

489 KAIKOKOPU RD

Wanganui District Council
 28 APR 2009
ACCEPTED

Wanganui District Council
 28 APR 2009
ACCEPTED

FAST TRACK

Building Consent Form v6 12/11/08

Building Consent Form Content/Checklist

Consent number: BC09/0328 DBH Building Category 1
 (Type 1, 2 or 3)

	Description	Added to file	Comment & Reference
1.	Consent Application	28-4-09	
2.	Pre-Vet Checksheet	28-4-09	
3.	Plans & Specifications	28-4-09	
4.	Bracing Calculations	28-4-09	
5.	PIM : C/T : Consent Notes		
6.	Regional Authority Consent (Dams)		
7.	Fire Design		
8.	DRU - NZFS		
9.	Consultant Reports		
10.	Producer Statements PS1, PS2, PS4	28-4-09	
11.	Engineering Calculations	28-4-09	
12.	Peer Review	29/4/09	Approved
13.	Relocate: Condition Reports		
14.	Truss Layouts		
15.	FIR		
16.	Correspondence		
17.	Copy of Invoice(s)	28-4-09	(dep)
18.	Compliance Assessment Checksheets		
19.	Photos		
20.	Notice to Fix / Enforcement Action		
21.	DBH Notification (Warnings etc)		
22.	Amendments/Alterations to Existing		
23.	Historic Places Trust Approval letter		
24.	Request for Further Information letter(s)		
25.			
26.			
27.	Building Consent (signed copy) Including Conditions		
28.			
29.			
30.	Inspection Checksheets	✓	
31.	Supporting As-Built documentation		
32.	Energy Work Certificates - Electrical		
33.	Energy Work Certificates - Gas		
34.	Vehicle Crossing Producer Statement		
35.			
36.			
37.			
38.	Application for C.C.C.	✓	
39.	C.C.C. Assessment Checklist		
40.	Code Compliance Certificate	6-8-09	

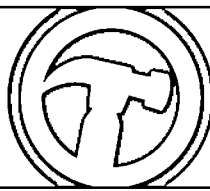
**JOB COMPLETED
 CCC ISSUED**

LARGE PLANS HELD IN: (PLAN TUBE or FILE BOX?)

LARGE PLANS LOCATED IN: G18 FILE ROOM or BASEMENT

NEW 54m² KIWISPAN GARAGE.

Building Consent Application
Section 32 or 45, Building Act 2004



Wanganui District Council
Wanganui District Council

RECEIVED

1. Application type

- Project Information Memorandum and/or
 Building Consent or
 Alteration to Existing Building Consent
(Please tick appropriate box)

Building Consent/PIM No.

3509/0328

Note: Shaded areas for office use only

2. The building

- 2a. Site Address
- 2b. Current lawfully established use
- 2c. Legal Description
- 2d. Council Property No.
- 2e. Number of levels
- 2f. Level/Unit number
- 2g. Floor area
Existing m² New m² Total m²
- 2h. Year building first constructed (if applicable/or approx. year)

3. The owner

- 3a. Name
- Postal Address
- Contact Numbers
Phone Mobile Fax
- Email

4. Evidence of ownership

- 4a. Evidence of ownership attached
 Certificate of Title (copy) Sale and purchase agreement
 Lease agreement Other document showing full name of legal owner(s), such as a rate instalment notice

5. Applicant's details (if not the owner)

- 5a. Name of Agent
- Postal Address
- Contact Numbers
Phone Mobile Fax
- Email
- Relationship to owner
- Details of authorisation
 Evidence attached
 Other - please specify

6. Applicant's declaration

 25/4/09
Signature of Owner/Agent Date

Blair Ruby
Name (print clearly)

- Consent fees to be paid by (Please tick appropriate box)
- Owner Builder Plumber
 Designer Agent

The information provided will be included in a Public Register of Consents which is available for public perusal under the Privacy Act 1993 section 54. This may result in receipt by the 'Owner' of trade advertising

7. The project

- 7a. Description of the building work
- 7b. Will the building work result in a change of use of the building? Yes No
- 7c. If yes, please provide details of the new use
- 7d. Intended life of the building
 Indefinite but not less than 50 years
 Less than 50 years - please specify years
- 7e. Have any PIM and/or Building Consents been issued previously for this project? Yes No
Provide details below
- | Date of consent | Consent number |
|-----------------|----------------|
| | |
| | |
- 7f. Estimated value of the building work including gst

8. Project Information Memorandum

The following matters are involved in the project (please tick the appropriate project)

- Subdivision
 Alterations to land contours
 New or altered connections to public utilities
 New or altered locations and/or external dimensions of buildings
 New or altered access for vehicles
 Building work over, or adjacent to, any road or public place
 Disposal of stormwater and wastewater
 Building work over existing drains or sewers, or in close proximity to wells or water mains
 Other matters known to the applicant that may require authorisations from the council - please specify

9. Supporting documentation

The following plans and specifications are attached to this application:

- Two sets of plans drawn to a recognised metric scale; include two sets of specifications and other documentation
 Project Information Memorandum
 Producer Statements
 Truss Layout Plan
 Certificate attached to Project Information Memorandum
 Details/Calculations
 Fire Design Analysis
 Development Contribution Notice

Please turn over

9. Supporting documentation - continued

Copies of other Authorisations - please specify

Other - please specify

10. Building practitioners involved in this project (continue on another sheet of paper if needed)

Designer
 Name / Registration no.
 Contact details Address
 Phone / Email

Builder
 Name / Registration no.
 Contact details Address
 Phone / Email

Craftsman Plumber
 Name / Registration no.
 Contact details Address
 Phone / Email

Registered Drainlayer
 Name / Registration no.
 Contact details Address
 Phone / Email

Electrician
 Name / Registration no.
 Contact details Address
 Phone / Email

Engineer
 Name / Registration no.
 Contact details Address
 Phone / Email

Specialist Services (fire alarm, HVAC, lift etc)
 Name / Registration no.
 Contact details Address
 Phone / Email

Other
 Name / Registration no.
 Contact details Address
 Phone / Email

11. Waiver or modification required

Waiver or modification
(Please circle and detail below)

<input checked="" type="radio"/> B1	<input checked="" type="radio"/> B2	C1	C2	C3	C4	D1	D2
E1	E2	E3	F1	F2	F3	F4	F5
F6	F7	F8	G1	G2	G3	G4	G5
G6	G7	G8	G9	G10	G11	G12	G13
G14	G15	H1					

Alternative Solution
(Please circle and detail below)

<input checked="" type="radio"/> B1	<input checked="" type="radio"/> B2	C1	C2	C3	C4	D1	D2
E1	E2	E3	F1	F2	F3	F4	F5
F6	F7	F8	G1	G2	G3	G4	G5
G6	G7	G8	G9	G10	G11	G12	G13
G14	G15	H1					

Additional information

12. Compliance with New Zealand Building Code

NZBC Clause

Tick relevant building code clauses

- B1** Structure
- B2** Durability
- C1-C2-C3-C4** Fire
- D1** Access routes
- D2** Mechanical installations for access
- E1** Surface water
- E2** External moisture
- E3** Internal moisture
- F1** Hazardous agents on site
- F2** Hazardous building materials
- F3** Hazardous substances & processes
- F4** Safety from falling
- F5** Construction & demolition hazards
- F6** Lighting for emergency
- F7** Warning systems
- F8** Signs
- G1** Personal hygiene
- G2** Laundering
- G3** Food preparation & prevention of contamination
- G4** Ventilation
- G5** Interior environment
- G6** Airborne & impact sound
- G7** Natural light
- G8** Artificial light
- G9** Electricity
- G10** Pipes services
- G11** Gas as an energy source
- G12** Water supplies
- G13** Foul water
- G14** Industrial liquid waste
- G15** Solid waste
- HI** Energy efficiency

Means of compliance

Please circle or add means of compliance

Proposed inspections

Please circle as appropriate - see key below

<input checked="" type="checkbox"/> B1/ASI	NZS 4229	NZS 3604	NZS 4204	<input checked="" type="checkbox"/>	2	3
<input checked="" type="checkbox"/> B2/ASI	NZS 3604	NZS 3101	NZS 3602	<input checked="" type="checkbox"/>	2	3
C1/ASI	C4/ASI	C2/ASI	C3/ASI	1	2	3
D1/ASI		NZS 4121		1	2	3
D2/ASI		NZS 4322	EN/81	1	2	3
<input checked="" type="checkbox"/> E1/ASI		AS/NZS 3500		<input checked="" type="checkbox"/>	2	3
<input checked="" type="checkbox"/> E2/ASI		Specific Design		<input checked="" type="checkbox"/>	2	3
E3/ASI				1	2	3
F1/ASI				1	2	3
F2/ASI		NZS 4233		1	2	3
F3/ASI				1	2	3
F4/ASI		Fencing of Swimming Pools Act		1	2	3
F5/ASI				1	2	3
F6/ASI	AS/NZS 1668	NZS 4512	NZS 4515	1	2	3
F7/ASI	AS/NZS 1668	NZS 4512	NZS 4515	1	2	3
F8/ASI				1	2	3
G1/ASI				1	2	3
G2/ASI				1	2	3
G3/ASI				1	2	3
G4/ASI				1	2	3
G5/ASI				1	2	3
G6/ASI				1	2	3
G7/ASI				1	2	3
G8/ASI		NZS 6703		1	2	3
G9/ASI				1	2	3
G10/ASI		NZS 5261		1	2	3
G11/ASI				1	2	3
G12/ASI	C4/ASI	AS/NZS 3500.2	AS/NZS 3500.5	1	2	3
G13/ASI		AS/NZS 3500.2	BS 5572	1	2	3
G14/ASI				1	2	3
G15/ASI				1	2	3
HI/ASI	NZS 4212	NZS 4218	NZS 4243	1	2	3
		ALF design manual				

Key to proposed inspections:

1. Council Building Control Officer
2. Approved Consultant e.g. Engineer
3. Other - Please specify below

Important

The Building Act requires the applicant to state, for each relevant building code clause, what the means of compliance is. Alternative solutions may also be proposed, and must be accompanied with documentation demonstrating compliance. Please refer to Alternative Solution box previous page and provide additional information. Refer to guidance notes on separate sheet for typical scenarios.

Please turn over

12. Compliance schedule

Do not proceed further if

- this is an application for a PIM only (Project Information Memorandum)
- this application is for Residential work only (except for a cable car after 31 March 2008)

The following specified systems are new, existing, being altered, added to, or removed in the course of building work

There are no specified systems in the building

	New	Existing	Altered	Added	Removed
Cable Car (including to individual dwelling) (to be implemented 31 March 2008)	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>

Building Act 2004 (implemented 31 March 2005) (listed below are the systems and features from the 'new' Act)

1. Automatic systems for fire suppression (for example, sprinkler systems)	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>
2. Automatic or manual emergency warning systems for fire or other dangers	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>
3. Electromagnetic or automatic doors or windows (for example, ones that close on fire alarm activation)	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>
4. Emergency lighting systems	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>
5. Escape route pressurisation systems	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>
6. Riser mains for Fire Service's use	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>
7. Any automatic back-flow preventers connected to a potable water supply	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>
8. Lifts, escalators, travelators, or other systems for moving people or goods within buildings	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>
9. Mechanical ventilation or air conditioning systems	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>
10. Building maintenance units providing access to exterior and interior walls of buildings	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>
11. Laboratory fume cupboards	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>
12. Audio loops or other assistive listening systems	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>
13. Smoke control systems	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>
14. Emergency power systems for, or signs relating to, a system or feature specified in any of the above	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>
15. Means of escape with systems and features (1 to 6, 9 and 13)	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>

Please continue for Building Act 1991 (implemented 1 January 1993)

12. Compliance Schedule - continued

The following specified systems are existing, being altered, added to, or removed in the course of building work

Existing Altered Added Removed

Building Act 1991 (implemented 1 January 1993)
 (listed below are the systems and features from the 'old' Act)

1. Automatic systems for fire suppression (for example, sprinkler systems)	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>
2. Automatic or manual emergency warning systems for fire or other dangers	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>
3. Emergency warning systems for fire or other dangers (eg. manual or automatic fire alarm)	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>
4. Emergency lighting	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>
5. Escape route pressurisation	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>
6. Riser mains	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>
7. Back-flow preventers	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>
8. Lifts (including escalators, passengers, service, goods)	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>
9. Mechanical ventilation and air conditioning	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>
10. Other mechanical, electrical, hydraulic or electronic systems	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>
11. Building maintenance units	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>
12. Signs (for items 1 to 11 above)	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>
13. Means of escape	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>
14. Safety barriers	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>
15. Access and facilities for people with disabilities	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>
16. Hosereels and/or fire extinguishers	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>
17. Signs (for items 13 to 16 above)	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>

Address where compliance schedule will be held:

The maximum number of occupants that the building is designed for:

Amendments to a compliance schedule also requires Form 005 - Application for Amendment for Compliance Schedule

OFFICE USE ONLY

BCA

Date application received	27.4.09
Receiving Officer	G-H
Application Fee Receipt No.	303290
Date of application Fee Rec.	27.4.09

Fees (incl. GST)

Building Consent Application (Prepaid) 2A	\$ 290.00
Building Consent Issue	\$
PIM	\$
Building Levy (DBH)	\$
BRANZ Levy	\$
Stormwater Connection	\$
Vehicle Crossing	\$
Sewer Connection	\$
Water Connection	\$
Fordell Connection (Application charge)	\$
Development Contribution Levy	\$
NZFS Alternative Solution	\$
Resource Consent	\$
Relocation Bond	\$
Certificate of Title TO BE PAD	\$ 10.00
Rural Rapid Number	\$
Other	\$
Total	\$

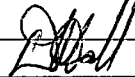
Comments:

<p><i>Balance of Payment of 5/5/09 bcn/3032937</i></p>	

Processing

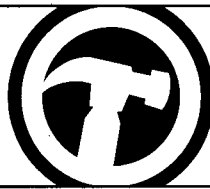
Unit	Checks				Inspections No.	Approved	
	Initials	Date	Initials	Date		Initials	Date
Administration	<i>GEN</i>	<i>28.4.09</i>					
Planning						<i>NAT</i>	<i>28.4.09</i>
Fire Design (Referred to NZFS)							
Building						<i>PH</i>	<i>29/4/09</i>
Drainage (Infrastructure)							
Water (Infrastructure)							
Fordell Water Scheme (Infrastructure)							
Structural							
Plumbing/Drainage						<i>PH</i>	<i>29/4/09</i>
Roading							
Health							
Dangerous Goods							

Approved for issue of PIM/Building Consent

Approving Officer 

Date 29 APR 2009

Notes



I. Check sheet - Housing/housing alterations

Street address

489 Kairakopa Road, Wanganui

(Additional information will need to be supplied if a resource consent is required)

This is a preliminary vetting sheet only to establish if there is sufficient information of an acceptable quality before it is received for lodgement and processing. This is not a comprehensive list of requirements. This prelodgement form is designed to reduce processing time and save you on processing costs.

Plans are required to a suitable drafting standard.

Note: If you do not have the appropriate skills to prepare drawings, please engage a professional 2 copies of all documentation is required (3 if resource consent required).

Tick where applicable under Yes, No or Not applicable

Requirements	Owner supplied Date 25/4/09			Council check Date 27/4/09			Council recheck Date / /		
	Y	N	N/A	Y	N	N/A	Y	N	N/A
1. Building Consent Application form (1 copy) - fully filled in and signed	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
2. Application fee	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
3. Copy of Certificate of Title (1 copy) <u>Council to provide.</u>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
4. Site plan - to scale, fully dimensioned showing drainage, north point, street vehicle crossing, site coverage, distance to boundaries, levels	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
5. Floor plan - to scale, fully dimensioned, rooms named, windows/doors, bracing, fixtures, smoke detector positions	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
6. Elevations - to scale. All sides to be shown, windows/door, heights, materials, daylight plane, ground contours (before and after)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
7. Cross sections - through key building points, heights, materials, timber treatment/grades	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
8. Drainage long sections - crown of road, stormwater (septic tank design), depths, cover	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
9. Specific details - weathering, window/door details, flashings, parapet, deck, junctions, cavity, foundations etc	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
10. Bracing schedule - walls and roof (subfloor when required)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
11. Roof truss layout/design certificate - fixings	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
12. Risk matrix calculation sheet - weathertightness	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
13. Specific engineering design - Engineer's calculations (+ PSI) - Level of construction monitoring to be carried out by engineer	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
14. Specification - comprehensive, references to Codes, Standards (specific to project)	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
15. Manufacturer's specification for woodburners, sewage pumps, specialised processes etc.	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

Plans OK to accept for processing

Officer: G.H.

Date: 27.4.09

Notes:

2. Check sheet - Commercial/industrial (in addition to the previous page)

Commercial and industrial buildings are often extremely complex projects. This is a preliminary vetting sheet only to establish if there is sufficient information of an acceptable quality before it is received for lodgment and processing. This is not a comprehensive list of requirements. This prelodgement form is designed to reduce processing time and save you on processing costs.

Note: If you do not have the appropriate skills to prepare drawings, please engage a professional 2 copies of all documentation is required.

Tick where applicable under Yes, No or Not applicable

Requirements	Owner supplied Date / /			Council check Date / /			Council recheck Date / /		
	Y	N	N/A	Y	N	N/A	Y	N	N/A
1. Fire design analysis - (3 copies required for NZFS-DRU if alternative solution)	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>
2. Toilet calculation (G.I.) Separate facilities, unisex, accessibility	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>
3. Access and facilities for people with disabilities Toilets, ramps, counters	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>
4. If change of use refer to additional requirements (see section 114, 115)	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>
5. Specialist services details f/alarm, auto doors, lift, e/lighting, lighting, H.I. energy efficiency, HVAC, signs, (health, dangerous goods)	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>
6. Compliance Schedule details - fill in application form also	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>
7. Specialist engineering (PS1, PS2) Portal frames, precast concrete, blockwork, specific details	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>
8. Carparking calculations for numbers, commercial vehicle crossing, accessible carpark, drainage, loading bay	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>
9. Requirement for Certificate for Public Use (see 363) - staging, use of building before CCC	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>
10. Stormwater design, EI calculations, for yards and buildings etc.	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>
	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>
	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>
	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>
	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>
	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>
Plans OK to accept for processing <input type="radio"/>	Notes:								
Officer: <input type="text"/>									
Date: <input type="text"/>									

OFFICE USE ONLY

Date received Application # Document # Project #

Property ID Legal ID Receipt # Amount Paid \$

Standard garages fast track checklist

for residential and rural
properties only



Wanganui District Council

1. The building consent

Building consent no.

2. Applicant details

Name

Property owner

Property address

Contact numbers

Phone Mobile Fax

Email

3. Planning *Answer the following questions by ticking either yes or no*

Site plan Have you provided an accurate, scaled and fully-dimensioned site plan? Yes No

Zone Is it rural / residential (circle one which is applicable then answer the following):

Rural – building location more than 10 metres from the boundary Yes No

Residential – buildings located more than 1 metre from the boundary Yes No

Residential coverage Is there less than 40% site coverage? Yes No

Residential height recession plane Is it within the HRP (2m at boundary and 45°)? Yes No

Residential location on site Is it positioned behind the front line of the dwelling? Yes No

Crossing Is the vehicle crossing shown? Yes No

4. The building *Answer the following questions by ticking either yes or no*

Boundary Is it located more than 1 metre from a boundary? Yes No

Function Does the garage exclude all habitable spaces? Yes No

Plans Are the site plans, floor plan, foundations, window details, elevations, cross section all complete? Yes No

Specifications Are the specifications complete and relevant? Yes No

Producer Statements Are the Producer Statements attached? Yes No

Truss Are the standard details supplied with fixings shown and roof-bracing details? Yes No

Bracing Are all elevations shown with bracing calculations supplied? Yes No

Stormwater Is the main contractor responsible for installing stormwater? (either to soak pit or existing system) Yes No

Durability Have you considered if it is in the Sea Spray Zone or not? Is Isn't

Type of garage Is this a stock standard garage e.g. doesn't contain conventional windows, any lining, interior wall/partitions etc. Yes No

If all answers are YES FAST TRACK

OFFICE USE ONLY

Date received Application # Document # Project #

Property ID Legal ID Receipt # Amount Paid \$



**COMPUTER FREEHOLD REGISTER
UNDER LAND TRANSFER ACT 1952**



Search Copy


R. W. Muir
Registrar-General
of Land

Identifier **WN46D/213**
Land Registration District **Wellington**
Date Issued 12 June 1995

Prior References
WN6C/1189

Estate Fee Simple
Area 1.3323 hectares more or less
Legal Description Lot 2 Deposited Plan 79913

Proprietors
Gerard William Martin Wills and Catherine Mary Wills

Interests

Appurtenant hereto are water rights created by Transfer 394897
Appurtenant hereto is a right to take and convey water created by Transfer 784725
5294000.2 Mortgage to Bank of New Zealand - 24.7.2002 at 11:18 am

**FILE NOTE:
ASSESSMENT OF BUILDING CONSENT**

Applicants Name	McGuinness Construction Ltd
Activity/Use	Shed
Date	28 04 09
BC#	09/0328
Address	489 Kaitoko pu
Subject	Activities in Rural zones

THIS NOTE RECORDS THE INITIAL ASSESSMENT MADE OF THE CONSENT APPLICATION. IT ASSESSES WHETHER THE APPLICATION INCLUDES ALL OF THE INFORMATION REQUIRED TO PROCESS THE RESOURCE CONSENT FURTHER.

Zone:	Rural	✓
Road Classification:		local
Site Area:		1.3323 ha
Maximum Height:	10 metres	<10m
Structures 10 metres from all boundaries:	Front Boundary	✓
	Side Boundary	✓
	Side Boundary	✓
	Rear Boundary	✓
	(plus exceptions)	
Retail activities (except where adjoining a State Highway):		-
Noise:		-
Light		-
Access:	Minimum 1 access to be provided 3.5 metres maximum	✓
Parking:	1 per dwelling unit	-
Easements		-
Building over Boundary	If Yes, tell Greg and put a post-it on file	-

Wanganui District Council

PO Box 637, Wanganui

Phone (06) 349-0001

Visit our Web Site www.wanganui.govt.nz

REPRINTED

OFFICIAL RECEIPT

GST Reg No 51-668-324

27/04/2009

Receipt No: 303290

To McGuinness Construction

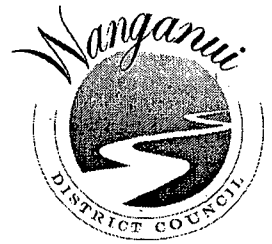
<u>Type</u>	<u>Reference</u>	<u>Amount</u>
GL Receipt	NOGPRECONSENT	\$290.00
	Kiwispan Garage 289 Kaikokopu Rd	
	Total:	\$290.00

Amounts Tendered :

EftPos	\$290.00
Total	\$290.00
Rounding	\$0.00
Change	\$0.00

Printed 27/04/2009 2:28:11 p.m.

101 Guyton Street
P O Box 637, Wanganui 4500
Phone: (06) 349 0001
Fax: (06) 349 0000
Email: wdc@wanganui.govt.nz
Web: www.wanganui.govt.nz



PREPAID - TAX INVOICE

GST Number 51-668-324

Payers Name:

MCGUINNESS CONSTRUCTION
LTD.

For Building Consent:

Reference No:

Date: 27.4.09

YOUR APPLICATION WILL NOT BE PROCESSED UNLESS THE FEE IS PAID

Location of project	Description of project
289 KAIKOKOPU RD	KIWISPAN GARAGE

Reference	Details	Amount (Incl GST)
1.	Building Consent Project Type – application fee (refer to 'Fees 2A and Charges' Form)	\$ 290.00
2.	Resource Consent - deposit	
	• Land use - Non-Notified	\$
	• Subdivision - Notified	\$
3.	Other - Aerial photographs	\$
	- Plan pack Searches	\$
	- Rural Rapid Numbers (New)	\$
	- Large Plan photocopying A2	\$
	A0 – A1	\$
4.	Certificate of Title	\$
Total Payable		\$ 290.00

WHEN PAID THIS FORM WILL BE PART OF YOUR CONSENT APPLICATION AND MUST BE ATTACHED TO THE CONSENT APPLICATION BEFORE IT WILL BE PROCESSED.

PLEASE RETURN TO CUSTOMER SERVICES



INSPECTION TIME REPORT

Building Consent Number BCon09/0328

Total Estimated Inspection Time	105
Total Actual Inspection Time	0
Inspection Time Difference	105
At BC Issue Time to be charged.	
At Completion Positive amount = time to be credited Negative amount = time to be charged	

Signed for and on behalf of the Wanganui District Council

A large, handwritten signature in black ink, appearing to be "RS" followed by a long horizontal stroke.



INSPECTION RECORD

This record, together with the Building Consent and approved plans, is to remain on the construction site at all times.

Project Location	TO BOOK AN INSPECTION PLEASE PHONE WDC BUILDING CONTROL		BCon09/0328
489 Kaikokopu Rd WANGANUI	ON 349 0001 AND QUOTE THE FOLLOWING APPLICATION NUMBER:		
Applicant	Description of Work		
McGuinness Construction Ltd PO Box 337 Wanganui 4540	Construct Kiwispan Garage (cat:1) (FAST TRACK)		
Builder	Plumber	Drainlayer	
McGuinness Construction Ltd PO Box 337 Wanganui 4540	No associations of type Plumber are linked to this application	No associations of type Drain Layer are linked to this application	

SUMMARY OF CONDITIONS

Building Consent Number BCon09/0328

PIM Conditions

Code	Condition
	All work on the project must comply with the requirements of the NZ Building Code.
	A PIM only document is not an approval to build. A Building Consent is required before building work commences.
	W.D.C will follow up on building work not completed within two years of building consent issue.
	A Building Consent lapses and is of no effect if the building work has not been started within 12 months of the date of issue.
	If the building is public premises it may not be occupied until either a code compliance certificate or certificate for public use has been issued.
	Please note [Electrical, and Gasfitting subtrades do not form part of the building consent inspection process. However, Council is required to receive 'Energy Certificates' from both of these trades before issue of a Code Compliance Certificate].

Building Consent Conditions

Code	Condition

Your project's inspections are listed on the next page...



Inspections Record For Building Consent Number BCon09/0328

<i>Inspection</i>	<i>When to Request</i>	<i>Date</i>	<i>Inspector</i>	<i>Complies with Code</i>	<i>Reinspect</i>	<i>Notes</i>
CONCRETE SLAB INSPECTION	Prior to placing Concrete					includes pier footings
FINAL BUILDING INSPECTION	On Completion					

101 Guyton Street
P O Box 637, Wanganui
Phone: (06) 349 0001
Fax: (06) 349 0000
Email: wdc@wanganui.govt.nz
Web: www.wanganui.govt.nz



BUILDING CONSENT NUMBER BCon09/0328

Section 51, Building Act 2004

McGuinness Construction Ltd
PO Box 337
Wanganui 4540

Project Information **BCon09/0328**
Memorandum No:
Issue Date: **29/04/2009**

Project Location	Assessment Number/Legal Description
489 Kaikokopu Rd WANGANUI	LOT 2 DP 79913 1.3323 Ha
Type of Work	Description of Work
Minor Building Work (req. 2 insps.)	Construct Kiwispan Garage (cat:1) (FAST TRACK)
Intended Life	Estimated Value (\$)
50 Years	15000.00

This building consent is a consent under the Building Act 2004 to undertake building work in accordance with the attached plans and specifications so as to comply with the provisions of the building code. It does not affect any duty or responsibility under any other Act nor permit any breach of any other Act.

This Building Consent is issued subject to the attached pages headed 'Conditions of Building Consent Number BCon09/0328'

Signed for and on behalf of the Wanganui District Council

A handwritten signature in black ink, appearing to be 'D M Hall'.

D M Hall
Senior Building Control Officer

Date: 29 April, 2009



CONDITIONS OF BUILDING CONSENT NUMBER BCon09/0328

Section 51, Building Act 2004

This Building Consent is issued Subject to the following conditions:

- **[Informative note: The Building Consent, conditions, inspection sheet, and approved plans must be kept on site at all times until completion of the project.]**
- **[Informative note: Failure to request inspections will risk the non-issuing of a code compliance certificate and the structure may be deemed non-complying.]**
- **[Informative note: Any inspection time required over and above that allowed may incur a further charge.]**
- **[Informative note: Under Section 52, a building consent lapses and is of no effect if the building work to which it relates is not commenced within 12 months after the date of issue.]**
- **[Informative note: Under Section 93, if the owner has not made application within 24 months, the BCA (Building Control Authority), must decide whether or not to issue a CCC (Code Compliance Certificate).]**



PROJECT INFORMATION MEMORANDUM NUMBER BCon09/0328

Section 34, Building Act 2004

McGuinness Construction Ltd
PO Box 337
Wanganui 4540

Issue Date: 29/04/2009

Project Location	Assessment Number/Legal Description
489 Kaikokopu Rd WANGANUI	LOT 2 DP 79913 1.3323 Ha
Category	Description of Work
Minor Building Work (req. 2 insps.)	Construct Kiwispan Garage (cat:1) (FAST TRACK)
Intended Life	Estimated Value (\$)
50 Years	15000.00

This Project Information Memorandum is confirmation that the proposed work may be undertaken, subject to the provisions of the Building Act 2004 and any requirements of the Building Consent (number BCon09/0328), which has been granted.

This Project Information Memorandum is subject to the following conditions:

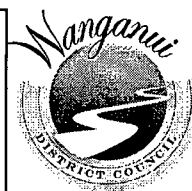
- **All work on the project must comply with the requirements of the NZ Building Code.**

Signed for and on behalf of the Wanganui District Council

D M Hall
Senior Building Control Officer

Date: 29 April, 2009

Building Consent
Process check sheet – Outbuildings



Outbuildings			
Approved = ✓	More information required = X	Not Applicable = N/A If a sub element is not relevant choose N/A	
Address:	1891 Kahurangi Rd.		
Building Consent No:	9/0328	Date:	29/4/09
Consent Officers:	OH.		
Description:	Farm shed.		

Approved Document ref	Elements	Sub Elements	Comments	Result	Recheck	Peer review
	Site	Positioning	Siting			
			Wind Zone			
			Durability Zone Sea Spray 1/2/3/4			
B1. Structure	Foundation	NZS3604 / NZS4229/ Specific design		✓		
		Engineers design on Architectural plans		✓		
		Load paths addressed/ pads indicated		✓		
		Depth/ Width		✓		
		Reinforcement		✓		
	Slab on ground/ Concrete floor	NZS3604/ NZS4229/ Specific design		✓		
		Engineers design on Architectural plans		✓		
		Load paths addressed/ pads indicated		✓		
		Hard fill		✓		
		Reinforcing – mesh cover/ Supplementary bars		✓		
		Control joints		✓		
	Timber subfloor	NZS 3604/ Specific design				
		Subfloor bracing & layout provided				
		Fixings / connections				
		Height above ground level				
	Timber flooring	NZS 3604/ Specific design				
		Member sizing and loading (size / spacing / span)				
		Flooring material				
		Lateral support blocking				


Approved Document ref	Elements	Sub Elements	Comments	Result	Recheck	Peer Review
	Wall	NZS 3604/ NZS 4229/ Specific design		✓		
		Lintels – engineering design req		na		
		Beams – engineering design req		✓		
		Wall bracing & calculation		✓		
	Roof	Roof framing (NZS 3604/ specific design)		✓		
		Truss certificates & layout provided		na		
		Member sizing (size / spacing)		na		
		Roof bracing		✓		
		Ceiling framing – battens 400 / 450 / 600 ctrs		na		
	External Structure	Post footing / connection detailed		na		
		Post / beam connection – s/steel or galv		na		
	Barriers	Timber barrier (B1 / AS2)		na		
		Other approved barrier design		na		
B2. Durability	Concrete	Concrete strength & cover		✓		
	Timber treatment	Wall / fixings / compatibility / brace & fixings		na		
		Roof / fixings / compatibility		na		
		Subfloor / fixings / compatibility		na		
	Metal / Steel member	Material and coating system		✓		
	Cladding materials	Wall		✓		
Spread of fire		Distance from boundary (1m / 650mm / 300mm)		na		
		Fire rated construction (concrete / timber/ Gib / hardie / other)		na		
D1. Access Route		Slip Resistance		na		
		Landing		na		
		Handrail		na		
		Tread and Riser		na		
		Stair dimension		na		
		Clear height		na		

Approved Document ref	Elements	Sub Elements	Comments	Result	Recheck	Peer review
E1. Surface water	Site drainage	Secondary flow path		na		
		Floor level above crown road or lowest point				
		Drain pipe size and gradient				
		Sump / chamber				
		Soakhole / approved outfall				
	Roof water	Sufficient downpipe		✓		
		Internal / External gutter		✓		
		Overflow relief		na		
E2. External Moisture	Floor	Floor height above ground 100 / 150 / 225 mm		✓		
		DPM under slab		✓		
		Waterproofing / tanking of retaining wall		na		
		Subsoil drainage				
	Step / threshold with deck					
	Wall	E2 risk matrix assessed				
		Wind barrier / Rigid underlay / Building wrap				
		Cladding system specified				
		Cavity system				
		Head, jamb & sill details				
		External & Internal corners				
		Junctions – dissimilar materials / Horizontal				
		Clearance of wall cladding				
	Roof	Roofing underlay				
		Profiled metal roof				
		Concrete or clay tiles				
Flat roof / roof decks / substrate						
Flashings – Apron / Parapet / etc						
E3. Internal moisture	Internal wet area	Wall / floor impervious lining				
		Shower – tiled wall and/or floor				
		Waterproof membrane				
F1. Hazardous agent on site	Vancouver District Council BCA QM System	Site investigation / Buildings Checklist				
F2. Hazardous Building		Glazing – Glass, safety glass – NZA 4223				

Approved Document ref	Elements	Sub Elements	Comments	Result	Recheck	Peer Review
F1. Hazardous agent on site		Site investigation / report				
F2. Hazardous Building		Glazing – Glass, safety glass – NZA 4223				
F4. Safety from falling	Barrier	Height / opening / unclimable				
		Base fixing & stability				
	Opening / window	760mm from floor level				
		Restrictors required where fall hazard potential				
F5. Construction		Required if more than 2 storey (Refer to F5 / AS 1)				
Misc		Specifications				
		Structural calculations				
		Foundation report				
		Producer Statement Design				
		Producer Statement Design – Review				
Engineering	Engineering comments					
		HABITABLE – Yes / No				
F7. Warning Systems	Smoke Alarms	Location & type				
G1. Hygiene		Fixture layout				
		Basin location				
G4. Ventilation		Living space – opening 5% of floor area				
		Mechanical ventilation				
		Natural ventilation to existing space				
G7. Natural light		Natural lighting to existing space				
		Habitable space – 10% of floor area				
G8. Artificial light		Lighting required at access route				
G12. Water supply		Tempering valve				
		Schematic provided (if applicable)				

Approved Document ref	Elements	Sub Elements	Comments	Result	Recheck	Peer Review
G13. Foul water	Drainage	System specified				
		Layout provided				
		Drain size / material / gradient				
		Main drain vent (tv)				
		Gully trap / ORG shown				
		Drain under building				
	Sanitary Plumbing	Schematic provided/ layout provided in relation to floor joists				
		Pipe size / length / gradient				
		Venting requirements				
		Discharge stack – pipe within floor framing				
		Energy Efficiency	Timber frame (wall / roof / floor insulation)			
			Solid construction (wall/ roof / floor insulation)			
			Specific design			
Protection of subfloor insulation (if required)						
Glazing						
Thermal Break						

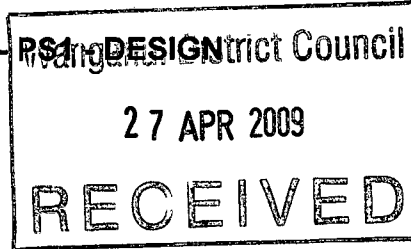
Important note: This checklist is a guide for use by authorized WDC Officer only, for establishing compliance with the Building Code as part of the vetting and Building Consent application.

Peer Review	Tick
Application Suspended: I confirm that I have evaluated the proposed project against all items in the checklist	
Application Approved: I confirm that I have evaluated the proposed project against all items in the checklist. Based on the information provided by the applicant, the project complies with the Building Code.	 <input checked="" type="checkbox"/>



Building Code Clause(s)

PRODUCER STATEMENT - PS1



ISSUED BY: emc2 limited (Design Firm)
TO: Gerard & Catherine Wills (Owner/Developer)
TO BE SUPPLIED TO: Wanganui District Council (Territorial Authority)

IN RESPECT OF: 6 mWide x 9 mLong x 3 mHigh Enclosed Building with Region A7 Terrain Cat 2.5

AT: 489 Kaikokopu Road, RD1, Wanganui (Address)

LOT DPS SO

APPROVED

We have been engaged by the owner/developer referred to above to provide structural design services in respect of the requirements of the Building Code for

Clause(s) B1

All or

Part only

Consent No. 09/0328 dated 8/04/2009. Refer attached emc2 limited Member Schedule. Refer to KiwiSpan plan sheets & builders schedule (attached). Loadings are to AS/NZS 1170 in accordance with clauses 1.1 & 2.1 of Verification Method B1/VM1. This building is a farm building.

The design carried out by us has been prepared in accordance with:

Compliance Documents issued by Department of Building & Housing

verification method B1/VM1 (verification method /acceptable solutions)

Alternative solution as per attached schedule

The proposed work covered by this producer statement is described on the drawings titled prepared by KiwiSpan Limited titled Steel Framed Building and numbered SB 03 F1 B2 B3 B5 B6 R1 S1

together with the specification, and other documents set out in the schedule attached to this statement.

On behalf of this Design Firm, and subject to:

- (i) Site verification of the following design assumptions
(ii) All proprietary products meeting their performance specification requirements;

I believe on reasonable grounds the building, if constructed in accordance with the drawings, specifications, and other documents provided or listed in the attached schedule, will comply with the relevant provisions of the Building Code.

I, Eric MacLeod (Name of Design Professional)

am: CPEng 165229 #

Reg Arch

I am a Member of: IPENZ and hold the following qualifications

BE, MIPENZ, CPEng, INTPE (Professional Qualifications)

The Design Firm issuing this statement holds a current policy of Professional Indemnity Insurance no less than \$200,000*.

The Design Firm is a member of ACENZ YES NO

SIGNED BY Eric MacLeod ON BEHALF OF emc2 limited (Design Firm)

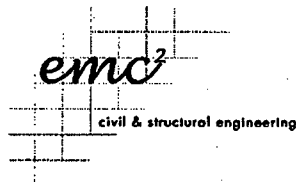
Date 8 April 2009 (Signature)

Note: This statement shall only be relied upon by the Building Consent Authority named above. Liability under this statement accrues to the Design Firm only. The total maximum amount of damages payable arising from this statement and all other statements provided to the Building Consent Authority in relation to this building work, whether in contract, tort or otherwise (including negligence), is limited to the sum of \$200,000*.

This form to accompany Form 2 of the Building (Forms) Regulations 2004 for the application of a Building Consent

PRODUCER STATEMENT PS1

May 2007 KWWG 377



project **Gerard & Catherine Wills** Client Code **KWWG**
 descriptio **489 Kaikokopu Road, RD1, Waipara** project no. **377**
 prepared i **em** date **8/04/2009**
 ref/dwgs **KiwiSpan Wanganui** sheet
 po box 55 264, mission bay, auckland 1095 094 1095 3095 e info@emc2td.co.nz

Wanganui District Council
27 APR 2009
RECEIVED

Member Schedule

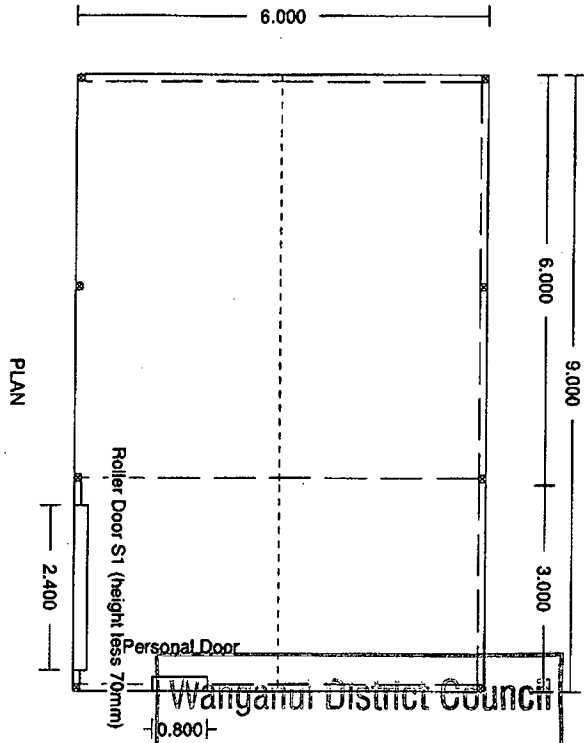
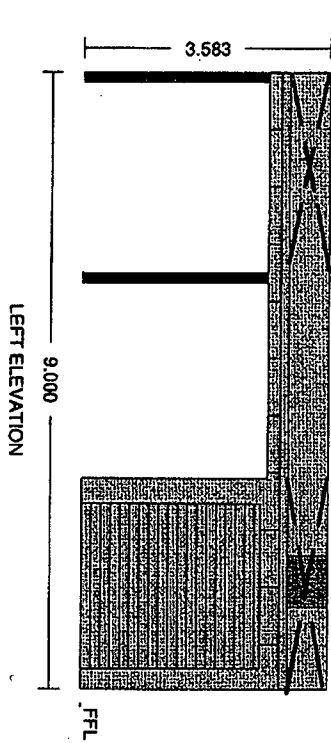
Location	Member	@
Building		
Main Portals	C150/12 HST double unclad columns	3 metre centres
Knee Brace	C100/12 HST	
Apex Brace	none	
End Frame Portals	C150/12 HST	
Eaves Purlins	C150/12 HST	
Purlins	60 x 0.95 tophat lapped	1 metre centres max.
Girts	60 x 0.95 tophat lapped	1 metre centres max.
End Wall Mullions	C150/15 HST	1 each clad frame
Roller Door Columns End	none	
Roller Door Columns Side	C150/12 HST	
Roof Bracing	25 x 0.75 (G550) strap bracing	2 bays
Side Wall Bracing	25 x 0.75 (G550) strap bracing	2 total braces
End Wall Bracing	25 x 0.75 (G550) strap bracing	1 each clad frame
Main Portal Footings	0.3 x 0.3 x 0.3 deep	Square
End Wall Mullion Footings	0.3 x 0.3 x 0.35 deep	Square
Slab	100 thick	
APPROVED		

09 / 0328

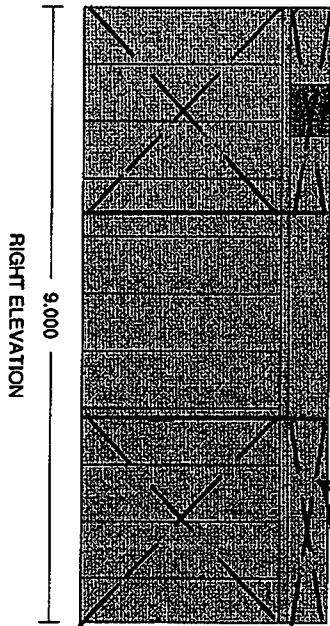
Consent No.

emc2 limited
 structural & civil engineering

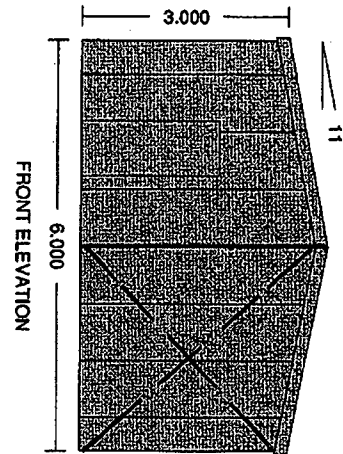
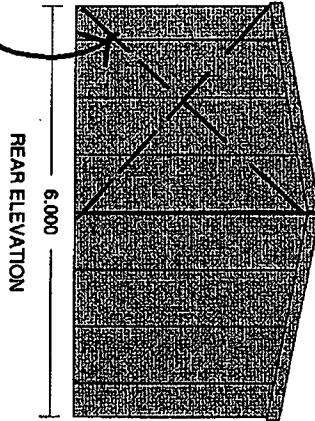
Be, mipenz, epeng, intpe



Wanganui District Council
27 APR 2009
RECEIVED



Shap Bracing



APPROVED

09 / 0328

Consent No.

emc
emc2 limited
structural & civil engineering
be. mipenz, cpeng, intpe

PROPOSED 6.000x9.000x3.000 High Wind	
At 489 Kaikokopu Road, RD1 Wanganui	
For Gerard & Catherine Wills	
Wall Colour - Zinalume	Roof colour - Zinalume
Barge Colour - Zinalume	Roller Door Colour - Zinalume
Job No JaNZS130320090331Quote No QaNZS13032311574495scale 1:100	
All Work To Be In Accordance With Accompanying Engineers Details	

KiwiSpan Wanganui
McGuinness Construction Ltd
51 Harrison Street, PO Box 337, Wanganui
Phone: 06 348 0339
Fax: 06 348 7668
Mobile: 021 455 631

Kiwispan - Specification Sheet
McGuinness Construction Ltd

Client Details

3/31/2009

Gerard & Catherine Wills
 489 Kaikokopu Road, RD1
 Home: 3457481, Work: 0212498900 (G)
 Ref No:

Council:

6.000x9.000x3.000 High Wind

Wind Rating: High Wind

Length 9.000 Height 3.000

Width 6.000

Site

489 Kaikokopu Road, RD1, Wanganui, 4571

Wall color: Zinalume
 Roof color: Zinalume
 Barge color: Zinalume

Downpipe color: PVC
 Roller door color: Zinalume
 Gutter color: Zinalume

No	Description	Length	Qty	Color
----	-------------	--------	-----	-------

+ Barn Window Note

1	NO JAMBS OR FLASHINGS FOR BARN WINDOW			
---	---------------------------------------	--	--	--

+ END/WALL MULLION

2	If R/D in Gable End Check Mullions 10m+Span		1	
---	---	--	---	--

+ Paper Coverage

3	NOTE; PAPER NOT ADDED TO LEAN-TO's			
---	------------------------------------	--	--	--

+ Roller Door A3 Sht

4	Roller Door A3 R101 C150 Over 2.7 Eave		1	
---	--	--	---	--

+ Strap Brace A3 Sht

5	Strap Brace A3 S101 25mm Single Row		12	
---	-------------------------------------	--	----	--

+ Strap Brace Note

6	Divide Length By 30 = Qty S/Bracing Rolls***		1	
---	--	--	---	--

+Ridge & Gutter Note

7	Check Ridge & Gutter Lengths*****		1	
---	-----------------------------------	--	---	--

A Down Pipe Note

8	NEED 3 90deg Bends Per OpenBay Dropper		1	
---	--	--	---	--

Barge Flashing

9	B1 Std Barge ZA (60/100 T/H) Girth:300	3.4100	4	
---	--	--------	---	--

Barge Flashing Fast

10	10G 16x16mm Hex TEK & Seal		88	Zinalume
----	----------------------------	--	----	----------

Corner Fasteners

11	Aluminum Rivets 73 AS 4-4		50	Zinalume
----	---------------------------	--	----	----------

Corner Flashing

12	C1 Corner 50x50 3 Bend ZA Girth:150	3.1000	5	Zinalume
----	-------------------------------------	--------	---	----------

Door Parts

13	3.0h x 2.40w (DLO) Roller Door S1 ZA	2.4000	1	Zinalume
----	--------------------------------------	--------	---	----------

Door Roller Base Cle

14	C100 Hold Down Bracket		2	
----	------------------------	--	---	--

Door Roller BaseFast

15	M12x30 Flanged Purlin Bolt & Nut		2	
----	----------------------------------	--	---	--

16	12mm Dia x80 Galv Thru Bolt		2	
----	-----------------------------	--	---	--

Door Roller Column

Consent No.

17	C15012 Punched (14mm Holes)	3.0000	2	
----	-----------------------------	--------	---	--

Door Roller Corner F

18	C15 R/D Corner S2/S3 ZA Girth: 250	2.8000	2	Zinalume
----	------------------------------------	--------	---	----------

19	Aluminum Rivets 73 AS 4-4		20	Zinalume
----	---------------------------	--	----	----------

Door Roller Freight

20	Freight S1 Roller Door		1	
----	------------------------	--	---	--

Door Roller Head Bra

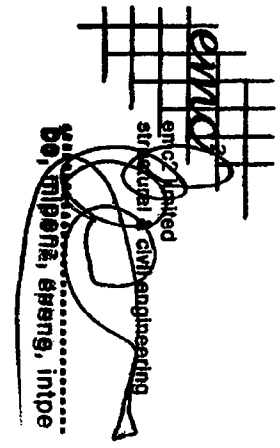
21	C150 Universal Bracket		2	
----	------------------------	--	---	--

Door Roller Head Fla

22	H3 R/D Header 20mm Rib ZA Girth: 145	2.8500	1	Zinalume
----	--------------------------------------	--------	---	----------

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No.	Description	Length	Qty	Color
Door Roller HeadFast				
23	14G 14x20mm Hex Tex Framing Screw		14	
24	M12x30 Flanged Purlin Bolt & Nut		4	
Door Roller Header				
25	C15012 Unpunched	2.3950	1	
26	60x0.95 Top Hat	2.4950	1	
Door Roller Notes				
27	S2 Roller Doors need C250 Frame & Header		1	
Door Roller Parts				
28	Tracks, Fitting Bag 4 Steel Frame (S1)		1	
Door Roller Top Brac				
29	C100 Universal Bracket		4	
Door Roller Top Fast				
30	14G 14x20mm Hex Tex Framing Screw		24	
31	M12x30 Flanged Purlin Bolt & Nut		8	
Door Roller Under Fl				
32	H10 R/D Under Head C150 60TH CB Girth:245	2.4950	1	
Door Roller Under He				
33	Aluminum Rivets 73 AS 4-4		8	
Eave Purlin Fastener				
34	14G 14x20mm Hex Tex Framing Screw		36	
Eaves Girts				
35	C15012 Unpunched	3.0000	6	
End Wall Girt Brkt				
36	60mm Angle Bracket		18	
End Wall Girt Fast				
37	14G 14x20mm Hex Tex Framing Screw		162	
End Wall Girts				
38	60x0.95 Top Hat	3.0150	18	
End Wall Sheets				
39	Trimklad 0.4 BMT ZA (12mm)	3.3100	6	Zincalume
40	Trimklad 0.4 BMT ZA (12mm)	3.4700	6	Zincalume
41	Trimklad 0.4 BMT ZA (12mm)	3.6400	6	Zincalume
42	Trimklad 0.4 BMT ZA (12mm)	3.7300	6	Zincalume
Gutter				
43	Down Pipe 80mm 3.0m	2.4000	4	
44	Customline Gutter ZA	4.8000	4	Zincalume
Gutter Bracket Faste				
45	Aluminum Rivets 73 AS 6-6		78	
Gutter Brackets				
46	Customline Gutter Int Bracket		26	
Gutter Clip Fast				
47	Aluminum Rivets 73 AS 6-6		12	
Gutter DownPipe Clip				
48	Down Pipe 80mm Clip		4	
Gutter DownPipe Drop				
49	Down Pipe Dropper 75mm PVC		2	
Gutter Join Fastener				
50	Aluminum Rivets 73 AS 4-4		104	Zincalume
Gutter S/End Fastene				
51	Aluminum Rivets 73 AS 4-4		24	Zincalume

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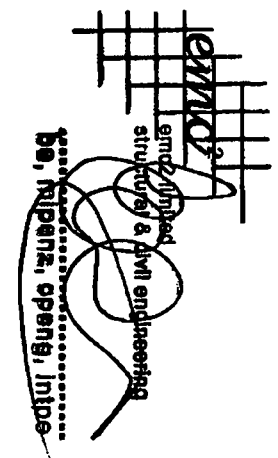
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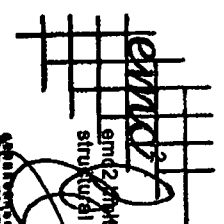
No	Description	Length	Qty	Color
Gutter Stop End				
52	Customline Gutter Stop End LH - PVC		2	Zincalume
53	Customline Gutter Stop End RH - PVC		2	Zincalume
Mullion Base Bracket				
54	C150 Hold Down Bracket		3	
Mullion BaseFastener				
55	M12x30 Flanged Purlin Bolt & Nut		6	
56	12mm Dia x80 Galv Thru Bolt		6	
Mullion End Wall				
57	C15015 Punched (14mm Holes)	3.5039	3	
Mullion Top Brackets				
58	C150 Universal Bracket		3	
Mullion TopFasteners				
59	14G 14x20mm Hex Tex Framing Screw		18	
60	M12x30 Flanged Purlin Bolt & Nut		6	
PA Brackets				
61	60mm Angle Bracket		2	
62	Folded Jamb Hold Down Bracket		2	
PA Door				
63	Personal Door Zinc		1	Zincalume
PA Fasteners				
64	12G 14x45mm Hex TEK & Seal, Paint		10	Zincalume
65	14G 14x20mm Hex Tex Framing Screw		20	
66	12mm Dia x80 Galv Thru Bolt		2	
PA Header				
67	J1 For 60mm Top Hat x 1.55mm	1.0000	1	
PA Jamb				
68	J1 For 60mm Top Hat x 1.55mm	2.7000	2	
PS1 Fee				
69	PS1 Fee (Eric Macleod)		1	
Packing Sheet				
70	Packing Sheet 4 Underside of Wall Cladding	2.0000	1	
Portal Apex Brackets				
71	Apex Bracket C150 @ 11deg		4	
Portal Apex Fastener				
72	M12x30 Flanged Purlin Bolt & Nut		32	
Portal Base Cleat Fa				
73	M12x30 Flanged Purlin Bolt & Nut		16	
74	M12x55 Galv Hex Bolts & Nut		2	
75	12mm Dia x80 Galv Thru Bolt		18	
Portal Base Cleat Sp				
76	M12X28X8mm Thick Spacer		4	
Portal Base Cleats				
77	C150 Hold Down Bracket		9	
Portal Columns				
78	C15012 Punched (14mm Holes)	3.0000	7	
79	C15018 Punched (14mm Holes)	3.0000	1	
Portal Columns Open				
80	C15018 Punched (14mm Holes)	3.0000	1	
Portal Haunch Bracke				
81	Haunch Bracket C150 @ 11deg Left		4	

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 ERIC MACLEOD
 structural & civil engineering
 eric.macleod@emc.co.nz
 09 423 1234

No	Description	Length	Qty	Color
82	Haunch Bracket C150 @ 11deg Right		4	
Portal Haunch Fasten				
83	M12x30 Flanged Purlin Bolt & Nut		64	
Portal Knee Brace				
84	C10019 Unpunched	1.3960	2	
85	Knee Brace Lenght, Center to Center, 1.1m		1	
Portal Knee Brace Fa				
86	M12x30 Flanged Purlin Bolt & Nut		8	
Portal Rafters				
87	C15012 Punched (14mm Holes)	2.8056	8	
Ridge Cap				
88	R1 Ridge Cap Flashguard all deg ZA	4.9000	2	Zincalume
Roof PurlinFastening				
89	14G 14x20mm Hex Tex Framing Screw		384	
Roof Purlins				
90	60x0.95 Top Hat	3.2250	12	
91	60x0.95 Top Hat	3.4500	6	
Roof Sheet Fasteners				
92	12G 14x55mm Hex TEK and Seal		624	Zincalume
Roof Sheets				
93	Custom Orb 0.4 BMT ZA	3.1300	22	Zincalume
Roof Underlay				
94	Wytex 369 75m2 Roll		1	
Side Wall Girts				
95	60x0.95 Top Hat	3.2250	9	
96	60x0.95 Top Hat	3.4500	5	
Side Wall Sheets				
97	Trimklad 0.4 BMT ZA (12mm)	0.3000	8	Zincalume
98	Trimklad 0.4 BMT ZA (12mm)	0.4000	2	Zincalume
99	Trimklad 0.4 BMT ZA (12mm)	3.0500	14	Zincalume
Side/End Wall Girt F				
100	14G 14x20mm Hex Tex Framing Screw		716	
Side/End Wall Sheet				
101	10G 16x16mm Hex TEK & Seal		1372	Zincalume
Silicone				
102	Neutral Cure Silicone		1	
Skylight				
103	Topglass GC Gel (Custom Orb) (Opal) 2400g	3.1300	2	
Skylight Roof Tek				
104	12G 14x45mm Hex TEK and Seal		52	Zincalume
Skylight Roof Washer				
105	Dome Washer Clear Lite		52	
Skylight S/L Fast				
106	Side Lap Fixing Clearlite 12g 11x25 Tek & Se		16	Zincalume
Skylight S/L Wash				
107	Dome Washer Clear Lite		16	
Strap Brace				
108	Strap Brace 25mm Tensioners		12	
Strap Bracing				
109	Strap Brace 25mm x 30m Roll	30.0000	3	

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EMVIC
 structural & civil engineers
 Bay of Plenty, Inc

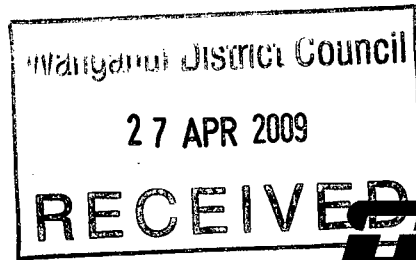
No	Description	Length	Qty	Color
110	Divide Lenght By 30 = Qty S/Bracing Rolls***		12	
Strap Fasteners				
111	14G 14x20mm Hex Tex Framing Screw		360	
Trimclad Pallet				
112	Pallet for Trimclad		1	

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EMCO
 Limited
 structural & civil engineering
 Co., Milner Street, Invercargill





STEEL & TUBE
ROOFING PRODUCTS

Producer Statement

Structural Products on KiwiSpan Buildings

Structural products supplied by Steel & Tube to Kiwispan Buildings, comprising HST Cee section purlins used as portal legs, rafters and struts, HST Tophat sections used as purlins and girts, folded sections used as mullions, Mezzanine floor sections and strap bracing, are protected from corrosion by hot dip galvanising to the following specification:

Standard A.S. 1397:2001
Class Z275

Fly Bracing straps are protected from corrosion either by the above process, or by a hot dipped Zinc/Aluminium alloy to the following specification

Standard A.S. 1397:2001
Class AZ 150

Signed on behalf of Steel & Tube Roofing Products

A handwritten signature in black ink, appearing to read "Rod Newbold".

Rod Newbold
Commercial Manager

10 October 2007

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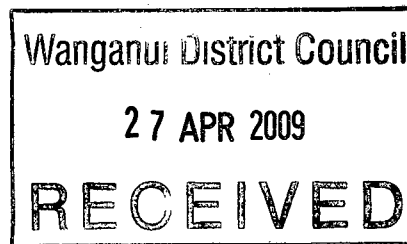
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DURABILITY STATEMENT 23 November 2005

Buildings and structures sold by Kiwi Span buildings, using cold-formed hot dip galvanised steel sections supplied by Steel & Tube Roofing Products as structural elements will meet durability expectations as defined in the attached table.

Specifications

Zinc coating class: Z275
Complying with: AS 1397:1993
Steel grade range: G300-G550
Steel thickness range: 0.55mm – 2.45mm



Scope

Applicable to structures marketed by KiwiSpan buildings, using materials selected, designed, installed and maintained in accordance with manufacturer's recommendations and good trade practice.

Environmental categories are as described in New Zealand Steel: "Environmental Categories" and the attached table.

This Durability Statement assumes that ambient external marine environments will be the dominating influence on durability of the structure.

Limitations and Exclusions

Material to be so stored as to be free of corrosion at time of installation.

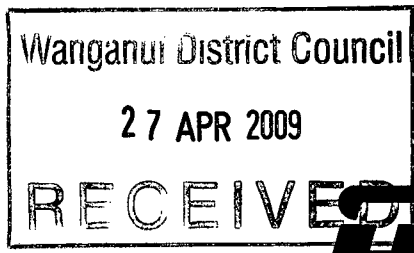
Local conditions such as geothermal and industrial influences and aggressive internal environments must be individually and separately evaluated with reference to the appropriate literature. (Refer New Zealand Steel "Specifiers and Builders Guide" September 2003.)

Internal activities known to be injurious to galvanised coatings, such as bulk fertiliser storage and hot dip galvanising activities, are specifically excluded.

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STEEL & TUBE
ROOFING PRODUCTS

Material to be used in accordance with the following publications

New Zealand Steel "Galvsteel™ Product Manual"; "Environmental Categories" September 2003; "Installer Guide" September 2003; "Specifiers and Builders Guide" September 2003, Durability Statement Rev 3 March 03.

Maintenance

Maintenance is necessary when the galvanised coating ceases to provide sacrificial protection to the steel base, or when the appearance is no longer aesthetically appealing.

The breakdown of galvanising is usually indicated by rust staining, or the growth of rust spots. At the first sign of breakdown, the surface should be treated with an appropriate maintenance coating system. Regular inspections must be carried out so that maintenance may be undertaken at the first signs of any problems.

Further references

"HERA: "Protection of Steel from Atmospheric Corrosion"; "Protection Guide for Steelwork Interiors."

BHP New Zealand Steel survey report: "The Performance of Galvanised Components in the Subfloor Environment".

BRANZ: "Durability Opinion BDO 97/4 on BHP Galvanised Steel Floor Joists".

Corrosion Australia, vol. 18 no.3: "Newcastle Earthquake and Wall Cavity Corrosion. Implications for the rest of Australia".

BRANZ: Reprint 145 Atmospheric Corrosion Survey of New Zealand – Six Year Exposure Results

DEFINITIONS APPLYING TO THE FOLLOWING TABLE

Residential

Buildings designed for residential habitation including effective thermal break between external cladding and structure.

Enclosed

Buildings such as storage sheds, garages and workshops that are typically closed-in when not in use.

Open Fronted

Open front lean-to or gable structure closed in on three sides.

Awning

Open sided structures such as carports, or structures closed in on one side only.

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Durability of Steel & Tube Cold Formed Sections used in KiwiSpan buildings

Category	Characterised By	Typically	Durability				
			Building Type (Refer Definitions)				
			Residential	Enclosed		Open Front	Awning
Lined	Unlined						
Very Severe Marine	Heavy salt deposits. Almost constant smell of salt spray in the air	Within 50 metres from breaking surf on East coast, and 100 metres from breaking surf on West Coast					
		Within 50 –100 metres from breaking surf on East coast, 100-200 metres from breaking surf on West Coast	15 years	15 years	10 years		
Severe Marine	Light Salt deposits. Frequent smell of salt in the air	Commencing from Very Severe zone up to 500 metres or more inland from breaking surf. In the immediate vicinity of calm salt water such as harbour foreshores.	50 years	50 years	15 years	10 years	10 years
Moderate Marine	Little or no salt deposits. Occasional smell of salt in the air.	500 metres to 1km from breaking surf. In the immediate vicinity of calm salt water such as estuaries.	50 years	50 years	15 years	15 years	15 years
Moderate Inland	No obvious marine influences	More than 1000 metres from salt water	50 years	50 years	50 years	15 years	15 years

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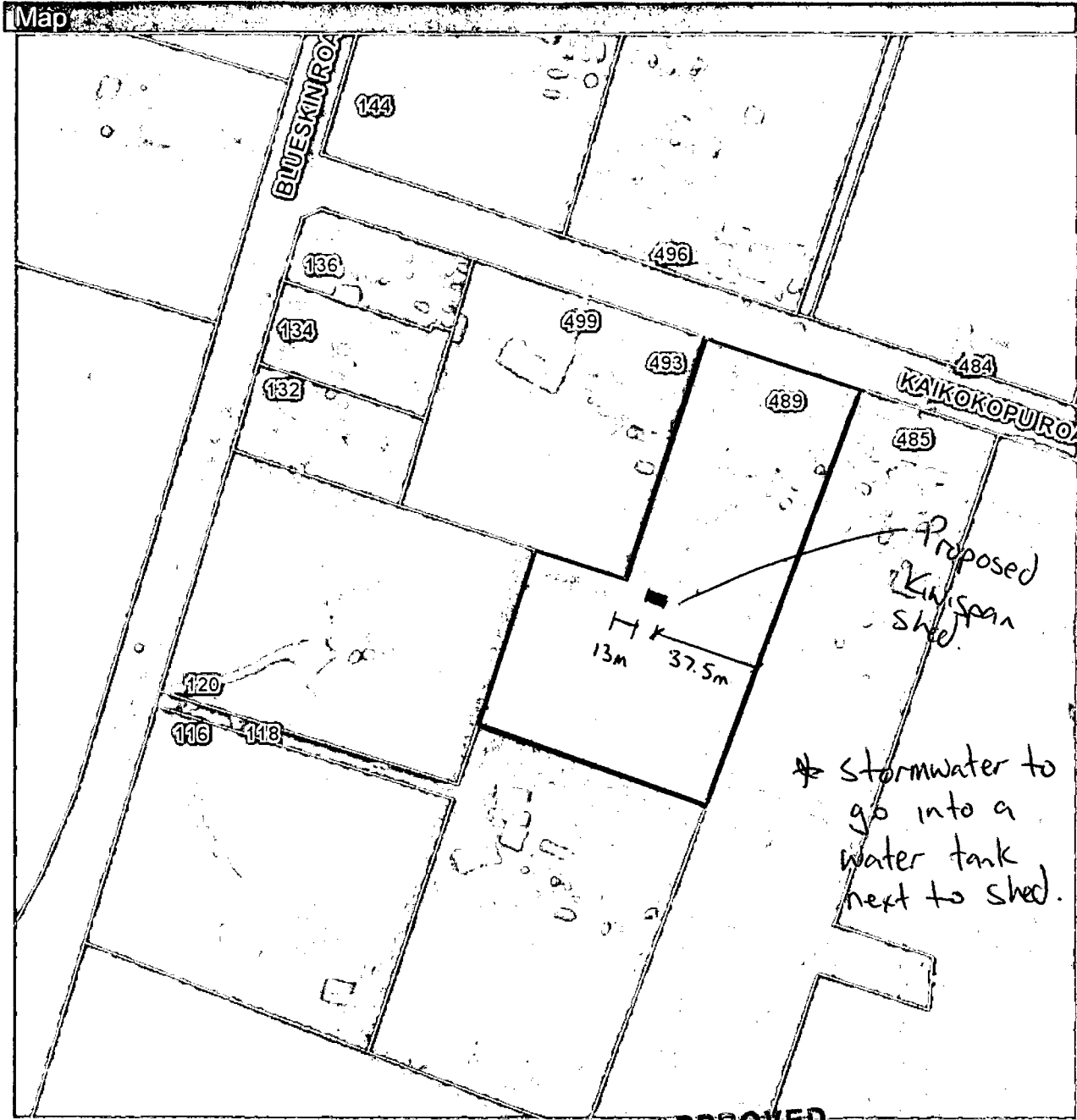
Rod Newbold
 Commercial Manager

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Title:
Subtitle:

Created by: Emergency Services Unit 27 April 2009



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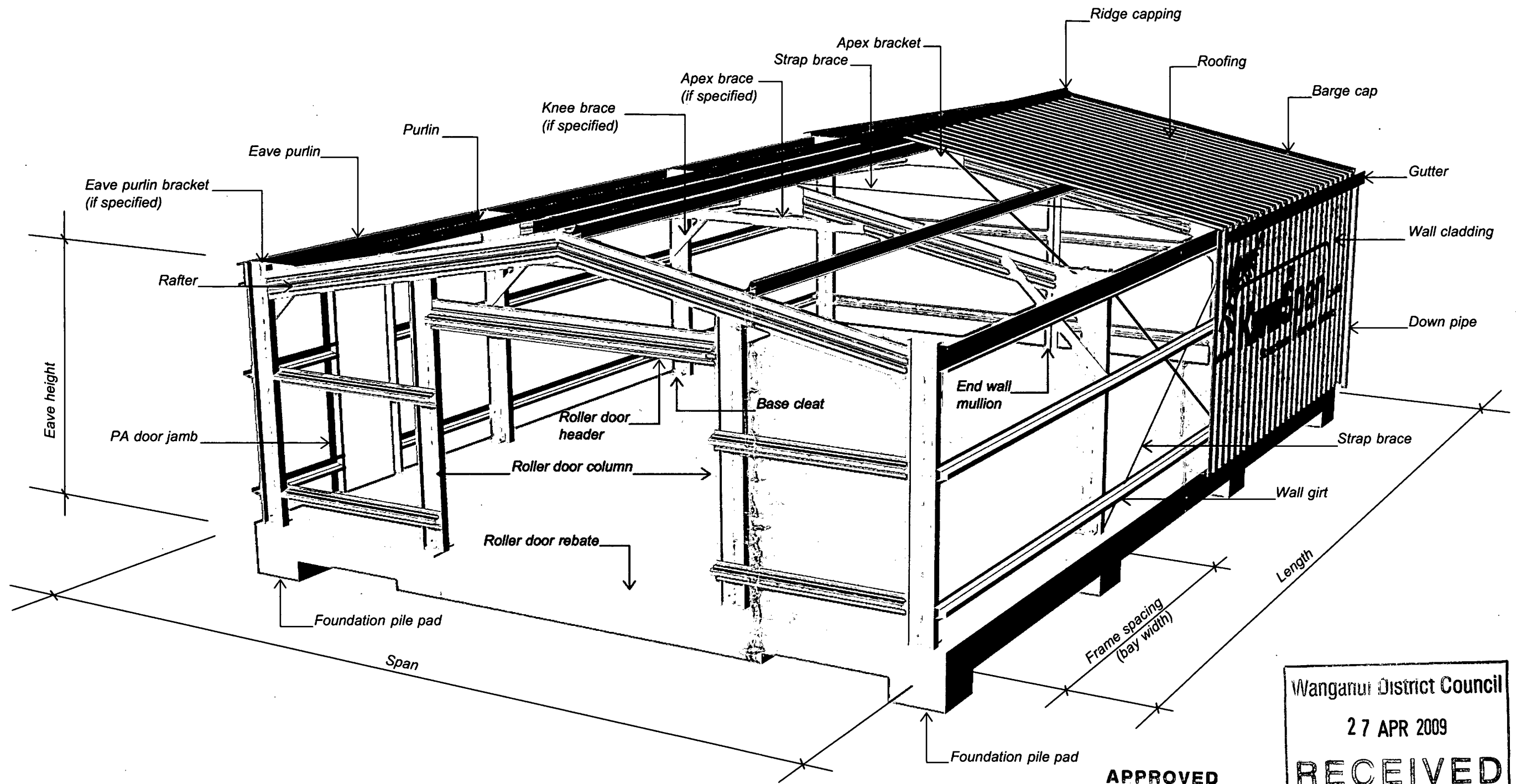
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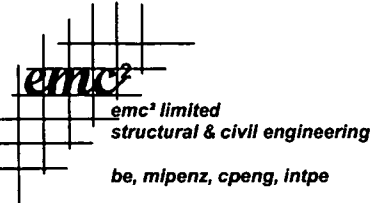

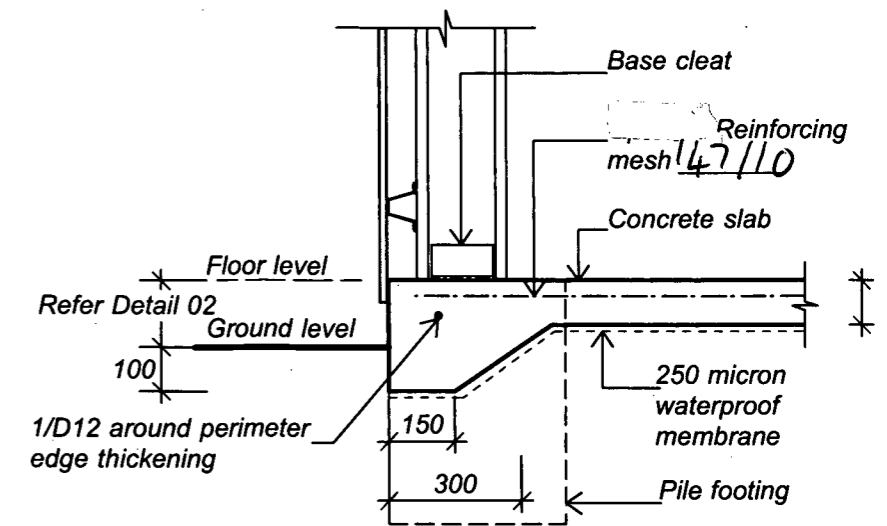
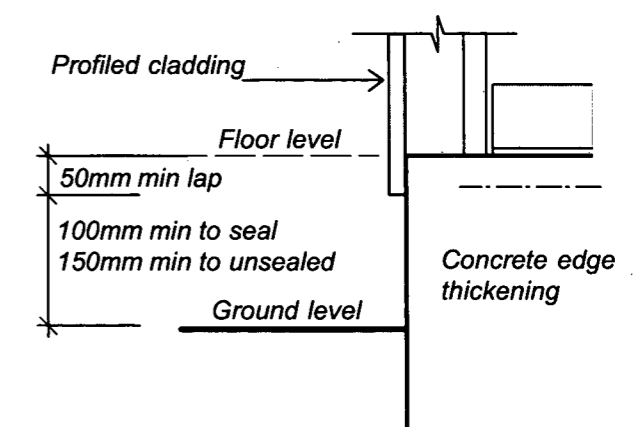
 emc [®] limited structural & civil engineering be, mlpnz, cpeng, intpe	file no.	MEMBER IDENTIFICATION	drawing no.	 www. KiwiSpan .co.nz Buildings for the future
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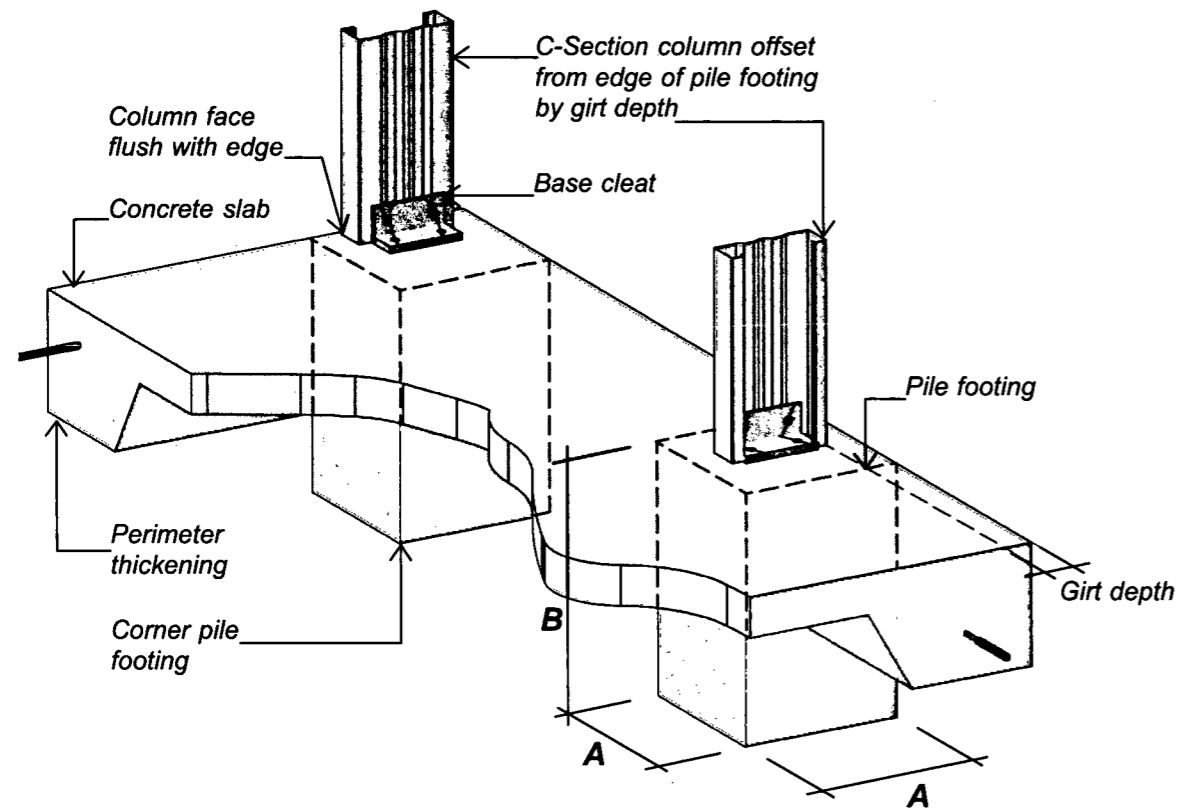
Table 10 Square Pile Footings		
C-Section	Min. Footing Size	
	A	B
C150/12	300sq mm	300 mm
C150/15	300sq mm	350 mm
C150/18	300sq mm	400 mm
C200/12	450sq mm	450 mm
C200/15	450sq mm	450 mm
C200/18	450sq mm	450 mm
C250/12	550sq mm	550 mm
C250/15	550sq mm	550 mm
C250/18	550sq mm	550 mm
C300/15	600sq mm	600 mm
C300/18	600sq mm	600 mm
C350/18	700sq mm	600 mm
C400/20	700sq mm	700 mm
C400/24	700sq mm	700 mm
C400/30	700sq mm	700 mm
2 x C250/12	700sq mm	700 mm
2 x C250/15	700sq mm	700 mm
2 x C250/18	700sq mm	700 mm
2 x C300/15	700sq mm	700 mm
2 x C300/18	700sq mm	700 mm
2 x C350/18	900sq mm	750 mm
2 x C400/20	1000sq mm	1000 mm
2 x C400/24	1000sq mm	1000 mm
2 x C400/30	1000sq mm	1000 mm



TYPICAL EDGE THICKENING - Non-loadbearing (Detail 01)



GROUND CLEARANCE (Detail 02)



PILE FOOTINGS WITH FLOOR SLAB

Notes: Concrete work shall be in accordance with NZS 3109:1997 with a min concrete strength of 20MPa. Floor slab min thickness 100mm. Provide saw cuts at a maximum of 6m crs (3/4m for unreinforced slabs). Saw cuts should be 5mm wide x 1/4 slab depth and should be cut no later than the next day. Mesh reinforced slabs should use 665 mesh (or equivalent) for 100mm thick, 664 mesh (or equivalent) for 125mm thick, and 663 mesh (or equivalent) for 150mm thick, or use alternative such as fiber reinforcing. Foundation soil bearing pressures are assumed to have a minimum allowable bearing pressure of 100kpa. If foundation soils are soft an engineer shall be consulted. Fill must be compacted in layers of 150mm to a max of 600mm. A "free joint" (or use a proprietary dowel joint system) should be provided at a max of 20m crs. The concrete must be kept moist (or otherwise cured) for 7 days. Buildings may be constructed on slab within 7 days with due care not to over tighten Trubolts.

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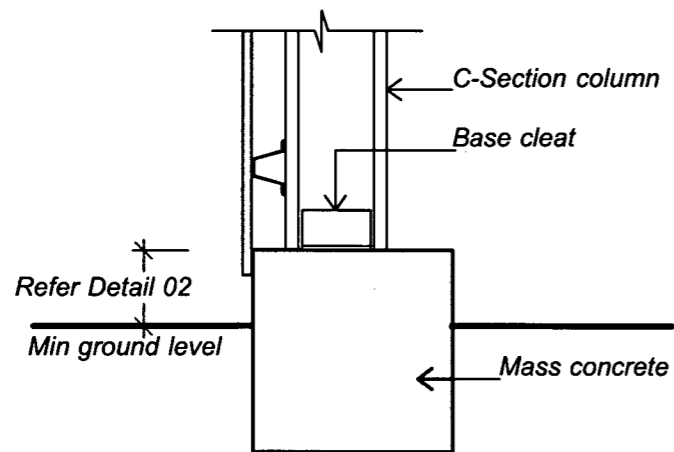
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structural & civil engineering
be, mipenz, cpeng, intpe

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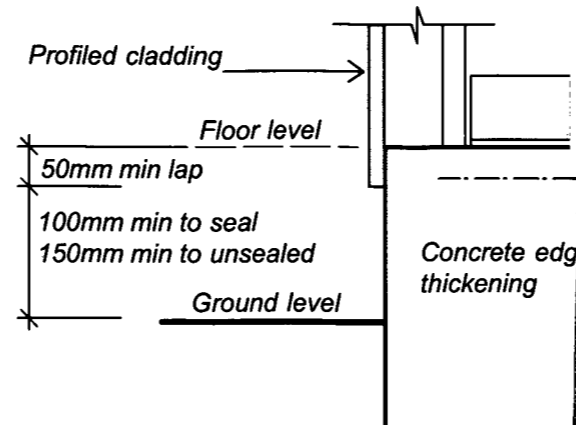
**FOUNDATION DETAILS -
SQUARE FOOTINGS WITH FLOOR**

drawing no.
F1
date:
page no.

www. **KiwiSpan** .co.nz
Buildings for the future



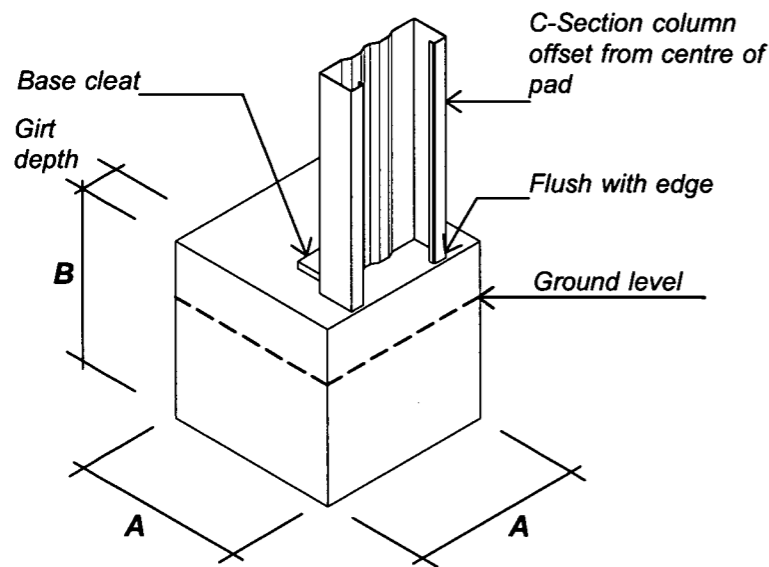
SQUARE PILE FOOTING (Detail 01)



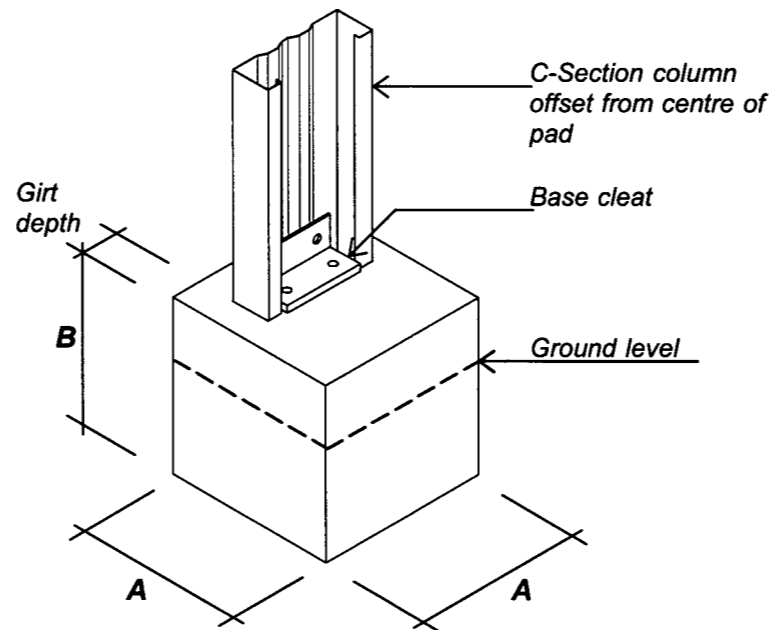
GROUND CLEARANCE (Detail 02)

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Table 13 Square Pile Footings		
C-Section	Min. Footing Size	
	A	B
C150/12	400sq mm	600 mm
C150/15	450sq mm	600 mm
C150/18	500sq mm	600 mm
C200/12	650sq mm	650 mm
C200/15	650sq mm	650 mm
C200/18	650sq mm	650 mm
C250/12	700sq mm	700 mm
C250/15	700sq mm	700 mm
C250/18	700sq mm	700 mm
C300/15	750sq mm	750 mm
C300/18	750sq mm	750 mm
C350/18	900sq mm	900 mm
C400/20	1000sq mm	950 mm
C400/24	1000sq mm	950 mm
C400/30	1000sq mm	950 mm
2x C250/12	1000sq mm	950 mm
2x C250/15	1000sq mm	950 mm
2x C250/18	1000sq mm	950 mm
2x C300/15	1000sq mm	950 mm
2x C200/18	1000sq mm	950 mm
2x C250/18	1100sq mm	1000 mm
2x C400/20	1200sq mm	1000 mm
2x C400/24	1200sq mm	1000 mm
2x C400/30	1200sq mm	1000 mm



CORNER PAD (Detail 03)



TYPICAL PILE FOOTING (DETAIL 04)

Notes: Concrete work shall be in accordance with NZS 3109:1997 with a min concrete strength of ~~20mpa~~ 20mpa. Foundation soil bearing pressures are assumed to have a minimum allowable bearing pressure of 100kpa. If foundation soils are soft an engineer shall be consulted. The concrete must be kept moist (or otherwise cured) for 7 days. Buildings may be constructed on slab within 7 days with due care not to over tighten Trubolts.

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09 / 03 2 8

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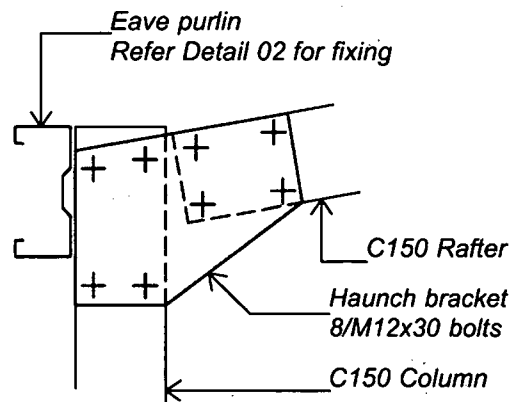
emc² limited
structural & civil engineering
be, mipenz, cpeng, intpe

file no.
F202
091007
original size
A3

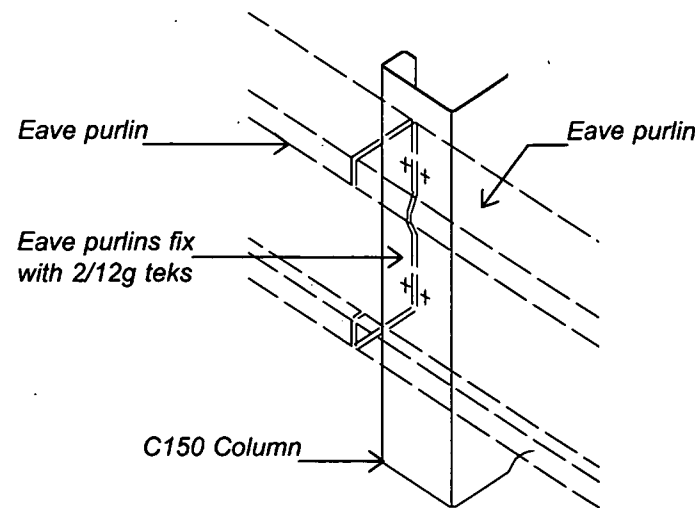
**ISOLATED FOUNDATION DETAILS -
SQUARE PILE FOOTINGS**

drawing no.
F2
date:
page no.

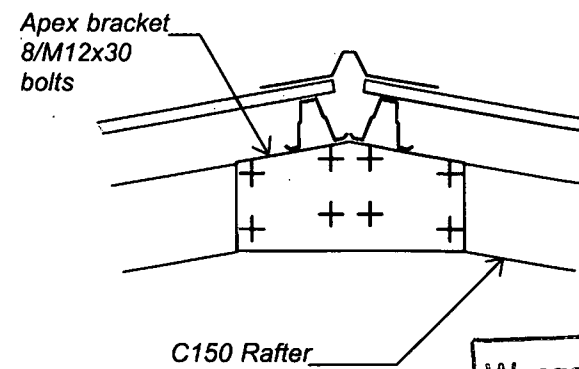
www. **KiwiSpan** .co.nz
Buildings for the future



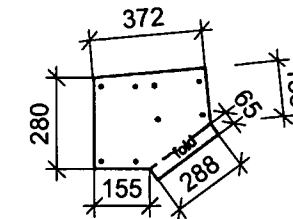
HAUNCH BRACKET (Detail 01)



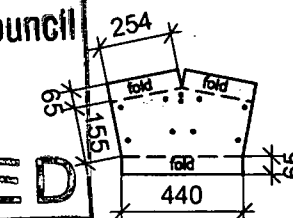
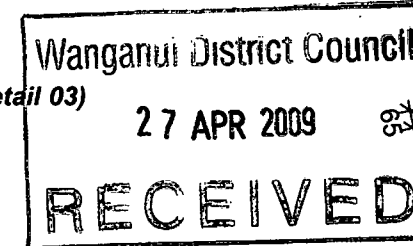
EAVE PURLIN CONNECTION (Detail 02)



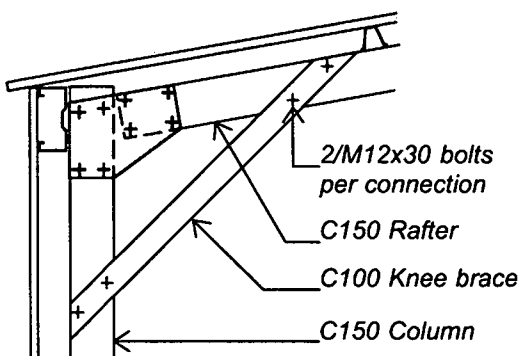
APEX BRACKET (Detail 03)



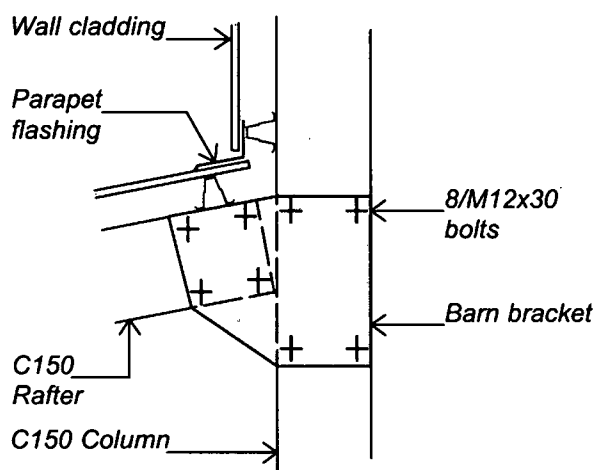
**HAUNCH PLATE
C150
2.0mm Galvabond**



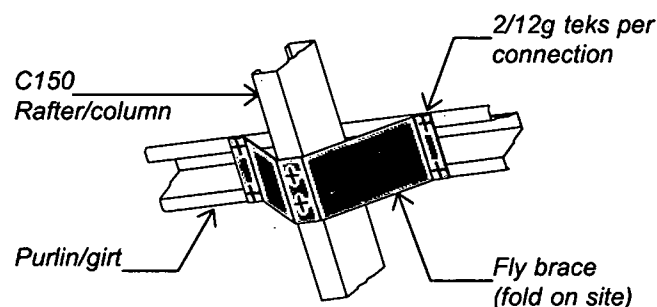
**APEX BRACKET
C150
2.0mm Galvabond**



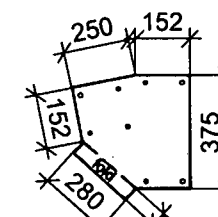
KNEE BRACE (Detail 04)



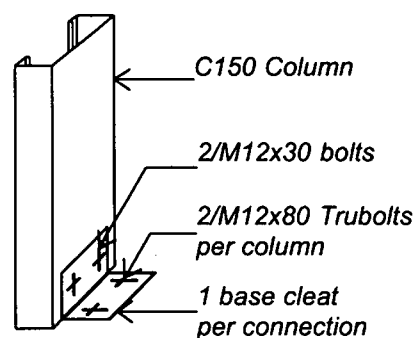
LEAN TO CONNECTION (Detail 05)



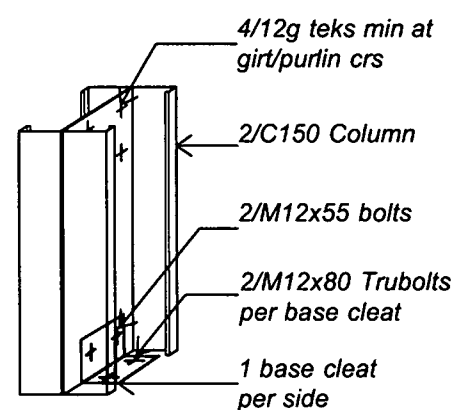
FLY BRACE (Detail 06)



**BARN BRACKET
C150
2.0mm Galvabond**



**BASE CLEAT SINGLE
COLUMN (Detail 07)**

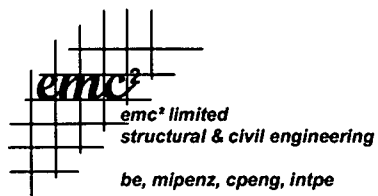


**DOUBLE OPEN
COLUMN (Detail 08)**

Member Schedule:	
Column	
Rafter	
Eave Purlin	
Girt	Refer Drawing No. B5
Purlin	Refer Drawing No. B6
Mullion	
Knee Brace	
Apex Brace	

NOTES:
Cold formed C-sections shall comply with AS 4203:1992 & AS/NZS 1252:19996.
This design covers conditions up to very high wind with 1kpa snow loading.
Structure to be maintained in a stable condition and not to overstress any part during construction.
All dimensions are in millimeters unless otherwise stated.
Tek screws and bolts to be installed as per manufactures instructions. Bolts to be fully tensioned by snug tightening then fully tensioned another 1/3 turn rotation of nut.
Fly bracing fixed to closest girt/purlin from Eave Purlin, then every second row thereafter.
Roof and wall cladding to be fixed as per manufactures instructions.
Engineering responsibility only covers items shown in these drawings.

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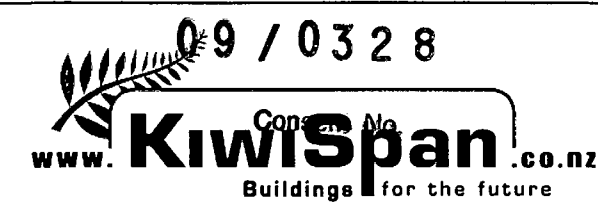


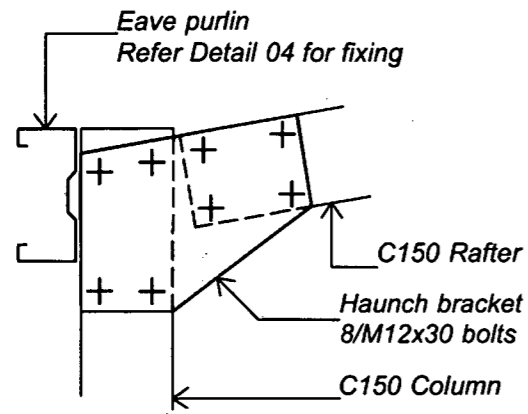
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file no.
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311007
original size
A3

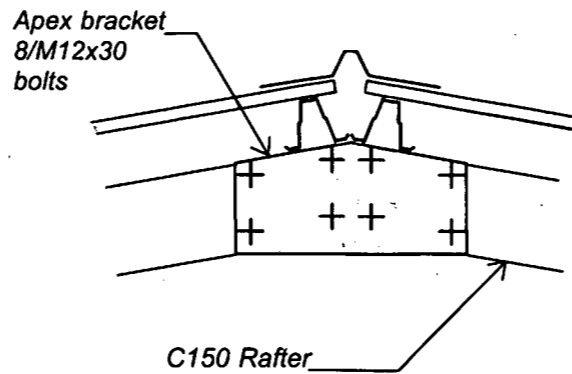
**BRACKET CONNECTIONS - C150
GABLE INTERNAL PORTAL FRAME (60mm GIRT)**

drawing no.
B2
date:
page no.

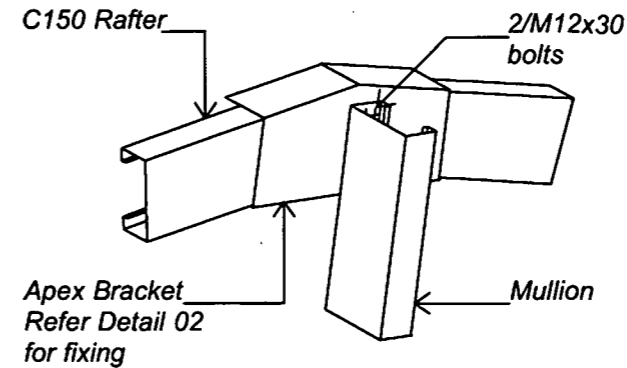




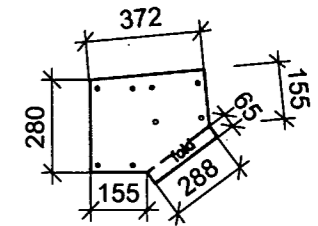
HAUNCH BRACKET (Detail 01)



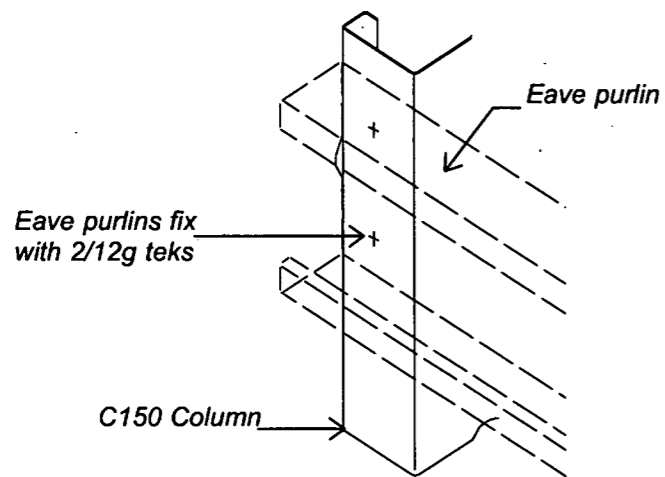
APEX BRACKET (Detail 02)



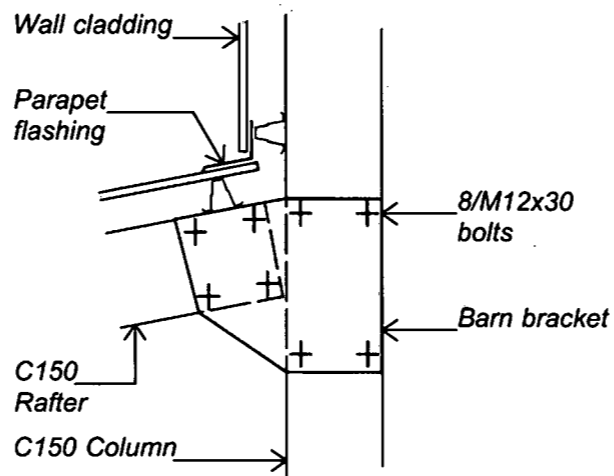
MULLION CONNECTION (Detail 03)



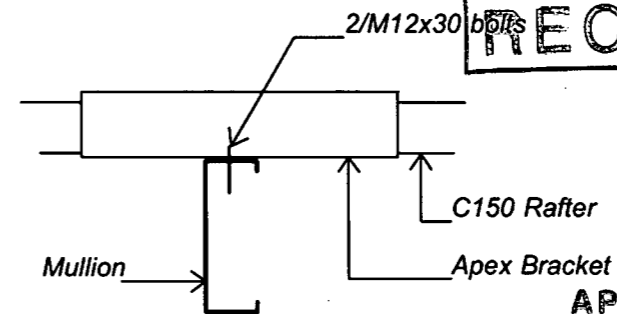
**HAUNCH PLATE
C150
2.0mm Galvabond**



EAVE PURLIN CONNECTION (Detail 04)

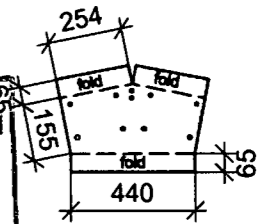


LEAN TO CONNECTION (Detail 05)

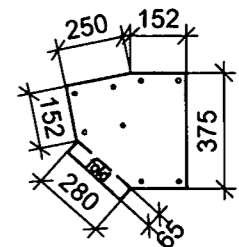


**PLAN DETAIL OF
MULLION CONNECTION**

Wanganui District Council
27 APR 2009
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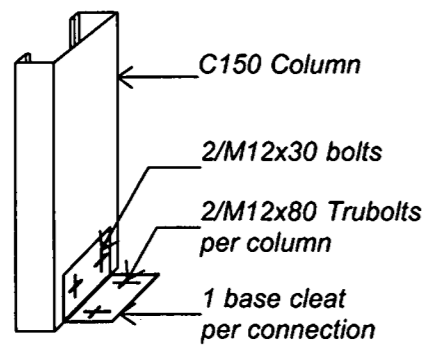
**APEX BRACKET
C150
2.0mm Galvabond**



**BARN BRACKET
C150
2.0mm Galvabond**

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09 / 03 28

Consent No.



**BASE CLEAT SINGLE
COLUMN (Detail 06)**

Member Schedule:

Column	
Rafter	
Eave Purlin	
Girt	Refer Drawing No. B5
Purlin	Refer Drawing No. B6
Mullion	

NOTES:

Cold formed C-sections shall comply with AS 4203:1992 & AS/NZS 1252:19996.
This design covers conditions up to very high wind with 1kpa snow loading.
Structure to be maintained in a stable condition and not to overstress any part during construction.
All dimensions are in millimeters unless otherwise stated.
Tek screws and bolts to be installed as per manufactures instructions. Bolts to be fully tensioned by snug tightening then fully tensioned another 1/3 turn rotation of nut.
Fly bracing fixed to closest girt/purlin from Eave Purlin, then every second row thereafter.
Roof and wall cladding to be fixed as per manufactures instructions.
Engineering responsibility only covers items shown in these drawings.

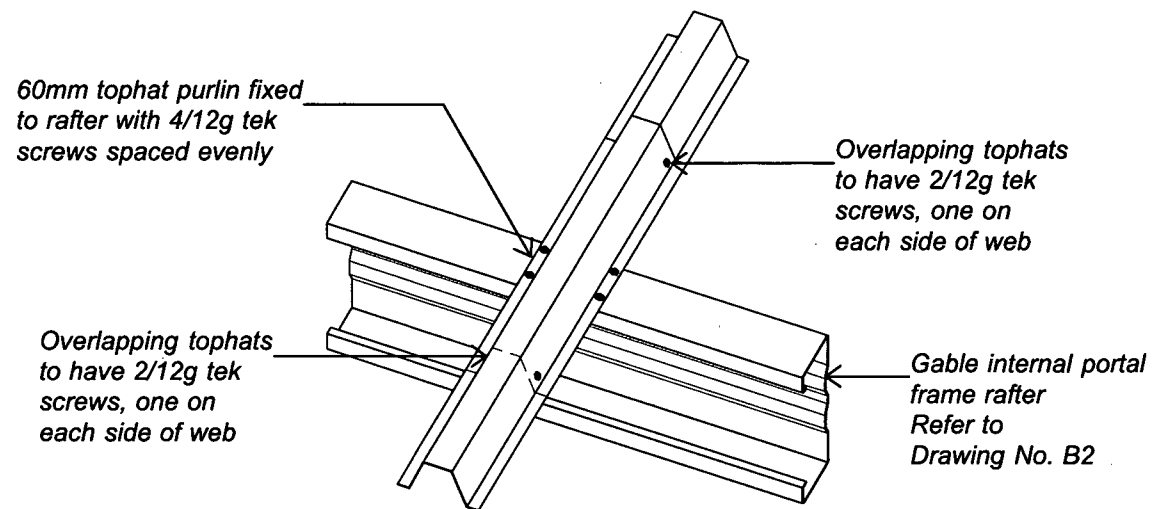
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original size
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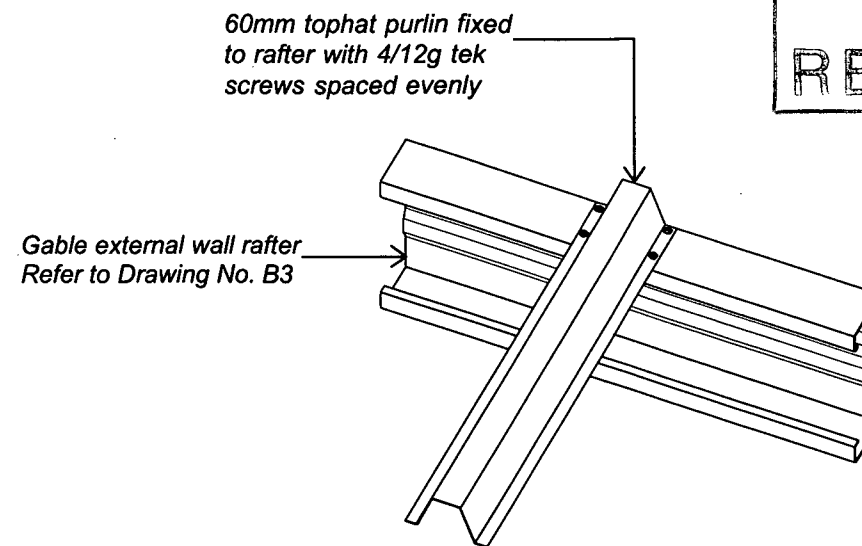
**BRACKET CONNECTIONS - C150
GABLE EXTERNAL WALL (60mm GIRT)**

drawing no.
B3
date:
page no.

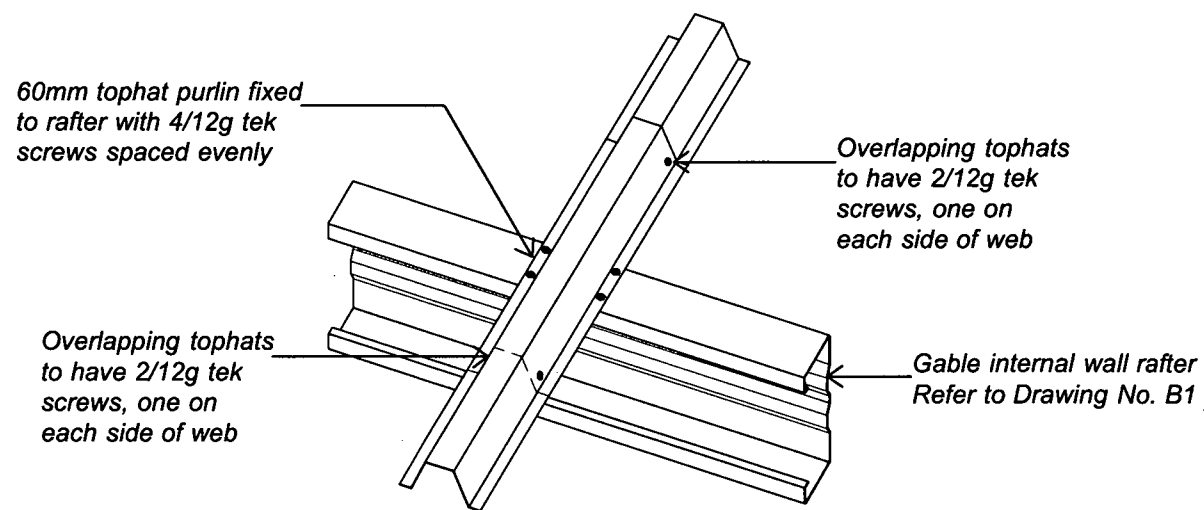
Wanganui District Council
 27 APR 2009
RECEIVED



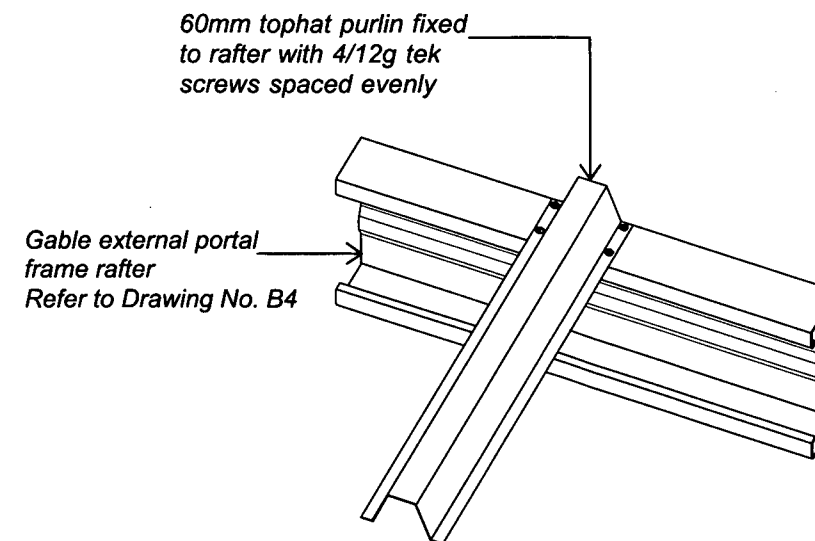
GABLE INTERNAL PORTAL FRAME RAFTER
 (Detail 01)



GABLE EXTERNAL WALL RAFTER
 (Detail 02)



GABLE INTERNAL WALL RAFTER
 (Detail 03)



GABLE EXTERNAL PORTAL FRAME RAFTER
 (Detail 04)

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Consent No.

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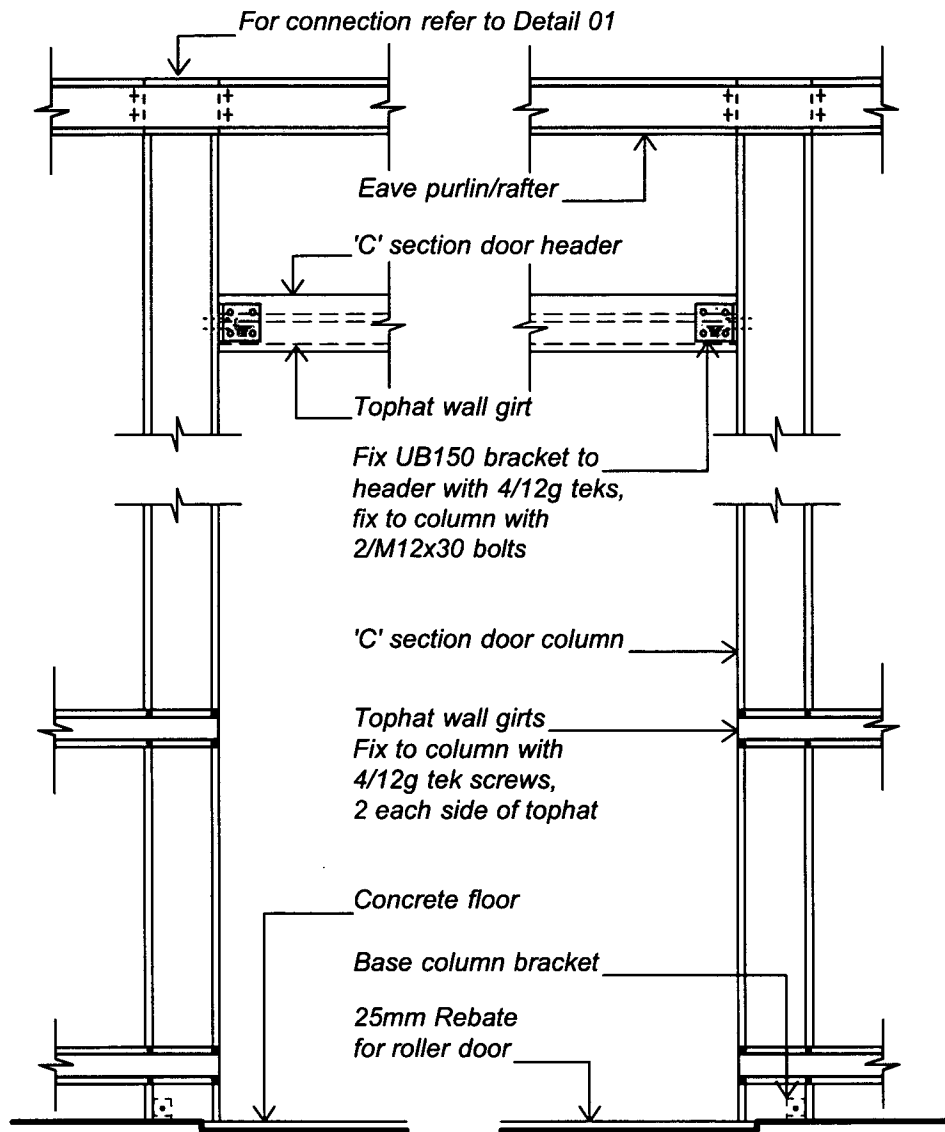
emc²
 emc² limited
 structural & civil engineering
 be, mlpenz, cpeng, intpe

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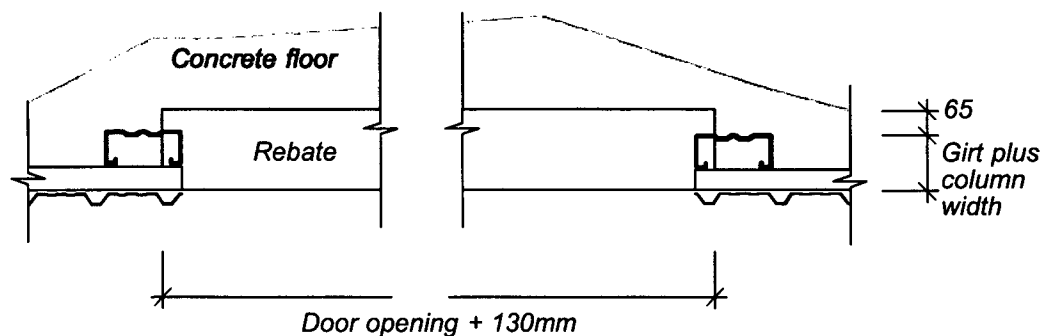
60mm PURLIN CONNECTIONS

drawing no.
B6
 date:
 page no.

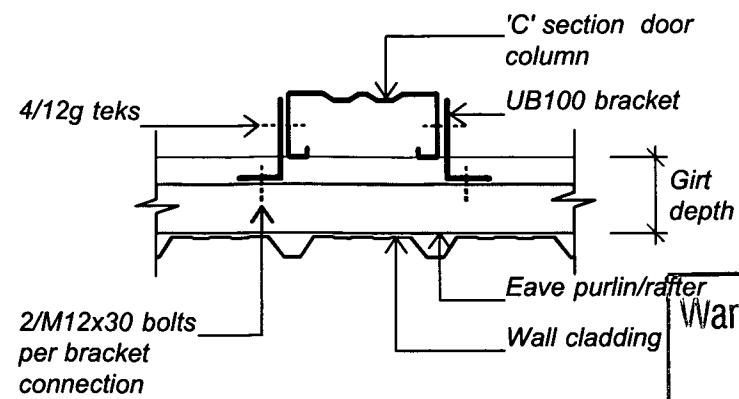
www. KiwiSpan .co.nz
 Buildings for the future



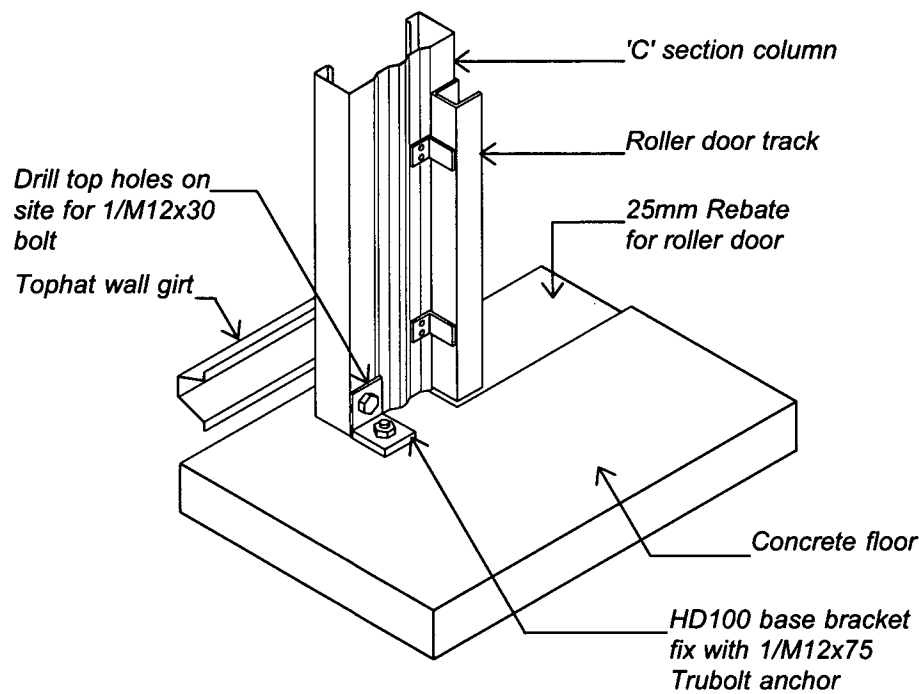
ELEVATION VIEW



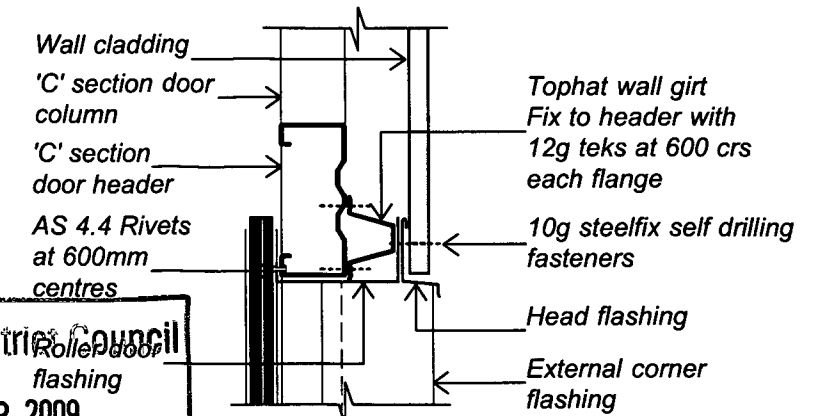
PLAN VIEW



EAVE PURLIN/RAFTER FIXING (Detail 01)

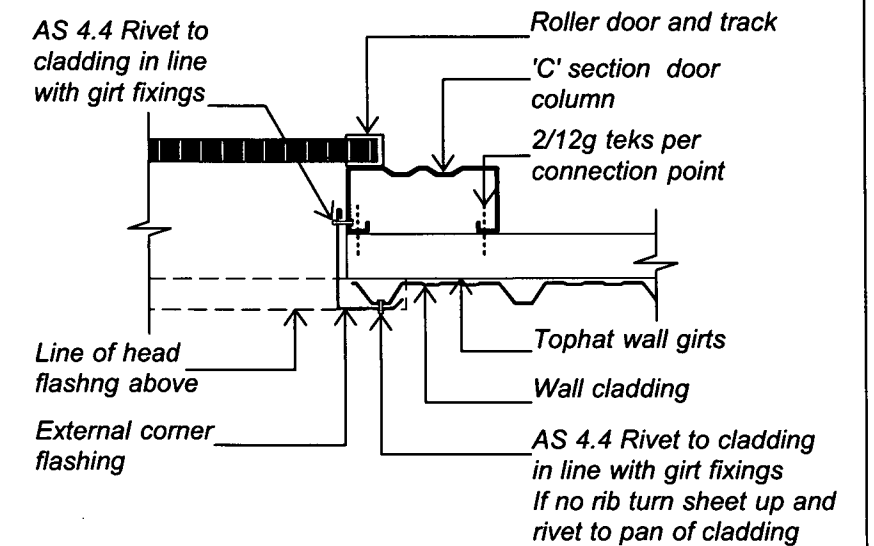


ROLLER DOOR BASE BRACKET (Detail 02)

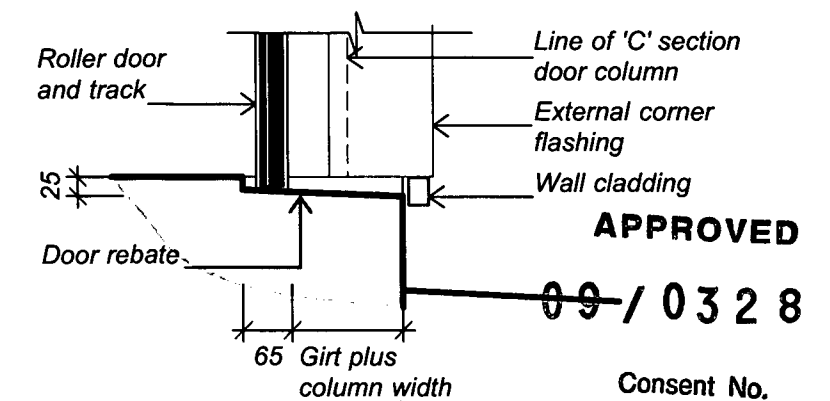


ROLLER DOOR HEAD (Detail 03)

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ROLLER DOOR JAMB (Detail 04)



ROLLER DOOR REBATE (Detail 05)

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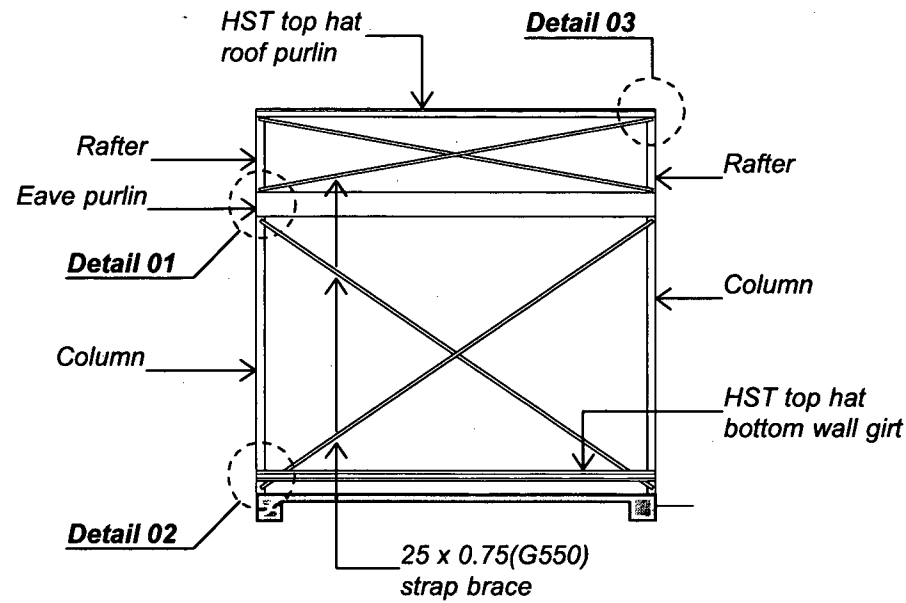
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emc Limited
structural & civil engineering
be, mipenz, cpeng, intpe

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original size
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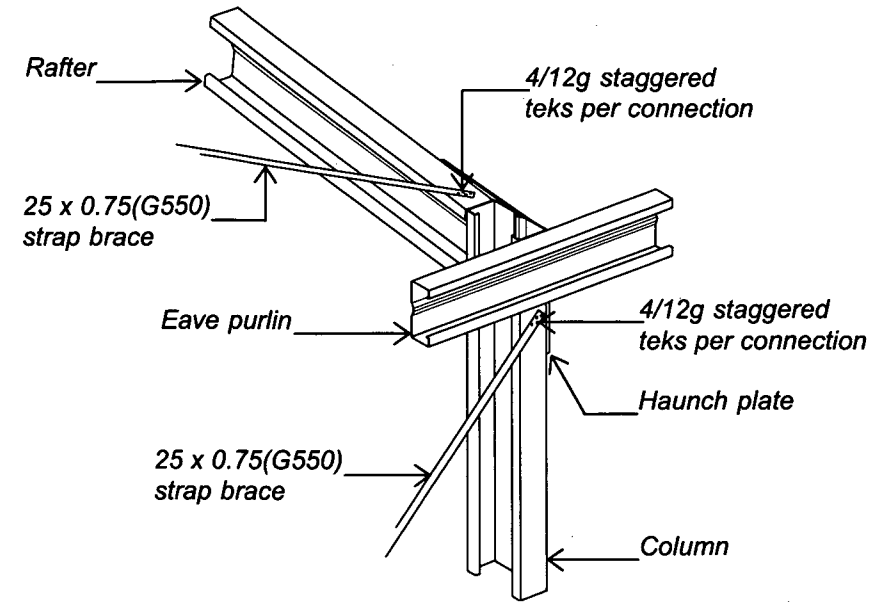
C150 ROLLER DOOR MULLION AND FLASHING DETAILS

drawing no.
R1
date:
page no.

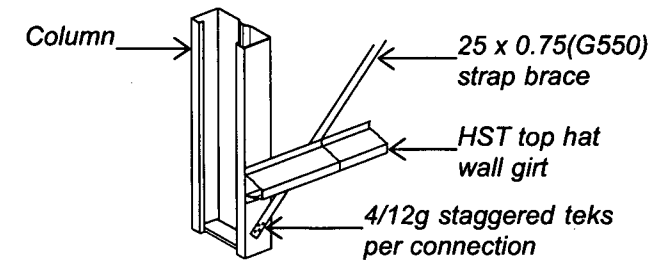
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Buildings for the future



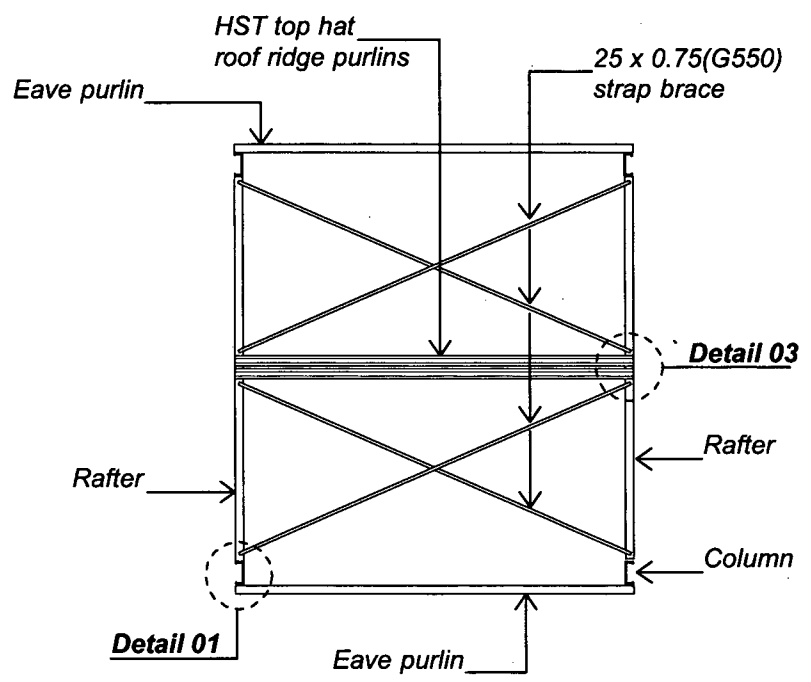
WALL BRACE CONNECTIONS Note: Additional wall girts removed for clarity



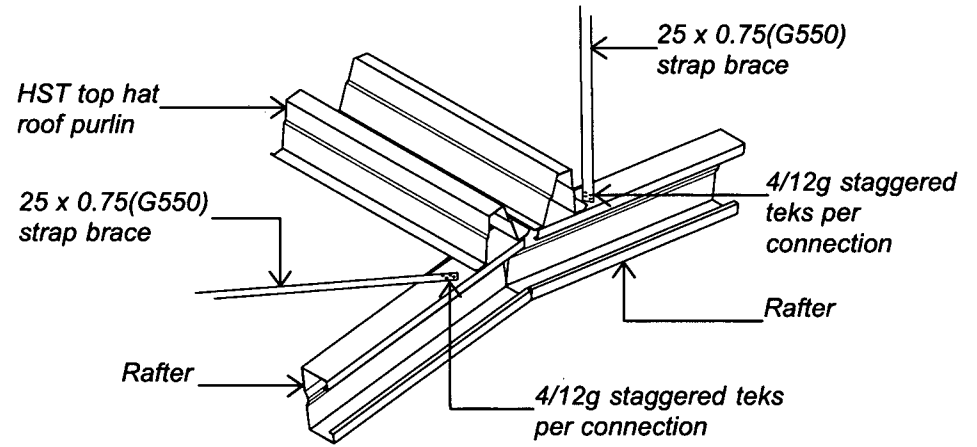
BRACE CONNECTION TO COLUMN AND RAFTER (Detail 01)



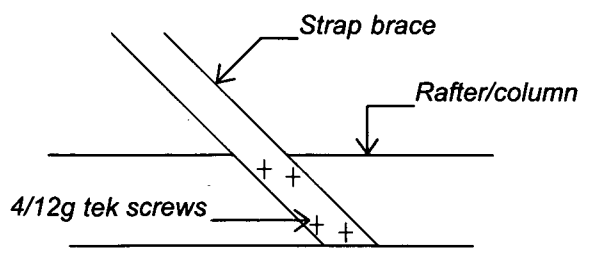
BRACE CONNECTION TO FOOT OF COLUMN (Detail 02)



ROOF BRACE CONNECTIONS Note: Additional roof purlins removed for clarity



BRACE CONNECTION TO RAFTERS AT APEX (Detail 03)



STAGGERED TEK PATTEN (Detail 04)

Wanganui District Council
27 APR 2009
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Consent No.

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be, mlpnz, cpeng, intpe

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original size
A3

STRAP BRACE CONNECTION
(25 x 0.75mm G550 STRAP BRACING)

drawing no.
S1
date:
page no.

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Buildings for the future

216 pm



Garage (Slab/Footing) Inspection & Final

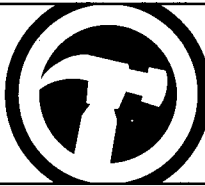
N° GSF 01293

Address				
489 Kaikokopu Rd.				
Consent No	Date	Inspector	Re Check	Compliance
09/0328	6-8-09	PA	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO	Yes
Slab		Comments		
Siting/Boundaries	<input type="checkbox"/> OK <input type="checkbox"/> N/A	<div style="font-size: 2em; transform: rotate(-45deg); opacity: 0.5;"> PER </div>		
Site wind zone	<input type="checkbox"/> OK <input type="checkbox"/> N/A			
Contours	<input type="checkbox"/> OK <input type="checkbox"/> N/A			
Type	<input type="checkbox"/> OK <input type="checkbox"/> N/A			
Ground Bearing	<input type="checkbox"/> OK <input type="checkbox"/> N/A			
Ground Levels	<input type="checkbox"/> OK <input type="checkbox"/> N/A			
Footing Size	<input type="checkbox"/> OK <input type="checkbox"/> N/A			
Footing Steel	<input type="checkbox"/> OK <input type="checkbox"/> N/A			
Slab Steel	<input type="checkbox"/> OK <input type="checkbox"/> N/A			
Concrete Cover	<input type="checkbox"/> OK <input type="checkbox"/> N/A			
Polythene	<input type="checkbox"/> OK <input type="checkbox"/> N/A			
Granular Fill	<input checked="" type="checkbox"/> OK <input type="checkbox"/> N/A			
Final		Comments		
Ground Levels / Floor Level	<input checked="" type="checkbox"/> OK <input type="checkbox"/> N/A	+ to maintain		
Cladding - Type	<input checked="" type="checkbox"/> OK <input type="checkbox"/> N/A			
- Fixing	<input type="checkbox"/> OK <input type="checkbox"/> N/A			
Cladding Cover / ground clearance	<input checked="" type="checkbox"/> OK <input type="checkbox"/> N/A			
Joinery - Installation	<input type="checkbox"/> OK <input checked="" type="checkbox"/> N/A	door only		
- Flashing	<input checked="" type="checkbox"/> OK <input type="checkbox"/> N/A			
Framing	<input checked="" type="checkbox"/> OK <input type="checkbox"/> N/A	posts)		
Truss Fixing	<input type="checkbox"/> OK <input checked="" type="checkbox"/> N/A			
Top Plate Fixings	<input type="checkbox"/> OK <input checked="" type="checkbox"/> N/A			
Bottom Plate Fixings	<input type="checkbox"/> OK <input checked="" type="checkbox"/> N/A			
Slab Cut	<input type="checkbox"/> OK <input checked="" type="checkbox"/> N/A			
Firewall & Stopping	<input type="checkbox"/> OK <input checked="" type="checkbox"/> N/A			
Comments				
complete as per consent.				



Please Note: A minimum of 24 hours notice is required for the booking of an inspection. The inspection record sheet and accompanying building consent documentation must be on site for use by the inspector at the time of the inspection.

Inspections Record For Building Consent Number BCon09/0328						
<i>Inspection</i>	<i>When to Request</i>	<i>Date</i>	<i>Inspector</i>	<i>Complies with Code</i>	<i>Reinspect</i>	<i>Notes</i>
CONCRETE SLAB INSPECTION	Prior to placing Concrete	29/05/2009	Bill Leslie	YES	NO	includes pier footings GSF01264 As per plans, 13.5m of closest boundary. Slab and pier footings as per plans, good bearing into clay. Small slab for one bay, poly under slab, 147/10 and D12 to perimeter.
FINAL BUILDING INSPECTION	On Completion	06/08/2009	Bill Leslie	YES	NO	GSF01293 Complete as per Consent, one bay enclosed and two open.



1. The building consent

Building consent no.	09/0322
Description of work	New Kivi SPA shed
Address	489 Kaitokopu M

2. Property owner details

Owner details Have not changed since the building consent was lodged Proceed to "Applicant details" Have changed since the building consent was lodged

Name

Contact person
(If owner is a corporation, partnership or trust)

Postal address

Contact numbers
Phone Mobile Fax

Email

Evidence of ownership attached
(Only required if ownership has changed) Certificate of Title (copy) Sale and purchase agreement
 Lease agreement Other document showing full name of legal owner(s), such as a rate instalment notice

3. Applicant details

I am the Property owner Lessee Provide details below Agent Authorised by owner / lessee Provide details below

Name

Postal address

Contact numbers
Phone Mobile Fax

Email

4. Attachments

The following documents are attached to this application:

Certificates from the personnel who carried out the work

Certificates that relate to the energy work

Evidence that specified systems are capable of performing to the performance standards set out in the building consent

Code Compliance Assessment Checklist
Building Consent No # BC 09/0328

	ITEM	YES	NO	N/A	COMMENTS
1.	Work complies with approved BC documentation - Sec 94 (1)	✓			
2	All the required inspections have been completed	✓			
3	BC conditions have been fulfilled	✓			
4	PIM requirements have been complied with			✓	
5	Damage deposit is released			✓	
6	Development contributions have been paid (Sec 94 (4))			✓	
7	All documents have BC number on them	✓			
8	Sec 75-77 registered if applicable			✓	
9	Sec 72-74 registered on title if applicable			✓	
10	Energy work certificates have been provided (if required) sec 94 (3)			✓	
11	All inspection fees have been paid?	✓			
12	Specified systems are capable of performing in accordance with performance standards (sec 94 (1B))			✓	
13	Is a compliance schedule required or requires amending (sec 100(2))			✓	
14	Has there been a change of ownership (sec 364)			✓	
15	Any warnings or bans applied (sec 94 (2))			✓	
16	Has the TA received any certificates issued by licensed building practitioners that relate to restricted work (sec 88 (10 and (2) nb: The restricted building work and LBP provisions do not come into effect until 30/11/2009			✓	
17	Check the TA has been advised by a LBP that building work carried out under a building consent does not comply with that consent			✓	
18	Any amendments have been issued and whether documentation associated with these have been properly completed			✓	
19	Any outstanding documentation still to be collected such as		✓		
20	Photographs of elevations		✓		shed only
21	Fire doors			✓	
22	Backflow			✓	
23	Lifts (electrical and installation)			✓	
24	Mechanical ventilation			✓	
25	List of consultants			✓	

Producer Statements:

A Producer Statement requires the following as a minimum requirement to be accepted by the Wanganui District Council:

- A written statement
- Header with 'Producer Statement'
- Who is issuing the Producer statement (suitably qualified and author of Producer statements)
- The Producer Statement must be addressed for the attention of the Wanganui District Council
- The applicable Building Consent number must be recorded
- Who has completed or designed the work identified (qualifications to undertake the work)
- The product name and specifications for application of product used
- What parts/clauses of the Building Code the work relates to
- Full legal description of the site where the work will be undertaken
- Clearly identifying what part of the Building Consent is covered by the Producer Statement
- Provide the sum of provisional indemnity insurance held

The author's name and signature:

- Qualifications
- Address
- Registration number
- Membership of professional organization
- Date the producer statement was produced

All information and documentation is present and correct, a Code Compliance Certificate can be issued.

Name: W.D. COLL

Signature: [Signature]

Date: 6-8-09

101 Guyton Street
P O Box 637, Wanganui
Phone: (06) 349 0001
Fax: (06) 349 0000
Email: wdc@wanganui.govt.nz
Web: www.wanganui.govt.nz



CODE COMPLIANCE CERTIFICATE NUMBER BCon09/0328

Section 95(3), Building Act 2004

Mr GWM Wills, Mrs CM Wills
489 Kaikokopu Rd
RD 1
Wanganui 4571

**Building Consent
No:** BCon09/0328

Issue Date: 06/08/09

Project Location	Assessment Number/Legal Description
489 Kaikokopu Rd WANGANUI	LOT 2 DP 79913 1.3323 Ha
Type of Work	Description of Work
Garage	Construct Kiwispan Garage (cat:1) (FAST TRACK)
Intended Life	Estimated Value
50 years	\$15000.00

This is a final Code Compliance Certificate issued in respect of all of the building work under the above Building Consent.

Signed for and on behalf of the Wanganui District Council:

A handwritten signature in black ink, appearing to read 'A J Jamieson'.

A J Jamieson
Team Leader Building Services

Date: 06 August, 2009