

PROJECT INFORMATION MEMORANDUM

This IS NOT A building consent and this document does not authorise you to commence construction. The Project Information Memorandum (PIM) sets out relevant information held by Council in relation to your proposed project as required by the Building Act 2004:

Application Number ABA-61192
Dated 07-Jun-2006
Site Address 158 McLeod Road, Waioneke 1250
Applicant Graeme Wright Johnson and Gillian Ann Carter
Description of Work Kent Clean Air Firenze Woodburner

Copies of any report referred to in this PIM can be obtained from the PIM Coordinator at the Rodney District Council Offices at Orewa. You will need to request such a report at least 24 hours before being able to collect it. This service is subject to a document recovery fee.

PROJECT INFORMATION

The following information is provided in relation to the proposed building work or project. It is the responsibility of the applicant to show that the proposed building complies with the Building Act 2004 and the New Zealand building Code

1/ The Heritage Status of the Land and/or Buildings involved in the proposed project.

1.1 There are no heritage matters, known to Council, in respect to this project.

2/ Special Features of the land, known to Council, that may affect the proposed project.

2.1 Geotechnical Features and issues

2.1.1 There are no special features, known to Council, in respect to this issue for this project.

2.2 Potential inundation as a result of flooding or overland flow

2.2.1 There are no special features, known to Council, in respect to this issue for this project.

2.3 The presence of hazardous Contaminants

2.3.1 There are no special features, known to Council, in respect to this issue for this project.

2.4 The Location of the land - Exposure Zone and Durability

- 2.4.1 The building site is classified as being in “zone 1”. “Zone 1” is defined in Fig. 4.1 of NZS 3604:1999. For specifically designed building works it should be noted that this project is further away from than 500m away from the sea or 100m away from a tidal estuary. Designers should consider the durability requirements in the respective specific design material codes.

2.5 The Location of the land on which the building project is located and associated Wind Zone

- 2.5.1 This Council does not provide building wind zones as there are a number of variables in terms of wind region, topography, ground roughness and exposure. Designers must use the relevant design codes to design the building work for the required wind loadings and consequential bracing requirements.

3/ Notification received from other Statutory Authority's, that may affect the proposed project.

- 3.1 Council has not received notification from other Statutory Authorities, that may affect this project.
- 3.2 The Council is not an agent for any other network utility operator - electricity, gas, geothermal emergency or petroleum, so information cannot be supplied by the Council.

4/ Issues associated with stormwater and/or wastewater utility services or the lack of such services that may affect the proposed project.

- 4.1 This is not applicable.

5/ Notification of the need to comply with consent notices or other instruments registered in favor of Council on the title of the land.

- 5.1 You should check the title of your property for consent notices or for any restrictive covenants that could impact on the design of this project.

6/ Notification of the need, if any, to obtain authorization(s) in respect to the Resource Management Act 1991.

- 6.1 From the detail supplied with the application, it does not appear that this project requires any authorization pursuant to the Resource management Act 1991.
- Fire Places and Wood burners
- The proposed building works the subject of this PIM may have fire place or a wood or coal burning appliance. These appliances need to comply with both national and regional requirements as set out in environmental standards or the Auckland Regional Councils “Air Land and Water Plan”

7/ Notification of the need, if any, to obtain other authorization(s).

7.1 Electricity Transmission Lines and Towers

If there are high-tension electricity transmission lines over or adjacent to the property or there are transmission towers/pylons on or adjacent to the property the building consent applicant must ensure that the proposed building complies with the clearances prescribed in the New Zealand Electrical Code of Practice for Electrical Safety Distances.

It is the responsibility of the owner/applicant to ensure compliance and if necessary to contact the line owner to determine whether the proposed building work will comply prior to commencing construction.

8/ Swimming Pool Discharge.

8.1 This is not applicable.

9/ Notification that it is necessary to consult the New Zealand Fire Service in respect to your project.

9.1 There is no need to consult the New Zealand Fire Service in relation to the proposed project.

10/ Notification that allotments, associated with this project, may not be transferred or leased separately.

10.1 This is not applicable.

11/ Notification that the Proposed Project may or may not be built or that the building work may not proceed or may only proceed in part.

11.1 This is confirmation that the project may be undertaken subject to the requirements of the building consent and subject also to all other necessary authorisations being obtained. The project is subject to the provision of the Building Act 2004 and relevant documents.

**PRODUCER STATEMENT APPLICATION
FOR THE INSTALLATION OF A SOLID FUEL HEATER**

Applicant: **Hammer & Heat Ltd**

hereby apply to the Rodney District Council
(Territorial Authority)

A Certified Installer Producer Statement - Construction to be supplied upon completion

To install a solid fuel heating appliance for

Customer Graham Johnson

Address 158 McLeod Rd

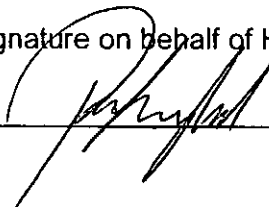
Helensville

And on completion of the work furnish to the territorial authority a Producer Statement, as provided for in Section 33 (5) of the Building Act 1991, certifying that the work has been carried out in accordance with the manufacturers specifications and that the installation complies with the New Zealand Building Regulations 1992.

Hammer & Heat Ltd – Member of the New Zealand Home Heating Assoc.

Date 29/05/06

Signature on behalf of Hammer & Heat Ltd:



Note: This application must accompany the Building Consent Application.

CERTIFICATE OF MEMBERSHIP



This is to certify that

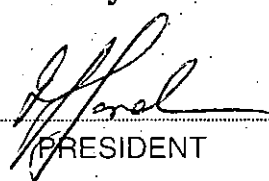
HAMMER & HEAT LIMITED

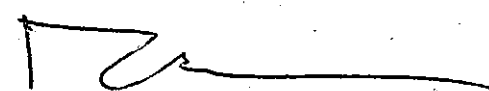
has fulfilled all requirements for membership prescribed by the New Zealand Home Heating Association (Inc) and agreed to abide by the Association's Code of Ethics listed hereunder.

CODE OF ETHICS

1. To perform all contracts fairly and faithfully, recognising the role of industry in contributing to the comfort and safety of the public.
2. To maintain the highest standards of business practice and courtesy.
3. To make every effort to resolve complaints, grievances and disputes through fair and reasonable negotiation and to abide by any decision reached by an Arbitration Committee or Inspector appointed.
4. To further the interests of the Association at all times and to be loyal to its aims and objectives.
5. To apply the rule "Do unto others as you would have them do unto you" in all relationships.

Dated **January 2001**


PRESIDENT


SECRETARY

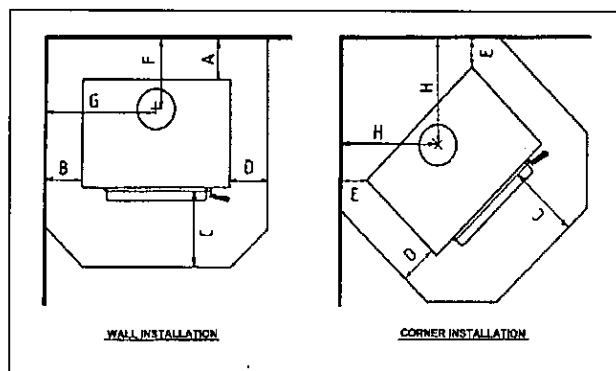
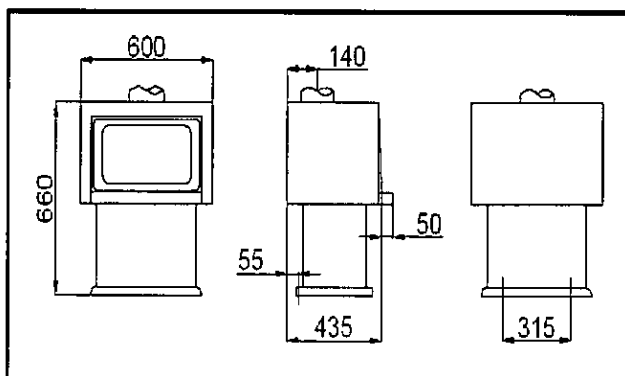
FREESTANDING WOOD HEATER INSTALLATION INSTRUCTIONS

Rodney District Council
Plans and Specifications
Approved for Building Consent

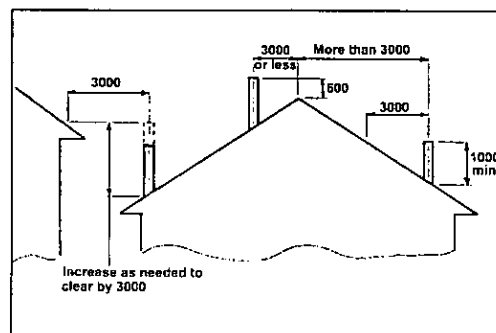
ABA - 61192

Officer: *[Signature]* Date: *07/10/06*
See Building Consent for
Conditions

CONSTRUCTION INSTRUCTIONS



	A	B	C	D	E	F	G	H
With flue shield	100	225	300	115	50	235	525	365

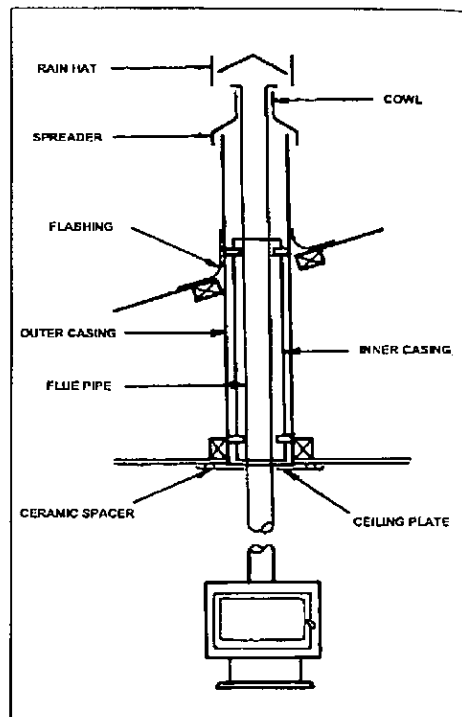


No part of the building, or any adjacent building, may be in or above a circular area of a horizontal radius of 3 meters from the flue exit.

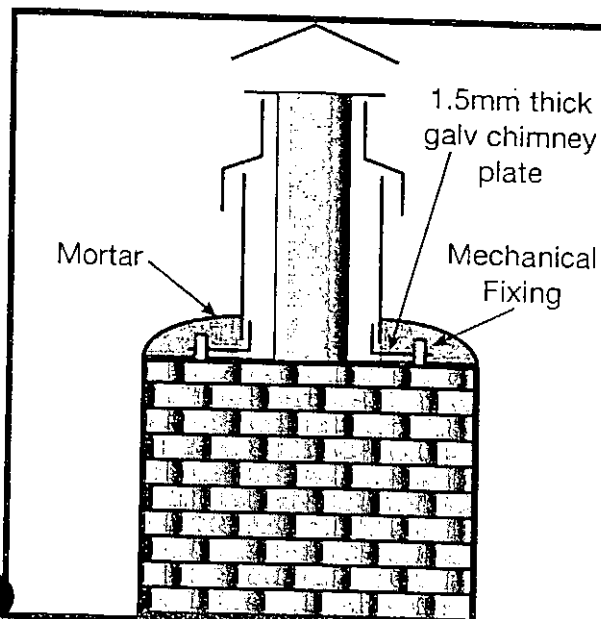
These heights are given as a general minimum, and in actual practice the presence of surrounding structures, trees, fences, etc. may necessitate additional height for satisfactory performance. The cowl must be fitted to prevent entry of birds, snow and rain. At all flue joints, the swaged end of the upper piece must be fitted to the plain end of the lower piece.

INSTALLATION

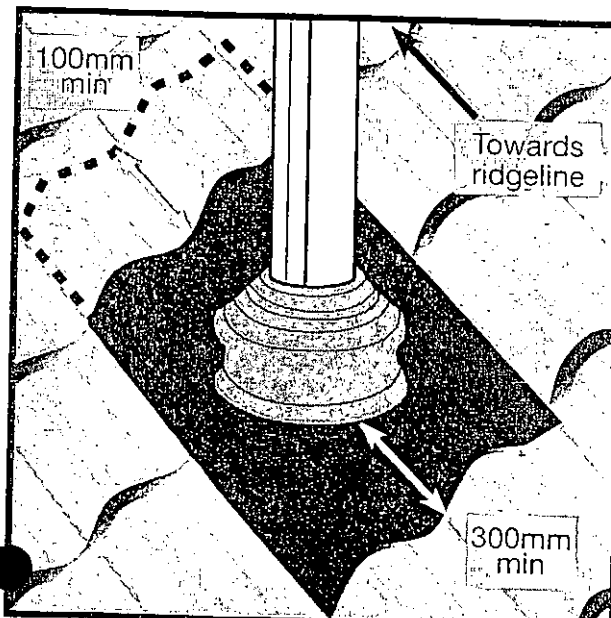
1. The minimum requirements for installing your **KENT** heater are an assembled heater, a floor protector, a flue system and material for flashing the roof penetration.
2. Select the location for the heater, bearing in mind the clearances required (see Table 1).
3. Place the heater into the desired position and plumb for the ceiling roof penetrations. Allow for 150mm diameter flue pipe, 200mm diameter inner casing and 250mm outer casing. Check the proposed route of the flue to ensure it is clear of roof trusses and rafters in the ceiling space or other obstructions. It may be necessary to move the location of the heater to ensure this.
4. Once the location is confirmed, the heater must be restrained against movement due to earthquakes. The **Firenze** is reXtraanedby fixing the heater to the floor with two bolts of 6mm minimum diameter through the holes provided in the plinth base, through the floor protector and floor and fixed with heavy washers and nuts. For solid concrete floors, use 8mm DYNABOLTS® or similar, with a minimum depth of engagement into the floor of 50mm.
5. Cut a 260mm square penetration for the passage of the flue pipe and casings through the ceiling. Trim back and reframe timbers to allow for fixing the ceiling plate and outer casing.
6. Cut and frame an opening in the roof and position the outer casing through the roof until it is flush with the underside of the ceiling. Fix with 4 screws or nails to the framing of the square opening in the ceiling at the points where the casing and timber touch.
7. Flash the outer casing to the roof, to make a permanent, weatherproof seal.
8. Place the ceiling plate with folded edges upwards over the flue spigot on the heater.
9. Join the required number of flue pipes by inserting the swaged ends of the upper piece into the plain end of the lower piece. Drill and fix each length with three stainless rivets or self-tapping screws. It is important that each flue pipe joint is sealed with commercially available flue sealing compound, including the joint between the flue spigot and the first length of flue pipe.
Note: enamel finish flue pipes may only be used where they are visible. Flue pipes located wholly inside the casings in the roof space **must** be stainless steel only. Position the flue pipe into the spigot in the top of the heater. The flue pipe can either be lowered from the top as a single unit or fed up from the room a length at a time, ensuring that all joints are sealed and fixed properly.
Fit the flue shield, if fitted, so that the bottom edge of the shield has an air gap of 2-3mm above the top grill of the heater.
10. Slide the inner casing into place, between the outer casing and the flue pipe, ensuring that the spacers are fitted to maintain equal clearances around the flue pipe and casings.
11. The flue pipe must extend at least 200mm above the casing at the top of the flue system. Extra lengths of flue pipe, inner casing and outer casing may be required to achieve the minimum distance above the roof. Joins between lengths of outer casing must be made with the upper end of the lower section inside the bottom edge of the upper length (the opposite of the method used for the flue pipe).
12. Place the top spreader in place and tighten. Slide the cowl over the flue until it rests on the top spreader. Secure with stainless rivets or self-tapping screws.
13. Fit the rain-hat. Do not fasten this in place – it must be removable for cleaning.
14. Screw the ceiling plate securely in position, through the holes provided, into the outer casing support framing. Ensure that the ceiling plate is spaced off from the ceiling by means of the spacers supplied in the flue kit. **Do not** fix the ceiling plate directly to the ceiling.
15. Where a flue terminates more than two meters above the roof penetration, it may be necessary to fit restraining guy wires for stability in high wind conditions.
16. Before using the heater, ensure that you have a Compliance Certificate from your Registered Installer or Territorial Authority Inspector.



FIRE INSTALLATION FLASHING SYSTEM

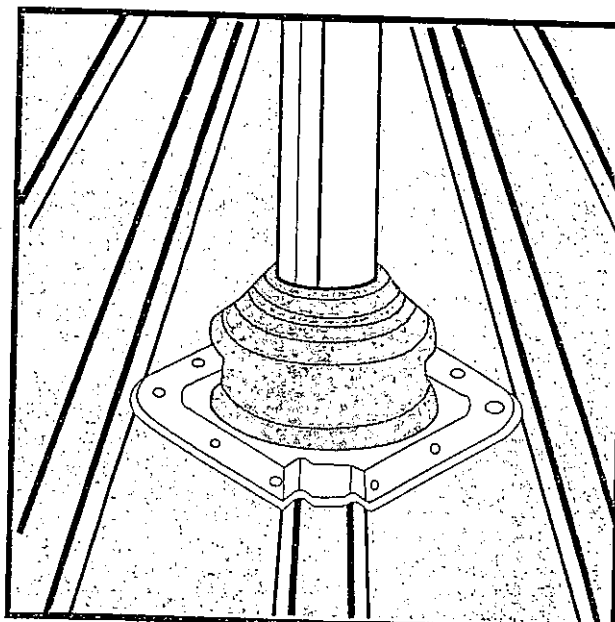
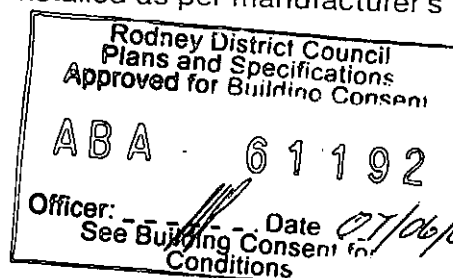


MASONRY CHIMNEY FLASHING for fireplace inserts



DEKTITE LEAD FLASHING for tiled roofs

Use Dektite code TFL107 (900 x 600 base for 250 flue liner). Installed as per manufacturer's instructions



DEKTITE PIPE FLASHING for 250mm flue on a metal roof

Use Dektite code DFE220-300 (453mm² base for 250mm flue liner). Fastened with self-sealing fasteners or pop (sealed) rivets. Sealed with neutral cure silicone. Installed as per manufacturer's instructions



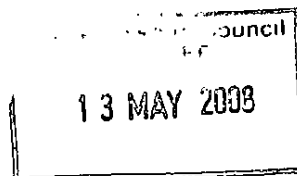
BUILDING INSPECTION SIGNING OFF FORM

①

61192

FINAL INSPECTION

TO BE ACTIONED AS BELOW



Applicable

Not applicable

CODE COMPLIANCE CERTIFICATE

☒☐

COMPLIANCE SCHEDULE

☐☒

CLADDING ASSESMENT REQUIRED

☐☒

ONSITE AMENDMENTS

☐☒

OTHER:

Signed:

Date:

5/5/08

Checked:

Date:

12-5-08

(Team Leader Building Consent Inspections or Area Building Field Officer)



Fire Place Check List

Project Address: 158 McLeod Rd

ABA: 61192

Field Officer: Jan B

Date: 5/5/08

AM	PM
☒	☐

Pass	Fail
☒	☐

Chargeable	No charge
☒	☐

Partial	Full
☐	☒

Units

Solid Fuel Heater

	Yes	No
Free standing heater	☒	☐
Installed to manufacturer's specifications	☒	☐

	Complies		Complies
Chimney check – interior - rivets	☒	Ceiling Plate	☒
Chimney check – exterior	☒	Seismic restraints	☒
Flue height	☒	Hearth size	☒
Flue flashing	☒	Wetback pipe sizing/fall	☒
Flue support – roof	☒	Wetback open vented	☒
Flue support - ceiling	☒	Mantel clearance	☒
Smoke alarms	☒	Application for CCC	☒
Installers Producer Statement	☒		

✓ Complies with Consent/Code. X Does not comply with Consent/Code. – or / or N/A Not applicable

Comments:

Okay to proceed.

Date Inspected

06/06/06

Site bigger than 2 hec. - need not comply with NES.

BC processed - did not receive owner's file.
PP.

07/06

Owner's file @ LIR. Referred to Planning.
BC granted. PP.

4/03/08

Attached app for CCC & P.S from installer

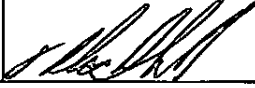
5/5/08

Final
Checklist completed

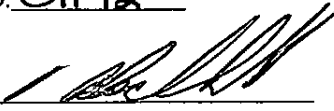
(1)

Jen B.

CODE COMPLIANCE CERTIFICATE

Certifier	Signature	Date	Certifier	Signature	Date
BUILDING			POWER		
PLUMBING			GAS		
DRAINAGE			SERVICES		
E.H.O.			RESOURCE MGMT		
LIFTS			AIR COND.		
OTHER			Fireplace		5/5/08

WORK IS NOW DEEMED TO BE COMPLETED. A CODE COMPLIANCE CERTIFICATE WILL BE ISSUED AS REQUIRED BY THE BUILDING ACT. CODE COMPLIANCE CERTIFICATE NO. 61192


Signature

BFO
Designation

5/5/08
Date

WHEN THIS PROJECT IS COMPLETED THIS INSPECTION SHEET WILL BE ATTACHED TO THE RELEVANT PROPERTY FILE HELD AT THE COUNCIL OFFICE.

SPECIAL CONDITIONS:

①

APPLICATION NO. 086-09-87 PERMIT NO. F016673 LODGED AT DISTRICT OFFICE
DISTRICT OFFICE NO. 34/326 DATE ISSUED 12-11-87 DATE 24-8-87 HEAD OFFICE DATE STAMP
RECEIVED
14 SEP 1987
RODNEY COUNTY COUNCIL

RODNEY COUNTY COUNCIL
CENTREWAY ROAD, OREWA PRIVATE BAG, OREWA
PHONE HBC 65-169 DISTRICT OFFICES: HUAPAI PH. 412-9120, WARKWORTH 8539

BUILDING PERMIT APPLICATION

IMPORTANT PLEASE READ INSTRUCTION ON PAGE 3 AND COMPLETE THE FOLLOWING INFORMATION

OWNER OF SECTION: PHONE NO. BUS 548899
NAME APPENZELL DEER FARMS LTD (BLOCK CAPITALS) PHONE NO. PVT _____
PRESENT POSTAL ADDRESS 12 DARWIN LANE, AUCK 5

BUILDER:
NAME APPENZELL DEER FARMS PHONE NO. 548899
ADDRESS 12 DARWIN LANE AUCK 5
(PERMIT WILL BE POSTED TO BUILDER UNLESS OTHERWISE REQUESTED)
PREVIOUS OWNER OF SECTION: NAME McLeod

LEGAL DESCRIPTION OF SECTION: (SEE RATES FORM)
LOT 1E3 D.P. 102458 SECS
STREET OR ROAD NUMBER _____ VALUATION NO. 30700-45-2
STREET OR ROAD NAME MCLEOD RD LOCALITY Ell Kaurapa
AREA OF SECTION 94.63 HECTARES RIDING Kaukapakapa

DESCRIPTION OF PROPOSED WORK:
ERECTION OF RESIDENCE

FLOOR AREA 192 SQ METRES
GARPORT/GARAGE 56.00
ADDITION _____
BASEMENT _____
GROUND FLOOR 192.00
FIRST FLOOR _____
OTHERS _____
TOTAL AREA 248.00

VALUE OF BUILDING WORK ONLY 89,000.00
(The decision of the Building Inspector shall be final as to estimated cost)

SIGNATURE OF APPLICANT APPENZELL DEER FARMS

FOR OFFICE USE ONLY

PERMIT FEES	WORK	VALUE	FEE	RECEIPT NO.	DATE
	BUILDING	89,000.00	422.00		
	PLUMBING	1,800.00	143.00		
	DRAINAGE	2,400.00	182.00		
	SUB-TOTAL	93,200.00	747.00		
	BUILDING RESEARCH LEVY		103.40		
	TOTAL PERMIT FEE		850.40	E1894	17-8-87
	WATER CONNECTION				
	ROAD DAMAGE DEPOSIT				
	TOTAL PAYABLE				

SUNDRY FEES

ESTIMATED VALUE OF WORK

BUILDING PERMIT APPLICATION FEES
INCLUSIVE OF GST

NOT EXCEEDING

\$	\$ 1,000	\$ 30
\$ 1,001	\$ 2,000	\$ 40
\$ 2,001	\$ 4,000	\$ 60
\$ 4,001	\$ 6,000	\$ 79
\$ 6,001	\$ 8,000	\$ 103
\$ 8,001	\$ 10,000	\$ 119
\$ 10,001	\$ 15,000	\$ 162
\$ 15,001	\$ 20,000	\$ 217
\$ 20,001	\$ 25,000	\$ 246
\$ 25,001	\$ 30,000	\$ 276
\$ 30,001	\$ 35,000	\$ 304
\$ 35,001	\$ 40,000	\$ 339
\$ 40,001	\$ 50,000	\$ 364
\$ 50,001	\$ 60,000	\$ 394
\$ 60,001	\$ 70,000	\$ 423
\$ 70,001	\$ 80,000	\$ 453
\$ 80,001	\$ 90,000	\$ 482
\$ 90,001	\$ 100,000	\$ 512
\$ 100,001	\$ 120,000	\$ 540
\$ 120,001	\$ 140,000	\$ 575
\$ 140,001	\$ 160,000	\$ 599
\$ 160,001	\$ 180,000	\$ 630
\$ 180,001	\$ 200,000	\$ 661
\$ 200,001	\$ 250,000	\$ 718

ABOVE \$250,000 AN ADDITIONAL \$20. FOR EVERY ADDITIONAL \$20,000 OR PART THEREOF

BUILDING RESEARCH LEVY

THE LEVY IS \$1.00 (PLUS GST) FOR EACH \$1,000 (OR PART \$1,000) OF THE TOTAL VALUE.

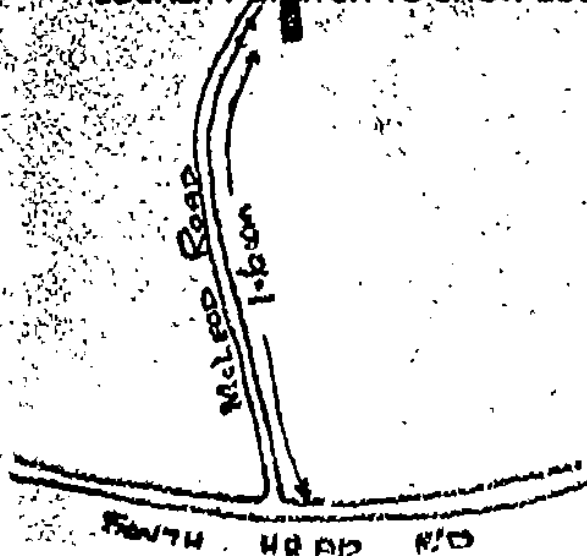
NOTE: THIS LEVY IS PAYABLE ON ALL WORK VALUED \$10,000 AND OVER.

INSPECTION FEE FOR OLD OR USED TIMBER OR SECONDHAND BUILDINGS

- (a) INSPECTIONS OUTSIDE COUNTY \$100
(b) INSPECTIONS WITHIN THE COUNTY \$ 40

PROVIDED THAT WHERE AN INSPECTION IS REQUIRED OUTSIDE A RADIUS OF 50 KILOMETRES FROM THE APPROPRIATE DISTRICT OFFICE OR HEAD OFFICE OF THE COUNTY, PUBLIC SERVICE MILEAGE RATES SHALL BE LEVIED IN ADDITION TO THE ABOVE CHARGES.

LOCALITY SKETCH TO SHOW LOCATION OF BUILDING SITE



THIS IS NOT ACCEPTED AS A SITE PLAN

APPLICATION APPROVED BY

BUILDING INSPECTOR
HEALTH INSPECTOR
PLUMBING & DRAINAGE INSPECTOR
TOWN PLANNING OFFICER
STRUCTURAL ENGINEER
GEOTECH. ENGINEER
DISTRICT ENGINEER

DATE	
12/11/87	<i>[Signature]</i>
3/1/87	<i>[Signature]</i>
3/1/87	<i>[Signature]</i>
7.10.87	<i>[Signature]</i>
29/9/87	<i>[Signature]</i>
5/10/87	<i>[Signature]</i>

DISTRICT SCHEME ZONING Rural Gen Str

INITIALS

ELECTRICITY TRANSMISSION LINES

~~PRESENT~~/NOT PRESENT

COUNCIL SEWER

PRESENT/~~NOT PRESENT~~

COUNCIL STORMWATER DRAIN

~~PRESENT~~/NOT PRESENT

(DELETE NOT APPLICABLE)

PERMIT ISSUED SUBJECT TO FOLLOWING CONDITIONS

1. No part of building to be within 10 metres of slopes to North West of house.
2. Stormwater from driveway, roof tank and paved areas to be collected and piped to approved outfall well clear of steep slopes.

DATE COMMENTS BY OFFICER

17.8.87 Col T. & DR App - DR Plan - Eng. Colours to come. owner notified at car.

31.8.87 owner coming about progress - told him still awaiting above.

9.9.87 Col T. DR App - Eng Colours rec'd. PL & DR App to come.

5.10.87 site inspected. All site pegged but further away from road side than shown on Dwg. NW corner of house as pegged is on firm top of steep incline of weathered clay & silt with slopes increasing from 15° at top up to 40° down down. There is a clear change in gradient and possible also due to firm NW or 2.8m from SW corner. Building site itself is slope. O.K. if building recommended from figures provided.

NOTE: BUILDING IS NOT PEGGED AS PER DRAWINGS. BUILDING NOT TO BE WITHIN 10METRES OF TOP OF SLOPES DOWN TO GULLY.

8.10.87 PL & DR App rec'd. E.

INSTRUCTIONS FOR OBTAINING A BUILDING PERMIT

1. PLANS TO BE SUPPLIED ARE AS FOLLOWS:

TYPE OF BUILDING	TYPE OF PLAN	INFORMATION
(a) SHEDS — DECKS GARAGES CARPORTS ADDITIONS FARM BUILDINGS ETC.	FLOOR PLAN, TWO ELEVATIONS, CROSS SECTION, SITE AND DRAINAGE PLAN	SHOWING EXISTING BUILDING SEE ITEM (g)
(b) DWELLINGS, INDUSTRIAL AND COMMERCIAL BUILDINGS	FLOOR PLAN FOUR ELEVATIONS CROSS SECTION SITE PLAN STEEL DETAILS SITE AND DRAINAGE PLAN	WHERE SPECIAL DESIGN IS REQUIRED COMPLETE DETAILED PLANS MUST BE SUBMITTED TOGETHER WITH CALCULATIONS SEE ITEM (g)

(c) ALL PLANS MUST BE DRAWN TO METRIC SCALE.

(d) PENCIL SKETCHES WILL NOT BE ACCEPTED.

(e) PLANS AND SPECIFICATIONS MUST BE SUBMITTED IN DUPLICATE.

(f) PLUMBING AND DRAINAGE APPLICATIONS SIGNED BY THE REGISTERED TRADESMEN MUST BE SUBMITTED WITH PLANS.

(g) AN EXPLANATORY SHEET AND CHECK LIST IS AVAILABLE TO ASSIST IN THE PRESENTATION OF A SUFFICIENTLY DETAILED APPLICATION.

NOTE: PROPERLY COMPLETED APPLICATIONS CAN BE PROCESSED PROMPTLY BY COUNCIL.

2. ALL FEES ARE PAYABLE AT TIME OF APPLICATION.

3. ROAD DAMAGE DEPOSITS MUST BE PAID AT THE TIME OF LODGING A BUILDING PERMIT APPLICATION.

4. REGISTERED VEHICLE CROSSING

(a) UNLESS ALREADY EXISTING, ALL CROSSINGS MUST BE INSTALLED TO COUNCIL'S STANDARDS, EITHER BY THE OWNER OR THE COUNCIL PRIOR TO COMMENCEMENT OF CONSTRUCTION WORK.

(b) IF THE COUNCIL INSTALLS THE CROSSING THE FEE MUST BE PAID BY THE APPLICANT WHEN APPLYING FOR THE BUILDING PERMIT. AN ESTIMATE FOR CROSSING INSTALLATION MAY BE OBTAINED FROM THE DISTRICT ENGINEER.

5. ALL NEW BUILDING SITES

(a) BOUNDARY SURVEY PEGS TO BE LOCATED AND FLAGGED.

(b) SITES TO BE MARKED WITH EITHER OWNER'S OR BUILDER'S NAME BEFORE LODGING BUILDING PERMIT APPLICATION.

6. LOCATION SKETCH (TO ENABLE INSPECTOR TO FIND PROPERTY)

PLEASE ILLUSTRATE IN SPACE PROVIDED ON PAGE 2, A BRIEF PLAN SHOWING LOCATION OF THE PROPERTY CONCERNED.

7. PLUMBING AND DRAINAGE

(a) PLANS OF PROPOSED SANITARY DRAINAGE LAYOUT MUST BE SUPPLIED WHEN NEW DRAINAGE IS REQUIRED TO SERVE BUILDING.

(b) PLANS OF STORMWATER DRAINAGE MUST BE SUPPLIED IN ALL CASES.

(c) ALL WORK MUST BE CARRIED OUT BY A REGISTERED TRADESMAN.

(For requirements in rural areas discuss with Health Inspector)

(d) IF A SEPTIC TANK IS TO BE INSTALLED, THE SITE MUST BE INSPECTED BY THE HEALTH INSPECTOR. A PERCOLATION TEST MAY BE NECESSARY BEFORE A PERMIT CAN BE ISSUED.

(e) IT IS MOST IMPORTANT THAT BUILDINGS SHOULD NOT BE OCCUPIED BEFORE COMPLETE PLUMBING AND DRAINAGE SYSTEMS HAVE BEEN INSTALLED AND OFFICIALLY APPROVED.

8. NATURE OF GROUND AND SUB STRATA

THE FOLLOWING INFORMATION SHALL BE GIVEN AS A SIGNED STATEMENT ON OR ATTACHED TO THIS APPLICATION FORM. THE NATURE OF THE GROUND ON WHICH THE BUILDING IS TO BE PLACED AND THE SUBJACENT STRATA. DATA FROM INVESTIGATION AND TESTS SHALL BE SUCH THAT WILL DEMONSTRATE TO THE ENGINEER THAT THE STRATA WILL SUPPORT THE BUILDING WITHOUT DETRIMENTAL SETTLEMENTS.

Inspector: M

File No.

Receipt No. 0361187

Date Permit Issued 12/11/87

OWNER	20
Name	ALLEN ZELLISLER LANDS LTD
Mailing Address	12 DARWIN LANE RICKLAND 5

BUILDER	
Name	AS OWNER
Mailing Address	

PROPERTY ON WHICH BUILDING IS TO BE ERECTED/DEMOLISHED

SITE	
Street No.	158
Street Name	MCLEOD RD
Town/District	SOUTH KAITIARA HEAD
Riding	KAUKAIAKAI

LEGAL DESCRIPTION	
Valuation Roll No.	3700-45-2
Lot	1st 3
D.P.	102458
Section	
Block	
Survey District	

DESCRIPTION OF PROPOSED WORK AND MAIN PURPOSE OF USE

NEW DWELLING

FLOOR AREA	DWELLING UNITS
Whole Sq. Metres	Number Erected
972	
ESTIMATED VALUES	
Building	89000
Plumbing	1500
Drainage	2100
G.S.T.	
TOTAL	93200

NATURE OF PERMIT (Tick Box)	
☒ NEW BUILDING - include domestic garage and domestic outbuildings	
☐ FOUNDATIONS ONLY	
☐ ALTERED, REPAIRED, EXTENDED, CONVERTED, REBUILT - include installation of heating appliances	
☐ NEW CONSTRUCTION OTHER THAN BUILDINGS - include structures	
☐ DOMESTIC GARAGES AND DOMESTIC OUTBUILDINGS	

FEES APPLICABLE

Building Permit	0 4521	Water Connection	0
Street Damage Deposit	0		0
Building Research Levy	0 10240		0
Plumbing	0 112		0
Drainage	0 152		0
Sewer Connection	0		0
Vehicle Crossing Levy	0		0
M.S. Plumbing	0		0
G.S.T.			0
TOTAL:	0 10000		0

Receipt No. F 1890

Date of Payment 12/11/87

Authorized Officer

Special Conditions:

To comply with the conditions endorsed on the approved plans and specifications

- 1) Repair of boundary to 12 corner to corner of street to State West of House.
- 2) Stormwater from driveway and front road drain down to 12 corner and 12 to 12 corner of street.
- 3) Stormwater from driveway and front road drain down to 12 corner and 12 to 12 corner of street.

Date Inspected 17/11/87

REMARKS (e.g. stage reached with work)

Fty + Sls imp. Siting changed completely 12m from 12 corner of 10m + 12 corner around as small corner of lounge only from 12m ridge line of long gully, fty + sls 12 corner of 12 corner.

(CONTINUED OVER)

Date Inspected

internal piles not excavated. Trial to get K. Tomkins on A/T. away until 11-0. J. Farrell away. A. Robertson, and discussed about. put stop work on job. ^{11:15} *SP*.

17/11/87 12:45pm K. Tomkins returned A/T call discussed above problem. bldg must be no less than 10-0M from ridge of gully at point where contour changes *SP*.

3-00 Over phd re. above To ph K. Tomkins *SP*.

18/11/87 9-00am Mr. Fitz called ab. Ruapoi office. he has shifted Keli to comply. called V. another inspection. for the 19th *SP*.

19/11/87 Fly. sitting at ok bldg ok. Internal pad to be deepened to 450mm ready to pour. *SP*

29.7.92 Letters sent

29.7.92 Drones rang - not very interested in us doing a final "I make-a time in the next six years" was his comment.

NO FINAL INSPECTION

STREET DAMAGE DEPOSIT

ACTIONED (DATE)

25/11/94

COMPLETED (Signature)

Date

1/1

RODNEY COUNTY COUNCIL

Head Office - Private Bag, Centraway Road, Orewa Telephone: HSC 63-169
 District Offices - Warkworth Telephone NW 8539
 Huarahi Telephone AK 412-9120

APPLICATION FOR *PLUMBING AND/OR *DRAINAGE PERMIT

DATE: 14-9-87

To: The County Manager

HELENSVILLE PLUMBERS & PUMP SERVICES LTD.

I, the undersigned (name in full)

being registered *Craftsman plumber *registered drainlayer, apply for permission to undertake the work described below at the following premises:

No: MCLEOD Road/Street being Lot E3 D.P. 102458

District Mairatahi

OWNER'S NAME: APPENZEL DEER FARMS

PRESENT ADDRESS: MCLEOD RD, 5TH KAIPARA HEAD

IMPORTANT: REFER TO PAGE 2 - PLANS AND GENERAL INFORMATION

BRIEF DESCRIPTION OF PROPOSED WORK:

DRAINAGE STORM & FOUL WATER DRAINAGE FOR NEW HOUSE
NEW HOUSE

PLUMBING

VALUE OF PROPOSED WORK:

Drainage	\$ <u>2400</u>	Fee (see scale on Page 2)	\$ <u>182.00</u>
Plumbing	\$	Fee (see scale on Page 2)	\$
TOTAL FEE			\$ <u>182.00</u>

Signature:

Address:

D. E. Reynolds
P.O. Box 67
Helensville
8207 HVL

Registered Drainlayer No: 04597 ✓ Phone:

* Craftsman Plumber No: Phone:

Delete not applicable.

FOR OFFICE USE ONLY

Building Permit No. 10/11/87

Received For Issue

Inspector Date 18/9/87

Dr No. 15259

Pl No.

Now Paid:

Drainage

\$ 182.00

Receipt No. 1234

Date

17.9.87

Plumbing

\$

Receipt No.

Date

Date 16.11.87

REMARKS

Drain layer shall contact H.T. prior to
commencing any work

34/326

R O S E B E R Y C O U N T Y C O U N C I L

Head Office - Private Bag, Cantreway Road, Orewa Telephone: HBC 65-169
District Offices - Mairiworth: Telephone WH 8539
Huapai: Telephone AK 412-9120

APPLICATION FOR "PLUMBING AND/OR DRAINAGE PERMIT

DATE: 14-9-87

To: The County Manager

I, the undersigned (name in full) HELENSVILLE PLUMBERS & PUMP SERVICES LTD.

being registered "Craftsman plumber" registered drainlayer, apply for permission to undertake the work described below at the following premises:

No: MCLEOD Road/Section being Lot 1E3 D.P. 102458

District Mairiworth

OWNER'S NAME: APPENZEL DEER FARM

PRESENT ADDRESS: MCLEOD RD 5TH KAIPARA HEAD

IMPORTANT: REFER TO PAGE 2 - PLANS AND GENERAL INFORMATION

BRIEF DESCRIPTION OF PROPOSED WORK:

DRAINAGE

PLUMBING SANITARY PLUMBING FOR NEW HOUSE

VALUE OF PROPOSED WORK:

Drainage	\$	Fee (see scale on Page 2)	\$
Plumbing	1800	Fee (see scale on Page 2)	143.00
		TOTAL FEE	143.00

Signature:

Address:

D.F. Rayland
P.O. Box 67
Helensville

Registered Drainlayer No: 847 Phone:

* Craftsman Plumber No: 04597 Phone: 8202 HVL.

Delete not applicable.

FOR OFFICE USE ONLY

Building Permit No.

Approved for issue

Inspector Date

18/9/87

Dr No.

Pl No. 15260

Fee Paid:

Drainage \$

Receipt No.

Date

Plumbing \$ 143.00

Receipt No. E18911

Date 17.8.87

Date 16.11.87

REMARKS

Plumber to erect H.I. for trap on completion of work

SCALE OF FEES - REFER TO PAGE 2

Rodney County Council

PERMIT FOR SANITARY
PLUMBING or DRAINAGE
WORK

15859

Mr. Helenville Mumbers Ltd
of Box 67
Helenville

Is hereby authorised to carry out the work described herein, as set forth in the application/plans deposited with me, on the following premises.

Address where work is to be carried out McLeod Rd

5th Head
LEGAL DESCRIPTION: LOT 123 DP 102458

OWNER Pippenell Dyer Farms

Address McLeod Rd

5th Head

DESCRIPTION OF WORK storm and Gull

water drainage for new

house.

Estimated value of work: (Excluding materials)

PLUMBING \$ FEE PAID \$

DRAINAGE \$ 2400.00 FEE PAID \$ 120.00

Receipt No. 012911

This work to be carried out in strict accordance with the Drainage and Plumbing Regulations, 1978, and shall be completed within six (6) months of the date of issue of this permit.

CONDITIONS: Drainage shall meet

Health Dept prior to

commencement of work.

E. Bennell Health Inspector

11.11.87 Date

Rodney County Council

PERMIT FOR SANITARY
PLUMBING or DRAINAGE
WORK

15860

Mr. Helenville Plumbers
of Box 47
Helenville

is hereby authorised to carry out the work described herein, as set forth in application/plans deposited with me, on the following premises.

Address where work is to be carried out McLeod Rd

5th Hand
LEGAL DESCRIPTION: LOT 123 D.P. 102458

OWNER Apexzell Deer Farm
Address McLeod Rd

5th Hand
DESCRIPTION OF WORK sanitary plumbing
for new house

Estimated value of work: (Excluding materials)

PLUMBING \$ 1807.00 FEE PAID \$ 143.00

DRAINAGE \$ FEE PAID \$

Receipt No. 12594

This work to be carried out in strict accordance with the Drainage Plumbing Regulations, 1978, and shall be completed within six (6) months of the date of issue of this permit.

CONDITIONS: Plumber to contact
Health Inspector for inspection
on completion of work.

C. [Signature]
11/11/87

Health Inspector
Date

Rodney County Council
Contra way Road
Orewa

Huapai Office, Main Road, Huapai.

NOTICE TO STOP BUILDING
OPERATIONS

To The Secretary,
 Appenzell Deer Farm Ltd,
 12 Darwin Lane,
 Auckland. S.

(Blder.
 Mr. Hess.)

Being Satisfied that a building is being erected
 at Lot 1+3, O.P. 102458, M'Leod Road, 5th,
 Kaipara Head, in contravention of the Council
 Building Bylaw No 105-1985, 1123 1700. I

HEREBY GIVE NOTICE pursuant to clause 2(1)(b)
 of chapter 2 of the said bylaw to Stop Building
Operations completely until such time as I am
 satisfied you can and will comply with the provisions
 of the said bylaw.

The work is being stopped for the following reasons:-
 (1) The building has been completely re-sited from the
 approved plans.

(2) The building is only 4.0M from the ridge of the
 gully slopes. The building should be 10.0M as per the
 conditions of the permit.

[Signature]
 District Building Inspector



Rodney

DISTRICT COUNCIL

Correspondence to:
The General Manager
Rodney District Council
Private Bag 500, Orewa, New Zealand
Telephone 09-426 5169
Facsimile 09-426 7280
DX 3311
Head Office: Centenary Road, Orewa

Reference Number

BB/1/4A

If calling please ask for

Mr N Williams
TB

22 July, 1992

Appenzell Deer Farm
12 Darwin Lane
Remuera
AUCKLAND 5

Dear Sir

FINAL INSPECTION : BUILDING PERMIT FO 16673 LOT 4 DP 102458

According to Council records no final inspection has been carried out on the building work authorised by the issue of the abovementioned Building Permit.

Would you kindly contact our Building Department to arrange for this inspection.

Please do not hesitate to contact the writer should you wish to discuss the matter.

Yours faithfully

for **GENERAL MANAGER**

BD Sharples

RODNEY COUNTY COUNCIL

APPLICANT:

APPN. NO:

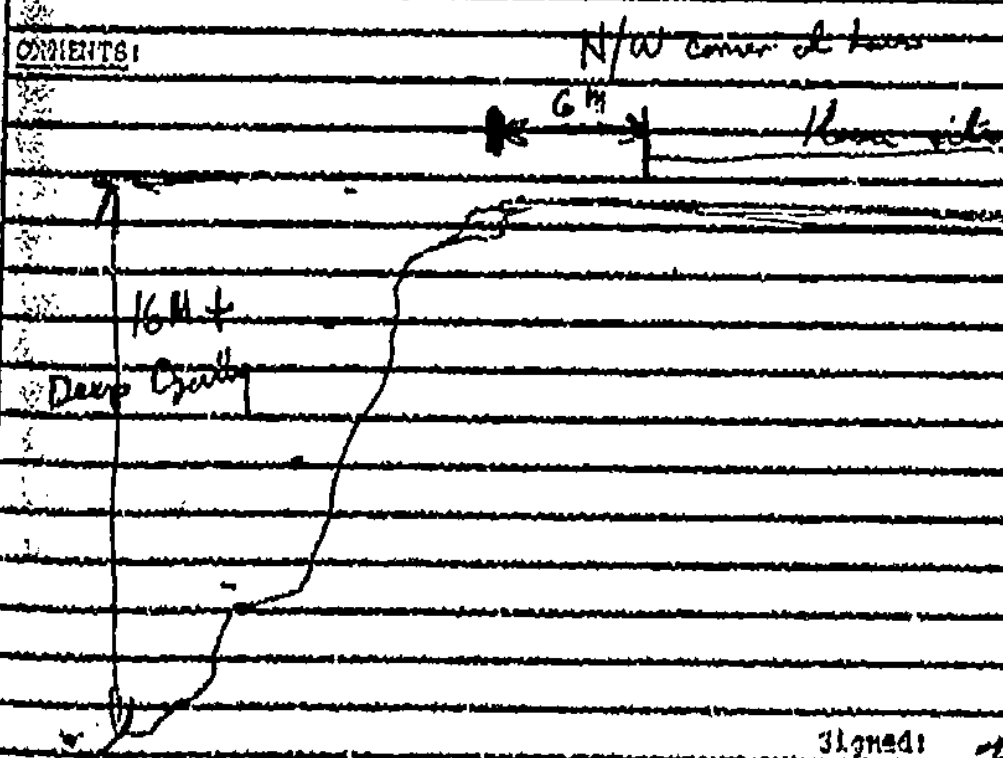
Report on Building Permit Application -

Site Inspection

NZSS 1900 Chapter 5.1

		FURTHER ACTION REQ
Site Exposure to Wind (High, Mod, Low)	✓	
Bearing Capacity of Ground (100 kPa)	✓	
General Topography of Site (Steep/Flat)	* Flat platform Home site	
Existing Services on Site (Power/Sewer/Stormwater)	N/O	
Stability of Site	Appear OK very close to deep gully	
Filling on Site	N/O	
Existing Watercourses or Drains	Deep Gully	
Vehicular Access to Site	Yes	
Condition of Road & Footpath	held	
Disposal of Stormwater (Road Sewer)	Tank - large	
Disposal of Sewerage (Sewer, Septic Tank, Other)	✓	
Feasibility of Flooding (Yes)	✓	
Existing Buildings on Site	N/O	
Electricity Transmission Lines over Site	No	
Type of Water Supply (Mains, Tank)	✓	
Boundary Poles (Light poles, etc)	✓	

ORIENTS:



Signed:

Date:

Site Inspection

Transfer No
N/C Order No. D.318360.2



Appenzell

Deer Farms

55C/362

CERTIFICATE OF TITLE UNDER LAND TRANSFER ACT

This Certificate dated the 10th day of AUGUST one thousand nine hundred and eighty four under the seal of the District Land Registrar of the Land Registration District of NORTH AUCKLAND

WITNESSETH that JOCK McLEOD & SONS LIMITED at Helmsville

is seized of an estate in fee-simple (subject to such reservations, restrictions, encumbrances, liens, and interests as are notified by memorial underwritten or endorsed hereon) in the land hereinafter described, delineated with bold black lines on the plan hereon, by the several admeasurements a little more or less, that is to say: ~~the land comprised in the plan hereon~~ All those

parcels of land containing together 40.0314 hectares more or less being Lots 1 and 3 Deposited Plan 102458 and being Allotment 84, part Allotment 3 and part of the North Eastern portion of Allotment 10 Parish of Mairatahi



Assistant Land Registrar

Interests at Date of Issue:

Subject to Section 388(4) and (5) Local Government Act 1974

Subject to the reservations imposed by Section 8 of the Coal Mines Amendment Act 1950 (Effects and formerly in CY 20/89)

A5755 Mortgage of part to Jock McLeod- 5.9.1961 at 11.00 o/c And Varied on 8.8.1967 at 11.00 o/c

A236942 Mortgage of part to (now) The Rural Banking and Finance Corporation of New Zealand- 11.45 o/c and varied on 11.8.1979 at 12.00 o/c (106443.1) - 29.11.1979 at 11.05 o/c (106443.2) - 29.11.1979 at 11.05 o/c

A239045 Memorandum of Priority making Mortgage A236942 a first mortgage and Mortgage A5755 a second mortgage- 8.8.1967 at 11.00 o/c

705060.1 Mortgage of part to Australia and New Zealand Banking Group Limited- 1.6.1977 at 11.00 o/c

D.359130.4 Transfer to Appenzell Deer Farms Limited at Auckland - 6.12.1984 at 12.05 o/c

D.359130.5 Mortgage to Morgan-Cookle Securities Limited - 6.12.1984 at 12.05 o/c

D.359130.6 Mortgage to Morgan-Cookle Securities Limited - 6.12.1984 at 12.05 o/c

D.359130.7 Mortgage to The Rural Banking and Finance Corporation of New Zealand - 6.12.1984 at 12.05 o/c

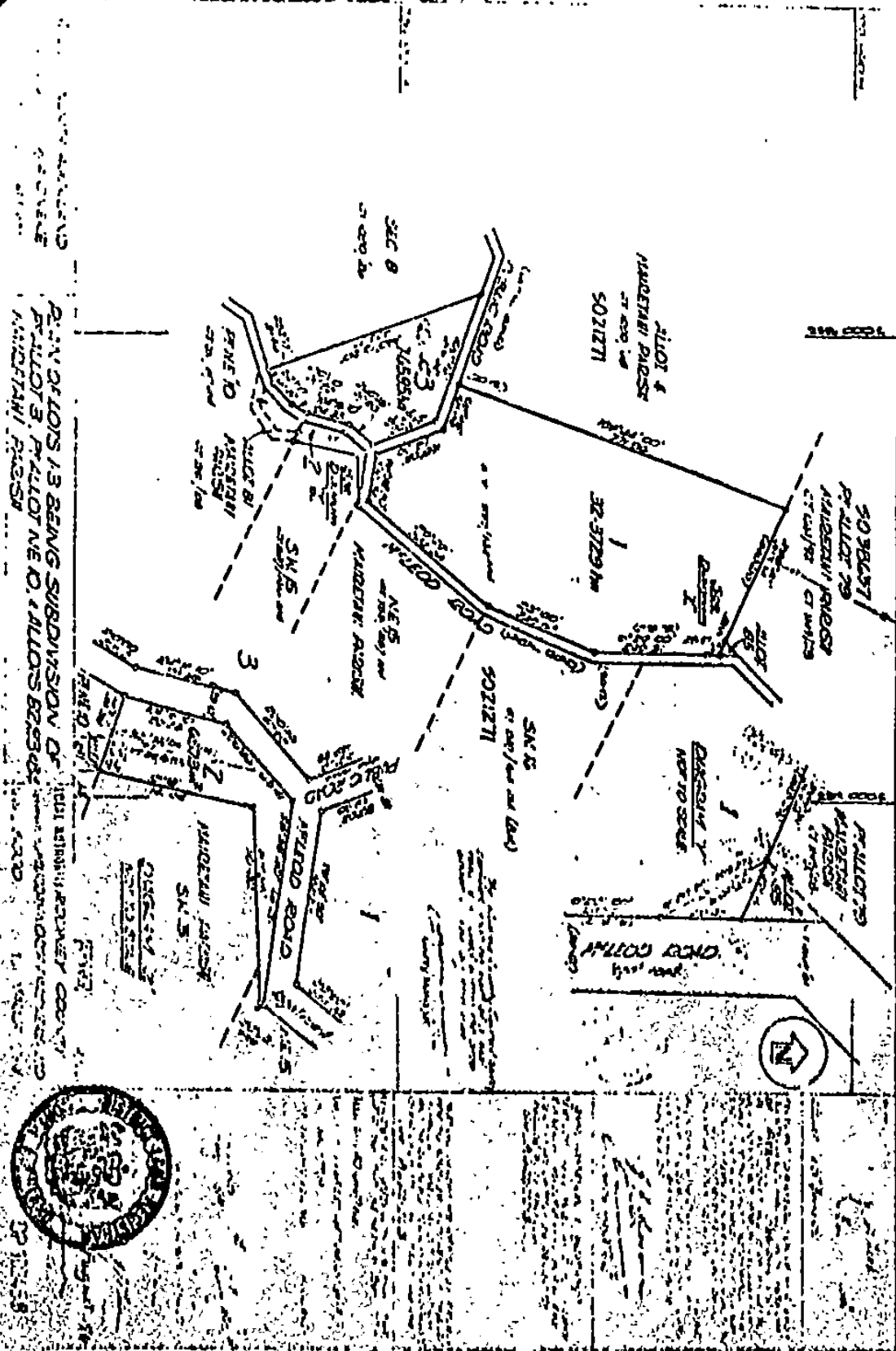
D.359130.8 Mortgage to ANZ Banking Group (New Zealand) Limited - 6.12.1984 at 12.05 o/c

55C/362

Amendments and Mutua

Allot 14 81 Pt Allot NE 10
 Mairetahi 13 blocks III ✓
 Waimere S. D.

on 15 June 1943



Job: MCLOOD ROAD

R/ 5468

Calculations by: JPE

Sheet: 2 of 7

Date: 1/9/87

HIP RAFTER OVER LOUNGE

Span 4.4

$$\begin{aligned}\text{Total Load} &= 3.2m \times 3.2m \times 0.5 \times 0.75 \\ &= 3.84 \text{ kN} \\ M &= 3.84 \times 4.4 / 8 \\ &= 2.1 \text{ kNm}\end{aligned}$$

CANTILEVER IN LOUNGE AND BEDROOM

Span 1.3

$$\begin{aligned}\text{Total Load} &= 4.3 \times 6.2 \times 0.5 \times 0.75 \\ &= 10 \text{ kN} \\ M &= 10 \times 1.3 \\ &= 13 \text{ kNm}\end{aligned}$$

we have a 300x100

$$\begin{aligned}Z &= 1500 \times 10^3 \\ f_b &= 8.6 \text{ MPa} \quad \text{OK} \quad \times 8.3 \times 1.35 \\ &= 5.7 \text{ MPa} \quad \text{OK} \quad \times 8.3\end{aligned}$$

however this cantilever is supported on wall - hence OK.

Job: MCLGOO ROAD
Calculations by: SP

R/ 5468
Sheet: 1 of 2
Date: 1/9/87

TO BE READ IN CONNECTION WITH HANS FITZ
ARCHITECTURAL DRAWINGS ONE TO FIVE

All timber framing not specifically designed to be in
accordance with NZS 3604:1984.

These calculations are for beams which span over
3.6m.

RIDGE BEAM OVER KITCHEN/DINING ROOMS

This beam apparently spans 5.9m but will in practice
be supported by the rafter which runs over the hall wall.

Span 5.9

support width 1.7

allow 0.5 kN dead, 0.25 kN live

$$M = 1.7 \times 0.75 \times 5.9^2 / 8$$

$$= 5.5 \text{ kNm}$$

we have a 300x100

$$Z = 1500 \times 10^3$$

$$f_b = 367 \text{ N/mm}^2$$

6x

140
7-721
2
SPECIFICATION

OF WORK TO BE DONE MATERIALS TO BE USED
IN ERECTING A FARM RESIDENCE AT

MCLEOD ROAD, SOUTH KAIPARA HEAD

FOR

APPENZELL DEER FARMS LTD

25
IN ACCORDANCE WITH THE DRAWINGS
THE GENERAL CONDITIONS OF CONTRACT
AND THE DESCRIPTION PREPARED BY:

Hans Fitzi
Registered Architect
12 Darwin Lane, Remuera,
AUCKLAND

PLANS
AND SPECIFICATION

APPROVED

SUBJECT TO SUCH
CONDITIONS AS ARE TO
BE ENDORSED ON OR
APPENDED TO
BUILDING PERMIT

SIGNED *A. Davis*
BUILDING INSPECTOR
DATE 12/11/67

1.

GENERAL

1. GENERAL CONDITIONS:

The General Conditions of Contract shall be those agreed to by the New Zealand Institute of Architects and the New Zealand Master Builder's Federation Inc. Tenderers are to be conversant with the contents of these conditions which are available for perusal in the Architect's office.

In addition to the interpretation of the term 'work' or 'works' as defined in Clause 1 of the General Conditions of Contract, the term work or works shall also include any variations or additional work, as required by the specification and also comply with the provisions of the General Conditions of Contract.

2. MONETARY ALLOWANCES:

a) Nett Sums:

All prices of materials, fittings and allowances in all trades mentioned in this specification are, unless stated to the contrary, nett prices in Auckland and the Contractor must provide for cartage, fixing and profit in addition. The term 'nett price' is to be interpreted as being the actual cost after deducting all trade discounts. Cash discounts may be retained by the Contractor.

b) Gross Sums:

The contingency and all other sums described as including Contractor's profit are classified under this heading. These figures are to provide for total cost to Contractor including overhead and profit.

3. VARIATIONS AND ADDITIONAL WORK:

If extra contract time is claimed by the Contractor for any additional work, this claim is to be submitted for approval together with the details of the cost of the work.

4. NOMINATED SUB-CONTRACTORS:

With reference to the General Conditions of Contract concerning Monetary Allowances, any sub-contractors nominated by the Employer or Architect in connection with the expenditure of these allowances, is to be employed by the Main Contractor in the normal manner.

5. SITE:

The Contractor shall visit the site prior to tendering and satisfy himself as to the nature of the site, the means of access and the conditions under which the work will be carried out.

6. DAMAGE TO PROPERTIES:

The Contractor shall make good any damage done to this or adjoining properties, footpaths, etc. to the satisfaction of the Employer and respective owner.

7. PROVIDE AND FIX:

The words 'provide' and 'fix' whether used in conjunction or separately shall be interpreted 'provide and fix'.

8. MATERIALS AND WORKMANSHIP:

All material shall be of the best of their respective kinds and all workmanship shall be of the first quality.

General Contd....

9. POWER AND WATER:

Power and water will be supplied by the owner.

10. BAD WEATHER:

Cover up and protect the work as required and suspend all 'wet' construction and painting during weather which would be detrimental to the work.

11. APPROVAL:

The work 'approved' in this specification shall mean the Architect's approval.

12. CLEANING UP:

At completion remove all rubbish, surplus materials and temporary work, clean the windows inside and out, sweep the floors and clean off any paint or plaster droppings and leave the site and building clear and clean.

13. THIRD PARTY INSURANCE:

The Contractor shall indemnify the Employer against all liability in respect of third party claims arising out of the works and shall insure himself to the extent of \$100,000.00 against the same.

14. FIRE INSURANCE:

The Contractor must maintain a builder's risk Fire Insurance policy to the full value of work done and materials placed on the site. This cover shall date from the time of commencement of the work until the building is taken over by the Employer.

15. NETT PRICES:

All prices of materials, fittings and allowances in all trades mentioned in this specification are, unless stated to the contrary, nett prices in Auckland and the Contractor must provide for cartage, fixing and profit in addition.

EXCAVATOR1. GENERAL:

The excavations shall be proceeded with in such a manner as the Architect shall direct.

The Contractor shall report to the Architect when the excavations are ready to receive concrete foundations and any further work shall not be proceeded with without their approval.

2. CONTRACTOR TO VISIT THE SITE:

The attention of the Contractor is drawn to the nature of the ground to be excavated and he is advised to inspect the site and form his own opinion.

Adjustment of Foundations:

The Contractor shall allow for foundations as shown on the drawings, but should it be found necessary to carry foundations deeper than shown the Contractor shall follow the instructions of the Architect thereon and will be paid for the extra work at scheduled rates. In the event of the Contractor excavating deeper than the proper levels in good ground, he will fill up the part so excavated with scoria concrete as specified at his own expense.

Clearing:

Clear and cart away all rubbish, growth, trees etc. from the building area and elsewhere as required for the execution of the work.

Topsoil:

Remove all topsoil and vegetation down to levels approved by the Architect from the area of the building, spread evenly the excavated material elsewhere on the site as directed. Topsoil shall be piled where directed.

Excavate and secure Sides:

Excavate for foundations and for floor slab as shown on the drawings. Provide all requisite shoring, strutting, under pinning and timbering to excavations.

Maintain Excavations:

Secure and maintain the sides of all excavations and keep same clear of water and fallen material. Provide and maintain all shoring, sheeting, planking and strutting also pumping and baling as required and remove plant on completion.

Inspection of Excavations:

All excavations shall be approved by the Architect before any formwork or reinforcing steel is placed. The excavations must be approved by the Architect again after the foundations boxing and reinforcing are in place and immediately before the commencement of concreting. No concreting must be done until such time that the approval has been obtained.

Bad Ground:

If loose, soft or otherwise bad ground is encountered the contractor shall excavate the same to a solid approved foundation and shall fill up to the proper level with weak concrete. Weak concrete shall consist of either:

1 part of cement to 12 parts of approved 'graded' metal aggregate.

1 part of cement to 10 parts of approved 'graded' scoria aggregate.

Backfilling:

All excavations shall be backfilled after removal of formwork. The Contractor shall not fill in over any work until it has been inspected

EXCAVATOR contd....

and passed by the Architect or his representative. Backfilling in footing trenches outside the building shall be approved excavated material, rammed thoroughly in layers not exceeding six inches. Backfilling of trenches inside the building shall be hard fill as specified under 'slabs poured on ground'.

The Contractor should, before commencing work, submit to the Architect satisfactory evidence of his having notified the inspector in accordance with the terms of the Act and its amendments.

2. SURPLUS SOIL:

All surplus spoil not required for hard fill shall be removed from the site.

1. GENERAL:

All materials shall be the best of their several kinds and all work and materials shall meet the requirements of the plumbing and drainlaying regulations 1978 and amendments.

The contractor shall secure all necessary permits etc.

2. EXCAVATE:

All trenches, gully traps, sumps, drains etc. to depths required for approved laying of sanitary drains.

3. DRAINAGE:

Provide and lay all drainage and connect up to Septic Tank using 100mm internal diameter glazed earthenware socket pipes with all necessary bends, junctions etc. of similar quality. All joints are to be rubber ring jointed, they are to be solidly bedded. Leave the pipework with a smooth and clean interior surface.

Provide lidded pipes to bends and junctions.

NOTE: P.V.C. Sewer pipes may be used with council's consent.

4. DRAINLAYING:

Lay and solidly bed all drains to sizes and gradients as required. The whole of the drains are to be accurately laid and jointed. Connect to all traps, vents, and other fittings as required by the Local Authorities. Build in gully traps as required. Build in all discharge pipes.

5. STORMWATER DRAINAGE:

At the base of each downpipe provide 100 glazed earthenware bend provide cast iron grating. Then lay 100 glazed earthenware socketed pipes with rubber ring joints. Lay as indicated to an even gradient and fall to water storage tank.

Alternative pipe systems may be used but must be passed by Council and Owner.

6. GULLY TRAPS:

Provide glazed earthenware discharge to gully traps set in five to one concrete rendered to two to one cement compo, trowelled to a perfectly smooth surface. Provide cast iron grating to trap.

Alternative pipe system may be used, but must be passed by Council and Owner.

7. COMPLETION:

The drainage contractor will ensure that all drains are free from rubbish, timber etc. before sealing of inspection openings is carried out and he will be responsible for the clearance of any subsequent blockage which can be attributed to any materials left in the drains.

After all drainage work has been inspected and tested to approval of, and passed by the local sanitary inspector, backfill trenches. All trenches shall be backfilled with approved metal hardfill and compacted.

8. SEPTIC TANK:

Excavate for and place in position pre-cast concrete septic tank and lay appropriate length of inlet and outlet pipes all to the instructions and approval of the Drainage Inspector.

CONCRETOR1. MATERIALS:

Use Wilson's Portland cement, which shall comply with N.Z.S.S. 1844. Provide aggregate of natural sand and crushed bluestone, hard, sharp and clean. Use clean drinking water for mixing.

2. CONCRETE:

All concrete used on the job shall be Ready Mixed. This concrete shall comply with N.Z.S.S. 1900 9.3A. It should have a minimum compressive strength of 20MPa at 28 days and a slump of not greater than 100 mm.

3. REINFORCING STEEL:

All reinforcing steel shall be of the best mild quality of British manufacture, conforming to N.Z.S.S. 197 and shall be clean and free from excessive rust, scale, dirt or grease. Rods will be carried continuously around corners for a distance of 40 dia. The minimum length of lap for rods will be past the point where the section carried load.

Bends and hooks will have an internal radius of not less than twice the diam, (unless bar is bent tightly around main reinforcing bar). Length of straight rod beyond curve in hook shall be not less than 4 diam.

4. MIXING AND PLACING:

Use all concrete immediately after mixing and well ram all concrete. Joints are to be as few as possible and are to be carefully cleaned and grouted in neat cement before continuing pours.

5. WEATHER:

No concrete shall be deposited under unfavourable weather conditions, including temperature below 7°C.

6. PREPARATION OF FORMWORK:

Before pouring concrete examine the formwork to see that all dirt, shavings, sawdust and other refuse has been removed. Formwork shall be thoroughly wetted before concrete is poured. No formwork shall be removed earlier than the times laid down in N.Z.S.S. 1900.3A.

7. BUILD IN:

Build in holding down bolts, outlets, fixings etc. as required.

8. SLABS POURED ON GROUND:

A. Ground Preparation: The ground under slabs shall be excavated to such levels as to allow for the minimum depth of hard fill as shown on the drawings. Where soft or otherwise bad ground is encountered the Contractor shall excavate to levels as shown and fill up with an approved hardfill. The Contractor shall be paid for any extra quantities at scheduled rates. Should the Contractor excavate deeper than shown on the drawings in good ground he shall fill up with hard fill at his own expense.

B. Hard Fill: The hardfill shall be composed of clean free draining scoria. It will be mechanically compacted to a firm dense layer. The top shall be linded off with fine "dirty" footpath scoria, levelled, rolled to smooth and hard surface.

CONCRETOR: contd....

Should any hardfill or underlying clay be disturbed by the constructing activities the Contractor shall make good any damage before concreting may commence.

c. Reinforcing: Reinforcing mesh as shown on the drawings shall be supported on mortar blocks, numbering at least 3 to the square metre. Reinforcing shall go through all joints.

d. Damp Proof Course: The damp proof course shall be 'Polythene' 125MU (.005"), laid continuously over the full area in as wide sheets as possible. All edges shall be lapped 150mm and sealed with 'Denso' tape. The damp proof course shall be placed immediately before placing or reinforcing. Extreme care shall be taken not to puncture or tear the 'polythene'.

8. Pile foundations to bearers under floor joists shall be natural round timber piles NZS 3605 treated to TPA C2B and set in 200 mm concrete as specified above and taken to depth not less than 450 mm below ground level. (See detail on drawing No.3).

CARPENTER & JOINER:1. GENERAL:

Provide timbers, the best of their respective kinds and set out below. All framing timber planer gauged and all finishing liners fully seasoned and dry dressed. Suitably protect from weather. Kiln dried lines.

2. WORKMANSHIP:

Generally nail and secure together the whole work in a workmanlike manner. Attend upon and make good in and after all trades. Carry out work in a first class tradesmanslike standard. All work shall comply with NZS3604 unless stated otherwise.

3. TIMBER:

a. Grading: Timber is to conform with the grading rules as laid down in NZSS3631:1972 for any appropriate grades indicated in the schedule below. Any timber not covered by grading rules will be to an equivalent standard of grading for their particular use.

b. Erection: All timber is to be installed in a seasoned condition. Timber wetted after erection will not be enclosed until drying out occurs.

c. Treatment: All non-heart timber and Radiata Pine is to be pressure treated to timber, preservation Authority requirements with boron or multi-salt pressure treatment. All other treated timber is to be boron treated. All treated timbers are to be branded.

d. Priming: All exterior finish timbers, etc. are to be primed on all faces before erection.

e. Nailing: Galv. nails are to be used in all exterior fittings. Pinus Radiata is to be skew nailed. Punch all nails to interior and exterior finishing work. Exterior nails to be galvanised.

f. Finish: Mill dress all timber where in sight. Mill sand all joinery and interior dressed timber and touch up by hand where necessary.

g. Damp Proofing: Provide 3-ply bituminous fabric damp-proofing between all timber, concrete, masonry and similar materials.

4. QUALITY & KINDS OF TIMBERS:a. General Framing

- Building A and A.Ht. Rimu or treated No.1 and No.2 framing Radiata Pine.

b. Exterior trim

- Dressing or selected building A Ht. Rimu or Katal.

All timber for Joiner's work shall be well seasoned and machine stuff dry run.

5. FLOOR:

Lay 20 H.D. Particle Board Flooring over the whole of the ground and first floors. Allow for sanding and finishing with three coats of polyurethane. The floor joists shall be laid in sizes and spaces as shown on drawings.

6. WALL FRAMING:

All studs shall be the sizes and spaced as noted on drawings. The walls shall be braced as per bracing schedule provided. All noggs shall be metal unless required for fixing purposes, then timber may be used.

CARPENTER & JOINER Contd....7. INSULATION:

Insulate all exterior walls full height between top and bottom plates with RII fibreglass batts similarly with ceiling to N.Z.S.S. 4214:1977.

8. WALL LININGS:EXTERIOR:

Line all exterior walls with 150x25 bevel backed treated weatherboards on lightweight building paper. Fix galvanised soakers at all running joints and at corners.

INTERIOR:

Line all interior walls with 100x25 T & G, V jointed match-lining fixed diagonally as shown on drawing 5.

Line all shower boxes, vanity and bath surrounds with wet wall linings. (Formica or other approved) with all necessary P.V.C. jointers and accessories.

9. CEILING LININGS:

Line all ceilings including soffit overhangs with 100x25 T&G, V jointed boards as for walls. In areas specified by Architect this boarding to be fixed diagonally to act as bracing.

10. ROOF FRAMING:

Frame up roof in accordance with drawings.

11. SKIRTINGS:

Fit D.A.Rimu skirtings to all lined walls throughout. Mitre all external corners etc.

12. ARCHITRAVES:

Provide D.A. Rimu architraves to all door openings, openings and all windows. Mitre all external corners.

13. ACCESS DOOR:

Provide timber access door to sub floor area with bolts.

14. INTERIOR DOORS:

Supply and fix Rimu timber doors with round rimu handles.

15. EXTERIOR DOOR:

Exterior doors shall be timber or glass panel as indicated on drawings or aluminium.

16. ALUMINIUM WINDOWS:

Allow to supply and fix selected aluminium windows in position shown to sizes indicated on plan, fixed to manufacturer's specification. Windows to be preglazed and supplied with Rimu liners. Allow for plastic flashings.

CARPENTER & JOINER CONTD.....17. TELEPHONE:

The Contractor shall arrange for the P & T Department to prewire the building for telephone outlets.

18. WARDROBES:

Provide and fix louvred sliding doors one with mirror, the other with paint finish. Provide 300x25 full width shelf and 20mm galvanised pipe.

19. SINKBENCH:

Sinkbench to be stainless steel with drainer and standard sink.

20. KITCHEN UNITS:

Provide one with selected formica flat pressings and another with mosaic tiles both to have front edges clashed with rimu bead. Cupboards under and over units to have one full length shelf and selected timber doors. Allow for one bank of 4 drawers with cutlery drawer in position to be nominated by owner.

21. LAUNDRY UNIT:

Supply and fix formica flat pressing bench top and paint finish cupboards above and below with one full length shelf to each. Tub to be built into end of bench.

22. BATHROOMS:

Supply and fix selected vanity units where shown on drawings. Under unit to have timber louvre doors, clear finish.

23. BATH:

Build in bath and line skirt with formicaboard - allow for toe space.

1. MATERIALS:

Supply and fix selected Decramastic tiles or other approved. Fix to battens over building paper. Complete with barge ridge and special flashings, all according to manufacturer's instructions.

Flashings: Roofer to flash all openings in roof. Build in clearlite H.6 skylight in accordance with manufacturer's details.

On Completion supply owner with garnite.

2. GUTTERS & DOWNPIPES:

Supply and fix plastic spoutings and downpipes as indicated on drawings installed in accordance with the suppliers recommendations.

PLUMBER (Also see General)1. GENERAL:

Carry out all plumbing work required in accordance with the Local Authority and Heald Dept. Regulations, and in accordance with the Plumbing and Drainage regulations 1978 and any amendments thereto. Pay all requisite authorities for connections, inspections and testing of the works.

2. WORKMANSHIP:

All work shall be executed by licensed plumbers. Conceal all pipes where they enter rooms and run to fittings, and securely strap in their positions.

Flash and ring flash all pipes projecting through roof.

3. VENT PIPES:

T.V. and all back vents are to be in P.V.C. tube finished at regulation height above the building and finished with a basket cowl. Build into wall thickness unless otherwise approved.

4. SPOUTING:

See Roofer.

5. DOWNPIPES:

See Roofer

6. HOT WATER

Supply / in: re hot water cylinder complete with quick recover stat and all taps, stopcocks, overflows etc. Take 1. polytherm system to sink basins, bath-tub and showers. washing n. Ho water pipes must not be lagged.

7. COLD WATER

From main. take off 20 mm P.V.C. with stopcock at point of entry to building. From 20 mm pipe run in 20 mm polytherm brackets to all fittings and connections front and rear of building.

8. FITTINGS:

WASH BASIN: Provide and fix McSkinnings basin, provide waste connection plug and chain.

VANITY WASH BASIN: Provide and fix A.H.I. Dawn complete with waste plug and chain.

W.C.: Vitreous china pans fitted with modernite solid seat and flap. Provide and fix flexo seal joints to vents and pipes.

W.C. FLUSHING CISTERN: Provide and fix selected flushing cisterns. Provide 20 mm overflow from each to exterior of building. Provide to each 40 mm P.V.C. Flush Pipe.

SINK BENCH: Sink bench provided by plumber. Plumber shall allow to fix in position. Provide stainless steel sinkbench with drainer and standard sink. Complete with waste plug and chain.

TUB: Stainless steel built into laundry fitting complete with waste plug and chain.

PLUMBER Contd....WASTES, VENTS & TRAPS:

All waste pipes are to be P.V.C. as are all traps. Vent pipes shall be extended in P.V.C. Tube.

TAPS:

All taps are to be selected from Dorf Industries.

10. Supply and fix 3 No. 910x910 S.S. Shower trays on pinex base complete with waste and deep seal trap and Peltonmix valve.

11. Provide and fix A.H.I. pressed steel white procelain bath complete with trap and waste and H & C supplies and single spigot

12. COMPLETION:

Allow for all other taps, traps, vents etc. not specifically mentioned herein in accordance with regulations and for testing.

ELECTRICIAN (Also see General)1. FEES:

Pay all fees and charges and obtain all necessary permits for this trade.

2. SCOPE OF WORK:

Carry out the whole of the electrical installations in strict accordance with the latest Electrical Wiring Regulations and Local Authority's by-laws and meter wiring diagrams.

3. MATERIALS AND WORKMANSHIP:

All materials used under this contract shall be of approved British or New Zealand Standard Specification. Allow for all materials necessary to complete the contract whether specified or not. All work shall be carried out by a Registered Electrician in accordance with the regulations and best trade practice and in a manner which will cause minimum inconvenience to other workmen and the work as a whole. Do all cutting away, drilling etc. and with timber cut the minimum only away for the entry of cables.

4. CO-OPERATION:

Co-operate with the Building Contractor and other sub-contractors in all phases of work. Give ample notice to enable the Contractor to arrange the necessary void, chase data etc.

5. COMPLETION AND CONNECTION OF POWER:

Leave the work complete, pay all charges and arrange for all inspection and tests and for the connection of power to the works. It is the responsibility of the Electrical Contractor to ensure that no delay is occasioned to the job once the contract is complete.

6. POWER BOARD SUPPLY:

Arrange with the Power Board, allow for and pay all fees for the connection of an underground, or overhead, supply to the residence.

7. POWER POINTS:

All wall plugs shall be 230v. 10-amp. 3-pin flush type. (Generally install plugs 300mm above floor or 225 mm above bench top. Points to washer/dryer space 1200 mm from floor.) The exact position of all power points shall be determined on the job by the Owner.

8. LIGHTS:

All lights to be first quality; plastic batten holder shall be reinforced. All roses and holders not covered by fittings shall be white.

9. LIGHT SWITCHES:

Light switches generally shall be 10 amp. all insulated P.D.L. micro-gap type or equivalent. Where indicated fit flush type with plain bakelite flush plate. Fix switches generally 1200 mm above floor.

10. LIGHT POINTS:

All for installing a total of 23 outlets in building.

11. POWER POINTS:

Allow for installing a total 19 power points in the building.

17.10.87 owner enquired about progress. E

19.10.87

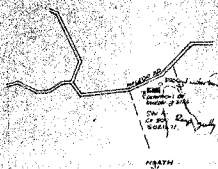
30/10/87 Site Insps. good site + aspect for shallow track irrigation although sub-strata is very hard, 2x30m. Shd overflow to 20m soaking below S/T horizon.

5.11.87 owner enquired about progress - not happy about progress. Accused us of sleeping and started swearing. E

5.11.87 Owner phd re above. Advised his secretary

12/11/87. Call from E. Bennett, T.C. Hunan. Over on phone re progress of permit and being very advisory. Mr. Hanby to put back a fly inspection for Monday 16th. T.C. Hunan advised over, permit being processed in Devon. And until issued no booking for an inspection would be taken. Lgo.

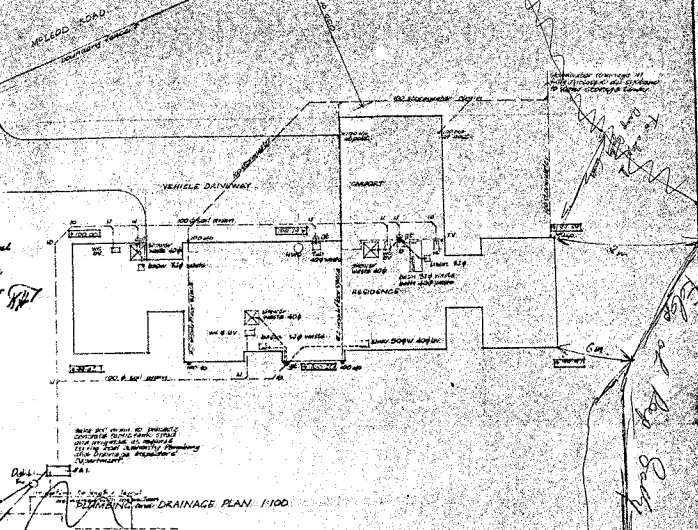
13.11.87 will collect at Hunan office



The overflow from the roof collected water tanks shall be conveyed in a sealed pipe to a 20m sealed trench located downhill of the effluent disposal trenches.

Location of epidemic tank disposed
field to be confined on site
with Council. Health Inspector *H.H.T.*

2x30m and
shallow trench
irrigation is total
So 60m



PLANS
AND SPECIFICATION

APPROVED

SUBJECT TO SUCH
CORRECTIONS AS ARE TO
BE INDICATED ON OR
APPENDED TO
BUILDING PERMIT

SIGNED *E. J. Cook*
BUILDING INSPECTOR

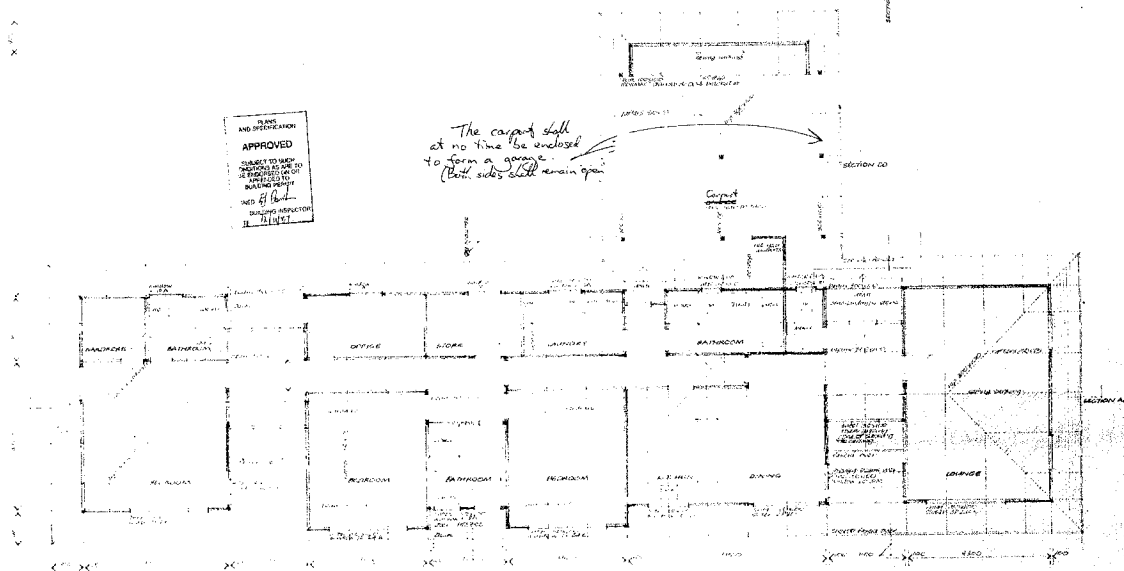
DATE *April 7*

STORMWATER DISPOSAL TO THE
SATISFACTION OF P.C.C. HEALTH
INSPECTOR

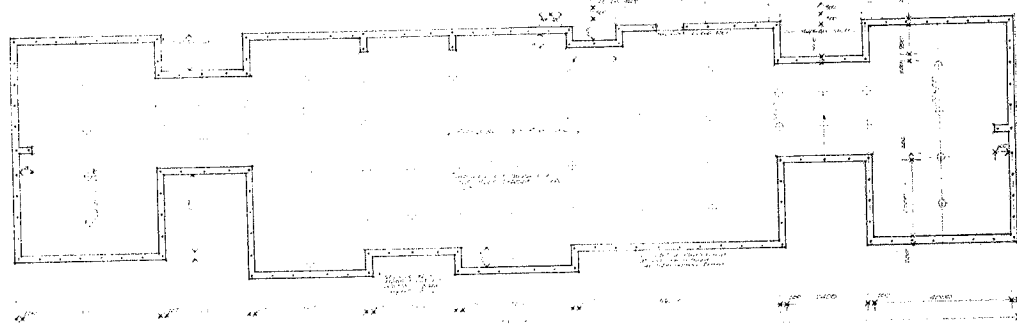
[illegible]

PLANS
AND SPECIFICATIONS
APPROVED
SUBJECT TO THE
REMARKS ON THE
DRAWINGS BY THE
BUILDING DEPT.
AND OF THE
BUILDING INSPECTOR
H. FITZGERALD

The carpet shall
at no time be enclosed
to form a garage.
(Both sides shall remain open)

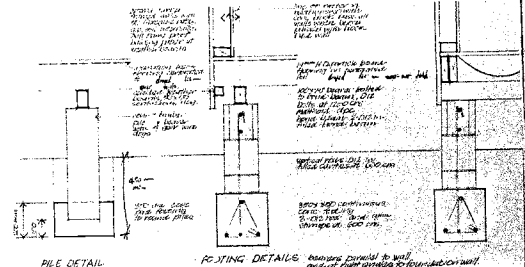


Drawn by	PROPOSED RESIDENCE AIRFIELD ROAD	GROUND FLOOR PLAN	Scale	1:50	Sheet No.	1 of 1	Project No.	1000	Client	H. FITZGERALD	Architect	H. FITZGERALD	Engineer	H. FITZGERALD	Surveyor	H. FITZGERALD	Inspector	H. FITZGERALD	Builder	H. FITZGERALD	Owner	H. FITZGERALD
----------	----------------------------------	-------------------	-------	------	-----------	--------	-------------	------	--------	---------------	-----------	---------------	----------	---------------	----------	---------------	-----------	---------------	---------	---------------	-------	---------------



FOUNDATION PLAN 1:100

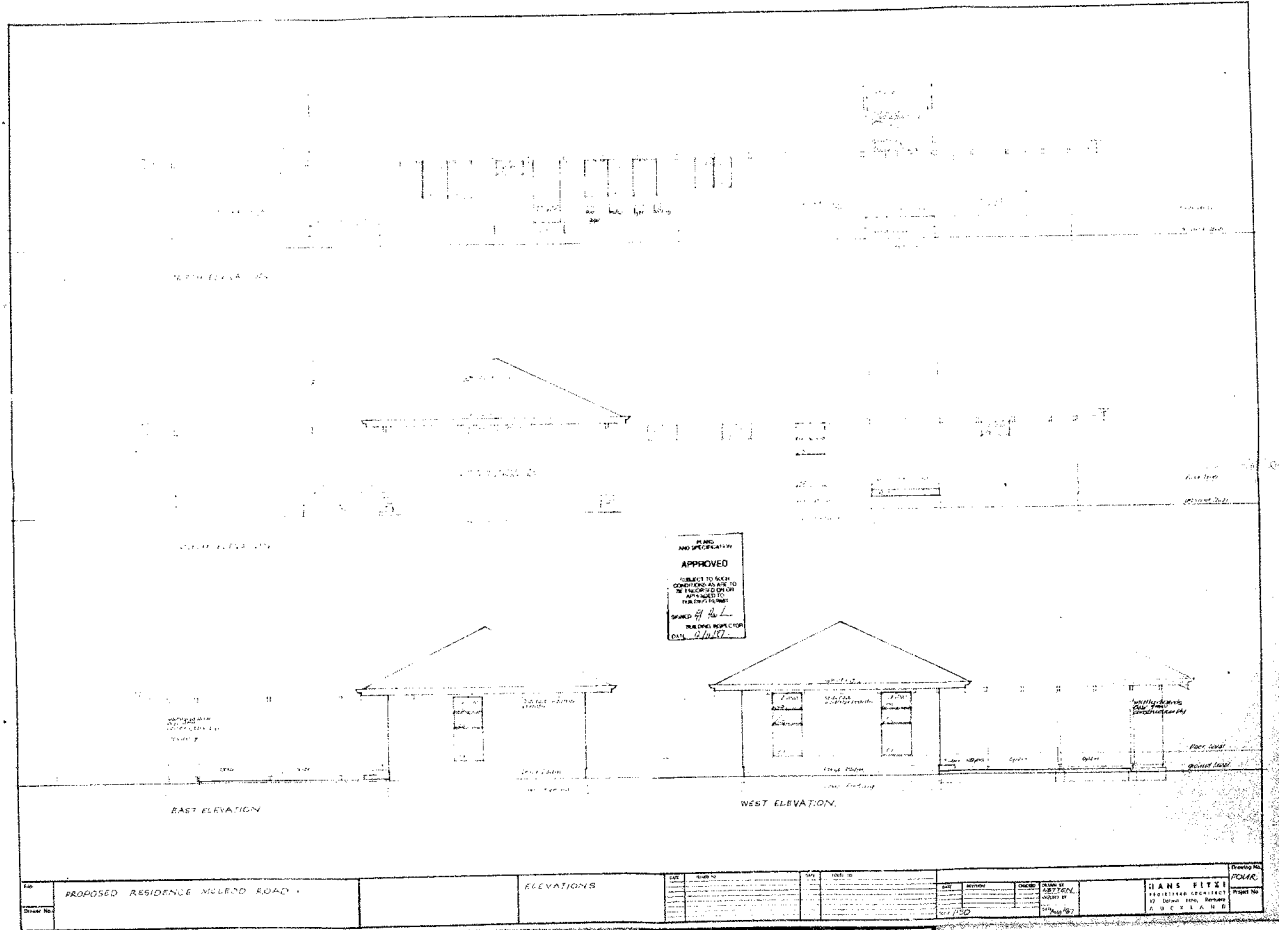
PLAN AND SPECIFICATION
APPROVED
SUBJECT TO BE SET
CONSENTED IN AND TO
BE EXEMPTED IN OR
CONSENTED TO
BUILDING PERMIT
DRAFTED BY H. FITZ
DATE 11/1/77



PILE DETAIL

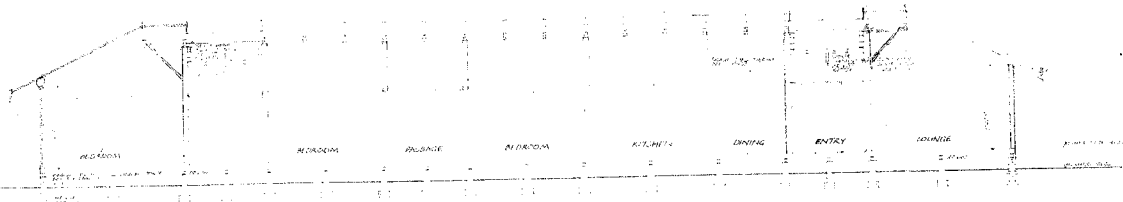
JOINTING DETAILS

No. Sheet No.	PROPOSED RESIDENCE MCLEOD ROAD	FOUNDATION PLAN	DATE 11/1/77	SCALE 1:100	DRAWN BY H. FITZ	HANS FITZ REGISTERED ARCHITECT 121 E. 10th Ave., Suite 100 DENVER, CO 80202	Drawing No. Project No.
------------------	--------------------------------	-----------------	-----------------	----------------	---------------------	--	----------------------------

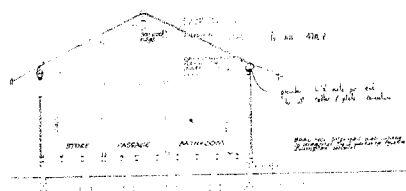


JOB NO.	PROPOSED RESIDENCE NINE-FOOT ROAD	ELEVATIONS	DATE	SCALE	SHEET NO.	SHEET TOTAL	DRAWN BY	CHECKED BY
SHEET NO.							DANIEL FITZGERALD	
DATE							10-10-17	
BY							DANIEL FITZGERALD	
CHECKED BY							DANIEL FITZGERALD	

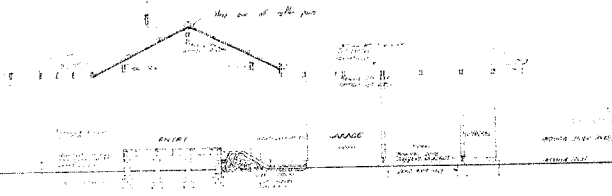
micro images



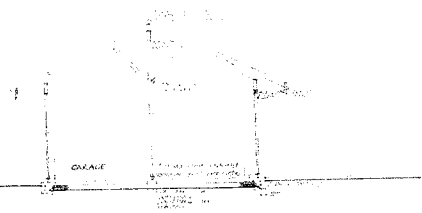
SECTION AA



SECTION AB



SECTION CC



SECTION DD

PLANS
AND SPECIFICATIONS
APPROVED
SUBJECT TO BE
CONSIDERED AS
THE BASIS FOR
CONSTRUCTION
DATE 11/1/77

TITLE PROPOSED RESIDENCE MURFORD ROAD		SECTIONS		SHEET NO. 1 OF 1		DRAWN BY HANS FITZEL		CHECKED BY HANS FITZEL		DATE 11/1/77		HANS FITZEL REGISTERED ARCHITECT 17 CANTON LANE, BOSTON 02114		DRAWING NO. FIVE
OWNER NO.														PLANNED NO.

Graham Johnson
158 McLeod Rd
Helensville.

Floor - Chipboard
Walls - Wooden Tongue & Groove
Hearth - Steel

2x8mm Dynabolts

INSTALL SMOKE ALARMS IN
ACCORDANCE WITH F7/AS1

Smoke
alarm



6
FIRENZE

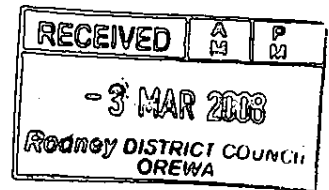
LOUNGE

Rodney District Council
Plans and Specifications
Approved for Building Consent

ABA 61192

Officer:  Date 27/06/06
See Building Consent for
Conditions

DINNING



(Territorial Authority)
Building Consent Number
Building Regulation Clause

Producer Statement - Construction

Issued By : Steven Parkes
(N.Z. Home Heating Association Certified Installer)

Installer No: 1504

TO: GRAEME JOHNSON

(Owner)

IN RESPECT OF: Installation of a Solid Fuel Heater

AT:

158 MCLEOD RD WAIONEKE
(Address)

LOT: DP: SO:

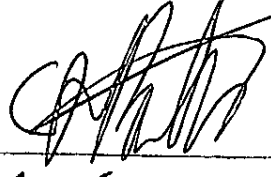
Steven Parkes has contracted to GRAEME JOHNSON

(Certified Installer)

(Owner/Developer)

To Perform the above work as described.

I Steven Parkes Certified Installer No: 1504 have Sighted Building Consent No
and believe on reasonable grounds that the solid fuel heating appliance installation has been
installed as per the above ground Building Consent and the Heater Manufacturers Instructions.

SIGNATURE OF CERTIFIED INSTALLER: 

DATE: 24-6-06

EMPLOYMENT STATUS

EMPLOYER

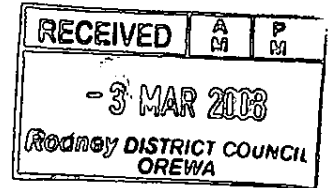
Fireplace Services

3 West lynn rd

Titirangi auckland

Ph/Fax 09 826 5607 Mobile 027 523 7662

Solid Fuel Appliance Installation Technician



This is to Certify that

Steven Parkes

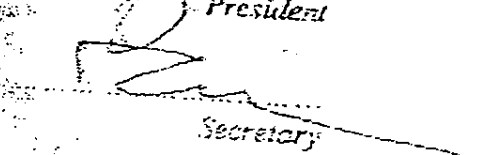
of

BBQ Factory Platinum Service

*has passed the New Zealand Home Heating Association's
SFAIT examination and is qualified as a Solid Fuel Appliance
Installation Technician.*

Date: August 2005

Accredited Technician No: 1504


President

Secretary



Rodney
DISTRICT COUNCIL

APPLICATION FOR
CODE COMPLIANCE CERTIFICATE
Section 92, Building Act 2004

lodged

Date received (office use)

3 - MAR 2008

Rodney DISTRICT COUNCIL
OREWA

The Building Consent	
Building Consent Number:	ABA 61192
Site Address/legal description:	158 McLeod Road, Helensville, 0874. Lot 3 DP 148465 RD1
Issued by:	RODNEY DISTRICT COUNCIL

The Owner	
Name of owner:	Graeme Wright Johnson & Gillian Ann Carter
Contact person:	Graeme Johnson
Mailing Address	158 McLeod Road, RD1, Helensville 0874
Street address/ registered office:	
Facsimile number:	
Email address:	graeme@lineman.co.nz
Website:	

Agent (complete this section if this section is being made on behalf of the owner)	
Name of agent:	
Contact person:	
Mailing Address	
Street address/ registered office:	
Facsimile number:	
Email address:	
Website:	
Relationship to owner: (state details of the authorisation from the owner to make the application on the owner's behalf)	
First point of contact for communications with the council/building consent authority: (state full name, mailing address, phone number(s), facsimile number(s) and email address(es) (the contact details must be NZ))	

Application			
All the required producer statements have been supplied and all building work to be carried out under the above building consent was completed on:			Date:
The personnel who carried out the building work are as follows:			
Name	Address	Phone number	Registration Number
Steven Parkes	c/o 3 West Lynn Rd, Tairangi	0275237662	1504
If more space is required please complete (if not already completed) the "Record of Tradespersons" (reference no. BC 19.10F) that was supplied with your Building consent or can be obtained from the RDC website.			
☒ Indicate if a "Record of Tradespersons" (reference no. BC 19.10F) has been completed and attached to this application			

The following specified systems are contained on the compliance schedule for the building and , in the opinion of the personnel who installed them, are capable of performing to the performance standards set out in the building consent As per attached producer statement

I request the that you issue a code compliance certificate for this work under section 95 of the Building Act 2004	
Final inspection can only be booked after receipt of this form by Council. Please book final inspection 3 days after submitting this application to Council	
The Code compliance certificate should be sent to: (state which address, and whether owner or agent)	Owner 158 McLeod Rd, RD1, Helensville 0874

Signature: *G. Johnson* Name: Graeme Johnson Date: 26.02.08
(owner/agent on behalf of and with the authority of the owner) (person signing)

Attachments

The following documents are attached to this application:	
Certificates from the personnel who carried out the work	☒
Certificates that relate to the energy work (electrical/gas)	☐
Certificates/Producer statements/Warrantees required by the Building consent	☒
Evidence that specified systems are capable of performing to the performance standards set out in the building consent	☐

Postal Address: Rodney District Council, Private Bag 500, Orewa, Phone: 0800 426 5169, Website: www.rodney.govt.nz .			
Orewa Office 50 Centreway Road Orewa	Helensville Service Centre Commercial Street Helensville	Huapai Service Centre State Highway 16 Huapai	Warkworth Service Centre Baxter Street Warkworth

BUILDING CONSENT NO ABA-61192
PROJECT INFORMATION MEMORANDUM NO: 61192
Section 51 Building Act
ISSUED BY RODNEY DISTRICT COUNCIL

The Owner		Building Work	
Name Graeme Wright Johnson and Gillian Ann Carter Mailing Address: 158 McLeod Road R D 1 Waioneke Telesville 1250		Description: Kent Clean Air Firenze Woodburner Nature Chimney & Fireplace	
The Building Street Address 158 McLeod Road, Waioneke 1250		Intended Use(s) in detail: Chimney & Fireplace Intended Life	
Legal Description Property Number: 1227237 Assessment No: 1227237 3 Legal Description: Lot 3 DP 148465 (2.184HA)		Estimated Value Project Value 2000	

Signed for and on behalf of Council:


Name: Sandra Eavestaff

Position: Building Control Administration

Date: 7-June-2006

This building consent is a consent under the Building Act 2004 to undertake building work in accordance with the attached plans and specifications so as to comply with the provisions of the building code. It does not affect any duty or responsibility under any other Act nor permit any breach of any other Act.

This building consent is issued subject to the conditions specified in the attached pages headed "Condition of Building Consent No ABA-61192"

BUILDING CONSENT SCHEDULE

This building consent has been issued for the following Application subject to the Conditions as outlined in the Building Act 2004:

Application Number: ABA-61192
Dated: 07-Jun-2006
Site Address: 158 McLeod Road, Waioneke 1250
Applicant: Graeme Wright Johnson and Gillian Ann Carter
Description of Work: Kent Clean Air Firenze Woodburner

REQUIREMENTS AND CONDITIONS OF BUILDING CONSENT

Producer Statement (PS3)

Producer Statement Construction (PS3) is to be submitted by the installer for the construction of a fire place and certification that those comply with the design and manufacturers specifications as approved in this building consent.

Building Materials

The adjoining properties including walkways and the road reserve must be kept clear at all times from building materials, refuse and spoil from the construction site.

Other Act requirements

Ensure that conditions/requirements under any other Act relating to or affecting the building or proposed building are complied with.

PIM Recommendations

Ensure all recommendations recorded on the Project Information Memorandum No. 61192 regarding the proposed building work to this property are complied with.

Building Code

All building work shall comply with the New Zealand Building Code 1992, Acceptable Solutions and/or approved Alternative Solutions.

Fire Safety – Domestic Smoke Alarms

The household unit (or units) the subject of this building consent is required by the N Z Building Code to have appropriate means of detection and warning for fire.

Approved document F7/AS1 provides a means of meeting this requirement by:

- (a) Installing smoke alarms on all escape routes on all levels and in all sleeping spaces (an alternative to every sleeping space is to position them within 3.0m of every sleeping space door but these must be audible to a sleeping occupant through the closed door).

- (b) Smoke alarms shall be installed on or near the ceiling (refer to AS 1670.6 and the manufacturer's instructions).
- (c) To avoid false alarms, smoke alarms should not be installed in areas where smoke or fumes are produced e.g. kitchens, near fires, garages, bathrooms or laundries.
- (d) Smoke alarms may be battery powered and are not required to be interconnected.
- (e) They shall have a hush facility that lasts at least 60 seconds and an accessible test facility.
- (f) Comply with Standard: UL217, ULC S531, AS 3786, or BS 5446:1.
- (g) They shall be tested monthly, cleaned annually and maintained.

Fire Unit Installation

Fire Unit to be installed in strict compliance with manufacturer's specifications and instructions, in accordance with AS/NZS 2918:2001.

- (a) Ensure the hearth is fixed to the floor and the fire unit is fixed to hearth with 6 kn fixings.
- (b) If the appliance is being installed in the fireplace opening of an existing chimney, the chimney shall be swept and thoroughly examined for soundness by the installer. Council will require producer statement of confirmation for inspections, cleaning of chimney and installation of fireplace insert appliance by the approved installer.
- (c) Ensure curtains that are in close proximity to the fireplace are tied back against the wall to prevent them from coming into contact with firebox or flue.
- (d) Any wet back installation must be undertaken by a registered plumber and registration details provided.
- (e) An inspection is to be called for once the installation of the firebox has been completed and before the appliance is used.

Energy Works Certificate – Electrical

Provide an Energy Works Certificate, if applicable, to certify that all electrical installations meet the requirements of Clause G9 (Electricity) of the New Zealand Building Code and the acceptable solutions.

Producer statements and warranties

The following documentation is required to demonstrate compliance with the New Zealand Building Code before a code compliance certificate is able to be issued:

- The producer statements and certificates identified in the above requirements

On-site Inspections

It is the obligation of the owner or builder to call for inspections prior to covering up any work. Enclosed with this application is a list of required inspection as a guide to the builder and owner. Council needs to be reasonable certain that the construction meets the requirements of the building code before issuing a Code Compliance certificate.

PROJECT INFORMATION MEMORANDUM

This IS NOT A building consent and this document does not authorise you to commence construction. The Project Information Memorandum (PIM) sets out relevant information held by Council in relation to your proposed project as required by the Building Act 2004:

Application Number ABA-61192
Dated 07-Jun-2006
Site Address 158 McLeod Road, Waioneke 1250
Applicant Graeme Wright Johnson and Gillian Ann Carter
Description of Work Kent Clean Air Firenze Woodburner

Copies of any report referred to in this PIM can be obtained from the PIM Coordinator at the Rodney District Council Offices at Orewa. You will need to request such a report at least 24 hours before being able to collect it. This service is subject to a document recovery fee.

PROJECT INFORMATION

The following information is provided in relation to the proposed building work or project. It is the responsibility of the applicant to show that the proposed building complies with the Building Act 2004 and the New Zealand building Code

1/ The Heritage Status of the Land and/or Buildings involved in the proposed project.

1.1 There are no heritage matters, known to Council, in respect to this project.

2/ Special Features of the land, known to Council, that may affect the proposed project.

2.1 Geotechnical Features and issues

2.1.1 There are no special features, known to Council, in respect to this issue for this project.

2.2 Potential inundation as a result of flooding or overland flow

2.2.1 There are no special features, known to Council, in respect to this issue for this project.

2.3 The presence of hazardous Contaminants

2.3.1 There are no special features, known to Council, in respect to this issue for this project.

2.4 The Location of the land - Exposure Zone and Durability

- 2.4.1 The building site is classified as being in "zone 1". "Zone 1" is defined in Fig. 4.1 of NZS 3604:1999. For specifically designed building works it should be noted that this project is further away from than 500m away from the sea or 100m away from a tidal estuary. Designers should consider the durability requirements in the respective specific design material codes.

2.5 The Location of the land on which the building project is located and associated Wind Zone

- 2.5.1 This Council does not provide building wind zones as there are a number of variables in terms of wind region, topography, ground roughness and exposure. Designers must use the relevant design codes to design the building work for the required wind loadings and consequential bracing requirements.

3/ Notification received from other Statutory Authority's, that may affect the proposed project.

- 3.1 Council has not received notification from other Statutory Authorities, that may affect this project.
- 3.2 The Council is not an agent for any other network utility operator - electricity, gas, geothermal emergency or petroleum, so information cannot be supplied by the Council.

4/ Issues associated with stormwater and/or wastewater utility services or the lack of such services that may affect the proposed project.

- 4.1 This is not applicable.

5/ Notification of the need to comply with consent notices or other instruments registered in favor of Council on the title of the land.

- 5.1 You should check the title of your property for consent notices or for any restrictive covenants that could impact on the design of this project.

6/ Notification of the need, if any, to obtain authorization(s) in respect to the Resource Management Act 1991.

- 6.1 From the detail supplied with the application, it does not appear that this project requires any authorization pursuant to the Resource management Act 1991.
- Fire Places and Wood burners
- The proposed building works the subject of this PIM may have fire place or a wood or coal burning appliance. These appliances need to comply with both national and regional requirements as set out in environmental standards or the Auckland Regional Councils "Air Land and Water Plan"

7/ Notification of the need, if any, to obtain other authorization(s).

7.1 Electricity Transmission Lines and Towers

If there are high-tension electricity transmission lines over or adjacent to the property or there are transmission towers/pylons on or adjacent to the property the building consent applicant must ensure that the proposed building complies with the clearances prescribed in the New Zealand Electrical Code of Practice for Electrical Safety Distances.

It is the responsibility of the owner/applicant to ensure compliance and if necessary to contact the line owner to determine whether the proposed building work will comply prior to commencing construction.

8/ Swimming Pool Discharge.

8.1 This is not applicable.

9/ Notification that it is necessary to consult the New Zealand Fire Service in respect to your project.

9.1 There is no need to consult the New Zealand Fire Service in relation to the proposed project.

10/ Notification that allotments, associated with this project, may not be transferred or leased separately.

10.1 This is not applicable.

11/ Notification that the Proposed Project may or may not be built or that the building work may not proceed or may only proceed in part.

11.1 This is confirmation that the project may be undertaken subject to the requirements of the building consent and subject also to all other necessary authorisations being obtained. The project is subject to the provision of the Building Act 2004 and relevant documents.

THE BUILDING	
Street address of building:	158 McLeod Road, Waioneke 0874
Legal description of land where building is located:	Lot 3 DP 148465 (2.184HA)
Building Classification:	Chimney & Fireplace
Current, lawfully established, use:	
Year first constructed:	

THE OWNER			
Name of owner:	Graeme Wright Johnson and Gillian Ann Carter		
Mailing address:	158 McLeod Road RD 1 Helensville 0874		
Street address/registered office:	158 McLeod Road, Waioneke 0874		
Phone Numbers:	Landline:		Mobile:
	Daytime:		After hours:
First point of contact for communications with the council / building consent authority:	Hammer & Heat Limited PO Box 84332 Westgate		

BUILDING WORK			
Building Consent Number: ABA-61192			
Description of work: Kent Clean Air Firenze Woodburner			
Issued by:	Rodney District Council	Date consent Issued:	07 Jun 2006

CODE COMPLIANCE	
The Rodney District Council is satisfied, on reasonable grounds, that -	
The building work complies with the consent;	



Signature Ruth Stevens

 Building Consents Administration Officer
 Position

 On behalf of : RODNEY DISTRICT COUNCIL
 Date: 12-May-2008

BUILDING CONSENT SCHEDULE

This building consent has been issued for the following Application subject to the Conditions as outlined in the Building Act 2004:

Application Number:	ABA-61192
Dated:	07-Jun-2006
Site Address:	158 McLeod Road, Waioneke 1250
Applicant:	Graeme Wright Johnson and Gillian Ann Carter
Description of Work:	Kent Clean Air Firenze Woodburner

REQUIREMENTS AND CONDITIONS OF BUILDING CONSENT

Producer Statement (PS3)

Producer Statement Construction (PS3) is to be submitted by the installer for the construction of a fire place and certification that those comply with the design and manufacturers specifications as approved in this building consent.

Building Materials

The adjoining properties including walkways and the road reserve must be kept clear at all times from building materials, refuse and spoil from the construction site.

Other Act requirements

Ensure that conditions/requirements under any other Act relating to or affecting the building or proposed building are complied with.

PIM Recommendations

Ensure all recommendations recorded on the Project Information Memorandum No. 61192 regarding the proposed building work to this property are complied with.

Building Code

All building work shall comply with the New Zealand Building Code 1992, Acceptable Solutions and/or approved Alternative Solutions.

Fire Safety – Domestic Smoke Alarms

The household unit (or units) the subject of this building consent is required by the N Z Building Code to have appropriate means of detection and warning for fire.

Approved document F7/AS1 provides a means of meeting this requirement by:

- (a) Installing smoke alarms on all escape routes on all levels and in all sleeping spaces (an alternative to every sleeping space is to position them within 3.0m of every sleeping space door but these must be audible to a sleeping occupant through the closed door).

- (b) Smoke alarms shall be installed on or near the ceiling (refer to AS 1670.6 and the manufacturer's instructions).
- (c) To avoid false alarms, smoke alarms should not be installed in areas where smoke or fumes are produced e.g. kitchens, near fires, garages, bathrooms or laundries.
- (d) Smoke alarms may be battery powered and are not required to be interconnected.
- (e) They shall have a hush facility that lasts at least 60 seconds and an accessible test facility.
- (f) Comply with Standard: UL217, ULC S531, AS 3786, or BS 5446:1.
- (g) They shall be tested monthly, cleaned annually and maintained.

Fire Unit Installation

Fire Unit to be installed in strict compliance with manufacturer's specifications and instructions, in accordance with AS/NZS 2918:2001.

- (a) Ensure the hearth is fixed to the floor and the fire unit is fixed to hearth with 6 kn fixings.
- (b) If the appliance is being installed in the fireplace opening of an existing chimney, the chimney shall be swept and thoroughly examined for soundness by the installer. Council will require producer statement of confirmation for inspections, cleaning of chimney and installation of fireplace insert appliance by the approved installer.
- (c) Ensure curtains that are in close proximity to the fireplace are tied back against the wall to prevent them from coming into contact with firebox or flue.
- (d) Any wet back installation must be undertaken by a registered plumber and registration details provided.
- (e) An inspection is to be called for once the installation of the firebox has been completed and before the appliance is used.

Energy Works Certificate – Electrical

Provide an Energy Works Certificate, if applicable, to certify that all electrical installations meet the requirements of Clause G9 (Electricity) of the New Zealand Building Code and the acceptable solutions.

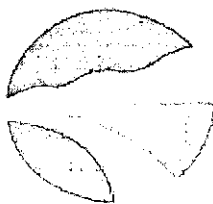
Producer statements and warranties

The following documentation is required to demonstrate compliance with the New Zealand Building Code before a code compliance certificate is able to be issued:

- The producer statements and certificates identified in the above requirements

On-site Inspections

It is the obligation of the owner or builder to call for inspections prior to covering up any work. Enclosed with this application is a list of required inspection as a guide to the builder and owner. Council needs to be reasonable certain that the construction meets the requirements of the building code before issuing a Code Compliance certificate.



Rodney

DISTRICT COUNCIL

2 - JUN 2006
Rodney DISTRICT COUNCIL
OREWA

For Office Use Only

PROP ID	
PARCEL ID	
PERSON ID	
MAP No	
ABA/PIM No	61192.
DATE	

APPLICATION FOR PROJECT INFORMATION MEMORANDUM AND/OR BUILDING
CONSENT
SECTION 33 OR SECTION 45, BUILDING ACT 2004

PIM only	Building Consent only (PIM obtained)	☒ X	Combined PIM and Building Consent
----------	--------------------------------------	---------------------------------------	-----------------------------------

THE BUILDING

Street Address of building: 158 McLeod Rd, Helensville

(For structures that do not have a street address, state the nearest street intersection and the distance and direction from that intersection)

Legal Description of land where building is located:

3 148465
Lot: 143 DP: 102458

(State legal description as at the date of application and, if the land is proposed to be subdivided, include details of relevant lot numbers and subdivision consent)

Building Name: (if applicable)

Location of Building within site/block number: (include nearest street access)

Number of Levels: (include ground level and any levels below ground)

Level/unit number: (if applicable)

Area: (total floor area; indicate area affected by the building work if less than the total area) 2 Sq M

Current, lawfully established, use: (include number of occupants per level and per use if more than 1) Residential Dwelling

Year first constructed: (approximate date is acceptable e.g.: c1920's or 1960-1970) 1987

THE OWNER

Name of the owner: (include preferred form of Address, e.g. Mr., Miss, Dr if an individual)

GW Johnson & GA Carter.

Contact person: (insert n/a if the applicant is an individual) Graham Johnson

Mailing address: 158 McLeod Rd
Waiopneke, Helensville.

Street address/registered office: as above

Application for project information memorandum and/or building consent continued

Phone number: Landline: (09) 430 2199 Mobile: 027 544 6097
Daytime: After hours:

Facsimile number:

Email Address:

Website: (if applicable)

The following evidence of ownership is attached to this application: (i.e., copy of certificate of title, lease, agreement for sale and purchase, or other document showing full name of legal owner(s) of the building)

Rates Notice

AGENT (only required if application is being made on the behalf of the owner, delete if not applicable)

Name of agent: Hammer & Heat Ltd

Contact person: (insert n/a if the agent is an individual) Paula Langford

Mailing Address: PO Box 84332
Westgate

Street address/registered office: 2a Makunga Drive
Mangere

Phone number: Landline: 633 1113 Mobile: 021 398 783
Daytime: After hours:

Facsimile number: 633 1102

Email Address:

Website: (If applicable)

Relationship to owner: (state details of the authorisation from the owner to make the application on the owners behalf)

Agent

First point of contact for communications with the Council/Building Consent Authority: (state full name, mailing address, phone number(s), facsimile(s) and email address (es))

Hammer & Heat Ltd
PO Box 84332
Westgate

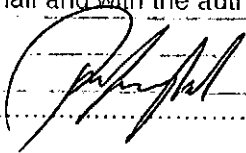
Paula Langford ph: 021 398 783

APPLICATION

I request that you issue: ☒ Project information memorandum ☒ Building Consent
for the building work described in this application (tick one or both, as applicable)

Signature of ~~owner~~ agent on behalf and with the authority of the owner (delete one):

Date: 29/05/06



Application for project information memorandum and/or building consent continued
THE PROJECT

Description of the building work: (provide sufficient description of building work to enable scope of work to be fully understood; continue on a separate page if necessary, or refer to an attached document setting out the description)

Installation of a Kent Clean Air Firenze
woodburner.

Floor - chipboard
Walls - Wooden tongue & groove
Hearth (floor protector) - Metal Moderna.

Will the building work result in the change of use of the building: ☐ Yes ☒ No

If yes, provide details of the new use:

Intended life of the Building if less than 50 years (number of years): 5 Years

List Building Consents previously issued for this project (if any):

(List who issued the consent, the date of issue and the consent number)

Estimated value of the building work on which the building levy will be calculated (including goods and services tax): (state estimated value as defined in section 7 of the Building Act) \$ 2000

PROJECT INFORMATION MEMORANDUM (Do not fill in this section if the application is for a building consent only)

The following matters are involved in the project: (tick the matters relevant to the project)

- ☐ Subdivision
- ☐ Alteration to land contours
- ☐ New or altered connections to public utilities
- ☐ New or altered locations and/or external dimensions of the buildings
- ☐ New or altered access for vehicles
- ☐ Building work over or adjacent to any road or public place
- ☐ Disposal of storm water and waste water
- ☐ Building work over any existing drains or sewers or in close proximity to wells or water mains
- ☐ Other matters known to the applicant that may require authorizations from the territorial authority: (specify)

Application for project information memorandum and/or building consent continued

BUILDING CONSENT (do not fill in this section if the application is for a Project Information Memorandum only)

The following plans and specifications are attached to this application:

(All plans and specifications must meet the minimum requirements set out in the regulations or required by the building consent authority)

The building work will comply with the building code as follows:

(If you're not sure which clauses are applicable, talk to the BCA or your architect)

Clause (tick relevant clause numbers of building code)	Means of compliance (refer to the relevant compliance document(s) or detail of alternative solution in the plans and specifications; if not applicable, put n/a)	Waiver/modification required (state nature of waiver or modification of building code required; if not applicable, put n/a)
☐ B1 Structure	NZS 3604	
☐ B2 Durability	See Manufacturers Spec	
☐ C1 Outbreak of fire	AS / NZS 2918	
☐ C2 Means of Escape		
☐ C3 Spread of fire		
☐ C4 Structural stability during fire		
☐ D1 Access routes		
☐ D2 Mechanical installations for access		
☐ E1 Surface water		
☐ E2 External moisture	E2 AS1 or an alternative solution eg: Decktite	
☐ E3 Internal moisture		
☐ F1 Hazardous building materials		
☐ F2 Hazardous building materials		
☐ F3 Hazardous substances and processes		
☐ F4 Safety from falling		
☐ F5 Construction and demolition hazards		
☐ F6 Lighting or emergency		
☐ F7 Warning Systems	F7 AS1	
☐ F8 Signs		
☐ G1 Personal Hygiene		
☐ G2 Laundering		
☐ G3 Food preparation and prevention of contamination		
☐ G4 Ventilation		
☐ G5 Interior environment		
☐ G6 Airborne and impact sound		
☐ G7 Natural Light		
☐ G8 Artificial light		
☐ G9 Electricity		
☐ G10 Piped services		
☐ G11 Gas as an energy source		
☐ G12 Water supplies		
☐ G13 Foul water		
☐ G14 Industrial liquid waste		
☐ G15 Solid waste		
☐ H1 Energy efficiency		

Application for project information memorandum and/or building consent continued

COMPLIANCE SCHEDULE (do not fill in this section if there is an application for a project information memorandum only) Tick one:

☐ The specified systems for the building are as follows: (specified systems are defined in regulations; if you are not sure whether your building has specified systems, talk to the BCA or your architect)

The following specified systems are being altered, added to, or removed in the course of the building work:

☐ There are no specified systems in the building

ATTACHMENTS

The following documents are attached to this application: (tick as applicable or put n/a if there are no attachments).

☐ Plans and specifications (list)

☒ Floor Plans

☐ Project information memorandum

☐ Development contribution notice

☐ Certificate attached to project information memorandum

Declaration

I declare as owner or agent of the owner, that I have provided all the information requested on this form, in relation to the project site, known to the owner and agent. I am aware that withholding any such information may invalidate the Project Information Memorandum and the Building Consent issued by Council.

Signed by Owner on behalf of the Owner

Date

29/05/06

I have enclosed a fee of : \$ 183.00

525968
Receipt Number

450

Additional Charges maybe payable prior to uplifting of the Project Information Memorandum/Building Consent

RODNEY DISTRICT COUNCIL CONTACT DETAILS

Postal Address: Rodney District Council, Private Bag 500, Orewa.

Phone: 0800 426 5169

Website: www.rodney.govt.nz

Orewa Office
50 Centreway Road,
Orewa

Helensville Service
Centre
Commercial Street,
Helensville

Huapai Service
Centre
State Highway 16,
Huapai

Warkworth Service
Centre
Baxter Street,
Warkworth

Application Checklist for a Fire Place Building Consent

This checklist is guideline for applicants and will be used by the receiving officer when checking application for accuracy. If there is information incomplete or missing the application may not be accepted for processing.

A fee of \$183.00 is required at time of lodgement.

Further payment may be required when the building consent is issued. Payment of outstanding fees must be made before the issue of the Code of Compliance.

All information from the Owner, Draughtsperson/Architect must be provided before your building consent can be processed effectively.

The standard of the plans and other document shall be of sufficient quality to reproduce from scanned records without enhancement. All drawings are to be to recognised scale.

NB. All plans and documents must be in ink – pencil drawings are not acceptable.

Owner/Agent responsible to provide the following information (Please tick, cross or N/A):			
No.	Item	Supplied (applicant to indicate)	Received (Office only)
1	General Requirements (1 Copy required):		
1.a	Completed application form signed by owner or agent In the project description section provide the following information:- Manufactures trading name, appliance model and features (free standing, insert, wetback, etc), appliance status (new/second hand) and fuel type (solid wood, compressed pallets, gas, etc)		✓
2	Floor Layout Plan of the room(s) showing (2 copies required):		✓
2.a	Location of the appliance.		✓
2.b	Location of hot water cylinder for all wetback connections.		N/A
2.c	Specify type of floor where the appliance will be positioned.		Chipboard
2.d	Specify type of hearth/ floor protector (materials).		Metal
2.e	Specify type of walls surrounding the appliance and the flue system and identify any heat shields used.		Wood
3	Site Plan (if more than one dwelling on site)		
3.a	A site plan showing the location of all buildings on site and indicating which dwelling the application is for.		N/A
4	Manufactures Installation Instruction for the Appliance and the Flue System (2 copies required): (the following minimum information has to be present)		
4.a	Appliance testing method or standard.		AS/NZS 2918:2001
4.b	Full appliance set-out diagram showing minimum safety clearances.		✓
4.c	Hearth/floor protector requirements and construction details.		✓
4.d	Appliance/fire box fixing details (seismic restraints, etc).		✓
4.e	Flue system installation details.		✓
4.f	Wet back installation details including plumbing installation design to the open vented hot water cylinder.		N/A
4.g	Typical flue penetration details through ceilings, floors or walls.		✓
4.h	Typical Roof penetration (flue) flashing details complying with NZBC clause E2.		Detail
4.i	Flue external requirements (flue system exit located outside the building).		✓
5	Additional Documents (2 Copies required):		
5.a	Second hand inspection report from an approved installer (member of NZHHA) for all second hand appliances.		N/A
5.b	Complete and attach Plumbers Registration Form for all wet back installations. (Copy of this form can be down loaded from the website).		N/A
5.c	Indicate whether Producer Statement Construction (PS3) will be provided for the wetback installation. (Note that the council shall employ a suitably qualified person at the cost of the owner to inspect wetback installations where PS3 will not be provided).	Yes/No	N/A



Rodney
DISTRICT COUNCIL

094442938

Rates Invoice

Part 1 of 1

For Period 01 Jul 2005 to 30 Jun 2006

INVOICE DATE 15 Apr 2006

TAX INVOICE G.S.T. No. 10-683-092

G W Johnson and G A Carter
158 McLeod Road
R D 1
Waioneke
Helensville 1250

Location of Property

158 McLeod Road, Waioneke 1250

* Rates as shown below are due and payable by you, as the ratepayer, to the Rodney District Council and must be paid on or before close of business on the due date specified below to avoid a 10% penalty (see reverse for office hours).

* The amount payable by 25 May 2006 to clear your account for the year to 30 Jun 2006, is \$831.52

Instalment No	Rate Account Number	Valuation Number	Land Value	Capital Value
4	1227237	30700-04502	165,000	345,000

Due date/last day for Payment	Minimum payment by due date (see note 5 over)	
25 May 2006	\$831.52	

Description of Rates	Factors to calculate liability for rates & matters for differentiation	Value of Factor	Rate/Charge	Total for Year
GENERAL RATE	Land Value - Location & Use	165000	0.001119	\$184.64
UNIFORM DEMOCRACY & DEVELOPMENT	Fixed Per Separate Part - Location	1	57.95	\$57.95
UNIFORM CIVIC AMENITIES CHARGE	Fixed Per Separate Part - Location	1	464.73	\$464.73
ROADING RATE	Land Value - Location & Use	165000	0.002013	\$332.15

Refer to next page for water by consumption rate	2005 - 2006 RATES ASSESSED (INCL. G.S.T. @ 12.5%)	\$1,039.47
--	---	------------

Arrears b/f from previous year	Previous instalments this year	Paid this year and credits b/f	Penalties this year	Rate and Penalty Remissions	Other adjustments	This Instalment	Amount due on this invoice
\$0.00	\$779.61	-\$285.85	\$77.90	\$0.00	\$0.00	\$259.86	\$831.52

SUMMARY OF INSTALMENTS AND DATES FOR YEAR		
Instalment	Amount	Due Date
1 st Instalment	\$259.87	25-Aug-2005
2 nd Instalment	\$259.87	25-Nov-2005
3 rd Instalment	\$259.87	25-Feb-2006
4 th Instalment	\$259.86	25-May-2006

Previous years arrears unpaid
\$0.00

GST included in this invoice is \$28.87

Please Note:

* Payments received after 31 Mar 2006 are not included in this invoice.

* For information regarding penalties, payment options etc please see back of form.



Rodney
DISTRICT COUNCIL

G W Johnson and G A Carter
158 McLeod Road
R D 1
Waioneke
Helensville 1250

Rate Account Number: 1227237

Minimum payment by
25-May-2006
(see Note 5 over)

Total payment to clear account
to 30-Jun-2006 if paid by
25-May-2006

Amount paid

Tick box if you wish to
receive a direct debit form

PLEASE RETURN THIS FORM WITH PAYMENT

Valuation Number: 30700-04502

Please note any change of address here:

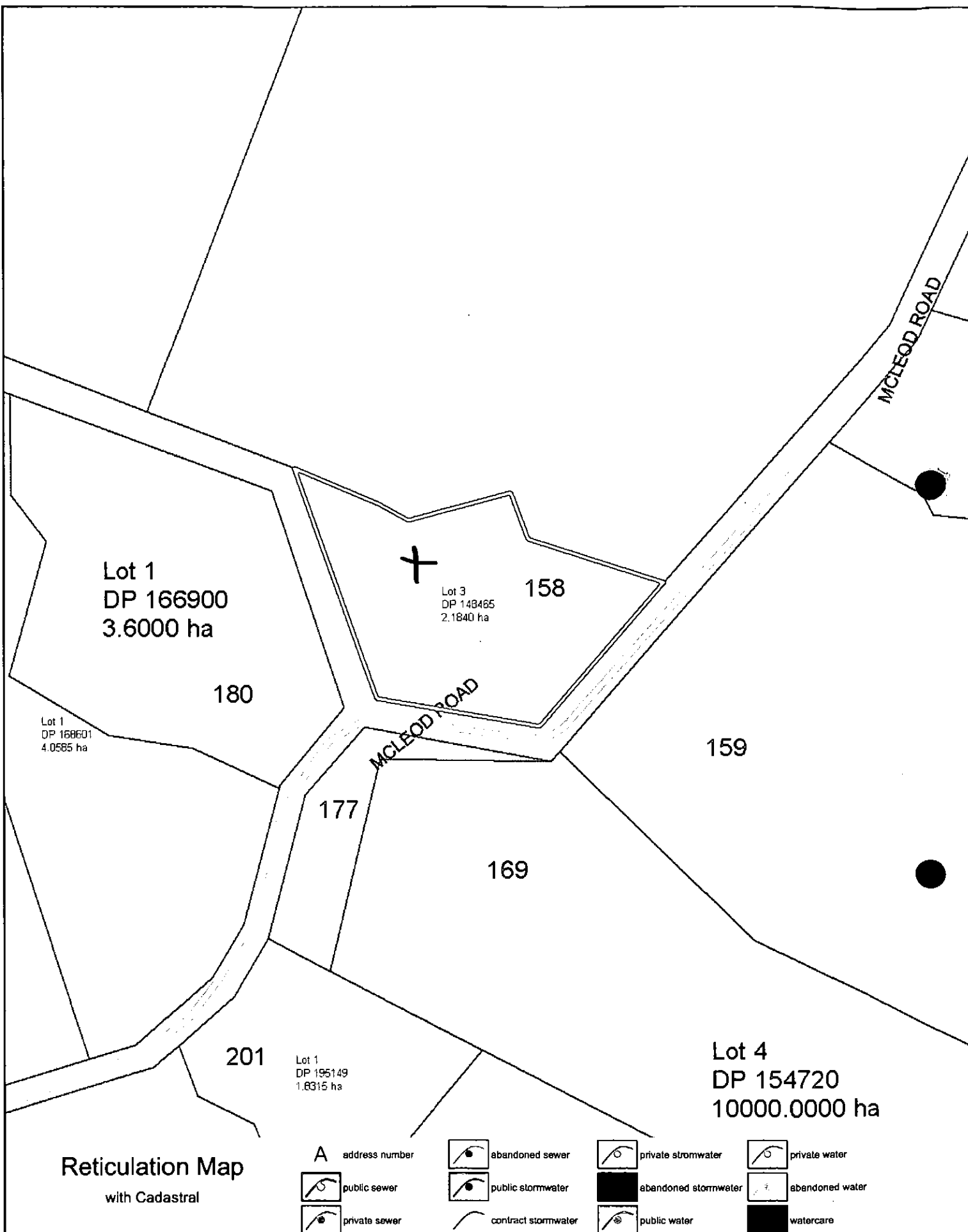
-290.541-52

22/4/06

Contact Phone: ()

1122723745

11000008315211872

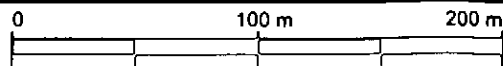


Reticulation Map
with Cadastral

158 McLeod Road, Waioneke 1250



Head Office: 50 Centreway Road, Orewa.
Private Bag 500, Orewa, New Zealand
Tel: (09)426 5169, Fax: (09)426 7280
Email: info@rodney.govt.nz



This plan is for information purposes only, and best produced in colour. Its content is NOT to be considered of survey grade, and should be verified prior to design or construction. While Council endeavors to provide accurate data, no guarantee as to the completeness and accuracy of the data shown can be given.

Cadastral information derived from LINZ's LandOnLine Database. Crown copyright reserved. Council accepts no liability for any error or omission whatsoever.
Document created at 10:51 on 6 June 2006

BUILDING CONSENT NO ABA-61192
PROJECT INFORMATION MEMORANDUM NO: 61192
Section 51 Building Act
ISSUED BY RODNEY DISTRICT COUNCIL

The Owner		Building Work	
Name Graeme Wright Johnson and Gillian Ann Carter Mailing Address: 158 McLeod Road R D 1 Waioneke Helensville 1250		Description: Kent Clean Air Firenze Woodburner Nature Chimney & Fireplace	
The Building		Intended Use(s) in detail:	
Street Address 158 McLeod Road, Waioneke 1250		Chimney & Fireplace	
		Intended Life	
Legal Description		Estimated Value	
Property Number: 1227237 Assessment No: 1227237 3 Legal Description: Lot 3 DP 148465 (2.184HA)		Project Value 2000	

Signed for and on behalf of Council:

Name: Sandra Eavestaff
Position: Building Control Administration
Date: 7-June-2006

This building consent is a consent under the Building Act 2004 to undertake building work in accordance with the attached plans and specifications so as to comply with the provisions of the building code. It does not affect any duty or responsibility under any other Act nor permit any breach of any other Act.

This building consent is issued subject to the conditions specified in the attached pages headed "Condition of Building Consent No ABA-61192"

**RODNEY DISTRICT COUNCIL
Building Control**

SCHEDULE OF STANDARD INSPECTIONS

This Building Consent is **to be kept on site** and available to building Field Officer.

Please give at least 24 hours notice for the next inspection and quote the Building Consent Number.

Siting

Identification of boundary pegs & correct siting of building to be established. Siting lines to be in place on relevant boundary pegs to confirm site plan setting out dimensions.

Foundation

Inspection of excavations for footings, post & pile holes, reinforcing steel prior to pouring concrete.

Owner/builder to check Requirements of Building Consent for any additional inspections required by engineer.

Under-Slab Plumbing

Inspection of plumbing & drainage under slab, including air or water test, prior to covering with hard fill.

Bond Beam

Inspection of blockwork reinforcement, prior to concrete grouting.

Concrete Floor Slab Preparation

Inspection of polythene, mesh, bar chairs & steel reinforcement

Masonry Retaining Wall Waterproofing

Inspection of retaining wall waterproof membrane, drain coil, damage metal/scoria & membrane protection.

Timber Retaining Wall Drainage

Inspection of timber retaining wall drain coil location, drainage meta/scoria on site.

Brick Veneer (Minimum of two inspections)

1) Building Wrap & DPC

Inspection of building wrap, waterproofing to rebate & DPC in place around joinery.

2) Cavity & Brick Ties

Cavity, brick ties & spacing, control joint, vent holes & weep holes. Please note the Inspector may request an additional inspection for lintels.

Pre-Plaster Inspections (Four inspections)

1) Building Wrap

Inspection of building wrap, self adhesive Flashing tape to joinery openings, 15 degree to slope to window sills.

This inspection is to be carried out before the joinery is fitted.

2) Cavity

Inspection of cavity battens, flashings and any additional waterproofing required.

3) Pre Plaster Exterior Cladding

Inspection of cladding substrate i.e. Polystyrene Harditex, Hardibacker, plywood or similar non-rigid substrate, flashing, penetration & mastic prior to plaster texture coating.

4) Plaster or Texture Coating

Inspection of plaster, mesh or texture coating & any requirements for waterproofing to parapets etc.

Pre line Building & Plumbing (Two inspections)

1) Structural Connections

Inspection of all structural connections, including sheet brace straps, bottom plate fixings, angle braces, lintel & top plate uplift connections, purlin/ truss 'Z' nails, structural steelwork, sub-floor & roof bracing etc.

This inspection is required before wall & roof is installed.

2) Building & Plumbing Preline

Inspection of weathertightness, insulation, framing glazing, moisture content of framing, plumbing pipe out and test observation, fire safety & accessible facilities, prior to internal lining.

Waterproof Membrane Deck or Roof

An inspection of any Waterproof Membrane Substrate preparation is required for: Decks & Roofs.

Waterproof Membrane Wet Area

Inspection of any waterproof membranes before tiling.

Fire Safety

Inspection of fire rated walls, partitions, ceiling & penetrations etc.

Post-line

Inspection of wall bracing fixing and nailing of bracing sheets.

Drainage

Inspection of foul & stormwater drainage, including observation of air or water test prior to work being covered.

Final

Final Inspection, when builder/owner believes that work consented to, is completed & in compliance with the Building Code.

Notification of completion of work form completed by owner /builder & presented to RDC.

Provide ladder access to roof space for this inspection where applicable.

PLEASE NOTE THE APPROVED PLANS & SPECIFICATION ARE TO BE AVAILABLE ON SITE AT ALL TIMES.

THE BUILDING	
Street address of building:	158 McLeod Road, Waioneke 0874
Legal description of land where building is located:	Lot 3 DP 148465 (2.184HA)
Building Classification:	Chimney & Fireplace
Current, lawfully established, use:	
Year first constructed:	

THE OWNER			
Name of owner:	Graeme Wright Johnson and Gillian Ann Carter		
Mailing address:	158 McLeod Road RD 1 Helensville 0874		
Street address/registered office:	158 McLeod Road, Waioneke 0874		
Phone Numbers:	Landline:		Mobile:
	Daytime:		After hours:
First point of contact for communications with the council / building consent authority:	Hammer & Heat Limited PO Box 84332 Westgate		

BUILDING WORK			
Building Consent Number: ABA-61192			
Description of work: Kent Clean Air Firenze Woodburner			
Issued by:	Rodney District Council	Date consent Issued:	07 Jun 2006

CODE COMPLIANCE
The Rodney District Council is satisfied, on reasonable grounds, that -
The building work complies with the consent;



Signature Ruth Stevens

 Building Consents Administration Officer
 Position

On behalf of : RODNEY DISTRICT COUNCIL

Date: 12-May-2008

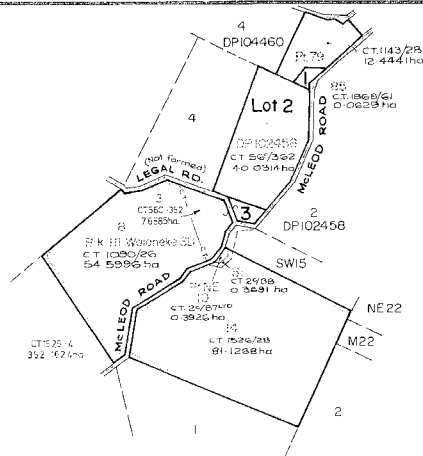
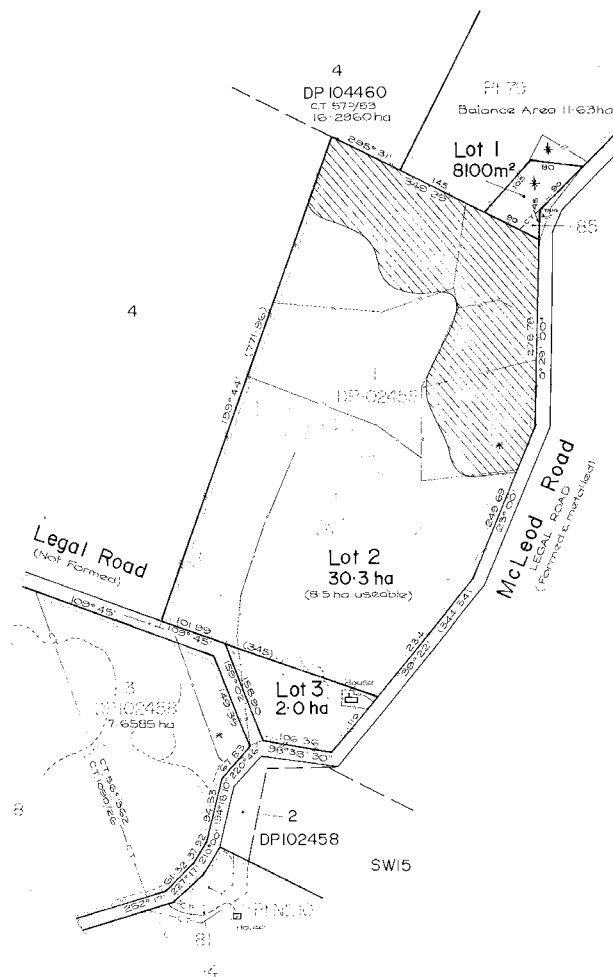


DIAGRAM SHOWING BALANCE AREA

Scale 1:16,000

LOTS 1 to 3 BEING A PROPOSED SUBDIVISION OF LOTS 1 & 3

DP 102458 & Pt. 79 Parish of Mairatahi,
Bk. III WAIONEKE S.D.
NORTH AUCKLAND L.D.
COMPRISED IN CT. 56°/362 & 1143/28
RODNEY DISTRICT COUNCIL
TOTAL AREA 52.5384 ha

LEGEND:

- Land suitable for horticulture within horticulture block
- Possible building site

Approved by the Rodney District Council under Section 279 of the Local Government Amendment Act 1978 at a meeting held on the 26th day of JULY 1991 subject to the conditions contained in resolution no.

Full General Manager

I, John Russell Bolam, Registered Surveyor, hereby certify that this scheme plan has been prepared by me in accordance with the provisions of the Local Government Act 1974 and the Code of Subdivision of the Rodney District Council made under Section 313 of that Act.

AREAS AND MEASUREMENTS SUBJECT TO SURVEY

WARD: Helensville

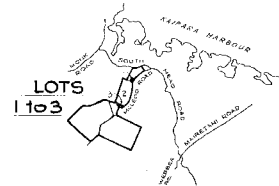
ZONING: Rural One

BASIS OF SUBDIVISION:

Lot 2	> Horticulture	30.3
Lot 1	> Boundary Adjustment	0.8
Lot 3	> Non Horticulture	2.0
TOTAL		33.1 ha

PROPOSED AMALGAMATION CONDITIONS

- Allot 14, Parish of Mairatahi, (CT 526/26) be held as one with Pt. NE Allot 10, Parish of Mairatahi (CT 25/67) & Allot 81, Parish of Mairatahi (CT 25/88) Total Area 81.8885 ha.
- Lot 3 of DP 102458 (Pt. CT 56°/362) be held as one with Section B Block III Waioneke Survey District (CT 1143/26) Total Area 52.5384 ha.



LOCALITY PLAN R.D.C. Maps - N6 & N6

BOLAM & ASSOCIATES LTD.



REGISTERED SURVEYORS
& PROPERTY DEVELOPMENT
CONSULTANTS
- OREWA -

A member of the D. N. Bosh Consultant Group

APPENZEL DEER
FARMS LTD.
SOUTH KAIPARA HEADS

SCALE 1:4000 DATE MAY 1991 DRAWING No. 2724/2

R15564

R O D N E Y D I S T R I C T C O U N C I L
=====

SCHEME PLAN R15564 OWNERS: APPENZELL DEER FARMS LIMITED

I, FREDERICK ROLAND SMITH, Manager - Development (Engineering and Subdivisions) hereby certify that the following resolution was passed at a meeting held on 26 July 1991.

" THAT THE SCHEME PLAN BE APPROVED AND THAT THE FULL TEXT OF THE RESOLUTION BE ENDORSED ON ALL NECESSARY DOCUMENTS:-

THAT SCHEME PLAN R15564 BEING THE PROPOSED SUBDIVISION OF LOTS 1 AND 3, DP 102458, AND PART ALLOTMENTS 85 AND 79, PARISH OF MAIRETAHI COMPRISED IN CERTIFICATES OF TITLE 56C/362, 1143/28 AND 1868/61, TOTALLING IN AREA 52.5384 HECTARES OWNED BY APPENZELL DEER FARMS LIMITED, BE APPROVED PURSUANT TO SECTION 279 OF THE LOCAL GOVERNMENT ACT 1974, SUBJECT TO THE FOLLOWING CONDITIONS:-

(a) (conditions to be shown on survey title plan) BEFORE THE COUNCIL WILL APPROVE THE SURVEY PLAN PURSUANT TO SECTION 305 OF THE ACT, THE OWNER SHALL:-

(1) (amendment required) ON THE LAND TRANSFER PLAN SHOW AS LOT 4 ALL OF THE LAND IN CERTIFICATES OF TITLE 1526/28, 2C/87 LIMITED AND 2C/88.

(11) (amendment required) SHOW LOTS 1 TO 4 ON THE LAND TRANSFER PLAN.

(111) (title amalgamation) PURSUANT TO SECTION 279(2)(b) OF THE ACT, HAVE ENDORSED ON THE SURVEY PLAN THE FOLLOWING CONDITION OF AMALGAMATION:-

THAT ONE CERTIFICATE OF TITLE BE ISSUED FOR LOT 3, DP 102458 (RESIDUE C.T. 56C/362) AND SECTION 8, BLOCK III WAIONEKE SURVEY DISTRICT (C.T. 1090/26). SEE FILE A628812.

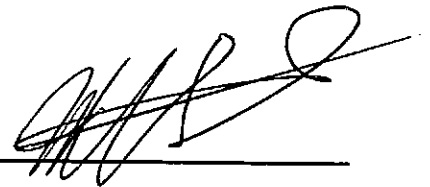
(b) (conditions to be carried out by owner) BEFORE THE COUNCIL WILL ISSUE THE CERTIFICATE OF COMPLIANCE PURSUANT TO SECTION 306 OF THE ACT, THE OWNER SHALL:-

(1) (relocate road boundary fence) RELOCATE ONTO THE ROAD BOUNDARY AT HIS OWN COST THE FENCE ACROSS THE FRONT OF LOT 1 TO THE ENTIRE SATISFACTION OF THE MANAGER - DEVELOPMENT.

(11) (noxious plants) CONTROL ALL RAGWORT, GORSE AND WOOLLY NIGHTSHADE TO THE SATISFACTION OF THE MANAGER - GENERAL SERVICES.

NOTE: THE APPLICANT'S ATTENTION IS DRAWN TO THE FACT THAT THE ARCHAEOLOGICAL SITES WITHIN THE LAND BEING SUBDIVIDED ARE PROTECTED UNDER THE NEW ZEALAND HISTORIC PLACES ACT 1980 AND CONSEQUENTLY MAY NOT BE DISTURBED, DAMAGED OR MODIFIED. "

SIGNED by FREDERICK ROLAND SMITH)
Manager - Development (Engineering and)
Subdivisions) of the RODNEY DISTRICT)
COUNCIL on behalf of the said Council)
under Section 252 of the Local)
Government Act 1974)

A handwritten signature in dark ink, appearing to be 'F. R. Smith', written over a horizontal line.

MANAGER - DEVELOPMENT
(ENGINEERING AND SUBDIVISIONS)

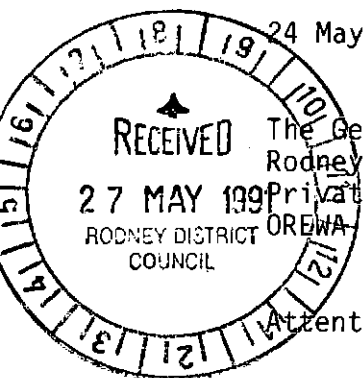


BOLAM & ASSOCIATES LTD

Registered Land and Engineering Surveyors
Land Development and Town Planning Consultants

R15564
REC. 5893
27.5.91

7 Tamariki Ave.,
P.O. Box 157,
Orewa.
Ph: (09) 426 7339.
Fax: (09) 426 7331.



24 May 1991

File: 2724

The General Manager
Rodney District Council
Private Bag
OREWA

ACTION	MDCS
COPY	

Attention: Mr R Hewson

Dear Sir

re: APPENZELL DEER FARMS LIMITED - SOUTH KAIPARA HEADS
LOTS 1 TO 3 BEING A PROPOSED SUBDIVISION OF LOTS 1
AND 3 DP102458 AND PART 79 PARISH OF MAIRETAHI

INTRODUCTION

We enclose for consideration by Council under Section 279 of the Local Government Act, four copies of a Scheme Plan showing the proposed subdivision for our above client. We also enclose a cheque for \$500 being your initial inspection fee.

The purpose of the application is to subdivide part of a property in a manner complying with Council's boundary adjustment, boundary relocation, horticultural and non-horticultural ordinances.

GENERAL DESCRIPTION OF PROPERTY

The property is located on the South Kaipara Heads peninsula, adjacent to McLeod Road. McLeod Road is formed and metalled.

The property is part of a large deer farm. In this respect it is predominantly in pasture and has been deer fenced. The contour is rolling with some areas of more gentle contour and other particularly steep areas. There are some scattered areas of titree.

There are two existing houses in the property being considered under subdivision. One is close to McLeod Road, proposed Lot 3, while the other is to the east of McLeod Road on Allotment 14. Both these houses have all appropriate services.

ZONING AND LEGAL REQUIREMENTS

The land is within the Helensville Ward and included within the Rural 1 zone.

The land is held in the following titles :

1 Appenzell Deer Farms Limited

CT 56C/362 (Lots 1 and 3 DP102458), CT 1090/26 (Section 8 Blk III)

Waioneke Survey District), CT 2C/87 Limited (Part NE 10 Parish of Mairetahi), CT 2C/88 (Allotment 81 Parish of Mairetahi) and CT 1526/28 (Allotment 14 Parish of Mairetahi). We enclose copies of these five titles.

2 Hans Fitzzi and C Yau

CT 1869/61 (Allotment 85 Parish of Mairetahi) and CT 1143/28 (Part 79 Parish of Mairetahi). We enclose copies of these titles.

In addition to this our clients own titles 57D/53 (Lot 4 DP1044660), CT 1525/4 and an additional title to the south.

PLAN PRESENTATION AND PROPOSED AMALGAMATION CONDITIONS

When presenting the Land Transfer plans it is intended that Lots 1, 2 and 3 be shown on the plans with amalgamation conditions as outlined in the righthand panel. These would be as follows :

- 1 As Lot 1 is being created by a boundary adjustment from the two smaller titles, CT 2C/88 and CT 2C/87 Limited, it is intended that Allotment 14 Parish of Mairetahi (CT 1526/28) be held as one with Part NE Allotment 10 Parish of Mairetahi (CT 2C/87) and Allotment 81 Parish of Mairetahi (CT 2C/88). This would make a more logical land holding for all that land on the eastern side of McLeod Road.
- 2 It is intended that a boundary relocation be undertaken between CT 56C/362 and CT 1090/26. As a result of this boundary relocation it is intended that the two titles being Lot 3 DP102458 (CT 56C/362 Part) and Section 8 Blk III Waioneke Survey District (CT 1090/26) be held as one. This would similarly create a far more logical legal situation than currently exists.

PROPOSED SUBDIVISION

It is intended that the property be subdivided generally in the manner shown. New boundaries will be created to follow practical fenceable lines at the time of survey.

(a) PROPOSED LOT 1

As stated above this lot is created as the result of a boundary adjustment from the two smaller titles CT 2C/88 and 2C/87 Limited. There is a good building site on CT 2C/88 on an elevated knoll.

On the new Lot 1 being created there would be a good building site generally in the position shown. This is on a broad area of stable land with sufficient area on which to develop a septic tank and effluent irrigation field. Access to the road is readily available in the north eastern boundary position with power and telephone services available in McLeod Road.

On the balance area of CT 1143/28 there would be a building site immediately north of Lot 1 or otherwise on sites adjacent to South Head Road.

(b) PROPOSED LOT 2

This lot is submitted in terms of Council's horticulture requirements.

On Class 3 soils it has a usable area of 8.5 hectares. Mr Guy Scholefield, a recognised farm consultant, has visited the property and his report will be forwarded shortly. A report is also being obtained from the Auckland Regional Council on water availability.

There are many choices for building sites but one has been shown close to McLeod Road. There would be sufficient area on which to develop septic tank and effluent irrigation fields with power and telephone services available from McLeod Road.

(c) PROPOSED LOT 3

This lot is submitted in terms of Council's requirements for a non-horticulture lot. It includes a steep gully and an existing house. The existing house has all appropriate services.

- (d) The combined Lot 3 DP102458 and Section 8 Blk III Waioneke Survey District, are created as a result of a boundary relocation. While there are many good building sites on Section 8, a possible building site has been shown on Lot 3 DP102458 generally in the position shown. There would be sufficient area on this site on which to develop septic tank and effluent irrigation fields with power and telephone services readily available in McLeod Road.

We note that neither of the existing titles would become non-complying as a result of the boundary relocation. CT 1090/26 will be increasing in size while the balance of CT 56C/362 is to be subdivided under Council's horticultural and non-horticultural ordinances. In this respect we believe the application applies in every way with Council's ordinances.

ROAD UPGRADING CONTRIBUTION

As the land being considered for this application is in effect made up of seven titles, with six titles resulting, it is our understanding that the number of available titles to build on is in fact reducing. As such there will be no increase in usage on the road and no road upgrading contribution would be applicable.

CONCLUSION

The application has been carefully considered to comply with Council's relevant ordinances. This will be supported by the report prepared by Mr G Scholefield. The resulting titles will be a far more logical and a tidy legal situation in respect of existing legal roads from that which currently exists.

If Council should wish to discuss any aspect of the proposal more fully or require additional information we would ask that you contact us. We look forward to receiving your formal conditions of consent in due course.

Yours faithfully
BOLAM & ASSOCIATES LIMITED


J R BOLAM

Reference: { Vol. 1131, Folio 19
Transfer No. 559449
Order for N/C No.



Register-book.

Vol. 1143, folio 28

NEW ZEALAND

CERTIFICATE OF TITLE UNDER LAND TRANSFER ACT

This Certificate, dated the fourteenth day of June, one thousand nine hundred and fifty-five
under the hand and seal of the District Land Registrar of the Land Registration District of AUCKLAND
SAMUEL ROBERT O'NEILL of Holmerville, farmer, Witnesseth that

is seized of an estate in fee-simple (subject to such reservations, restrictions, encumbrances, liens and interests as are notified by memorial under
written or endorsed hereon subject also to any existing right of the Crown to take and lay off roads under the provisions of any Act of the General
Assembly of New Zealand) in the land hereinafter described, as the same is delineated by the plan hereon bordered green be the several
admeasurements a little more or less, that is to say: All that parcel of land containing thirty acres three roods more or less
being portion Allotment 79 Parish of Mairorua.

III Waioneke S.D.



[Signature]
District Land Registrar
Assistant

Subject to the reservations and restrictions imposed
by Section 59 Land Act, 1940.

Mortgage 413316 Bank of New Zealand
Produced 15/10/1968 at 2.40 p.m.

Mortgage 473219 Bank of New Zealand
Produced 28/10/1968 at 2.40 p.m.

Proclamation 17462 proclaiming part as road.
Enfranchised 13.4.1960 at 2.40 p.m.

Mortgage 544224 State Advances Corporation
Produced 29/10/1968 at 2.40 p.m.

Variation of Terms of Mortgage 544224
Produced 4/10/1968 at 11.05 a.m.

THIS REPRODUCTION (ON A REDUCED SCALE)
CERTIFIED TO BE A TRUE COPY OF THE
ORIGINAL REGISTER FOR THE PURPOSES OF
SECTION 215A LAND TRANSFER ACT 1952.

Scale - 5 chs to an inch
P.L.M.S.

SEARCH COPY

13615

or Terms of Mortgage A428611
dated 12/6/1979 at 9 o'clock

23 NOV 1990

RE

Wahne A.J.
4314
166886.1 Variation of Mortgage A428611 -
3.9.1974 at 10.15 o'clock

Theresa
for A.L.R.

555456.1 Transfer of the undivided 1/2
share to Thelma Margaret Sanson of
Helensville, Married Woman
- 17.3.1978 at 2.39 o'clock

Thelma
for A.L.R.
555456.2 Mortgage charged on 1/2 share of Thelma Margaret Sanson - 17.3.1978 at 2.39 o'clock
Theresa
for A.L.R.

570105.1 Mortgage charged on Rural Banking
and Finance Corporation of New Zealand
16.11.1978 at 12.03 o'clock

570105.3 Memorandum of priority making
Mortgage 473279 a first mortgage and
Mortgage 544224 a second mortgage and
Mortgage 570105.1 a third mortgage and
Mortgage 555456.2 a fourth mortgage -
16.11.1978 at 12.03 o'clock

493315.1 Variation of terms of Mortgage A428611 -
2.5.1979 at 10.24 o'clock

493315.2 Variation of terms of Mortgage A428611 -
2.5.1979 at 10.24 o'clock

496611.1 Certificate under Section 41 of the Rural
Banking and Finance Corporation Act 1974 vesting
mortgages 473279, 544224 and A428611 in the
Rural Banking and Finance Corporation of New
Zealand - 22.6.1979 at 11.10 o'clock

818617.1 Variation of terms of Mortgage
A428611 - 15.2.1980 at 10.27 o'clock

941024.3 Mortgage to The Rural Banking and
Finance Corporation of New Zealand -
15.6.1981 at 10.24 o'clock

B.045335.1 Certificate under Sect
Rural Banking and Finance Corpora
1974 vesting mortgages 473279, 544
A.428611 in The Rural Banking and
Corporation of New Zealand - 19.3.
10.55 o'clock

B.045335.2 Variation of terms of
A428611 - 19.3.1982 at 10.55 o'clock

B.497690.1 CAVEAT BY CHARLES STEVEN
and IAN ERROL MCKENZIE and ELLERAY
HAYDON - 17.1.1986 at 11.00 o'clock

B.504898.1 CAVEAT BY CHARLES STEVEN
WILKIE and IAN ERROL MCKENZIE and E
JOHN HAYDON - 2.1.1986 at 12.00 o'clock

B.509533.1 CAVEAT BY CHARLES STEVEN
AND IAN ERROL MCKENZIE and ELLERAY
HAYDON - 24.2.1986 at 2.22 o'clock

B.551175.2 Transfer to Charles Steven
chartered accountant, Ian Errol McKe
farmer and Elleray John Haydon, comp
director all of Auckland - 27.6.1986

B.551175.3 Mortgage to ANZ Banking Gr
(New Zealand) Limited - 27.6.1986 at
12.05 o'clock

B.717762.1 Transfer of an undivided
one half share of Charles Steven
Wilkie, Ian Errol McKenzie and El
John Haydon to Hans Fitzi of Auck
farmer as tenants in common in sa
shares - 17.8.1987 at 11.36 o'clock

B.835143.1 Transfer of the undivided
share of Charles Steven Wilkie, Ian
McKenzie and Elleray John Haydon to C
Yau of Auckland medical practitioner
3.6.1988 at 11.26 o'clock

SEARCH COPY

23 NOV 1990
REGISTER

1143/28

at 9 o'clock

variation of Mortgage A428611 -
at 10.15 o'clock.

[Signature]
for A.L.R.

Transfer of the undivided 1/2
Phelma Margaret Sanson of
le, Married Woman
8 at 2.39 o'clock

[Signature]
for A.L.R.
Mortgage A428611 -
7.3 at 2.39 o'clock

variation of Mortgage A428611 -
at 10.15 o'clock

Memorandum of priority making
3279 a first mortgage and
4224 a second mortgage and
0105.1 a third mortgage and
5456.2 a fourth mortgage -
at 12.03 o'clock

variation of terms of Mortgage A428611 -
at 10.24 o'clock

variation of terms of Mortgage A428611 -
at 10.24 o'clock

Certificate under Section 41 of the Rural
Finance Corporation Act 1974 vesting
3279, 544224 and A428611 in the
and Finance Corporation of New
Zealand - 11.10.86

Variation of terms of Mortgage
15.2.1980 at 10.27 o'clock

variation of Mortgage A428611 -
at 10.24 o'clock

B.045335.1 Certificate under Section 41 of the
Rural Banking and Finance Corporations Act
1974 vesting mortgages 3279, 544224 and
A.428611 in The Rural Banking and Finance
Corporation of New Zealand - 19.3.1982 at
10.55 o'clock

B.045335.2 Variation of terms of mortgage
A428611 - 19.3.1982 at 10.55 o'clock

B.497690.1 CAVEAT BY CHARLES STEVEN WILKIE
and IAN ERROL MCKENZIE and ELLERAY JOHN
HAYDON - 17.1.1986 at 11.50 o'clock

B.504898.1 CAVEAT BY CHARLES STEVEN
WILKIE and IAN ERROL MCKENZIE and ELLERAY
JOHN HAYDON - 17.1.1986 at 12.00 o'clock

B.509533.1 CAVEAT BY CHARLES STEVEN WILKIE
AND IAN ERROL MCKENZIE AND ELLERAY JOHN
HAYDON - 24.2.1986 at 2.22 o'clock

B.551175.2 Transfer to Charles Steven Wilkie,
chartered accountant, Ian Errol McKenzie,
farmer and Elleray John Haydon, company
director all of Auckland - 27.6.1986 at 12.05 o'clock

B.551175.3 Mortgage to ANZ Banking Group
(New Zealand) Limited - 27.6.1986 at
12.05 o'clock

B.717762.1 Transfer of an undivided
one half share of Charles Steven
Wilkie, Ian Errol McKenzie and Elleray
John Haydon to Hans Fitz of Auckland
farmer as tenants in common in said
shares - 17.8.1987 at 11.36 o'clock

B.835143.1 Transfer of the undivided one-half
share of Charles Steven Wilkie, Ian Errol
McKenzie and Elleray John Haydon to Charles
Yau of Auckland medical practitioner -
3.6.1988 at 11.26 o'clock

23 NOV 1990

NORTH

WARRANT
 Reference: P.R. Vol. Folio
 Transfer No.



NEW ZEALAND

REGISTER

Register-book.

Vol. 1068, folio 61

Land and Deeds—3

Form No. 1.

CERTIFICATE OF TITLE UNDER LAND TRANSFER ACT

This Certificate, dated the twenty-sixth day of September, one thousand nine hundred and sixty under the hand and seal of the District Land Registrar of the Land Registration District of AUCKLAND being a Certificate in lieu of Grant, ~~WITNESSETH~~ under Warrant of His Excellency the Governor-General in exercise of the powers enabling him in that behalf WITNESSETH that SAMUEL ROBERT SANGOM of Helensville farmer

is seized of an estate in fee-simple (subject to such reservations, restrictions, encumbrances, liens, and interests as are notified by memorial under written or endorsed hereon; subject also to any existing right of the Crown to take and lay off roads under any Act of the General Assembly of New Zealand) in the land hereinafter described, as the same is delineated by the plan hereon bordered green, be the several admeasurements a little more or less, which said land was originally acquired by the abovenamed

thirty-first day of March, one thousand nine hundred and sixty under Section 29 of the Public Works Amendment Act 1948 that is to say: All that parcel of land containing 24.9 PERCHES more or less being Allotment 85 Parish of Mairatahi

EQUIVALENT METRIC
 AREA IS 629m²

Mairatahi Parish



W. W. A. L. R.
 District Land Registrar

Subject to the reservations imposed by Section 8 of the Coal Mines Amendment Act 1950

Mortgage 473279 to State Advances Corporation of New Zealand - produced 23/7/68 at 2.44 p.m.

Mortgage 544224 To the State Advances Corporation of New Zealand produced 29/8/68 at 5.21 p.m.

Variation of Terms of Mortgage 544224 Produced 4/10/1968 at 11.15 o'clock.

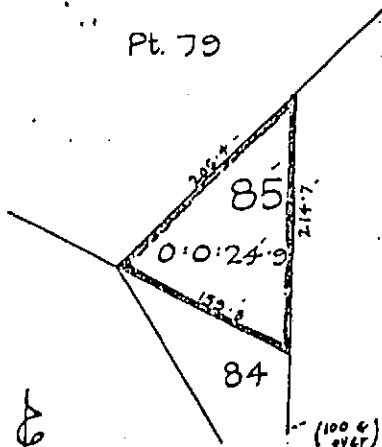
THIS PRODUCTION (ON A REDUCED SCALE) IS HEREBY CERTIFIED TO BE A TRUE COPY OF THE ORIGINAL REGISTER FOR THE PURPOSES OF THE LAND TRANSFER ACT 1952.

W. W. A. L. R.

Mortgage 442866 Varying Mortgage 544224 To the State Advances Corporation of New Zealand produced 11/1/68 at 2.50 p.m.

846877.2

13615



Scale 1" = 100 ft
 3.0 4.1317
 Chasing to an inch

SEARCH COPY

walton

A.L.
11.314

166886.1 Variation of Mortgage A428611 -
3.9.1974 at 10.15 o'clock.

[Signature]
for A.L.R.

of the undivided 1 share
555456.1 Transfer to Thelma Margaret
Sanson of Helensville, Married Woman
- 17.3.1978 at 2.39 o'clock

[Signature]
for A.L.R.
555456.2 Mortgage to Samuel Robert
Sanson - 17.3.1978 at 2.39 o'clock

[Signature]
for A.L.R.

570105.1 Mortgage to Rural Banking
and Finance Corporation of New Zealand -
16.11.1978 at 12.03 o'clock
B.161877.4

[Signature]
A.L.R.

570105.3 Memorandum of priority making
Mortgage 473279 a first mortgage and
Mortgage 544224 a second mortgage and
Mortgage 570105.1 a third mortgage and
Mortgage 555456.2 a fourth mortgage -
16.11.1978 at 12.03 o'clock

[Signature]
A.L.R.

493315.1 Variation of terms of Mortgage A428611.
2.5.1979 at 10.24 o'clock

[Signature]
A.L.R.

493315.2 Variation of terms of Mortgage A428611.
2.5.1979 at 10.24 o'clock

[Signature]
A.L.R.

496611.1 - Certificate under Section 41 of the
Rural Banking and Finance Corporation Act 1974
vesting mortgages 473279, 544224 and A428611
in the Rural Banking and Finance Corporation of
New Zealand. 22.6.1979 at 11.10 o'clock

[Signature]
A.L.R.

818617.1 Variation of terms of Mortgage
A428611 - 15.2.1980 at 10.27 o'clock

[Signature]
A.L.R.

941024.3 Mortgage to Rural Banking and
Finance Corporation of New Zealand -
15.6.1981 at 10.15 o'clock

B.161877.5-V

A.L.R.

B.045335.1 Certificate under Section 41
Rural Banking and Finance Corporation
vesting mortgages 473279, 544224 and
in the Rural Banking and Finance Corp
New Zealand - 19.3.1982 at 10.55 o'clock

B.045335.2 Variation of terms of mortgage
A428611 - 19.3.1982 at 10.55 o'clock

A.

B.497690.1 CAVEAT BY CHARLES STEVEN WILKIE
and IAN ERROL MCKENZIE and ELLERAY JOHN
HAYDON - 17.1.1986 at 12.05 o'clock

[Signature]
A.L.R.

B.504898.1 CAVEAT BY CHARLES STEVEN
WILKIE and IAN ERROL MCKENZIE and ELLERAY
JOHN HAYDON - 17.1.1986 at 12.00 o'clock

A.L.

B.509533.1 CAVEAT BY CHARLES STEVEN WILKIE
AND IAN ERROL MCKENZIE AND ELLERAY JOHN
HAYDON - 23.2.1986 at 2.22 o'clock

[Signature]
A.L.R.

B.551175.2 Transfer to Charles Steven Wilkie
chartered accountant, Ian Errol McKenzie
farmer and Elleray John Haydon, company
director all of Auckland - 27.6.1986 at

[Signature]
A.L.

B.551175.3 Mortgage to ANZ Banking Group
(New Zealand) Limited - 27.6.1986 at
12.05 o'clock

[Signature]
A.L.

B.717762.1 Transfer of an undivided
one half share of Charles Steven
Wilkie, Ian Errol McKenzie and Elleray
John Haydon to Hans Fitzl of Auckland
farmer as tenants in common in said
shares - 17.8.1987 at 11.36 o'clock

[Signature]
A.L.R.

B.835143.1 Transfer of the undivided
share of Charles Steven Wilkie, Ian Errol
McKenzie and Elleray John Haydon to
Yau of Auckland medical practitioner
3.6.1988 at 11.26 o'clock

Transfer No.
N/C. Order No. B.318360.2

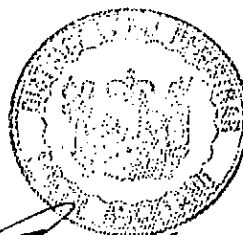


REGISTER

CERTIFICATE OF TITLE UNDER LAND TRANSFER ACT

This Certificate dated the 10th day of AUGUST one thousand nine hundred and eighty four under the seal of the District Land Registrar of the Land Registration District of NORTH AUCKLAND
WITNESSETH that JOCK McLEOD & SONS LIMITED at Helensville

is seized of an estate in fee-simple (subject to such reservations, restrictions, encumbrances, liens, and interests as are notified by memorial underwritten or endorsed hereon) in the land hereinafter described, delineated with bold black lines on the plan heron, be the several admeasurements a little more or less, that is to say: ~~All that parcel of land containing~~ All those parcels of land containing together 40.0314 hectares more or less being Lots 1 and 3 Deposited Plan 102458 and being Allotment 84, part Allotment 3 and part of the North Eastern portion of Allotment 10 Parish of Mairatahi



Assistant Land Registrar

Interests at Date of Issue:

Subject to Section 308(4) and (5) Local Government Act 1974

B.359130.4 Transfer to Appenzell Deer Farms Limited at Auckland - 6.12.1984 at 12.05 o'clock

Subject to the reservations imposed by Section 8 of the Coal Mines Amendment Act 1950 (affects land formerly in CT 2C/89)

B.359130.5 Mortgage to Morgan-Coakle Securities Limited - 6.12.1984 at 12.05 o'clock

A5755 Mortgage to Jock McLeod - 5.5.1964 at 11.00 o'clock varied on 8.8.1967

B.359130.6 Mortgage to Morgan-Coakle Securities Limited - 6.12.1984 at 12.05 o'clock

A236942 Mortgage of part to (now) The Rural Banking and Finance Corporation of New Zealand - 11.45 o'clock and varied on 13.8.1979 at 12.00 o'clock - 29.11.1979 at 11.05 o'clock (906443.1) - 29.11.1979 at 11.05 o'clock (906443.2)

B.359130.7 Mortgage to The Rural Banking and Finance Corporation of New Zealand - 6.12.1984 at 12.05 o'clock

B.359130.8 Mortgage to ANZ Banking Group (New Zealand) Limited - 6.12.1984 at 12.05 o'clock

A239045 Memorandum of Priority making Mortgage A236942 a first mortgage and Mortgage A5755 a second mortgage - 8.8.1967 at 11.00 o'clock

B.878555.4 Mortgage to The Rural Banking and Finance Corporation of New Zealand - 22.8.1988 at 11.26 o'clock

705060.1 Mortgage to Australia and New Zealand Banking Group Limited - 3.6.1977 at 11.00 o'clock

A.L.R.

A.L.R.

Measurements are Metric

over

SEARCH COPY

22 MAR 1991

B.885944.4 Mortgage to The Rural Banking
and Finance Corporation of New Zealand -
8.9.1988 at 10.55 o'clock

B. Williams

A.L.R

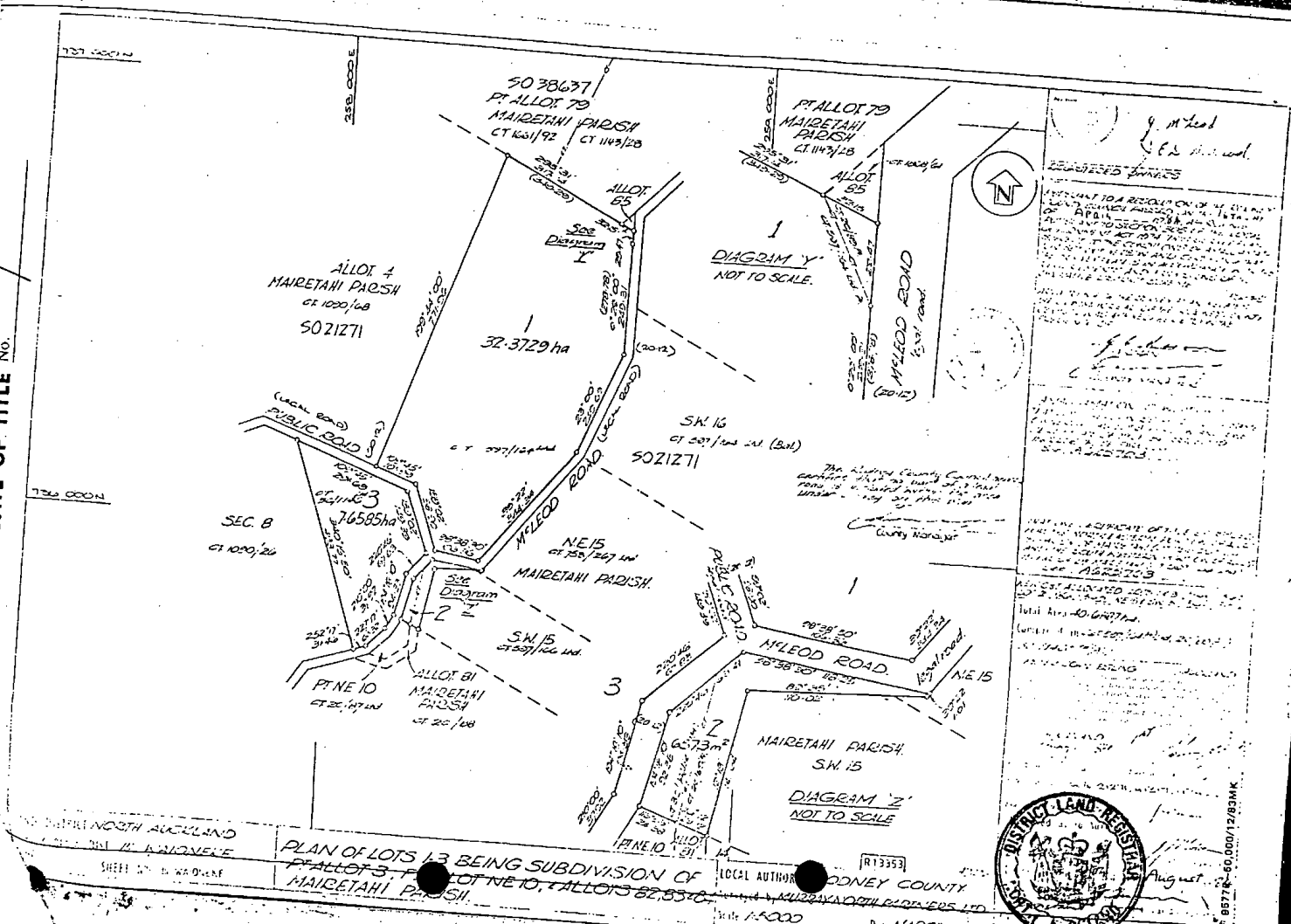
B.885944.5 Memorandum of Priority making
Mortgage B.885994.4 a first mortgage and
Mortgage B.359130.8 a second mortgage -
8.9.1988 at 10.55 o'clock

B. Williams

A.L.R

SEARCH COPY

CERTIFICATE OF TITLE No.



22 MAR 1991

[Land and Deeds—3]

Certificate No. K. 48192
 Reference: P.R. Vol. 205 folio 365
 Transfer No.

NEW



ZEALAND

Register-book.

Schedule L

Vol. 1090, folio 26

CERTIFICATE OF TITLE UNDER LAND TRANSFER ACT

This Certificate, dated the twenty-ninth day of October, one thousand nine hundred and fifty-three under the hand and seal of the District Land Registrar of the Land Registration District of AUCKLAND being a Certificate in lieu of Grant, Witnesseth that JOCK McLEOD of Helena Villa, farmer.

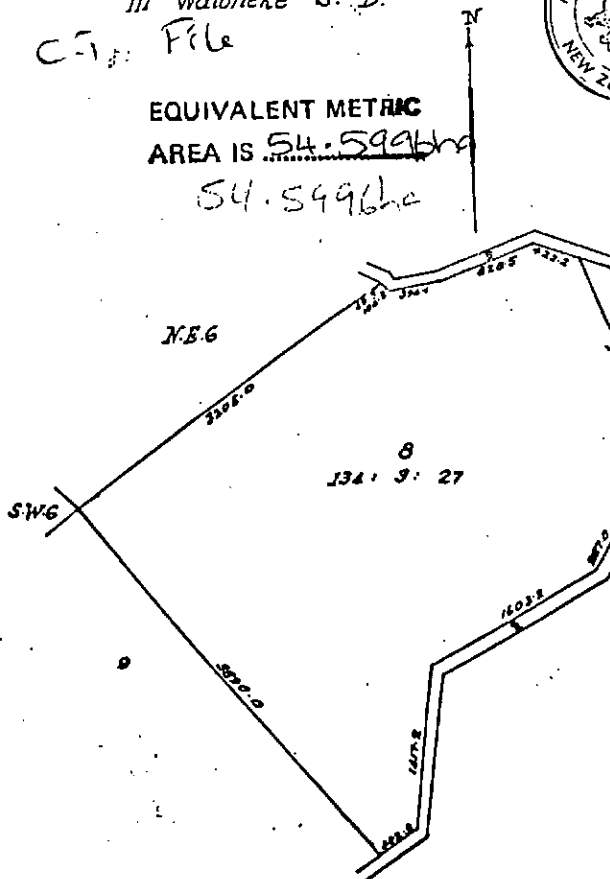
is seized of an estate in fee-simple (subject to such reservations, restrictions, encumbrances, liens, and interests as are notified by memorial under written or endorsed hereon; subject also to any existing right of the Crown to take and lay off roads under any Act of the General Assembly of New Zealand) in the land hereinafter described, as the same is delineated by the plan hereon bordered green, to the several admeasurements a little more or less, which said land was originally acquired by the abovenamed

as from the
fifth day of August, one thousand nine hundred and fifty-three under Sections 52 and 53 of the Land Act, 1948 that is to say: All that parcel of land containing one hundred and thirty-four acres three roods and twenty-seven perches more or less being Section 8 Block III Waioneke Survey District

III Waioneke S. D.

C-7: File

EQUIVALENT METRIC

AREA IS 54.5996ha54.5996ha

[Signature]
 Assistant District Land Registrar.

Subject to the reservations and conditions imposed by Section 59 of the Land Act, 1948

A 5754 Transfer to Jock McLeod & Sons Limited produced 9/5/1964 at 12.14.26

A 5755 Mortgage to Jock McLeod & Sons Limited produced 9/5/1964 at 12.14.26

A 5756 Mortgage to Jock McLeod & Sons Limited produced 9/5/1964 at 12.14.26

A 5757 Mortgage to Jock McLeod & Sons Limited produced 9/5/1964 at 12.14.26

A 5758 Mortgage to Jock McLeod & Sons Limited produced 9/5/1964 at 12.14.26

A 5759 Mortgage to Jock McLeod & Sons Limited produced 9/5/1964 at 12.14.26

A 5760 Mortgage to Jock McLeod & Sons Limited produced 9/5/1964 at 12.14.26

A 5761 Mortgage to Jock McLeod & Sons Limited produced 9/5/1964 at 12.14.26

A 5762 Mortgage to Jock McLeod & Sons Limited produced 9/5/1964 at 12.14.26

A 5763 Mortgage to Jock McLeod & Sons Limited produced 9/5/1964 at 12.14.26

A 5764 Mortgage to Jock McLeod & Sons Limited produced 9/5/1964 at 12.14.26

A 5765 Mortgage to Jock McLeod & Sons Limited produced 9/5/1964 at 12.14.26

A 5766 Mortgage to Jock McLeod & Sons Limited produced 9/5/1964 at 12.14.26

A 5767 Mortgage to Jock McLeod & Sons Limited produced 9/5/1964 at 12.14.26

A 5768 Mortgage to Jock McLeod & Sons Limited produced 9/5/1964 at 12.14.26

THIS REPRODUCTION (ON A REDUCED SCALE) CERTIFIED TO BE A TRUE COPY OF THE ORIGINAL REGISTER FOR THE PURPOSES OF SECTION 215A LAND TRANSFER ACT 1952.

[Signature]
 District Land Registrar.

SEARCH COPY

Mortgage A236942

1979 at 1.45 clock.

A.L.R.

B.885944.4 Mortgage to The Rural Banking
and Finance Corporation of New Zealand -
8.9.1988 at 10.55 o'clock

A.L.R.

B.885944.5 Memorandum of Priority making
Mortgage B.885944.4 a first mortgage and
Mortgage B.359130.8 a second mortgage -
8.9.1988 at 10.55 o'clock

A.L.R.

60.1 Mortgage to Australia and New
Zealand Banking Corporation Limited - 3.6.1977
at 9.52 o'clock

18359130.3

for A.L.R.

691078.1 Certificate under Section 41 Rural
Banking and Finance Corporation Act 1974 vesting
Mortgage A236942 in the Rural Banking and
Finance Corporation of New Zealand - 13.8.1979
at 12.00 o'clock

A.L.R.

691078.2 Variation of terms of Mortgage
A236942 - 13.8.1979 at 12.00 o'clock

A.L.R.

906443.1 Variation of the terms of Mortgage
A236942 - 29.11.1979 at 11.05 o'clock

A.L.R.

906443.2 Variation of the terms of Mortgage
A236942 - 29.11.1979 at 11.05 o'clock

A.L.R.

B.359130.4 Transfer to Appenzell Deer
Farms Limited at Auckland - 6.12.1984 at
12.05 o'clock

A.L.R.

B.359130.5 Mortgage to Morgan-Coakle
Securities Limited - 6.12.1984 at
12.05 o'clock

A.L.R.

B.359130.6 Mortgage to Morgan-Coakle
Securities Limited - 6.12.1984 at
12.05 o'clock

A.L.R.

B.359130.7 Mortgage to The Rural Banking
and Finance Corporation of New Zealand
- 6.12.1984 at 12.05 o'clock

A.L.R.

B.359130.8 Mortgage to ANZ Banking Group
(New Zealand) Limited - 6.12.1984 at
12.05 o'clock

A.L.R.

B.878555.4 Mortgage to The Rural Banking
and Finance Corporation of New Zealand
- 22.8.1988 at 11.26 o'clock

A.L.R.

B.878555.5 Memorandum of Priority making
Mortgage B.878555.4 a first mortgage and
Mortgage B.359130.8 a second mortgage -
22.8.1988 at 11.26 o'clock

A.L.R.

SEARCH COPY

22 MAR 1991

2C/87

ASSOCIATES
BOX 6413,
AUCKLAND 271552
any queries 376-416

REGISTER

OF TITLE UNDER LAND TRANSFER ACT
DATED AS TO PARCELS

Copy Requested

2C/87

of October one thousand nine hundred and sixty-three
of the Land Registration District of NORTH AUCKLAND

WITNESSETH that ROGER WILLIAM SANSON of Helensville, farmer

is seized of an estate in fee-simple (subject to such reservations, restrictions, encumbrances, liens, and interests as are notified by memorial underwritten or endorsed hereon) in the land hereinafter described, delineated with bold black lines on the plan hereon, be the several admeasurements a little more or less, that is to say: All that parcel of land containing 3 RODS 35.2

PERCHES more or less being part of the north eastern portion of Allotment 10
Parish of Mairerahi.



Assistant Land Registrar

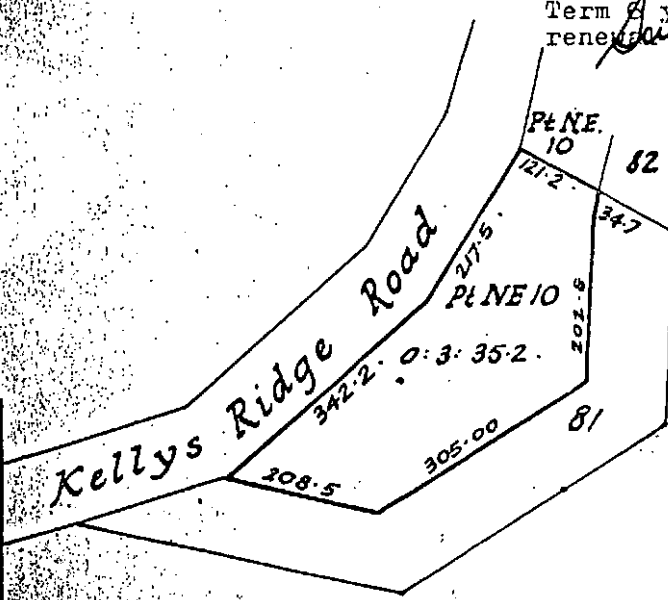
METRIC AREA IS 3926 m²
3426 m²
Conversion Factors:
1 Acre = 4046 m²
1 Perch = 25.29 m²
1 Link = .2012 metres

A 486179 Transfer to P.A. ...
limited at Auckland 6.8.1970
at 11.10 o'clock
J. G. ...

A.611249 Change of name of the registered
proprietor to South Head Forests Limited -
23.12.1971 at 11.10 o'clock
A.L.R. 27957

177 Waioneke S.D.

201211 Lease to Patricia Austin Carmine
Term 3 years commencing 23.12.1971 (Fencing,
renewal clause) 120.3.1972 at 11.59 o'clock
J.C. Schiller
A.L.R.



230183.2 Transfer to Swiss Homes
Limited at Auckland - 26.4.1973 at
10.53 o'clock
For A.L.R.

230183.3 Mortgage of Northland
Sawmills Limited - 26.4.1973 at
10.53 o'clock
For A.L.R.

230183.4 Mortgage of South Head Forests
Limited - 26.4.1973 at 10.53 o'clock
For A.L.R. 302995

over 7957

Scale: 1 inch = 2 chains
W. Trail
G. Conan

Register copy for L. & D. 69, 71; 72

SEARCH COPY

2G/87

06.1 Variation of Mortgage 230183.3
 9.7.1976 at 11.45 o/c

DISCHARGED

[Signature]
 for A.L.R.

522880.2 Mortgage to Turner Hopkins
 Holdings Limited 13.10.1976 at 11.45
 o/c

DISCHARGED

[Signature]
 for A.L.R.

570498.2 Mortgage to Belli McKadam
 Nominees Limited 24.10.1978 at 10.00 o/c

DISCHARGED

A.L.R.

587089.1 Mortgage to The Rural Banking
 and Finance Corporation of New Zealand -
 4.9.1979 at 1.32 o/c

[Signature]
 A.L.R.

991576.1 Mortgage to The Rural Banking and Finance
 Corporation of New Zealand - 28.10.1981 at 2.30 o/c

[Signature]
 A.L.R.

0 B.051482.2 Mortgage to Morgan-Coskile Securities
 Limited at Auckland - 6.4.1982 at 10.41 o/c

DISCHARGED

A.L.R.

B.051482.3 Memorandum of Priority making mortgage
 B.051482.2 a first mortgage and mortgage 587089.1
 a second mortgage and mortgage 991576.1 a third
 mortgage - 6.4.1982 at 10.41 o/c

[Signature]
 A.L.R.

B.05148.4 Variation of terms of mortgage 991576.1
 - 6.4.1982 at 10.41 o/c

[Signature]
 A.L.R.

B.051482.5 Transfer to Appenzell Deer Farms Limited
 at Auckland - 6.4.1982 at 10.41 o/c

[Signature]
 A.L.R.

B.185458.2 Variation of terms of mortgage
 B.05 1482.2 - 16.6.1983 at 2.50 o/c

[Signature]
 A.L.R.

B.878555.4 Mortgage to The Rural Banking
 and Finance Corporation of New Zealand
 - 22.8.1988 at 11.26 o/c

A.L.R.

B.885944.4 Mortgage to The Rural Banking
 and Finance Corporation of New Zealand -
 8.9.1988 at 10.55 o/c

[Signature]

A.L.R.

22 MAR 1991

No. 2C/88



REGISTER

1551 OF TITLE UNDER LAND TRANSFER ACT

Copy Requested

2C/88

October one thousand nine hundred and sixty-three of the Land Registration District of NORTH AUCKLAND

WITNESSETH that ROGER WILLIAM SANSON of Helensville, farmer

is seized of an estate in fee-simple (subject to such reservations, restrictions, encumbrances, liens, and interests as are notified by memorial underwritten or endorsed hereon) in the land hereinafter described, delineated with bold black lines on the plan hereon, be the several admeasurements a little more or less, that is to say: All that parcel of land containing 3 ROODS 25.9

PERCHES more or less being Allotment 81 Parish of Mairatahi.



METRIC AREA IS 3691m²

Conversion Factors:
1 Acre = 4046m²
1 Perch = 25.29m²
1 Link = .2012 metres

Assistant Land Registrar.

Subject to the reservations imposed by Section 8 of the Coal Mines Amendment Act 1950.

A.L.R.

A486179. Transfer to P.A. Barnie Limited at Auckland - 6.8.1970

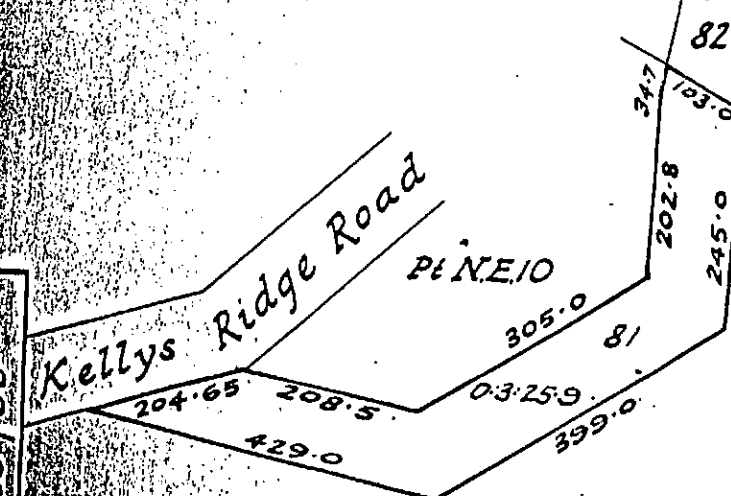
111 Waioneke S.D.

A.611249 Change of name of the registered proprietor to South Head Forests Limited - 23.12.1971 at 11.10 o'clock

201271 Lease to Patrick Austin Carmine, term 10 years commencing 22.12.1971 fencing, renewal clauses 20.3.1973 at 11.59% A.L.R.

230183.2 Transfer to Swiss Homes Limited at Auckland - 26.4.1973 at 10.53 o'clock

230183.3 Moulden Sawmills Limited at Auckland - 13.10.1976 A.L.R. over...



Scale: 1 inch = 2 chains

Deceased RCH

South Head Forests

at 10.53 o'clock

A.L.R.

for A.L.R.

349106.1 Variation Mortgage 230183.3
29.7.1976 at 11.53 o'clock

for A.L.R.

522880.2 Mortgage to Turner Hopkins
Holdings Limited - 13.10.1976 at 11.45
o'clock

for A.L.R.

570498.2 Mortgage to Martelli McKadam
Nominees Limited - 24.11.1978 at 10.00 o'clock

A.L.R.

587089.1 Mortgage to The Rural Banking
and Finance Corporation of New Zealand -
4.9.1979 at 1.32 o'clock

A.L.R.

991576.1 Mortgage to The Rural Banking and Finance
Corporation of New Zealand - 28.10.1981 at 2.30 o'clock

A.L.R.

B.051482.2 Mortgage to Morgan-Cookle Securities
Limited at Auckland - 6.4.1982 at 10.41 o'clock

A.L.R.

B.051482.3 Memorandum of Priority making mortgage

B.051482.2 a first mortgage and mortgage 587089.1
a second mortgage and mortgage 991576.1 a third
mortgage - 6.4.1982 at 10.41 o'clock

A.L.R.

B.051482.4 Variation of terms of mortgage 991576.1
- 6.4.1982 at 10.41 o'clock

A.L.R.

B.051482.5 Transfer to Appenzell Deer Farms Limited
at Auckland - 6.4.1982 at 10.41 o'clock

A.L.R.

B.185458.2 Variation of terms of mortgage

B.051482.2 - 16.6.1983 at 2.50 o'clock

A.L.R.

B.878555.4 Mortgage to The Rural Banking
and Finance Corporation of New Zealand
22.8.1988 at 11.26 o'clock

A.L.R.

B.885944.4 Mortgage to The Rural Banking
and Finance Corporation of New Zealand -
8.9.1988 at 10.55 o'clock

A.L.R.

SEARCH COPY

1-6 MAY 1991
REGISTERLand and Death
FORM No. 2**REGISTER**

NEW ZEALAND

Register-book,

Vol.

1526

folio

28

CERTIFICATE OF TITLE UNDER LAND TRANSFER ACT

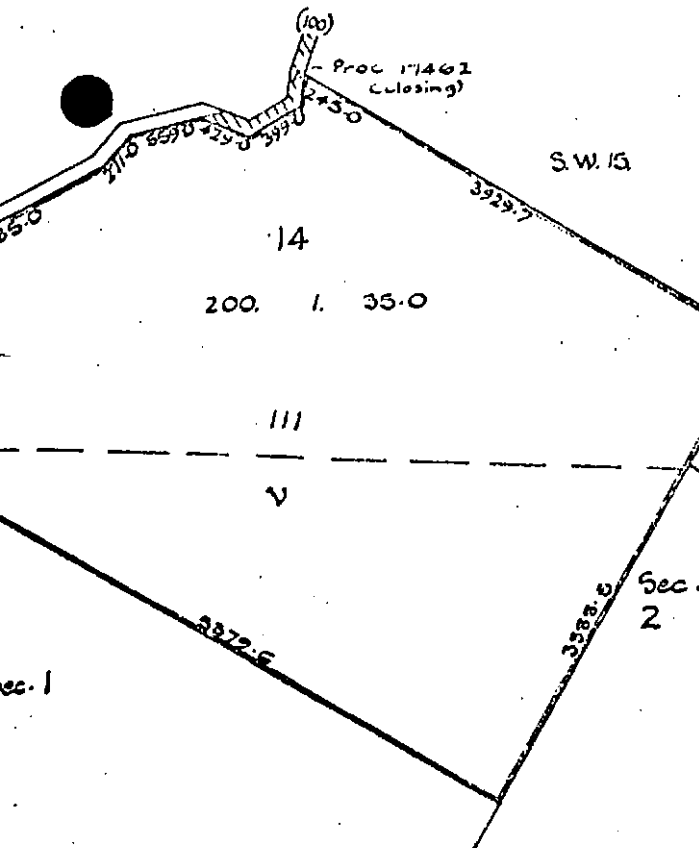
This Certificate, dated the eighteenth day of December, one thousand nine hundred and fifty-seven
under the hand and seal of the District Land Registrar of the Land Registration District of AUCKLAND WITNESSETH that
LOGAN MATTHEW SANSON of Helensville farmer

is seized of an estate in fee-simple (subject to such reservations, restrictions, encumbrances, liens, and interests as are notified by memorial under
written or endorsed hereon, subject also to any existing right of the Crown to take and lay off roads under the provisions of any Act of the General
Assembly of New Zealand) in the land hereinafter described, as the same is delineated by the plan hereon bordered green, be the several
admeasured contents, a little more or less, that is to say: All that parcel of land containing 200 ACRES 1 ROOD 35 PERCHES more or less
being Allotment 14 Parish of Hairetahi.

EQUIVALENT METRIC

AREA IS 81.1268 ha
81.1268 ha

Whionake S. D.

District Land Registrar.
Assistant

Subject to the reservations and conditions imposed
by Section 50 of the Land Act 1948.

Mortgage 455878 to George of New Zealand. Produced 28-1-1959 at 11.57.0.

Transfer 624588 to Robert William
Sanson of Helensville farmer -
Produced 28-1-1959 at 2.11.0.

Mortgage 473280 to George of New Zealand. Produced 28-1-1959 at 3.00.0.
N.E. 22 Corporation District Registrar -
Produced 28-1-1959 at 3.00.0.
M. 22 A. W. F. R.

Variation of Terms of Mortgage
473280 Produced 17-6-1965 at 3.00.0.
Symon A.R.

THIS REPRODUCTION (ON A REDUCED SCALE)
CERTIFIED TO BE A TRUE COPY OF THE
ORIGINAL REGISTER FOR THE PURPOSES OF
SECTION 215A LAND TRANSFER ACT 1952.

George A.L.R.

A 486179 Transfer to P.A.
Barmine Limited at
Auckland 6.8.70 at
10.40.0

1526/28

A.L.R.
27957

B.878555.4 Mortgage to The Rural
and Finance Corporation of New Zealand
22.8.1988 at 11.26 o/c

B.885944.4 Mortgage to The Rural B
and Finance Corporation of New Zealand
8.9.1988 at 10.55 o/c

lease to Patrick Austin Carmine
22.12.1971
renewal clauses
22.8.1972 at 11.59 o/c
A.L.R.

230183.2 Transfer to Swiss Homes Limited at
Auckland - 26.4.1973 at 10.53 o/c

230183.3 Mortgage to New Zealand Sawmills Limited
26.4.1973 at 10.53 o/c

230183.4 Mortgage to South Head Forests
Limited - 26.4.1973 at 10.53 o/c

349106.1 Variation of mortgage 230183.3
-29.7.1976 at 11.40 o/c

522880.1 Mortgage to Turner Hopkins
Holdings Limited - 13.10.1976 at 11.45
o/c

570498.2 Mortgage to Martelli McKadam
Nominees Limited - 24.11.1978 at 10.00 o/c

587089.1 Mortgage to The Rural Banking
and Finance Corporation of New Zealand -
4.9.1979 at 1.32 o/c

991576.1 Mortgage to The Rural Banking and Finance
Corporation of New Zealand - 28.10.1981 at 2.30 o/c

B.051482.2 Mortgage to Morgan-Coakle Securities
Limited - 6.4.1982 at 10.41 o/c

B.051482.3 Memorandum of Priority making mortgage
B.051482.2 a first mortgage and mortgage 587089.1
a second mortgage and mortgage 991576.1 a third
mortgage 6.4.1982 at 10.41 o/c

B.051482.4 Variation of terms of mortgage 991576.1
-6.4.1982 at 10.41 o/c

TRANSFER MISSING
FROM COPY
SEE LATER COPY OF CR

...185458.2 Variation of terms of mortgage
B.051482.2 - 16.6.1983 at 2.50 o'c

G. Maypin
A.L.R.

Stip Carmine
12.1971

C. Schuller
A.L.R.

Limited at

for A.L.R.

awmills Limited

for A.L.R.

Forests
c.

for A.L.R.

tgage 230183.3

for A.L.R.

er Hopkins
1976 at 11.45

elli McKadam
1978 at 10.00 o'c

A.L.R.

Rural Banking
of New Zealand -

A.L.R.

al Banking and Finance
28.10.1981 at 2.30 o'c

W. L. L. L.
A.L.R.

an-Coakle Securities
o'c

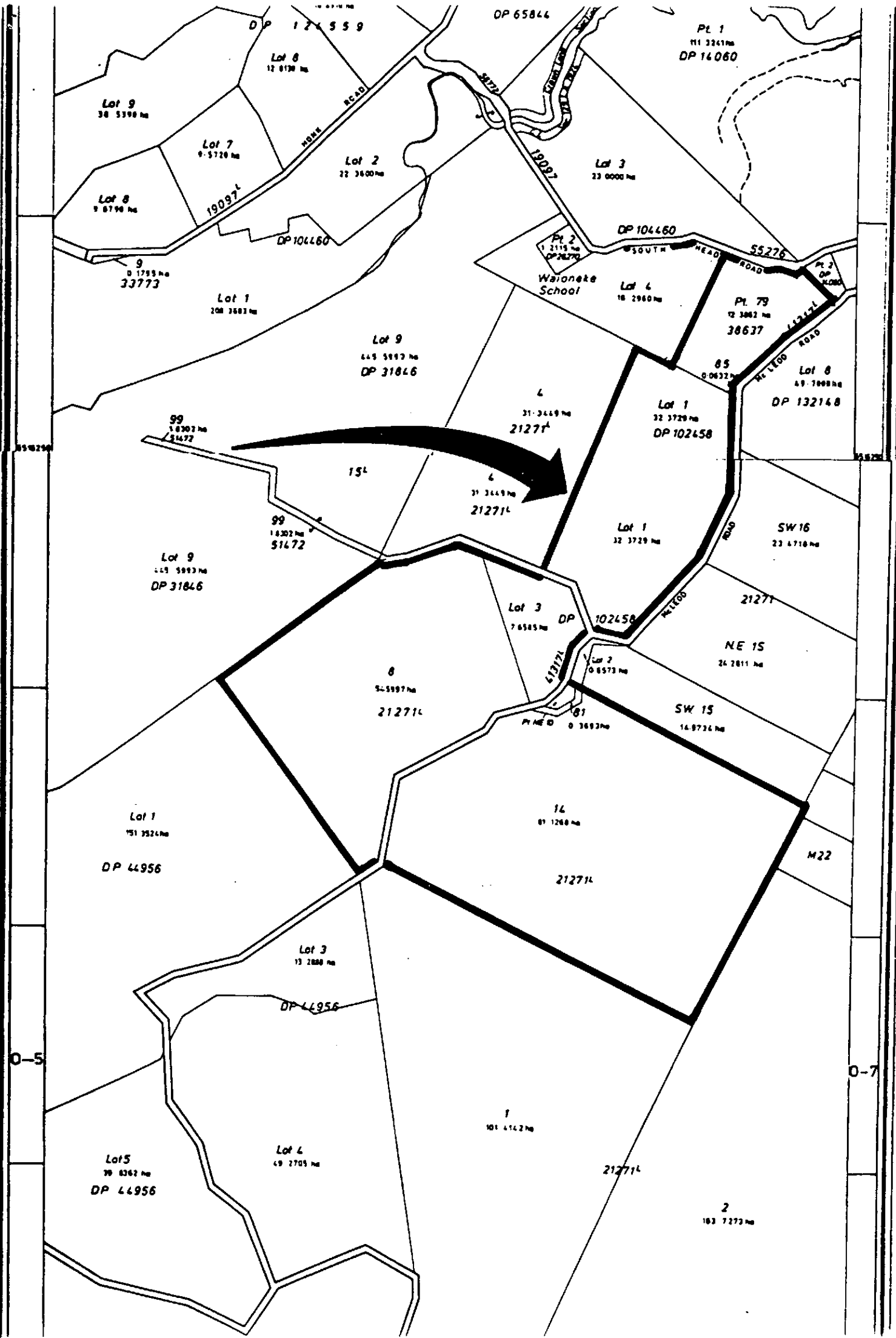
A.L.R.

iority making mortgage
and mortgage 97089.1
991576.1 a third

SCHEME PLAN

SCANNED

SEPARATELY



DP 121559

DP 65844

PL 1
111 2241ms
DP 14060

Lot 9
38 5398 ms

Lot 8
12 8120 ms

Lot 7
9 5720 ms

Lot 2
22 3600ms

Lot 3
23 0000 ms

Lot 8
9 8790 ms

DP 104460

9
0 1799 ms
33773

Lot 1
208 3683 ms

Lot 9
445 5993 ms
DP 31846

PL 2
1 2115 ms
DP 26270

Waionaka School

DP 104460

SOUTH HEAD ROAD

Lot 4
18 2960 ms

PL 79
12 3062 ms
38637

Lot 8
49 1008 ms
DP 132148

Lot 1
32 3729 ms
DP 102458

4
31 3649 ms
212714

4
31 3649 ms
212714

99
1 8302 ms
51672

15L

99
1 8302 ms
51672

Lot 9
445 5993 ms
DP 31846

Lot 1
32 3729 ms

SW 16
23 4718 ms

Lot 3
7 6585 ms

DP 102458

Lot 2
0 6573 ms

NE 15
26 2811 ms

8
5-5997 ms
212714

SW 15
16 9734 ms

Lot 1
151 3524 ms

DP 44956

14
81 1268 ms

212714

Lot 3
13 2888 ms

DP 44956

Lot 5
39 8362 ms
DP 44956

Lot 4
49 2705 ms

1
101 4142 ms

212714

2
183 7273 ms

0-5

0-7

MEMO TO: NOXIOUS PLANTS OFFICER DISTRICT: ORWA
 RETURN TO: TECHNICAL CLERK DEVELOPMENT DATE: 30-5-91

SCHEME PLAN NO: R15504 NAME: APPENZELL DEER FARM LTD
 DISTRICT SCHEME MAP: N40-6 ADDRESS: MCLEOD ROAD WAIONEKE

Please let me have your report by 19-5-91

IAN

TECHNICAL CLERK DEVELOPMENT

PROPERTY CLEAN: _____

NO REQUIREMENTS: _____

TARGET PLANTS: Gorse and Ragwort

REQUIREMENTS: To clear all gorse.

To clear all ragwort from the grassed areas

WIDESPREAD PLANTS: woolly night shade

REQUIREMENTS: To clear all scattered plants.

COMMENTS: _____

CHARGE-OUT RECORD			
DATE	OFFICER	TIME	DETAIL
11-6-91	DI TRAFFORD		Travel \$20
Receiving Code 70/120/1/5/1/168			

Bob Thompson - Northern Ridings
 Des Trafford - Kumeu, Kaukapakapa,
 HBC/Wainui

SIGNED: DI Trafford

MEMO TO: PRINCIPAL DEVELOPMENT ENGINEERDATE: 30-5-91RETURN TO: DEVELOPMENT TECHNICIAN

SCHEME PLAN NO:

R15564

NAME:

APPENZEL DEER FARM LTD

DISTRICT SCHEME MAP:

N40/6

LOCATION:

MCLEOD ROAD

Please let me have your report for the Planning Committee by:

19-6-91

COMMITTEE SECRETARY

MORE INFORMATION REQUIRED		See Items
1. <u>SUITABILITY FOR SUBDIVISION</u>	<u>No</u>	
Does an unformed legal road require construction to Council standards?	g12a g52	To full urban standards To rural sealed/metal standards (see attached)
Are all lots unrestricted with respect to the following: Instability? Flooding? Inundation? Erosion? Foundation Soil Strength? Access? Effluent Disposal? Other?	<u>✓</u> <u>✓</u> <u>✓</u> <u>✓</u> <u>✓</u> <u>✓</u> <u>✓</u>	
Is further information required on any of above prior to recommendation to Council?	g79	(Report to Hazard Register)
Will memoranda of encumbrance be required on specific lots?	g75 g77	(Building sites) (Effluent)
Are special conditions required in S.P. approval?		
2. <u>PLANS AND FEES</u>		
Are engineering plans required for approval prior to construction	g39 g40	(Right of Way)

Are inspection fees required?	g41	
3. <u>EARTHWORKS</u> Is a condition requiring earthworks for building sites or access necessary?	g49	
Are earthworks proposed requiring a condition for design and certification?	g42	
If the area is under 1 ha, or rural, are silt control measures required?	g50	
If the area is over 1 ha and urban, is sediment control approval required from A.R.C.?	g43	
4. <u>RURAL WATER SUPPLY</u> Is the subdivision in a restricted catchment for groundwater or surface water?	N	
Is an ARC statement required on the adequacy of water supply for irrigation	g45 Y	ARC + any consultant rept to them.
Is adequate area available for dam storage if required in restricted catchments?	Y	
5. <u>STORMWATER</u> Is the subdivision in an urban Drainage Area?		U.D.A.Catchment
Is a reticulated S/W system required to serve each lot?	g46 g47	(Council to connect) (Developer to connect)
Are new service connections required to the existing S/W system?	g48	

Will S/W system include open channels, and if so what special conditions should apply?		
Will any Water Rights for S/W discharge be required?	g44	
Is a contribution required towards upgrading the existing S/W system	g60	\$..... including G.S.T.
6. <u>WATER SUPPLY</u> Is the subdivision in a Water Supply Area?		W.S.A.reticulated area
Is a reticulated W/S system required to serve each lot?	g46	
Are new service connections required to the existing W/S system?	g48	
Is a contribution required towards upgrading the existing W/S system	g60	\$..... including G.S.T.
Is a contribution required towards provision of a water supply system?	g57	\$..... including G.S.T.
7. <u>SANITARY SEWERAGE</u> Is the subdivision in an Urban Drainage Area?		U.D.A.reticulated area
Is a reticulated S/S system required to serve all lots?	g46 g47	(Council connect) (Developer connect)
Are new service connections required to existing S/S system?	g48	
Are special conditions required?		

Is a contribution required towards upgrading the existing S/S system	g60	\$..... Including G.S.T.
8. <u>PROPOSED ROADS, SERVICE LANES, PUBLIC ACCESSWAYS</u> Is construction to Council standards practical with regard to: Widths? Gradients? Alignment? Roading Pattern? Intersection with existing? Drainage? Other?		
Is construction required as conditions of S.P. approval?	g51	Urban standards Rural Sealed Standard Rural metalled standard
Is fencing of the road/accessway boundary necessary?	g54	
Are any special conditions required?		
9. <u>EXISTING ROADS</u> Does the proposal involve a Limited Access Road?	No g72	
Does the boundary fence need relocation onto the boundary?	g56 Y	On frontage of lot 1.
Is a contribution required for upgrading an existing road? <i>Bdy Relocation</i> Extg surface metal seal Extg c/w width... <i>4.1</i>...m Extg F/P, K/G on frontage Dist. to upgrade	No g61 g62 g63 g64 g65	\$..... including G.S.T. Urban sealed std, incl. F/p, K/c Rural sealed/metal std (Traffic counts) (Lots) (Half cost)

10 <u>PROPOSED RIGHTS OF WAY, ACCESS LOTS</u> Is construction to Council standards practical with regard to: Widths? Gradients? Alignment? Intersection with road? Drainage? Other?		
Is construction required as conditons of S.P. approval?	g51 g53	Urban/Rural Sealed/Rural Metalled standards
Are any special conditions required?		
11. <u>STREET LIGHTS</u> Will provision need to be made for streetlights?	g66	
12. <u>ELECTRICITY AND TELEPHONES</u> Are conditions required for the construction of power or telephone services?	g67 g69	Underground/overhead power Underground telephone
Is confirmation required that the existing services are adequate, or that arrangements for their upgrading have been made?	g68 g70	(Existing power) (Existing telephone)

13. GENERAL COMMENTS

SIGNED: Assistant Development Engineer:

M. Healey

Date: 6/5/91

Principal Development Engineer:

[Signature]

Date: 12/6/91

Area Engineer:

Date: _____

CHARGE-OUT RECORD

15564

<u>DATE</u>	<u>OFFICER</u>	<u>TIME</u>	<u>DETAIL</u>
4/5-6/5	M Healey	2.9	site + office
	U	\$14	photos
		\$20	travel
	Ghb	02	

MEMO TO: MANAGER - PLANNING

DISTRICT: ORWA

RETURN TO: TECHNICAL CLERK DEVELOPMENT

DATE: 30-5-91

SCHEME PLAN NO: R15564

NAME: APPENZELL DEER FARMS LTD

DISTRICT SCHEME MAP: N40-6 ADDRESS: MCLEOD ROAD

Please let me have your report by 19-6-91

AN.

TECHNICAL CLERK DEVELOPMENT

ZONING: Rural 1

LOTS: 3

COMMENTS: Lot 1 - 0.8100 ha

Created by boundary relocation of two smaller lots CT 2C/88 [0.391 ha] & 2C/87 [0.3926 ha] under ordinance 14.2. Complies as existing sites able to accommodate dwellings & lot 1 is less than 999m².

No increase in number of sites, improves practical use of farm & neither existing site is complying.

Lot 2 Horticultural site - complies with 8.7.1.2 - Class III soil & meets minimum 6 ha useable requirement & 8 ha useable area. Requires land suitability report prior to final approval.

Lot 3 Land not suitable horticulture. 8.7.5 Complies with minimum site area & number of sites permitted.

CHARGE-OUT RECORD

DATE	OFFICER	TIME	DETAIL
13/6/91	Cloyd Barton	15 mins	Cloyd Barton

PF/PLS345.95A

SIGNED: [Signature]

Conclusion

Recommended approval subject to detailed report verifying soil quality of lots 2 & 3.

MEMO TO:

TICK

~~Manager - Planning~~
~~Manager - Health and Building~~
~~Area Engineer - North~~
~~Area Engineer - East~~
~~Area Engineer - West~~
Development Engineer *A*

RETURN TO:

Technical Clerk/Development - G Thomas

TICK

Letter No: *4319*Date: *14. 6. 91*Letter from: *Boleam*

PLEASE LET ME HAVE YOUR COMMENTS WITHIN 8 DAYS

*R15564**Appenzell Farms Ltd**M'Leod Road,**Water Availability,**OK to proceed**17/6/91*

PLEASE ADVISE ME IF THIS LETTER IS UNABLE TO BE ANSWERED WITHIN 8 DAYS SO AN INTERIM REPLY CAN BE SENT.

MEMO TO: PRINCIPAL DEVELOPMENT SURVEYOR

RETURN TO: DEVELOPMENT TECHNICIAN

DATE: 30-5-91

SCHEME PLAN NO: R15564

DISTRICT SCHEME MAP: M & O - 6.

WARD: HELENSVILLE

ZONE: Rural 1.

NAME: APPENZELL DEER FARM LTD

ADDRESS: MCLEOD ROAD

COMMUNITY BOARD:

HW/KW

LETTER TO D.L.R.

LETTER FOR MORE INFO.

REQUIRED	SENT
YES	6/6

PT NE PT ANOT 10 } show as
 ANOT B1 } LOT 4.
 ANOT 14 }

1. Existing Access

- (a) What is the state of the existing roads and footpaths leading to the subdivision?
- (b) Should improvements to the road be required?

Rural IMPROVED - GOOD ROAD

~~improve~~ ok2. Land

- (i) Has soil type been verified for suitability?
- (ii) Has contour been verified for proposed use?
- (iii) Aspect Generally North
- (iv) Shelter
- (v) Present Cover Pasture - scrub & pine in steep angles
- (vi) Does bush need protection?
- (vii) Fertility Clears Grass
- (viii) Is drainage necessary?
- (ix) Present use DEER FARM
- (x) Is a similar use to that proposed now in neighbourhood? ✓

No more Report yet -

ANOT 14 is JAWY TO SOUTH OF ROAD

(x1) Existing Buildings

As on sp.

(x11) Is the land in the subdivision subject to:-

Erosion

Subsidence or Slippage

Inundation by water - salt or fresh?

3. Water

(a) Does design relate to good water management and Stormwater control?

(b) Is surface water available for irrigation? No - BOREWATER?

(c) Has letter been received from Auckland Regional Council for water availability? Not RECEIVED YET?

(d) Width of Streams?

(e) Any tidal waterways?

4. Are General Requirements met for

(1) Design

(a) Are shapes appropriate to their use and good management? ✓

(b) Does design relate to topographical features? ✓

(c) Is fencing practicable?

Lot 2. split by large
creek - AREAS AT NORTH & SOUTH END
OF LOT SUITABLE FOR ROADS &
POSSIBLE VARIETY OF CREEK

5. Proposed Roads, etc

(a) Is the roading pattern for this and any future subdivisions of adjoining land acceptable?

(b) Is the grade, alignment and width of the proposed roads suitable to serve all the proposed new lots?

(c) Are the proposed service lanes or pedestrian accessways suitable as shown?

(d) Are rights-of-way, access lots and access strips of adequate width and acceptable grade?

(e) Do new roads need forming and to what standard?

(f) do rights-of-way, access lots, service lanes on accessways need forming and to what standard?

(g) Is the new road name required? ☒

(h) Is it necessary to construct any road crossings to serve new lots?

NEW KILL TO LOT 3 DP102458
MAY BE DIFFICULT - BANK AT
SIDE OF ROAD.

6. Building Sites

(a) Is there a suitable stable site on each proposed lot for buildings to which stable access can be provided?

(b) Is the land suitable for proposed use? ☒

(c) Are any earthworks necessary so that all lots have satisfactory building sites and access?

B/S & SERVICES POSSIBLE ON
PT NE 10 & A LOT 81
PT 79
OK LOT 3 DP102458
LOT 1
LOT 2
BETTER USED AS DEER FARM!

ACCESS FROM ROAD F TO
LOT 3 DP102458

7. (a) Existing Services

Is the land serviced for:-

~~(i)~~ Stormwater

~~(ii)~~ Sewerage

~~(iii)~~ Water

(iv) Electricity - location *du*

(v) Telephone - location *u/e.*

(b) Proposed Services

Should a condition be imposed for reticulation or connections for?

~~(i)~~ Stormwater

~~(ii)~~ Sewerage

~~(iii)~~ Water

~~(iv)~~ Electricity - Overhead and Underground

~~(v)~~ Telephone - Overhead and Underground

Alternatively -

Is stormwater disposal adequate?

Is land suitable for septic tank? ☒

(c) Power and Telephone

Does supply need to be confirmed only? ☒

PROVIDE EVIDENCE OF IRRIGATION
FIELD/SEPTIC TANK IS WITHIN
BDY OF LOT 3.

8. Fencing

Is fencing required on:-

- (a) Roadside
- (b) Reserve boundaries
- (c) Bush perimeter

9. Reserves

Is land required for any of the following reserves

- (a) Recreation
- (b) Scenic
- (c) Nature
- (d) Local Purpose
 - (i) Esplanade
 - (ii) Road
 - (iii) Service Lane
 - (iv) Access Way
 - (v) Utility
- (e) Alternatively is land to vest in Council in lieu of cash-paid?
- (f) If reserves in money, what value should be used?
- (g) For Esplanade Reserve -
 - (i) Is a 20 metre width adequate for access and amenity protection?
 - (ii) Can a reduced width or dispensation be recommended to the Minister of Conservation? Reasons.

DECREASE in the number
of titles?
No Reserves?

10. Planning

- (a) Is proposed use Predominant?
Controlled?
Conditional?
and under what Ordinance?
- (b) Do frontages comply? ✓
- (c) Do areas comply? ✓

- (d) Does shape factor comply? ✓
- (e) Are yard and height requirements met? ✓
- (f) Is dispensation or waiver needed?
- (g) Are parking requirements met?
- (h) Should any existing buildings be removed or modified?
- (i) General Planning comments.

11. Legal Requirements

- (a) Do existing building line restrictions need reimposing, relocating or cancelling?
- (b) (i) Should encumbrance be placed on title re building sites or earthworks?
(ii) Should a report be entered in hazards register?
- (c) Are existing rights of way redundant?
- (d) Are any amalgamations necessary (including access lots)?

Date referred to DL/R

6/6/98 SH

- (e) Are easements of any sort necessary?
- (f) Should easements be conditional or proposed?
- (g) Does Council need to resolve that access is adequate where a lot has no legal frontage?
- (h) Is bush covenant required?
- (i) Is ministerial consent necessary (State Highway Railway, or Designation)
- (j) Are Water rights probably required? YES. - BORE WATER
- (k) What lots should vest in the Council?
- (l) Are bonds or encumbrances for use required?
- (m) Is roading certificate required for Limited title IF PT 10. IS SURVEYED.
- (n) Is a copy of C.T. required?

① Lot 3 DP102458 & SEC 8
BLK 3.
WAIONEKE SD

② Pt 10, Auct 81 & Auct 14
TO BE SHOWN AS LOT 4

12. General Comments

Recommended: Planning Application/More Information/Approval/Refusal

PRINCIPAL DEVELOPMENT SURVEYOR

20-6-91

Date of Inspection

1 AM . 1-0 FIELD

① POSSIBLE PA SITE ON. R NE 10 & ALOT 81.

NOTES on SP.

NOTE: ADVISE TO CONTACT DOC REGARDING
OBLIGATION WITH RESPECT TO HISTORIC PLACES
TRUST.

15564







15564



1-6 MAY 1991

REGISTER

Land and Ocean FORM No. 2

NORTH ISLAND REGISTER



NEW ZEALAND

Register-book,
Vol. 1526

folio 28

Copy Requested

1526/28

CERTIFICATE OF TITLE UNDER LAND TRANSFER ACT

This Certificate, dated the eighteenth day of December, one thousand nine hundred and fifty-seven under the hand and seal of the District Land Registrar of the Land Registration District of AUCKLAND WITNESSETH that LOOMI MATTHEW SANSON of Helensville farmer

is seized of an estate in fee-simple (subject to such reservations, restrictions, encumbrances, liens, and interests as are notified by memorial under written or endorsed hereon, subject also to any existing right of the Crown to take and lay off roads under the provisions of any Act of the General Assembly of New Zealand) in the land hereinafter described, as the same is delineated by the plan hereon bordered green, be the several admeasurements, a little more or less, that is to say: All that parcel of land containing 200 ACRES 1 ROD 35 PERCHES more or less being Allotment 14 Parish of Harehahi.

EQUIVALENT METRIC

AREA IS 81.1268 ha
21.1268 ha

Whionake S. D.



M. E. 22
District Land Registrar.

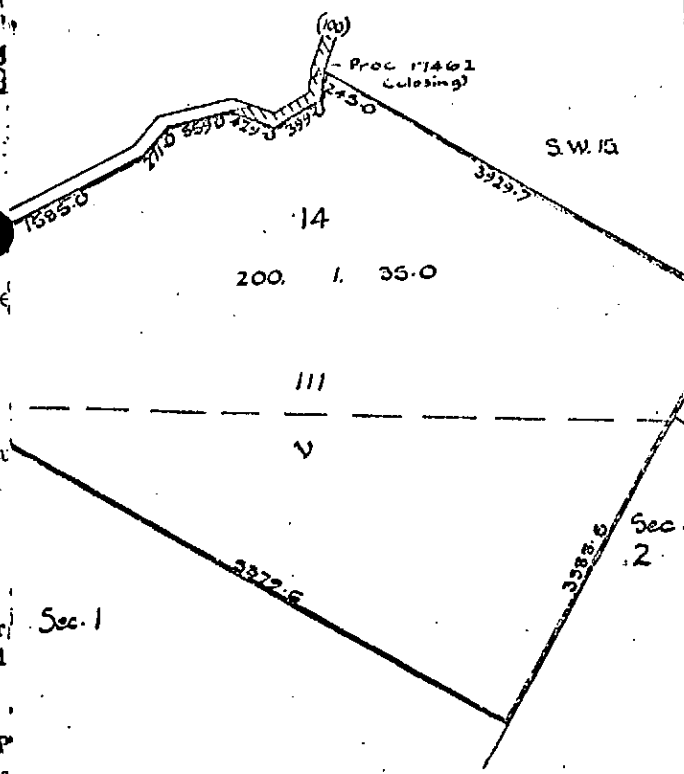
Subject to the reservations and conditions imposed by Section 59 of the Land Act 1948.

Mortgage 455878 to George A. Wilson of New Zealand Produced 28-7-1959 at 11.50 a.m.
Transfer 624588 to Roger William Sanson of Helensville farmer -- Produced 28-7-1959 at 2.41 p.m.

Mortgage 473280 to George A. Wilson of New Zealand Produced 28-7-1959 at 3.00 p.m.
Variation of Terms of Mortgage 473280 Produced 17-6-1965 at 3.00 p.m.

THIS REPRODUCTION (ON A REDUCED SCALE) CERTIFIED TO BE A TRUE COPY OF THE ORIGINAL REGISTER FOR THE PURPOSES OF SECTION 215A LAND TRANSFER ACT 1952.
W. H. Wilson A.L.R.

A486179 Transfer to P.A. Carmine Limited of Auckland 6.8.70 at 10.400 c
W. H. Wilson A.L.R.
7707



Scale: 10 chains to an inch

OVER

1526/28

me of the registered
Head Forests Limited
1.10 o/c
A.L.R.
27957

B.185458.2 Variation of terms of mortgage
B.051482.2 - 16.6.1983 at 2.50 o/c

G. Morgan
A.L.R.

Patrick Austin Carmine
is continuing 22.12.1971
1972 at 1.59 o/c
J.C. Schuller
A.L.R.

B.878555.4 Mortgage to The Rural Banking
and Finance Corporation of New Zealand
22.8.1988 at 11.26 o/c

A.L.R.

B.885944.4 Mortgage to The Rural Banking
and Finance Corporation of New Zealand -
8.9.1988 at 10.55 o/c

G. Sullivan
A.L.R.

0183.2 Transfer to Swiss Homes Limited at
uckland - 26.4.1973 at 10.53 o/c.

30183.3 Mortgage to Northland Sawmills Limited
26.4.1973 at 10.53 o/c

DISCHARGED
13 OCT 1976

for A.L.R.

0183.4 Mortgage to South Head Forests
Limited - 26.4.1973 at 10.53 o/c.

DISCHARGED
17 OCT 1976

for A.L.R.

49106.1 Variation of mortgage 230183.3
29.7.1976 at 11.00 o/c

DISCHARGED
13 OCT 1976

for A.L.R.

22880.2 Mortgage to Turner Hopkins
Holdings Limited - 13.10.1976 at 11.45
o/c

DISCHARGED
20 OCT 1978

for A.L.R.

70498.2 Mortgage to Martelli McKadam
mines Limited - 21.11.1978 at 10.00 o/c

DISCHARGED
6 MAY 1982

A.L.R.

7089.1 Mortgage to The Rural Banking
and Finance Corporation of New Zealand -
9.1979 at 1.32 o/c

A.L.R.

91576.1 Mortgage to The Rural Banking and Finance
Corporation of New Zealand - 28.10.1981 at 2.30 o/c

A.L.R.

051482.2 Mortgage to Morgan-Coakle Securities
Limited - 6.4.1982 at 10.41 o/c

DISCHARGED
8 MAY 1982

A.L.R.

051482.3 Memorandum of Priority making mortgage
051482.2 a first mortgage and mortgage 7089.1
second mortgage and mortgage 991576.1 a third
mortgage 6.4.1982 at 10.41 o/c

A.L.R.

B.051482.4 Variation of terms of mortgage 991576.1
6.4.1982 at 10.41 o/c

A.L.R.

051482.5 Transfer to Appenzell Deer Farms Limited



Rodney

DISTRICT COUNCIL

Correspondence to:
The General Manager
Rodney District Council
Private Bag, Orewa, New Zealand
Telephone (09) 426-5169
Facsimile (09) 426-7280
DX 3311
Head Office: Centreway Road, Orewa

Reference Number

R15564

If calling please ask for

Mr Spencer
TB

4 June 1991

Messrs Bolam and Associates Limited
Registered Surveyors
P O Box 157
OREWA

Your Ref: 2724

Dear Sirs

SCHEME PLAN: R15564 - YOUR CLIENT: APPENZELL DEER FARMS LTD

I acknowledge the above plan, 4 copies of which have been received.

Please quote the scheme plan number in all future correspondence.

Yours faithfully

for: GENERAL MANAGER

B D Sharplin



Rodney

DISTRICT COUNCIL

Correspondence to:
The General Manager
Rodney District Council
Private Bag, Orewa, New Zealand
Telephone (09) 426-5169
Facsimile (09) 426-7280
DX 3311
Head Office: Centreway Road, Orewa

Reference Number **R15564** If calling please ask for **Mr Spencer**
TG

7 June 1991

District Land Registrar
Land Registry Office
Private Bag
AUCKLAND

Dear Sir

COMPULSORY AMALGAMATION - SCHEME PLAN: R15564
OWNER: APPENZELL DEER FARM LIMITED

The enclosed scheme plan shows a proposed subdivision of the land held in Certificates of Title 1143/28 and 56C/362. Pursuant to Section 279(2)(b) of the Local Government Act 1974, the following condition is proposed:-

" (a) THAT ONE CERTIFICATE OF TITLE BE ISSUED FOR LOT 3, DP 102458 (RESIDUE C.T. 56C/362), AND SECTION 8, BLOCK III, WAIONEKE SURVEY DISTRICT (C.T. 1090/26). SEE FILE A . "

Would you kindly advise the practicability of the proposed condition.

Yours faithfully

for: GENERAL MANAGER

B D Sharplin

Encl:

BOLAM & ASSOCIATES LTD

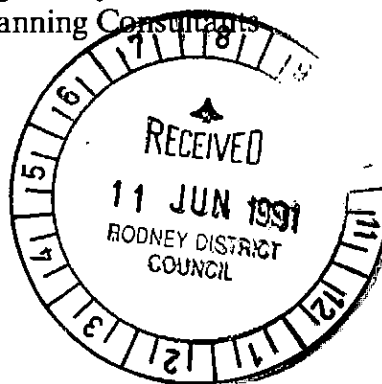
Registered Land and Engineering Surveyors
Land Development and Town Planning Consultants

4319
7 Tamariki Ave.,
P.O. Box 157,
Orewa.
Ph: (09) 426 7339.
Fax: (09) 426 7331.

10 June 1991

File: 2724

The General Manager
Rodney District Council
Private Bag
OREWA



Attention: Mr G Thomas

ACTION	<i>MDES</i>
COPY	<i>DE 14/6/91</i>

Dear Sir

re: R15564 - APPENZELL DEER FARMS LIMITED

Further to our letter of 24 May, we enclose a report prepared by Mr G Scholefield, of Hollis & Scholefield, on the agricultural requirements in respect of our above clients subdivision together with a copy of a letter from the Auckland Regional Council on water availability.

It is our understanding that all of Councils requirements have now been satisfied and the plan could go forward for approval under Section 279 of the Local Government Act.

Yours faithfully
BOLAM & ASSOCIATES LIMITED

J R BOLAM



Hollis & Scholefield

Registered Valuers
Property Management & Financial Consultants

54 Queen Street
Warkworth
PO Box 166
Phone: (09) 425-8810 Bus
(09) 425-8396 Res
Fax: (09) 425-7727

GWHS:MLT

6 June 1991

RECEIVED
10 JUN 1991
Ans'd.....

Bolam & Associates Ltd
Registered Surveyors
P O Box 157
OREWA

Attn: Mr J Bolam

Dear Sirs

RE: APPENZELL DEER FARMS LTD - YOUR REFERENCE 2724

Acting on your instructions, we have carried out a detailed inspection of portion of the property owned by the above named and located at McLeod Road, South Kaipara Head, in order to report on a proposed Scheme Plan of Subdivision under your above reference.

The land is a total area 52.5384 hectares being Lots 1 and 3 DP 102458 and part Allot 79 Parish of Mairetahi comprised in Certificates of Title 56C/362 and 1143/28 (North Auckland Registry).

ZONING

Rural 1 - Rodney District Scheme.

The present use of the property as a Deer / pastoral lot complies with the ordinances.

BASIS FOR SUBDIVISION

Lot 1 - Boundary adjustment.

Lot 2 - Ordinance 8.7.1. - Site suitable for horticulture.

Lot 3 - Ordinance 8.7.5. - Land not suitable for horticulture.

Partners

Ray G. Hollis DipVFM FNZSFM (Reg Farm Consultant) ANZIV. 15 Station Rd, Wellsford, Ph (08463) 8847. Fax (08463) 8846
Guy W.H. Scholefield DipVFM FNZIV

We are required to report in detail on the physical characteristics of Lots 2 and 3.

LOT 2

Area - 30.3 hectares

Usable area - 8.5 hectares.

Access

Wide frontage to McLeod Road (metalled), approximately 1 km southwest of the main South Head Road. There is no difficulty in gaining vehicle access at any point, and there is a suitable building site which can be serviced.

Soils

The soils of the usable area are described as Houhora sands and Redhill sandy loams, soils of the coastal sand dune complex generally well consolidated and exceedingly free draining. The soil profile within the usable area is reasonably consistent at 250 to 400 mm medium sandy loam topsoil on compacted sandy clay sub soil.

The soils are highly suitable for pastoral farming of all kinds and in the region, generally range Class III to V, depending on contour and aspect.

The usable land as shown hatched on the plan is contained within one contiguous area along the northern and eastern sides of the property, and here the land is generally less than 8 degrees slope, with variable aspect, and assessed as Class III soils.

The contour is somewhat broken, but nevertheless could be regarded as suitable.

Shelter

The land has variable contour, but will need to be extensively shelter planted. There is a certain amount of natural shelter over part, but because the usable land is contiguous, live shelter belts can be established to provide appropriately shaped blocks with the correct aspect.

Drainage

These soils are particularly free draining, and there should be no further need to carry out an extensive drainage system other than over small areas which may need some improvement.

Water Supply

For a required minimum area of 8 hectares, irrigation water to the extent of 200 cubic metres per day will be required for normal summer use. It is proposed that this water be supplied by a bore, and in fact the Auckland Regional Water Board have indicated that this quantity can be obtained from one or more bores drilled on the property. A copy of the water availability letter is enclosed.

LOT 3

Area - 2 hectares.

Access

Good road frontage, and access to an existing house site which is fully serviced.

The Land

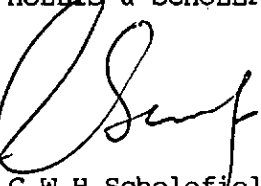
The land is mostly broken contour and unsuitable for horticulture.

GENERAL COMMENTS

Lots 2 and 3 comply with the respective ordinances for subdivision as horticulture and non-horticulture lots. In the case of Lot 2, the usable area is only some 30% of the total land area, but this is not significant. The balance of the land is suitable for pastoral farming uses and is in fact fenced for deer farming.

Therefore, the subdivision as it applies to Lots 2 and 3 can be approved. Please contact the writer if anything requires further clarification.

Yours faithfully
HOLLIS & SCHOLEFIELD



G W H Scholefield
FARM MANAGEMENT CONSULTANT



Regional House
21 Pitt Street
Private Bag, Auckland
New Zealand

Telephone
0-9-794 420
Facsimile
0-9-366-2149

GE2PGxqc

Our ref: 14/4/3/14/1

Hollis & Scholefield
PO Box 165
WARKWORTH

ATTENTION: GWH SCHOLEFIELD

28 May, 1991

Dear Sir

RE: WATER AVAILABILITY - APPENZEL DEER FARMS LTD, MCLEOD ROAD, SOUTH HEAD

The intent of the following letter is to give some indication of water availability, based on currently available information, for the purposes of seeking subdivisional approval.

This letter is not a water right. It outlines the present estimated water resources capability. It does not relate to longer term water availability, which may change from time to time due to a number of influences.

It is our understanding that it is proposed to subdivide Lots 1 and 3 DP 102458 and Pt 79 Parish of Mairatahi, into three lots, two of which will be for residential purposes and one for horticultural use.

You have indicated that this subdivision has the required minimum of 8 hectares suitable for horticulture and that a water requirement of 200 m³/day would result if this was developed.

Based on information obtained from existing bores in the area, it appears that this quantity could be obtained from one or more bores drilled on the property.

This letter serves only as an indication of water availability at the present time. It is not a guarantee that, on application, a water right will be granted (the granting of water rights is subject to a statutory procedure of application, objection and appeal), nor is it a guarantee, should a water right be granted at any time, that any quantity of water specified in the grant will be available.

If you have any further queries, please do not hesitate to contact the undersigned.

Yours faithfully

K E Connolly
Manager
AUCKLAND REGIONAL WATER BOARD

Per: *A R Goddard*

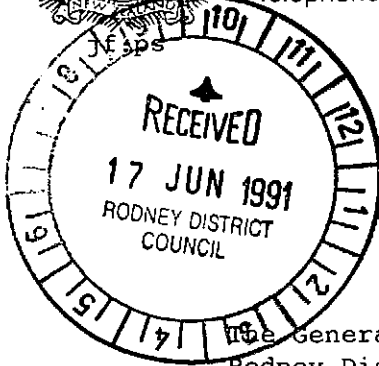
A R Goddard
WATER RESOURCES OFFICER



DEPARTMENT OF JUSTICE

Land Registry Office
Private Bag
Auckland
Telephone 771-499

Price Waterhouse Building
41 Federal Street
Auckland 1



The General Manager
Rodney District Council
Private Bag
OREWA

ACTION	MDES
COPY	

In Reply, please quote

A628812

13 June 1991

Dear Sir

COMPULSORY AMALGAMATION - APPENZELL DEAR FARM LIMITED

I refer to your letter of 7 June 1991 (your ref: R15564).

I advise it would be practicable to issue amalgamated titles in terms of the conditions given under Section 279(2) (b) of the Local Government Act 1974.

Yours faithfully

(J. F. P.)
for District Land Registrar

Head Office
Centreway Road, Orewa
Private Bag, Orewa
New Zealand
Telephone (0942) 65-169
Facsimile (0942) 67-280
DX 3311

Instructions to Central Filing:

File _____
RTS ☒
Destroy ☐
Post ☐

Fax Message

Fax To DEPARTMENT OF CONSERVATION AUCKLAND
Fax No 09 772 919
For LEIGH JOHNSON
From IAN SPENCER
Date 25-6-91
No. Pages (including this page) 4

DURING RECENT SITE INVESTIGATIONS OF A SUBDIVISION ON MCLEOD ROAD SOUTH KAIKARA HEAD, A POSSIBLE MAORI "PA" SITE WAS IDENTIFIED. A COPY OF THE SCHEME PLAN IS ATTACHED AND THE SITE MARKED.

I HAVE DISCOVERED A COPY OF THE "HISTORIC PLACES INVENTORY" IN OUR PLANNING DEPARTMENT. THE ABOVE SITE WOULD APPEAR TO MATCH SITE ACCESSION N° 402 SHOWN ON MAP Q10/B MAP REF. Q10 264 156

YOUR URGENT ATTENTION TO THE INVESTIGATION OF THIS SITE IS REQUESTED AND YOUR COMMENTS REGARDING POSSIBLE PROTECTION OF THE SITE BY WAY OF ENCUMBRANCE.

THANKS

I. Spencer

REF: APPENZELL DEER FARMS LTD.
R15564

Leigh Johnson Rere 8-7-91 2-45pm. Doc will not leave encumbrance on SP approval but would like note for owner to contact doc regarding obligations under Historic Places Act. (Doc would like to investigate site more extensively with no restriction on power) 18

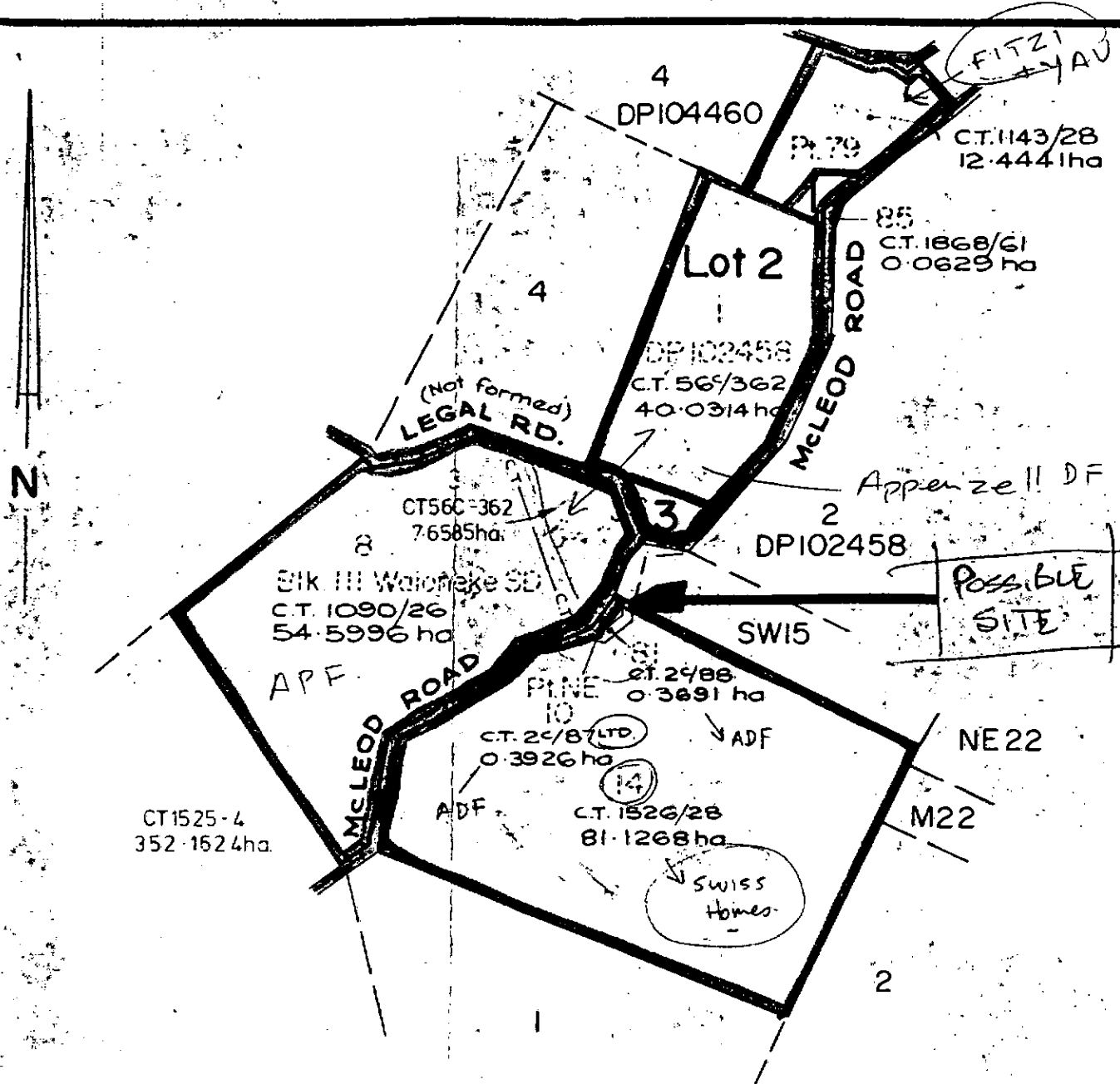


DIAGRAM SHOWING BALANCE AREA

Scale 1:16,000

LOTS 1 to 3 BEING A PROPOSED
SUBDIVISION OF LOTS 1 & 3
DP 102458 & Pt.79 Parish of Mairatahi

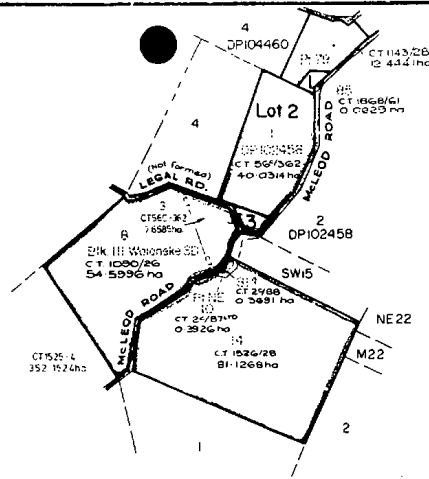
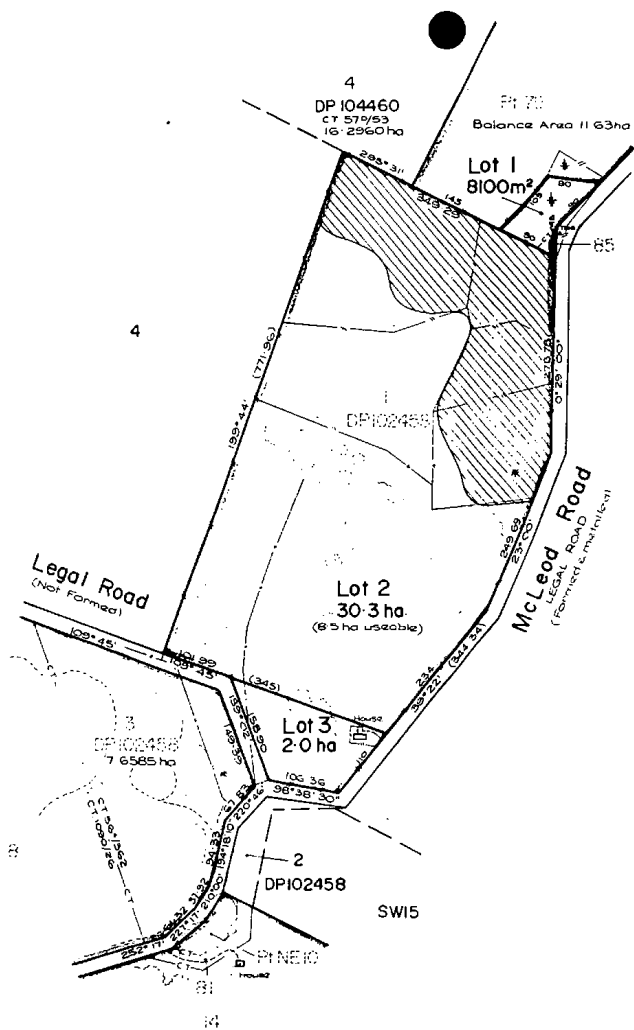


DIAGRAM SHOWING
BALANCE AREA

පිටි 1 16.000

LOTS 1 to 3 BEING A PROPOSED
SUBDIVISION OF LOTS 1 & 3

DP 102458 & Pt.79 Parish of Mairatahi

Bik. III WAIONEKE S.D.
NORTH AUCKLAND L.D.
COMPRISED IN CT. 56°/362 & 1143/28
RODNEY DISTRICT COUNCIL
TOTAL AREA 52.5384 ha

LEGEND:



Land suitable for horticulture
within horticulture block

R 1 5 5 6 4

Approved by the Rodney District Council under Section 279 of the Local Government Amendment Act 1978 at a meeting held on the day of 1991 subject to the conditions contained in resolution no.

General Manager

I, John Russell Bolam, Registered Surveyor, hereby certify that this scheme plan has been prepared by me in accordance with the provisions of the Local Government Act 1974 and the Code of Subdivision of the Rodney District Council made under Section 313 of that Act.

AREAS AND MEASUREMENTS SUBJECT TO SURVEY

WARD: Helensville

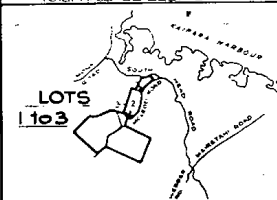
ZONING: Rural One

BASIS OF SUBDIVISION:

Lot 2	- Horticulture	30
Lot 1	- Boundary Adjustment	0
Lot 3	- Non Horticulture	2
	TOTAL	<u>33</u>

PROPOSED AMALGAMATION CONDITIONS

- 1 - Allot 14 Parish of Mainelohi, (CT 1526), be held as one with Pt NE Allot 10, Parish of Mainelohi (CT 2587) & Allot B1 Parish of Mainelohi (CT 2488) Total Area B1 8885 ha.
- 2 - Lot 3 DP102458 (Pt CT 565/362) be held as one with Section B Block III Waioneke Survey District (CT 1080/26) Total Area 622581 ha.



LOCALITY PLAN

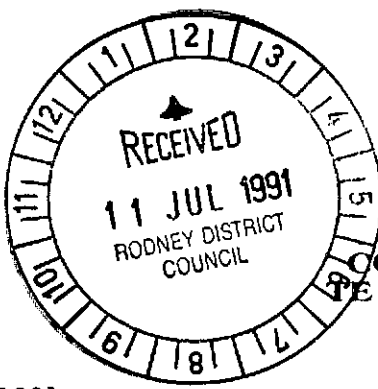
R.D.C. Maps ~ NG & OG

BOLAM & ASSOCIATES LTD.

A member of the D. H. Booth Consultant Group

APPENZEL DEER
FARMS LTD.

SOUTH KAIPARA HEADS



DEPARTMENT OF CONSERVATION
TE PAPA ATAWHAI

10 July 1991

Mr Ian Spencer
C/ Rodney District Council
Private Bag
OREWA

ACTION	MDES
COPY	

Dear Sir,

APPENZELL DEER FARMS LIMITED R15564

Following our conversation 3 July 1991, a file search and archaeological assessment was made of the proposed subdivision at McLeod Road Waioneke. As a result we are now aware that a number of archaeological sites occur within the area affected. These sites are all protected under the New Zealand Historic Places Act 1980. Consequently they may not be disturbed, damaged or modified in any way without the permission of the Director of the New Zealand Historic Places Trust, Wellington.

In order for the proposed subdivision to proceed without affecting archaeological sites on the property I would suggest that Hans Fitzl or his consultants contact the manager of the Historic Investigations Team, Auckland Department of Conservation to discuss their obligations under the Act.

If you require any further information on the matter please do not hesitate to contact us.

Yours faithfully

L. Johnson
Archaeologist
for REGIONAL CONSERVATOR

1213:PROTECT

DEPARTMENT OF CONSERVATION
AUCKLAND CONSERVANCY OFFICE
PRIVATE BAG NO 8 NEWTON, AUCKLAND NEW ZEALAND
CNR KARANGAHAPE ROAD & LIVERPOOL STREET AUCKLAND 1
TELEPHONE (09) 379 279, FAX 772 919



Rodney

DISTRICT COUNCIL

Correspondence to:
The General Manager
Rodney District Council
Private Bag, Orewa, New Zealand
Telephone (09) 426-5169
Facsimile (09) 426-7280
DX 3311
Head Office: Centreway Road, Orewa

Reference Number **R15564**

If calling please ask for

Mr Spencer
JB

15 July 1991

Messrs Bolam and Associates
Registered Surveyors
PO Box 157
OREWA

Attention: J R Bolam
Your Ref: 2724

Dear Sirs

SCHEME PLAN R15564
OWNER: APPENZELL DEER FARMS LTD

Please find enclosed a letter from the Department of Conservation with regard to the existence of historical sites on the above scheme plan.

Yours faithfully

for: GENERAL MANAGER

B D Sharplin

Encl:



Rodney

DISTRICT COUNCIL

Correspondence to:
The General Manager
Rodney District Council
Private Bag, Orewa, New Zealand
Telephone (09) 426-5169
Facsimile (09) 426-7280
DX 3311
Head Office: Centreway Road, Orewa

Reference Number **R15564**

If calling please ask for

Mr Spencer
TG

5 August 1991

Messrs Bolam and Associates Limited
Registered Surveyors
P O Box 157
OREWA

Attention: J R Bolam
Your Ref: 2724

Dear Sir

SCHEME PLAN R15564 - OWNERS: APPENZELL DEER FARMS LIMITED

I enclose a copy of the above Scheme Plan and an authenticated copy of the Council's decision.

Pursuant to Section 296 of the Local Government Act 1974 you may apply to the Council for any variation or revocation as to the whole or any part of the approval. There is no specified time within which such an application is to be made. A fee of \$250.00 is required to cover the costs to the Council in assessing the variation and consideration by the Council.

You also have the right, pursuant to Section 300 of the Local Government Act, to lodge an appeal direct with the Planning Tribunal, Tribunals Division, Department of Justice, PO Box 10044, Wellington. You have a period of one month after the date of receipt of this letter in which to lodge that appeal. Other parties affected by the decisions may also appeal within one month and all approvals are subject to this limitation.

It is the Council's preference, however, that if you are dissatisfied with its decision, you first of all seek a variation under Section 296 or exercise your rights to object to it under Section 299 of the Act. If you choose to do so, your rights of appeal are not prejudiced because you have a further period of one month after receipt of the Council's decision on your request for a variation or your objection in which to lodge the appeal.

.../2

Page 2
Messrs Bolam and Associates Limited
5 August 1991

Any enquiries regarding the decision should be referred to Mr Hewson at the Orewa Office.

Please note that in any correspondence concerning this decision or in making any payments connected with it, it is necessary to quote the reference number above.

Yours faithfully

for: GENERAL MANAGER

B D Sharplin

Encl.

BOLAM & ASSOCIATES LTD

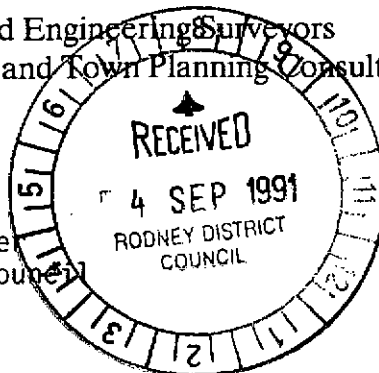
Registered Land and Engineering Surveyors
Land Development and Town Planning Consultants

1438
7 Tamariki Ave.,
P.O. Box 157,
Orewa.
Ph: (09) 426 7339.
Fax: (09) 426 7331.

3 September 1991

File: 2724

The General Manager
Rodney District Council
Private Bag
OREWA



Attention: Mr G Thomas

ACTION	NDJ
COPY	DE 11/9/91

Dear Sir

RE: R15564 - APPENZELL DEER FARMS LTD

We would refer to the scheme plan prepared for our above client.

We enclose the original transparency together with two prints of the Land Transfer plans prepared. We note these have been prepared in two stages with one plan showing Lots 1 to 3 and a second showing Lot 4. We note that the spirit of the scheme plan has been adhered to although there have been some changes upon survey. We would ask that a variation be granted for that.

In respect of the conditions of approval we note the following:

1 Condition (a) (i)

Lot 4 has been shown on the plan.

2 Condition (a) (ii)

This has been satisfied with the two plans being prepared.

3 Condition (a) (iii)

The appropriate amalgamation condition has been outlined in the right hand panel of the plan.

4 Condition (b) (i)

We have been advised by our clients that the fencing has been completed.

5 Condition (b) (ii)

We understand that the noxious plants have been sprayed.

It is our understanding this completes all conditions of scheme plan approval and means Council could now issue the Section 306 Certificate

.../

.../2

of Compliance. We would ask that this be issued simultaneously.

Yours faithfully
BOLAM & ASSOCIATES LIMITED


J R BOLAM

MEMO TO:

Development Engineer

FROM:

Technical Clerk Development

DATE:

11. 9. 91

SCHEME PLAN R 1554

OWNER:

Cippenzell Deer Farms Ltd

1. I enclose a copy of the Scheme Plan and the Council's decision relating to it.
2. The Registered Surveyor has requested a Certificate of Compliance.
3. ~~As Built information and Certificates have been supplied and are attached for checking.~~
4. Please signify if conditions (b)(i) (ii)

_____ have been satisfactorily completed.

R. Graham
TECHNICAL CLERK DEVELOPMENT

* * * * *

DEVELOPMENT ENGINEERS COMPLETION CERTIFICATE

1. Engineering works as set out in attached table and listed in '4' above have been satisfactorily completed.
2. Bonds shown on attached table have been agreed and must be paid prior to issue of 306.
3. Certificates supplied are in order.
4. Memoranda of Encumbrance are required on Lots _____.

CLERK OF WORKS

Date:

DEVELOPMENT ENGINEER

Date:



BOLAM & ASSOCIATES LTD

Registered Land and Engineering Surveyors
Land Development and Town Planning Consultants

7 Tamariki Ave.,
P.O. Box 157,
Orewa.
Ph: (09) 426 7339.
Fax: (09) 426 7331.

With the Compliments of

RDC Attn. Mr I. Spencer

12-9-91

R/15564.

RE: Appenzell Deer Farms Ltd.

Copy of survey sheet showing occupation along
Mchod Road relevant to limited title 2c/87 now
within Lot 4.

897/15564

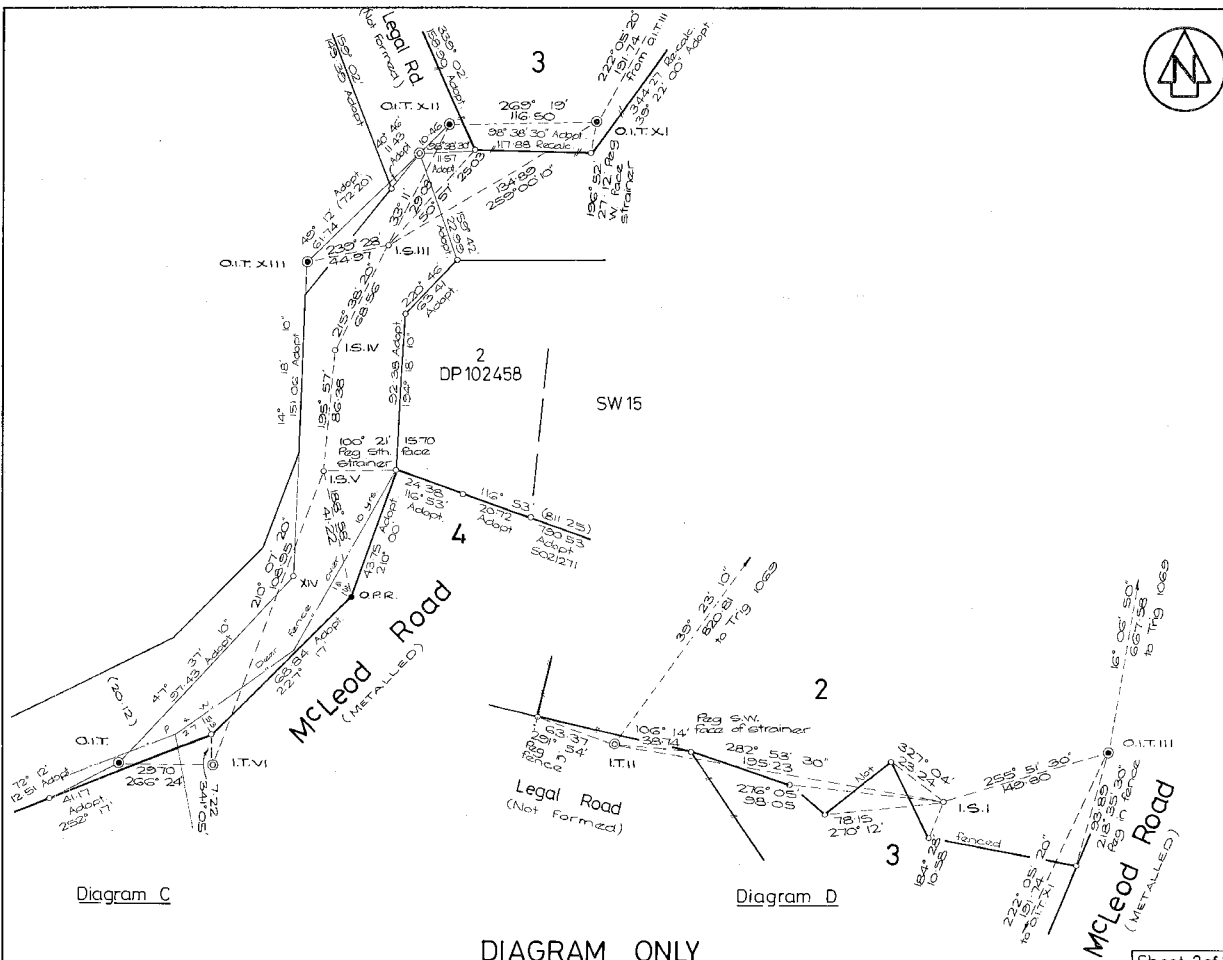


DIAGRAM ONLY

Sheet 2 of 2

LAND DISTRICTNorth.....Auckland.....
 SURVEY BLK. & DIST.III.....Waioneke.....
 NZMS 261 SH1RECORD MAP No.....

Lots 1-4 Being Subdivision of Lot 1 DP102458,
 Pt Allots 79 & NE.10 & Allots 14 & 81 Mairetahi Parish.

TERRITORIAL AUTHORITY...Rodney...District.....
 Surveyed by Bolam. & Associates, Ltd.....
 Scale...not to scale...Date September...1991



Approvals

Old & adoptions are from 2041317 unless otherwise shown.

Total Area

Comprised in

I, Stuart James Fluker, of Otago, Registered Surveyor and holder of an annual practising certificate for who may act as a registered surveyor pursuant to section 25 of the Survey Act 1986, hereby certify that this plan has been made from surveys executed by me or under my directions, that both plan and survey are correct and have been made in accordance with the Survey Regulations 1972 or any regulations made in substitution thereof.

Dated at Otago this day of 19..... Signature

Field Book p. Reverse Book p.
 Reference Plans
 Examined Correct

Approved as to Survey

..... J. Chief Surveyor

Deposited this day of 19.....

District Land Registrar

File Received Instructions 2724



Rodney

DISTRICT COUNCIL

Correspondence to:
The General Manager
Rodney District Council
Private Bag, Orewa, New Zealand
Telephone (09) 426-5159
Facsimile (09) 426-7280
DX 3311
Head Office: Centreway Road, Orewa

Reference Number **R 15564**

If calling please ask for

Mr Spencer
TB

17 September 1991

Messrs Bolam and Associates Limited
Registered Surveyors
P O Box 157
OREWA

Attention: **J R Bolam**
Your Reference: **2724**

Dear Sirs

SURVEY PLAN RELATING TO SCHEME PLAN R15564
OWNER: APPENZELL DEER FARMS LIMITED

I enclose the signed and sealed copy of the above survey plan.

Please advise me in writing when you consider all conditions have been complied with.

Yours faithfully

for: **GENERAL MANAGER**

B D Sharplin

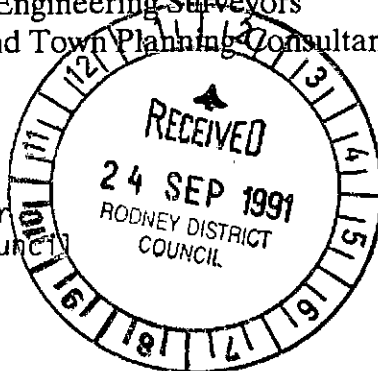
Encl:

BOLAM & ASSOCIATES LTD

Registered Land and Engineering Surveyors
Land Development and Town Planning Consultants

20 September 1991

The General Manager
Rodney District Council
Private Bag
OREWA



3069
7 Tamariki Ave.,
P.O. Box 157,
Orewa.
Ph: (09) 426 7339.
Fax: (09) 426 7331.

File: 2724

Attention: Mr G Thomas

ACTION	mDES
COPY S/SUR	27/9/91

Dear Sir

RE: R15564 - APPENZELL DEER FARMS LTD

We would refer to your letter of the 3rd of September.

We enclose two copies of a plan showing Lot 1. The boundary of Lot 1 has been amended from that previously shown. As it would still comply with Council's requirements we would ask that the two prints be substituted for those forwarded previously. OK.

We would refer to condition (b) (i) concerning the fencing. We note that as discussed with Mr Ian Spencer, the fence follows a practical line. It is a deer fence and if it was moved to the boundary it would leave a considerable area of pasture which would not be grazed. Under the circumstances it seems both logical and practical to leave it in its present position. Our client's undertake that should the road ever be widened, which seems highly unlikely, they would be prepared to move the fence to follow the existing boundary.

As all conditions of scheme plan approval have been satisfied we would ask that the Section 306 Certificate of Compliance be issued at the earliest opportunity.

Yours faithfully
BOLAM & ASSOCIATES LIMITED

JRB
J R BOLAM

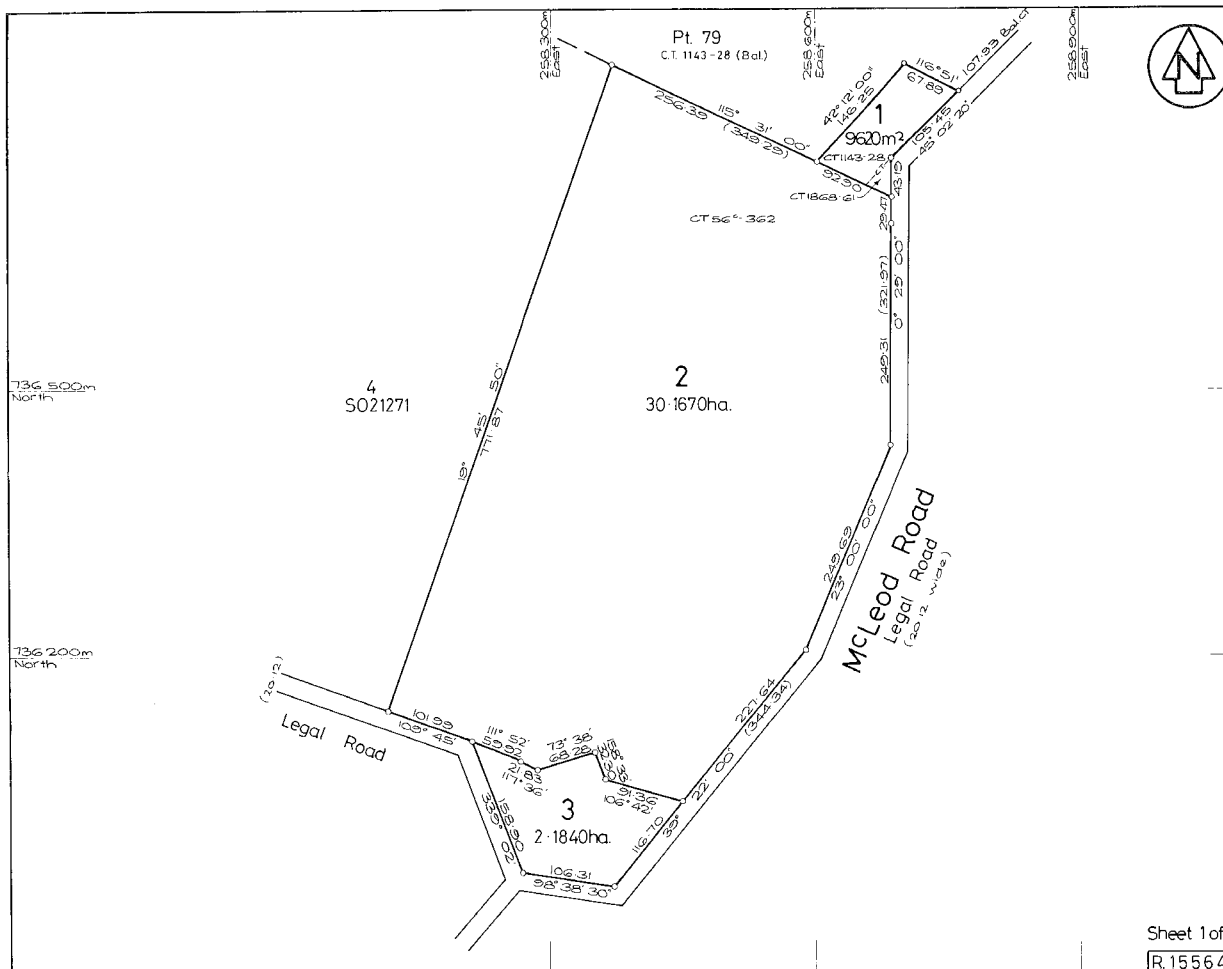
*They want be seen
for dust!*

- ① Fence to be moved
+
- ② Weeds to be sprayed.
before 306

*Plans changed
over 27/9/91.*

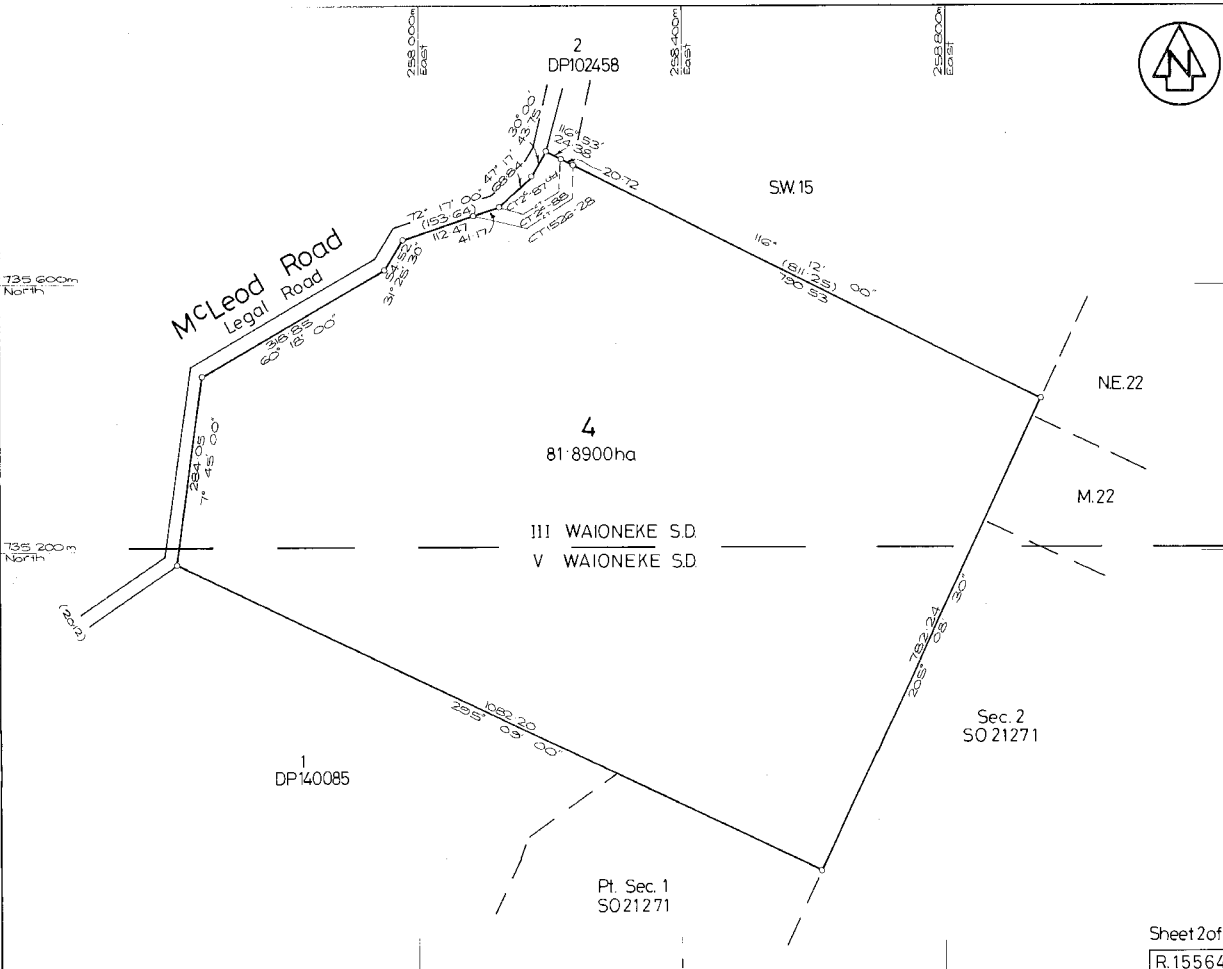
*owner was informed
26/9/91*

J R advised by phone.



Approved: <i>[Signature]</i> Appenzell Ozer Farms Ltd. Reg. Owners	
Pursuant to a resolution of the Rodney District Council passed on the 13th day of September 1991 approving pursuant to Section 205 of the Local Government Act 1974 this survey plan subject to the conditions of amalgamation set out hereon and certifying that the survey plan is in accordance with the requirements and provisions of the Operative District Scheme and the proposed new District Scheme for the area to which the survey plan relates the common seal of the Rodney District Council was affixed hereto in the presence of:	
<i>[Signature]</i> RR Mayor	
<i>[Signature]</i> RR General Manager	
AMALGAMATION CONCLUSION Section 219 (2)(b) That one Certificate of Title has been issued for Lot 3 OF 102458 (residue CT 56-362) and Section B Block 111 Waioneke SD (CT 1050-26)	
See File: A.628812	
NEW CO. T. ALLOCATED Lot 1 - Lot 2 - Lot 3 -	
Total Area 33.3130ha.	
Comprised in C.T. 1143-28 (Pt) 1868-61 (All) & 56C-362 (Pt)	
I, Stuart James Baker of Orewa, Registered Surveyor and holder of an annual practicing certificate for who may act as a registered surveyor pursuant to section 25 of the Survey Act 1980 hereby certify that this plan has been made from surveys executed by me or under my directions, that both plan and survey are correct and have been made in accordance with the Survey Regulations 1972 or any regulations made in substitution thereof.	
Dated at Orewa this day of 19..... Signature	
Field Book	p. Traverse Book p.
Reference Plans	
Examined	Correct
Approved as to Survey Chief Surveyor	
Deposited this day of 19.....	
District Land Registrar	
File Received Instructions	2724 148465

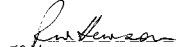
LAND DISTRICT North Auckland SURVEY BLK. & DIST. 111 Waioneke NZMS 261 SHT RECORD MAP No	Lots 1-3 Being Subdivision of Lot 1 DP 102458, Pt Allot. 79 & Allot. 85 Mairerahi Parish	TERRITORIAL AUTHORITY Rodney District Surveyed by Bolam & Associates Ltd Scale 1:3000 Date August 1991
--	--	--



Approvals

Appointed: Deer Farms Ltd.
Reg. Owners

Pursuant to a resolution of the Rodney District Council passed on the 18th day of September 1991 approving pursuant to Section 205 of the Local Government Act 1974 this survey plan and certifying that the survey plan is in accordance with the requirements and provisions of the Operative District Scheme and the proposed new District Scheme for the area to which the survey plan relates the common seal of the Rodney District Council was affixed hereto in the presence of:


R. A. Gorman
Reg. General Manager

NEW CT ALLOCATED

Lot 4

The Rodney District Council hereby certifies that no part of the legal Road is included within the area under survey on this plan


R. A. Gorman
Reg. General Manager

Total Area 81,8900ha

Comprised in C&T 2C-87 Ltd (All) 2C-88 (All) & 1526-28 (All)

I, Stuart James Fluker, of Orewa Registered Surveyor and holder of an annual practicing certificate for who may act as a registered surveyor pursuant to section 26 of the Survey Act 1981 hereby certify that this plan has been made from surveys executed by me or under my directions, that both plan and survey are correct and have been made in accordance with the Survey Regulations 1972 or any regulations made in substitution thereof.

Dated at Orewa this day of 19.....

Field Book p Traverse Book p

Reference Plans

Examined Correct

Approved as to Survey

..... Chief Surveyor

Deposited this day of 19.....

District Land Registrar

File 2724

Received Instructions

LAND DISTRICT North Auckland

SURVEY BLK. & DIST. III. & V. Waioneke

NZMS 261 SHT RECORD MAP No

Lot 4 Being Subdivision of Pt. Allot. NE10 & Allots. 14 & 81 Mairerahi Parish.

TERRITORIAL AUTHORITY Rodney District

Surveyed by Bolam & Associates Ltd

Scale 1:4000 Date August 1991

Sheet 2 of 2

R.15564

MEMO TO:

Development Engineer

FROM:

Technical Clerk Development

DATE:

11 9 91

SCHEME PLAN R 15564

OWNER:

Appenzell Deer Farms Ltd

1. I enclose a copy of the Scheme Plan and the Council's decision relating to it.
2. The Registered Surveyor has requested a Certificate of Compliance.
3. ~~As Built information and Certificates have been supplied and are attached for checking.~~
4. Please signify if conditions (b)(i) (ii)

_____ have been satisfactorily completed.

Graham
TECHNICAL CLERK DEVELOPMENT

* * * * *

DEVELOPMENT ENGINEERS COMPLETION CERTIFICATE

1. Engineering works as set out in attached table and listed in '4' above have been satisfactorily completed.
2. Bonds shown on attached table have been agreed and must be paid prior to issue of 306.
3. Certificates supplied are in order.
4. Memoranda of Encumbrance are required on Lots _____.

Condition (b)(i), Road Fencing - Not done
" (b)(ii) Noxious Weeds. - Not controlled. - 14/10/91
Please Don't issue 306.
Des confirmed spraying Completed. RA

D. B. Langray
CLERK OF WORKS

Date: 25/9/91

DEVELOPMENT ENGINEER Date:

FORM/PD185

Re-inspected 11/10/91 - Fencing relocated. Des file note under
Completed satisfactorily
D. B. Langray 14/10/91
G 28/9

WORKING

CONDITIONS

R O D N E Y D I S T R I C T C O U N C I L
=====

SCHEME PLAN R15564 OWNERS: APPENZELL DEER FARMS LIMITED

I, FREDERICK ROLAND SMITH, Manager - Development (Engineering and Subdivisions) hereby certify that the following resolution was passed at a meeting held on 26 July 1991.

" THAT THE SCHEME PLAN BE APPROVED AND THAT THE FULL TEXT OF THE RESOLUTION BE ENDORSED ON ALL NECESSARY DOCUMENTS:-

THAT SCHEME PLAN R15564 BEING THE PROPOSED SUBDIVISION OF LOTS 1 AND 3, DP 102458, AND PART ALLOTMENTS 85 AND 79, PARISH OF MAIRETAHI COMPRISED IN CERTIFICATES OF TITLE 56C/362, 1143/28 AND 1868/61, TOTALLING IN AREA 52.5384 HECTARES OWNED BY APPENZELL DEER FARMS LIMITED, BE APPROVED PURSUANT TO SECTION 279 OF THE LOCAL GOVERNMENT ACT 1974, SUBJECT TO THE FOLLOWING CONDITIONS:-

(a) (conditions to be shown on survey title plan) BEFORE THE COUNCIL WILL APPROVE THE SURVEY PLAN PURSUANT TO SECTION 305 OF THE ACT, THE OWNER SHALL:-

✓ 12/5/91 (1) (amendment required) ON THE LAND TRANSFER PLAN SHOW AS LOT 4 ALL OF THE LAND IN CERTIFICATES OF TITLE 1526/28, 2C/87 LIMITED AND 2C/88.

✓ 12/5/91 (11) (amendment required) SHOW LOTS 1 TO 4 ON THE LAND TRANSFER PLAN.

✓ 12/5/91 (iii) (title amalgamation) PURSUANT TO SECTION 279(2)(b) OF THE ACT, HAVE ENDORSED ON THE SURVEY PLAN THE FOLLOWING CONDITION OF AMALGAMATION:-

THAT ONE CERTIFICATE OF TITLE BE ISSUED FOR LOT 3, DP 102458 (RESIDUE C.T. 56C/362) AND SECTION 8, BLOCK III WAIONEKE SURVEY DISTRICT (C.T. 1090/26). SEE FILE A628812.

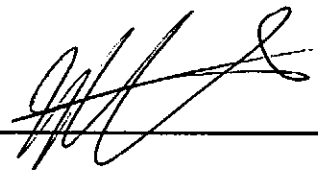
(b) (conditions to be carried out by owner) BEFORE THE COUNCIL WILL ISSUE THE CERTIFICATE OF COMPLIANCE PURSUANT TO SECTION 306 OF THE ACT, THE OWNER SHALL:-

14/10/91 ✓ (1) (relocate road boundary fence) RELOCATE ONTO THE ROAD BOUNDARY AT HIS OWN COST THE FENCE ACROSS THE FRONT OF LOT 1 TO THE ENTIRE SATISFACTION OF THE MANAGER - DEVELOPMENT.

14/10/91 ✓ (11) (noxious plants) CONTROL ALL RAGWORT, GORSE AND WOOLLY NIGHTSHADE TO THE SATISFACTION OF THE MANAGER - GENERAL SERVICES.

NOTE: THE APPLICANT'S ATTENTION IS DRAWN TO THE FACT THAT THE
ARCHAEOLOGICAL SITES WITHIN THE LAND BEING SUBDIVIDED
ARE PROTECTED UNDER THE NEW ZEALAND HISTORIC PLACES ACT
1980 AND CONSEQUENTLY MAY NOT BE DISTURBED, DAMAGED OR
MODIFIED. "

SIGNED by FREDERICK ROLAND SMITH)
Manager - Development (Engineering and)
Subdivisions) of the RODNEY DISTRICT)
COUNCIL on behalf of the said Council)
under Section 252 of the Local)
Government Act 1974)



MANAGER - DEVELOPMENT
(ENGINEERING AND SUBDIVISIONS)

