



**RECORD OF TITLE  
UNDER LAND TRANSFER ACT 2017  
UNIT TITLE**

**Guaranteed Search Copy issued under Section 60 of the Land  
Transfer Act 2017**



  
R. W. Muir  
Registrar-General  
of Land

**Identifier** **904212**  
**Land Registration District** **North Auckland**  
**Date Issued** 18 June 2019

**Prior References**  
848784 848839

**Supplementary Record Sheet**  
856914

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**Estate** Stratum in Freehold  
**Legal Description** Principal Unit 2203 and Accessory Unit 2  
Deposited Plan 527182

**Registered Owners**  
Jenna Louise Teesdale

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**The above estates are subject to the reservations, restrictions, encumbrances, liens and interests noted below and on the relevant unit plan and supplementary record sheet**

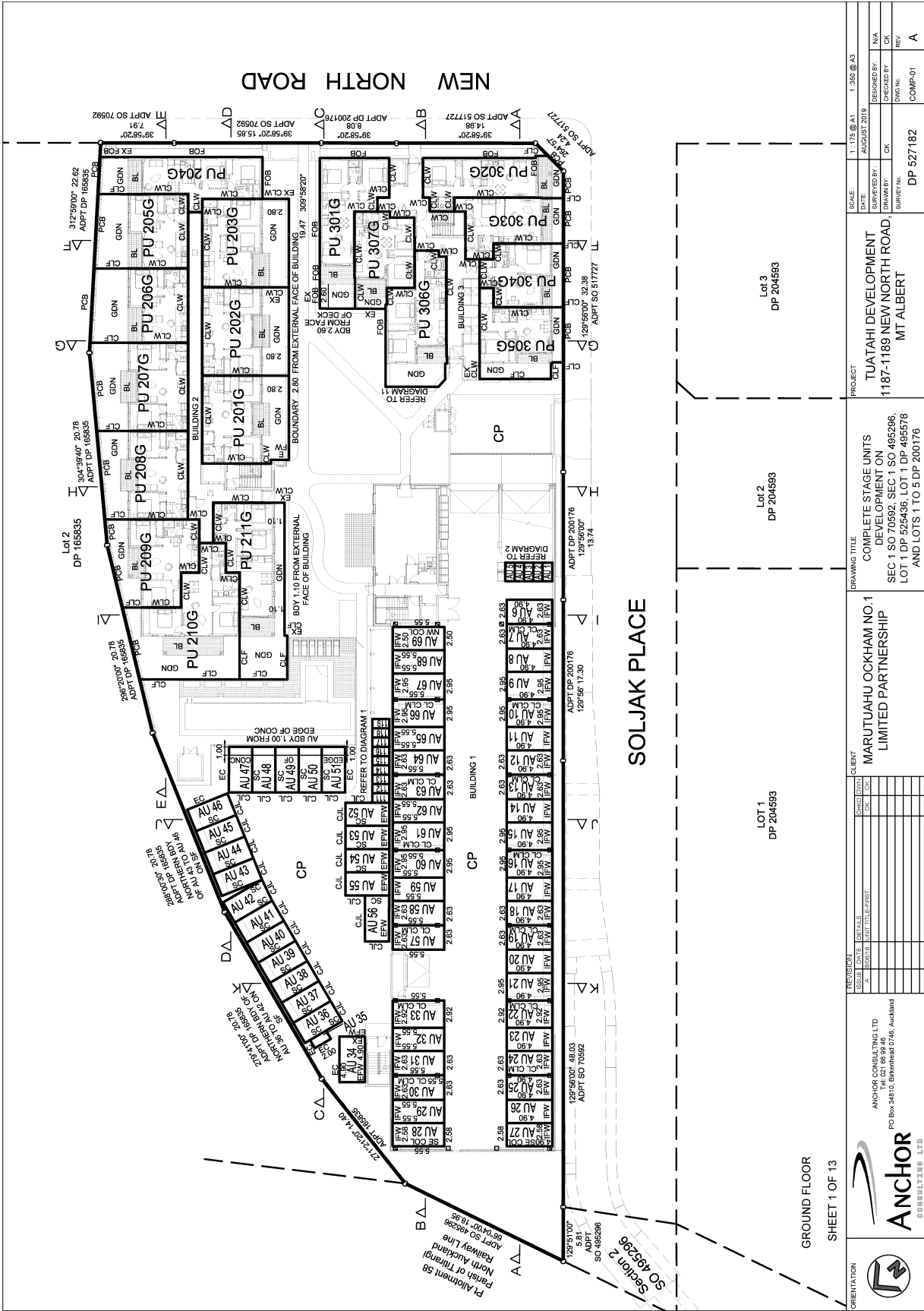
Subject to Part IVA Conservation Act 1987

Subject to Section 11 Crown Minerals Act 1991

10456735.2 Encumbrance to New Zealand Transport Agency - 7.6.2016 at 11:53 am

10456735.3 Encumbrance to New Zealand Transport Agency - 7.6.2016 at 11:53 am

11529723.3 Mortgage to Bank of New Zealand - 23.8.2019 at 1:27 pm



SCALE:	1:175 @ A1	1:350 @ A3
DATE:	AUGUST 2019	
SUPERVISED BY:		DESIGNED BY: N/A
DRAWN BY:	CK	CHECKED BY: CK
SURVEY NO.:	DP 527182	DWG NO.:
COMP-01		REV:

PROJECT  
**TUATAHI DEVELOPMENT**  
 1187-1189 NEW NORTH ROAD,  
 MIT ALBERT

DRAWING TITLE  
 COMPLETE STAGE UNITS  
 DEVELOPMENT ON  
 SEC 1 SO 70592, SEC 1 SO 495286,  
 LOT 1 DP 525436, LOT 1 DP 485578  
 AND LOTS 1 TO 5 DP 200176

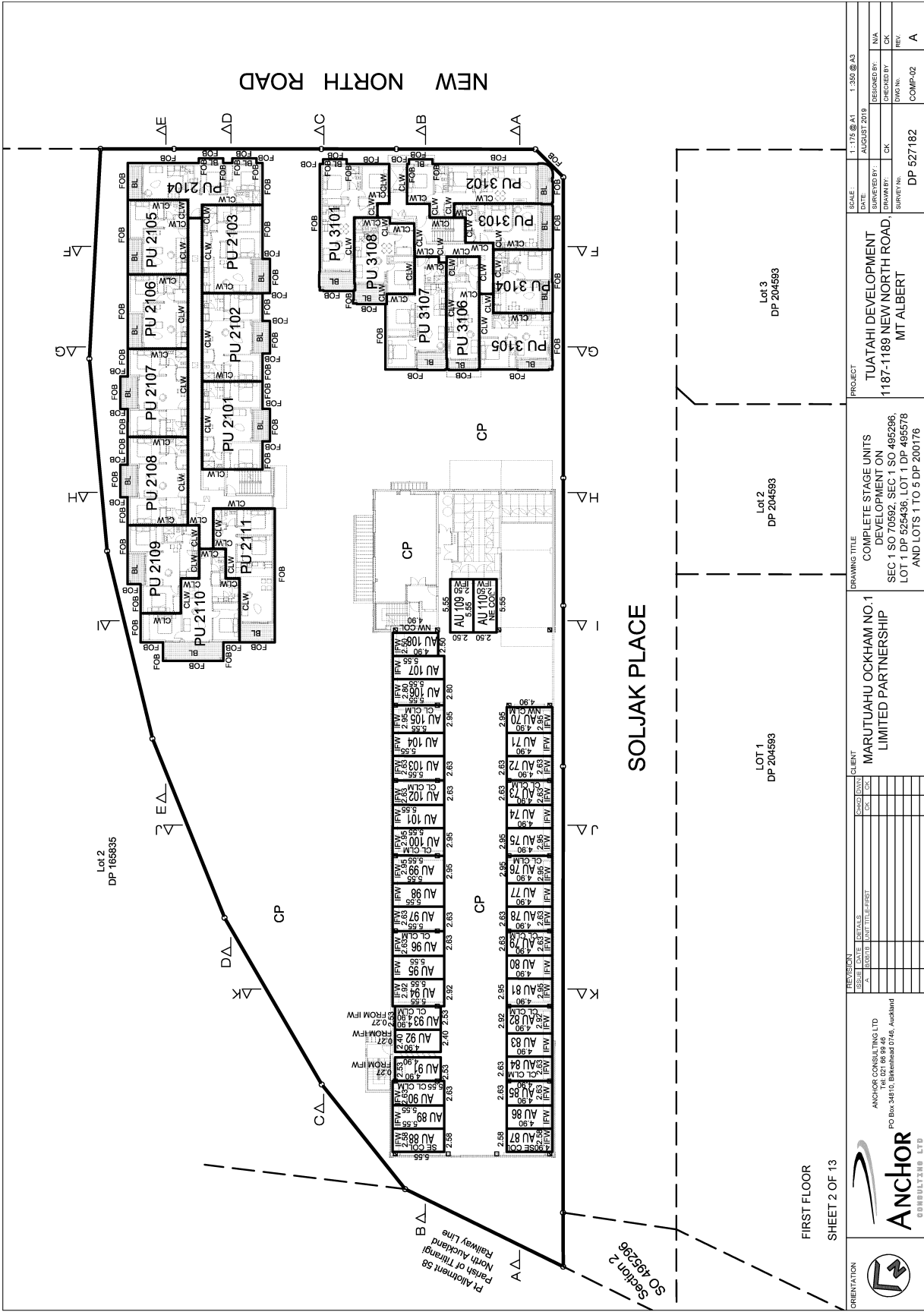
CLIENT  
**MARUTUAHU OCKHAM NO.1  
 LIMITED PARTNERSHIP**

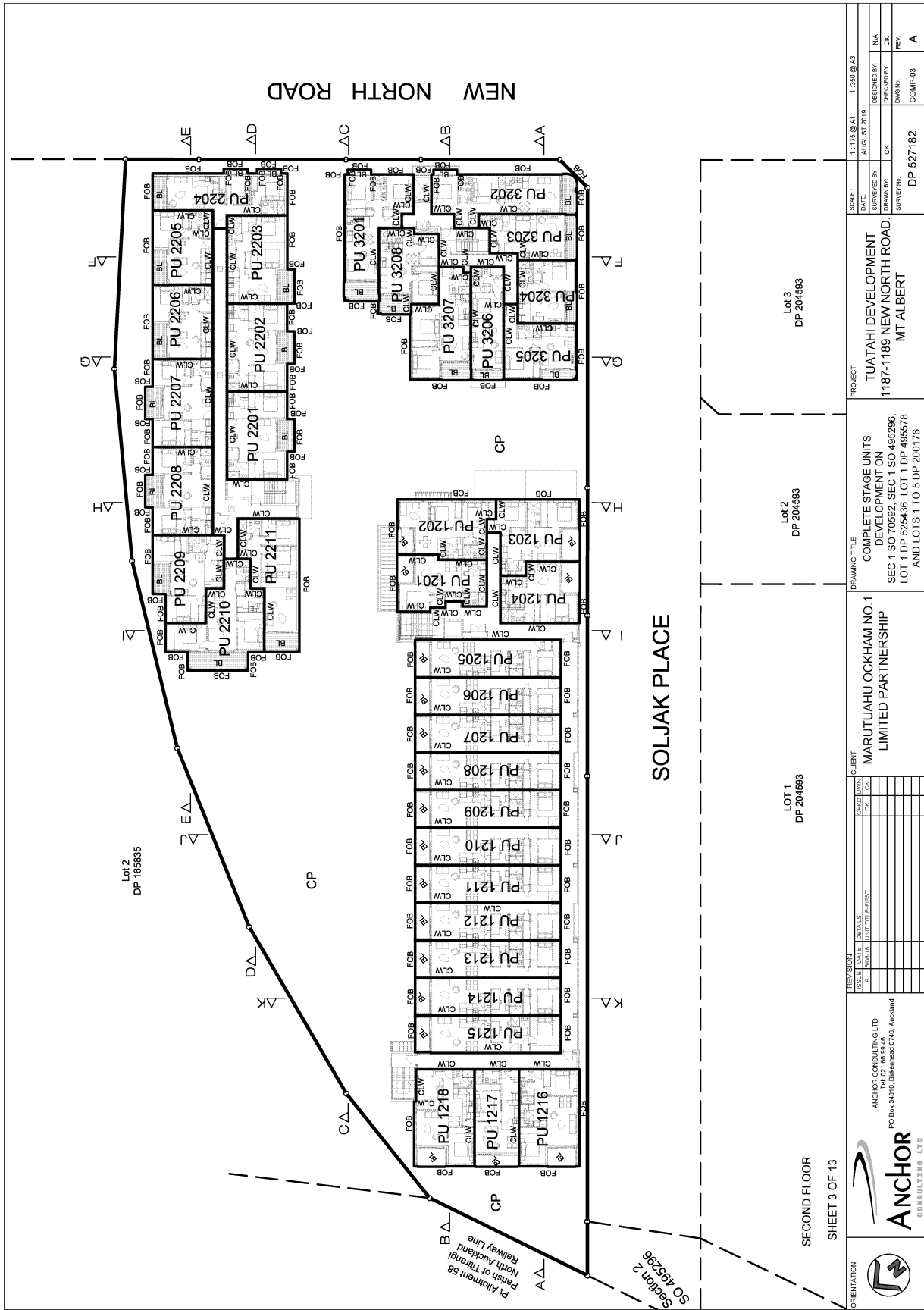
REVISION	DATE	DETAILS	ISSUED	DATE	BY	CHK	DATE
A		BASIS UNIT TITLE FIRST					

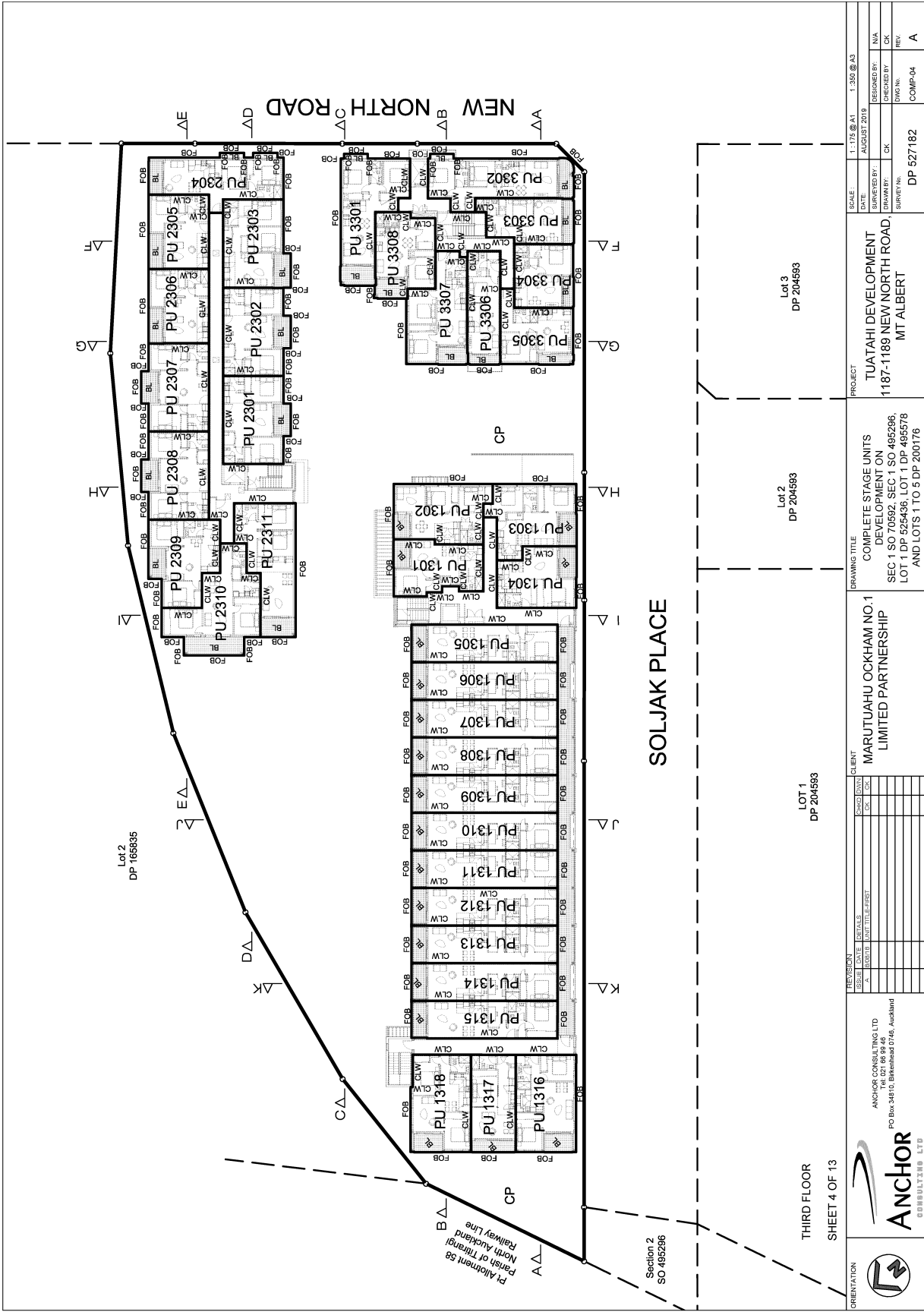
ANCHOR CONSULTING LTD  
 Tel: 021 88 59 48  
 PO Box 34810, Birkenhead 0748, Auckland

GROUND FLOOR  
 SHEET 1 OF 13

**ANCHOR**  
 CONSULTING LTD







SCALE:	1:175 @ A1	1:350 @ A3
DATE:	AUGUST 2019	
SUPERVISED BY:		DESIGNED BY: N/A
DRAWN BY:	CK	CHECKED BY: CK
SURVEY NO.:		DWG NO.:
		COMP-04
		DP 527182

PROJECT  
**TUATAHI DEVELOPMENT**  
 1187-1189 NEW NORTH ROAD,  
 MIT ALBERT


DRAWING TITLE  
 COMPLETE STAGE UNITS  
 DEVELOPMENT ON  
 SEC 1 SO 70592, SEC 1 SO 495286,  
 LOT 1 DP 525436, LOT 1 DP 485578  
 AND LOTS 1 TO 5 DP 200176

CLIENT  
**MARUTUAHU OCKHAM NO.1  
 LIMITED PARTNERSHIP**

REVISION	DATE	DETAILS	ISSUED BY	CHECKED BY
A		BASELINE UNIT TITLE FIRST		

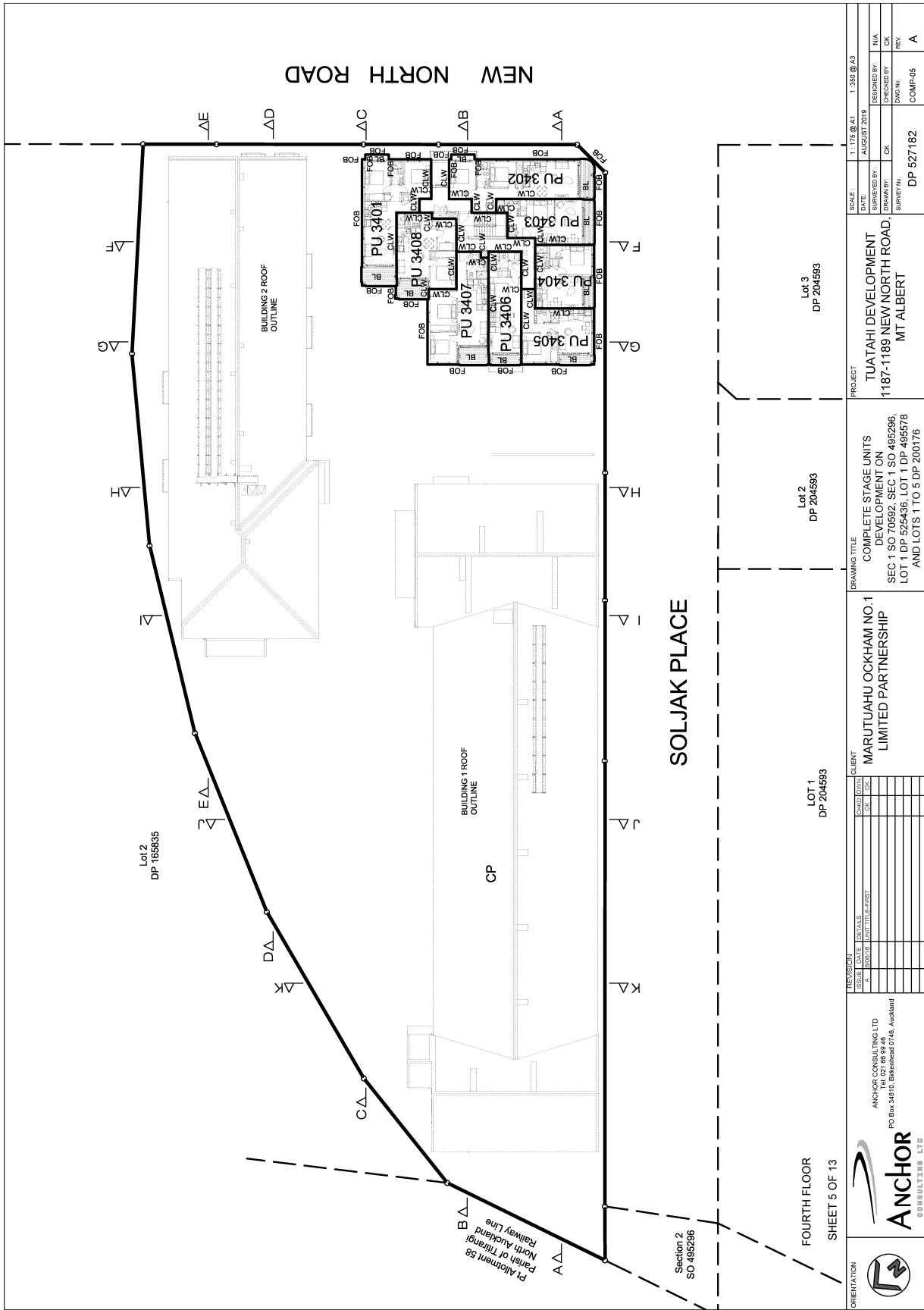
ANCHOR CONSULTING LTD  
 Tel: 027 88 99 48  
 PO Box 34810, Birkenhead 0748, Auckland

ORIENTATION

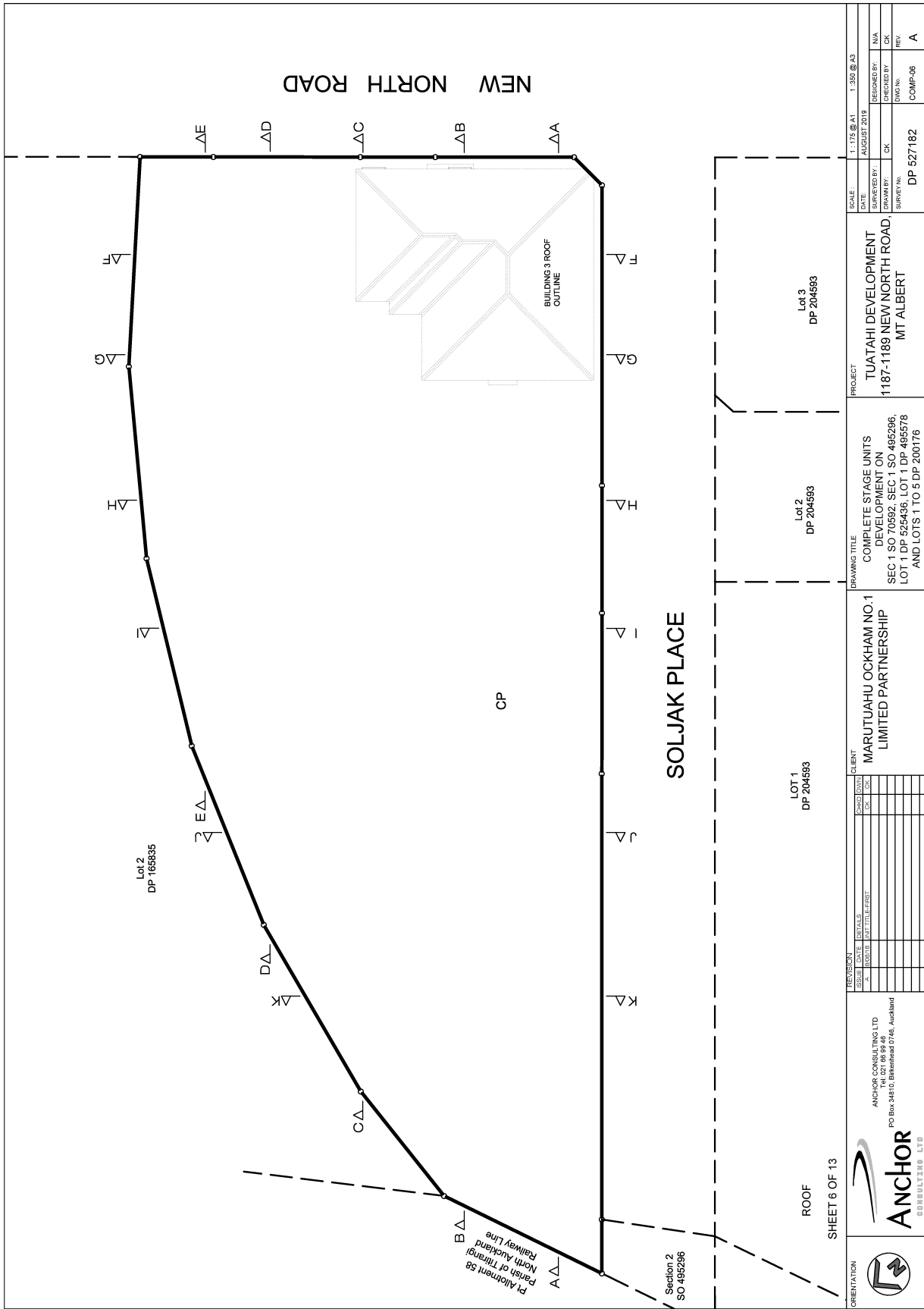


**ANCHOR**  
 CONSULTING LTD

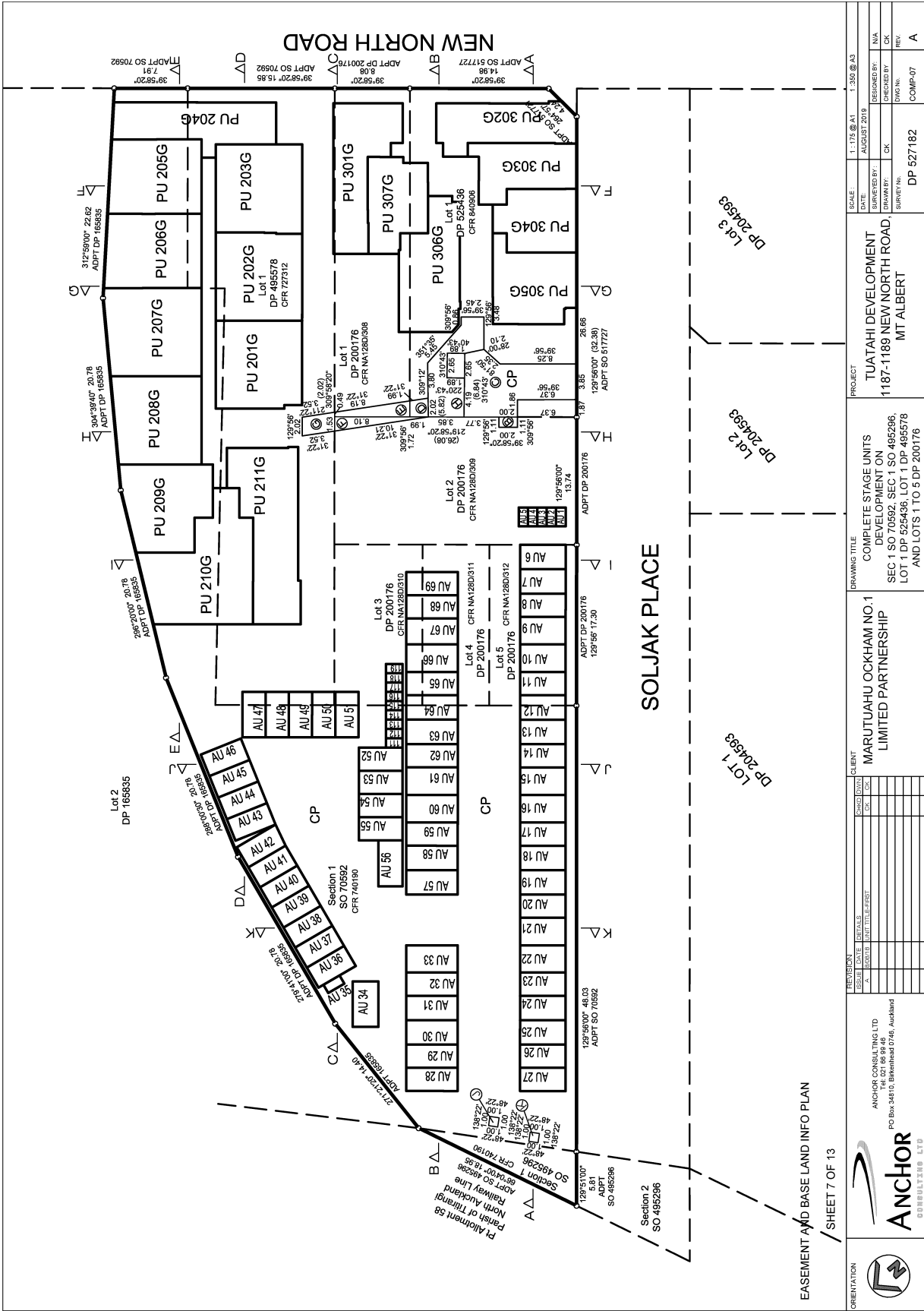
THIRD FLOOR  
 SHEET 4 OF 13

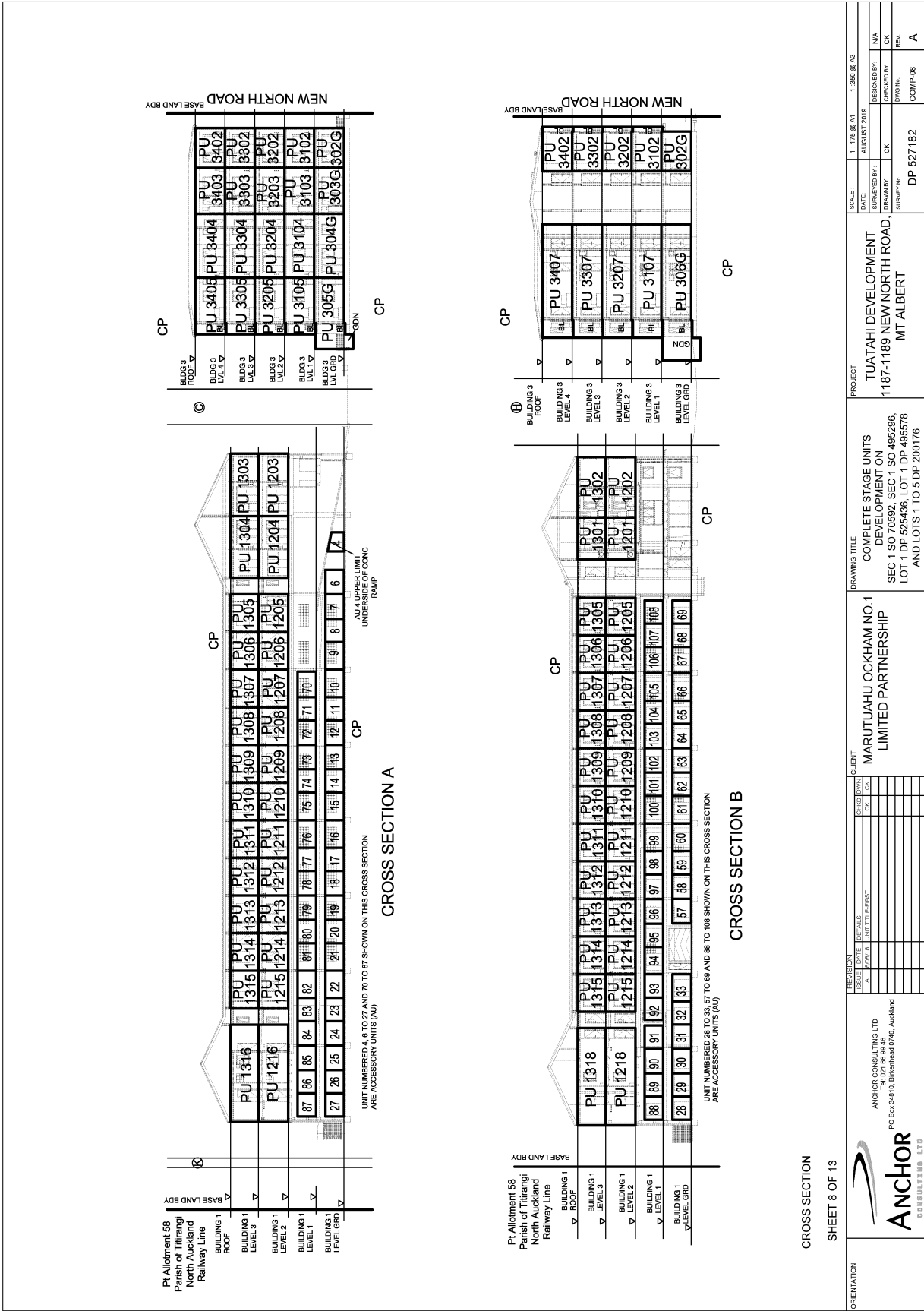


<p><b>ANCHOR</b> CONSULTING LTD</p> <p>ANCHOR CONSULTING LTD Tel: 021 88 99 48 PO Box 34810, Birkenhead 0748, Auckland</p>	<p>ORIENTATION</p>	<p>REVISION</p> <table border="1"> <thead> <tr> <th>NO.</th> <th>DATE</th> <th>DETAILS</th> <th>BY</th> <th>CHK.</th> </tr> </thead> <tbody> <tr> <td>1</td> <td></td> <td></td> <td></td> <td></td> </tr> </tbody> </table>	NO.	DATE	DETAILS	BY	CHK.	1					<p>CLIENT</p> <p>MARUTUAHU OCKHAM NO.1 LIMITED PARTNERSHIP</p>	<p>DRAWING TITLE</p> <p>COMPLETE STAGE UNITS DEVELOPMENT ON SEC 1 SO 70592, SEC 1 SO 495296, LOT 1 DP 525436, LOT 1 DP 495578 AND LOTS 1 TO 5 DP 200176</p>	<p>PROJECT</p> <p>TUATAHI DEVELOPMENT 1187-1189 NEW NORTH ROAD, MIT ALBERT</p>	<p>SCALE:</p> <p>DATE: AUGUST 2019</p> <p>1:175 @ A1 1:350 @ A3</p>
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<p>FOURTH FLOOR</p> <p>SHEET 5 OF 13</p>	<p>LOT 1</p> <p>DP 204583</p>	<p>LOT 2</p> <p>DP 204583</p>	<p>LOT 3</p> <p>DP 204583</p>	<p>SURVEY NO. DP 527182</p> <p>COMP-05</p>	<p>DESIGNED BY: CK</p> <p>CHECKED BY: CK</p> <p>DRAWN BY: CK</p> <p>PERFORMED BY: NA</p> <p>DATE: 08/2019</p> <p>REV. NO. 05</p> <p>REV. BY: A</p>											



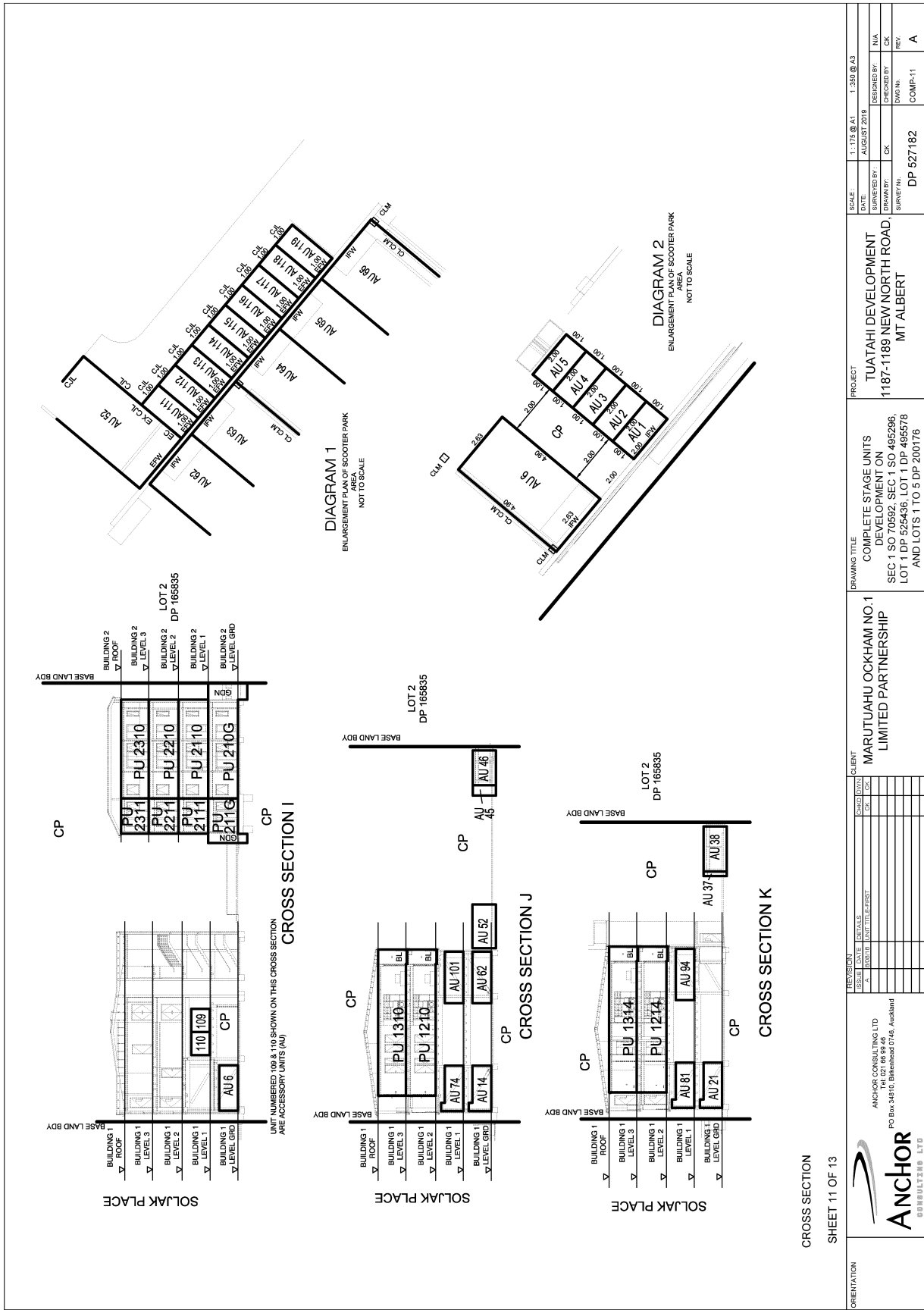
<p><b>ANCHOR</b> CONSULTING LTD</p> <p>PO Box 34810, Birkenhead 0748, Auckland</p> <p>Tel: 021 88 99 48</p>	<p>ORIENTATION</p>		<p>REVISION</p> <table border="1"> <thead> <tr> <th>NO.</th> <th>DATE</th> <th>DETAILS</th> <th>DESIGNED</th> <th>DRAWN</th> </tr> </thead> <tbody> <tr> <td>1</td> <td>08/05/2019</td> <td>INITIAL TITLESHEET</td> <td></td> <td></td> </tr> <tr> <td>2</td> <td></td> <td></td> <td></td> <td></td> </tr> <tr> <td>3</td> <td></td> <td></td> <td></td> <td></td> </tr> <tr> <td>4</td> <td></td> <td></td> <td></td> <td></td> </tr> <tr> <td>5</td> <td></td> <td></td> <td></td> <td></td> </tr> <tr> <td>6</td> <td></td> <td></td> <td></td> <td></td> </tr> <tr> <td>7</td> <td></td> <td></td> <td></td> <td></td> </tr> <tr> <td>8</td> <td></td> <td></td> <td></td> <td></td> </tr> <tr> <td>9</td> <td></td> <td></td> <td></td> <td></td> </tr> <tr> <td>10</td> <td></td> <td></td> <td></td> <td></td> </tr> </tbody> </table>		NO.	DATE	DETAILS	DESIGNED	DRAWN	1	08/05/2019	INITIAL TITLESHEET			2					3					4					5					6					7					8					9					10					<p>CLIENT</p> <p>MARUTUAHU OCKHAM NO.1 LIMITED PARTNERSHIP</p>		<p>DRAWING TITLE</p> <p>COMPLETE STAGE UNITS DEVELOPMENT ON SEC 1 SO 70592, SEC 1 SO 495296, LOT 1 DP 525436, LOT 1 DP 495578 AND LOTS 1 TO 5 DP 200176</p>		<p>PROJECT</p> <p>TUATAHI DEVELOPMENT 1187-1189 NEW NORTH ROAD, MIT ALBERT</p>		<p>SCALE: 1:175 @ A1 1:350 @ A3</p> <p>DATE: AUGUST 2019</p> <p>DESIGNED BY: CK</p> <p>DRAWN BY: CK</p> <p>CHECKED BY: CK</p> <p>DATE: AUGUST 2019</p> <p>DESIGNED BY: N/A</p> <p>DRAWN BY: CK</p> <p>CHECKED BY: CK</p> <p>DATE: AUGUST 2019</p> <p>DESIGNED BY: N/A</p> <p>DRAWN BY: CK</p> <p>CHECKED BY: CK</p> <p>DATE: AUGUST 2019</p> <p>DESIGNED BY: N/A</p> <p>DRAWN BY: CK</p> <p>CHECKED BY: CK</p>	
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<p>Section 2 SO 495296</p>		<p>LOT 1 DP 204593</p>		<p>LOT 2 DP 204593</p>		<p>LOT 3 DP 204593</p>		<p>DP 527182 COMP-06 A</p>																																																											













**NOTE - GENERAL:**  
THE BASELAND BOUNDARY DIMENSIONS ARE SHOWN ON THE EASEMENT/BASELAND INFO PLAN OF GROUND LEVEL ON SHEET 7.  
OCCUPATION DIMENSION BETWEEN BOUNDARY TO BUILDING WALL IS SHOWN ON OCCUPATION DIAGRAM DRAWINGS ATTACHED TO THIS DATASET.  
INTERNAL BUILDING/APARTMENT LAYOUT SHOWN IN THIN LINES ARE INDICATIVE ONLY AND MAY VARY.  
THE BASE LAND BOUNDARY ADOPTED SOURCES ARE SHOWN ON SHEET 7.  
THE BOUNDARY OF EXISTING EASEMENTS B TO H SHOWN ON LEASEMENT PLAN SHEET 7 ARE ADOPTED FROM DP 527181.  
THE BOUNDARY OF EXISTING EASEMENT J SHOWN IN THIN LINES ARE ADOPTED FROM SHEET 7 ARE ADOPTED FROM DP 498067.  
LOT 1, DP 495678 IS SUBJECT TO PART 4A CONSERVATION ACT 1987.

**NOTE - UNIT BOUNDARY**  
UNLESS OTHERWISE SHOWN PRINCIPAL UNIT BOUNDARIES ARE COMMON TO THE INTERNAL FACE OF BALCONIES & BALUSTRADES.  
UNLESS OTHERWISE SHOWN PRINCIPAL UNIT BOUNDARIES BETWEEN ADJACENT PRINCIPAL UNITS ARE CENTRELINE OF WALL.  
ALL AREAS OUTSIDE OF PU AND AU AREA ARE COMMON PROPERTY.  
AU 6 TO AU 84, AU 98 TO AU 110 ARE CAR PARKING AREAS. THE UNIT BOUNDARIES ARE AS PER THE DIMENSIONS SHOWN ON THE PLAN.  
AU 1 TO AU 5, AU 35 AND AU 111 TO AU 119 ARE SCOOTER PARKS. THE UNIT BOUNDARIES ARE AS PER THE DIMENSIONS SHOWN ON THE PLAN.  
FOB DENOTES UNIT BOUNDARY IS 0.03m INSIDE THE EXTERNAL FACE OF ALL EXTERIOR WALL, BALUSTRADE AND BALCONIES. REFER TO DIAGRAM 4.  
OLW DENOTES UNIT BOUNDARY IS THE CENTRELINE OF WALL, WINDOWS AND INTER UNIT PARTITION STRUCTURES.  
IRW DENOTES UNIT BOUNDARY ALONG THE INTERNAL FACE OF WALL.  
EFW DENOTES UNIT BOUNDARY ALONG THE EXTERNAL FACE OF WALL.  
EC DENOTES UNIT BOUNDARY ALONG THE EDGE OF CONCRETE.  
SF DENOTES UNIT BOUNDARY ALONG THE SOUTHERN FACE OF CONCRETE PILLARS AND STEEL GRATE FENCE.  
SE COL DENOTES UNIT BOUNDARY ALONG THE SOUTH EASTERN FACE OF STEEL COLUMN BEAM.  
NW COL DENOTES UNIT BOUNDARY ALONG THE NORTH WESTERN FACE OF STEEL COLUMN BEAM.  
NE COL DENOTES UNIT BOUNDARY ALONG THE NORTH EASTERN FACE OF STEEL COLUMN BEAM.  
C/L DENOTES UNIT BOUNDARY ALONG THE CONCRETE JOIN LINE. THE JOIN LINE IS A LINE BETWEEN 2 DIFFERENT TYPES OF CONCRETE FINISHING.  
SC DENOTES UNIT BOUNDARY ALONG THE CONCRETE SAW CUT LINE.  
E FW DENOTES UNIT BOUNDARY ALONG THE EASTERN FACE OF WALL.  
OP DENOTES COMMON PROPERTY  
BL DENOTES BALCONY AREA  
CLM DENOTES COLUMN  
OL DENOTES CENTRELINE  
EX DENOTES EXTENDED LINE  
PGB DENOTES PRINCIPAL UNIT BOUNDARIES COINCIDENT WITH BASELAND BOUNDARY.  
GDM DENOTES EXTERNAL GARDEN AREA.  
GLF DENOTES UNIT BOUNDARY ALONG THE CENTRELINE OF FENCE

**NOTE - UPPER AND LOWER EXTENT OF UNIT BOUNDARY.**  
UNLESS OTHERWISE SHOWN ALL PRINCIPAL UNITS LOWER EXTENT IS THE CENTRELINE OF APARTMENT & BALCONY CONCRETE FLOOR SLAB AND UPPER EXTENT IS THE CENTRELINE OF APARTMENT & BALCONY CONCRETE FLOOR SLAB OF FLOOR ABOVE.  
UNLESS OTHERWISE SHOWN ALL PRINCIPAL UNITS ON THE TOP FLOOR LEVEL - THE UPPER EXTENT IS 0.20m ABOVE THE UNDERSIDE OF THE SUSPENDED CEILING (UCC). REFER TO DIAGRAM 5.  
UNLESS OTHERWISE SHOWN THE VERTICAL BOUNDARY DROP BETWEEN THE INSIDE UNIT AREA AND BALCONY AREA RUNS ALONG THE FACE OF STEP. REFER TO DIAGRAM 3.  
UNLESS OTHERWISE SHOWN AU 6 TO AU 27 (CAR PARK) ON GROUND FLOOR - TYPICAL UPPER EXTENT AND LOWER EXTENT IS SHOWN ON DIAGRAM 7.  
UNLESS OTHERWISE SHOWN AU 28 TO AU 33 AND AU 57 TO AU 69 (CAR PARK) ON GROUND FLOOR - LOWER EXTENT IS THE FINISH FLOOR LEVEL AND UPPER EXTENT IS 2.00m ABOVE THE LOWER EXTENT.  
UNLESS OTHERWISE SHOWN AU 34, AU 38 TO AU 56 (EXTERNAL CAR PARK) ON GROUND FLOOR - LOWER EXTENT IS 0.50m BELOW BUILDING 1 GROUND FLOOR FFL AND UPPER EXTENT IS 2.50m ABOVE THE LOWER EXTENT.  
UNLESS OTHERWISE SHOWN AU 70 TO AU 87, AU 91, AU 93 AND AU 108 (CAR PARK) ON FIRST FLOOR - TYPICAL UPPER EXTENT AND LOWER EXTENT IS SHOWN ON DIAGRAM 7 AND 8.  
UNLESS OTHERWISE SHOWN AU 88 TO AU 90, AU 92, AU 94 TO AU 107, AU 109 AND AU 110 (CAR PARK) ON FIRST FLOOR - LOWER EXTENT IS THE FINISH FLOOR LEVEL AND UPPER EXTENT IS 2.00m ABOVE THE LOWER EXTENT.  
UNLESS OTHERWISE SHOWN AU 1 TO AU 5 (SCOOTER PARK) LOWER EXTENT IS ON THE FINISH FLOOR LEVEL AND THE UPPER EXTENT IS THE UNDERSIDE OF CONCRETE RAMP.  
UNLESS OTHERWISE SHOWN AU 35, AU 111 TO 119 (EXTERNAL CAR PARK) LOWER EXTENT IS ON THE FINISH FLOOR LEVEL AND THE UPPER EXTENT IS GROUND FLOOR FFL AND UPPER EXTENT IS TO 0.50m ABOVE THE LOWER EXTENT.  
COF DENOTES VERTICAL BOUNDARIES IS AT THE CENTRELINE OF CONCRETE FLOOR SLAB.  
UCC DENOTES VERTICAL BOUNDARY IS 0.20m ABOVE THE UNDERSIDE OF THE SUSPENDED CEILING.  
FFL DENOTES FINISH FLOOR LEVEL OF INTERNAL UNIT AREA. NOT THE BALCONY FINISH FLOOR LEVEL.  
UNLESS OTHERWISE SHOWN ALL PRINCIPAL UNITS ON THE GROUND FLOOR WITH EXTERNAL GARDEN AREA - THE LOWER EXTENT ON EXTERNAL GARDEN AREA IS BELOW ITS INSIDE UNIT FINISH FLOOR LEVEL. REFER TO DIAGRAM 8.

**NOTE - UNIT BOUNDARY**  
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**REVISION**

ISSUE	DATE	DETAILS	CHANGED	DRAWN	CHECKED
A		BASELINE UNIT TITLE FIRST	OK	OK	

**CLIENT**  
MARUTUAHU OCKHAM NO.1 LIMITED PARTNERSHIP

**ORIENTATION**

ANCHOR CONSULTING LTD  
Tel: 021 88 99 48  
PO Box 34810, Birkenhead 0148, Auckland

**DRAWING TITLE**  
COMPLETE STAGE UNITS DEVELOPMENT ON SEC 1 SO 70592, SEC 1 SO 495286, LOT 1 DP 525436, LOT 1 DP 495578 AND LOTS 1 TO 5 DP 200176

**PROJECT**  
TUATAHI DEVELOPMENT  
1187-1189 NEW NORTH ROAD,  
MIT ALBERT

**SCALE:**  
DATE: AUGUST 2019  
SUPERVISED BY: CK  
DRAWN BY: CK  
CHECKED BY: CK  
DWG NO: DP 527182  
COMP-13  
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**NOTES**  
SHEET 13 OF 13

REVISION	ISSUE	DATE	DETAILS	CHANGED	DRAWN	CHECKED
A			BASELINE UNIT TITLE FIRST	OK	OK	



**SUPPLEMENTARY RECORD SHEET  
UNDER UNIT TITLES ACT 2010**

**Guaranteed Search Copy issued under Section 60 of the Land  
Transfer Act 2017**

Identifier

**856914**Land Registration District **North Auckland**

Date Issued 01 November 2018

Plan Number DP 527182

**Subdivision of**

Section 1 Survey Office Plan 70592 and Lot 5, 1 Deposited Plan 200176 and Lot 1 Deposited Plan 495578 and Lot 2 Deposited Plan 200176 and Lot 1 Deposited Plan 525436 and Lot 3-4 Deposited Plan 200176 and Section 1 Survey Office Plan 495296

**Prior References**

727312	740190	840906
NA128D/308	NA128D/309	NA128D/310
NA128D/311	NA128D/312	

**Unit Titles Issued**

848779	848780	848781	848782
848783	848785	848786	848787
848788	848789	848790	848791
848792	848793	848794	848795
848796	848797	848798	848799
848800	848801	848802	848803
848804	848805	848806	848807
848808	848809	848810	848811
848812	848813	848814	904188
904189	904190	904191	904192
904193	904194	904195	904196
904197	904198	904199	904200
904201	904202	904203	904204
904205	904206	904207	904208
904209	904210	904211	904212
904213	904215	904216	904217
904218	904219	904220	904221
904222	904223	904224	904225
904226	904227	904228	904229
904230	904231	904751	906100
906101	906102	906103	906104
906105	906106	906107	906108
906109	906110	906111	906112
906113	906114	906115	906116
906117	906118	906119	906120
906121	906122	906123	906124
906125	906126	906127	906128
906129	906130	906131	906132

**Unit Titles Issued**

906133	906134	906135	906136
906137	906138	906139	

**Interests****OWNERSHIP OF COMMON PROPERTY**

Pursuant to Section 47 Unit Titles Act 2010 -

(a) the body corporate owns the common property and

(b) the owners of all the units are beneficially entitled to the common property as tenants in common in shares proportional to the ownership interest (or proposed ownership interest) in respect of their respective units.

Subject to Part IVA Conservation Act 1987

Subject to Section 11 Crown Minerals Act 1991

Appurtenant to Section 1 SO 70592 is a right of way created by Deed of Easement 91355 (R9.702)

Appurtenant to Lots 1 to 5 DP 200176 is a right of way and a right to convey water, electricity, gas, telecommunications and stormwater and sewage drainage rights created by Transfer D620722.1 - produced 10.7.2001 at 1.05 pm and entered 18.7.2001 at 9.00 am

D647261.1 Compensation Certificate pursuant to Section 19 Public Works Act 1981 by Her Majesty the Queen - produced 9.10.2001 at 2.26 pm and entered 18.10.2001 at 9.00 am (Affects Lots 1 to 5 DP 200176)

Excluded are the coal and other minerals remaining in CT NA539/236 & CT NA539/240 (Affects Section 1 SO 495296)

5774506.1 Variation of easement specified in Deed of Easement 91355 (R9.702) - 22.10.2003 at 9:00 am

Subject to a right to monitor and maintain a piezometer bore hole (in gross) over part Section 1 SO 70592 marked A & B on DP 496057 in favour of the New Zealand Transport Agency created by Easement Instrument 10456735.1 - 7.6.2016 at 11:53 am

Subject to a right to convey telecommunications and computer media (in gross) over part Lot 1 DP 200176 marked E and over part Lot 2 DP 200176 marked B & F and over part Lot 1 DP 495578 marked G and over part Lot 1 DP 525436 marked C, D & H on DP 527181 in favour of Chorus New Zealand Limited created by Easement Instrument 11215700.1 - 1.11.2018 at 5:00 pm

Subject to a right to convey electricity (in gross) over part Lot 1 DP 525436 marked C & H on DP 527181 in favour of Vector Limited created by Easement Instrument 11215700.2 - 1.11.2018 at 5:00 pm

11233719.1 Covenant pursuant to Section 108(2)(d) Resource Management Act 1991 - 1.11.2018 at 5:01 pm

11233719.2 Covenant pursuant to Section 108(2)(d) Resource Management Act 1991 - 1.11.2018 at 5:01 pm

11527883.4 Certificate of assessment of ownership interest pursuant to Section 32 Unit Titles Act 2010 - 24.9.2019 at 1:50 pm

12468490.1 Notice of change of body corporate operational rules pursuant to Section 106 Unit Titles Act 2010 - 22.8.2022 at 5:05 pm