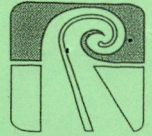




# APPLICATION FORM BUILDING CONSENT AND PIM



Chq 318.75

BC Number 20011230



## APPLICANT

NAME: BERNARD EDWARD & WIKITORIA RIRENA ROGERS  
 MAILING ADDRESS: TAIPA VIEWS RD3 KAITAIA.  
 TELEPHONE: 09 406 1945 FAX: 094061945  
 CONTACT PERSON: BOB SAMUELS  
 MAILING ADDRESS: 34 BERGHAN RD COOPERS BCH  
 TELEPHONE: FAX/PH 094061090 FAX: 094061090

(WIKITORIA 4080190 WK)

## PROJECT

<input type="checkbox"/> New Building	Area .....m <sup>2</sup>	Property Use (eg res/com/ind):
<input type="checkbox"/> Relocated Building	Area .....m <sup>2</sup>	<u>RESIDENTIAL</u>
<input checked="" type="checkbox"/> Alts and Adds to Building	Area <u>37</u> .....m <sup>2</sup>	Description of Work: <u>PATIO + Garage</u>
<input type="checkbox"/> Demolition	Area .....m <sup>2</sup>	Intended life:
<input type="checkbox"/> Plumbing and Drainage Only	Area .....m <sup>2</sup>	<input checked="" type="checkbox"/> Indefinite but not less than 50 years
<input type="checkbox"/> Other (please specify)	Area .....m <sup>2</sup>	<input type="checkbox"/> Specified as ..... years

## ESTIMATED VALUE OF WORK (GST INCL)

Building \$2500... Plumbing and Drainage \$N/A... Total Value \$2500...

## PROJECT LOCATION

Street Address: TAIPA VIEW RD HIGHWAY 10 TAIPA.  
 Legal Description (as shown on Certificate of Title): LOT 17 DP 195263  
ALLOCATED C.T. 1238/625  
 Area: 7512 m<sup>2</sup> ..... m<sup>2</sup>/ha  
 Valuation number: 85 18127

Requirements to be met for a Building Consent Application. All boxes are to be ticked by the applicant and verified by the technical clerk or building inspector at the time of lodgment. Applications not meeting these requirements may not be accepted.

## THIS APPLICATION IS FOR

- Building consent only; in accordance with project information memorandum no .....
- Both building consent and project information memorandum

# CHECK SHEET

## APPLICATION

Check  
Yours Ours

- One copy of this application form
- One copy of any authorizations required by the Project Information Memorandum (PIM) which relates to this application. (This is if PIM has previously been applied for)

NOTE: Vehicle crossings and footpath damage  
Is there a vehicle crossing required? If so please request a standard construction detail from the council officer  
Is there footpath damage? If damage has occurred before site works start then notify the council officer (charges may be applicable if damage occurs)

NOTE: All applications for a consent will lapse after 60 days if  
- the consent is not uplifted after approval; or  
- further information requested is not supplied

## SPECIFIC DESIGN (where applicable)

Check  
Yours Ours

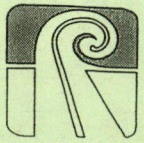
- Three copies of engineering calculations and drawings and associated producer statements
- Three copies of engineer design effluent disposal system (TP58)
- Three copies of engineer calculations for thermal resistance when specific design is proposed
- Three copies of ground test details and reports

NOTE: Ground that does not have a ground bearing capacity of 100K.p.a. will require to the foundations to be specifically designed.

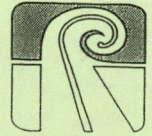
## CONSTRUCTION

Check  
Yours Ours

- Three copies of subfloor bracing design and calculations. Detail all pile types and fixings and floor joist layout for each floor
- Three copies of wall bracing element details showing location, type, fixing details and bracing schedule
- Three copies of truss layout (include truss number and truss fixing details) or roof framing and strutting beam layout
- Three copies of all fire and egress details, full specification of fire wall construction, fire doors and windows etc



# APPLICATION FORM BUILDING CONSENT AND PIM



BC Number ... 20011230

**APPLICANT**

NAME: Burns & Wilby Rogers.

MAILING ADDRESS: Veretata

TELEPHONE: \_\_\_\_\_ FAX: \_\_\_\_\_

CONTACT PERSON: Mike Clapham.

MAILING ADDRESS: P.O Box 31 Waipapa

TELEPHONE: 4079861 FAX: 4079871

RECEIVED  
22 MAR 2001

**PROJECT**

<input checked="" type="checkbox"/> New Building	Area ... <u>50.4</u> ... m <sup>2</sup>	Property Use (eg res/com/ind): <u>RES</u>
<input type="checkbox"/> Relocated Building	Area ..... m <sup>2</sup>	Description of Work: <u>to erect new garage workshop &amp; <del>new</del> PATIO.</u>
<input checked="" type="checkbox"/> Alts and Adds to Building	Area ... <del>31</del> ... m <sup>2</sup>	
<input type="checkbox"/> Demolition	Area ..... m <sup>2</sup>	
<input type="checkbox"/> Plumbing and Drainage Only	Area ..... m <sup>2</sup>	
<input type="checkbox"/> Other (please specify)	Area ..... m <sup>2</sup>	

Intended life:

Indefinite but not less than 50 years

Specified as ..... years

**ESTIMATED VALUE OF WORK (GST INCL)**

Building \$ 11300 Plumbing and Drainage \$ ..... Total Value \$ 11300

**PROJECT LOCATION**

Street Address: Taiapa View Rd

Legal Description (as shown on Certificate of Title): Lot 17, P.P. 1952.63

Area: 7512 m<sup>2</sup>/ha

Valuation number: 85 - 181 - 27

Requirements to be met for a Building Consent Application. All boxes are to be ticked by the applicant and verified by the technical clerk or building inspector at the time of lodgment. Applications not meeting these requirements may not be accepted.

**THIS APPLICATION IS FOR**

Building consent only; in accordance with project information memorandum no .....

Both building consent and project information memorandum

# CHECK SHEET

## APPLICATION

Check  
Yours   Ours

- One copy of this application form
- One copy of any authorizations required by the Project Information Memorandum (PIM) which relates to this application. (This is if PIM has previously been applied for)

NOTE: Vehicle crossings and footpath damage  
 Is there a vehicle crossing required? If so please request a standard construction detail from the council officer  
 Is there footpath damage? If damage has occurred before site works start then notify the council officer (charges may be applicable if damage occurs)

NOTE: All applications for a consent will lapse after 60 days if

- the consent is not uplifted after approval; or
- further information requested is not supplied

## SPECIFIC DESIGN (where applicable)

Check  
Yours   Ours

- Three copies of engineering calculations and drawings and associated producer statements
- Three copies of engineer design effluent disposal system (TP58)
- Three copies of engineer calculations for thermal resistance when specific design is proposed
- Three copies of ground test details and reports

NOTE: Ground that does not have a ground bearing capacity of 100K.p.a. will require to the foundations to be specifically designed.

## CONSTRUCTION

Check  
Yours   Ours

- Three copies of subfloor bracing design and calculations. Detail all pile types and fixings and floor joist layout for each floor
- Three copies of wall bracing element details showing location, type, fixing details and bracing schedule
- Three copies of truss layout (include truss number and truss fixing details) or roof framing and strutting beam layout
- Three copies of all fire and egress details, full specification of fire wall construction, fire doors and windows etc

**PLANNING CHECK SHEET FOR BUILDING CONSENTS**

APPLICANT: B & W Rogers BC#: 20011230

TRANSITIONAL DISTRICT PLAN

PROPOSED FAR NORTH DISTRICT PLAN

ZONE: Rural A

ZONE: Rural Living

NOTES:

NOTES:

OK ..... small job

STATUS: Permitted

STATUS: Permitted

~~FURTHER INFORMATION REQUIRED.~~

~~FORM 4A ISSUED / PLANNING CONSENT REQUIRED.~~



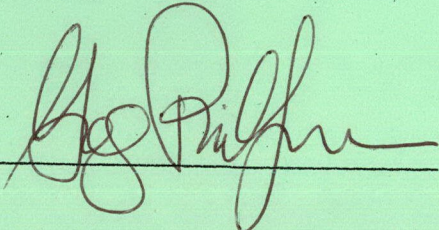
APPROVED FOR PLANNING -- MAY PROCEED



APPROVED SUBJECT TO ACCEPTABLE ADDITIONAL INFORMATION



AWAITING AN APPLICATION FOR RESOURCE CONSENT

SIGNED: 

DATE: 12 April 2001

Catherine

Urgent

Followup

Please merge with  
garage applic  
check  
B.L

Rogers Wiki

09 4061945

ABA 20011230

## BUILDING CERTIFIER (where applicable)

Check  
Yours Ours

- One copy of plans and specifications and relevant certificates and calculations and producer statements
- One copy of information as to areas certified
- For building consent application supply copy of issued PIM and any relevant authorizations requested as a result of the PIM

## SERVICES

Check  
Yours Ours

- Three copies of all plumbing and drainage details including acceptable solution to be used
- Three copies of electrical layout
- Three copies of all mechanical services details ie sprinkler systems, lifts, air conditioning systems etc. (A separate check list form for systems necessitating a compliance schedule on *non residential* building only is available from the building office)
- Details of backflow prevention (for protection of potable water supply)

NOTE: One copy of as-built drainage plan will be required prior to issue of the Code Compliance Certificate

NOTE: Applications for vehicle crossing, drainage and water connection services should have been made with the application for a Project Information Memorandum

## PLANS

Check  
Yours Ours

- Three copies of plans, elevations, cross section and details drawn to standard metric scales eg 1:100 and 1:50. Plans to be drawn in ink
- Three copies of relevant producer statement, building industry authority accreditation certificates, determinations or applications for waivers
- Three copies of the site plan, showing dimensions of proposed building from the boundaries of the site, including sewer and stormwater drainage. Plans must also show finished floor levels in relation to finished ground levels and location and uses of all existing buildings on site and any water bodies.
- Three copies of building specifications
- One copy of the Certificate of Title
- For rural sites, three copies of the locality plan

NOTE: Structural plans are not necessary for a PIM only application

## POOLS (including spa pools)

Check  
Yours Ours

- Three copies of construction details or manufacturers design
- Details of pool filling, backflow prevention and backwash facilities (backwash to go to sewer via a gully trap)
- Three copies of pool fencing details

NOTE: It is now a requirement of the Building Act that a pool fence has a building consent

## HEATER

Check  
Yours Ours

- One copy of manufacturers design and fitting instructions
- Details of wetback and name of craftsman plumber doing the job
- Name of appliance installer
- Three copies of all construction details ie floor strengthening or rafter replacement

## CONTRACTORS

Builder: Versatule Telephone: 6679861  
Address: \_\_\_\_\_  
Designer: \_\_\_\_\_ Telephone: \_\_\_\_\_  
Address: \_\_\_\_\_  
Registered Drainlayer: \_\_\_\_\_ Telephone: \_\_\_\_\_  
Address: \_\_\_\_\_  
Registered Plumber: \_\_\_\_\_ Telephone: \_\_\_\_\_  
Address: \_\_\_\_\_  
Registered Electrician: \_\_\_\_\_ Telephone: \_\_\_\_\_  
Address: \_\_\_\_\_

Signed by or for and on behalf of the applicant:

Name: 

Position (eg owner/builder): \_\_\_\_\_ Date: \_\_\_\_\_

## FOR COUNCIL USE


Date Received: 20.3.01 Deposit Fee: 378.75 Receipt No: \_\_\_\_\_

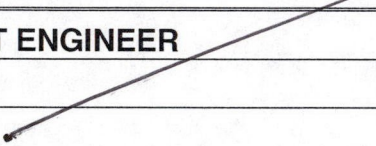
Under section 33 of the Building Act 1991 the applicant must be the owner of the land on which building work is contemplated or a person who or which has agreed in writing, whether conditionally or unconditionally, to purchase the land or any leasehold estate or interest in the land, or to take a lease of the land, while the agreement remains in force.

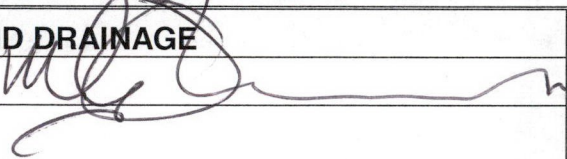
**PRIORITY: SUPER URGENT  
TO BE PROCESSED UNDER BOTH TDP AND PDP PLANS**

**BUILDING CONSENT NO ABA 20011230  
TRACKING SHEET**


<b>NAME:</b>	ROGERS, B & W	<b>DATE:</b>	22.3.01
<b>VAL NO:</b>	VR: 00085-181-27		
<b>LEGAL DESC:</b>	LT 17 DP 195263		
<b>BUILDING:</b>	NEW GARAGE/ WORKSHOP		+ PATIO .
<b>LOCATION</b>	TAIPA VIEW ROAD, TAIPA		


<b>RESOURCE PLANNER</b>	
<b>DATE:</b> 12 APR '01	<b>SIGNED:</b> 
<b>CONDITIONS:</b>	

<b>DEVELOPMENT ENGINEER</b>	
<b>DATE:</b>	<b>SIGNED:</b> 
<b>CONDITIONS:</b>	

<b>PLUMBING AND DRAINAGE</b>	
<b>DATE:</b> 12/04/07	<b>SIGNED:</b> 
<b>CONDITIONS:</b>	

<b>BUILDING INSPECTOR</b>	
<b>DATE:</b> 12/04/07	<b>SIGNED:</b> 
<b>CONDITIONS:</b>	

<b>OTHER:</b>	
<b>DATE:</b>	<b>SIGNED:</b> 
<b>CONDITIONS:</b>	

<b>NO. OF INSPECTIONS:</b>	
<b>NRC SEPTIC TANK BOOKLET TO BE ENCLOSED:</b>	

3 x 2

Wiki Roges (Garage/Dock)

Invoice \$210/\$280

Thur/Frid

Statement \$378.75

20011230

Operative District Plan

Proposed District Plan

Zoning: Rural A

Zoning: Rur Liv

Standards/Rules not complied with:


Type of Activity under the Resource Management Act 1991?

Perm

Perm

Does the project require a Resource Consent under either Plan?

No

No

Yes

Yes

Resource Consent granted?

No

Yes

RC # \_\_\_\_\_

Date Granted: \_\_\_\_\_

Conditions appropriate to this project?

No

Yes  Attached.

Has this property been part of a subdivision?

No

Yes

Licenses that may be required to operate:

Liquor License

Health License

Dangerous Goods License

Other License \_\_\_\_\_

**Note:** This listing is not intended to contain all licenses, permits or other legal requirements relevant to the prop project.



Reference:  
 Prior CT: 123A/447  
 Document No.: D409886.3

**CERTIFICATE OF TITLE UNDER LAND TRANSFER ACT 1952**

This Certificate dated the 15th day of July One Thousand Nine Hundred and Ninety Nine under the seal of the Registrar-General of Land, New Zealand, for the Land Registration District of NORTH AUCKLAND

**WITNESSETH that TAIPA VIEW LIMITED**

is seised of an estate in fee simple (subject to such reservations, restrictions, encumbrances and interests as are notified by memorial endorsed hereon) in the land hereinafter described, delineated on the plan hereon, be the several admeasurements a little more or less, that is to say: All that parcel of land containing 7512 square metres, more or less being **LOT 17 DEPOSITED PLAN 195263** and an undivided one thirtyfirst share in 19.1140 hectares more or less being **LOTS 31 and 32 DEPOSITED PLAN 195263**



Subject to Section 241(2) Resource Management Act 1991

Appurtenant hereto is a water pipeline easement over part Allotment 56 Parish of Taipa CT 67C/999 and part Lot 3 DP 128775 marked B DP 128775 CT 75A/473 created by Transfers A388217 and A397039

D409886.2 Consent Notice under Section 221(1) Resource Management Act 1991

Subject to a stormwater drainage easement in gross over the part Lot 31 herein marked G DP 195263 to Far North District Council created by Transfer D409886.4 both 15.7.1999 at 9.00

The above easement marked G is subject to Section 243 (a) Resource Management Act 1991

*[Signature]*  
 For RGL

D425236.1 Transfer containing land covenant

D425236.2 Mortgage to The National Bank of New Zealand Limited *entered in 2000*

~~at~~ 31.8.1999 at 9.00

*[Signature]*  
 for RGL

D436128.1 Transfer to Bernard Edward Rogers and Wikitoria Rirema Rogers

Fencing covenant in Transfer D436128.1

4.10.1999 at 10.40.

*[Signature]*  
 for RGL





Approved:  
I hereby certify that this plan was approved by the Far North District Council pursuant to Section 223 of the Resource Management Act 1991 on the 11th day of MARCH 1999.  
Subject to the Amalgamation Conditions set out hereon and subject to the Granting or Resurvey of the Estate Set out in the Memorandum shown hereon.

Authorised Officer: *[Signature]*

AMALGAMATION CONDITIONS  
THAT LOTS 25, 26, 27, 28, 33 & 35 HEREON BE HELD IN THE SAME CERTIFICATE OF TITLE.  
SEE A.633694

THAT LOTS 31 & 32 HEREON (HEREINAFTER) BE HELD AS TO 25 UNDIVIDED ONE THIRTY FIRST (1/31) SHARES BY THE OWNERS OF LOT 2 TO LOT 24 INCLUSIVE, 29 & 30 HEREON TOGETHER WITH ONE UNDIVIDED SIX THIRTY FIRST (6/31) SHARE HELD BY THE OWNERS OF LOTS 25, 26, 27, 28, 33 & 35 HEREON, AND THAT INDIVIDUAL CERTIFICATES OF TITLE BE ISSUED IN ACCORDANCE THEREWITH.  
SEE A.633694

MEMORANDUM OF EASEMENTS IN GROSS

PURPOSE	SHOWN	SERVIENT TENEMENT	GRANTEE
DRAINAGE (STORM-WATER)	B	LOT 3	FAR NORTH DISTRICT COUNCIL
	C	LOT 11	
	D	LOT 12	
	E	LOT 13	

NEW C/S ALLOCATED

LOT	NEW C/S	LOT	NEW C/S
LOT 2	1232/610	LOT 21	1232/628
LOT 3	1611	LOT 22	1622
LOT 4	1612	LOT 23	1630
LOT 5	1617	LOT 24	1631
LOT 6	1618	LOT 25	1632
LOT 7	1615	LOT 26	1633
LOT 8	1616	LOT 27	1634
LOT 9	1617	LOT 28	1635
LOT 10	1618	LOT 29	1636
LOT 11	1619	LOT 30	1637
LOT 12	1620	LOT 31	1638
LOT 13	1621	LOT 32	1639
LOT 14	1622	LOT 33	1640
LOT 15	1623	LOT 34	1641
LOT 16	1624	LOT 35	1642
LOT 17	1625		
LOT 18	1626		
LOT 19	1627		

Total Area 78.0594ha

Comprised in CT112A/389 (Pt)

I, Donald Barrington Von Stummer, of Nelson, Registered Surveyor and holder of an annual practicing certificate for who may act as a registered surveyor pursuant to section 28 of the Survey Act 1980 hereby certify that this plan has been made from surveys conducted by me or under my direction, that both plan and survey are correct and have been made in accordance with the Survey Regulations 1972 or any regulations made in substitution thereof.  
Dated at Nelson this 15th day of March 1999. Signature: *[Signature]*

Field Book: ..... p. Traverse Book: ..... p.  
Reference Plans: .....  
Examined: ..... Correl. P. Purkie: 205

Approved as to Survey: *[Signature]*  
Chief Surveyor

Deposited this 23rd day of March 1999  
District Land Registrar

File 155-457-2000  
Received: .....  
DP 10520

MEMORANDUM OF EASEMENTS IN GROSS

PURPOSE	SHOWN	SERVIENT TENEMENT	GRANTEE
DRAINAGE (STORM-WATER)	F	Lot 2	Far North District Council
	G	Lot 31	
	H	Lot 16	

Pt Allot 57 Taipa Parish

LAND DISTRICT NORTH AUCKLAND  
SURVEY BLK. & DIST. IV MANGONUI  
NZMS 261 SH1 RECORD MAP No

LOTS 2-35 BEING SUBDIVISION OF  
PT ALLOT 57 TAIPA PARISH

TERRITORIAL AUTHORITY Far North District  
Surveyed by: *[Signature]* DB Von Stummer  
Scale 1:3000 Date Feb 1999

# BUILDING CONSENT PROCESSING SHEET

CONSENT NUMBER: .....

DATE RECEIVED: .....

SITE ADDRESS: .....

ACTION/OFFICER	TIME	NO INSPECT	TRVL TIME	INITIALS	E
Check application - Administrator	Mins .....			.....	.....
Prepare file and data entry	Mins .....			.....	.....
Process application - Resource Planner - Environmental Health - Plumbing and Drainage - Building officer - Engineer - land fill - flood prone	Mins ..... Mins ..... Mins ..... Mins ..... Mins ..... Yes/No Yes/No			..... ..... ..... ..... ..... ..... .....	..... ..... ..... ..... ..... ..... .....
Dangerous Goods/Geothermal	Mins .....			.....	.....
Recreation and Community	Mins .....			.....	.....
Word processing	Mins .....			.....	.....
Update data entry, issue invoice	Mins .....			.....	.....
Issue consent	Mins .....			.....	.....
Fax/coping costs	Yes/No			\$ .....	.....
Sewerage connection required	Yes/No				
Water connection required	Yes/No				
Stormwater connection required	Yes/No				
<b>TOTAL</b>	Mins .....				

**TAX INVOICE ONLY**

ROGERS, BERNARD EDWARD  
 C/- MIKE CLAPSHAW  
 VERSATILE BUILDINGS  
 P O BOX 31  
 WAIPAPA 0470

ABA A/C: 147012  
 INVOICE DATE: 01/08/2001  
 INVOICE NO: 8082  
 RFS NUMBER: ABA20011230

**BUILDING CONSENT APPLICATION CHARGES**

**Details:** VR: 00085-181-27 NEW GARAGE/WORKSHOP & PATIO

**Site Address:** STATE HIGHWAY 10

Description	Amount
Reverse - Inspection Fee	140.00 CR

This invoice includes GST of: \$ 15.56 CR

**TOTAL:** \$ 140.00 CR

Please note that no Building Consent will be issued until all scheduled fees have been paid. These fees have been based on  inspections. Please note that if more inspections are carried out than specified on this account then a further charge of \$70.00 per inspection will apply and must be paid prior to issue of a Code of Compliance Certificate.

**NAME OF A/C:**

ROGERS, BERNARD EDWARD  
 C/- MIKE CLAPSHAW  
 VERSATILE BUILDINGS  
 P O BOX 31

ABA A/C: 147012  
 INVOICE DATE: 01/08/2001  
 INVOICE NO: 8082  
 RFS NUMBER: ABA20011230  
**TOTAL:** \$ 140.00 CR



**Approvals**  
 I hereby certify that this plan was approved by the Far North District Council pursuant to Section 223 of the Resource Management Act 1991 on the 17th day of March 1999.  
 Subject to the Application Conditions set forth hereon and subject to the granting or Reserving of the Easement set out in the Memorandum of Easements in Gross.

Authorised Officer: *[Signature]*  
**AMENDATORY CONDITIONS**  
 THAT LOTS 2, 26, 27, 28, 31 & 33 HEREON BE HELD IN THE SAME CERTIFICATE OF TITLE.  
 THAT LOTS 31 & 32 HEREON BE HELD AS TO 25 UNDIVIDED ONE THIRTY FIRST (1/31) SHARES BY THE OWNERS OF LOT 2 TO LOT 24 INCLUSIVE, 29 & 30 HEREON TOGETHER WITH ONE UNDIVIDED SIX THIRTY FIRST (6/31) SHARE HELD BY THE OWNERS OF LOTS 25, 26, 27, 28, 33 & 35 HEREON AND THAT INDIVIDUAL CERTIFICATES OF TITLE BE ISSUED IN ACCORDANCE THEREWITH.  
 SEE A 633644

**MEMORANDUM OF EASEMENTS IN GROSS**

PURPOSE	FROM	SERVIENT TENEMENT	GRANTEE
DRAINAGE	2	LOT 3	FAIR
(STORM-WATER)	3	LOT 4	NORTH
	4	LOT 11	DISTRICT
	5	LOT 12	COUNCIL
	6	LOT 13	

**NEW COT ALLOCATED**

LOT	AREA	LOT	AREA
LOT 2	222.8	LOT 30	122.8
LOT 3	161.0	LOT 31	161.0
LOT 4	161.2	LOT 32	161.2
LOT 5	161.3	LOT 33	161.3
LOT 6	161.4	LOT 34	161.4
LOT 7	161.5	LOT 35	161.5
LOT 8	161.6	LOT 36	161.6
LOT 9	161.7	LOT 37	161.7
LOT 10	161.8	LOT 38	161.8
LOT 11	161.9	LOT 39	161.9
LOT 12	162.0	LOT 40	162.0
LOT 13	162.1	LOT 41	162.1
LOT 14	162.2	LOT 42	162.2
LOT 15	162.3	LOT 43	162.3
LOT 16	162.4	LOT 44	162.4
LOT 17	162.5	LOT 45	162.5
LOT 18	162.6	LOT 46	162.6
LOT 19	162.7	LOT 47	162.7

Total Area 78.0594ha  
 Comprised in C112A/389 (PU)

I, Donald Barrington Von Sturmer of Kaipara, Registered Surveyor and holder of an annual practicing certificate for who may act as a registered surveyor pursuant to section 75 of the Survey Act 1992 hereby certify that this plan has been made from surveys executed by me or under my direction, that both plan and survey are correct and have been made in accordance with the Survey Regulations 1977 or any regulations made in substitution thereof. Dated at Kaipara this 15th day of March 1999. *[Signature]* Donald Von Sturmer

Field Book: p. Traverse Book: p.  
 Reference Plan: *[Blank]*  
 Examined: *[Blank]* Correct *[Blank]* E.O.S.

Approved as to Survey: *[Signature]*  
 29/3/99  
 Chief Surveyor

Deposited this 29th day of March 1999  
 for the Registrar-General of Land  
 District Land Registrar

File 1999-11  
 Received and filed 17 MAR 1999  
 DP 195263

**MEMORANDUM OF EASEMENTS IN GROSS**

PURPOSE	SHOWN	SERVIENT TENEMENT	GRANTEE
Drainage (Stormwater)	(1)	LOT 2	FAIR NORTH DISTRICT COUNCIL
	(2)	LOT 31	
	(3)	LOT 34	

Pt Allot 57  
 Taipa Parish

LAND DISTRICT NORTH AUCKLAND  
 SURVEY BLK. 8 DIST. IV MANGONUI  
 NZMS 261 SHT RECORD MAP No

LOTS 2-35 BEING SUBDIVISION OF  
 PT ALLOT 57 TAIPA PARISH

TERRITORIAL AUTHORITY Far North District  
 Surveyed by *[Signature]* D B Von Sturmer  
 Scale 1:3000 Date Feb 1999

FROM: MIKI & BERNIE ROBERTS PHOTO NO.: 64 09 4061945 MAR. 19 2001 08:24 PM P1

**FAX MESSAGE**

Date: 24 April, 2001

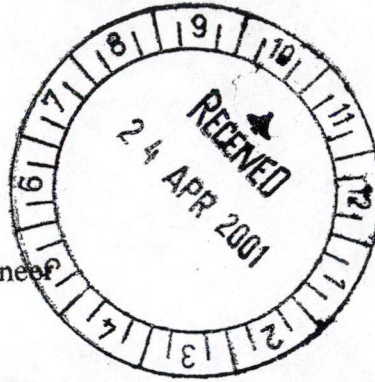
Number of sheets: 2

To: Environmental Services  
Far North District Council  
Kaitaia

From: Richard I R Catterall, Consulting Engineer  
P O Box 53, Mangonui

Phone/Fax 09-406 0668

Subject: **BUILDING CONSENT ABA 2001230**  
**B E Rogers - Taipa View Road**



2001230

85-181-27

Inspection of the foundations for the garage to be erected at the Rogers house shows weak material under part of the foundation.

Investigation has shown that there is firmer clay found approximately 800 mm below the ground. In order to provide uniform support to the garage it is recommended that pencil piles - 150 mm diameter and 1.2 m deep (minimum) - be installed along the affected areas. These piles will provide the necessary support for the building.

Details are shown on the attached calculation sheet.

R I R CATTERALL  
MA, MICE, MIPENZ

A handwritten signature in black ink, appearing to be "R I R Catterall", written over a horizontal line.

# CALCULATION SHEET

**RICHARD I.R. CATTERALL**

M.A., M.I.C.E., M.I.P.E.N.Z.

**CONSULTING ENGINEER**

PO BOX 53, MANGONUI, FAR NORTH. TEL / FAX 0-9-406 0668.

JOB NAME: *BE Rogers*

PAGE No: *1*

SECTION: *Garage Foundation*

JOB No: *1403*

DESIGNED: *RC*

DATE: *24/4/01*

CHECKED:

Conventional vertical Garage - concrete foundation.

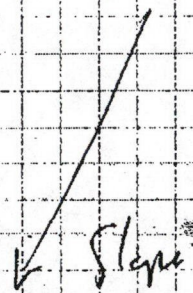
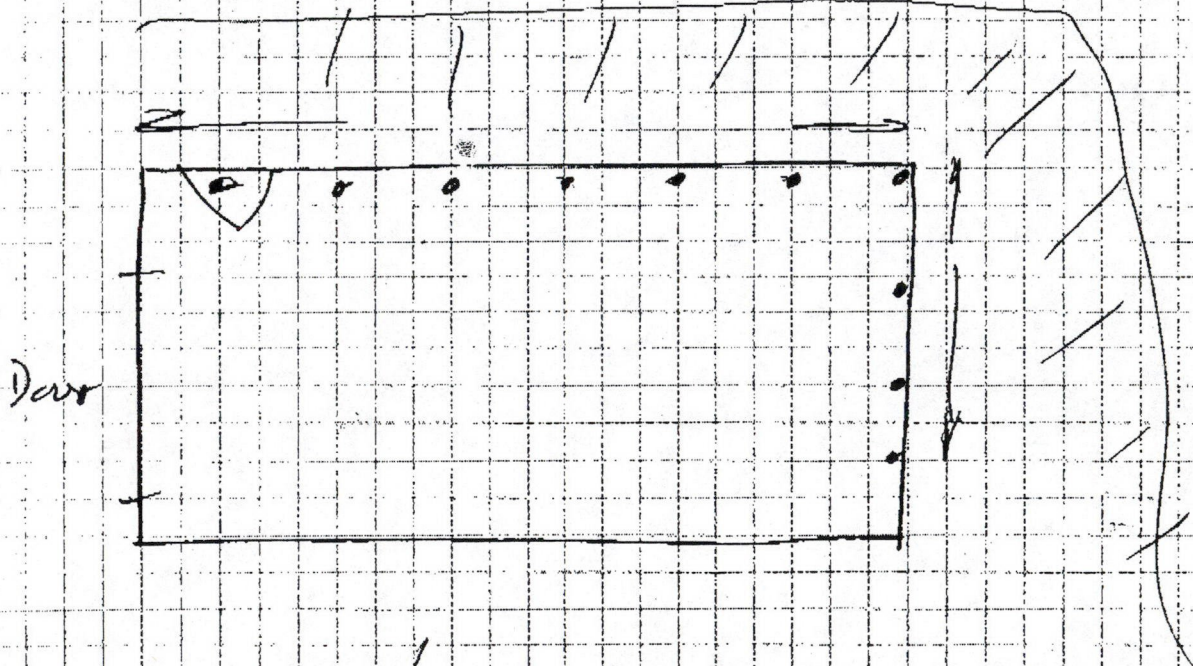
Excavate shows soft areas. Test using SV = 55'  
outer side = 95'

∴ differential settlement likely.

Test using penetrometer. Former layerland  
8000-12m below surface:

Hence recommend pencil piles to provide additional  
support.

Piles @ 1.5m centres O.K. -



All piles 1200 deep minimum  
150  $\phi$  and reinforced with  
1-D 12 rod

LOT 17 DP 195 263  
TAIPA VIEW ROAD  
RD3  
KAITIAIA

# SITE INSPECTION SHEET

Name: ROBERS, B & W BC Number: 20011230  
Site Address: Tampa View Rd, Tampa Val. Ref. 85-181-27  
Date: 22/3/01

What is the ground topography:

- Gentle  
 Moderate  
 Steep

Wind Zone:

- High  
 Very High  
 Specific engineering design  
 Sea Spray Zone

Vehicle Crossing:

- Required  
 Is there footpath damage  
 Is a deposit required

Council Services:

- Is sewage available  
 Is water reticulation available

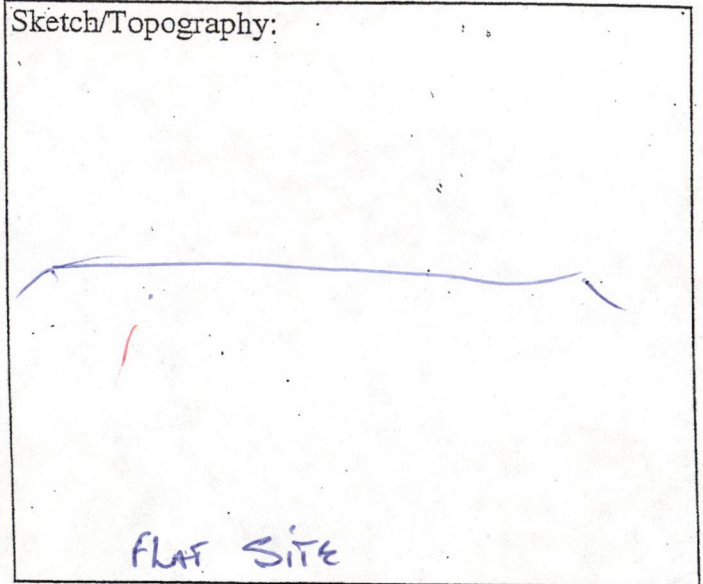
On-site effluent disposal:

- Is the area suitable  
 Is there room for a reserve area  
 Is there local knowledge of poor soakage  
 Engineering Design required

Engineering Required and Section 36 items:

- Signs of slippage  
 Poor soils  
 Fill on site  
 Un-natural profiles  
 ~~Flooding~~  
 Foundations

Sketch/Topography:



NEW GARAGE + PATIO

Other Comments:

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Council or Private Easements:

- Man hole covers  
 Over land flow path  
 Overhead wires

Note: Enter  $\checkmark$  or X in each box to indicate yes or no.

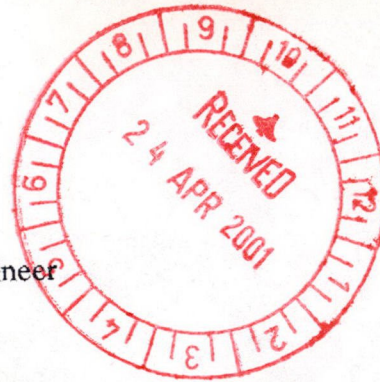
Inspector: BEFORUH R. Nasar Date of Inspection: 18-4-2001

**FAX MESSAGE**

**Date:** 24 April, 2001

**Number of sheets:** 2

**To:** Environmental Services  
Far North District Council  
Kaitaia



**From:** Richard I R Catterall, Consulting Engineer  
P O Box 53, Mangonui

Phone/Fax 09-406 0668

**Subject:** **BUILDING CONSENT ABA 2011230**  
**B E Rogers - Taipa View Road**

20011230

85-181-27

Inspection of the foundations for the garage to be erected at the Rogers house shows weak material under part of the foundation.

Investigation has shown that there is firmer clay found approximately 800 mm below the ground. In order to provide uniform support to the garage it is recommended that pencil piles -- 150 mm diameter and 1.2 m deep (minimum) - be installed along the affected areas. These piles will provide the necessary support for the building.

Details are shown on the attached calculation sheet.

R I R CATTERALL  
MA, MICE, MIPENZ

# CALCULATION SHEET

**RICHARD I.R. CATTERALL**  
 M.A., M.I.C.E., M.I.P.E.N.Z.  
 CONSULTING ENGINEER

PO BOX 53, MANGONUI, FAR NORTH. TEL / FAX 0-9-406 0668.

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PAGE No: *1*

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Conventional variable Garage - concrete foundation.

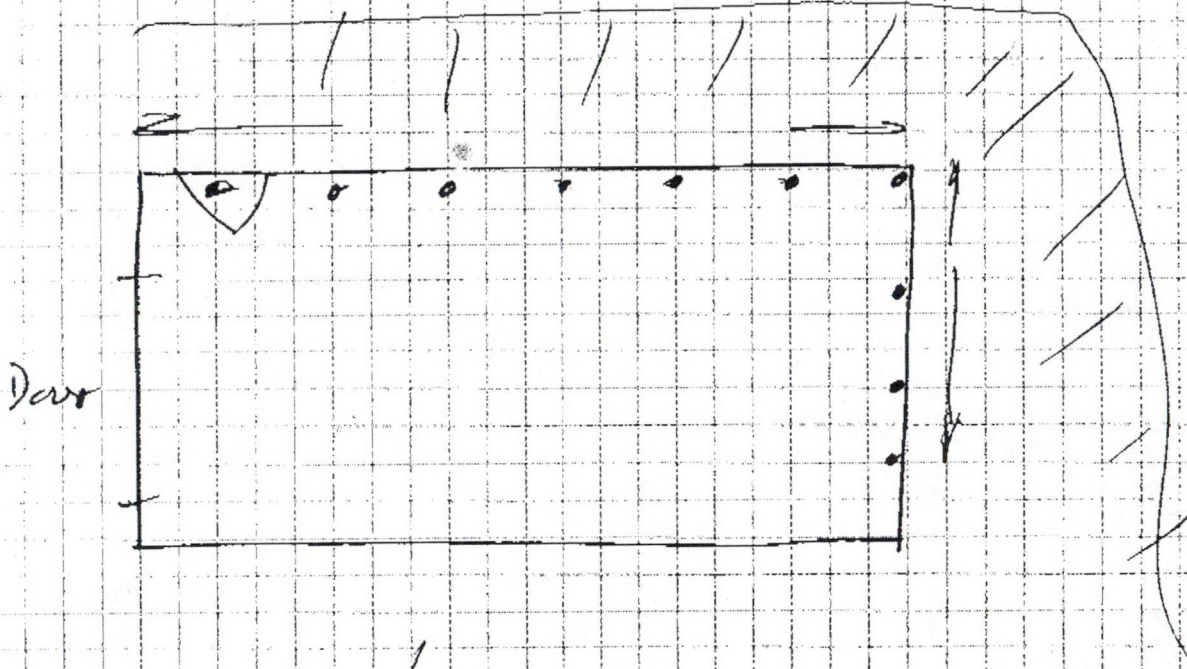
Excavate show soft areas - Test using SV = 55'  
 outside = 95'

∴ differential settlement likely.

Test using penetrometer. Former lay on land  
 8000-12000 below surface:

Hence recommend pencil piles to provide additional  
 support.

Piles @ 1.5m center o.c. -



↙ Slope

All piles 1200 deep minimum  
 150 φ and reinforced with  
 1-D12 rod

LOT 17 DP 195 263  
 TAIPA VIEW ROAD  
 RD3  
 KAIAIA

**THE APPROVED PLANS AND SPECIFICATIONS  
MUST BE KEPT 'ON SITE' DURING CONSTRUCTION AND  
AVAILABLE FOR INSPECTION BY COUNCIL'S BUILDING OFFICIALS**

1. For your own protection, if the street is damaged before commencement of work you are advised to notify the Council to arrange for inspection. You are also advised to notify this office as soon as work is completed to arrange for immediate inspection and refund of the Deposit which may be due to you.
2. Carting over Footpaths: Your attention is drawn to the provision relating to temporary footpath crossings set out on the separate sheet attached to the Building Consent.
3. After a building consent has been issued no deviation or alteration from the original plans and specifications is permissible without the written approval of the Council. It is an offence to convert the building to any other use than that stated on the consent without permission from Council.
4. This consent expires and becomes void if the building work is not commenced within six months from the date of issue, unless the applicant obtains from Council a written extension of time which may not exceed a further six months.
5. The owner of the property and builder are responsible for the correct siting of buildings or additions on the site, according to the Building Code and District Plan. The owner and builder shall ascertain the true position of survey pegs before building operations commence.
6. Any act or building deficiency not specifically drawn to the attention of the builder or owner by the Building Inspector or Engineer shall not be deemed to have been approved where such act or building deficiency is contrary to the Building Code.
7. Restrictions of the Erection of Buildings near Overhead Electric Lines: Under the Electrical Supply Regulations, 1976, it is an offence to erect any building or structure etc, within certain prescribed distances of an overhead electric line. To enquire about these restrictions, contact the nearest office of the local power supply authority.
8. The installation of fuel heaters must be in accordance with the manufacturer's installation instructions and are to have seismic restraints to comply with B1.3.3 of the Building Regulations.
9. A minimum 24 hours notice is required before inspections by Council inspectors. The builder or owner must give a minimum 48 hours notice of the beginning of construction.
10. Council's normal hours of business are Monday through Friday, except in the case of holidays, between the hours of 8.00am and 4.30pm. Inspection required outside of these hours may be billed at overtime rates.

## BUILDING CERTIFIER (where applicable)

Check  
Yours Ours

- One copy of plans and specifications and relevant certificates and calculations and producer statements
- One copy of information as to areas certified
- For building consent application supply copy of issued PIM and any relevant authorizations requested as a result of the PIM

## SERVICES

Check  
Yours Ours

- Three copies of all plumbing and drainage details including acceptable solution to be used
- Three copies of electrical layout
- Three copies of all mechanical services details ie sprinkler systems, lifts, air conditioning systems etc. (A separate check list form for systems necessitating a compliance schedule on *non residential* building only is available from the building office)
- Details of backflow prevention (for protection of potable water supply)

NOTE: One copy of as-built drainage plan will be required prior to issue of the Code Compliance Certificate

NOTE: Applications for vehicle crossing, drainage and water connection services should have been made with the application for a Project Information Memorandum

## PLANS

Check  
Yours Ours

- Three copies of plans, elevations, cross section and details drawn to standard metric scales eg 1:100 and 1:50. Plans to be drawn in ink
- Three copies of relevant producer statement, building industry authority accreditation certificates, determinations or applications for waivers
- Three copies of the site plan, showing dimensions of proposed building from the boundaries of the site, including sewer and stormwater drainage. Plans must also show finished floor levels in relation to finished ground levels and location and uses of all existing buildings on site and any water bodies.
- Three copies of building specifications
- One copy of the Certificate of Title
- For rural sites, three copies of the locality plan

NOTE: Structural plan are not necessary for a PIM only application

## POOLS (including spa pools)

Check  
Yours Ours

- Three copies of construction details or manufacturers design
- Details of pool filling, backflow prevention and backwash facilities (backwash to go to sewer via a gully trap)
- Three copies of pool fencing details

NOTE: It is now a requirement of the Building Act that a pool fence has a building consent

## HEATER

Check  
Yours Ours

- One copy of manufacturers design and fitting instructions
- Details of wetback and name of craftsman plumber doing the job
- Name of appliance installer
- Three copies of all construction details ie floor strengthening or rafter replacement

## CONTRACTORS

Builder: BERNARD ROGERS. Telephone: 09 4061945  
Address: TAIPA VIEWS

Designer: BOB SAMUELS. Telephone: 09 4061090  
Address: 34 BERGHAN RD COOPERS BEH.

Registered Drainlayer: NA Telephone: \_\_\_\_\_  
Address: \_\_\_\_\_

Registered Plumber: NA Telephone: \_\_\_\_\_  
Address: \_\_\_\_\_

Registered Electrician: NA Telephone: \_\_\_\_\_  
Address: \_\_\_\_\_

Signed by or for and on behalf of the applicant:

Name: Shogers.

Position (eg owner/builder): Shogers.

Date: 20-3--01

### FOR COUNCIL USE

Date Received: \_\_\_\_\_ Deposit Fee: \_\_\_\_\_ Receipt No: \_\_\_\_\_

Under section 33 of the Building Act 1991 the applicant must be the owner of the land on which building work is contemplated or a person who or which has agreed in writing, whether conditionally or unconditionally, to purchase the land or any leasehold estate or interest in the land, or to take a lease of the land, while the agreement remains in force.