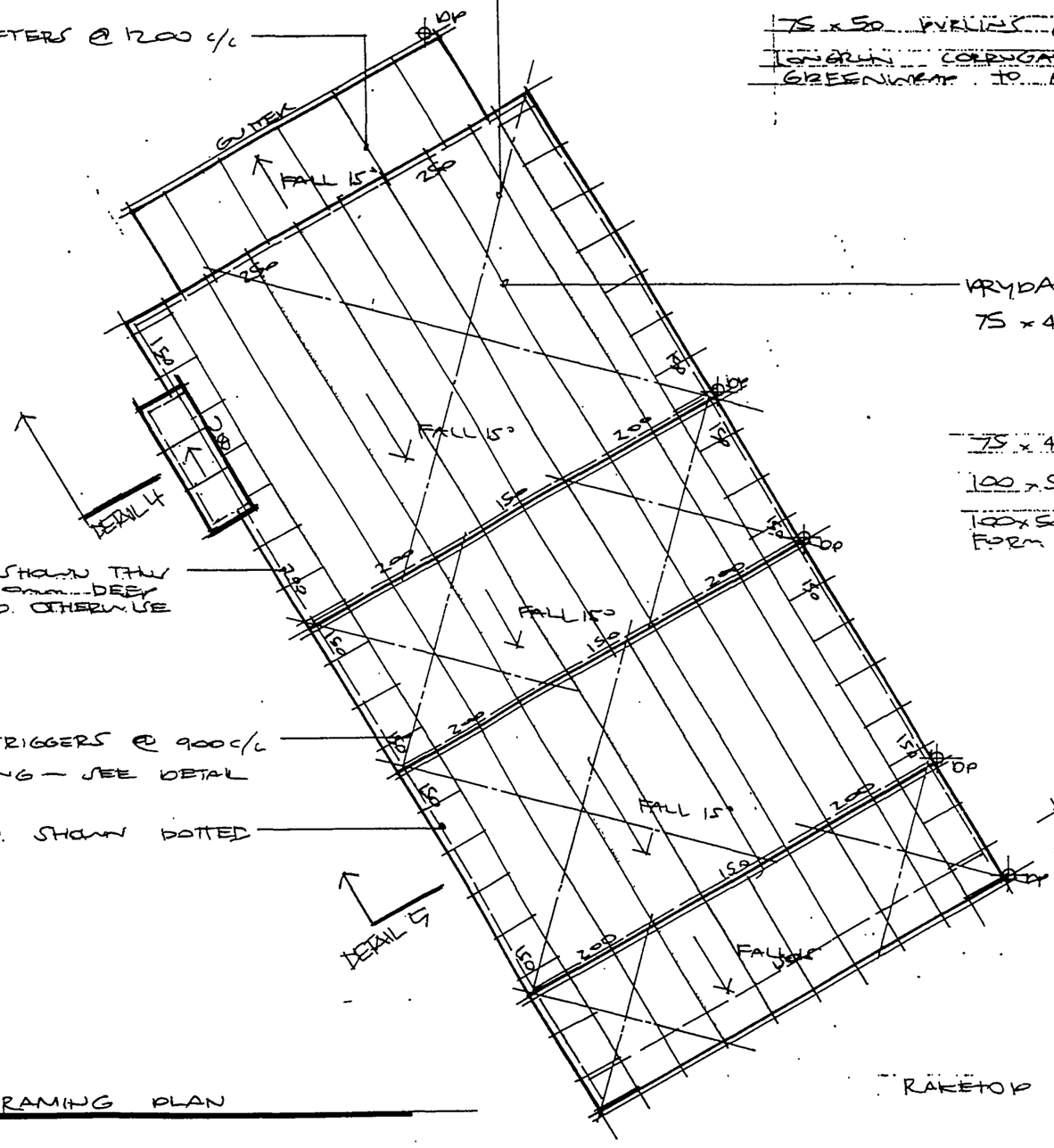
SHEET 5/11

DRYVDA STRAP BRACING WITH TENSIONERS FIX TO TOP SIDE OF TRUSSES

75 x 50 PURLINS @ 900 c/c TO ALL ROOFS

LONGRUN CORRUGATED COLORSTEEL OVER DURO16 GREENWRAP TO ALL ROOFS

50 x 50 RAFTERS @ 1200 c/c



ALL LINTELS SHOWN THUS SHALL BE 90mm DEEP UNLESS NOTED OTHERWISE

100 x 50 OUTRIGGERS @ 900 c/c RAISED CEILING — SEE DETAIL

VALL UNDER SHOWN DOTTED

VRYDA ROOF TRUSSES @ 900 c/c TO ROOFS

75 x 40 STRAPPING TO CEILINGS

600

75 x 40 STRAPPING TO CEILINGS

100 x 50 OUTRIGGERS @ 900 c/c

100 x 50 FRAMING @ 400 c/c TO FORM RAISED CEILING

600 O/HANG

2455 TO FFL.

CEILING

RAKETOP WINDOWS AT CORNERS

ROOF FRAMING PLAN
1:100

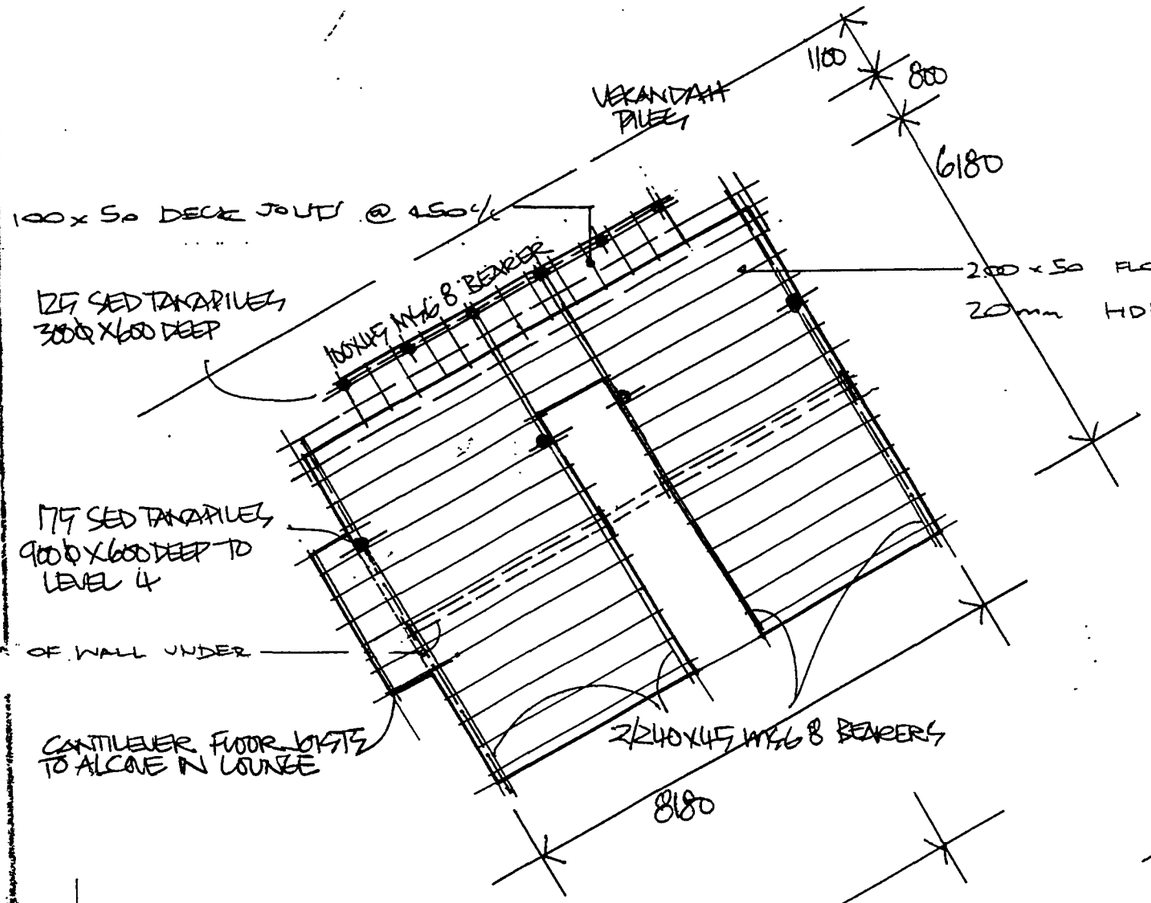
RAISED CEILING DETAIL 5
1:10

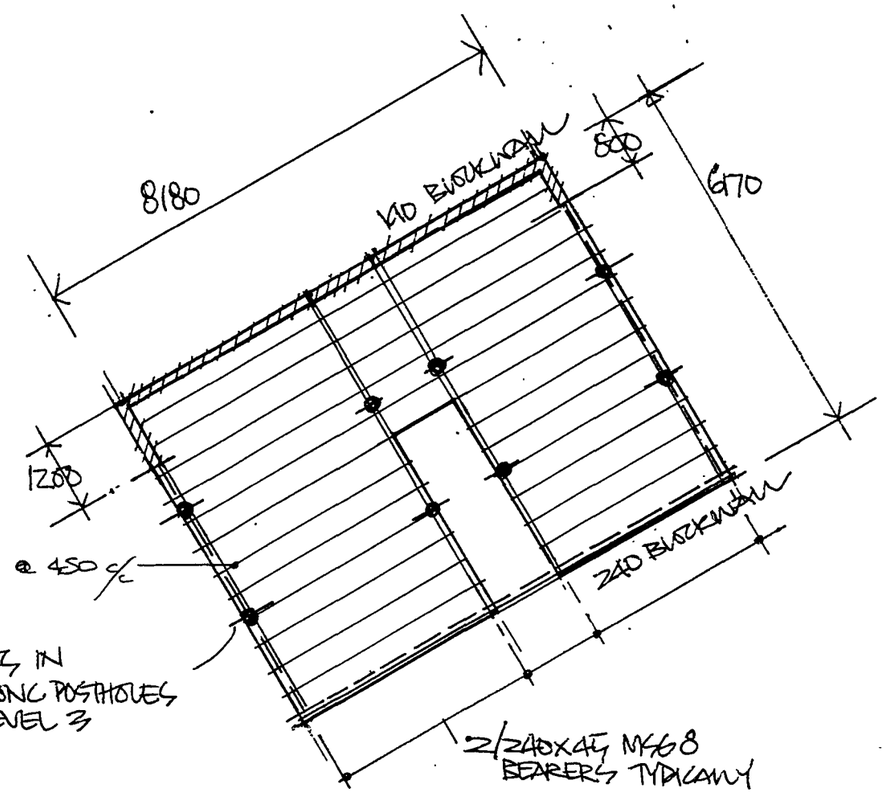
CONTRACTOR TO CONFIRM ALL DIMENSIONS ON SITE

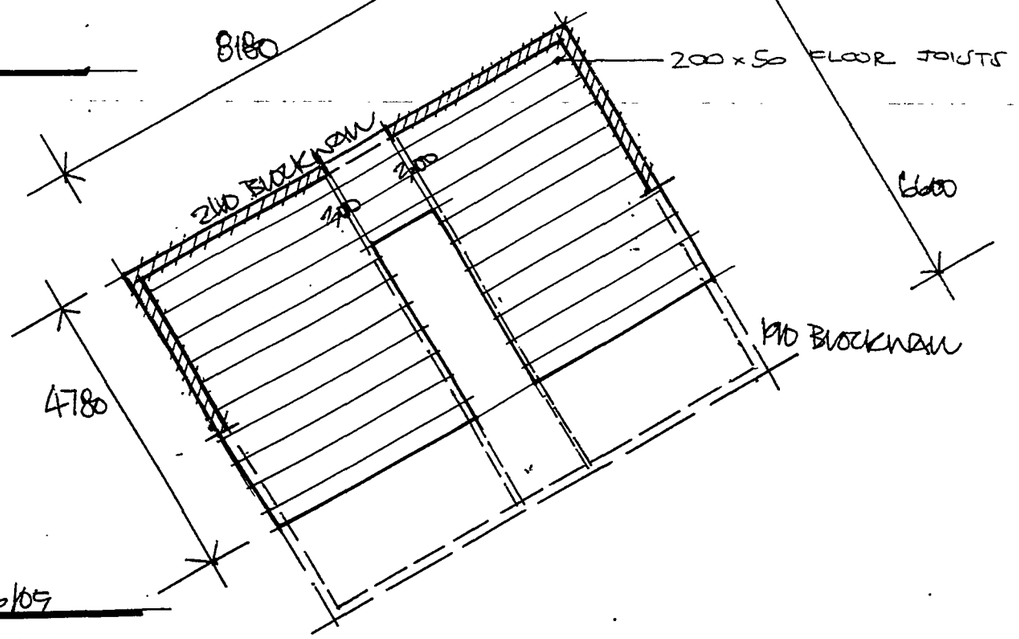
VANCE DEVELOPMENTS

DWELLING PROPOSAL — 27 ALPHA STREET CAMBRIDGE — SHEET 6/11

REF. SCODE: NZS : 3604







LEVEL 4 ALT 6/05

LEVEL 3 ALT. 6/05

NORTH

LEVEL 2 ALT 6/05

FLOOR FRAMING PLAN

READ IN CONJUNCTION WITH STRUCTURAL DRAWINGS
CONTRACTOR TO CONFIRM ALL DIMENSIONS ON SITE

VANCE DEVELOPMENTS

DWELLING PROPOSAL 22 ALPHA STREET CAMBRIDGE

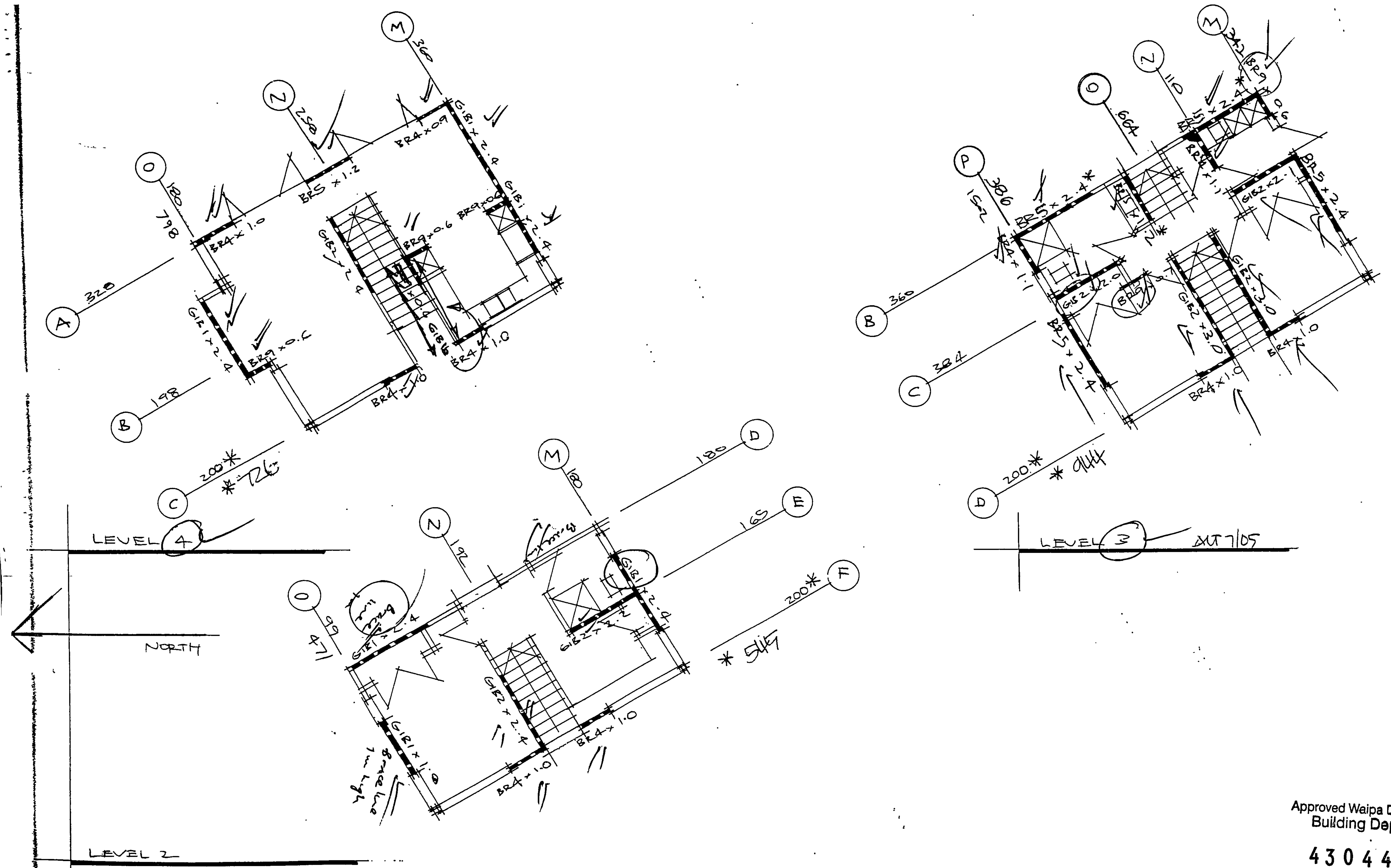
REF SCOPE N25·2601

SHEET 7/11

Approved Waipa District Council
Building Department

43044 C

Subject to conditions of Building Consent No.



BRACING PLAN

7/05 * ALTER BRACING PANELS TO BR4

CONTRACTOR TO CONFIRM ALL DIMENSIONS ON SITE

VANCE DEVELOPMENTS

DWELLING PROPOSAL 22 ALPHA STREET CAMBRIDGE

REF. SCALE [illegible]

SHEET 8/11

Approved Waipa District Council
Building Department

43044

Subject to conditions of
Building Consent No

0.4 CORRUG C/STEEL ROOFING TO ALCOVE

0.4 C/STEEL FLASHINGS TYPICALLY

75X50 PURLINS @ 900 C/C MAX

RAKED CEILING DETAIL - SEE DETAIL 5 SHEET 6/11

3000

ROOF TRUSSES @900 C/C

2435

2400

9.5 GIB ULTRALINE CEILINGS ON 75X40 STRAPPING @ 450 C/C

2200 WINDOW HEAD

9.5 GIBBOARD WALL LININGS GENERALLY

R1.8 WALL INSULATION.

100X75 FRAMING TO 3M HIGHINGS ONLY - ELSEWHERE 100X50 H1+ TYPICALLY

600 CANT.

20 HDPB FLOORING ON 200X50 JOISTS @ 450 C/C

FFL 4

PERFORATED FOIL

100X50 H3 TAN SUBFLOOR WALL FRAMING

2/240X45 MGS8 BEARER

175 SED TANALISED

DETAIL 4 THROUGH LIVING ALCOVE.
1:25

2455 TO FFL

RZ.4 CEILING INSULATION

75 x 50 PURLINS @ 900 c/c

PRYDA ROOF TRUSSES @ 900 c/c

LONGRUN CORRUGATED COLORSTEEL ROOF OVER ANROID GREENWRAP

4.5 HARDIFLEX SOFFITS

HARDIES LINEA

150 x 100 LINTEL

COLORSTEEL FLASHING

EX 200X25 H3 TAN FACINGS TO CORNER POST.

DETAIL 1
1:10

DETAIL 3
1:10

POWDERCOAT ALUM WINDOW JOINERY

20 MM GROOVED WINDOW LINERS

9.5 GIB LININGS GENERALLY

PRYDA ROOF TRUSSES @ 900 C/C

TRUSS TOP CHORD SEATED ON 100x50 BLOCKING

R1.8 WALL INSULATION TYPICALLY TO 100X50 WALLS

SUPERCOURSE FLASHINGS

COLORSTEEL FLASHING

LINE OF LINTELS SUPPORTED ON SHORT STUDS

15° ROOF PITCH TYPICALLY

DETAIL 2
1:10

DETAIL 2 AT 60°
1:10

CONTRACTOR TO CONFIRM ALL DIMENSIONS ON SITE

VANCE DEVELOPMENTS

DWELLING PROPOSAL

22 ALPHA STREET

Approved Waipa District Council
Building Department
43044
Subject to conditions of Building Consent No

67.304

PRYDA ROOF TRUSSES @ 900 c/c THROUGHOUT

150×50 RAFTERS @1200 c/c

DETAIL 1

2455 TRUSS SEAT

100×50 JOISTS @ 450 c/c

100×100 POST H3 TAN

LIVING ROOM

75 × 50 PURLINS @ 900 c/c THROUGHOUT

75 × 40 STRAPPING TO CEILINGS

FFL 62.980

2/240×45 MGP8

FIXING DETAIL BY ENGINEER

BATHROOM

BEDROOM 2

140 BLOCKWORK

1 sheet H3 ply full width of building

FFL 3 60.320

2/240×45 MGP8

EXISTING G.L

FIXING DETAIL BY ENGINEER

H5 Beams

4 H3 Joists

BEDROOM

FIXING DETAIL BY ENGINEER

FFL 2 57.660

200 × 50 RAFTERS @ 1200 c/c

140 CONC BLOCKWALL BY ENGINEER

240 CONC BLOCK WALL BY ENGINEER

GARAGE

FILTER CLOTH TO DRAIN

FFL 1 55.000

APPROX. G.L

175 SED TANAPOLES TO DECK

900ø X 600 DEEP CONC FOOTING TO 175 SED TANAPOLES BY ENGINEER

150ø DRAIN

BLOCK FOUNDATION WALL WITH CONCRETE FOOTING FIXING DETAILS BY ENGINEER.

200 × 50 FLOOR JOISTS @ 450 c/c THROUGHOUT

FOUNDATIONS, CRIB WALLS AND BASEMENT DESIGNED BY ENGINEER

900ø X 900 DEEP CONC FOOTINGS TO 175 SED TANAPOLES BY ENGINEER

100X50 H3 TAN NOM FRAMING TO SUBFLOOR AREAS — FRAME OFF PILES

150ø DRAIN IN FOOT OF FREEDRAINING GRANULAR BACKFILL

3 LAYERS 'MULSEAL' TO BLOCK FACE WITH CLOSED CELL FOAM SHEET PROTECTION TO DUROID DAMPCORD DPC

SECTION A A01609

1:50

CONTRACTOR TO CONFIRM ALL DIMENSIONS ON SITE

VANCE DEVELOPMENTS

DWELLING PROPOSAL

22 ALPHA STREET CAMBRIDGE

REF. SLOPE. NZS: 3604

SHEET 9/11

Approved Waipa District Council
Building Department

43044

Subject to conditions of Building Consent No

16209

300 | 6180 ✓ | 3290 ✓ | 4939 | 1900 ✓

PRYDA ROOF TRUSSES @ 900 c/c THROUGHOUT

15°

DETAIL 1

150 x 50 LINTEL

DETAIL 2

15°

75 x 40 STRAPPING TO CEILINGS

2455 TRUSS SEAT

FFL 62.480

15°

CEILING OVER STAIR FRAMED IN 100 x 50 @ 400 c/c

75 x 50 PURLINS @ 900 c/c THROUGHOUT

ENGINEERS DRAWINGS FOR FLOOR FRAMING AND BASEMENT

FFL 60.320

190 BLOCKWORK

DRAIN

FLOOR JOISTS @ 450 c/c THROUGHOUT

3549 / 13 TREADS

150 | 600 O/HANG

FFL 57.660

STAIRS

2660 TOTAL STAIR RISE / 14 RISERS
3549 TOTAL STAIR LENGTH / 13 TREADS
1200 WIDE

ALL STAIRS THE SAME
SOLID TIMBER TREADS & STRINGERS

190 BLOCKWORK BY ENGINEER.

STORAGE

FFL 55.000

SECTION B-B

1:50

AT 605
SEE ADDENDUM SHEET ATTACHED 10/A

CONTRACTOR TO CONFIRM ALL DIMENSIONS ON SITE

ANCE DEVELOPMENTS

DWELLING PROPOSAL — 22 ALPHA STREET CAMBRIDGE

SHEET 10/

REF. SLOPE NZS:3604

Approved Waipa District Council
Building Department

43044

Subject to conditions of
Building Consent No.

16207 O/A * NOTE ADDITIONAL 147mm OVER ORIGINAL *

6180 | 3200 | 6829

800 | 3210 | 90 | 2700 | 90 | 4749 | 1700

90 | 1282 LANDING | 3749 13X273 | 1000 LANDING | 3749 13X273 | 1800 LANDING | 3749 13X273 | 1200 LANDING | 190

2455 T/PLATE
2420

271

FIXING DETAIL BY ENGINEER

FFL 62.498

20°

NEW TYPICAL GL

1600 MAX

(303 TREAD O/A)

30 NOSING | 273

170 RISER

COMMON STAIR 37°

FIXING DETAIL BY ENGINEER

NEW CUT GROUND LEVEL UNDER LEVEL 3

260°

4200 MAX

2455 T/PLATE
2420

FIXING DETAIL BY ENGINEER

FFL 60.32

CUT OUT IN RETAINING WALL FOR STAIR

ORIGINAL GL

FIXING DETAIL BY ENGINEER

FFL 57.66

FFL 55.00

(7480 O/A)

FFL

2660

14X190

FFL

2660

FFL

2660

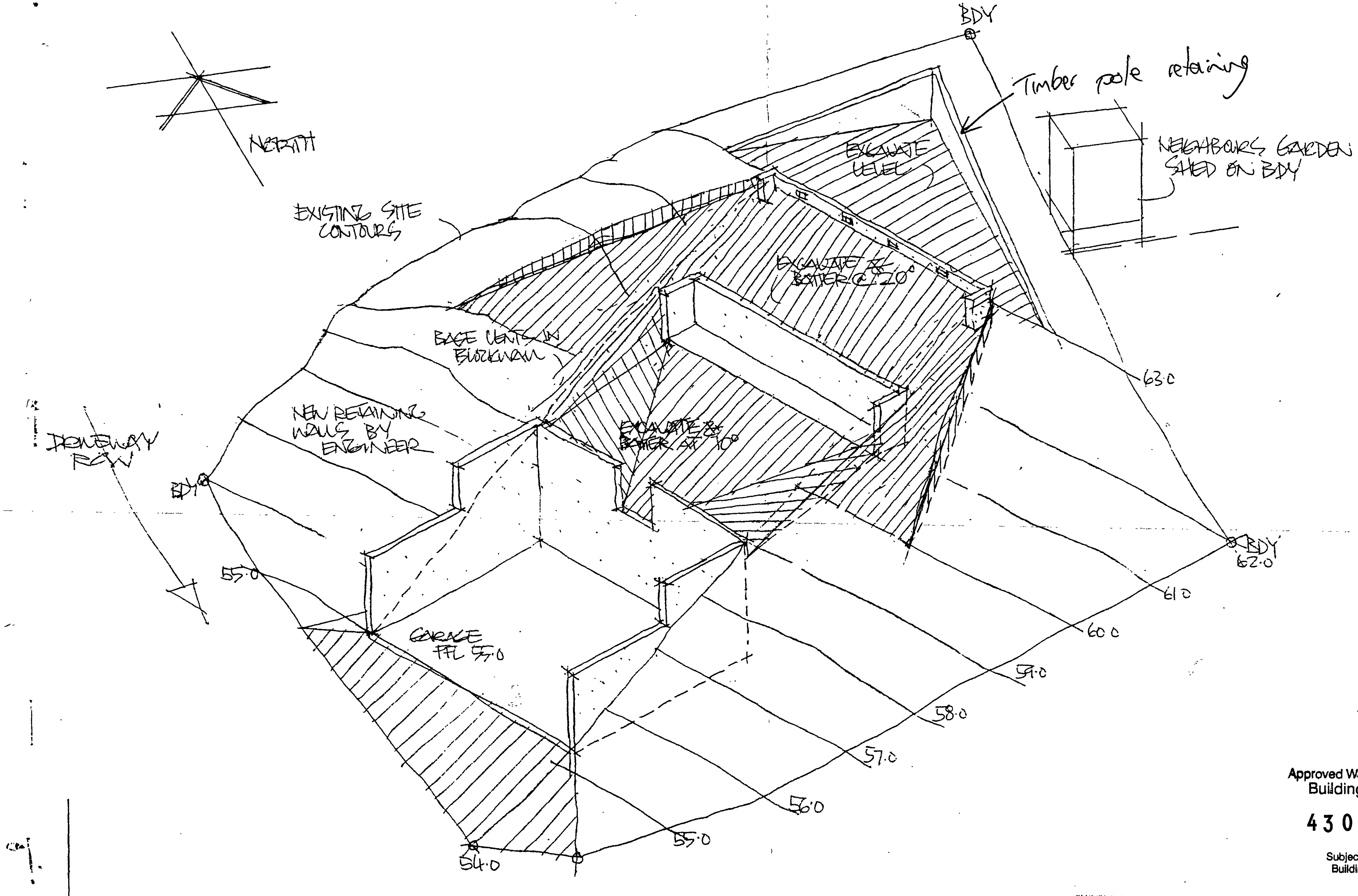
FFL

Approved Waipa District Council
Building Department
43044
Subject to conditions of Building Consent No.

REVISED DIMENSIONS TO STAIR. 1:50
VANCE DEVELOPMENTS.

DWELLING PROPOSAL 22 ALPHA ST CAMBRIDGE
SHEET 10A /11 (ADDENDA TO EXISTING)

JOT 7/05



VANCE – 22 AUPAKA
ISOMETRIC FROM S/WEST (1:122 SCALE) 7/05

Approved Waipa District Council
Building Department
43044
Subject to conditions of
Building Consent No.

Building Plans

RETAINING WALL
FLAT
EXCAVATE TO 62.75 GL
EXCAVATE AND BATTER AT 20°
EXCAVATE AND BATTER AT 20°
EXCAVATE TO 59.00 FFL
DRIVEWAY
BATTER AT 26°
SECTION Z
SITE PLAN 1:100
CUT & FILL
NORTH
EXISTING GROUND LEVEL
CUTBACK EXISTING GL TO PROPERTY LINE
FFL 4 62.98
FFL 3 60.32
FFL 2 57.66
FFL 1 55.00
RETURN
NORTH & SOUTH WALLS OTHERWISE THE SAME BUT HANDED
RETAINING WALLS
SECTION Z 1:100

LEGEND	
GT	GULLY TRAP
TV	TERMINAL VENT
IC	INSPECTION CHAMBER
IB	INSPECTION BEND
RE	RODDING EYE

LOT 1 DPS 90225

RL 56.02 KERB TOP

63.000

24.27

22.44

8180

1500

LOT 2 DPS 90225

20°

LOT 1 DPS 148

Lot 7 DPS 90225 ('ACCESS)

SEALED DRIVEWAY

T.V. S.T.

FFL4 63.010

30°

FFL3 60.430

100Ø PVC SOIL/DRAIN SLOPE MIN THUS MIN FALL 1 IN 100

PROPOSED DWELLING HATCHED

DP

RODDING EYE GT

DP

IB

N

DRIVEWAY

FFL2 57.670

FFL1 55.000

TV GT

20°

LOT 1 DPS 6281

WATER

DOUBLE CATCH PIT RL 53.77 EDGE CATCH PIT

STORM WATER SEWER

IB

POWER PILLAR

PUMPAT CONNECTION

16209

4100

NORTH

SITE PLAN

1:100

55.000

17.75

60.00

CONTRACTOR TO CONFIRM ALL DIMENSIONS ON SITE

VANCE DEVELOPMENTS

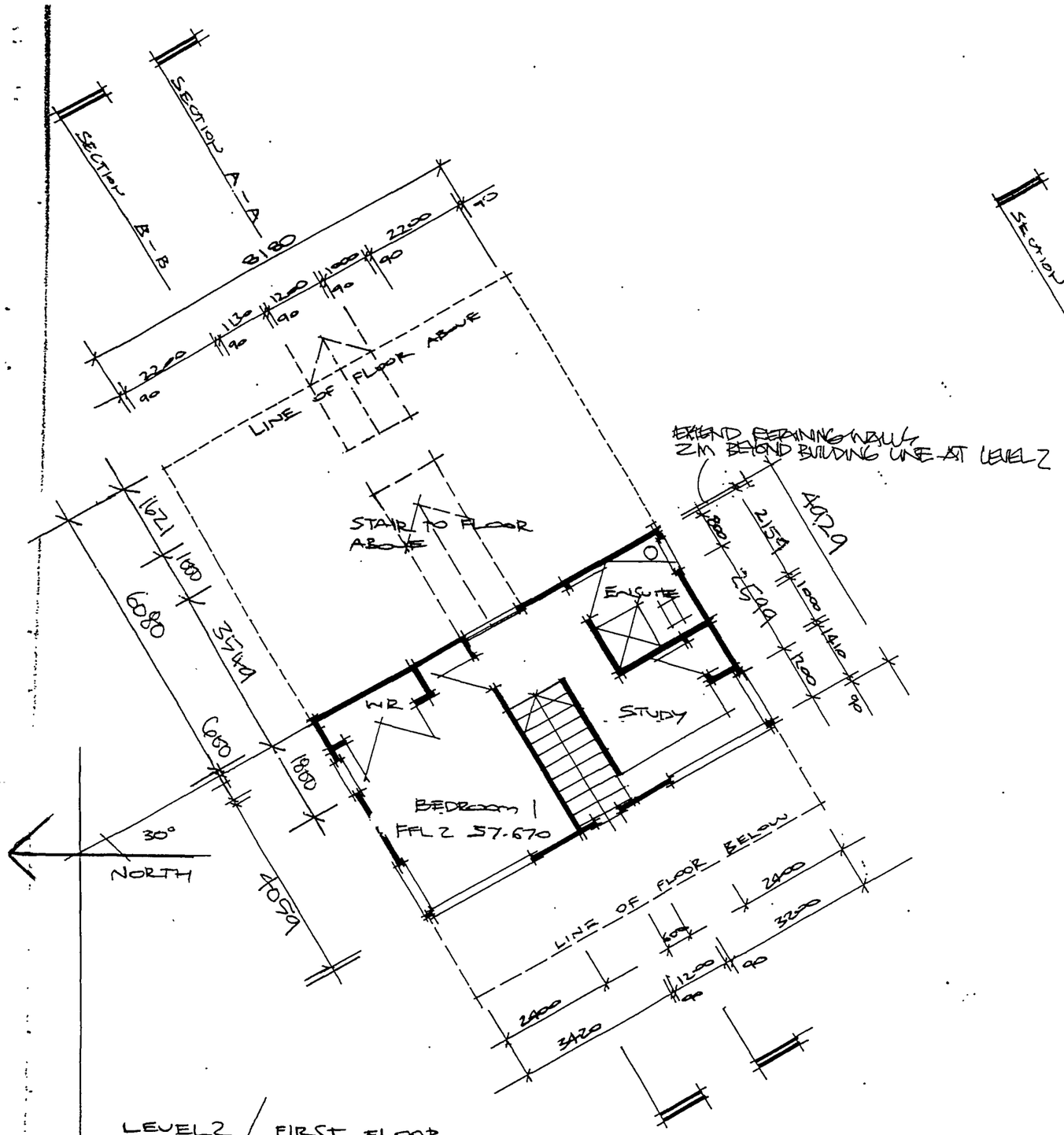
DWELLING PROPOSAL 22 ALPHA STREET CAMBRIDGE SHEET 1/11

SCALE NZS:3604

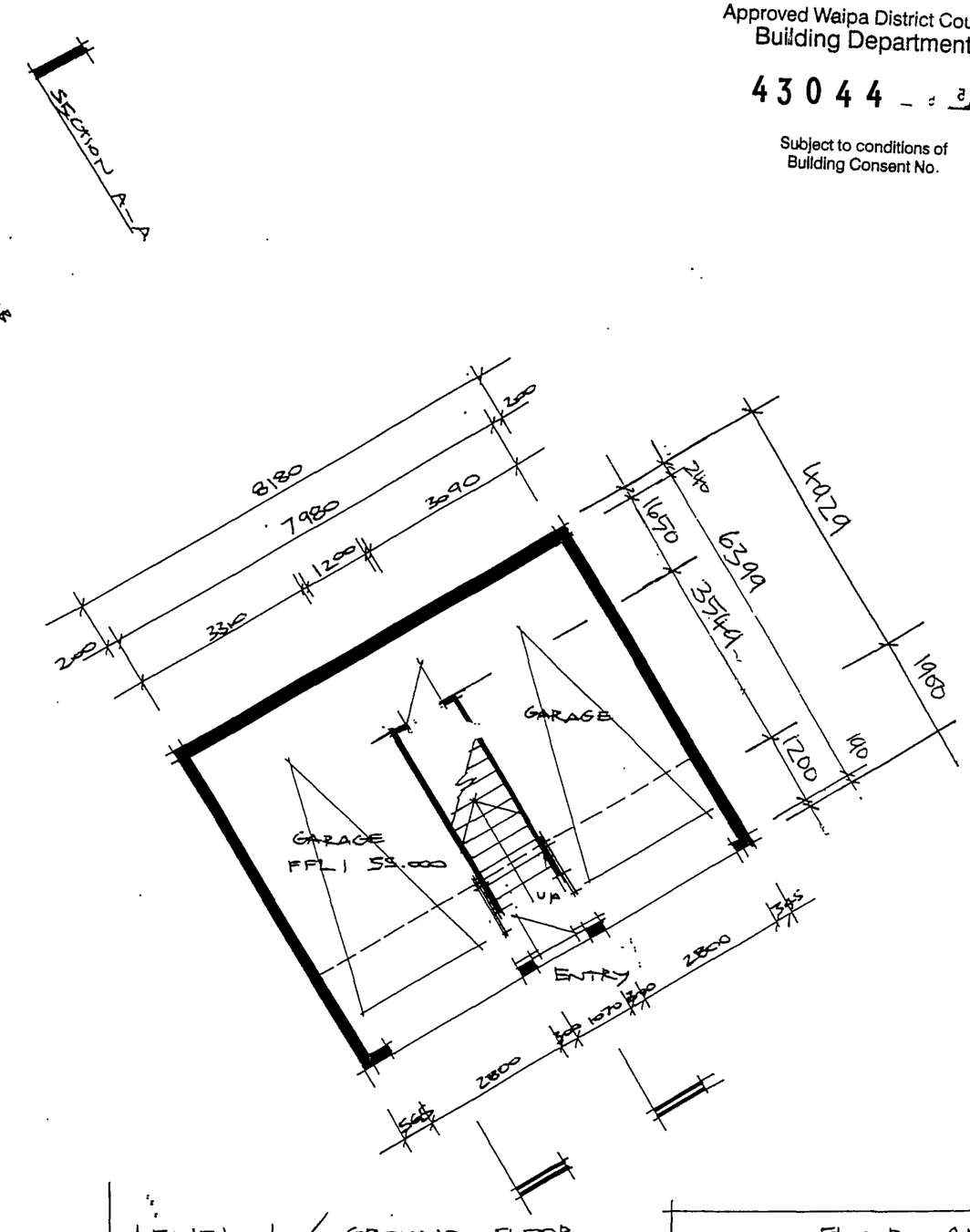
Approved Waipa District Council
Building Department

43044 - C

Subject to conditions of Building Consent No.



LEVEL 2 / FIRST FLOOR
1:100



LEVEL 1 / GROUND FLOOR
1:100

CONTRACTOR TO CONFIRM ALL DIMENSIONS ON SITE

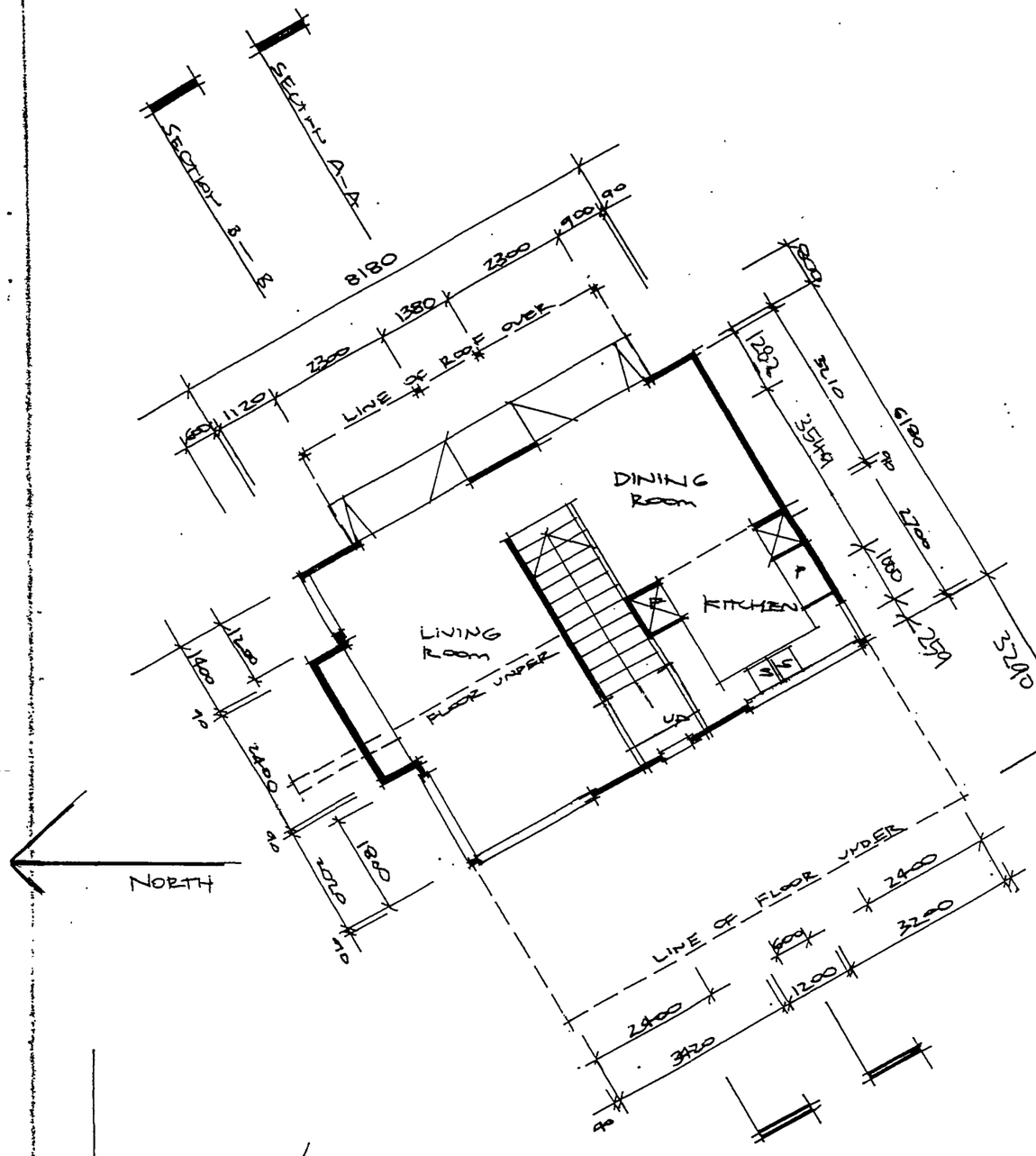
VANCE DEVELOPMENTS

DWELLING PROPOSAL 22 ALPHA STREET CAMBRIDGE

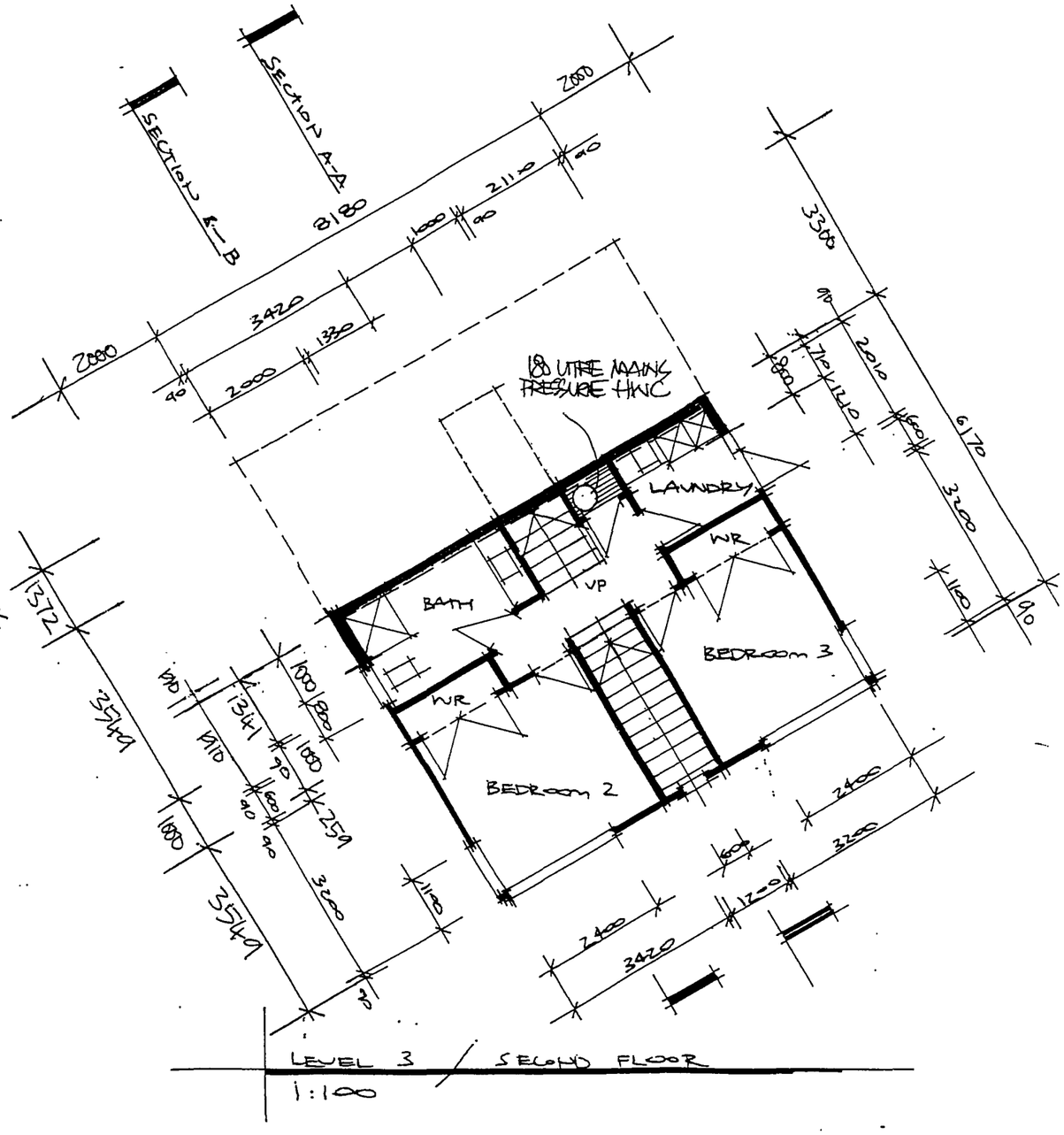
REF. SLOPE NZS: 3604

FLOOR AREAS		
LEVEL	4	52.4 m²
	3	50.5
	2	39.1
	1	54.7
TOTAL		196.7 m²

SHEET 2/11



LEVEL 4 / THIRD FLOOR
1:100



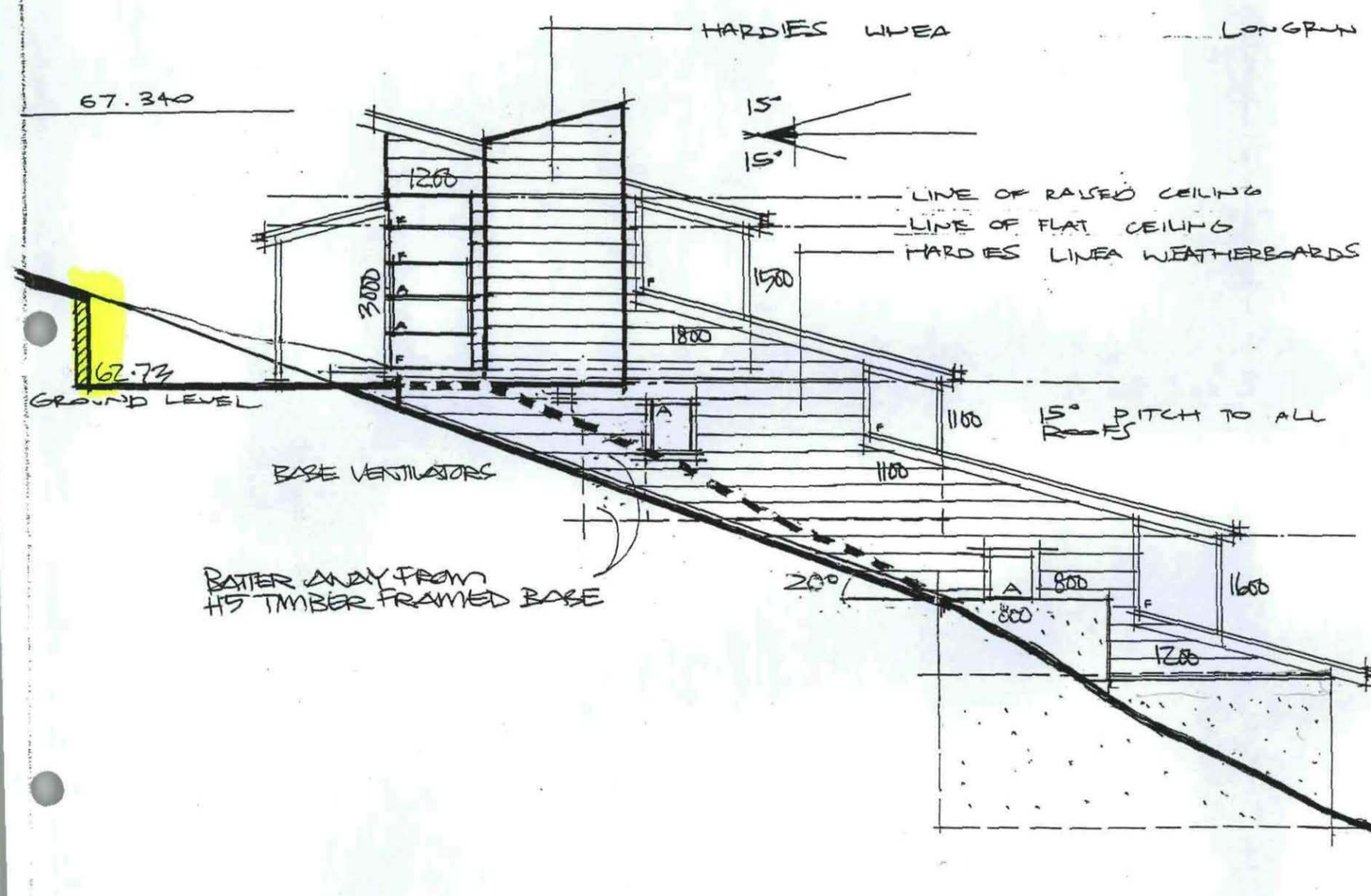
LEVEL 3 / SECOND FLOOR
1:100

CONTRACTOR TO CONFIRM ALL DIMENSIONS ON SITE

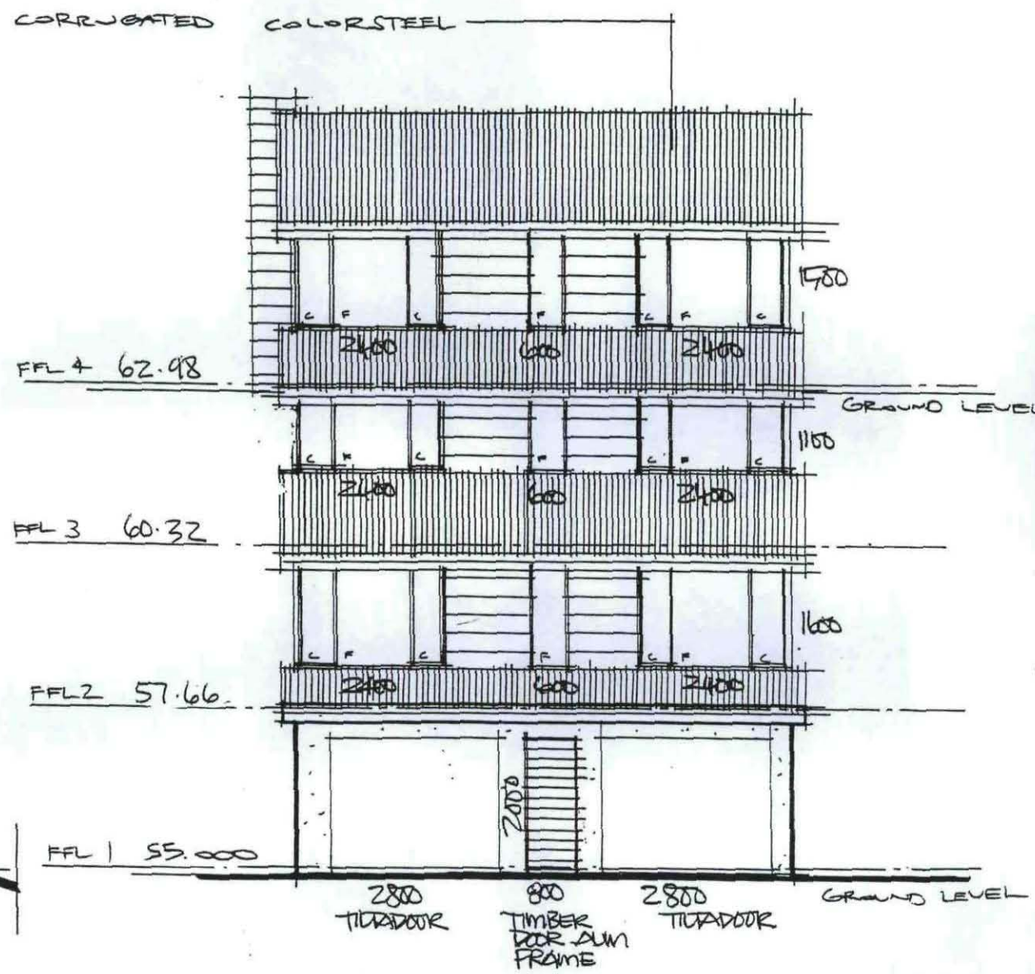
VANCE DEVELOPMENTS

DWELLING PROPOSAL 23 ALPHA STREET CAMBRIDGE SHEET 3/11

REF. SLOPE



NORTH ELEVATION
1:100



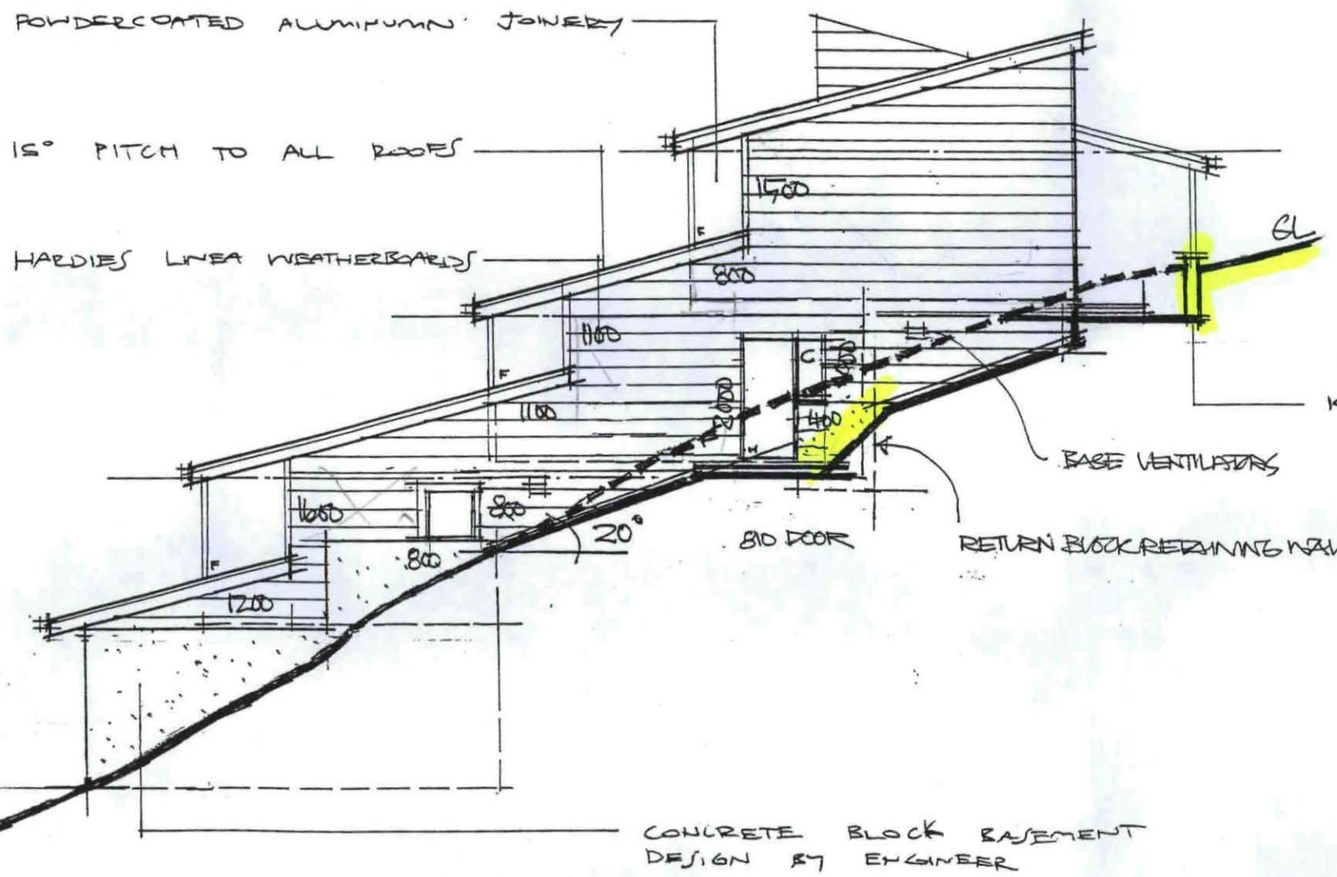
WEST ELEVATION
1:100

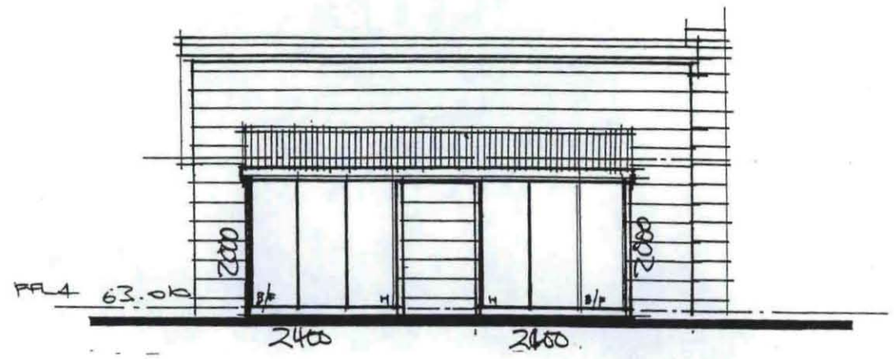
CONTRACTOR TO CONFIRM ALL DIMENSIONS ON SITE

VANCE DEVELOPMENTS

DWELLING PROPOSAL 22 ALPHA STREET CAMBRIDGE

NZS: 3604





SOUTH ELEVATION
1:100
ACT 6/05

EAST ELEVATION
1:100

CONTRACTOR TO CONFIRM ALL DIMENSIONS ON SITE
VANCE DEVELOPMENTS

DWELLING PROPOSAL — 22 ALPHA STREET CAMBRIDGE — SHEET 5/11

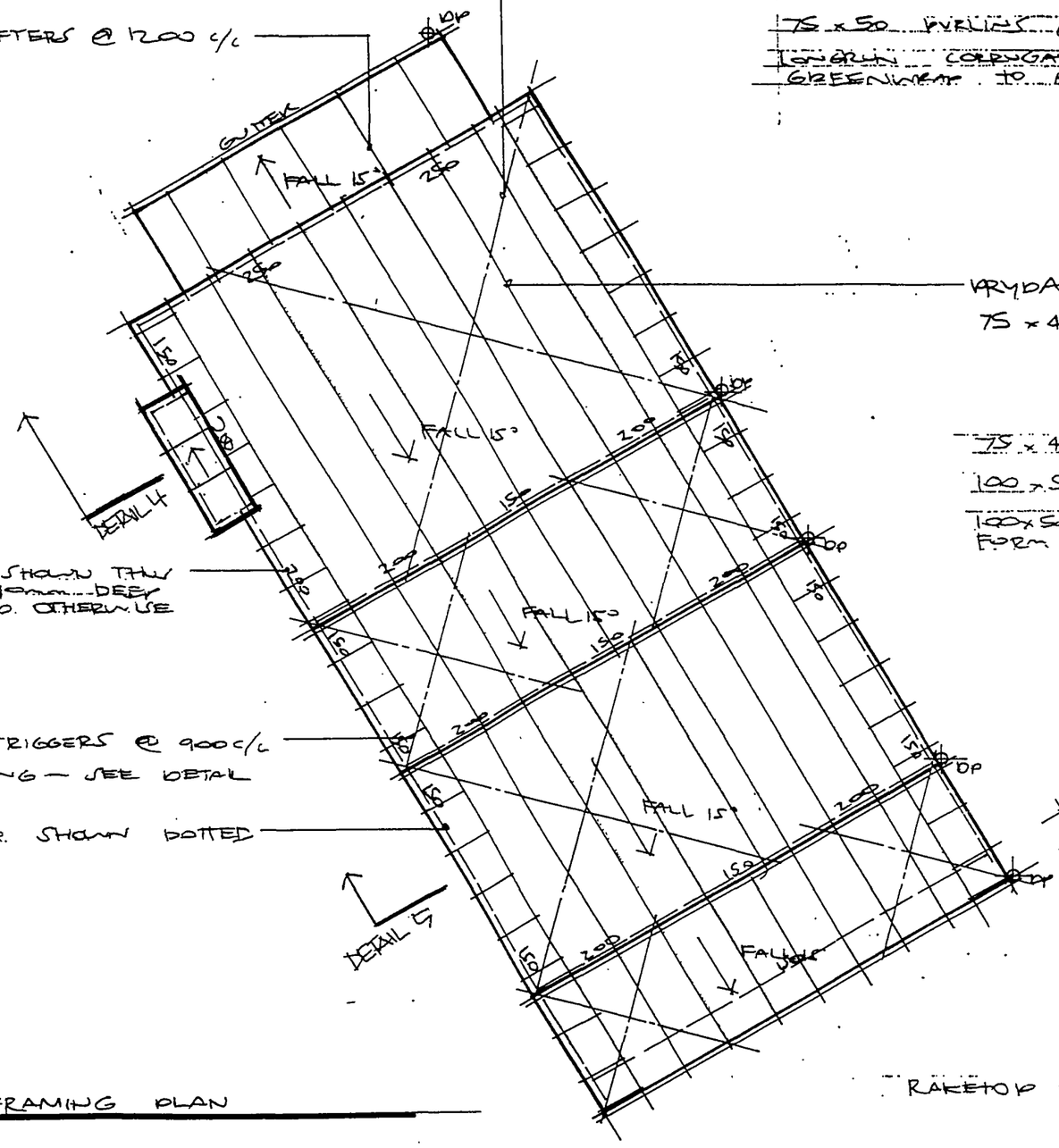
REF. SLOPE NZS:3604

DRYDEX STRAP BRACING WITH TENSIONERS FIX TO TOP SIDE OF TRUSSES

75 x 50 PURLINS @ 900 c/c TO ALL ROOFS

COLORSTEEL CORRUGATED COLORSTEEL OVER DURO16 GREENWRAP TO ALL ROOFS

50 x 50 RAFTERS @ 1200 c/c



ALL LINTELS SHOWN THUS SHALL BE 90mm DEEP UNLESS NOTED OTHERWISE

100 x 50 OUTRIGGERS @ 900 c/c RAISED CEILING — SEE DETAIL

VALL UNDER SHOWN DOTTED

ROOF FRAMING PLAN
1:100

KRYDA ROOF TRUSSES @ 900 c/c TO ROOFS

75 x 40 STRAPPING TO CEILINGS

600

75 x 40 STRAPPING TO CEILINGS

100 x 50 OUTRIGGERS @ 900 c/c

100 x 50 FRAMING @ 400 c/c TO FORM RAISED CEILING

600 O/HANG

2455 TO FFL

CEILING

RAKETOP WINDOWS AT CORNERS

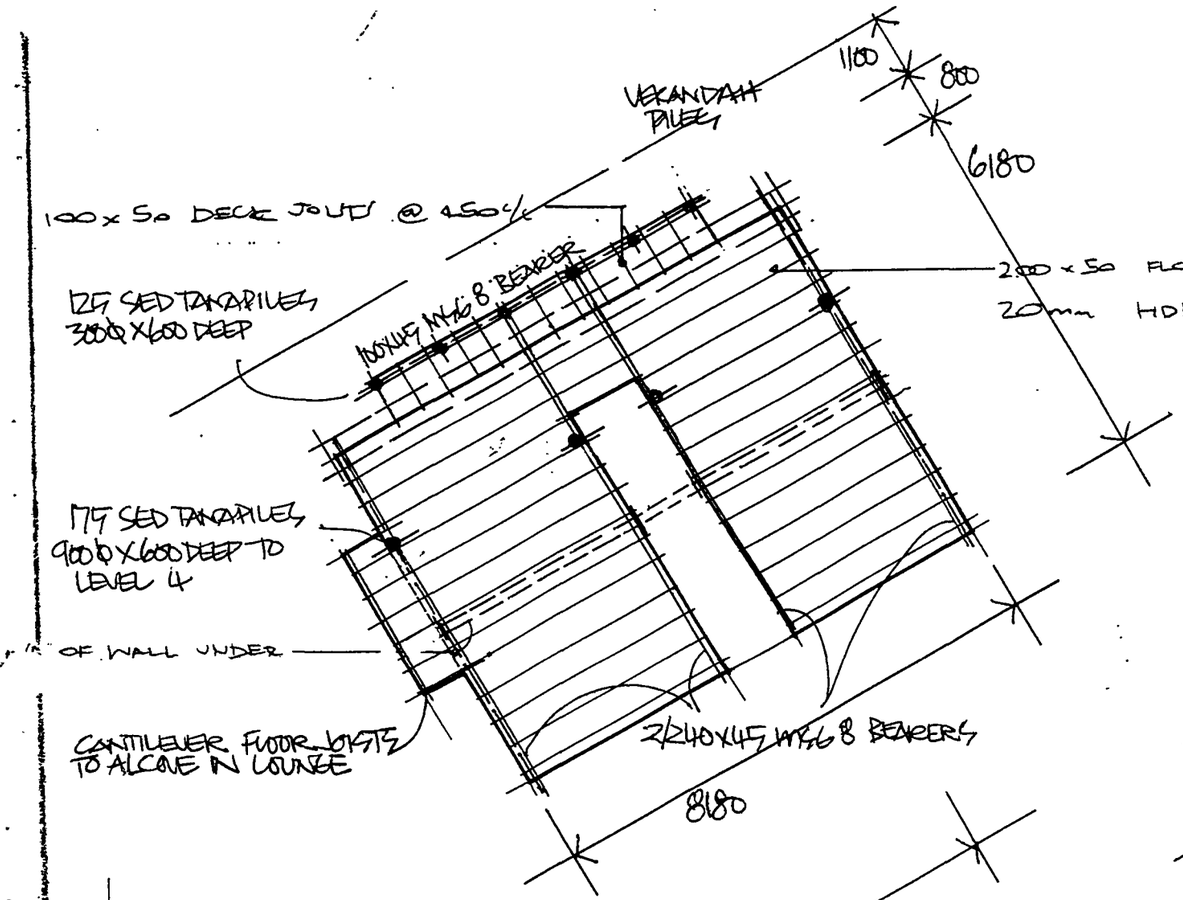
RAISED CEILING DETAIL 5
1:10

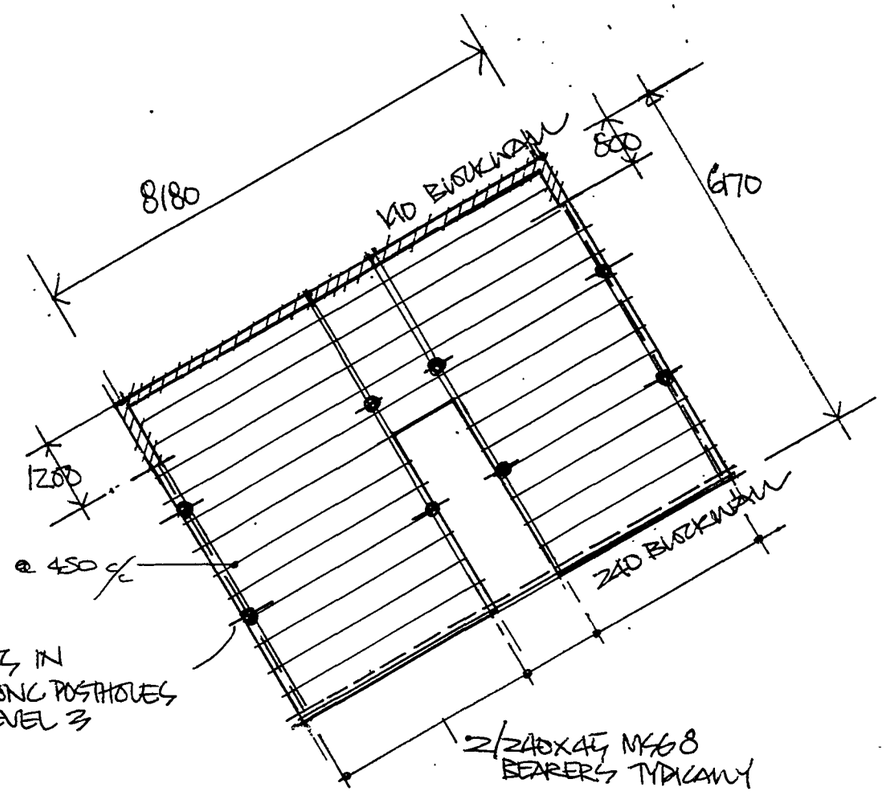
CONTRACTOR TO CONFIRM ALL DIMENSIONS ON SITE

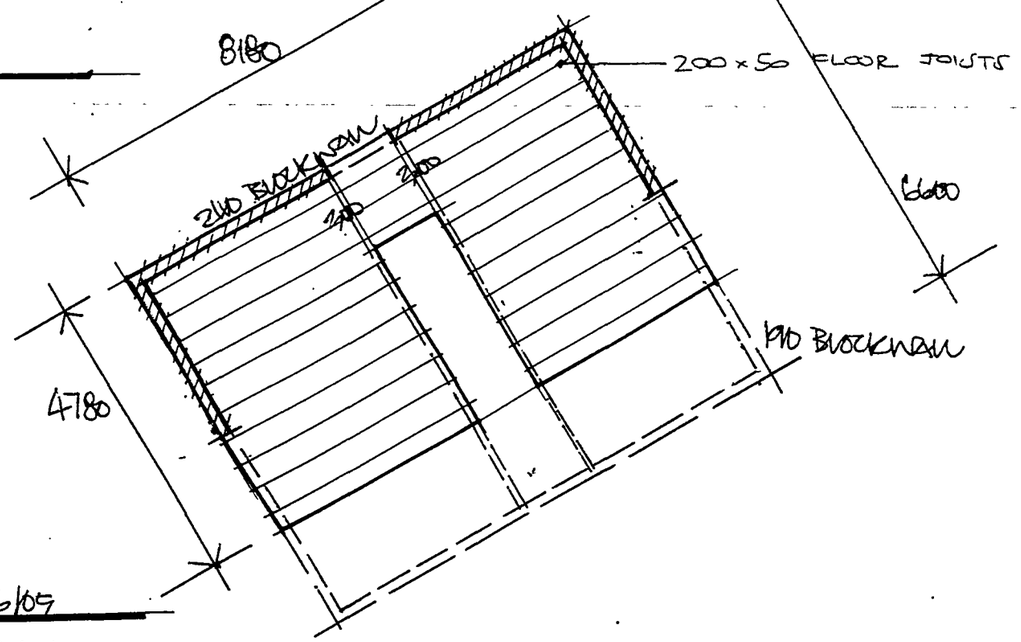
VANCE DEVELOPMENTS

DWELLING PROPOSAL — 27 ALPHA STREET CAMBRIDGE — SHEET 6/11

REF. SCODE: NZS : 3.604







LEVEL 4 AT 6/05

LEVEL 3 AT. 6/05

NORTH

LEVEL 2 AT 6/05

FLOOR FRAMING PLAN

READ IN CONJUNCTION WITH STRUCTURAL DRAWINGS
CONTRACTOR TO CONFIRM ALL DIMENSIONS ON SITE

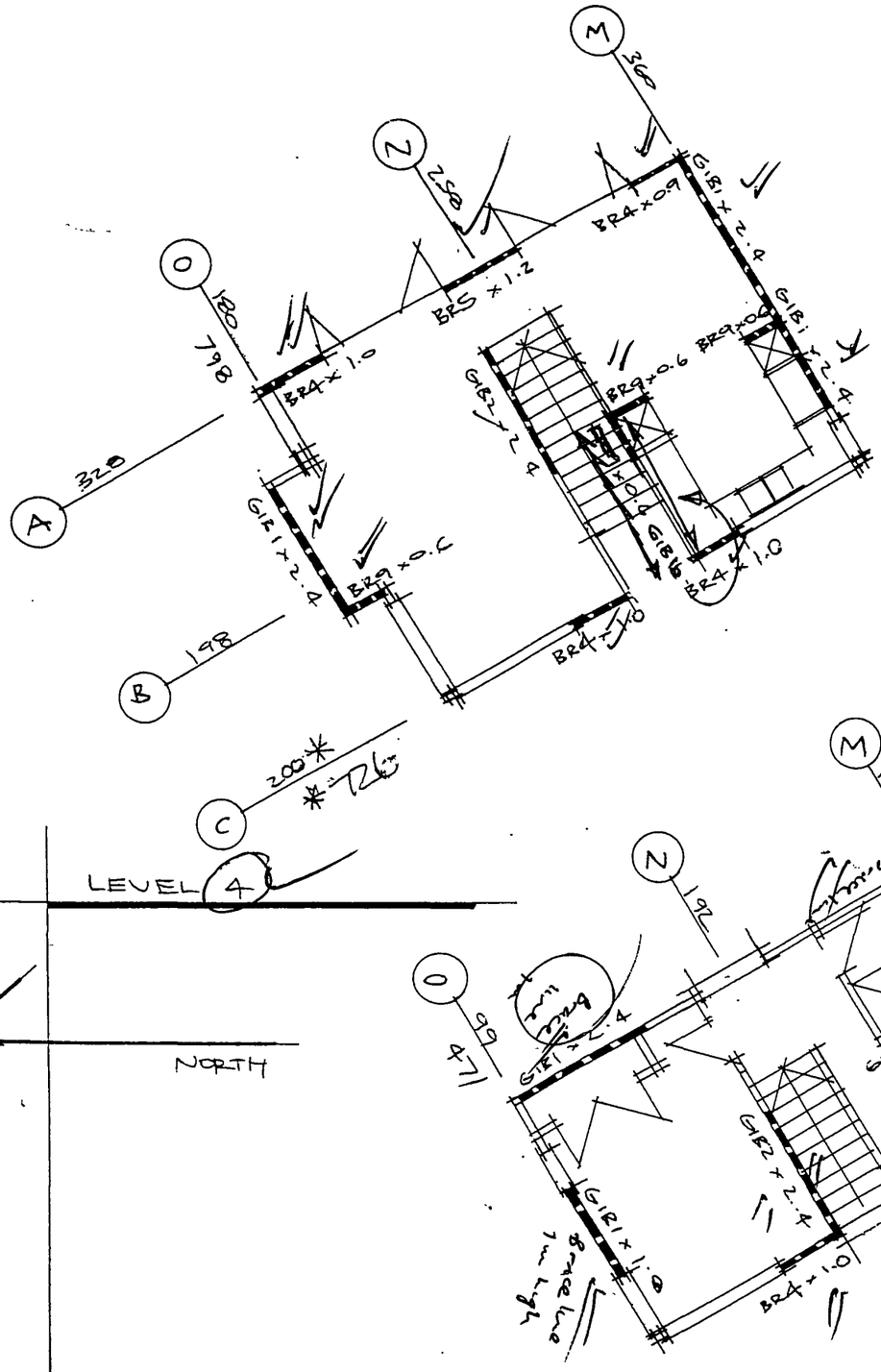
VANCE DEVELOPMENTS

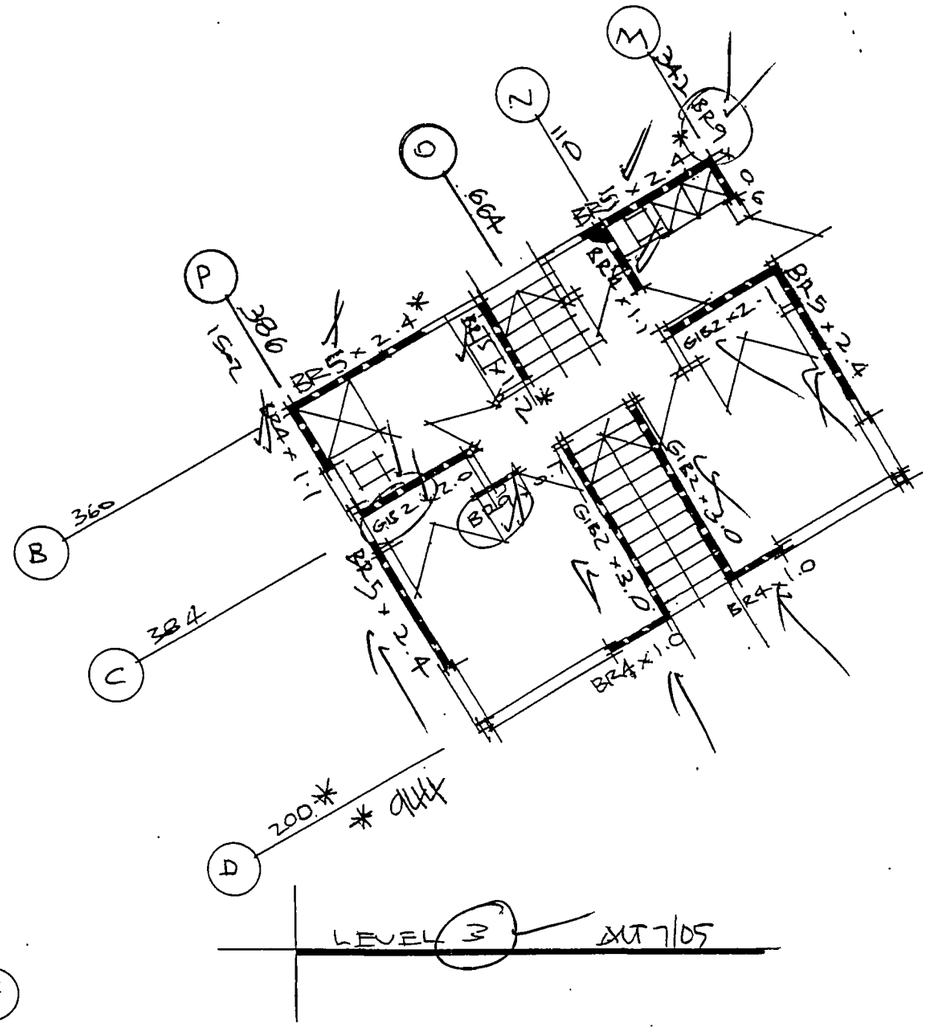
DWELLING PROPOSAL 22 ALPHA STREET CAMBRIDGE

REF SCOPE N25·2601

SHEET 7/11

Approved Waipa District Council
Building Department
43044 C
Subject to conditions of Building Consent No.





LEVEL 2

BRACING PLAN

7/05 * ALTER BRACING PANELS TO BRY

CONTRACTOR TO CONFIRM ALL DIMENSIONS ON SITE

VANCE DEVELOPMENTS

DWELLING PROPOSAL 22 ALPHA STREET CAMBRIDGE SHEET 8/11

REF. SCALE - 1:100

Approved Waipa District Council
Building Department

43044

Subject to conditions of
Building Consent No

0.4 CORRUG CISTEEL ROOFING TO ALCOVE

0.4 CISTEEL FLASHINGS TYPICALLY

75X50 PURLINS @ 900 C/C MAX

RAKED CEILING DETAIL - SEE DETAIL 5 SHEET 6/11

3000

ROOF TRUSSES @900 C/C

2435

2400

9.5 GIB ULTRALINE CEILINGS ON 75X40 STRAPPING @ 450 C/C

2200 WINDOW HEAD

9.5 GIBBOARD WALL LININGS GENERALLY

R1.8 WALL INSULATION.

100X75 FRAMING TO 3M HIGHWALLS ONLY - ELSEWHERE 100X50 H1+ TYPICALLY

600 CANT.

20 HDPB FLOORING ON 200X50 JOISTS @ 450 C/C

FFL 4

PERFORATED FOIL

100X50 H3 TAN SUBFLOOR WALL FRAMING

2/240X45 MGS8 BEARER

175 SED TANALISED

DETAIL 4 THROUGH LIVING ALCOVE.
1:25

75 x 50 PURLINS @ 900 c/c

PRYDA ROOF TRUSSES @ 900 c/c

LONGRUN CORRUGATED COLORSTEEL ROOFING OVER ANROID GREENWRAP

R2.4 CEILING INSULATION

2455 TO FFL

4.5 HARDIFLEX SOFFITS

HARDIES LINEA

150 x 100 LINTEL

COLORSTEEL FLASHING

DETAIL 1
1:10

EX 200X25 H3 TAN FACINGS TO CORNER POST

DETAIL 3
1:10

SUPERCOURSE FLASHINGS

POWDERCOAT ALUM WINDOW JOINERY

20 MM GROOVED WINDOW LINERS

COLORSTEEL FLASHING

9.5 GIB LININGS GENERALLY

PRYDA ROOF TRUSSES @ 900 c/c

TRUSS TOP CHORD SEATED ON 100x50 BLOCKING

R1.8 WALL INSULATION TYPICALLY TO 100X50 WALLS

LINE OF LINTELS SUPPORTED ON SHORT STUDS

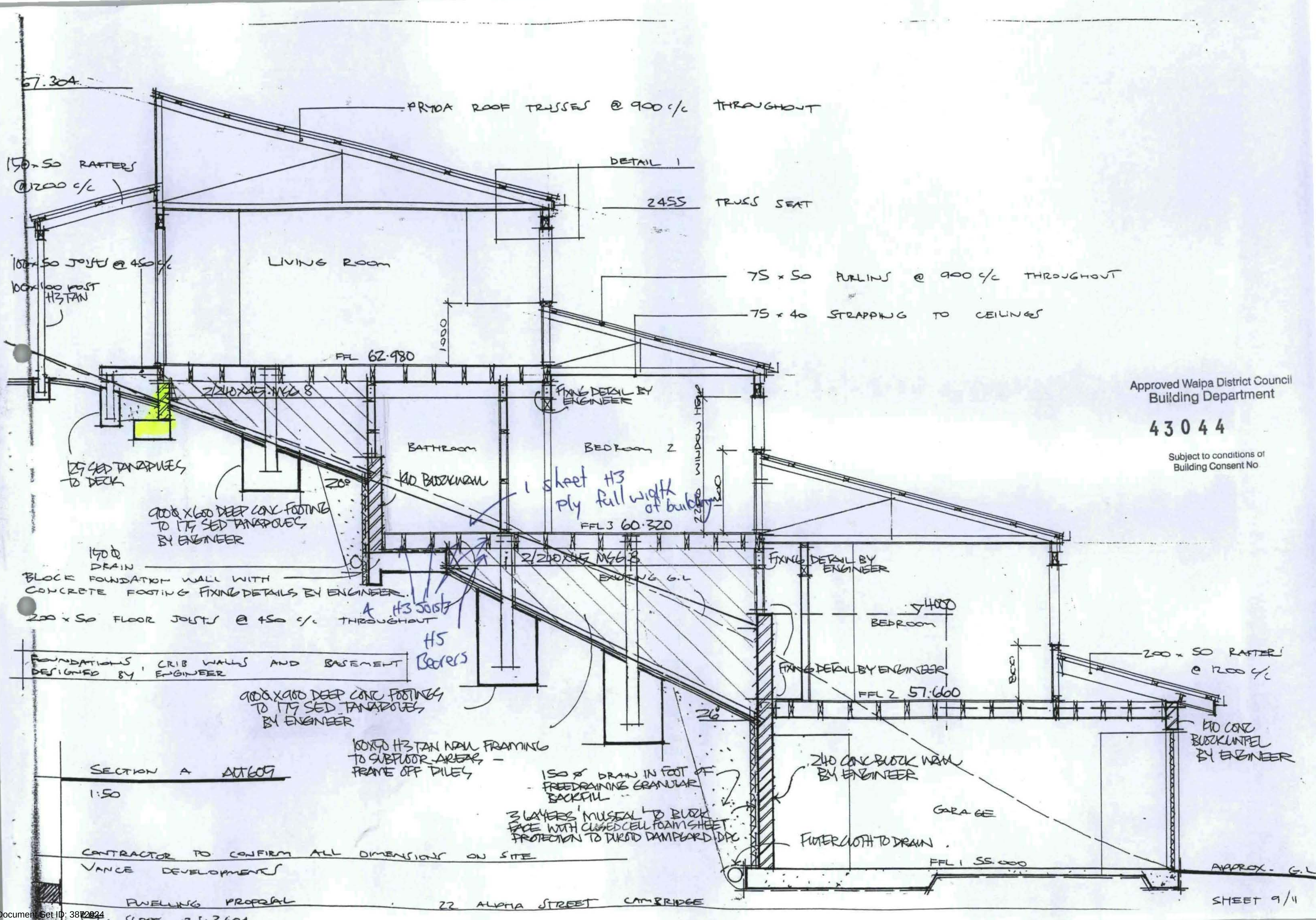
15° ROOF PITCH TYPICALLY

DETAIL 2
1:10

Approved Waipa District Council
Building Department
43044
Subject to conditions of Building Consent No

CONTRACTOR TO CONFIRM ALL DIMENSIONS ON SITE
VANCE DEVELOPMENTS
DWELLING PROPOSAL 22 ALPHA STREET CAMB

DETAIL 2 AT 60°
1:10


67.304
PRYDA ROOF TRUSSES @ 900 c/c THROUGHOUT
150 x 50 RAFTERS @1200 c/c
DETAIL 1
2455 TRUSS SEAT
100 x 50 JOISTS @ 450 c/c
100x100 POST H3TAN
LIVING ROOM
75 x 50 PURLINS @ 900 c/c THROUGHOUT
75 x 40 STRAPPING TO CEILINGS
1900
FFL 62.980
2/240X45 MSG 8
FIXING DETAIL BY ENGINEER
BATHROOM
BEDROOM 2
WINDOW HEAD
125 SED TANAPOLES TO DECK
20°
140 BLOCKWALL
1 sheet H3 ply full width of building
900Ø X 600 DEEP CONC FOOTING TO 175 SED TANAPOLES BY ENGINEER
FFL3 60.320
150Ø DRAIN
BLOCK FOUNDATION WALL WITH CONCRETE FOOTING FIXING DETAILS BY ENGINEER
2/240X45 MSG 8
FIXING DETAIL BY ENGINEER
EXISTING G.L
4 H3 Joists
200 x 50 FLOOR JOISTS @ 450 c/c THROUGHOUT
4000
BEDROOM
H5 Bearers
FOUNDATIONS, CRIB WALLS AND BASEMENT DESIGNED BY ENGINEER
FIXING DETAIL BY ENGINEER
200 x 50 RAFTER @ 1200 c/c
800
900Ø X 900 DEEP CONC FOOTINGS TO 175 SED TANAPOLES BY ENGINEER
FFL 2 57.660
26°
140 CONC BLOCK LINTEL BY ENGINEER
100X90 H3 TAN WALL FRAMING TO SUBFLOOR AREAS, - FRAME OFF PILES
SECTION A AUT609
1:50
150 Ø DRAIN IN FOOT OF FREEDRAINING GRANULAR BACKFILL
240 CONC BLOCK WALL BY ENGINEER
3 LAYERS 'MUSEAL' TO BLOCK FACE WITH CLOSED CELL FOAM SHEET PROTECTION TO DUROID DAMPBOARD DPC
GARAGE
FILTER CLOTH TO DRAIN
CONTRACTOR TO CONFIRM ALL DIMENSIONS ON SITE
VANCE DEVELOPMENTS
FFL 1 55.000
APPROX. G.L
DWELLING PROPOSAL
22 ALPHA STREET CAMBRIDGE
SHEET 9/11
SCOPE. NZS: 3604

16209

300 | 6180 ✓ | 3290 ✓ | 4839 | 1900 ✓

PRYDA ROOF TRUSSES @ 900 c/c THROUGHOUT

15°

DETAIL 1

150 x 50 LINTEL

DETAIL 2

15°

75 x 40 STRAPPING TO CEILINGS

FFL 62.480

2455 TRUSS SEAT

15°

CEILING OVER STAIR FRAMED IN 100 x 50 @ 400 c/c

75 x 50 PURLINS @ 900 c/c THROUGHOUT

ENGINEERS DRAWINGS FOR FLOOR FRAMING AND BASEMENT

190 BLOCKWALL

DRAIN

FFL 60.320

FLOOR JOISTS @ 450 c/c THROUGHOUT

3549 / 13 TREADS

STAIRS

2660 TOTAL STAIR RISE / 14 RISERS
3549 TOTAL STAIR LENGTH / 13 TREADS
1200 WIDE

ALL STAIRS THE SAME
SOLID TIMBER TREADS & STRINGERS

150

600 O/HANG

FFL 57.660

240 BLOCKWALL BY ENGINEER.

STORAGE

FFL 55.000

SECTION B-B

1:50

ADDENDA SHEET ATTACHED 10/A

SEE ADDENDA SHEET ATTACHED 10/A

CONTRACTOR TO CONFIRM ALL DIMENSIONS ON SITE AND CE DEVELOPMENTS

DWELLING PROPOSAL 22 ALPHA STREET CAMBRIDGE SHEET 10/

EF. SCOPE NZS:3604

Approved Waipa District Council
Building Department

43044

Subject to conditions of Building Consent No.

16207 O/A * NOTE ADDITIONAL 147mm OVER ORIGINAL *

6180 3200 6829

800 3210 90 90 2700 90 4749 1900

2455 T/PLATE
2420

90 1282 LANDING 3749 13X273 1000 LANDING 3749 13X273 1800 LANDING 3749 13X273 1200 LANDING 190

271

FIXING DETAIL BY ENGINEER

FFL 62.498

20°

NEW TYPICAL GL

1600 MAX

(303 TREAD O/A)

30 NOSING 273

FIXING DETAIL BY ENGINEER

NEW CUT GROUND LEVEL UNDER LEVEL 3

190 RISER

COMMON STAIR 37°

2455 T/PLATE
2420

FIXING DETAIL BY ENGINEER

FFL 60.32

CUT OUT IN RETAINING WALL FOR STAIR

ORIGINAL GL

FIXING DETAIL BY ENGINEER

FFL 57.66

260°

4200 MAX

FFL 55.00

(7480 O/A) FFL

2660 14X190

FFL

2660

FFL

2660

FFL

Approved Waipa District Council
Building Department

43044

Subject to conditions of Building Consent No.

REVISED DIMENSIONS TO STAIR. 1:50
VANCE DEVELOPMENTS.

DWELLING PROPOSAL 22 ALPHA ST CAMBRIDGE
SHEET 10A /11 (ADDENDA TO EXISTING)

JOB 7/05

ELECTRICAL WORKERS REGISTRATION BOARD
Safety • Competency

EWRB 551

Electrical Certificate of Compliance

for prescribed electrical work that is carried out on electrical installations and involves the placing or positioning or the replacing or repositioning of conductors (including fittings attached to those conductors).

To be completed whether or not an Inspection is required.

No. 1947330

No. of attachments

CUSTOMER INFORMATION - PLEASE PRINT CLEARLY

Name of customer: VANCE DEVELOPMENTS Phone:

Address of installation: ALPHA ST CAMBRIDGE

Postal address of customer (if not as above):

WORK DETAILS

41 No. of lighting outlets

27 No. of socket outlets

Was any installation work carried out by the homeowner? ☐ Yes ☑ No

☐ No. of ranges

1 No. of water heaters

Please tick (✓) as appropriate where work includes:

☑ Mains ☑ Main earthing system

☑ Switchboard ☐ Electric lines

Description: POWER & LIGHTING / FAN + LIGHT HEAT / TOWL RAILx2 / H/W / DISHWASHER / WALL OVEN / HOT PLATES / RANGEHOOD / SEPTIC PUMP

If necessary attach any pages with sketches of work done

It is recommended that test results be recorded here:

Visual Examination ☑

Earth Continuity ☑

Bonding ☑

Polarity ☑

Insulation Resistance 100 T Mohm

Other

CERTIFICATION OF WORK

I certify that the above electrical work has been carried out in accordance with the requirements of the Electricity Act 1992 and Electricity Regulations 1997.

ELECTRICAL WORKER DETAILS

Name	R. MARTIN
Registration no.	E11096
Company	ELP LTD
Signature	
Date	30-4-07
Contact Ph No.	0274 872780

CERTIFICATION OF ELECTRIC LINES

(to be completed where a separate electrical worker has installed the electric line portion of the mains)

Name	R. MARTIN
Registration no.	E11096
Company	ELP LTD
Signature	
Date	30-4-07
Contact Ph No.	0274 872780

INSPECTION DETAILS

Electrical work requiring inspection by a registered electrical inspector

☐ New mains ☐ Switchboard ☐ Earthing system ☐ Installation work in hazardous areas

I certify that the inspection has been carried out in accordance with the requirements of regulation 41 of the Electricity Regulations 1997.

Name	
Signature	
Registration no.	
Date	
Contact Ph No.	

Building ECE

This form is approved by the Electrical Workers Registration Board (PO Box 156, Wellington. Freephone 0800 66-1000) for the purposes of the Electricity Regulations 1997.

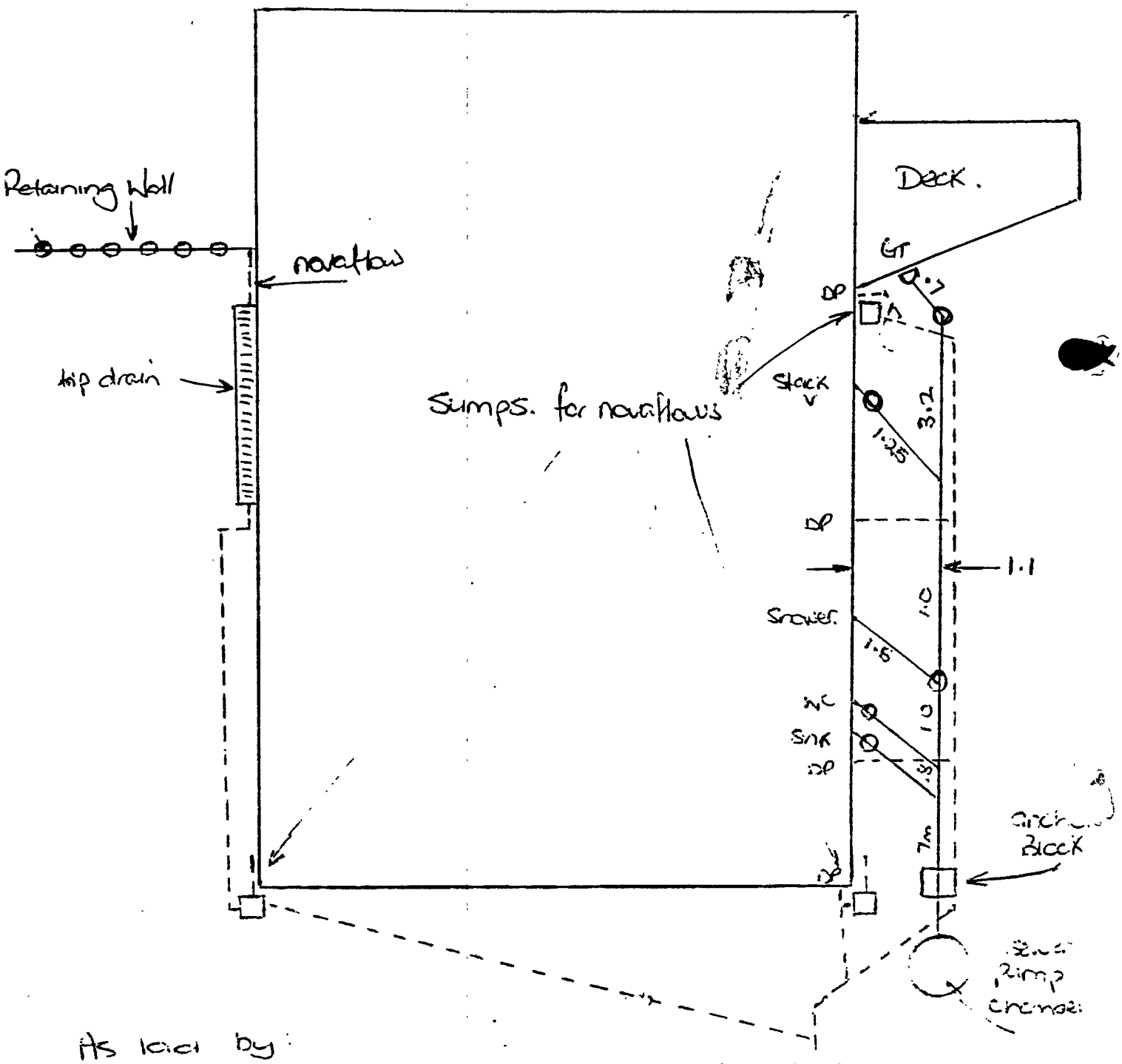
CUSTOMER COPY - THIS IS AN IMPORTANT DOCUMENT AND SHOULD BE RETAINED

Vance Developments
22 Alpha St.

04351/843.02
P52710
078247744

BC 43044

RECEIVED
27 APR 2007
BY: cpen



As laid by:
CHRIS RYAN PLUMBING
P.O. BOX 713
CAMBRIDGE
PH 07 827 9969 FAX 07 827 9984
Reg # 12650.

Building ALD

As laid by: Chris Ryan Plumbing & Drainage Ltd Reg# 12650

Waipa
DISTRICT COUNCIL

Code Compliance Certificate CCC/1714/08

Section 95, Building Act 2004

The Building

Street address of building: Alpha Street Cambridge 3434

Legal description of land where building is located: LOT 2 DPS 90225

Property id: 52710 Rating unit number: 04351/843.02

Intended use: Private Use

The Owner

JD Owen, KM Owen
22 A Alpha Street
Cambridge 3434

First point of contact for communications with the council/building consent authority:
JD Owen
22 A Alpha Street
Cambridge 3434

Building Work

Building consent number: BC/1020/08

Issued by: Waipa District Council

Proposed work: Install New Window

Value of work: $ 3200

Intended life: 50 years

Code Compliance

The building consent authority named below is satisfied, on reasonable grounds, that –

(a) the building work complies with the building consent

Council Charges

Amount outstanding: $ 0

Brent Montague

Building Control Officer

On behalf of: Waipa District Council

Date building consent received: 04/09/2008

Date CCC issued: 23/09/2008

G.A.Hughes & Associates Ltd.

Consulting Civil & Structural Engineers

1036 Whangaparaoa Road, Whangaparaoa, Hibiscus Coast 1463.
Ph. (09) 424-4253 Fax (09) 424-4258
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No. of Pages Including This One: 3

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as your request

Regards

Gordon.

G.A. Hughes, Director, B.E., Dip. Mgt., MIPENZ (Civil, Structural), CPEng, IntPE, ANZIM, FNZPI, AREINZ,

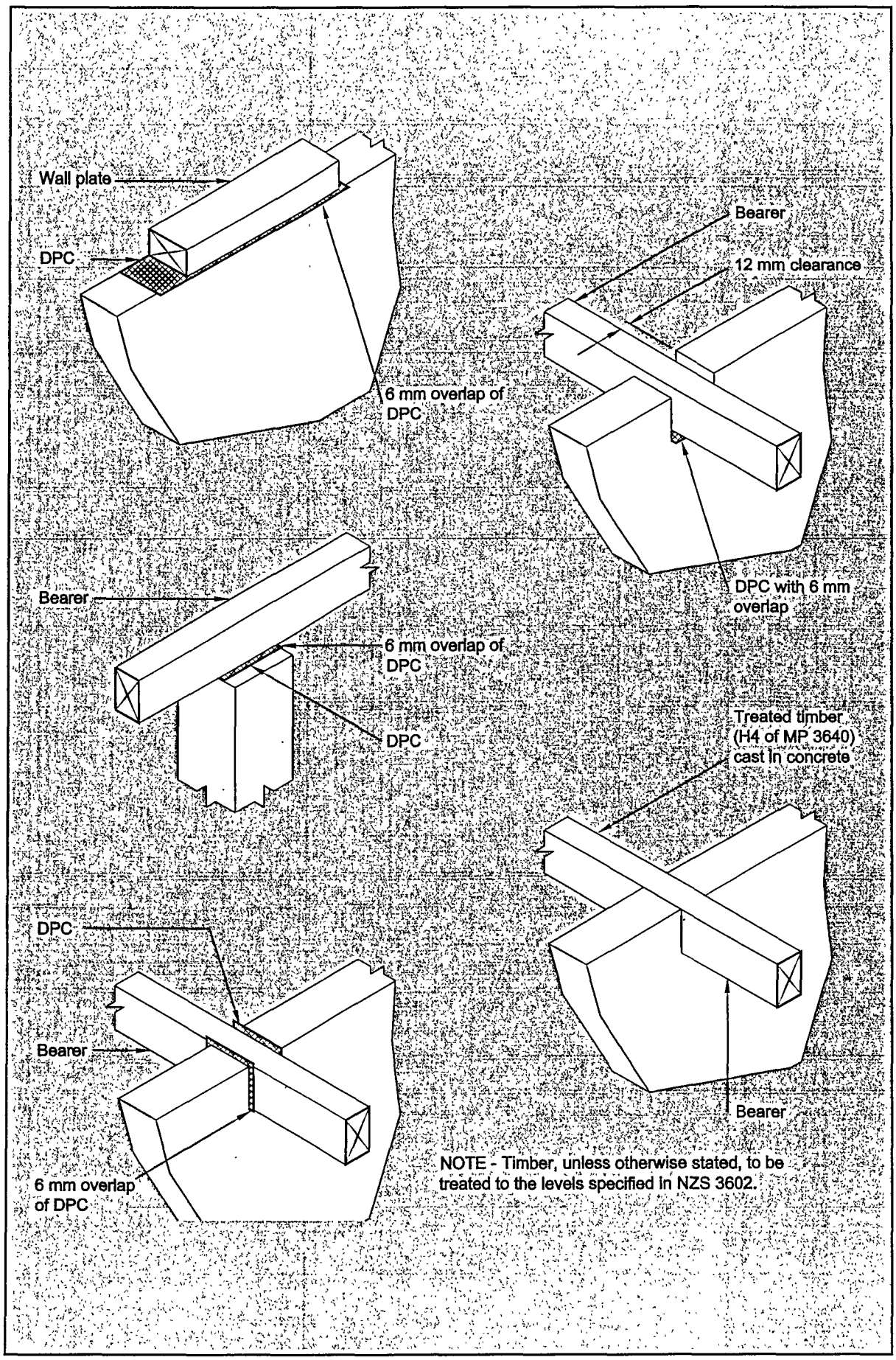


Figure 2.1 – Protection of subfloor framing timber from direct contact with concrete (see 2.3.3)

2.3.3
As shown in figure 2.1 *framing* timbers shall be separated from direct contact with concrete or masonry by either:

(a) A free-draining air space of not less than 12 mm; or

(b) A bituminous *damp-proof course* (DPC) or other suitable impervious material overlapping the timber by at least 6 mm;

This clause need not apply to:

(c) Timber treated to Hazard Class H4 of MP 3640;

(d) Situations where the concrete or masonry is protected from moisture by a *DPM* or by virtue of its position in a building. Included are *bottom plates* of *internal walls* on concrete floors with a *DPM* and wall *framing*, or *stringers* fixed to concrete, or concrete masonry walls which are not exposed to moisture from the external environment, or from wet areas within a building.

C2.3.4
The call dimensions are the nominal dimensions to which the timber is sawn. Structural timber is normally machined to uniform dimensions after sawing, and installed in a wet condition, either preservative treated or untreated. Thus timber of call size 100 mm x 50 mm is machined (gauged) to 94 mm x 47 mm and will be smaller after drying in use. There is increasing use of kiln dried framing in New Zealand, and the installed dimensions for 100 mm x 40 mm after kiln drying and machining are 90 mm x 35 mm. Tests of kiln dried F5 machine stress graded framing indicate that it is equivalent to green gauged No. 1 Framing. NZS 3601 lists the green gauged and dry dressed dimensions for other commmon timber sizes.

2.3.4
Unless specifically stated otherwise in this Standard, cross-sectional dimensions of timber shall be the *call dimensions* as specified in NZS 3601. Gauged or kiln dried timber can be used provided the finished dimensions of the timber are no less than as follows:

	Call dimension	Gauged	Kiln dried
Member depth (= timber width)	D	D – 6 mm	D – 10 mm
Member breadth (= timber thickness)	B	B – 3 mm	B – 5 mm

2.4 Fastenings and fabrication

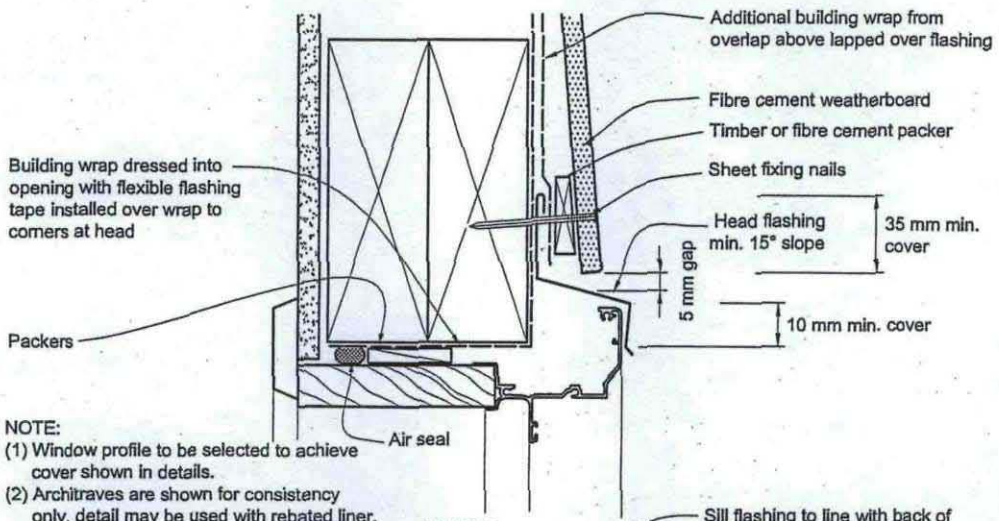
2.4.1
All parts of the building shall be securely fastened in accordance with 2.4.2, in order to resist all forces likely to be encountered during construction, or during the expected life of the building and to ensure that the building as a whole acts as a single structural entity.

2.4.2
Fastenings and connections shall be as specified in the relevant clause of this Standard or have a *capacity* as specified in the relevant clause of this Standard.

2.4.3
All timbers shall be set true to the required lines and levels with all mitres, butts, laps, housings, and other functions cut accurately so as to provide full and even contact over all bearing surfaces. Timber *framing* tolerances shall be as given in table 2.1.

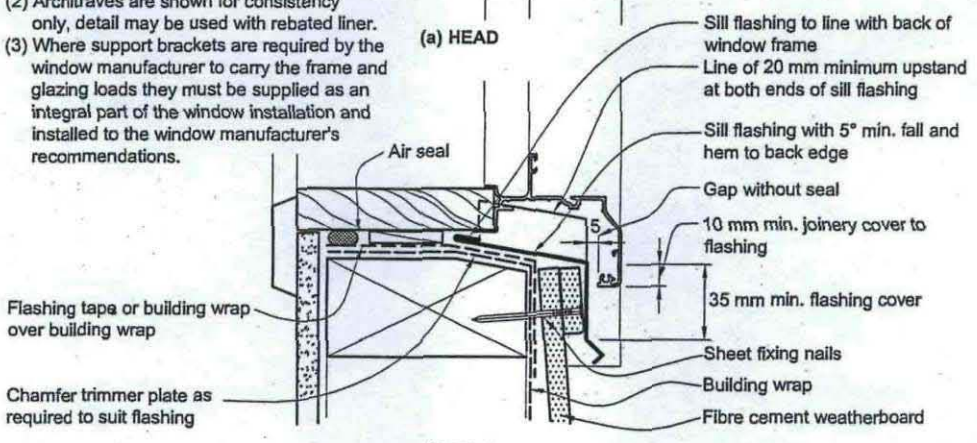
Figure 90: Windows in fibre cement direct fixed weatherboards
Paragraph 9.5.4.1

GENERAL: (a) Refer Figure 72 for wrapping of framed opening prior to window installation.
(b) Sliding and bi-fold windows will require specific design.
(c) A minimum of 8 mm effective cover at sills shall be permitted where necessary to allow for tolerances.

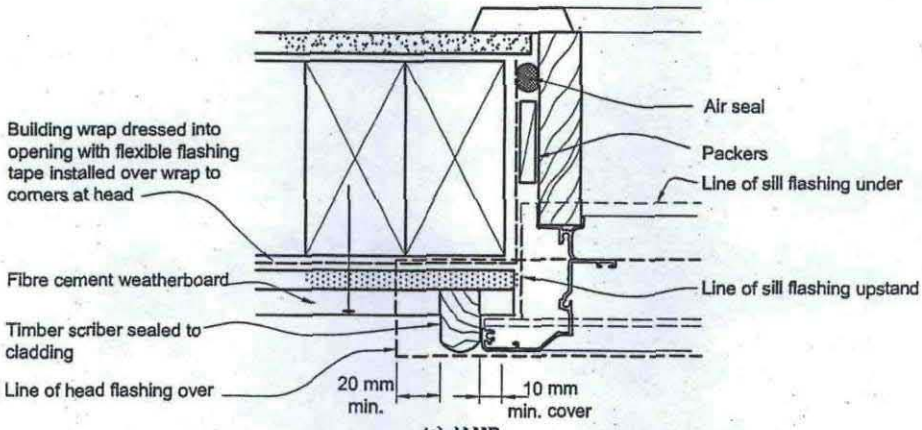


NOTE:
(1) Window profile to be selected to achieve cover shown in details.
(2) Architraves are shown for consistency only, detail may be used with rebated liner.
(3) Where support brackets are required by the window manufacturer to carry the frame and glazing loads they must be supplied as an integral part of the window installation and installed to the window manufacturer's recommendations.

(a) HEAD

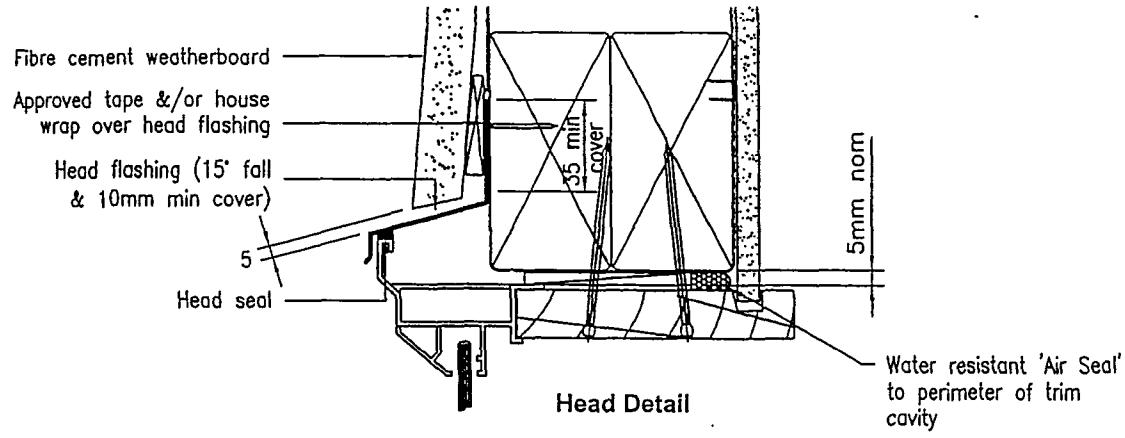


(b) SILL

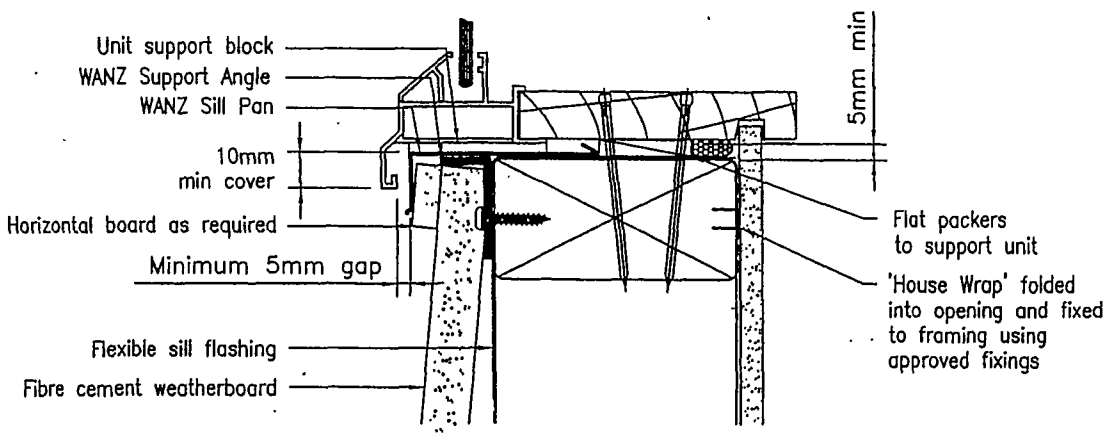


(c) JAMB

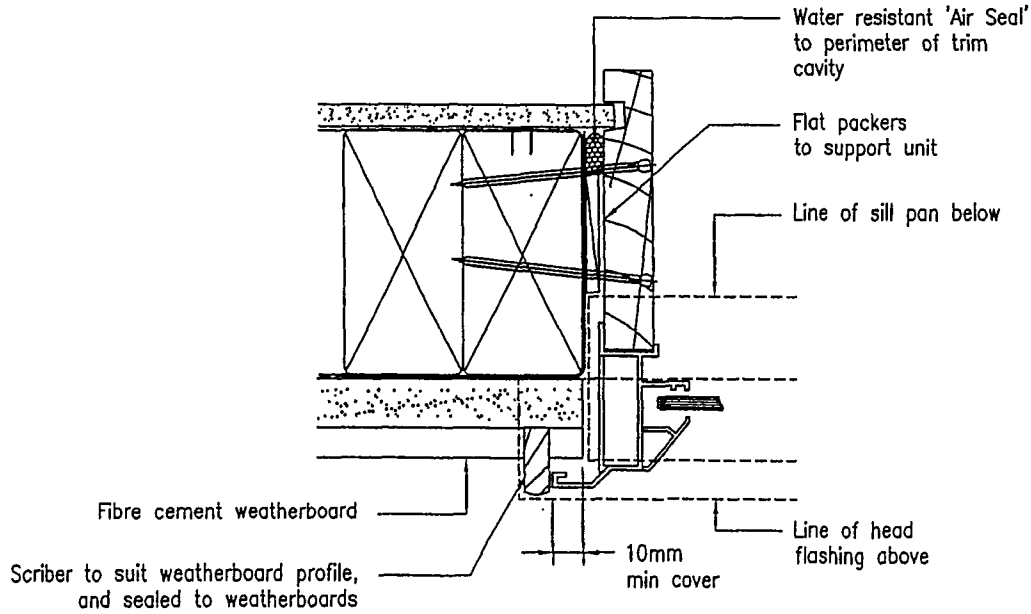
Amend 2
Jul 2005



Head Detail



Sill Detail



Jamb Detail

X-200 Acrylic Waterproofing Membrane

Surface Preparation

Cracked Surfaces

Due to its high film build, Resene X-200 (Data Sheet D62) will completely fill cracks up to 1mm. For cracks larger than this, apply 1 coat of Resene Sureseal (Data Sheet D42) before filling the crack with a suitable elastomeric sealant.

New Cementitious Surfaces

Clean down thoroughly to remove all dirt, dust and loose material. Ensure surface is free from oil, grease, form release and curing agents. Glossy surfaces require an additional treatment of Resene Smooth Surface Sealer (Data Sheet D47).

Old Cementitious Surfaces

If moss and mould are present, treat with Resene Moss & Mould Killer (Data Sheet D80). Waterblasting at 21,000 kps (3000 psi) is the best surface preparation method prior to painting weathered cementitious surfaces or galvanised steel. If waterblasting is not possible, remove all loose powdery material by thorough wire brushing. Allow to dry and apply 1 coat of Resene Sureseal (Data Sheet D42).

Sanding dust from old lead or chromate based paints or old building materials containing asbestos may be injurious to the health if inhaled or ingested. Seek expert advice if the presence of these materials is suspected.

Application

Airless Spray

Use Titan-tip adjustable tip, number 341-041 or similar. Use a coarse filter in the system as the fibre reinforcement of X-200 may clog finer filters. Apply 2 coats as for Brushing.

Brush

Apply 2 coats at specified rate (to equal 3 sq. metres/litre total).

Roller

Use a 12-20mm synthetic fibre roller or texturing roller depending on surface. Apply 2 coats as for brushing.

Standard Spray

Use a De Vilbiss JGA Gun with a D Tip DEX Needle and 107J Air Cap or equivalent.

Concrete Blocks

Due to regional variations in concrete block standards, 2 coats may be sufficient to waterproof. Waterproofing can only be assured when all voids are filled, therefore 3 coats over block is a safer specification. Brush or roller application is preferred over block and essential for at least the first coat.

Precautions

1. Do not thin.
2. Ensure correct pre-treatment is used.

Information contained in this Data Sheet is re-validated every two years following issue date.
Please ensure current Data Sheet is consulted prior to specification or application of Resene products.
If the surface you propose to coat is not referred to by this Data Sheet, please contact Resene for clarification.

In New Zealand: 32-50 Vogel Street, Lower Hutt, PO Box 38-242, Wellington Mail Centre
Call 0800 RESENE (0800 737 363)
In Australia: 7 Production Avenue, PO Box 785, Ashmore City, Queensland 4214
Call 1800 738 383
Visit our website www.resene.com or email us at advice@resene.co.nz

Resene
the paint the professionals use