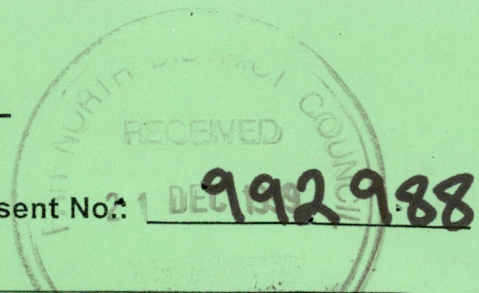


FAR NORTH DISTRICT COUNCIL
{Section 33, Building Act 1991}




TO: FAR NORTH DISTRICT COUNCIL

Building Consent No.:

992988

PART A: GENERAL {To be completed by all applicants}

APPLICANT*

NAME: Band W Rogers PHONE No.: 
MAILING ADDRESS: c/o 16 Church Road, Kaitiāia.
BUILDER: Estate Homes PHONE No.: 4082233.
ADDRESS: 16 Church Road Kaitiāia.
CONTACT PERSON: ~~Alan~~ Or ~~Del.~~ CHRIS MASKELL PHONE No.: 09 408 2339.
ADDRESS: c/- NBC
PO BOX 688 KAITIĀIA.

*Under Section 33 of the Building Act 1991, the applicant must be the owner of the land on which building work is contemplated or a person who or which has agreed in writing, whether conditionally or unconditionally, to purchase the land or any leasehold estate or interest in the land, or to take a lease of the land, while the agreement remains in force.

PROJECT

New Building Area: 171. m² Property Use(s): Single family dwelling.

Relocated Building Area: _____ m² Description of Work: Construct a brick + tile residence.

Alteration Area: _____ m² Intended Life: _____

Demolition Area: _____ m² Indefinite but not less than 50 years

Plumbing / Drainage Only Area: _____ m² Specified as _____ years

ESTIMATED VALUE {Inclusive of GST}

Building: \$ 42000 Plumbing & Drainage: \$ 8000 Total: \$ 150000

PROJECT LOCATION

STREET ADDRESS: Tiapa View Subdivision

LEGAL DESCRIPTION: {as shown on certificate of title} Lot 17 ^{NEWPP} DP 195263,
020 DP 161703

Area: 7512 (m²/ha. Valuation No.: 85-181

THIS APPLICATION IS FOR:

Building Consent only, in accordance with project information memorandum No.: _____
Issued on: _____

Both Building Consent and a Project Information memorandum.

FOR COUNCIL USE

DATE RECEIVED: 21 / 12 / 99 MINIMUM ESTIMATED CHARGE: 215.00

RECEIPT No.: 1166 PAID BY: _____

PART B: PROJECT DETAILS

{Complete only if a separate project information memorandum has to be applied for}

PROVIDE INFORMATION ON THE FOLLOWING MATTERS AS RELEVANT: {Cross applicable boxes and attach information in duplicate}

- Location, in relation to legal boundaries, and external dimensions of all existing, new, relocated, or altered buildings or demolition work.
- New and / or existing provisions for vehicular access, including parking.
- Provisions to be made in building over or adjacent to any road or public place.
- New and / or existing provisions for disposing of stormwater and wastewater.
- Precautions to be taken where building work is to take place over existing place over existing drains sewers or in close proximity to wells or watermains or under / over cables.
- New and / or existing connections to public utilities.
- New and / or existing provisions for water supply.
- Provisions to be made in any demolition work for the protection of the public, suppression of dust, disposal of debris, disconnection from public utilities, and suppression of noise.
- Any cultural heritage significance of the building site, including if it is on a Marae.

PART C: BUILDING DETAILS {To be completed by all applicants}

THIS APPLICATION IS ACCOMPANIED BY: {Cross applicable boxes, attach relevant documents in duplicate}

- Copy of the Certificate of Title.
- What Existing Buildings are on the Property?
- The Site Plan and Drawings, Specifications, and other documents according to which the building is proposed to be constructed to comply with the provisions of the Building Code, with supporting documents, if any, including:
 - Building Certificates *TO FOLLOW.*
 - Producer Statements
 - References to Accreditation Certificates Issued by the Building Industry Authority
 - References to Determinations Issued by the Building Industry Authority
- Proposed procedures, if any, for inspection during construction *NBC LTD.*

Nationwide Building Certifiers Ltd
P O Box 940
9-296-6099

BUILDING CERTIFIER'S MONTHLY INSPECTION REPORT
Issued under section 57 (3)(a) of the Building Act 1991

ISSUED BY:
Nationwide Building Certifiers Ltd
APPROVED BUILDING CERTIFIER 0020
Currently approved and registered as a Corporate Building Certifier
Report number 385BA897/3 - dated 3 May 2000

Building Certificate: 385BA897

Building Consent: BC: 992988

Date Uplifted: 18.01.00

Council: Far North District Council

Type of Project: Dwelling and attached garage

Valuation No: 00085/18100

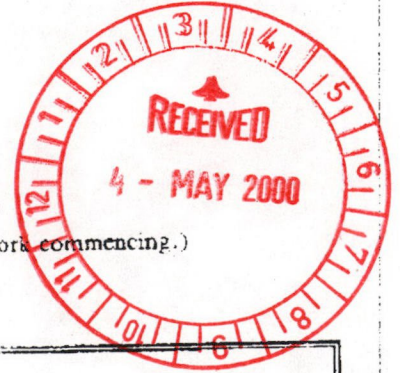
Address: State Highway 10, ORURU

<i>Type Of Inspection</i>		<i>Date of Inspection</i>	<i>Complies</i>	<i>Consultant</i>	<i>Comments</i>
Foundations	Strip footing	19.01.00	YES	CMASK	Good ground. Steel in place
Floor slab	Floor slab general	03.02.00	YES	CMASK	mesh, membrane, thickness
Pre-lining	Pre-line general	06.03.00	YES	CMASK	P/L % H2O, Frame
Drainage	Foulwater - AS3500 or NZ Building Code	10.04.00	YES	CMASK	Drains, bedding, falls & connection
	Irrigation field	10.04.00	YES	CMASK	Drains, bedding, falls & connection
	Grease traps	10.04.00	YES	CMASK	Drains, bedding, falls & connection
Interim final and Final	Final inspection general	28.04.00	YES	CMASK	All as per code - As built and truss certificate in hand. OK for CCC

FAR NORTH DISTRICT COUNCIL

NOTIFICATION OF LICENSED TRADESMEN

(To be completed and returned to Council a minimum of 2 days prior to any work commencing.)



Building Consent No. BC 992988

APPLICANT		
Name:	ROGERS, B & W	Tel:
Contact:	NATIONWIDE BUILDING CERTIFIERS	
Address:	C/- 16 CHURCH RD, KAITAIA	

PROJECT AND LOCATION		
Description of Work:	NEW DWELLING AND ATTACHED GARAGE	
Street Address:	STATE HIGHWAY 10 ORURU RIDING	
Area:	.00000 H	Valuation No: PT00085-181-00
		WARD : NORTHERN

In compliance with the Plumbers, Drainlayers and Gasfitters Act 1975 and the Energy Sector Reform Act 1992, the following tradesman/men has/have been hired to carry out the work described in the above referenced Building Consent:

PLUMBER	
Name:	PAE Chris Buckman - Mangonui Plumbing
Address:	
Telephone:	4060528
Signature:	
License No:	
Date:	

DRAINLAYER	
Name:	Mangonui Plumbing
Address:	
Telephone:	4060528
Signature:	
License No:	
Date:	

ELECTRICIAN	
Name:	PD ENTERPRISES - Paul Dunsbee
Address:	Whatuwhiwhi
Telephone:	4087282
Signature:	
License No:	
Date:	

GASFITTER	
Name:	Brent Perry
Address:	do Apex Plumbers Blencowe St, Kaitaia
Telephone:	4080830
Signature:	
License No:	
Date:	

FAR NORTH DISTRICT COUNCIL



Date: 20/12/09

Mr/Mrs B & W ROWERS

C/- N.B.C.

B/P File: 992988

Box 688 KAITAIA

Valuation Ref: 85-181

I have to advise that following are the fees for the proposed

PLUMBING

AT TAIPA VIEWS SUBMISSION LOT 17 DP 195263

Building Permit
Plumbing & Drainage
ESBAABC

150.00

Relocation Bond
DPBAADD

PIM Fee
ESBAAFE

65.00

Fire Service Fee
ESBAAFSS

BRANZ Levy
BRANZ

150.00

Code Compliance Cert.
ESBAACCC

B.I.A. Levy
BIA

97.50

TOTAL PAYABLE

462.50

LESS FEES ALREADY RECEIVED
(Receipt 1166 Paid 21/12/09)

<215.00>

BALANCE NOW DUE:

247.50

Please note that no Building Consent/Pim will be issued until all scheduled fees have been paid.

H. Holgate
ENVIRONMENTAL SUPPORT OFFICER

Office Use Only:

Receipt No 4519

Amount: 247.50

Date: 18/1/00

HAND DELIVER TO: KAITAIA SERVICE CENTRE
REDAN ROAD
KAITAIA PH: 09 408 1400

OR POST TO:

District Office: Memorial Ave, Private Bag 752, Kaikohe
Telephone: (09) 401-2101 Fax: (09) 401-2137

Could be

NATIONWIDE BUILDING CERTIFIERS Ltd

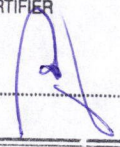
THESE PLANS AND SPECIFICATIONS ARE APPROVED BY NATIONWIDE BUILDING CERTIFIERS LTD AS MEETING THE REQUIREMENTS OF THE BUILDING CODE SUBJECT TO SUCH CONDITIONS AS ARE ENDORSED HEREON.

BUILDING CERTIFICATE No:

0897

SIGNED FOR AND ON BEHALF OF NATIONWIDE BUILDING CERTIFIERS LTD

BUILDING CERTIFIER



SIGNED:

DATE:

17/1/00

SPECIFICATION

for

ROGERS RESIDENCE - TAIPA VIEW

ESTATE HOMES NORTHLAND LTD

SPECIFICATION

December 1999

Specification of the work to be done and the materials to be used in the erection and completion of a residence as per the accompanying plans.

for

Bernie & Wiki Rogers

at

Taipa View

This specification is to be read in conjunction with the accompanying plans and any other drawing which may be issued during the currency of the contract. Any item in this specification and not shown on the plans and vice versa shall be equally binding as though included in both.

The contract and plans shall be signed and completed by all parties before the commencement of any work on the site. Any additions, omissions or variations to the contract shall be authorised in writing and agreed price stated.

Items specified in quote take precedence over this specification.

The owners are to ensure that all boundary marker pegs are in place and exposed for inspection

OWNERS SOLICITOR.....

Loan Company
District

CONTRACT DOCUMENTS

1. The accompanying plans
2. This specification
3. Construction - N.Z.S. 3604
4. Quote

PRELIMINARY & GENERAL (ALL TRADES)

1. Permits

The Contractor shall arrange to obtain all permits to build. The Contractor shall arrange all inspections and pay all fees as required by the local authorities.

2. Protection of work

All parts of the work liable to injury and all adjoining property, existing work, footways etc, are to be protected until completion of the contract.

3. P C Sums (Nett sums)

The P C Sums quoted in this specification are nett and the contractor or sub-contractor concerned must add cartage, fixing charges and profit he requires to all such items.

4. Site

Area to be built onto shall be cleared of all vegetation by contractor. Excavation is to be included by contractor. Any excess soil is to be left on the site. Access to the site to be provided by contractor (all weather vehicle access). Contractor to allow to supervise excavation of house site.

5. By-laws

The whole of the work in this contract is to be carried out in strict accordance with the local authorities, and NZ Building Code.

6. Extent of work

This contract comprises the erection and completion in the soundest and most workmanlike manner of all the work shown on the accompanying plans and in accordance with this specification and the supply of all plant, tools, labour, materials, fixtures and fittings required for the due completion of this work.

7. Insurance

The contractor shall at all times, keep the whole of the works fully covered by insurance.

8. Temporary Services

The contractor shall arrange for all temporary services, pay all fees in connection therewith and remove same on completion of the contract. Sheds, power, water, scaffolding, unless otherwise noted in quote.

9. Maintenance

The contractors shall maintain the property for the period of 60 days after completion, and any damage done, arising during that time, through faulty workmanship or materials shall be made good at the contractor's expense.

10. Completion

On completion all trade debris is to be removed from the site and the building and windows left clean and ready for occupancy, with all services and mechanical parts in good working order.

11. Contingencies

Allow the sum of \$nil for contingencies. The whole, or any amount remaining unspent at the completion of the contract shall be credited to the owners.

EXCAVATOR

1. Generally

Remove all turf or other vegetation from the area to be built on.

Excavate the site to the levels shown on the plans (check original conditions).

Excavate as required for all wall footings, pile footings, steps etc, as shown on the plans.

Footing excavations are to be taken down to a solid bearing and not to be less than 450mm deep.

Excavations are to be stepped to suit the slope of the ground, and kept level at the bottom, maintained free from water or fallen material and shall be firm before placing reinforcing or concrete. Backfill and ram the earth around the foundations after concrete work has firmly set. Underfloor fill to be shale compacted in 150mm layers.

CONCRETER & BLOCK LAYER & PLASTERER

1. Scope of Work

Comprises the setting out, boxing and placing of concrete in the foundations and floor slabs

2. Materials

Concrete - All concrete shall satisfy the requirement of NZS 3109 and NZS 3104 with a specified strength of 17.5 MPa at 28 days. All concrete shall be supplied by an approved ready mixed concrete supplier.

Reinforcing - All re-inforcing shall comply with NZS 3402:1973 and NZS 3422. All reinforcing is to be accurately placed.

Continuous Vapour Barrier - Lay 0.25mm polythene continuous vapour barrier complying with NZS 4229 Appendix E6 to all slabs except terraces, driveways, footpaths & carport slabs. Lap all joints and seal with pressure sensitive tape recommended by the manufacturer.

3. Formwork

Refer to NZS 3109 for methods of construction, removal, pouring & curing of concrete.

4. Concrete Flooring & Foundation Walls

Concrete footing and foundation walls shall be in accordance with NZS 4229 and as detailed on the drawings.

5. Concrete Ground Floor Slabs

All floor slabs shall be 100mm thick and comply with NZS 4229 Appendix E unless otherwise detailed. All ground floor slabs shall be laid on a Granular Base (refer to NZS 4229 Clause E5.2) compacted in layers not exceeding 100mm in thickness. Lay reinforcing mesh to all slabs. Locate reinforcing mesh 30mm from the top of the slab.

Finishing - All concrete ground floor slabs are to be true and straight surfaces, screeded, bull floated and finished with a steel float or power float to a finish. Tolerance on flatness to be within 5mm measured from a 3m straight edge.

Control Cuts - Cut control cuts 25mm deep to make slab areas no greater than 5m x 5m.

The contractor shall the Local Authority Building Inspector to inspect the work prior to pouring any concrete.

6. Placing & Curing of Concrete

Protect fresh concrete from premature drying and extremes of temperature. Allow to build in all holding down bolts, pipes, sleeves, vents, timber grounds etc, as required by NZS 4229, NZS 3604 and other trades prior to pouring the concrete.

BLOCKWORK

1. General

This section is to be read in conjunction with NZS 4229:1986 Concrete Masonry Buildings - not requiring specific design and NZS 4230:1990 The Design of Masonry Structures - requiring specific design.

2. Scope of Work

Supply and lay all grout solid-filled and partially-filled block foundation walls, concrete block retaining walls, concrete block walls, bond beams and concrete block columns as set out in NZS 4229 'Code of Practice for Concrete Masonry Buildings not Requiring Specific Design' and as shown on the plans.

3. Standards

All blockwork shall comply with NZS 3102, NZS 3109, NZS 3402, NZS 3133, NZS 4210, NZS 4229 and NZS 4230.

4. Materials

Blocks - All concrete blocks shall comply with NZS 3102

Mortar and Mortar Joints - All mortar and mortar joints shall comply with NZS 4210. All mortar joints shall be tooled with a rounded steel tooling iron immediately the initial setting of the mortar has occurred

Water - Shall be fresh clean drinking quality.

Reinforcement - Shall be deformed type unless otherwise stated and shall comply with NZS 3402 Grade 300 or Grade 450,

Grout - All grout to be supplied by an approved ready mixed concrete supplier and comply with NZS 4210, 17.5 MPa compressive strength at 28 days cured, maximum aggregate size of 10mm

CARPENTER

1. Generally

Allow to supervise and organise all sub-trades and excavations and arrange times of material deliveries.

2. Construction

All materials are to be the best of their respective kinds and grades, laid true to their various lines and levels and constructed in a proper tradesmanlike manner, to the whole of the works a sound construction in accordance with the local by-laws. All timber work abutting or resting on masonry units, concrete or brickwork is to be protected with bitumen-fabric damp proof course.

Supply and fix the necessary trusses, and braces as required to complete the roof framing and as detailed on the plans. Where detailed, the roof framing is to be constructed with engineer designed Gangnail trusses fixed plumb, fastened to the plates with framing anchors, stiffened with runners and braced at each end of the building. Tile battens to be spaced to accommodate the roof covering and ridging and fastened to the rafters as detailed.

Supply and install garage door as shown on plan (if applicable).

3. Exterior finish

All end grain joints are to be given a coat of primer.

Behind all wall linings and as detailed on the plans, fit Tyvek building paper lapped 100mm.

Grooved fascia and barge boards are to be fixed to level and straight lines, mitred, primed, where joined and fastened with galvanised nails. Porch ceiling to be lined with flat Hardies 4.5mm sheets.

4. Interior finish

All joints screw holes and other imperfections are to be stopped flush by the painter.

Shower : Athena Seville shower unit with pivot safety glass door.

Bath : Allow to supply and install Englefield Alpha bath with Hardiglaze to front of bath and to upstand.

Ceiling linings to be as detailed on plans. Build in the various fittings as supplied under 'Plumber' and 'Joiner' trim around with splash boards primed and set in mastic and other finishing trim and moldings as required.

Skirtings : 60 x 10 FJ pine. Scotias all 40 x 18 pine to flat ceilings. Supply and fix the sundry internal finishing molds and trim as required.

Interior doors are to be fitted with three 90mm F B loose pin butts. Architraves to be fitted in single lengths, fully glued 40 x 10 FJ pine. Interior doors flush paint quality.

All trim window and door frames FJ pine. All internal finishing timbers shall be sanded to remove machine marks and on completion, shall be free of all hammer marks, splits or other defects.

Cut for, attend on, and make good after all trades and provide and fix all necessary blocks for securing the work of all other trades.

All nail holes in exposed work (interior and exterior) are to be punched.

Insulation : all walls & ceilings to be fitted with R1.8 insulation.

All gib-board to be stopped to grade 4 painted finish.

Cooperate with the electrician in the building of a meter box.

Supply & install mirrors with powdercoated top & bottom tracks (if stated in quote).

WINDOWS

Powder colour aluminium windows with pine paint quality grooved reveals to be supplied and installed.

All glazing to NZ safety standards.

ROOFER

1. Generally

Refer to plans

Roofing fitted as per manufacturer's instructions. Allow galvanised nails and coloursteel apron flashings. Supply and fix all flashings, caps, pointing etc, to make the roof thoroughly watertight and bird-proof. Coloursteel valleys.

PLUMBER AND DRAINLAYER

1. Generally

The whole of the plumbing and drainlaying shall be done in strict accordance with the local authorities by-laws and drains shall be laid by registered workmen only.

2. Exterior work

Supply and fix PVC Storm Cloud spouting to all eaves, laid with even falls to 80mm diameter downpipes

3. Water service

Lay on cold water from the tank, to a 180 litre mains pressure hot water cylinder. Supply and set up the cylinder, complete with casing, lagging and thermostatically controlled electric elements. Lay on hot and cold water services to the various fittings as shown on the plans and to hose positions as directed. All water pipework butylene. PVC waste pipes. Supply & install DAB 61MP water pump.

4. Fittings

Provide and set up the fittings as shown on the plans and in the specification. Regular traps and wastes may be PVC.

WC - contractor to supply white Caroma New Verona WC(s) and Athena Contour vanity(s).

Washing machine - To be supplied by the owner. Contractor to supply 1400 Supertub. Allow to fit and connect.

5. Drains

Stormwater to be taken in PVC pipes to 5000g plastic tank. Overflow to stormwater connection. Allow stormwater drainage as shown on plans. Sewer drains to be PVC pipes, 100mm laid with even falls and easy bends etc, as may be necessary to comply with the local authorities regulations.

ELECTRICIAN

1. Generally

This contract includes the supply and installation of the electric wiring system complete. The whole of the work should be carried out strictly in accordance with the local authorities by-law and the electrical contractor is to obtain all permits from the supply authority, pay all fees in connection therewith and arrange all inspections required.

2. Supply

Arrange a main supply to the building from pedestal including phone wiring.

3. Boards

Provide and set up where directed a switchboard panel with all necessary fuses, switches and mains switches properly mounted and labelled, and hinged on one side.

4. Lights

Provide and fix the light switches and power outlets as shown on the plans. All lights batten-holder type with white plastic shades unless noted otherwise on plan. Contractor to supply and fit all lights. Exterior lights bulkhead type, supply and install sealed units.

5. Fittings

Allow to install stove. Allow to wire up the thermostatically controlled hot water cylinder element, supplied under 'Plumber'.

Earth all metal waste pipes and metal fittings as required by the regulations. Supply TV aerial sockets and aerial wiring. Supply phone sockets and wiring. TV aerial supply and installation not in contract. Phone connection and jackpoints not in contract.

PAINTER & PAPERHANGER

1. General

Refer to all other sections which may have clauses affecting work done under this section.

2. Regulations and Standards

All work and materials shall be in accordance with the requirements of the Building Regulations 1992 and with the New Zealand Building Code Handbook and Approved Documents.

The contractor and sub-contractors undertaking this work shall obtain copies of the relevant sections of the New Zealand Building Code and documents relating to acceptable solutions and verification methods, and shall be conversant with their contents. Refer to the approved documents B2, C2 and C3 of the New Zealand Building Code and others as applicable.

Nothing in this specification shall be construed as negating any requirement of the Building Regulations 1992 or of the New Zealand Building Code and Approved Documents.

Where applicable the following Standards and their related documents shall form part of this Specification NZS/AS 2312:1984, NZS 3602:1995, NZS 7703:1985, NZMP 2312:1987, BS 4800:1981. Where there is conflict between any two Standards the requirements of the appropriate New Zealand Standard shall apply.

3. Scope

Work covered by this Specification is to provide all materials and execute all work necessary for the completion of the building decoration and includes all painting, varnishing, staining and polyurethaning, etc.

4. Materials

Paint materials shall be delivered in sound and sealed containers labelled clearly.

5. Inspection of Previous Work

The painter shall inspect the finish of all surfaces to be painted, varnished etc, and report to the main Contractor any deficiencies, defects, blemishes or contamination which could affect the provision of a first class, permanent finish. Any defects shall be corrected.

6. Workmanship

All work shall be executed in accordance with the requirements of the New Zealand Building Code, the relevant New Zealand Standard, the manufacturer's recommendation and to the best of trade practice.

Before commencing any painting work, all exposed hardware and fittings which would be subject to damage by paint shall be removed and carefully stored ready for re-fixing in first class condition on completion of the painting work.

7. Completion

Remove all scaffolding, planks, rubbish and debris, thoroughly sweep up, clean windows inside and out, replace all hardware removed during the course of the work and leave the premises ready for occupation.

8. Health and Safety in Employment

The sub-contractor shall diligently fulfill its obligations under the Health and Safety in Employment Act 1992 and shall hold harmless the Principal by attending to all matters contained in the following list:

The sub-contractor shall comply with the following : Government statutes, Council by-laws, Codes of Practice, guidelines, manufacturers specifications of equipment used.

The sub-contractor will have, prior to the commencement of the Contract : identified hazards to employees, eliminated and/or isolated hazards if practicable, minimised hazards and protected employees where elimination and isolation are impractical.

The sub-contractors Health and Safety Policy and programme and the implementation of that policy and programme shall include : Health and Safety rules, safe work practices, accident investigation procedures, hazard investigation and control, standards of training to ensure that staff are adequately trained, emergency procedure, safety equipment, specific job instructions, procedures and work permits applicable.

COMPLETION

On completion the residence is to be left clean and tidy, window and other glasswork is to be cleaned. All trade debris is to be removed from the site and the building left clean and ready for occupancy.

FLOOR COVERINGS

By owner.

Concl Copy

FAX MESSAGE

Date: 21 December, 1999

Number of sheets: 5

To: Del
Estate Homes

From: Richard I R Catterall, Consulting Engineer
P O Box 53, Mangonui

Phone/Fax 09-406 0668

Subject: ROGERS HOUSE

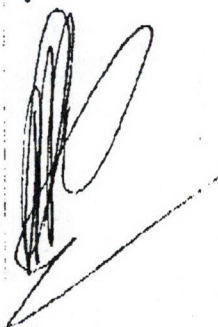
Attached are revised connection details for the roof.

The steel beam across the living area needs to be 200UB25 to limit deflections. Note also the revised end detail. It is important to support the beam onto the studs. The end plate can be recessed if necessary.

The beam over the garage is correct @ 360 x 90 glulam with 20 precamber.

Any other queries please ring me.

Regards



NATIONWIDE BUILDING CERTIFIERS Ltd	
THESE PLANS AND SPECIFICATIONS ARE APPROVED BY NATIONWIDE BUILDING CERTIFIERS LTD AS MEETING THE REQUIREMENTS OF THE BUILDING CODE SUBJECT TO SUCH CONDITIONS AS ARE ENDORSED HEREON.	
BUILDING CERTIFICATE No:	0897
SIGNED FOR AND ON BEHALF OF NATIONWIDE BUILDING CERTIFIERS LTD	
BUILDING CERTIFIER	
SIGNED: 	DATE: 17/12

Sheet A

Name of Applicant: B+W Rogers

Site Address

City/Town or District: Tairāpapa Views

Street and Number: Tairāpapa

or
Lot and D.P. Number: _____

BOX 1

LOCATION OF STOREY BEING ASSESSED

FOUNDATION	<u>SINGLE STOREY</u> or UPPER STOREY	LOWER STOREY
------------	--------------------------------------	--------------

Use 1 sheet for each storey and circle the appropriate location

NATIONWIDE BUILDING CERTIFIERS Ltd

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BUILDING CERTIFICATE No: 0897

SIGNED FOR AND ON BEHALF OF NATIONWIDE BUILDING CERTIFIERS LTD

BUILDING CERTIFIER: [Signature]

SIGNED: [Signature] DATE: 17/1/00

Box 2 For Earthquake (from Table 4.7A for foundations or Table 6.1 at other levels).

Weight of Roof: light / <u>heavy</u> Average Roof Slope: <u>20</u> Weight of Wall Cladding: light / <u>heavy</u> Storey in Roof Space: yes / <u>no</u> Earthquake Zone (Fig 2.2, Table 2.3): A / B / <u>C</u>	E = _____
---	-----------

Box 3 For Wind (from Table 4.7B for foundation or Table 6.2 at other levels).

Building Height: <u>4.5</u> m Roof Height: <u>1.5</u> m Stud Height: <u>2.4</u> m Building Wind Zone (Table 2.4): low / medium / high / <u>very high</u>	W along = <u>72</u> B.U.'s/m W across = <u>56</u> B.U.'s/m
---	---

Box 4

Gross Roof or Building Plan Area	GPA = <u>161.62</u> sq m
Roof or Building Width	BW = <u>15.4</u> m
Roof or Building Length	BL = <u>16.8</u> m

Box 5

Earthquake Load (Across and Along)	E x GPA	=	<u>161.62</u>	<u>4</u>	=	<u>646</u>	B.U.'s	
Wind Load Along:	W x BW	=	<u>72</u>	x	<u>15.4</u>	=	<u>1108</u>	B.U.'s
Wind Load Across:	W x BL	=	<u>56</u>	x	<u>16.8</u>	=	<u>940</u>	B.U.'s

Use 1 sheet for each storey and circle the appropriate location

ALONG

1	2	3	4
Wall or Bracing Line	Bracing Element Identification	Bracing Type	Length of Element (m)
A	1.	G1B1	2.4
B	2.	G1B3	2.7
	3.	G1B3	2.4
C	4	T1	2.4
	5	G1B3	2.1
D	6	BRS	1.2
	7	G1B1	2.4
E	7	BRS	0.9

Wind		
5	6	7
B.U.'s/m (Wind)	B.U.'s Achieved	Total for Bracing Line
75	180	180
65	175	331
68	156	
42	100	236
65	136	
150	180	360
75	180	
110	99	99
Total Bracing Achieved		1208
Total Bracing Required for Wind Along		1108

8
Minimum Bracing Required
66
70
91
72
35

Earthquake		
9	10	11
B.U.'s/m (Earthquake)	B.U.'s Achieved	Total for Bracing Line
Total Bracing Achieved		
Total Bracing Required for Earthquake		

ACROSS

1	2	3	4
Wall or Bracing Line	Bracing Element Identification	Bracing Type	Length of Element (m)
M	8	BRS	1.2
N	9	BRS	1.2
O	10	G1B3	3.0
	11	G1B3	3.0
P	12	G1B1	2.1
Q	13	T1	2.4

Wind		
5	6	7
B.U.'s/m (Wind)	B.U.'s Achieved	Total for Bracing Line
150	180	180
150	180	180
65	195	390
65	195	
55	115	115
42	100	100
Total Bracing Achieved		965
Total Bracing Required for Wind Across		940

8
Minimum Bracing Required
54
88
70
88
66

Earthquake		
9	10	11
B.U.'s/m (Earthquake)	B.U.'s Achieved	Total for Bracing Line
Total Bracing Achieved		
Total Bracing Required for Earthquake		

Kopiers

Comd Gey

Mangonui Plumbing (1998) Limited

P.O.BOX 238, MANGONUI, NORTHLAND

PH/FAX 09 4060528 OR MOB 025 806964

23 November 1999

Estate Homes
49 Matthews Avenue
KAITAIA

To Whom it May Concern

RE: EFFLUENT DISPOSAL ASSESSMENT
TAIPA VIEW ROAD, TAIPA

Introduction

We present herein our proposed design of the effluent treatment and disposal system for the above three bedroom house to be built at Taipa View Road, Taipa.

Effluent Disposal

Waste will be pre-treated by a 4500 litre septic tank complete with bio-filter.

The disposal field is sized in accordance with ARC technical publication 58.

An occupancy of 5 people on tank water supply with full water saving devices, each rated at 140lt/day gives a total flow of 700lt/day. With the loading rate for soil category 4, being 15mm/day on a slight slope, a need for 47sqm of disposal will be required. This will entail 2 trenches, 600mm wide and 40m in length at 2m centres. An overall enclosing area comprising disposal field, space between and surrounding the disposal field elements of 270sqm plus 270sqm for reserve area, gives a total area set aside for effluent disposal of 540sqm.

With the area available it is our opinion that the effluent disposal can be contained satisfactorily within the boundaries of the proposed new allotment and would meet the parameters set by the T.P.58.

Yours sincerely



Chris Buckman



**TAKEN FROM TP58 - APPENDIX D
ON SITE WASTEWATER DISPOSAL SITE EVALUATION - SITE
ASSESSMENT AND SUBSOIL INVESTIGATION CHECKLIST**

1.0 SITE EVALUATORS

- 1.1 Company:** Mangonui Plumbing (1998) Limited
Address: 16 Kupe Road, Mangonui, Northland
Phone/Fax: 09) 4060528
- Name:** Chris Buckman
Designation: Managing Director
- 1.2 Additional People Involved:** Dave Allen
Designation: Drainlayer
Involvement: Site visit
-

2.0 SITE INFORMATION

- 2.1 Locality:** Taipa View Road
Owner: B & W Rogers
Address: c/-Estate Homes, 49 Matthews Ave,
Kaitaia
- Survey Plan Details:** Lot 17, DP
Local Council Area: Far North
Regional Council Area: Northland
- Size/Shape/Layout:** 7,512sqm
- 2.2 Work undertaken:** Site visit and percolation test
Date of visit: 22 and 23 November 1999
Weather on day/s: Fine and sunny

3.0 SITE ASSESSMENT

3.1 Topography

- Slope:** Slight slope
- Ground cover:** Grass
- Geology:** Sandy silt loam down to light coloured clay

Available clearances

Boundaries:	O.K
Wells, Bores:	N/A
Waterways:	N/A
Embankments:	N/A
Building:	O.K

3.2 Site Stability

No expert evaluation necessary due to flatness of site, and no signs of instability.

3.3 Drainage Controls

Depth of water table: Over 2 metres

Need for groundwater cut off drains? No

Need for surface water collector drains? Yes

3.4 Climate

Annual Rainfall: 1500mm

**Annual Potential:
Evapo-transpiration** 1200mm

General Comment: High intensity rainfall, relatively short durations.

3.5 Intended Water Supply Source

Rainwater roof collection

3.6 Local Experience (existing on-site systems)

**Number of systems
in locality:**

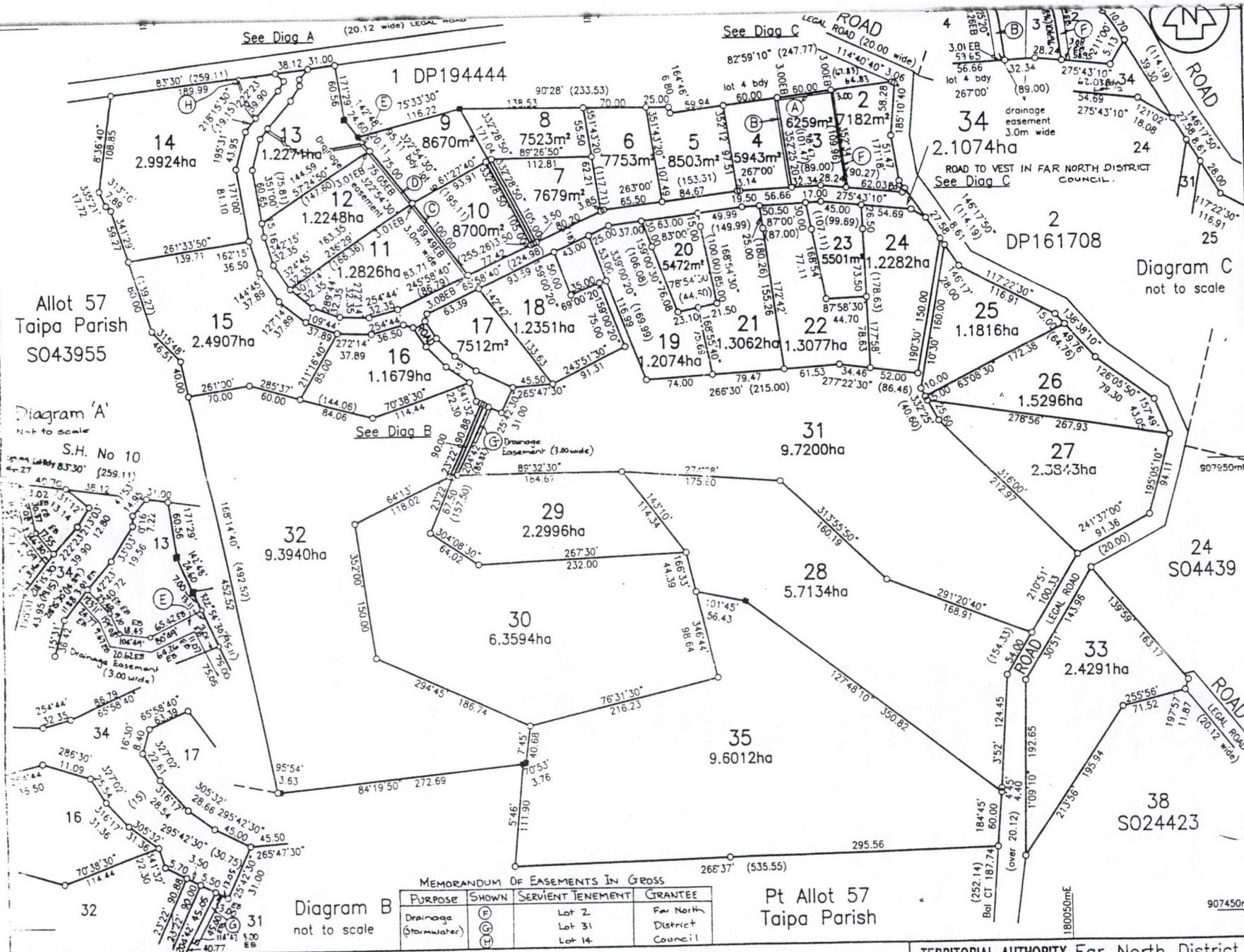
Three

Performance:

100% satisfactory. No evident problems.

3.7 Availability of Reserve/Buffer Areas

100% of design area. No less than 540sqm.



Allot 57
Taipa Parish
S043955

Diagram 'A'
Not to scale

S.H. No 10



MEMORANDUM OF EASEMENTS IN GROSS

PURPOSE	SHOWN	SERVIENT TENEMENT	GRANTEE
Drainage (Stormwater)	(F)	Lot 2	Far North District Council
	(G)	Lot 31	
	(H)	Lot 14	

Pt Allot 57
Taipa Parish

LAND DISTRICT NORTH AUCKLAND
SURVEY BLK. & DIST. IV MANGONUI
NZMS 261 SH T RECORD MAP No

LOTS 2-35 BEING SUBDIVISION OF
PT ALLOT 57 TAIPA PARISH

TERRITORIAL AUTHORITY Far North District
Surveyed by **DB Von Stummer**
Scale 1:3000 Date Feb 1999

Section 223 of the Resource Management Act 1991 on the 17th day of March 1999
Subject to the Amalgamation Conditions Set out hereon and Subject to the Granting or Reserving of the Easements Set out in the Memorandum shown hereon
41.98.265
Authorised Officer *[Signature]*

AMALGAMATION CONDITIONS
THAT LOTS 25,26,27,28,33 & 35 HERON BE HELD IN THE SAME CERTIFICATE OF TITLE.
SEE A.633694
THAT LOTS 31 & 32 HERON (RECREATION) BE HELD AS TO 25 UNDIVIDED ONE THIRTY FIRST (1/31) SHARES BY THE OWNERS OF LOT 2 TO LOT 24 INCLUSIVE, 29 & 30 HERON TOGETHER WITH ONE UNDIVIDED SIX THIRTY FIRST (6/31) SHARE HELD BY THE OWNERS OF LOTS 25,26,27,28,33 & 35 HERON; AND THAT INDIVIDUAL CERTIFICATES OF TITLE BE ISSUED IN ACCORDANCE THEREWITH.
SEE A.633694

MEMORANDUM OF EASEMENTS IN GROSS

PURPOSE	SHOWN	SERVIENT TENEMENT	GRANTEE
DRAINAGE (STORM-WATER)	A	LOT 3	FAR NORTH DISTRICT COUNCIL
	B	LOT 4	
	C	LOT 11	
	D	LOT 12	
	E	LOT 13	

NEW C'St ALLOCATED

LOT	NEW C'St	LOT	NEW C'St
LOT 2	123B/610	LOT 20	123B/628
LOT 3	1611	LOT 21	1629
LOT 4	1612	LOT 22	1630
LOT 5	1613	LOT 23	1631
LOT 6	1614	LOT 24	1632
LOT 7	1615	LOT 25	1633
LOT 8	1616	LOT 26	1634
LOT 9	1617	LOT 27	1635
LOT 10	1618	LOT 28	1636
LOT 11	1619	LOT 29	1637
LOT 12	1620	LOT 30	1638
LOT 13	1621	LOT 31	Refer Amalgamation
LOT 14	1622	LOT 32	Condition above
LOT 15	1623	LOT 33	123B/633
LOT 16	1624	LOT 34	123B/634
LOT 17	1625	LOT 35	123B/635
LOT 18	1626		
LOT 19	123B/627		

Total Area 78.0594ha
Comprised in CT112A/389 (Pt)

I, Donald Barrington Von Stummer of Kaitiaki Registered Surveyor and holder of an annual practicing certificate for who may act as a registered surveyor pursuant to section 25 of the Survey Act 1981 hereby certify that this plan has been made from surveys executed by me or under my directions, that both plan and survey are correct and have been made in accordance with the Survey Regulations 1972 or any regulations made in substitution thereof.
Dated at Kaitiaki this 15th day of March 1999
Signature *[Signature]*

Field Book p. Traverse Book p.
Reference Plans
Examined Correct P. Purkis F.O.S.

Approved as to Survey *[Signature]*
Chief Surveyor

Deposited this 25th day of July 1999
for Registrar General of Land
District Land Registrar

File 155-NEW ZEALAND
Received 17 MAR 1999
Instructions
DP 195263

123B/625



ence:
 CT: 123A/447
 ment No.: D409886.3

CERTIFICATE OF TITLE UNDER LAND TRANSFER ACT 1952

This Certificate dated the 15th day of July One Thousand Nine Hundred and Ninety Nine under the seal of the Registrar-General of Land, New Zealand, for the Land Registration District of NORTH AUCKLAND
KNESSETH that TAIPA VIEW LIMITED
 devised of an estate in **fee simple** (subject to such reservations, restrictions, encumbrances and interests as are notified by memorial endorsed hereon) in the land hereinafter described, delineated on the plan hereon, be the several admeasurements a little more or less, that is to say: All that parcel of land containing 7512 square metres, more or less being **LOT 17 DEPOSITED PLAN 195263** and an undivided one thirtyfirst share in 19.1140 hectares more or less being **LOTS 31 and DEPOSITED PLAN 195263**



Subject to Section 241(2) Resource Management Act 1991

Appurtenant hereto is a water pipeline easement over part of allotment 56 Parish of Taipa CT 67C/999 and part Lot 3 of DP 128775 marked B DP 128775 CT 75A/473 created by transfers A388217 and A397039

D409886.2 Consent Notice under Section 221(1) Resource Management Act 1991

Subject to a stormwater drainage easement in gross over the part Lot 31 herein marked G DP 195263 to Far North District Council created by Transfer D409886.4 both 15.7.1999 at 9.00

The above easement marked G is subject to Section 243 (a) Resource Management Act 1991

[Signature]

For RGL

D425236.1 Transfer containing land covenant

D425236.2 Mortgage to The National Bank of New Zealand Limited *entered in charge*

~~at~~ 31.8.1999 at 9.00

[Signature]
 for RGL

D436128.1 Transfer to Bernard Edward Rogers and Wikitoria Rirema Rogers

Fencing covenant in Transfer D436128.1

4.10.1999 at 10.40.

[Signature]
 for RGL

FAR NORTH DISTRICT COUNCIL

FAR NORTH OPERATIVE DISTRICT PLAN [MANGONUI SECTION]

IN THE MATTER OF The Resource
Management Act 1991

AND

IN THE MATTER OF
an application for
Resource Consent under the aforesaid
Act by

Per Lugnet

FILE NUMBER RC 1981205 / 1

APPLICATION

Application for **SUBDIVISION CONSENT** to undertake a staged subdivision, in accordance with a village concept which will create 32 new rural lifestyle allotments and 18 ha of shared private parkland, in three stages.

The property in respect of which the application is made is situated at State Highway N^o 10, on the outskirts of Taipa; and is legally described as Pt Allot 57 Taipa Parish, Blk IV Mangonui SD.

DECISION

That pursuant to Section 105 (1)(c) of the Resource Management Act 1991, Council grants its consent to the subdivision of Pt Allot 57 Taipa Parish, Blk IV Mangonui SD as shown on the plans numbered 1551, and drawn by D B von Sturmer and Associates, and dated June 1998 and December 1988.

Consent is granted in three stages -- with Stage I comprising Lot 1 only, Stage II comprising Lots 2 - 24, 29 - 32 and 34, and Stage II comprising Lots 25 - 28, 33 and 35.

STAGE I

This stage of the consent is subject to the following conditions imposed pursuant to Section 108 and 220 of the Act:

Note: That the conditions under Stage I are numbered (7) and (8). The reason for this is that it avoids the re-numbering of the numerous cross-references between the conditions of the former Stages I and II (now Stages II and III).

(7) That, prior to approval under Section 223 of the Act, the survey applicant shall:

red for Stage I only
~~(a)~~ Provide, to Council's satisfaction, a report on stormwater control (including providing for upstream catchments and culvert outfalls) within the subdivision and providing for adequate outfalls. The report is to be prepared by an IQP who meets the requirements of Appendix B5 of the Council's Engineering Standards (and who may be the Owner's Representative). Specify all necessary drainage easements which need to be shown on the survey plan.

Note: This report may be written in respect of the Stage I area, its catchments and outfalls only if so wished; or it may be prepared in terms of the whole subdivision.

? ~~(b)~~ All required stormwater drainage easements on Lot 1, as may be specified in the report prepared under Condition (7)(a) above, are to be shown on the survey plan.

(8) That before a certificate is issued pursuant to Section 224 of the Act, the applicant shall:

RIRC fax 31-05-99
~~(a)~~ Provide adequate stormwater control for Stage I of the subdivision, which is to be constructed as specified in the report prepared in terms of Conditions (2)(c) and/or (7)(a) herein, and be to the satisfaction of the Council.

~~(b)~~ Provide, to the requirements and satisfaction, given in writing, of Transit NZ, the following works more specifically detailed in the hearing evidence of Fred Ogle dated 18 November 1997:

- (i) Closing surplus crossing places along the Lot 1 highway frontage;
- (ii) Stormwater control [may be included in the requirements contained in Conditions (2)(c), (7)(a) and/or (8)(a) herein];

- (iii) Upgrade, if necessary, the existing access point to the dwelling on Lot 1.

- ~~(c)~~ Produce evidence from a Registered Engineer, a Registered Drainlayer or other suitably qualified person to show on a drawing of the site and, in accordance with the terms and criteria of the Auckland Regional Council Technical Publication 58, confirm that the existing effluent disposal field on the proposed Lot 1, is and can be contained satisfactorily within the boundaries of the proposed new allotment; and that effluent is currently satisfactorily disposed of on the said allotment and can remain to be so during the estimated life of the dwelling thereon; and that such discharge is in compliance with the Regional Council discharge rules and permitted activity criteria.
- per advice B Flood*

STAGE II

This stage of the consent is subject to the following conditions imposed pursuant to Section 108 and 220 of the Act:

- (1) That, prior to approval under Section 223 of the Act, the survey plan shall show:
- ~~(a)~~ Lot 34 to vest in Council as legal road, a minimum of 18 metres wide (or 16 metres for the short leg serving Lots 29 - 32).
OK
 - ~~(b)~~ Any boundary amendments required by the floodability report [prepared in terms of Condition (2)(a) herein], to provide safe, accessible building sites.
 - ~~(c)~~ Enough legal road width to form the turnaround and parking specified in Condition (3)(a)(iii) below.
 - ~~(d)~~ All stormwater drainage easements in the Stage II area and specified in the report prepared in terms of Condition (2)(c) below.
 - ~~(e)~~ The endorsement of the following conditional amalgamations pursuant to Sections 220 (1)(b)(iii) and (iv) of the Resource Management Act, that:
 - ~~(i)~~ Lots 25, 26 and 33 on the subdivision plan be held in the same certificate of title;

~~(i)~~ Lots 31 and 32 on the subdivision plan [recreation] be held as to 25 undivided one-thirty-first [1/31] shares by the owners of Lots 2 to 24 (inclusive), 29 and 30, together with one undivided six-thirty-first [6/31] share held by the owner of Lots 25, 26 and 33 (amalgamated); and that individual certificates of title be issued in accordance therewith. [DLR ref: A633694]

(2) That, prior to survey plan approval under Section 223 of the Act, the applicant shall:

~~(a)~~ Provide, to the satisfaction of the Council, a report by a Registered Engineer with relevant expertise, which addresses the floodability of Lots 14 and 15 on the subdivision plan. The report should demonstrate graphically the plan view of a 1 in 50 and 1 in 10 year floods, in relation to the specified allotments' areas. Should any boundary amendments be required to ensure safe (with reference to the Building Code Approved Documents) building sites and access thereto, these shall be made on the survey plan in terms of Condition (1)(b) herein.

Should any continuing condition be required, resulting from the findings of this report, which for example would include setting minimum floor levels, these are to be included as Condition (3)(f)(i).

~~(b)~~ Provide evidence to the satisfaction of Council's Legalisation Officer that the road stopping (adjoining Lot 1 DP161708) is able to proceed.

~~(c)~~ Provide, to Council's satisfaction, a report on stormwater control (including providing for upstream catchments) within the subdivision and providing for adequate outfalls. The report is to be prepared by an IQP who meets the requirements of Appendix B5 of the Council's Engineering Standards (and who may be the Owner's Representative specified below). Specify all necessary drainage easements which need to be shown on the survey plan.

Include all Regional Council requirements and discharge permission (if any) conditions. If Regional Council discharge permission is not required, provide written confirmation of that.

Note: This report may be written in respect of the Stage II area, its catchments and outfalls only if so wished; or it may be prepared in terms of the whole subdivision.

~~(d)~~ Provide, to Council's satisfaction, a landscaping plan and implementation report, (including specification as to which work relates to which Stage and maintenance matters) prepared by a landscape professional with suitable qualifications and expertise, which indicates the means to enhance the visual impact of the subdivision, its site works and the resultant buildings. The plan is to be staged in three stages relative to the level of development of the site:

OK
w/ revision
of 3-5-99

- Variation
14.05.99
- (Stage A) Landscaping to mitigate the access, earthworks and other siteworks effects (visual and stability);
 - (Stage B) Landscaping to enhance the shared open space area (including the "village square"); *and including formation of the pedestrian access from the "village square" to the main body of Lot 31 as specified in (deleted) condition (3)(a)(v);*
 - (Stage C) Landscaping to mitigate the visual impact of future dwellings (particularly from a State Highway viewpoint).

Note: Stage A is to be landscaping required prior to new titles issuing. Stage B would be accomplished by a quantum of work tied into reasonable times for section sales. Stage C would be undertaken as individual dwellings were established.

- (3) That before a certificate is issued pursuant to Section 224 of the Act, the applicant shall:

- DBVS
- (a) Appoint an Owner's Representative (Independent Qualified Person) in accordance with the provisions of Sections 3 and 4 and Appendices B and C of the Council's "Engineering Standards and Guidelines, April 1998", who shall be responsible for such design, plans, provision of information (including as-built drawings), applications (including to the Regional Council as appropriate), producer statements and fees as may be appropriate to the works being considered.

Undertake and complete the following works in accordance with the plans and to the requirements of the Council's Standards as outlined above:

- (i) The construction of the road, from the State Highway intersection with Lot 34 (legal road) to a position on that road at the Lot 6 / 7 boundary, to the Type B rural standard, permanently surfaced (sealed).
- (ii) The construction, from the end of the seal [paragraph (i) above] on Lot 34 to its end, to the Type B rural standard, unsealed.
- (iii) The construction of the short leg of Lot 34 to the Type A rural standard, sealed for the first 5 metres; and with an adequate gravel turnaround area of a minimum 20 metre diameter and two gravelled parking spaces.
- (iv) The construction of site access points to Lots 8, 9, 29 and 30, to the Council's residential crossing standard [Drawing FNDC/S/02], with a gravelled surface for Lots 29 and 30 and a permanent surface for Lots 8 and 9.

delete
14.5.99

2.0

~~(v)~~ Pedestrian access, 1.5 metres wide, gravelled (fine), ~~with timber edging~~, from the western road boundary of Lot 19 (the "village square") along that boundary to the main body of Lot 31.

R.R.C.
memo
4/6/99

(vi) Stormwater control for Stage II of the subdivision, including providing adequate drainage for the access specified in paragraphs (i) through (v) above. Stormwater works are to be constructed as specified in the report prepared in terms of Condition (2)(c) herein.

banded

(vii) Completion of all Stage II earthworks in terms of the engineering plans submitted, including all that required for access, drainage and building sites. Ensure slope stabilisation and re-vegetation measures are undertaken.

~~(b)~~ Provide a physical barrier (eg posts, fencing or soil) to preclude vehicle access from the "road to be stopped" on to the State Highway. *locked gate*

TNZ
later
5-6-99

(c) Provide, to the requirements and satisfaction of Transit NZ, the following works more specifically detailed in the evidence of Fred Ogle dated 18 November 1997:

- (i) Detailed engineering drawings;
- (ii) A right turn bay at the subdivisional road intersection with the State Highway;
- (iii) Closing surplus crossing places;
- (iv) Stormwater control [may be included in the requirements contained in Condition (2)(c) and (3)(a)(vi) herein];

~~(d)~~ That the applicants be informed of the service requirements of Telecom Auckland Limited and Top Energy, for underground supply. Provide documentation that these service providers are satisfied with the arrangements made for the provision of these services. ✓

banded

(e) Complete the Stage A landscaping within the Stage II area, in accordance with the report produced in Condition (2)(d) herein.

(f) Secure the conditions below by way of a Consent Notice issued under Section 221 of the Act, to be registered against the titles of the affected allotments. The costs of preparing, checking and executing the Notice shall be met by the Applicants.

(i) Any buildings situated on Lots 14 or 15 are to have foundations and floor levels designed in accordance with the floodability report submitted ~~in terms of Condition (2)(a) herein~~ on 12 February 1999. ^{from Brown & Thomson Consulting Engineers}

(ii) No building which requires effluent disposal shall be erected on any of the subdivision allotments without the prior approval of the Council to specific design for such effluent disposal, including an indication of compliance with Regional Council rules.
Such design may be in accordance with the Brown and Thomson report dated 19 September 1997, or to such similar professional design standard and detail as the circumstances dictate. Similar maintenance matters as set out in the September 1997 report should be included as required.

(iii) Prior to the expiry of one year after the issue of the new titles, satisfy the Council that no less than \$ 7000 value of landscaping work (planting, earthworks, access, riparian enhancement or park furniture) has been completed, in accordance with Stage B of the landscaping plan submitted in respect of Condition (2)(d) herein.
This condition applies only to Lots 31 and 32, and is to be registered on the titles of Lots 2 - 24, 29 and 30.

(iv) Prior to the expiry of two years after the issue of the new titles, satisfy the Council that no less than \$ 14,000 (inclusive of the previous \$ 7000 contribution) value landscaping work (planting, earthworks, access, riparian enhancement or park furniture) has been completed, in accordance with Stage B of the landscaping plan submitted in respect of Condition (2)(d) herein.
This condition applies only to Lots 31 and 32, and is to be registered on the titles of Lots 2 - 24, 29 and 30.

(v) Within six months of the issue of a Code Compliance Certificate for any building on a subject allotment, or within six months of its occupation or utilisation (whichever comes first) provide, to Council's satisfaction, landscaping on the subject allotment in accordance with Stage C of the landscaping plan submitted in respect of Condition (2)(d) herein.
This condition applies to Lots ~~2-24~~ (inclusive), being ^{the allotments affected by} Stage C of the landscape plan. Lots 13, 14, 19-24

on-going

(g)

The Council will consider under Section 128 of the Act, at any time prior to the issue of a Section 224(c) certificate, application by the consent holder to cancel (in part) Condition (3)(f)(ii) of this consent and replace it with a condition which specifies the construction and certification of a reticulated effluent treatment system for such allotments and to such design as would be stipulated.

- ~~(b)~~
28-5-99
- Pay to the Council, in satisfaction of the requirements of Section 285 of the Local Government Act 1974, as adopted by Section 407 of the Resource Management Act 1991, a reserves contribution which equates to the value of 130 m² of each of Lots 2 - 24 (inclusive), 29 and 30. Such valuation is to be undertaken by a Registered Valuer, with all costs in connection thereto met by the consent holder, to the satisfaction of the Council.

STAGE III

This stage of the consent is subject to the following conditions imposed pursuant to Sections 108 and 220 of the Act:

- (4) That, prior to approval under Section 223 of the Act, the survey plan shall show:
- (a) All stormwater drainage easements in the Stage III area and specified in the report prepared in terms of Condition (2)(c) and/or (5)(c).
 - (b) Lot 25 on the Stage II plan as Lots 25, 26 and 27 and Lot 26 as Lots 28 and 35, as shown on the original unstaged subdivision plan submitted.
 - (c) That Lots 31 and 32 on the subdivision plan [recreation] be held as to 6 undivided one-thirty-first [1/31] shares by the owners of Lots 25 to 28 (inclusive), 33 and 35; and that individual certificates of title be issued in accordance therewith. [DLR ref: A633694]
- (5) That, prior to survey plan approval under Section 223 of the Act, the applicant shall:
- (a) Satisfy the Council either that the Stage II plan has deposited or that Stage III cannot deposit before Stage II does.
 - (b) Indicate on a copy of the plan, to scale but not to survey accuracy, the extent of the East Coast sewerage oxidation pond buffer line as it impacts on proposed Lot 33.
 - (c) Provide, to Council's satisfaction, a report on stormwater control (including providing for upstream catchments) within Stage III of the subdivision (*unless this is not required by virtue of having been done for the whole subdivision under Condition (2)(c) herein*) and providing for adequate outfalls. The report is to be prepared by an IQP who meets the requirements of Appendix B5 of the Council's Engineering Standards (and who may be the Owner's Representative specified below). Specify all necessary drainage easements which need to be shown on the survey plan.

Include all Regional Council requirements and discharge permission (if any) conditions. If Regional Council discharge permission is not required, provide written confirmation of that.

(6) That before a certificate is issued pursuant to Section 224 of the Act, the applicant shall:

(a) Appoint an Owner's Representative (Independent Qualified Person) in accordance with the provisions of Sections 3 and 4 and Appendices B and C of the Council's "Engineering Standards and Guidelines, April 1998", who shall be responsible for such design, plans provision of information (including as-built drawings), applications (including Regional Council as appropriate), producer statements and fees as may be appropriate to the works being considered.

Undertake and complete the following works in accordance with the plans and to the requirements of the Council's Standards as outlined above:

(i) The construction, from the eastern end of Lot 34 southward along the existing marsh access road to a position 5 metres south of the Lot 28 / 35 boundary, to the Type A rural standard, unsealed.

(ii) Stormwater control for Stage III of the subdivision, including providing adequate drainage for the access specified in paragraph (i) above. Stormwater works are to be constructed as specified in the report prepared in terms of Condition (2)(d) [and/or (5)(c)] herein.

(iii) Completion of all Stage III earthworks in terms of the engineering plans submitted, including all that required for access, drainage and building sites. Ensure slope stabilisation and re-vegetation measures are undertaken.

(b) That the applicants be informed of the supply service requirements of Telecom Auckland Limited and Top Energy (*electric power may be provided as an extension of the existing overhead supply along the legal road*). Provide documentation that these service providers are satisfied with the arrangements made for the provision of these services.

(c) Complete the Stage A landscaping which relates to the Stage III allotments, in accordance with the report produced in Condition (2)(d) herein.

(d) Secure the conditions below by way of a Consent Notice issued under Section 221 of the Act, to be registered against the titles of the affected allotments. The costs of preparing, checking and executing the Notice shall be met by the Applicants.

(i) No building which requires effluent disposal shall be erected on any of the subdivision allotments without the prior approval of the Council to specific design for such effluent disposal, including an indication of compliance with Regional Council rules.

Such design may be in accordance with the Brown and Thomson report dated 19 September 1997, or to such similar professional design standard and detail as the circumstances dictate. Similar maintenance matters as set out in the September 1997 report should be included as required.

(ii) No residential building is to be established, without further consent of the Council, within the oxidation pond buffer area shown on Lot 33 in terms of Condition (5)(b) herein.

(iii) Prior to the expiry of one year after the issue of the new (Stage III) titles, satisfy the Council that no less than \$ 1500 value of landscaping work (planting, earthworks, access, riparian enhancement or park furniture) has been completed, in accordance with Stage B of the landscaping plan submitted in respect of Condition (2)(d) herein.

This condition applies only to Lots 31 and 32, and is to be registered on the titles for Lots 25 - 28, 33 and 35.

(iv) Prior to the expiry of two years after the issue of the new titles, satisfy the council that no less than \$ 3000 (inclusive of the previous \$ 1500 contribution value) landscaping work (planting, earthworks, access, riparian enhancement or park furniture) has been completed, in accordance with Stage B of the landscaping plan submitted in respect of Condition (2)(d) herein.

This condition applies only to Lots 31 and 32, and is to be registered on the titles for Lots 25 - 28, 33 and 35.

(e) Pay to the Council, in satisfaction of the requirements of Section 285 of the Local Government Act 1974, as adopted by Section 407 of the Resource Management Act 1991, a reserves contribution which equates to the value of 130 m² of each of Lots 25 - 28 (inclusive), 33 and 35. Such valuation is to be undertaken by a Registered Valuer, with all costs in connection thereto met by the consent holder, to the satisfaction of the Council.

STATUTORY INFORMATION

The following matters are noted as being relevant to the land, and possibly requiring additional action for statutory or code compliance. The applicant and any prospective purchasers should be aware of these matters; and hence the information will be placed on the property file and will be cited in any related Project or Land Information Memorandum that may be issued by the Council.

(A) If during the course of undertaking any of the site works there is a discovery made of any archaeological find, or suspected find, the work on that portion of the site should cease immediately and the NZ Historic Places Trust and a representative of the relevant local iwi contacted. Comply with the requirements and provisions of the Historical Places Act 1993.

(B) The spraying of agricultural chemicals is governed by the Pesticides Act and its Regulations, the Regional Council's Air Quality Plan, NZ Standard 8409 and the Agrichemical Users Code of Practice (June 1995).

(C) The consent holder is to pay the Council, pursuant to Section 36 (3) of the Resource Management Act 1991, the sum of \$ 461.40, (~~includes the \$ 250.00 sought by letter to the surveyor on 18 December 1998~~) being the additional processing costs associated with the application for a variation to include an additional Stage I, within 30 days of the receipt of this decision.
 \$339.00 does not \$454.40
charged on invoice 261082 *new*

(D) The road stopping indicated, while avoiding adverse effects, is not strictly part of the resource consent. Given the physical barriers imposed by Conditions (3)(b) herein, the finalisation of the process could be run independently of this subdivision. However, the barricading of the legal road is not to occur until adequate physical access is available along the new (Lot 34) road.

(E) Council policy currently encourages subdividers creating new roads to suggest names for such roads.

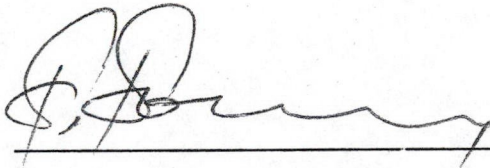
REASONS FOR THE DECISION

In consideration of the application under Section 104 of the Act, the Council has made its decision for the following reasons:

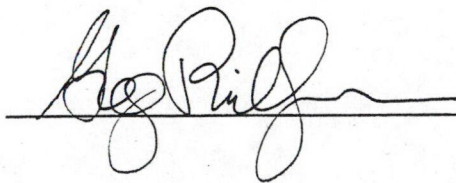
- (1) Written approval has been obtained from all adjoining owners and interested parties who might be adversely affected by the proposed activity. The previous (and similar) application was publicly notified and all submitters in opposition have given their approval and have been deemed to be not adversely affected.
- (2) There are no apparent conflicts with the purpose of the Act, nor with the matters or principles noted in Sections 6, 7 and 8 of the Act, nor with the objectives and policies of the District Plan.

- (3) The imposed conditions will ensure compliance with the relevant District Plan rules, and will adequately mitigate the expected environmental effects to a minor impact level.
- (4) The council has determined that the village concept, which has only limited practical applicability in the area covered by the Mangonui section of the Plan, is a suitable, non-complying, lifestyle "proposal" [in Transitional Plan terms], which can be considered as appropriate in the subject rural area, but which is also considered to be principally residential in its effect and nature.
- (5) The extensive landscaping proposed will improve the visual amenity of the area and reinforce the village concept.
- (6) Conditions of consent will mitigate traffic effects to no more than a minor impact.
- (7) All allotments exceed the policy guideline minimum area of 4000 square metres for rural lifestyle lots.
- (8) The staged proposal, given appropriate conditions, has no different effects from the single stage subdivision originally applied for. [This includes the new additional Stage I approved by this variation].

CONSENT GRANTED UNDER DELEGATED AUTHORITY:



MANAGER ENVIRONMENTAL SERVICES



RESOURCE PLANNER

29 January 99 DATE
RC 1981205 / 1

**BUILDING CONSENT NO BC 992988
TRACKING SHEET**

NAME: ROGERS, B & W

DATE: 22 December 1999

VAL. NO:

PT00085-181-00

LEGAL DESC: PTLOTS 1 2 DP 161708 LOTS 1 2 DP 193974 PT ALLOT 57 TAIPA PSH

BUILDING: NEW DWELLING AND ATTACHED GARAGE

LOCATION: STATE HIGHWAY 10 ORURU RIDING

RESOURCE PLANNER

DATE: 23/12/99

SIGNED: 

CONDITIONS: ~~within 6 months of issuing of CCC provide, to the councils satisfaction, landscaping on the allotment in accordance with Stage 1 of the landscaping plan submitted. (Attached)~~

DEVELOPMENT ENGINEER

DATE:

SIGNED:

CONDITIONS:

PLUMBING & DRAINAGE INSPECTOR

DATE:

SIGNED:

CONDITIONS:

BUILDING INSPECTOR

DATE: 29. 12. 99

SIGNED: 

CONDITIONS: NBC Cert will be required before BC is issued.
- Received 20/1/00

OTHER : _____

DATE:

SIGNED:

CONDITIONS:

(please turn over)

Zoning: RuezA

Does the project comply with all standards or ordinances within the zone?

- Yes
- No

List standards/ordinances not complied with and attach.

Type of Activity under RMA? Permitted

Does the project require a resource consent?

- No
- Yes

Resource Consent granted?

- No
- Yes

RC # _____ Date granted: _____

Conditions appropriate to this project?

- None
- Yes Attached.

Comments: _____

Is there a special classification applied to this land or building(s)?

- No
- Yes

Site of Special Biological Interest classified by Department Conservation (see attached)

Historic or archaeological classification by Historic Places Trust (s attached)

Other: _____ by _____ (see attached)

Licenses that may be required to operate:

- Liquor license
- Health license
- Dangerous goods license
- Other license _____

Note This listing is not intended to contain all licenses, permits or other legal requirements relevant the proposed project.

TO: Building Administrator - Kaitaia.

This application for Building Consent will be supported by a Building Certifiers Building Certificate in the near future.

Therefore, no assessment of Building Act Compliance is requested of the FNDC.

Please place application on hold until such time as the certificate is presented.

However it would be appreciated if the PIM content of this Building Consent Application could be released at your earliest convenience.

Thankyou,

Chris Maskell.



Rogers
Mangonui Plumbing (1998) Limited

P.O.BOX 238, MANGONUI, NORTHLAND

PH/FAX 09 4060528 OR MOB 025 806964

23 November 1999

Estate Homes
49 Matthews Avenue
KAITAIA

To Whom it May Concern

RE: EFFLUENT DISPOSAL ASSESSMENT
TAIPA VIEW ROAD, TAIPA

Introduction

We present herein our proposed design of the effluent treatment and disposal system for the above three bedroom house to be built at Taipa View Road, Taipa.

Effluent Disposal

Waste will be pre-treated by a 4500 litre septic tank complete with bio-filter.

The disposal field is sized in accordance with ARC technical publication 58.

An occupancy of 5 people on tank water supply with full water saving devices, each rated at 140lt/day gives a total flow of 700lt/day. With the loading rate for soil category 4, being 15mm/day on a slight slope, a need for 47sqm of disposal will be required. This will entail 2 trenches, 600mm wide and 40m in length at 2m centres. An overall enclosing area comprising disposal field, space between and surrounding the disposal field elements of 270sqm plus 270sqm for reserve area, gives a total area set aside for effluent disposal of 540sqm.

With the area available it is our opinion that the effluent disposal can be contained satisfactorily within the boundaries of the proposed new allotment and would meet the parameters set by the T.P.58.

Yours sincerely



Chris Buckman

**TAKEN FROM TP58 - APPENDIX D
ON SITE WASTEWATER DISPOSAL SITE EVALUATION - SITE
ASSESSMENT AND SUBSOIL INVESTIGATION CHECKLIST**

1.0 SITE EVALUATORS

- 1.1 Company:** Mangonui Plumbing (1998) Limited
Address: 16 Kupe Road, Mangonui, Northland
Phone/Fax: 09) 4060528
- Name:** Chris Buckman
Designation: Managing Director
- 1.2 Additional People Involved:** Dave Allen
Designation: Drainlayer
Involvement: Site visit
-

2.0 SITE INFORMATION

- 2.1 Locality:** Taipa View Road
Owner: B & W Rogers
Address: c/-Estate Homes, 49 Matthews Ave,
Kaitaia
- Survey Plan Details:** Lot 17, DP
Local Council Area: Far North
Regional Council Area: Northland
- Size/Shape/Layout:** 7,512sqm
- 2.2 Work undertaken:** Site visit and percolation test
Date of visit: 22 and 23 November 1999
Weather on day/s: Fine and sunny

3.0 SITE ASSESSMENT

3.1 Topography

- Slope:** Slight slope
- Ground cover:** Grass
- Geology:** Sandy silt loam down to light coloured clay

Available clearances

Boundaries:	O.K
Wells, Bores:	N/A
Waterways:	N/A
Embankments:	N/A
Building:	O.K

3.2 Site Stability

No expert evaluation necessary due to flatness of site, and no signs of instability.

3.3 Drainage Controls

Depth of water table: Over 2 metres

Need for groundwater cut off drains? No

Need for surface water collector drains? Yes

3.4 Climate

Annual Rainfall: 1500mm

**Annual Potential:
Evapo-transpiration** 1200mm

General Comment: High intensity rainfall, relatively short durations.

3.5 Intended Water Supply Source

Rainwater roof collection

3.6 Local Experience (existing on-site systems)

**Number of systems
in locality:**

Three

Performance:

100% satisfactory. No evident problems.

3.7 Availability of Reserve/Buffer Areas

100% of design area. No less than 540sqm.

4.0 SUBSOIL INVESTIGATION

4.1 Soil Profile Determination

Borehole - 100mm diameter, 450mm deep. Sand silt loam down to light coloured clays.

4.2 Percolation Testing

Carried out: Yes
Method: Borehole - 100mm diameter, 450mm deep.
Test Result: 160mm per hour

4.3 Estimated Soil Category

Category	Description	Tick one
1	Gravel, coarse sand;rapid draining	_____
2	Coarse to medium sand, free draining	_____
3	Medium-fine and loamy sand;good drainage	_____
4	Sandy Loam, loam and silt loam; moderate drainage	<input checked="" type="checkbox"/>
5	Sandy clay-loam, clay-loam and silty clay-loam; Moderate to slow drainage	_____
6	Sandy clay, non-swelling clay and silty clay; Slowly draining	_____
7	Swelling clay, grey clay, hardpan; non-draining	_____

Reasons for placing in stated category: Examination of soil type and local knowledge

5.0 GENERAL COMMENTS

5.1 Need for Groundwater Protection: No

5.2 Type of system considered best suited to site

Shallow trenches

5.3 Design Considerations

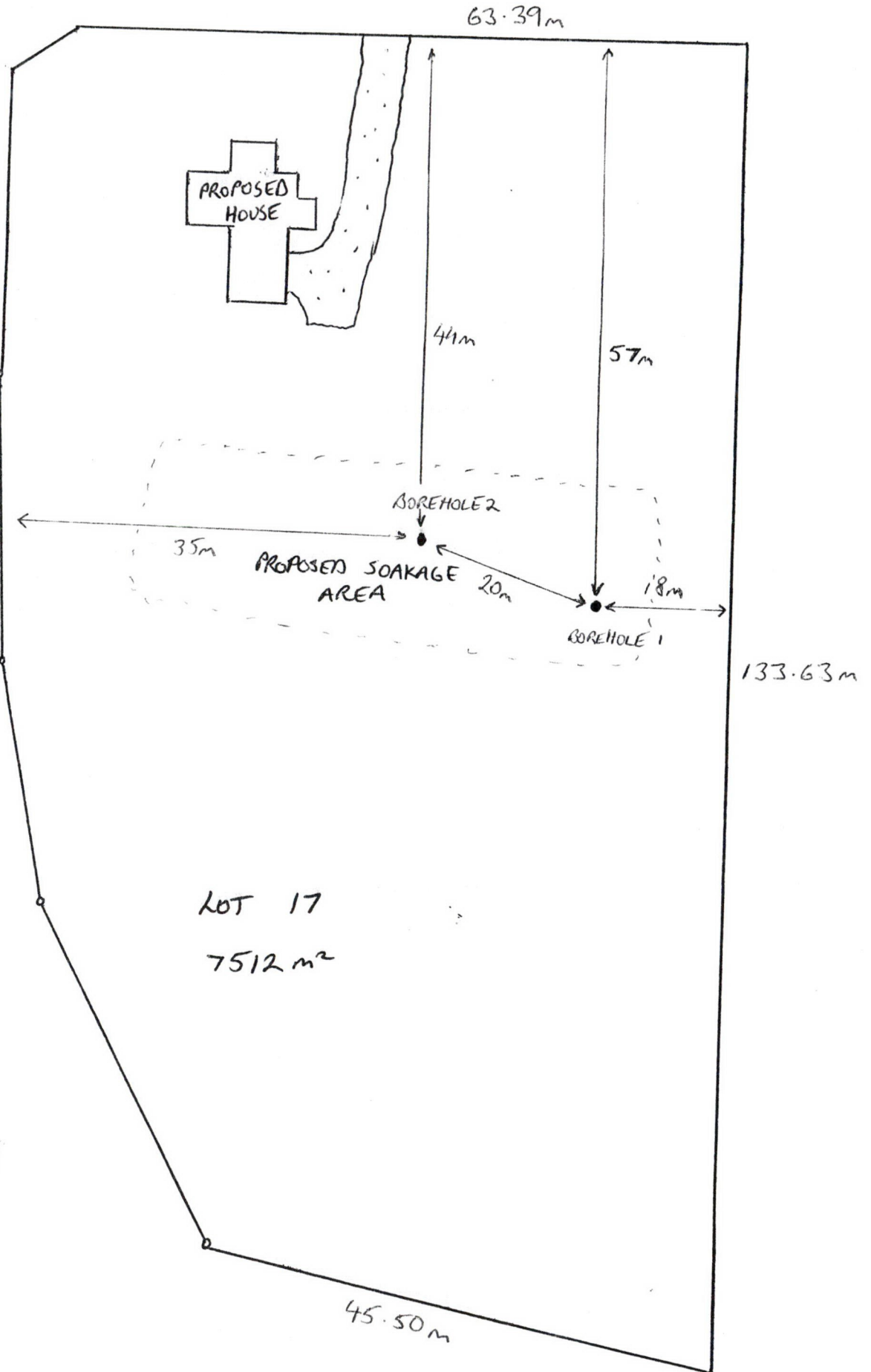
Any specific environmental constraints? None

Any specific public health constraints? None

Signature: Budhram

Date: 24/11/99

MANGONUI PLUMBING (1998) LTD
P O Box 238
MANGONUI
Phone 09 - 406 0528 or 025 806 964



FAR NORTH DISTRICT COUNCIL



Date: 20/12/09

Mr/Mrs B & W ROWERS

C/- N.B.C.

B/P File: 992988

Box 688 KAITIA

Valuation Ref: 85-181

I have to advise that following are the fees for the proposed

PIPELINA

AT TAIPA VIEWS SUBDIVISION LOT 17 DP 195263

Building Permit

Plumbing & Drainage

ESBAABC

150.00

Relocation Bond

DPBAADD

PIM Fee

ESBAAFE

65.00

Fire Service Fee

ESBAAFSS

BRANZ Levy

BRANZ

150.00

Code Compliance Cert.

ESBAACCC

B.I.A. Levy

BIA

97.50

TOTAL PAYABLE

462.50

LESS FEES ALREADY RECEIVED

(Receipt 1166 Paid 20/12/09)

<215.00>

BALANCE NOW DUE:

247.50

Please note that no Building Consent/Pim will be issued until all scheduled fees have been paid.

M. Holgate
ENVIRONMENTAL SUPPORT OFFICER

Office Use Only:

Receipt No _____

Amount: 247.50 Date: 18/1/10

HAND DELIVER TO: KAITIA SERVICE CENTRE
REDAN ROAD
KAITIA PH: 09 408 1400

OR POST TO:

District Office: Memorial Ave, Private Bag 752, Kaikohe
Telephone: (09) 401-2101 Fax: (09) 401-2137

PART D: COMPLIANCE SCHEDULE DETAILS

D1: SYSTEMS NECESSITATING A COMPLIANCE SCHEDULE

{Complete Part D1 for all new buildings and alterations, except single residential dwellings}

THE BUILDING WILL CONTAIN THE FOLLOWING: {Cross applicable boxes and attach proposed inspection, maintenance, and reporting procedures in duplicate}

- Automatic sprinkler system or other systems of automatic fire protection.
- Automatic doors which form part of any fire wall & which are designed to close shut and remain shut on an alarm of fire.
- Emergency warning systems for fire or other dangers.
- Emergency lighting systems.
- Escape route pressurisation systems.
- Riser mains for fire service use.
- Any automatic back-flow preventer connected to a portable water supply.
- Lifts, escalators or travelators or other similar systems.
- Mechanical ventilation or air conditioning system serving all or a major part of the building.
- Any other mechanical, electrical, hydraulic, or electronic system whose proper operation is necessary for compliance with the Building Code.
- Building maintenance units for providing access to the exterior and interior walls of buildings.
- Such signs as are required by the Building Code in respect of the above-mentioned systems.
- None of the above.

D2: OTHER SYSTEMS AND FEATURES TO BE INCLUDED IN THE SCHEDULE

{Complete Part D2 only if the building contains one or more of the systems listed in Part D1}

THE BUILDING WILL CONTAIN THE FOLLOWING: {Cross applicable boxes and attach proposed inspection, maintenance, and reporting procedures in duplicate}

- Means of escape from fire.
- Safety barriers.
- Means of access and facilities for use by persons with disabilities which meet the requirements of Section 25 of the Disabled Persons Community Welfare Act 1975.
- Hand-held hoses for fire fighting.
- Such signs as are required by the Building Code or Section 25 of the Disabled Persons Community Welfare Act 1975.

PART E: KEY PERSONNEL {Complete as Relevant}

Designer:	<u>Alan + Del Simpkin</u>	Reg. No.:	
Address:		Phone No.:	<u>4082233</u>
Registered Drainlayer:		Reg. No.:	
Address:		Phone No.:	
Registered Plumber:		Reg. No.:	
Address:		Phone No.:	
Registered Gasfitter:		Reg. No.:	
Address:		Phone No.:	
Registered Electrician:		Reg. No.:	
Address:		Phone No.:	
Other:			

TO BE DECIDED.

If you intend to use a Building Certifier, please provide information below:

Building Certifier:	<u>NBC</u>	Reg. No.:	<u>20</u>
Address:	<u>Box 688 KAITAIA</u>	Phone No.:	<u>4082339</u>

Signed by or for and on behalf of the applicant: ASi

Name: Del Simpkin

Position: Draughtsman Date: 15 12 99

POSTAL:

Kaikohe Service Centre
Private Bag 752, Kaikohe
(09) 401 2101

HAND DELIVER:

Kaitaia Service Centre
Redan Road, Kaitaia
(09) 408 1400

Kaikohe Service Centre
Memorial Ave, Kaikohe
(09) 401 2101

Kaero Service Centre
Leigh Street, Kaero
(09) 405 0297

Kerikeri Service Centre
Hobson Ave, Kerikeri
(09) 407 7033

Kawakawa Service Centre
Gillies Street, Kawakawa
(09) 404 0371

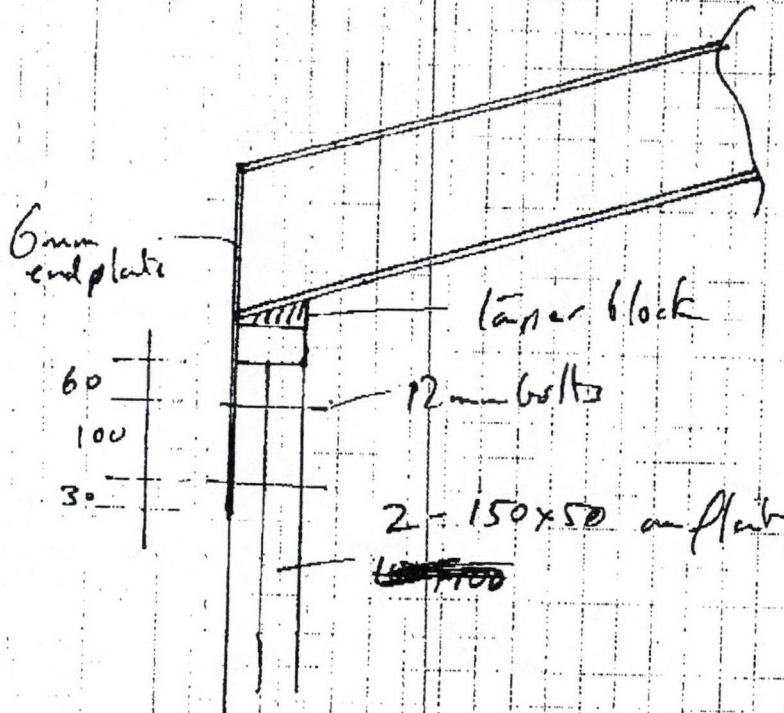
Rawene Service Centre
Parnell Street, Rawene
(09) 405 7829

CALCULATION SHEET

RICHARD I.R. CATTERALL
M.A., M.I.C.E., M.I.P.E.N.Z.
CONSULTING ENGINEER

PO BOX 53, MANGONUI, FAR NORTH. TEL / FAX 0-9-406 0668

JOB NAME:	Rogers	PAGE No:	8
SECTION:	Beam Connection	DESIGNED:	RE
JOB No:	1157	CHECKED:	
DATE:	21/12/99		



CALCULATION SHEET

RICHARD I.R. CATTERALL
M.A., M.I.C.E., M.I.P.E.N.Z.
CONSULTING ENGINEER

PO BOX 53, MANGONUI, FAR NORTH. TEL / FAX 09-406 0658.

JOB NAME: *Rogers*

SECTION: *Beam Connection*

JOB No: *1159*

DATE: *21/12/99*

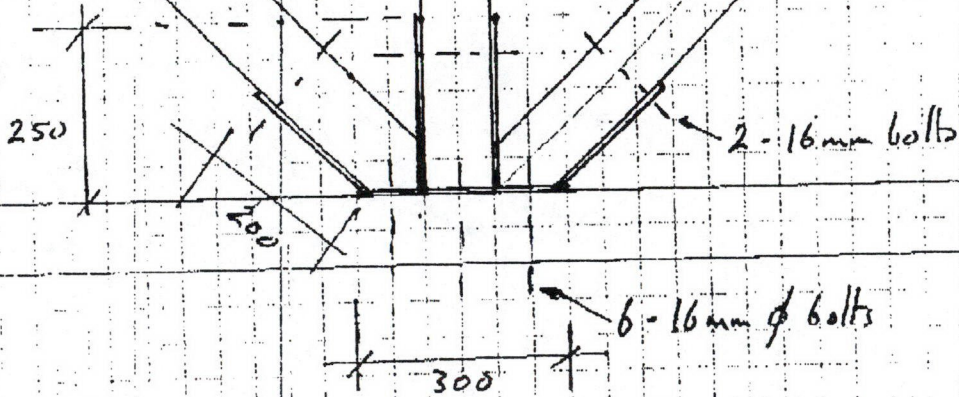
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8/6

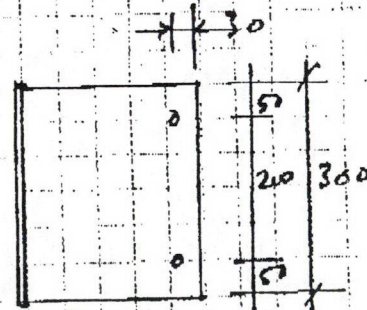
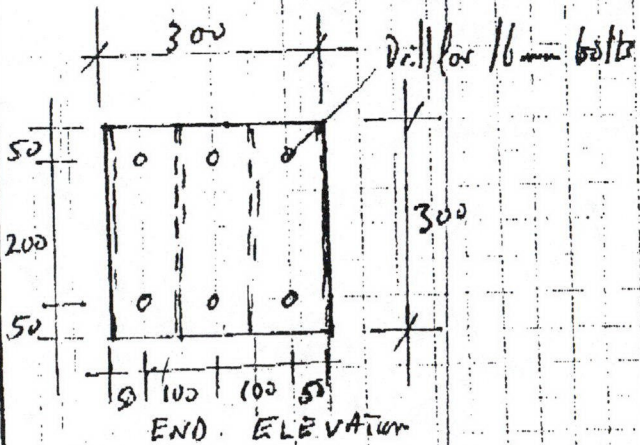
DESIGNED: *AK*

CHECKED:

DETAILS



PLAN



ELEVATION CENTRE PLATE

CALCULATION SHEET

RICHARD I.R. CATTERALL
M.A., M.I.C.E., M.I.P.E.N.Z.
CONSULTING ENGINEER

PO BOX 53, MANGONUI, FAR NORTH, TEL / FAX 09 406 0668.

JOB NAME: *Rogers*

PAGE No:

SECTION: *Beam Connection*

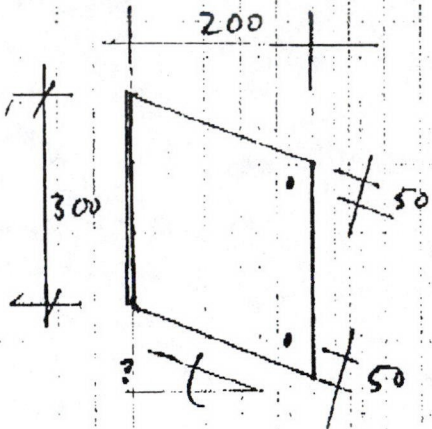
7.

JOB No: *1159*

DESIGNED: *[Signature]*

DATE: *21/12/99*

CHECKED:



SIDE PLATES

ALL PLATES 6mm thick.

DETAIL E

