

Whanganui District Council

Application for Certificate of Acceptance (C of A)
Section 97, Building Act 2004

RECEIVED

Whanganui District Council

AM 2:05 pm

05 SEP 2018

ACCEPTED

\$260.00 all up

WHANGANUI DISTRICT COUNCIL
Te Kaunihera a Rohe o Whanganui

Certificate of Acceptance

Certificate of Acceptance No.

1810016

Building Consent/PIM No.

Note: Shaded areas for office use only

1. The building

1a. Site address

489 Kaikokopu Road
RD1 Wanganui

1b. Legal description

Lot 2

DP 79913

1c. Council property no.

26132

1d. Building name (if applicable)

1e. Number of levels

1

1f. Level/Unit number

1g. Floor area

Existing 140 m²

New ~~140~~ 0 m²

Total 140 m²

1h. Current, lawfully established use

Residence

1i. Year first constructed (if applicable/or approx. year)

1997

2. The owner

2a. Name

Catherine Wills

Postal address

3709/318 Russell Street

Melbourne, VIC 3000, AUSTRALIA

Contact numbers

+61 406 433 050

+61 406 433 050

-

Phone

Mobile

Fax

Email

catherine.wills@ablecom.co.nz

3. Applicant's details (if not the owner)

3a. Name of Agent

Postal address

Contact numbers

Phone

Mobile

Fax

Email

Relationship to owner

First point of contact

Property owner

Agent

4. The work

4a. Description of the building work

An existing wet floor shower is not appearing on Council records. It was installed and approved at the time of building the house

Date work carried out

1997

Estimated value of building work including GST.

\$ part of original build.

5. Evidence of ownership

5a. Evidence of ownership attached

Certificate of Title (copy)
Lease agreement

Sale and purchase agreement
Other document showing full name of legal owner(s), such as a rate instalment notice

6. Applicant's declaration

I request that you issue a Certificate of Acceptance for the building work described in this application

[Signature] 4/9/18
Signature of Owner/Agent Date

Catherine Wills
Name (print clearly)

Note: An application for Certificate of Acceptance is only required for building consent applications made after 1 January 1993.

7. The project

7a. Will the building work result in a change of use of the building? Yes No

7b. If yes, please provide details of the new use

7c. Intended life of the building if less than 50 years

7d. Building Consent numbers of those building consents previously issued for this project (staged project):

8. Building practitioners involved in this project (continue on another sheet of paper if needed)

Designer—extent of involvement
Name / Registration no.
Contact details Address
Phone / Email

Builders—extent of involvement
Name / Registration no.
Contact details Address
Phone / Email
Ted Morris and Son - builder in 1997

Certifying plumber—extent of involvement
Name / Registration no.
Contact details Address
Phone / Email

Certifying drainlayer—extent of involvement
Name / Registration no.
Contact details Address
Phone / Email

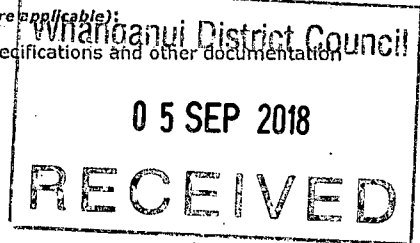
Electrician—extent of involvement
Name / Registration no.
Contact details Address
Phone / Email

Other—extent of involvement
Name / Registration no.
Contact details Address
Phone / Email

9 Supporting documentation

The following plans and specifications are attached to this application (tick where applicable):

- Two sets of plans drawn to a recognised metric scale; include two sets of specifications and other documentation
- Project Information Memorandum
- Energy work certificate
- Certificates from personnel who carried out the work
- Certificates from personnel who supervised the work
- Copies of other authorisations—please specify _____
- Other—please specify _____



10 Compliance schedule

Please tick one of the appropriate boxes

- The specified systems and features for the building are as follows:

original wet-floor shower

- The following specified systems and features are being altered, added to, or removed in the course of the building work:

- There are no specified features in the building

11 A Certificate of Acceptance is required because

Please tick one of the appropriate boxes

- Illegal work:** The owner or the owner's predecessor in title, carried out building work for which a building consent was required, but a building consent was not obtained because of the following reason:

A building consent was gained, but the plans the Council have does not show the wet-floor shower. Council approved the building in 1997.

- Urgent work:** A building consent could not practicably be obtained in advance because the building work had to be carried out urgently because of the following reason:

- for the purpose of saving or protecting life or health or preventing serious damage to property as follows: (please explain in detail)

- In order to ensure that a specified system was maintained in a safe condition or made safe as follows: (please explain in detail)

- Building Certifier/Building Consent Authority work:** The Building Consent Authority that granted the building consent is unable or refuses to issue a code compliance certificate in relation to the building work, and no other Building Consent Authority will agree to issue a code compliance certificate for the building work.

Building Certifier/Building Consent Authority

Notes to applicant

- **Certificate of Acceptance Fees:** The charges incurred by the Council in processing this application are payable whether or not the application is approved.
- **The application for a Certificate of Acceptance** does not avoid the possibility of prosecution if the work was carried out illegally.

2 copies of all documentation required at time of application

OFFICE USE ONLY

BCA

Date application received
 Receiving Officer
 Application Fee Receipt No.
 Date of application Fee Rec.

4-9-18
AH
SNL180310
5-9-18

Fees (incl. GST)

CoA Application fee 260-00pl
 Building Consent fee at time of construction
 PIM
 Building Levy (DBH) or BIA
 BRANZ Levy (\$1 per \$1000 > \$20,000)
 Stormwater Connection
 Vehicle Crossing
 Sewer Connection
 Water Connection
 Fordell Connection (Application charge)
 Development Contribution Levy
 NZFS Alternative Solution
 Resource Consent
 Relocation Bond
 CoA issue fee balance
 Rural Rapid Number
 Other
Total

Paid on application
\$
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Notes:

BIA/DBH levies for work completed between:

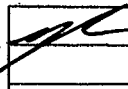
- 1 Jan 1993 and 31 Oct 1994 BIA \$1.00 / \$1000
- 1 Nov 1994 and 30 Nov 1995 BIA \$0.80 / \$1000
- 1 Dec 1995 and 29 April 2005 BIA \$0.65 / \$1000
- 30 Apr 2005 to 31 Sept 2010 DBH \$1.97 / \$1000
- 1 Oct 2010 to date DBH \$2.01 / \$1000

Note applicable for all works over \$20,000

Processing Unit	Checks				Inspections No.	Approved	
	Initials	Date	Initials	Date		Initials	Date
Administration	AH cm	5-9-18 5-9-18					
Planning							
Fire Design (Referred to NZFS)							
Building	AH	10-9-18			AH	10-9-18	
Drainage (Infrastructure)							
Water (Infrastructure)							
Fordell Water Scheme (Infrastructure)							
Structural							
Plumbing/Drainage							
Roading							
Health							
Dangerous Goods							

Approved for Issue of Certificate of Acceptance

Approving Officer



Date

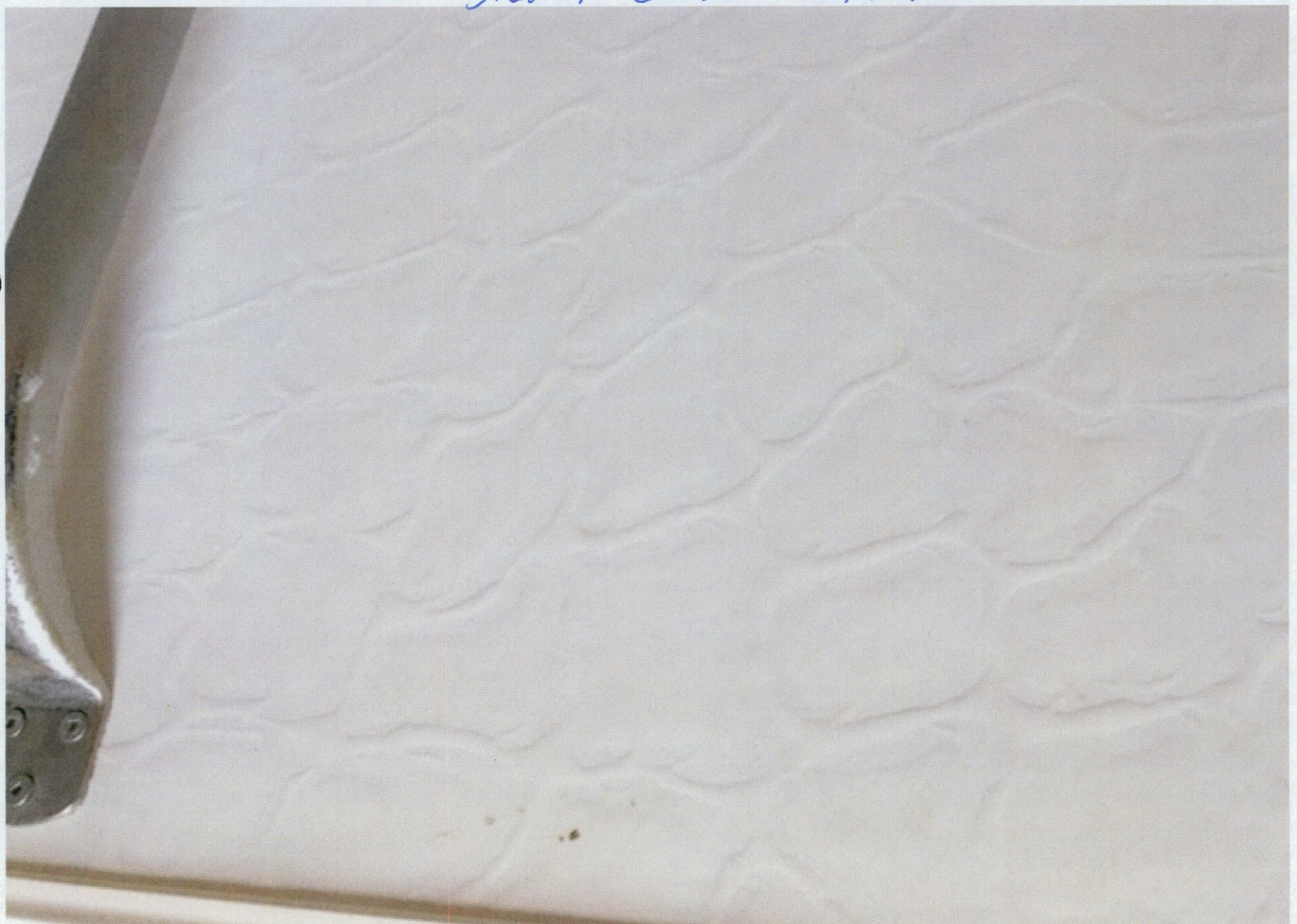
11-9-18

Notes

inspection photos



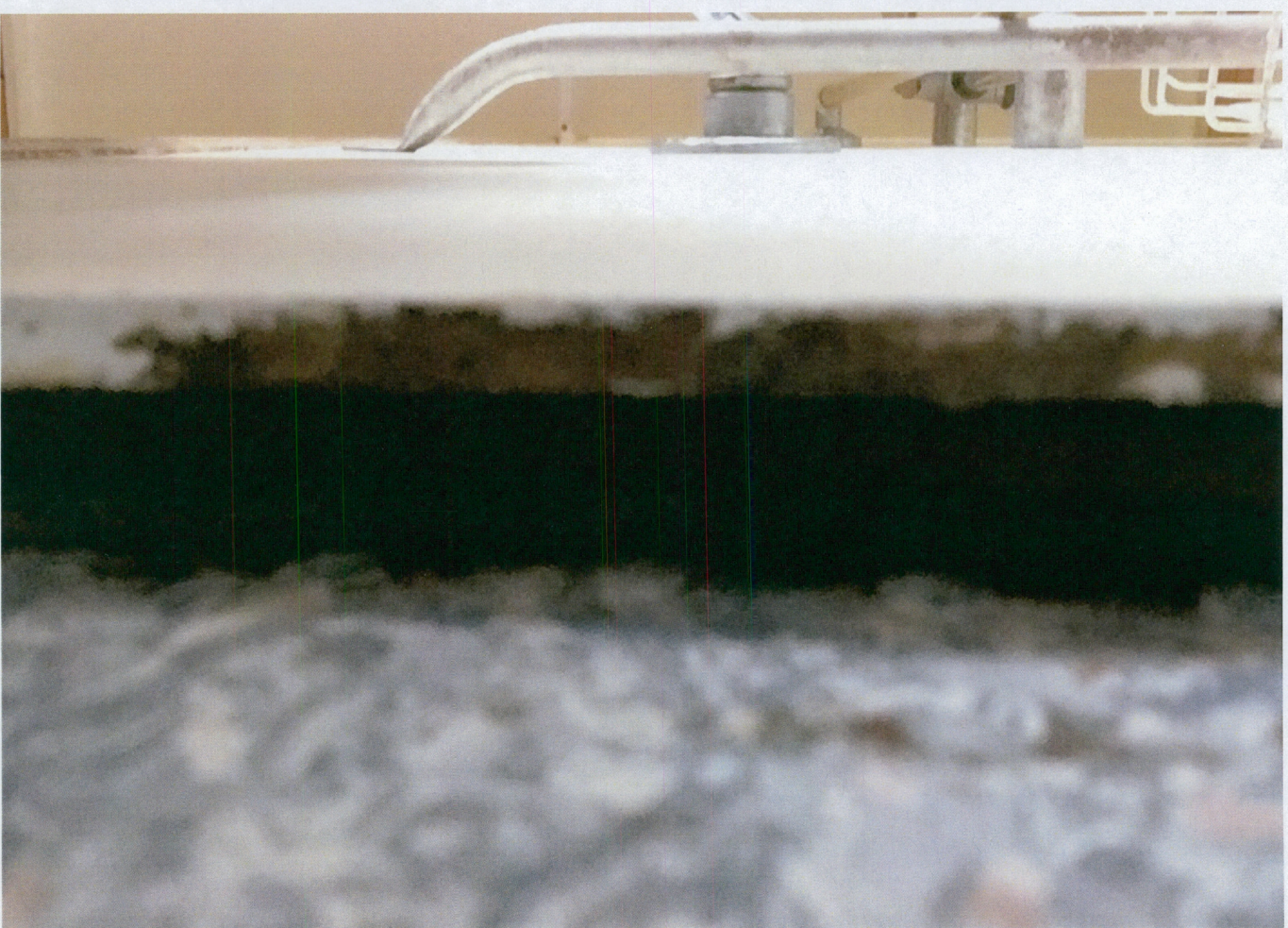
Shower area easily clean waste



Swirl pattern Hardigloze to walls

inspection photos

hardy plaze shear edge meeting the wall section



capillary gap

- Links to other Functions**
- IntraMaps
 - HUBBLE
 - Property Maintenance
 - Other Certificate
 - Owner Certificate
 - Property Due Amounts
 - Property Clone Process
 - Address Maintenance
- Sections to Display**
- Owners
 - Land
 - Valuations
 - Summary
 - Topics
 - Applications
 - Charges
 - Transaction Summary
 - Custom Fields
 - Attachments
 - Notes
- Expand All Collapse All Find
- Related Data**
- Associations (8)
 - Attributes (12)
 - Memos (0)
 - Aliases (0)
 - Theme Associations (0)
- Show Historical Items

Property

Property ID: 8888

Address: 489 Kakakopu Rd WHANGANUI ■ Status: Current
 Legal Desc: LOT 2 DP 79913 BLK VI WESTMERE SD
 Owners: Mr Gerard WIM Wils(Own) & Mrs Catherine M Wils(Own)
 Service Address: 489 Kakakopu Road RD 1 Whanganui 4571
 Rate Codes: Notice - Standard Non-Whanganui Postcode ■ Analysis - Rateable ■ Assessment - 1288045902 ■

Property

Status:

Property Type:

Electorate: Rural Ward

Default Postal Address:

Legal Description:

Additional Description:

Owners

Land

Valuations

Summary

Topics

Applications

Charges

Transaction Summary

Custom Fields

Attachments

Notes

Whanganui District Council

05 SEP 2018

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COA/CFPU CHARGE SHEET			
	TIME	INITIALS	DATE
ADMINISTRATION	20	AH	
LEVY (DBH & BRANZ)			
BUILDING	45	AH	10-9-18
PLUMBING			
PLANNING			
PEER REVIEW			
INSPECTION	60	AH	10-9-18
CONSENT TYPE/COST			
OTHER TRAINING CADET	60	GF	10-9-18
TOTALS			

N/C

GH has advised no extra fees
 only charge car fee : (paid for)
 Alan to go on inspection with
 inspector - (Alan) -

101 Guyton Street
P O Box 637, Whanganui
Phone: (06) 349 0001
Fax: (06) 349 0000
Email: wdc@whanganui.govt.nz
Web: www.whanganui.govt.nz



WHANGANUI
DISTRICT COUNCIL
Te Kaunihera a Rohe o Whanganui

11 September 2018

Mr GWM Wills, Mrs CM Wills
489 Kaikokopu Road
RD 1
Whanganui 4571

Dear Sir or Madam

Certificate of Acceptance

Certificate of Acceptance Number: COA18/0016
Building Location: 489 Kaikokopu Rd WHANGANUI

Please find attached your Certificate of Acceptance (CoA) for the above property.

Yours sincerely

Greg Hoobin
Building Control Team Leader

Copy to Building Owner/Agent



CERTIFICATE OF ACCEPTANCE NUMBER

Section 99, Building Act 2004

<i>Building Owner</i>	<i>Assessment Number/Legal Description</i>
Mr Gerard William Martin Wills, Mrs Catherine Mary Wills	LOT 2 DP 79913 1.3323 Ha
<i>Building Location</i>	<i>Current lawfully established Use</i>
489 Kaikokopu Rd WHANGANUI	SingDetRes

Acceptance of compliance

The Whanganui District Council is satisfied, to the best of its knowledge and belief and on reasonable grounds, that insofar as it can ascertain, the building work described below complies with the building code:

An existing wet floor shower not on Council records. Installed at time of build 1997

The Whanganui District Council was only able to inspect the following parts of the building work and this certificate is qualified as follows:

The Whanganui District Council will recognise this Certificate of Acceptance application for work completed without proper Consent/Permits before work was undertaken, but since it is a retrospective and non-destructive view of work undertaken without proper Consent at the time, it cannot guarantee in any form structural integrity or durability.

Note: Nothing in this certificate limits the requirements that a person must not carry out building work except in accordance with a building consent, nor does it relieve any person from the requirement to obtain a building consent for building work.

Attachments:

Signed for and on behalf of the Whanganui District Council:

Name: Greg Hoobin

Position: Building Control Team Leader

Date: 11-9-12



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05 SEP 2018
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COA
APPROVED
18/0016
CONSENT NO.



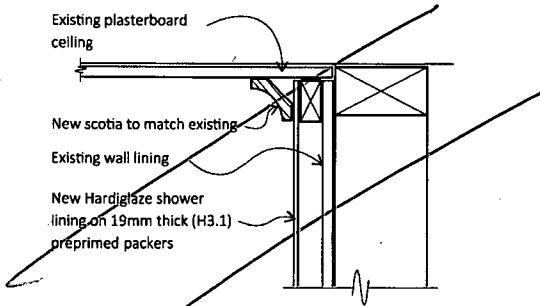
external corner of shower wall meets floor

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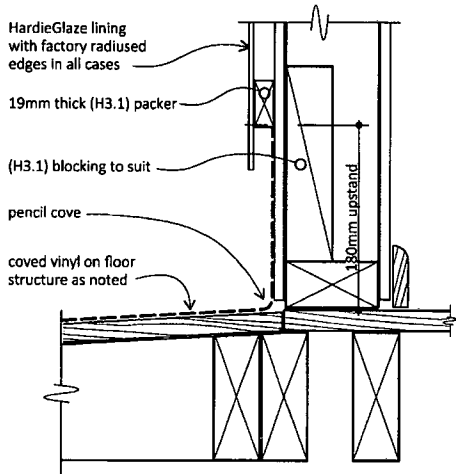
COA
APPROVED
18/0016
CONSENT NO.



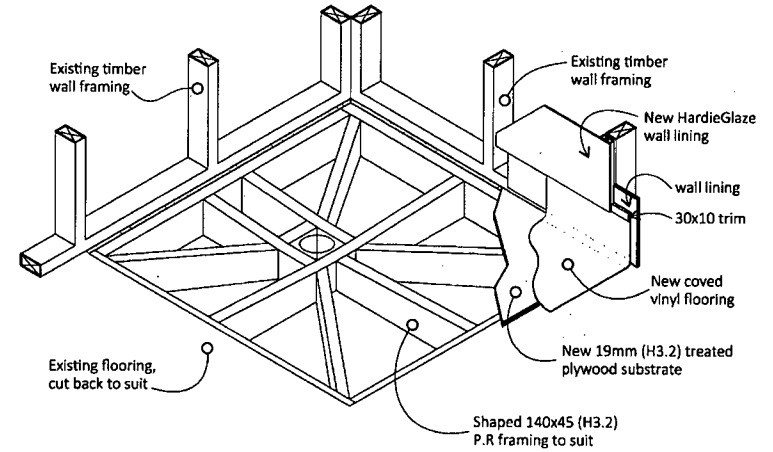
Floor Waste



SCOTIA / SHOWER DETAIL
Scale 1:5



SHOWER WALL / FLOOR DETAIL
Scale 1:5



WET FLOOR FRAMING
SKETCH N.T.S

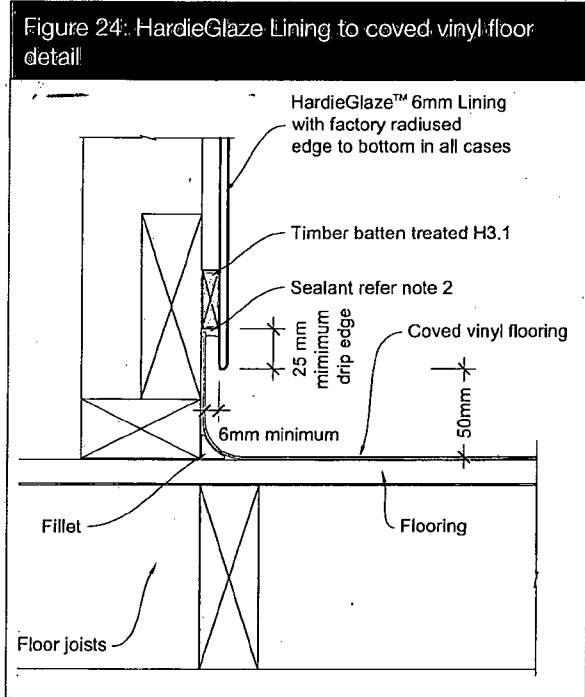
Trimmer shall be fixed to trimmer joists and curtailed joist fixed to trimmer joists all as per NZS 3604:2011 Fig. 7.7

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COA APPROVED
18/0016
CONSENT N/A

Whanganui District Council
 05 SEP 2018
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8 Special applications



Notes:

1. The bottom edge and 100mm up the back face must be sealed with Dulux 1 Step, Dulux Acraprime 501/1 or similar.
2. It is important to use sealant here to prevent possible damage to the framing.

8.1 INDOOR SWIMMING POOL APPLICATION

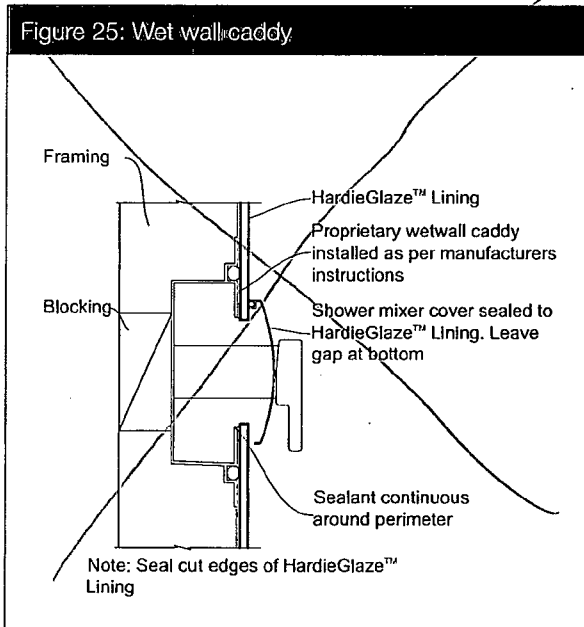
A chlorine environment is not suitable for wallboard adhesives therefore when using HardieGlaze Lining in areas such as indoor swimming pool areas, check with the adhesive manufacturer regarding their suitability in this application or use stainless steel screws with cup washers. It is recommended that a higher level of timber treatment is used for timber framing in this environment and back of sheets must be fully sealed.

HardieGlaze Lining must be cleaned more frequently when used in a chlorine environment.

8.2 SPLASHBACK

HardieGlaze Lining can be used as a splashback. Minimum clearance of 200mm must be maintained from the closest outer ring of hob.

8.3 WET AREA PENETRATION



COA
 APPROVED

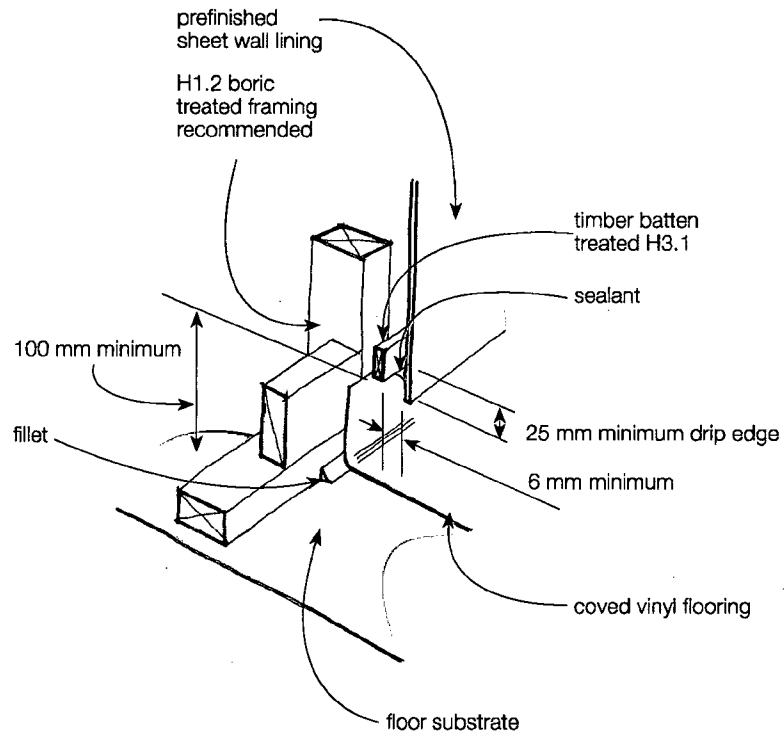
18/0016

CONSENT



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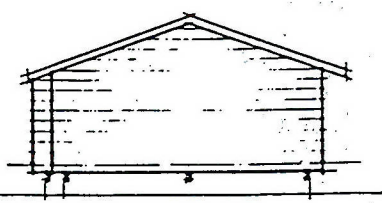
Wall/floor detail
Coved vinyl
© BRANZ 2009



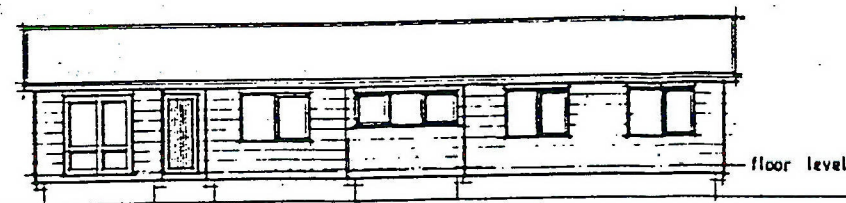
COA
APPROVED
18/0016
CONSENT



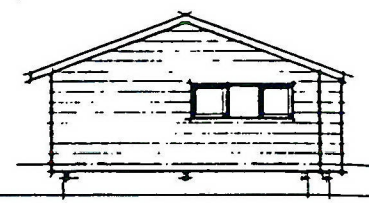
ELEVATION A



ELEVATION B



ELEVATION C



ELEVATION D

Whanganui District Council

05 SEP 2018

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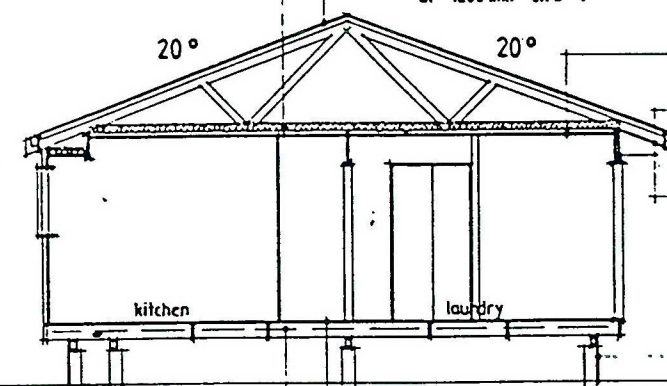
⊗ — Three smoke alarms in dwelling

COA APPROVED

18/0016

CONSENT

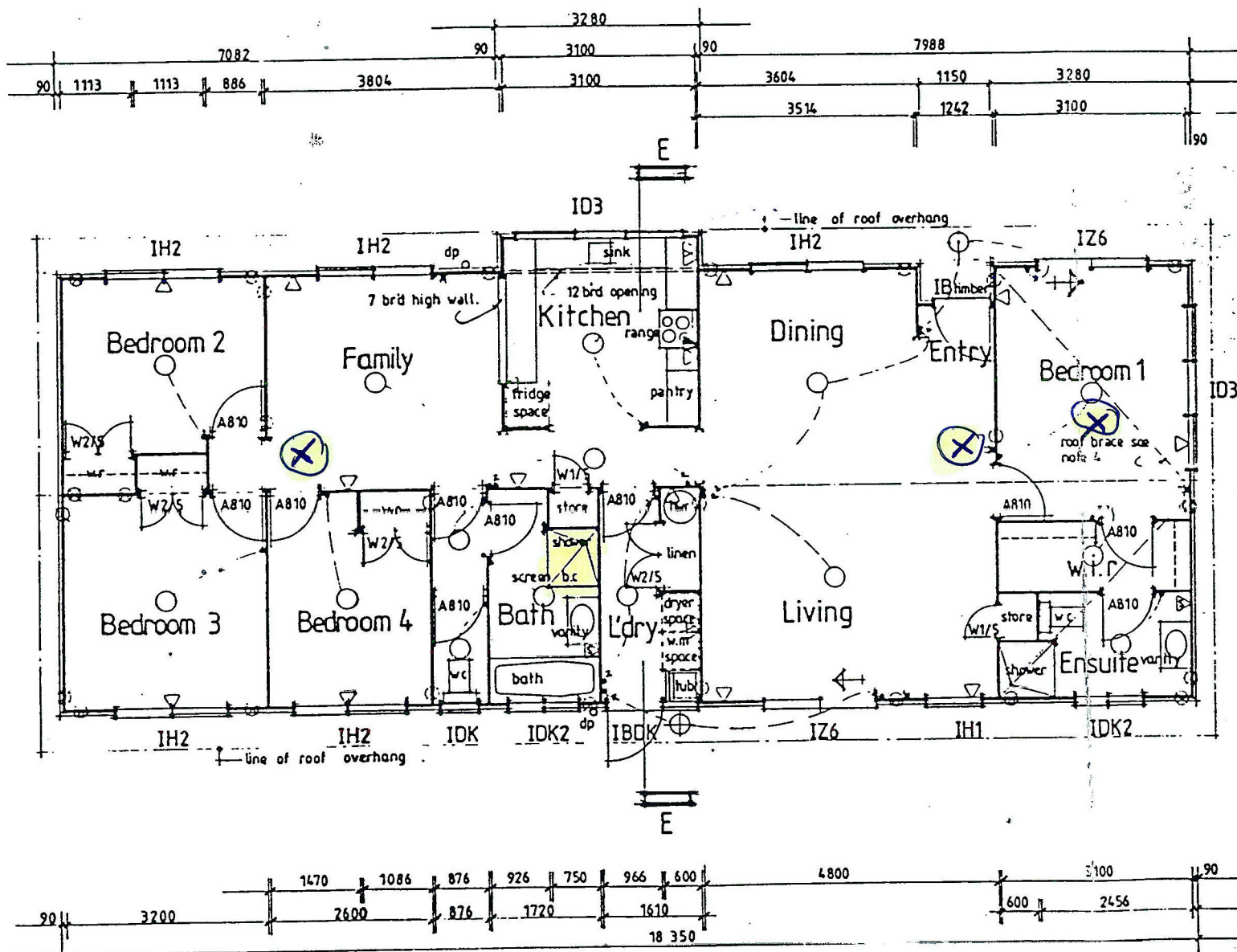
Fibreglass ceiling insulation
 Approved roofing on self supporting building paper on 75x50 purlins on edge at 900mm ctrs over approved trusses at 1200mm ctrs



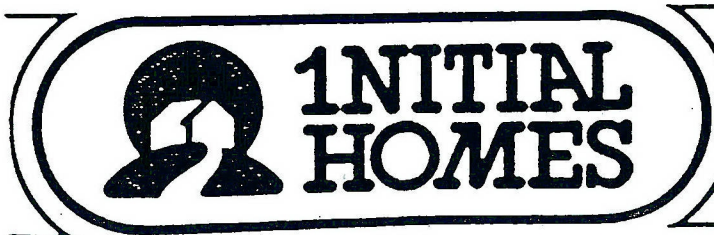
SECTION E-E

20°
 approved ceiling lining
 approved soffit lining
 Approved sheathing over building paper over 50x40 battens on alum. foil over 44mm INITIAL solid wall construction system.
 Approved base lining by owner / contractor

20mm particle board flooring on 200x50 joists at 600mm ctrs. on 2/150x50 bearers over approved piles at 1650mm ctrs. max.
 Perforated alum foil insulation.



FLOOR PLAN



CLIENT
 G. and C. Wills Lot 2 DP 79913
 Kaikokopu Road, Wanganui
 BUILDER
 Morris and Son Ltd.

DRAWING
 PLAN, SECTION, ELEVATIONS
 HOUSE TYPE
 MALLARD
 FLOOR AREA
 133.35m² (1435ft²)

DRAWN
 JAP
 CHECKED
 DATE
 23/03/1993
 SCALES
 1:50, 1:100
 ELEVATE

AMENDMENTS
 10 08 93 Using notes.
 1/9/93 12 brd opening, 7 brd wall.
 Eng. cert AUG 94
 NOTES
 1. Foundation construction to comply with NZ building code and NZ 3604.
 2. NZS BU rating earthquake A
 3. 2kw heater to Living by owner.
 4. Dragon ties to comply with NZS 3604.

ELECTRICAL KEY

 SHEET
 1