

# Dunedin City Council Land Information Memorandum

100002

**Issued in accordance with Section 44A of the Local Government Official Information and Meetings Act 1987**

**Should you require further clarification of any of the information listed in this report, please phone our Customer Services Agency on 03 477 4000.**

This Land Information Memoranda (LIM) has been prepared in accordance with Section 44A of the Local Government Official Information and Meetings Act 1987. It contains only information obtained from the records held by the Dunedin City Council as at **20 March 2025**

The Dunedin City Council has not carried out an inspection of the land and/or buildings for the purposes of preparing this LIM. The Dunedin City Council records may not show illegal or unauthorised buildings or works on the land. Accordingly this report may not necessarily reflect the current status of the property. Examples of situations which affect the property but are not recorded in this report include: unauthorised work not known to Council and breaches of Consents or Licences that are not the subject of a formal Requisition or Notice.

The applicant is solely responsible for ensuring that the land or any building or works on the land is suitable for a particular purpose. The applicant should check the Records of Title as this report may not include information that is registered on the Records of Title. The Records of Title may record further information or obligations relating to the land.

Further information about this property may be available from other agencies such as the Otago Regional Council, Nova Gas, Telecom New Zealand (Chorus) or Delta Utility Services Limited.

## PROPERTY ADDRESS

17 Northfield Avenue Dunedin

**LIM Applicant**  
**Print Date**

John Christopher Kulendran and Paula Ann Daniel  
20-Mar-2025

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## PROPERTY DETAILS

**Property ID** 5011915  
**Address** 17 Northfield Avenue Dunedin  
**Parcels** LOT 13 DP 6782

**Rubbish Day** Monday

## RATES DETAILS

**Rate Account** 2011915  
Address 17 Northfield Avenue Dunedin  
Valuation Number 26760-04300

**Latest Valuation Details**  
Capital Value \$775,000  
Land Value \$530,000  
Value of Improvements \$245,000  
Area (Hectares) 0.066HA  
Units of Use 1

**Current Rates**  
Current Rating Year Starting 01-Jul-2024  
Dunedin City Council Rates \$4,013.68

**Rates Outstanding for Year** \$1,006.45

For further explanation on the rate account, or to enquire about information referred to on this page, please contact Rates Staff between 8:30am and 5:00pm weekdays at the enquiries counter on the Ground floor of the Civic Centre, 50 The Octagon, Dunedin, or by phoning 477 4000.

## BUILDING, PLUMBING AND DRAINAGE

### Minimum Floor Levels

Clause E1.3.2 of the New Zealand Building Code requires that surface water, resulting from an event having a 2% probability of occurring annually, shall not enter buildings. This requirement applies to Housing, Communal Housing, Communal Residential and Communal non-residential buildings. For guidance when establishing minimum floor levels please refer to : <https://www.dunedin.govt.nz/services/building-services/minimum-floor-levels> and for links to specific areas: <https://www.dunedin.govt.nz/services/building-services/minimum-floor-levels/mfl-guidance>

### Public Sewer sheets.

WARNING. Please note that public sewer reticulation sheets are scaled in either Imperial feet or Metric metres. Please check with the Duty Drainage Inspector if in doubt.

### Dunedin City Council Private Drainage plans incomplete.

WARNING. The Dunedin City Council's private drainage records (plans) prior to 1 January 1993 may be incomplete or not clearly recorded. Owners therefore are advised to carry out work with due care to avoid damage to any private drain not detailed because of the lack of information filed in the Council's records.

### Building and Drainage Information

Drainage plans on file are indicative only.

Obtaining your own independent review may be required before commencing drainage works.

### Form 5 (building consent) copy

This property contains building consent application/s where a copy of the building consent (Form 5) is not able to be provided.

This may be due to the age of the consent and/or processes that were in place at the time.

### Building and Drainage Consents

The following consents are recorded for this property:

Status Key:	BC	-	Building Consent Issued
	CCC	-	Code Compliance Certificate Issued
Archived	/CCC	-	In accordance with section 93(2)(b) of the Building Act, the consent was reviewed for code compliance after two years. Compliance with the Building Code could not be established and therefore the Code Compliance Certificate has been refused.
Refused		-	
	Lapsed	-	Work has not commenced and no extension of time applied for within 12 months of date of consent issue. Consent is of no further effect

NOTE: This is not a comprehensive list of all building consent statuses

[ABA-2005-310787](#) Building Consent - Add lounge/HWC/Kitchen/Window in bedroom one/Heater-logaire Hestia.

Lodgement Date	23-Dec-2005
Decision	Granted
Decision Date	16-Feb-2006
Current Status	<b>CCC Issued</b>
Previous Number	ABA54224
<i>(Applications before 2007)</i>	

[ABA-2005-309476](#) Building Consent - Additional Support to Retaining Wall Foundations  
Lodgement Date 29-Aug-2005  
Decision Granted  
Decision Date 30-Sep-2005  
Current Status **CCC Issued**  
Previous Number ABA52895  
(Applications before 2007)

[ABA-2021-2355](#) Building Consent - Alter Laundry in Dwelling, Install Toilet and retrofit insulation to walls as highlighted on plan  
Lodgement Date 13-Oct-2021  
Decision Granted  
Decision Date 08-Nov-2021  
Current Status **CCC Issued**  
Previous Number  
(Applications before 2007)

### Building and Drainage Permits

Building Permits were issued prior to the introduction of the Building Act 1992. Code Compliance Certificates were not required or issued for permits.

[H-1948-30740](#) AAB19480055  
gazette 46 - p1049 48ft building line restriction. The permit was lodged on 26-Aug-1948.

[H-1953-41201](#) AAB19530079  
15149 - Erect dwelling (Heenan). The permit was lodged on 23-Nov-1953.

[H-1901-114946](#) AAD19010233  
. - Sewer, No Plan sec 3331/1. The permit was lodged on 01-Jan-1901.

[H-1954-171616](#) AAD19540008  
F3271 - Plumbing and drainage (Heenan). The permit was lodged on 09-Apr-1954.

[H-1991-230751](#) AAD19910031  
M1185 - Stormwater drainage (Heenan). The permit was lodged on 20-Dec-1991.

For further explanation on the current status of any consent, or to enquire about information referred to on this page, please contact Building Control Staff between 8:30am and 5:00pm weekdays at the enquiries counter on the Ground floor of the Civic Centre, 50 The Octagon, Dunedin, or by phoning 477 4000.

## HAZARDS

### SITE HAZARDS

No records were found of land instability, potential erosion, avulsion, falling debris, subsidence, slippage, alluvion or inundation.

### Earthworks Permits

The following Earthworks Permits are recorded for this property

Parcel Description	LOT 13 DP 6782
Permit Date	17-Jan-2006
Reference	E1693
Description	Terracing and landscaping

The **Otago Regional Council** has produced a number of reports for the Dunedin City District which outline areas affected by natural hazards including slippage, flooding, subsidence and inundation.

These reports are publicly available and can be accessed here:

<https://www.orc.govt.nz/plans-policies-reports/reports-and-publications/natural-hazards>

These reports do not provide property specific information, and may not describe all natural hazards that affect the land that is the subject of this LIM report. We recommend that in addition to reading these reports, that you seek independent advice about how this property may be affected by natural hazards including natural hazards that are not described in the reports produced by the Otago Regional Council.

#### **Otago Regional Council - Natural Hazards Database**

The characteristics of general natural hazards in the vicinity of this property are also available on the Otago Regional Council's Natural Hazards Database.

<https://www.orc.govt.nz/managing-our-environment/natural-hazards/otago-natural-hazards-database>

## HAZARDOUS SUBSTANCES

### **WARNING – Change in legislation and management of hazardous substances**

On 1 April 2004, all Dunedin City Council Dangerous Goods Licences expired. From this date they became the responsibility of the Environmental Protection Authority (EPA) under the Hazardous Substances and New Organisms Act 1996. All new licences for hazardous substances were issued by independent Test Certifiers approved by the EPA. The Council no longer holds current information on the use of hazardous substances at these premises and hazardous substances may be present without the Council's knowledge. The Council was advised by the EPA in 2016 that Worksafe had taken over responsibility for managing Location Test certificates under the Hazardous Substances and New Organisms Act 1996. The EPA no longer hold any information in relation to Location Test Certificates If you have any questions, please contact Worksafe.

### **Contaminated Site, Hazardous Substances and Dangerous Goods Information**

No information

## ENVIRONMENTAL HEALTH

No records were found of Environmental Health involvement with this property.

## LICENSING

### **Health Licensing**

There are no records of any Health Licences for this property.

### **Liquor Licensing**

There are no records of any Liquor Licences for this property.

## CITY PLANNING

The information provided with this LIM on District Plan requirements and resource consents has been verified by City Planning in relation to the subject property only. All information included in relation to other land surrounding the site is indicative.

### **Accuracy of Boundaries**

Knowing the true location of the property boundaries on the ground is important in determining what can be carried out on the land under the District Plan and in determining whether the current activity complies with the District Plan or any resource consent. Please note that the Council's aerial photographs may not accurately depict the extent of the property. The Record of Title for the site should be checked in the first instance. A surveyor may need to be consulted to establish the true location of the title boundaries on the ground.

### **Access to Site**

The legality of any access to the site is important in determining what can be carried out on the land under the District Plan and in determining whether the current activity complies with the District Plan or any resource consent. It is recommended that the Record of Title and/or a lawyer be consulted regarding the legality of any legal and/or physical access to the site (and the maintenance thereof).

### **Heritage New Zealand Pouhere Taonga Act 2014**

The Heritage New Zealand Pouhere Taonga Act 2014 applies in addition to any protection provided to a building or site by the District Plan. The Heritage New Zealand Pouhere Taonga Act 2014 makes it unlawful for any person to destroy, or modify the whole or any part of an archaeological site, whether or not the land on which the site is located is designated, or a resource or building consent has been issued, without the prior authority of Heritage New Zealand. The Heritage New Zealand Pouhere Taonga Act 2014 defines an archaeological site as a place associated with pre-1900 activity, where there may be evidence relating to the history of New Zealand. Pre-1900 buildings are considered archaeological sites under the Heritage New Zealand Pouhere Taonga Act 2014 and are also often associated with subsurface archaeological remains that provide evidence of pre-existing use of the site. Council records may not necessarily identify the precise date upon which an existing building was constructed. Contact the Dunedin office of Heritage New Zealand for further information: [infodeepsouth@heritage.org.nz](mailto:infodeepsouth@heritage.org.nz) ; 03 477 9871.

### **Resource Management (National Environmental Standard for Assessing and Managing Contaminants in Soil to Protect Human Health) Regulations 2011**

The Resource Management (National Environmental Standard for Assessing and Managing Contaminants in Soil to Protect Human Health) Regulations 2011 came into force on 1 January 2012. The National Environmental Standard applies to any piece of land on which an activity or industry described in the current edition of the Hazardous Activities and Industries List (HAIL) is being undertaken, has been undertaken or is more likely than not to have been undertaken. (The current edition of the HAIL is available on the Ministry for the Environment website at [www.mfe.govt.nz](http://www.mfe.govt.nz).) Activities on HAIL sites may need to comply with permitted activity conditions specified in the National Environmental Standard and/or might require resource consent. (The Otago Regional Council should also be consulted for any rules in might have in regards to the use or development of contaminated sites.)

If a person wishes to establish whether a piece of land has had hazardous activities or industries conducted on it, and thus whether activities on that land are controlled by the National Environmental Standard, then the person must pay for a review of the information about the land held by the Council, or pay for a suitably qualified and experienced practitioner to undertake a preliminary site inspection.

Formal confirmation from the Council that resource consent is not required under the National Environmental Standard can only be given through a certificate of compliance application.

### **Consent Notices**

There are no Consent Notices recorded for this property. It is recommended that the applicant check the Record of Title for any notices or covenants that may affect the property.

### **District Plan Information**

Dunedin currently has two district plans, and as at 19<sup>th</sup> August 2024, the partially operative Dunedin City Second Generation District Plan ("The 2GP") almost completely superceded the 2006 version of the District Plan. The exceptions where the 2GP has not yet replaced the 2006 Plan relate to two specific provisions and several areas still subject to appeal.

As a general principle, rules in the 2GP must be considered along with the rules of the Operative District Plan 2006, until such time as the rules of the 2GP become operative, or are treated as operative. The policies and objectives of both plans should also be considered.

The schedule of original appeals on the 2GP can be viewed at <https://www.dunedin.govt.nz/council/district-plan/2nd-generation-district-plan/appeals-received-on-the-2gp>.

The schedule of appeals on Variation 2 can be viewed at <https://www.dunedin.govt.nz/council/district-plan/2nd-generation-district-plan/plan-change-dis-2021-1-variation-2>

The 2GP is subject to change at any time. Plan Change 1 (Minor Improvements) to the 2GP was notified on Wednesday 20 November 2024. Rules that protect areas of significant indigenous vegetation or habitats of indigenous fauna, and that protect historic heritage, have immediate legal effect from notification of Plan Change 1. Once the initial submission period ends on 18 December 2024, rules that do not have submissions in opposition to them will be deemed operative. Please refer to our website for more information on Plan Change 1 at <http://www.dunedin.govt.nz/2gp-plan-change-1> .

You should check with the Council whether any changes have occurred since the date this LIM report was issued. **The information provided with this LIM on district plan requirements is applicable as at the date this LIM is issued:** there may be changes to the district plan rules following the release of this LIM that may affect this site and surrounding properties.

You should ensure that you consult the information and relevant planning maps in the Operative District Plan which can be found on our website at <https://www.dunedin.govt.nz/council/district-plan/district-plan-2006> and the 2GP which can be found on our website at <https://www.dunedin.govt.nz/council/district-plan/2nd-generation-district-plan> as well as at all Dunedin City Council service centres and libraries.

### **OPERATIVE DISTRICT PLAN INFORMATION**

#### **Zoning**

This property is zoned as follows in the District Plan.

*Zone*

RESIDENTIAL 1

#### **Noise**

This property is located in a Noise Area where the noise limits outlined below apply.

Rule 21.5.1(i)(b) also specifies a maximum noise limit of 75 dBA Lmax between 9.00 pm on any night and 7.00 am the following day measured at the boundary of the site or within any other site. Note that some activities have a resource consent or existing use rights that allow these limits to be exceeded. Some activities are also exempted from noise limits. Furthermore, the actual limits that apply will also depend on whether this site adjoins a Noise Area Boundary and whether there are Special Audible Characteristics. Refer to Section 21.5 of the District Plan for further details. Every occupier of land is also under a general duty to adopt the best practicable option to ensure that the emission of noise from land does not exceed a reasonable level.

*Noise Zone*

50Dt/40Nt dBA, 45SP dBA

## **SECOND GENERATION PLAN INFORMATION**

### **Zoning**

- General Residential 1 (refer Section 15, Residential)

### **Scheduled Items**

- Nil

### **Overlay Zones**

- Landscape Overlay Zone (part only)
  - Type: Significant Natural Landscape (SNL)
  - Name: Flagstaff-Mt Cargill

### **Mapped Areas**

- Stadium Noise Leaflet Drop Mapped Area (part only)

[Please note that some of the items above may only extend over part of the property. If there are multiple designations over the property, these may overlap.]

### **Resource Consents**

There are no resource consents for this property.

### **RESOURCE CONSENTS WITHIN 50 METRES OF 17 NORTHFIELD AVENUE DUNEDIN**

#### **5011902 178 Signal Hill Road Dunedin**

[MTAC-2024-6](#) Marginal or Temporary Activity Notice Erection of deck requiring earthworks for deck supporting posts breaching required 1.5m setback from private foul sewer drain.. The outcome was Issued on 04/09/2024.

#### **5011907 22 Northfield Avenue Dunedin**

[LUC-2013-233](#) Land Use Consent install lap pool that breaches bulk and location requirements. The outcome was Granted on 05/07/2013.

[RMA-1988-352330](#) Resource Management Act (Historical Data) DWG ADDN Ownr:WATTS (Non-Notified - Non Complying). The outcome was Granted on 02/08/1988.

#### **5011908 24 Northfield Avenue Dunedin**

[LUC-2011-219](#) Land Use Consent deck addition in side yard. The outcome was Granted on 31/05/2011.

[RMA-2006-370424](#) Resource Management Act (Historical Data) ALTERATION TO RESIDENTIAL UNIT AND CONSTRUCTION OF GARAGE (Non-Notified - Restricted Discretionary). The outcome was Granted on 10/08/2006.

#### **5011911 25 Northfield Avenue Dunedin**

[LUC-2013-467](#) Land Use Consent construct a deck. The outcome was Granted on 17/12/2013.

[RMA-1991-353363](#) Resource Management Act (Historical Data) ADD 2ND STOREY TO BLDG Ownr:BOWIE / App: BOWIE (Non-Notified - Non Complying). The outcome was Granted on 04/12/1991.

**5011912 23 Northfield Avenue Dunedin**

[RMA-1999-363446](#) Resource Management Act (Historical Data) TO EXTEND AND EXISTING DWELLING THAT DOES NOT COMPLY WITH BULK AND LOCATION REQUIREMENTS (Non-Notified - Unrestricted Discretionary). The outcome was Granted on 15/10/1999.

**5011913 21 Northfield Avenue Dunedin**

[RMA-1992-355593](#) Resource Management Act (Historical Data) ER CARPORT Ownr: B J STEEL / App: BJ STEEL 21 NORTHFIELD AVENUE (Non-Notified - Non Complying). The outcome was Granted on 12/01/1993.

**5011916 15 Northfield Avenue Dunedin**

[RMA-1988-352392](#) Resource Management Act (Historical Data) ERECT CARPORT Ownr: WEBB (Non-Notified - Non Complying). The outcome was Granted on 27/10/1988.

**5012579 210 Signal Hill Road Dunedin**

[SUB-2021-11](#) Subdivision Consent Stage 2. The outcome was Staged Subdivision on 15/06/2021.

[SUB-2021-11](#) Subdivision Consent Stage 1. The outcome was Staged Subdivision on 15/06/2021.

[SUB-2021-11](#) Subdivision Consent A subdivision to create three residential lots, one amalgamated rural lot with esplanade strips and a crown hydro parcel.. The outcome was Granted on 15/06/2021.

If you would like a copy of any Resource Consent decision or advice on the current status and relevance of any planning matter referred to in the LIM, enquiries may be made at the Planning Enquiries desk on the Ground Floor of the Civic Centre, 50 The Octagon, or by phoning 477 4000 and asking for the Duty Planner. Planners are available at the Planning Enquiries desk to answer your enquiries between 8:30am and 5:00pm weekdays.

## TRANSPORT

No Transport information was found for this property

As of the 24th April 2015, the Transport Group no longer inspects the site as part of a LIM. Only the electronic records since 2002 have been examined and a desktop visual inspection of this property has been carried out.

If applicable, for further explanations on property owner obligations in regard to local road encroachments, vehicle entrances, vegetation management or retaining structures please refer to the Dunedin City Council website at <http://www.dunedin.govt.nz/services/roads-and-footpaths> or contact Transport on 477 4000.

For properties abutting the state highway, Waka Kotahi NZ Transport Agency is the Road Controlling Authority.

## 3 WATERS

### WATER

**Urban water supply area – Connected**

This property is connected to the Dunedin City Council's urban (on-demand) water supply. Indicative water pressures are available to view at [www.dunedin.govt.nz/water-pressure](http://www.dunedin.govt.nz/water-pressure), and flows available to the property can be provided on request. Any change in water use (e.g. for a new commercial activity) requires a new application to be made to the Council.

It is recommended that the applicant check the property for the location and suitability of the water service.

#### **Terms and conditions of supply**

All new and existing connections to the Dunedin City Council's water supply network are subject to the terms and conditions of the Dunedin City Council Water Bylaw 2011. The bylaw is available to view at [www.dunedin.govt.nz/water-bylaw](http://www.dunedin.govt.nz/water-bylaw).

#### **Water pressure**

Indicative network water pressure to the property is shown on maps available at [www.dunedin.govt.nz/water-pressure](http://www.dunedin.govt.nz/water-pressure). Specific detail is available on request.

#### **Water reticulation maps**

A copy of the water reticulation map of Dunedin City Council infrastructure in the vicinity of the subject property is attached. These show the location of the water main in the road. It may or may not show the water service to the property. It is recommended that the applicant check the property

## FOUL SEWER AND WASTE WATER

#### **Drainage Reticulation Plans**

A copy of the Dunedin City Council's drainage infrastructure in the vicinity of the subject property is attached. Public foul sewers are shown in red and stormwater sewers in green. All public drainage services are available to receive connections from the property and limited flows of stormwater may also be discharged to the street channel or an approved outfall.

#### **Stormwater/Sewer Separation - Compliant**

The Dunedin City Council requires the foul sewer and storm water being discharged from a property to be directed to the separate foul sewer and storm water networks, respectively. This property is in an area where inspections have been undertaken to ensure compliance with this requirement. This property was certified as complying with Council's requirements for storm water separation at the time of inspection on **29<sup>th</sup> August 1997**.

No comment is made with regard to this property's compliance with the requirement for storm water separation after the date of inspection.

#### **Restrictions near Council infrastructure**

There is Dunedin City Council water infrastructure located within the boundaries of this property, as shown on the attached reticulation plans.

Relevant deposited plans, certificates of title and memoranda of transfer at Land Information New Zealand ([www.linz.govt.nz](http://www.linz.govt.nz)) should be reviewed for information relating to any existing registered easements. However, as the Local Government Act 2002 (LGA) provides statutory rights for public infrastructure, easements are not always registered.

No building or structure shall be constructed within 2.5 metres of any Council-owned underground infrastructure, or as specified on any registered easement, without the written approval of the Council.

Infrastructure shall not be damaged or otherwise interfered with. Prior to commencing any works within the subject property, all Council-owned structures, mains and service pipes, and associated fittings are to be located on-site and, if necessary, protected.

The Council can enter the land to inspect, alter, renew, repair or clean its infrastructure under the LGA. For planned works, reasonable notice will be given.

Within new land subdivisions the Council requires an easement in gross over public water supply infrastructure. The easement in gross must be a minimum of 3 metres wide, centred on the as-built position, and made in accordance with the Dunedin Code of Subdivision and Development 2010: Section 6.3.10.3 (Water).

Planting near infrastructure should be avoided, particularly large trees or other species whose roots could cause damage.

#### **Information Regarding Watercourses**

The controlling authority for all water and waterbodies in Dunedin City is the Otago Regional Council. The Regional Plan: Water addresses water take and use, diversions, damming, discharges and bed alteration under the Resource Management Act 1991. They are also responsible for the Flood Protection Management Bylaw 2012.

The controlling authority for watercourses in relation to stormwater drainage, and removal of obstructions in accordance with Local Government Act 1974 is the Dunedin City Council. The Council also issues building and resource consents for certain works around watercourses.

Not all watercourses within Dunedin City are recorded or known to the Council, therefore it is recommended that the applicant inspect the property for watercourses.

For further information on watercourses it is recommended the applicant read the Watercourse Information Sheet. A copy of this document is available on request or for download from the Dunedin City Council website [www.dunedin.govt.nz](http://www.dunedin.govt.nz)

## APPENDIX

### **Glossary of terms and abbreviations**

The following are abbreviations and terms that may appear as a part of a LIM.

#### **Consent, Permit, Licence & Complaint types**

- AAB DCC Building permit
- AAD DCC Drainage permit
- AAG Green Island drainage permit
- AAH Hyde permit
- AAK St Kilda permit
- AAM Mosgiel permit
- AAP Port Chalmers permit
- AAS Silverpeaks permit
- AAT Maniototo permit
- ABA Application Building Act 1991
- AMD Amendment to a Building Consent
- BC Building Consent
- BCC Building Compliance Certificate - Sale of Liquor Act
- BCM Building Complaint
- CER Certifier
- COA Certificate of Acceptance
- DGL Dangerous Goods Licensing
- ENV Health complaint
- HTH Health licence
- LIQ Liquor licence
- NTF Notice to Fix
- NTR Notice to Rectify
- PIM Project Information Memorandum
- POL Planning Other Legislation
- RMA Resource Management Act - Resource consent
- RMC Resource consent complaint
- WOF Building Warrant of Fitness

#### **Terms used in Permits & Consents**

- ALT Alteration
- ADD Addition
- BD D/C Board drain in common
- BLD Building
- BLDNG Building
- BT Boundary trap
- B/T Boiler tube
- CCC Code Compliance Certificate
- DAP Drainage from adjacent property
- DGE Drainage
- DIC Drain in common
- DR Drainage
- DWG Dwelling
- FS Foul sewer
- HEA Heater
- ICC Interim Code Compliance
- MH Manhole
- PL Plumbing
- PLB Plumbing
- PTE Private
- SIS Sewer in section
- WC Water course
- WT Water table
- SW Stormwater

#### **General terms**

- RDMS Records and Document Management System



# Photographic Map

Scale at A4:

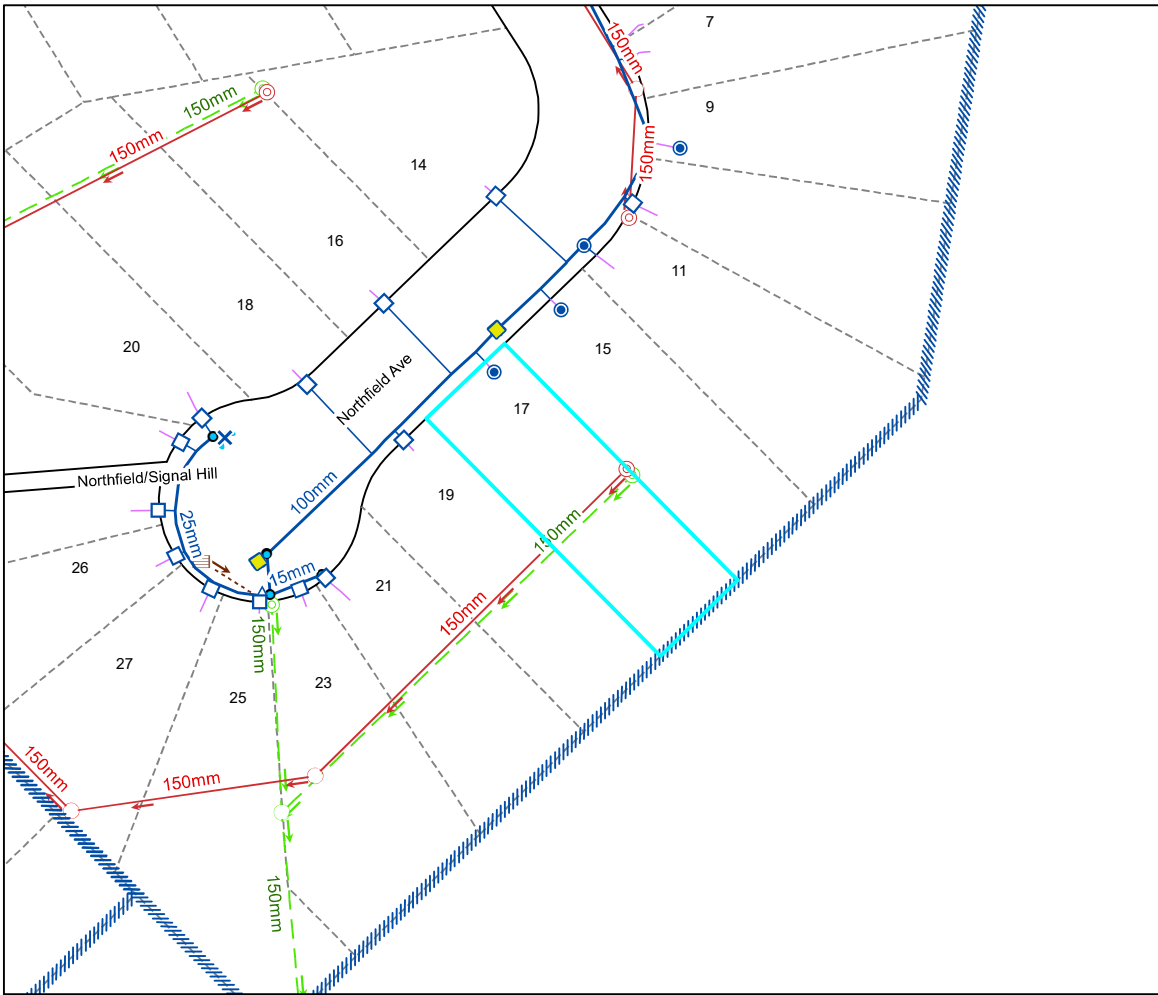
1:750

14/03/2025  
8:04:22 PM



PARCEL LINES CAN VARY FROM  
LEGAL PARCEL BOUNDARIES  
This map is for illustration purposes only  
and is not accurate to surveying, engineering  
or orthophotographic standards. Every effort  
has been made to ensure correctness and  
timeliness of the information presented.

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### Legend

<b>Water Supply</b>		Water Non-Return Valve
	Manifold Box	Water Pump Station
	Water Meter	Water Bore
	Toby	Water Treatment Plant
	Meter without manifold box	Water Storage Tank
	Retic Flow Meter	Supply Main
	Combination Meter	Trunk Main
	Manifold Box With Restrictor	Disused
	Water Valve - Zone	Retiulation
	Non Return Valve	Riser
	Water Valve - Gate	Water Service Lateral
	Water Valve - Sluice	Water Fire Service Lateral
	Water Hydrant	Water Critical Service Lateral
	Water Backflow Preventor - RPZ	Water Zone Boundary
		Water Reservoir
		Redundant Water Main
		<b>NOTE:</b> Private water services have the same symbols as those above, however they are coloured pink.
<b>Foul Sewerage</b>		Pump Station
	Standard Manhole	Treatment Plant
	Valve Chamber (pressurised)	Vent
	Boundary Kit	Foul Sewer Node
	Non-Return Valve	Foul Drains in Common (public)
	Pump Station Domestic	Sewer
	Drop Manhole	Trunk Sewer
	Inspection Manhole	Vent Line
	Inspection Opening	Rising Main
	Lampohole	Redundant Foul Sewer Pipe
	Outlet	<b>NOTE:</b> Private foul drains have the same symbols as those above, however they are coloured orange.
<b>Stormwater</b>		Roading Bubble-Up Tank
	SW Bubble-up Tank	Roading Mudtank
	SW Drop Manhole	Stormwater Main
	SW Insp Chamber and Grating Inlet	Stormwater Trunk Main
	SW Inspection Manhole	DCC Open Channel
	SW Inspection Opening	Piped WC
	SW Lampohole	Open WC
	SW Mudtank Inlet	Culvert
	SW Outlet	Stormwater Mudtank Pipe
	SW Pipe Inlet	Redundant Stormwater Main
	SW Pressure Manhole	SW Sump
	SW Standard Manhole	SW Pump Station
	SW Stormwater Node	<b>NOTE:</b> Private stormwater drains have the same symbols as those above, however they are coloured light green.
<b>General</b>		<b>Cadastral</b>
	DCC Water & Waste Structure	Parcel
	Railway Centreline	Road/Rail
		Motorway Parcels
		Strata
		Easment (where recorded)

Full legend can be viewed at <https://www.dunedin.govt.nz/council-online/webmaps/waterservices>



**Council Water & Drainage Services**

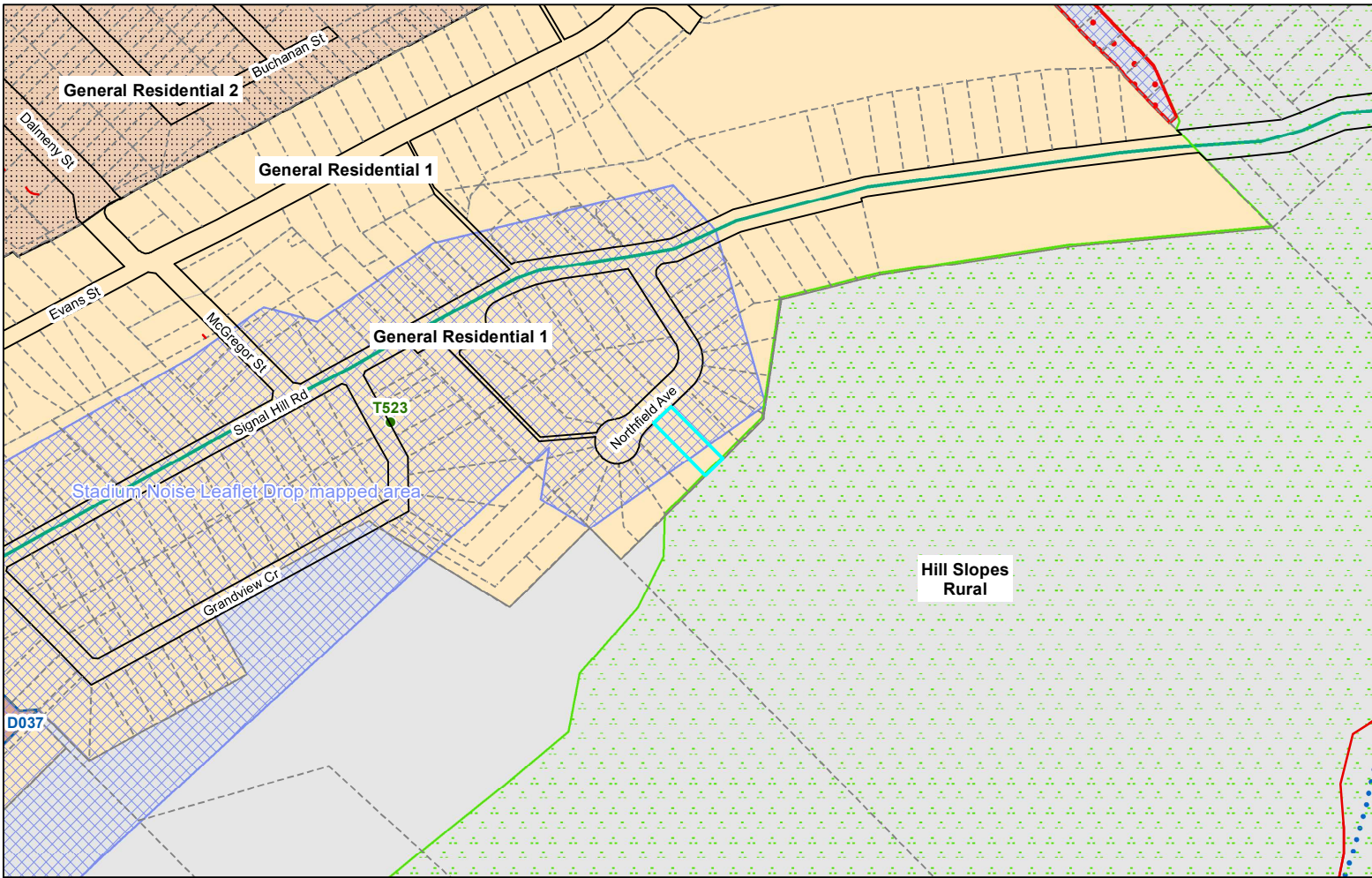
Information shown is the best available at the time of publishing. The accuracy and completeness of This information is variable. Private assets are typically not mapped. Recent changes may not be reflected. Verify on site before commencing work. For all enquiries phone 03 477 4000.

Scale at A4:  
**1:750**  
14/03/2025  
8:04:31 PM



PARCEL LINES CAN VARY FROM LEGAL PARCEL BOUNDARIES. This map is for illustration purposes only and is not accurate to surveying, engineering or orthophotographic standards. Every effort has been made to ensure correctness and timeliness of the information presented.

2018-2019 Urban, Copyright DCC/Aerial Surveys Ltd. Rural, ORC/Aerial Surveys Ltd. CC BY 4.0 NZ. Copyright DCC. CC BY 3.0 NZ.  
2006-2007 Urban photography March 2007, copyright NZAM. Rural photography March 2006, copyright Terralink International Ltd.



## Second Generation District Plan

Scale at A4:

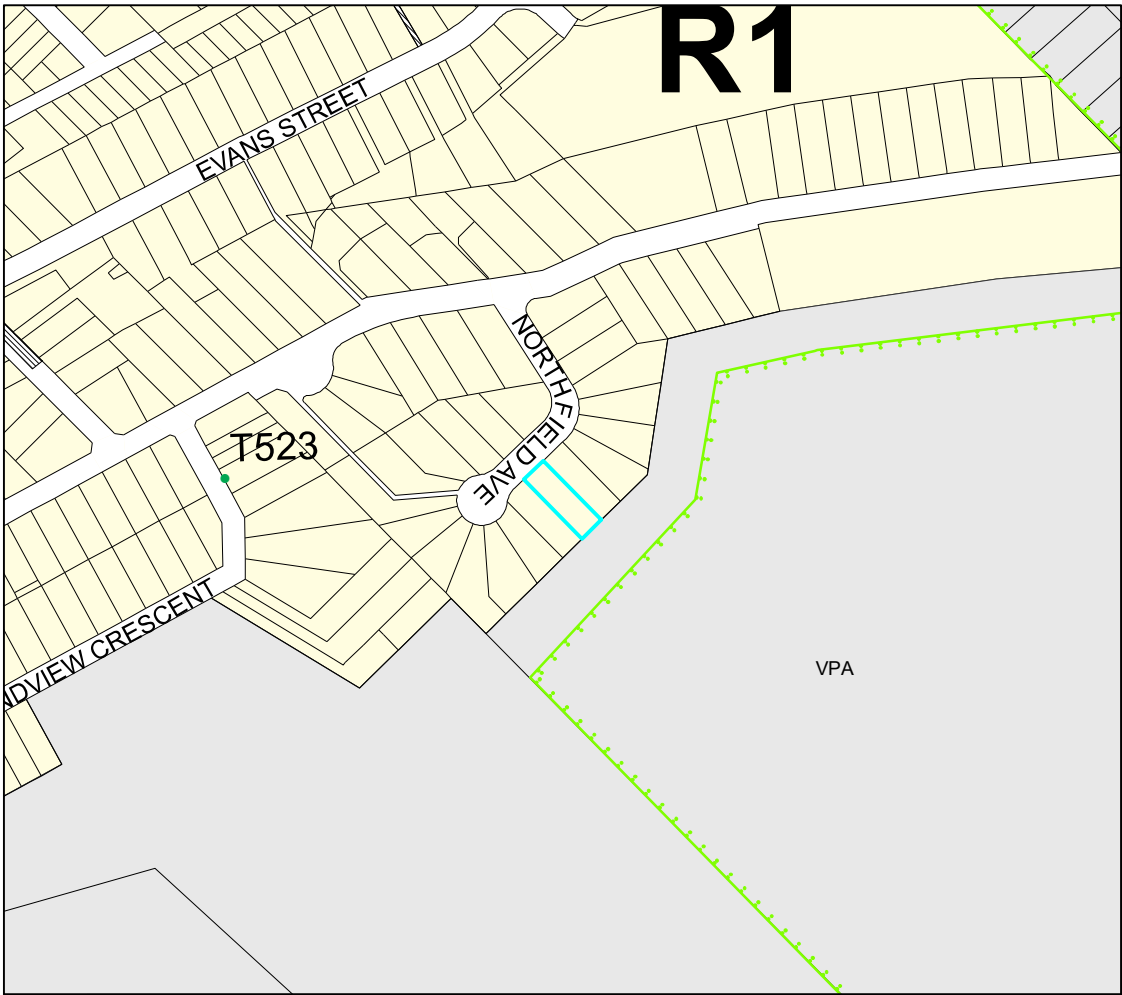
1:3,000

14/03/2025  
8:04:56 PM



PARCEL LINES CAN VARY FROM  
LEGAL PARCEL BOUNDARIES  
This map is for illustration purposes only  
and is not accurate to surveying, engineering  
or orthophotographic standards. Every effort  
has been made to ensure correctness and  
timeliness of the information presented.

2018-2019 Urban, Copyright DCC/Aerial Surveys  
Ltd. Rural, ORC/Aerial Surveys Ltd. CC BY 4.0 NZ  
2013 Urban and rural photography Jan/Feb 2013.  
Copyright DCC. CC BY 3.0 NZ  
2006/2007 Urban photography March 2007,  
copyright NZAM. Rural photography March  
2006, copyright Terralink International Ltd.



**Legend**

- Significant Trees
  - ◆ Transformer Structure
  - Transpower Lines
  - Heritage Structure
  - Heritage Facade
  - ⊗ DP Archaeological Sites
  - Airport Fan Designation 274 bdy
  - Port Height Restrictions
  - DP Designations
  - Urban Landscape Conservation Area
  - DP Tairāi Aerodrome
  - Restricted Water Supply Area
  - Ground Water Protection Zone A
  - Ground Water Protection Zone B
  - Public Roads not Legal
  - Unformed Legal Road
- Port & Airport Noise**
- XXXX Air Noise Boundary
  - XXXX Airport Outer Control Boundary
  - XXXX Outer Port Control Boundary
  - XXXX Port Noise Boundary
- Esplanade Requirement**
- ◆◆◆◆ Esplanade Reserve Required
  - ◆◆◆◆ Esplanade Strip Required
- Landscape Management Boundary**
- outside boundary
  - boundary between areas
  - prominence boundary
- Townscape**
- Townscape and Heritage Precinct Boundary - Internal
  - Townscape and Heritage Precinct Boundary
- Pedestrian Frontage**
- Identified Pedestrian Crossing
  - Verandah Required
- Areas of Significant Conservation Value boundary**
- ASCV Boundary
  - ASCV Boundary - Internal
  - Areas of Significant Conservation Value (Estuarine edge)
  - Areas of Significant Conservation Value (Wetland)

**Zones**

□	R1 - Residential 1 Zone
□	R2 - Residential 2 Zone
□	R3 - Residential 3 Zone
□	R4 - Residential 4 Zone
□	R5 - Residential 5 Zone
□	R6 - Residential 6 Zone
□	REA
□	Campus Zone
□	Airport Zone
□	Stadium Zone
□	CA - Central Activity Zone
□	LSR - Large Scale Retail Zone
□	LA1 - Local Activity Zone 1
□	LA2 - Local Activity Zone 2
□	I1 - Industrial 1 Zone
□	I2 or SD - Industrial 2 or Special Development Zone
□	Port 1 Zone
□	Port 2 Zone
□	RR - Rural Residential Zone
□	Rural Zone
□	H - Harbourside

Most detail not shown at scales smaller than 1:25,000  
 Optimal scale range is 1:2000 - 1:5000  
 This Planning Map is indicative.

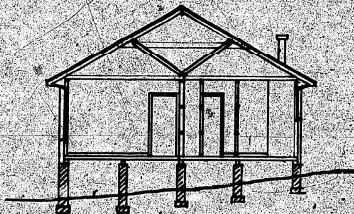
The official Planning Maps are compiled within the District Plan (Volume 2). This map is a representation of the official maps. However, due to the ability to display these maps at different scales, and the dynamic nature of the underlying cadastre, some inconsistencies or misalignment of data may be depicted which is not visible on the official maps. Consult Dunedin City Council for any clarification.

PROPOSED DWELLING FOR M<sup>r</sup> HEENAN

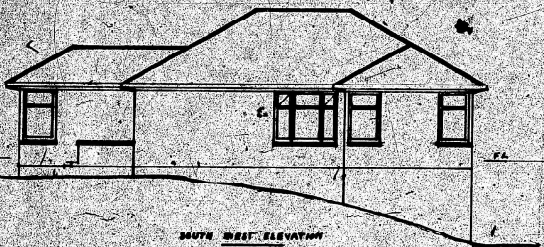
Scale 1/4" = 1 foot



EAST ELEVATION



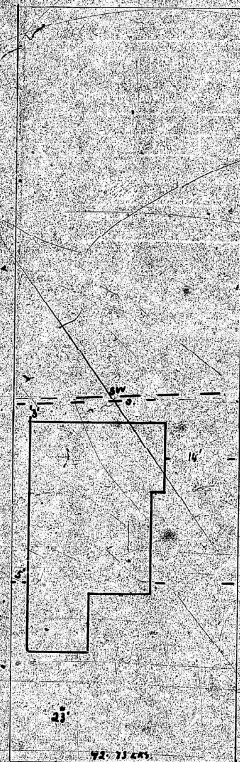
SECTION A-A



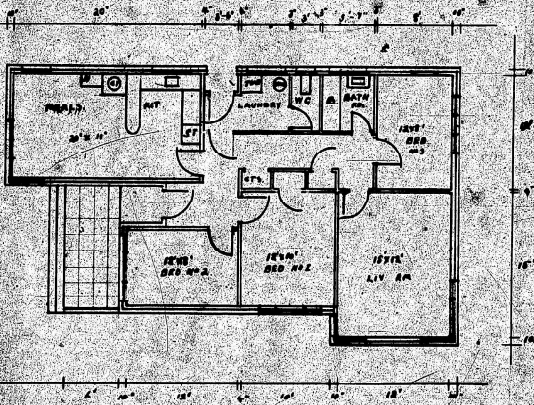
SOUTH WEST ELEVATION



SOUTH ELEVATION



410 P. 1876 COPY 3/2/11

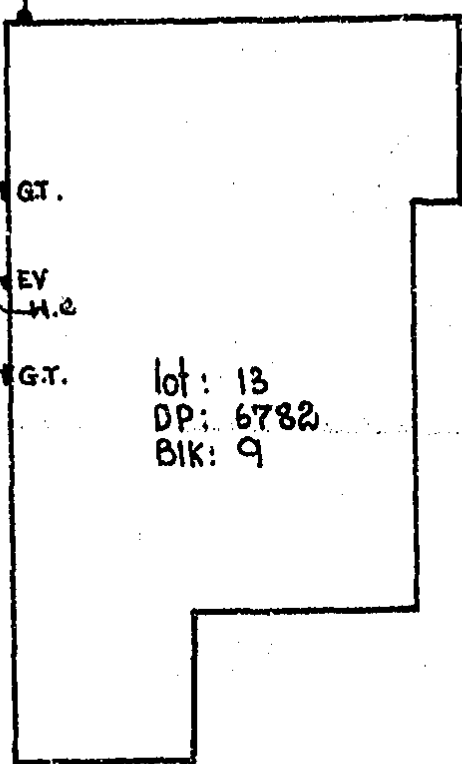
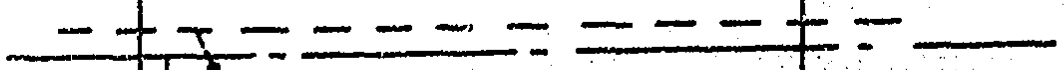


PLAN



NORTH ELEVATION

15449



GT.  
EV  
H.E  
1.0 GT.

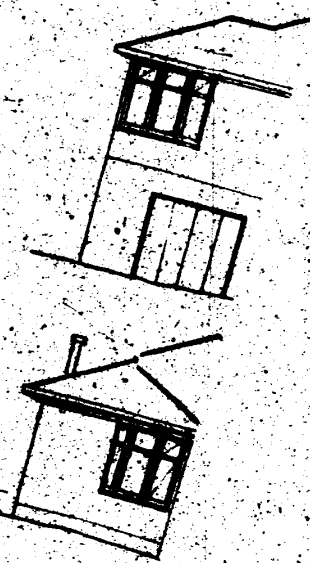
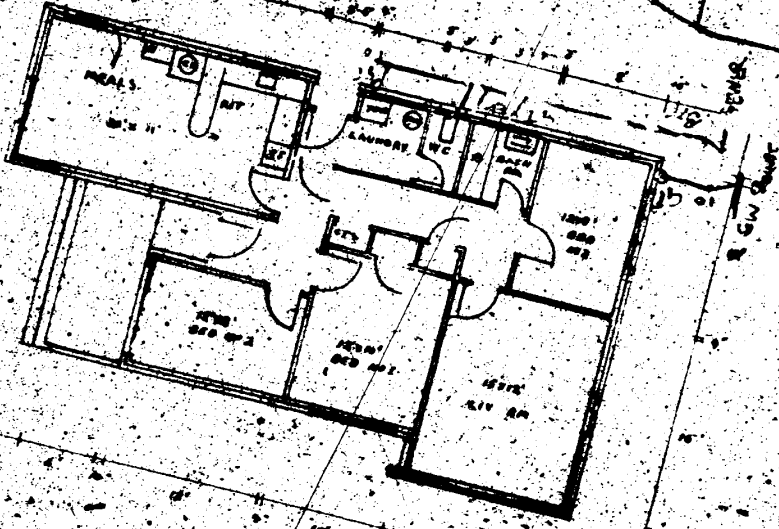
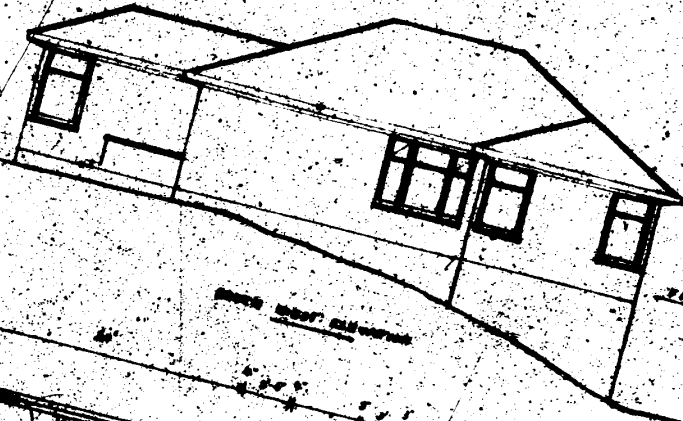
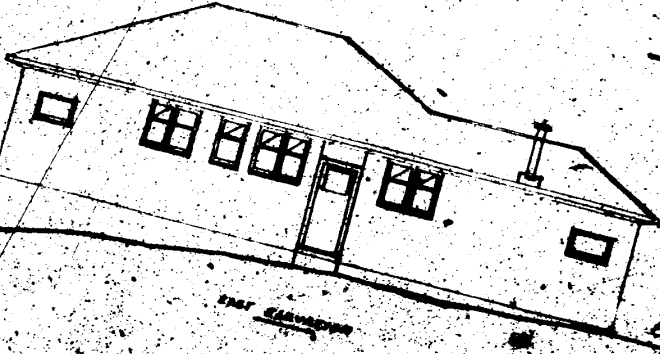
lot: 13  
DP: 6782  
BIK: 9

17

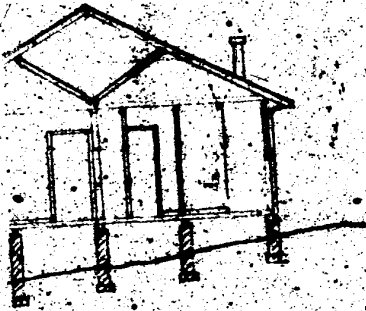
NORTHFIELD AVE

F3217

PROPOSED DWELLING FOR  
Use 4 - 1P.



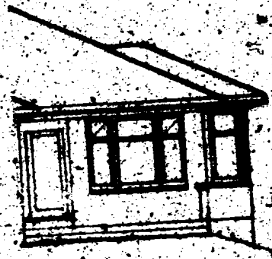
W. HEENAN



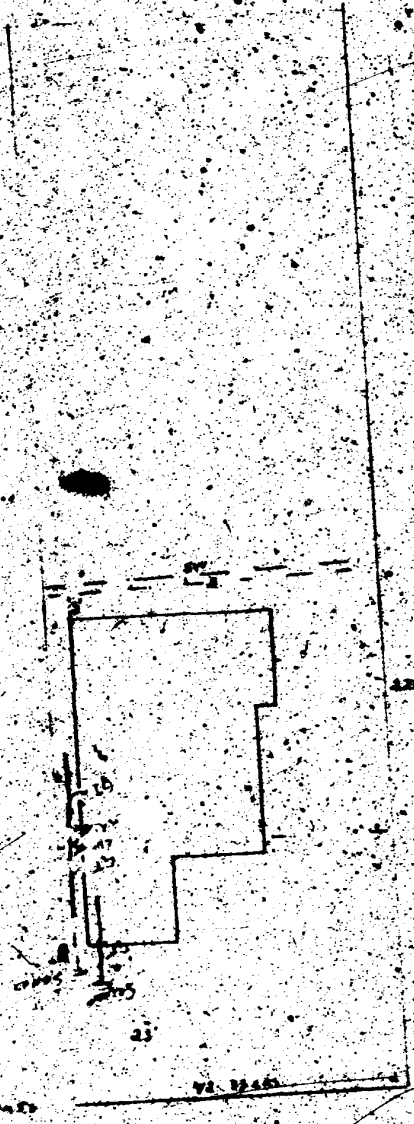
SECTION AA



SOUTH ELEVATION



E. ELEVATION



Legend  
- - - - - Existing Driveway  
- - - - - New Four-Brans  
- - - - - New Stone/Concrete Drivings

100' 0" LOT 100'

120' 0" 120' 0"

78' 0" 78' 0"

23

15

17

25

25

25

25

23

23

23

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23

23

# House Connection Plan

M/1185  
APPLICATION No.  
DATE 13-12-91

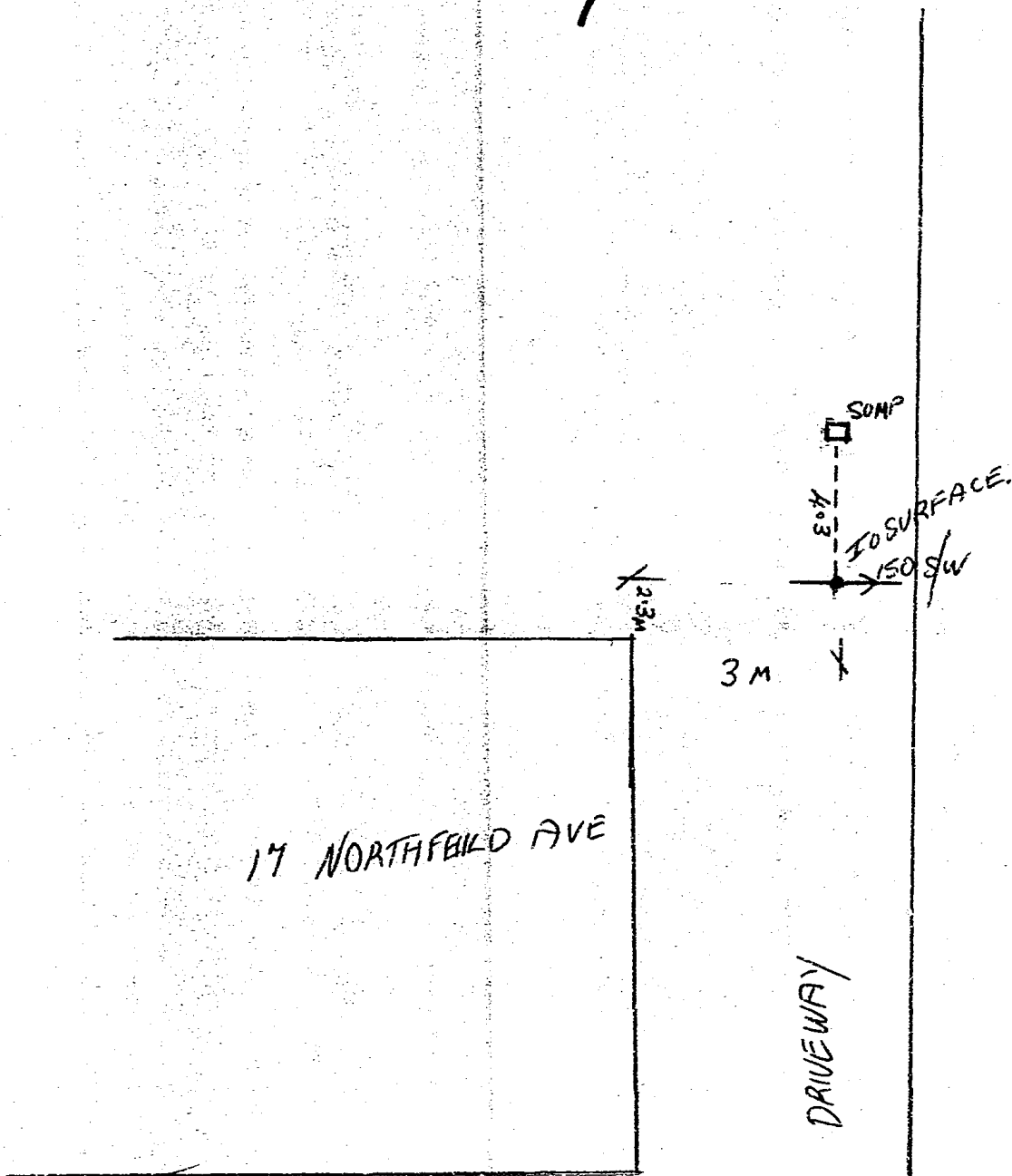
SCALE ( TO BE SHOWN ) \_\_\_\_\_

NEW SEWERAGE DRAINS: \_\_\_\_\_

EXISTING DRAINS: \_\_\_\_\_

STORMWATER: \_\_\_\_\_

M/1185 P.G.



RCC

Owner \_\_\_\_\_ Street & Locality \_\_\_\_\_

Block \_\_\_\_\_ Section \_\_\_\_\_ Allotment \_\_\_\_\_

**Code Compliance Certificate Form 7**  
Section 95, Building Act 2004

P A Daniel and J C K Daniel  
17 Northfield Avenue  
Dunedin 9010

**The building**

**Street address of building:** 17 Northfield Avenue Dunedin  
**Legal description of land where building is located:** LOT 13 DP 6782  
**Building name:** N/A  
**Location of building within site/block number:** N/A  
**Level/unit number:** N/A  
**Current, lawfully established, use:** Housing  
**Number of occupants:** **Year first constructed:** 1953

**The owner**

**Name of owner:** P A Daniel and J C K Daniel  
**Contact person:** P A Daniel and J C K Daniel  
**Mailing address:** 17 Northfield Avenue, Dunedin, 9010  
**Street address/registered office:**  
**Mobile:** 027 618 0084 **Landline:** 03 473 8888  
**Email address:** danfam@maxnet.co.nz  
**First point of contact for communications with the building consent authority:** As above

**Building work**

**Building Consent Number:** ABA-2005-309476 - Additional Support to Retaining Wall Foundations  
**This CCC also applies to the following amended consents:** N/A  
**Issued by:** Dunedin City Council

**Code Compliance**

The building consent authority named below is satisfied, on reasonable grounds, that-  
(a) The building work complies with the building consent

This Certificate is issued subject to the conditions specified:

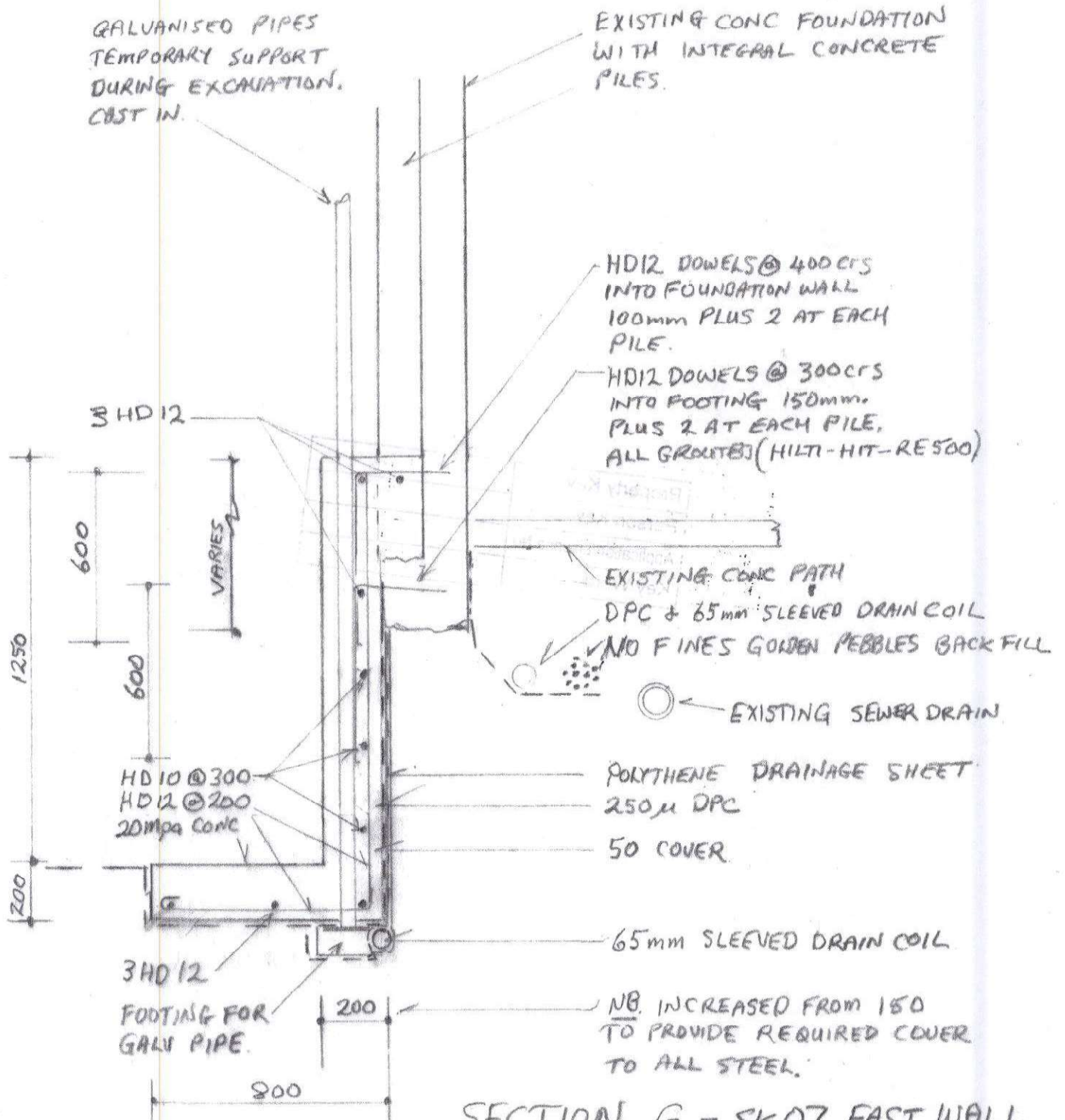
The Building Consent is subject to a modification to the Building Code to the effect that, Clause B2.3.1 applies from 20 May 2022 instead of from time of issue of the Code Compliance Certificate.



**Team Leader Inspections**  
**On behalf of Dunedin City Council**

Date: 2 August 2024

# AS BUILT



SECTION G - SK07 EAST WALL

17 NORTHFIELD AVE	STRUCTURAL ALTERATIONS FOR DANIEL		
OPOH 9001	AS BUILT.	CONSENT NUMBER ABA-2005-309476	
DUNEDIN.	SK 15A.	29 APRIL 2022.	ROGER JONES.

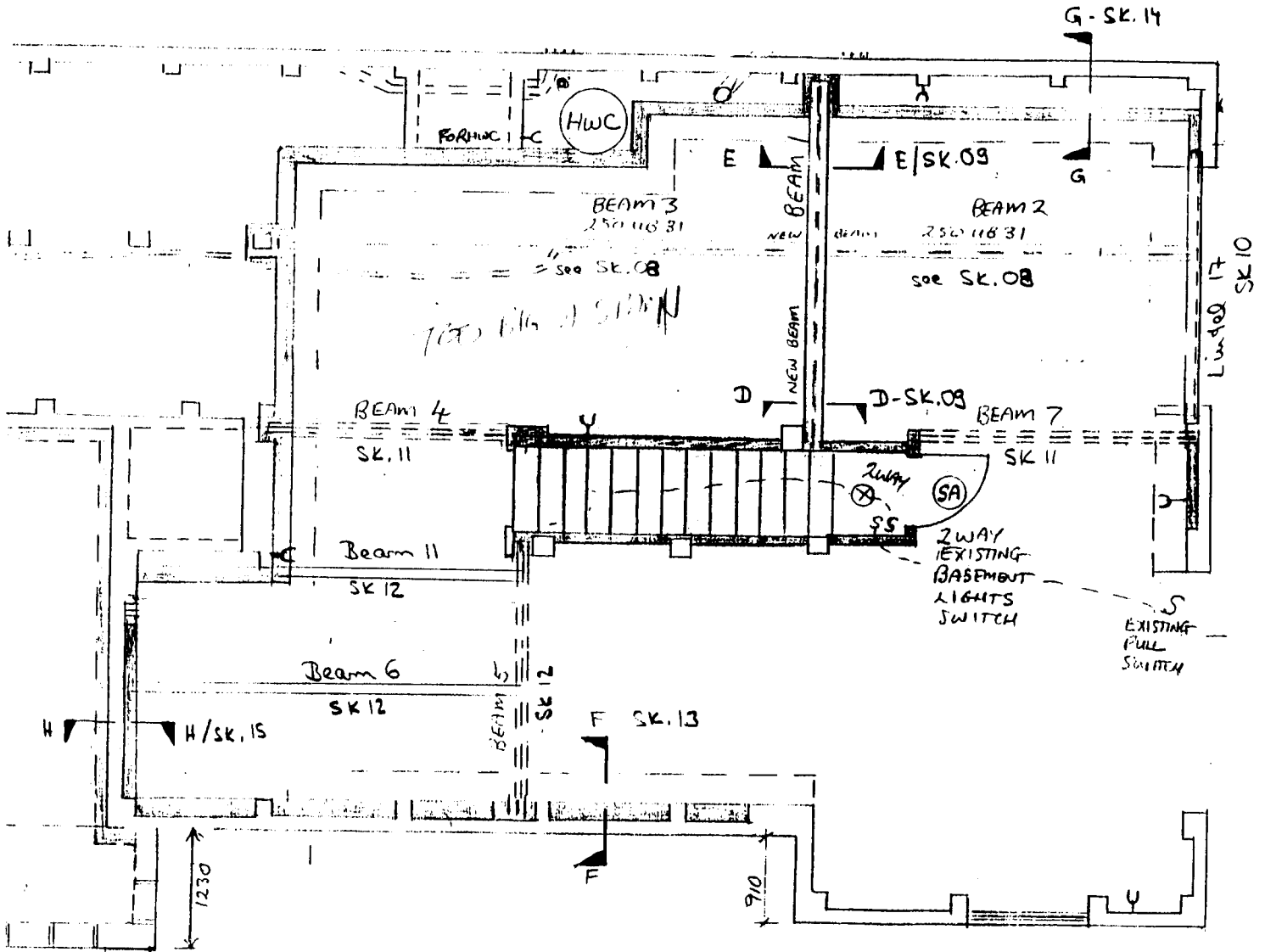
Property Key	
Person Key	
Application/Licence No	ABA-2005-309476.
Key Word	AS BUILT

FOUNDATION DETAIL.

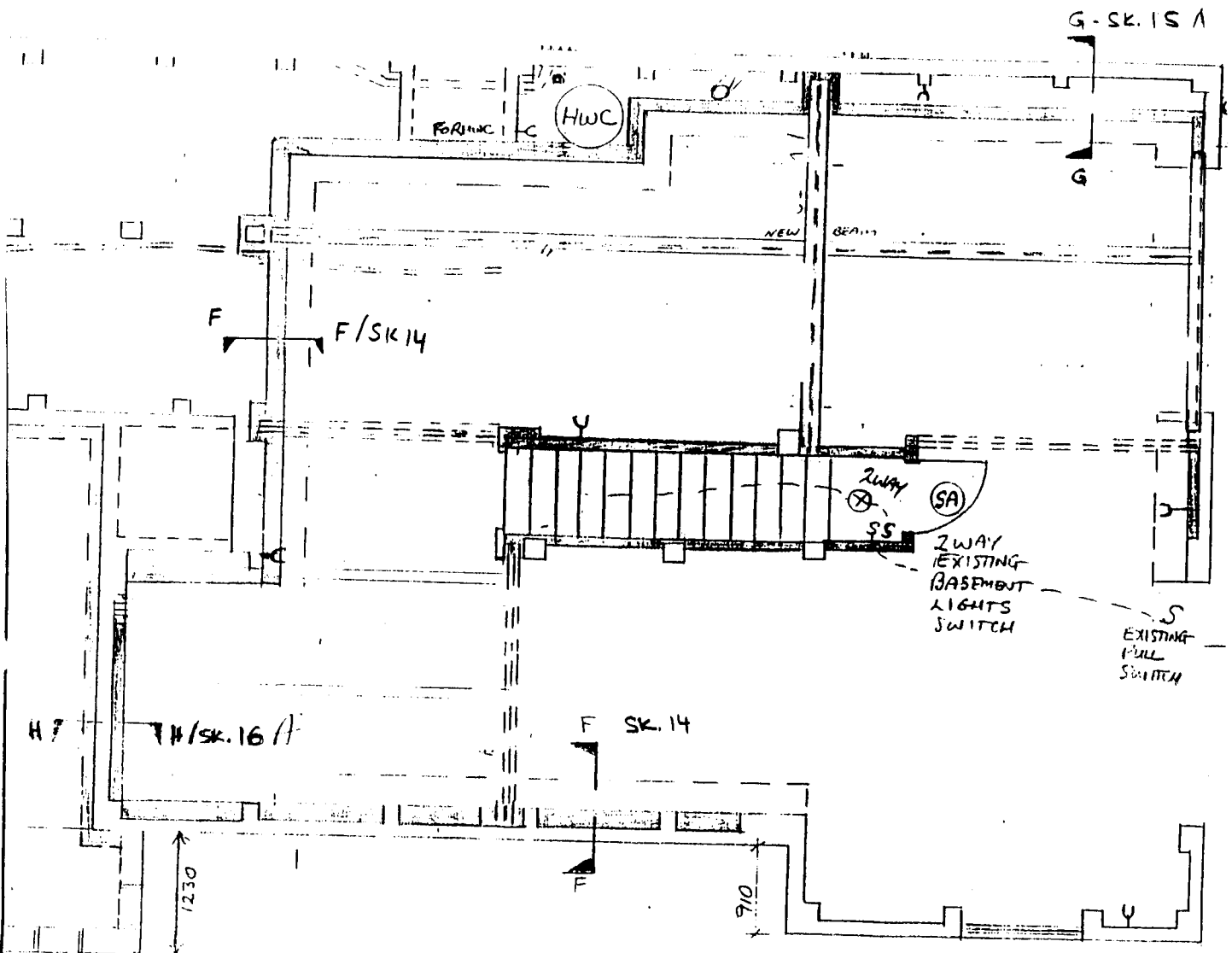
Structural alterations  
52895  
for Daniel

Page No.  
SK.07  
Made by: JP  
Date: 07/05

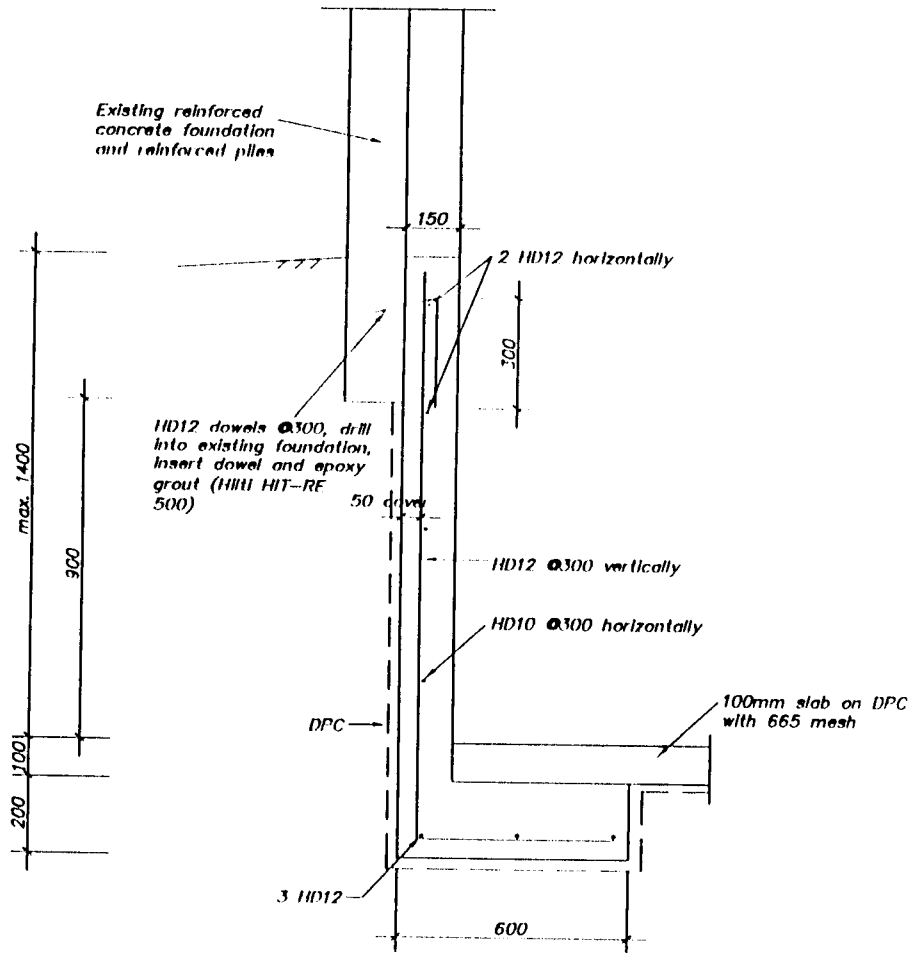
Basement: Ceiling beams



Basement: Foundations

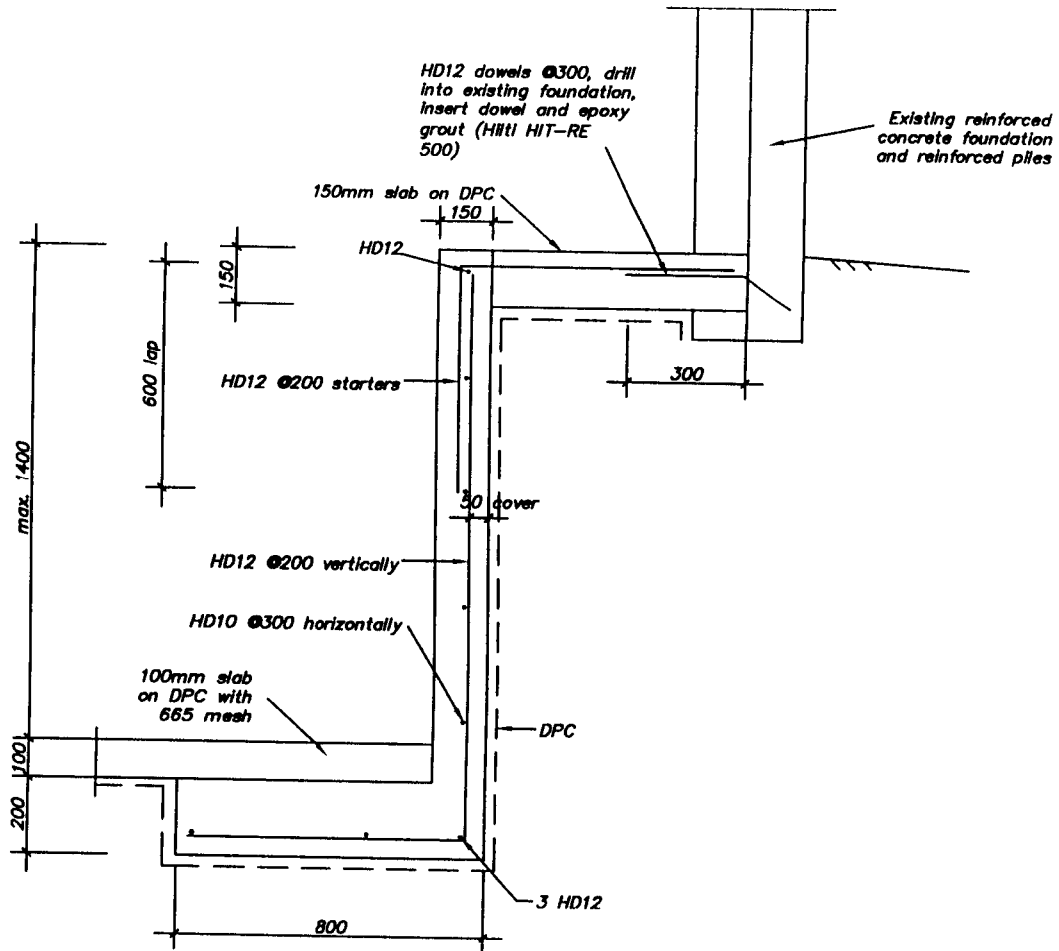


52895 - - - c



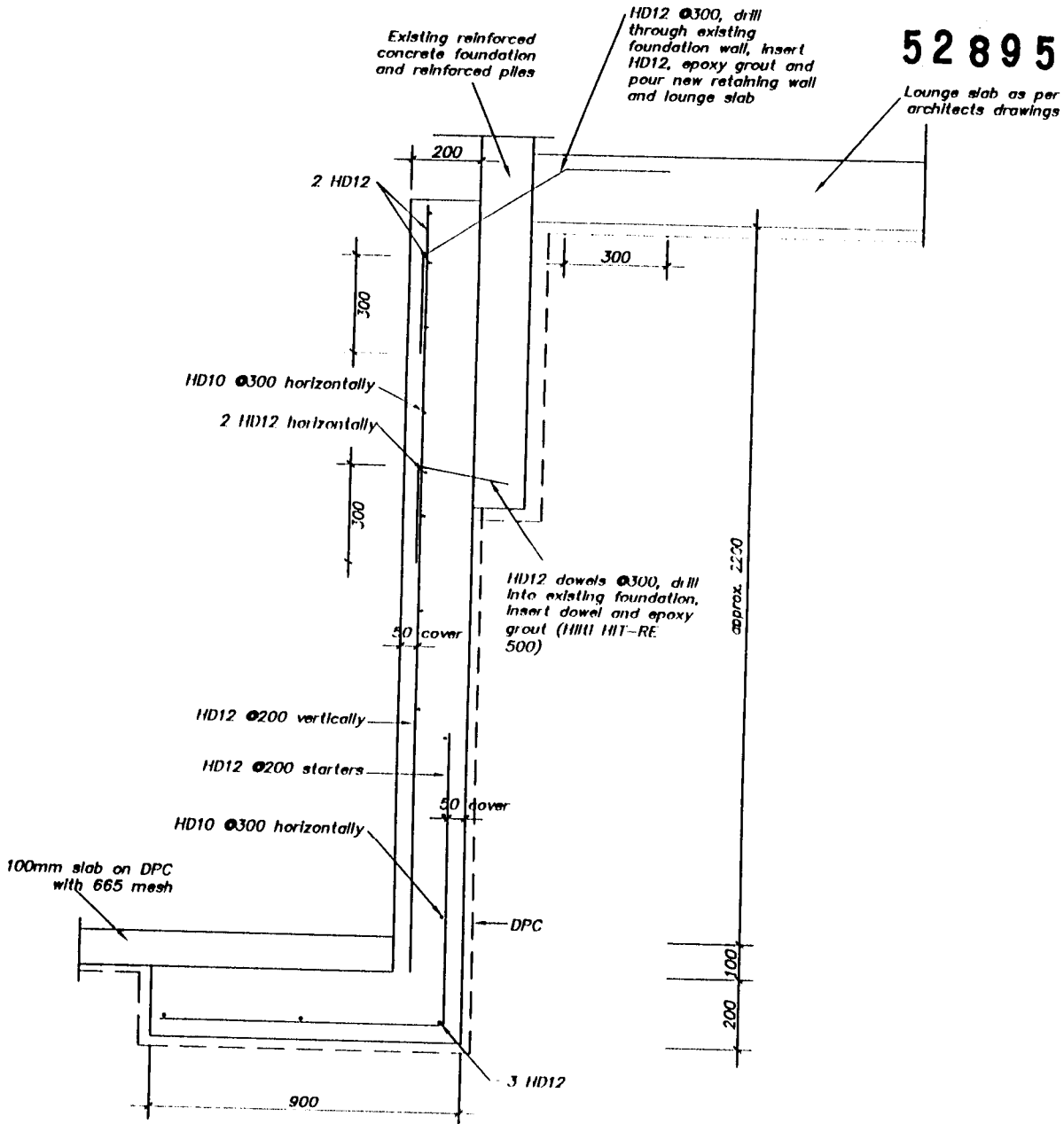
SECTION F  
SK07

52895



SECTION **G**  
SK07

52895



SECTION H  
SK07

52895

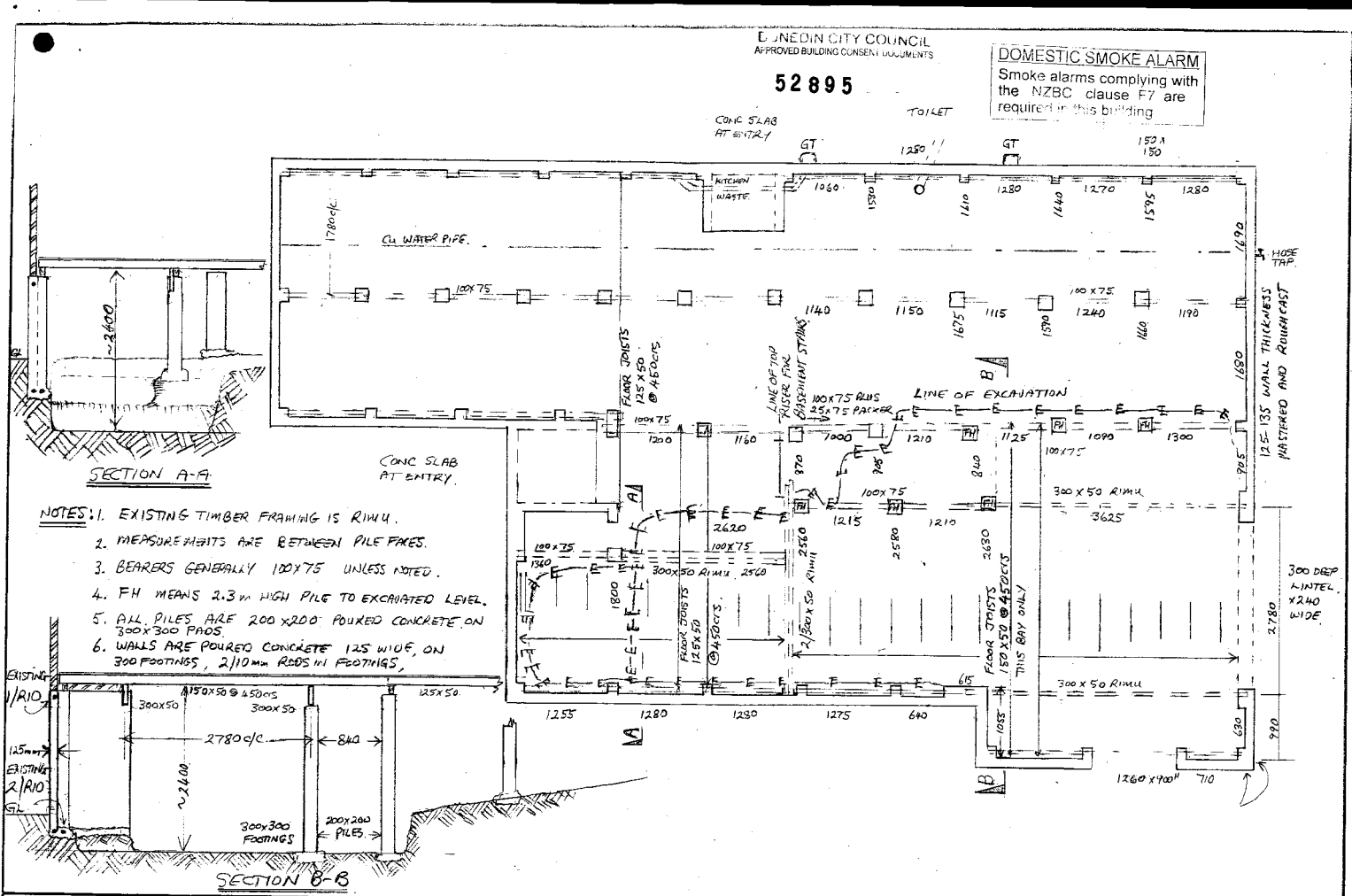
INSPECTIONS SCHEDULE

In Ground	Ground Foundations Basement tanking
-----------	---

52 895

**DOMESTIC SMOKE ALARM**

Smoke alarms complying with the NZBC clause F7 are required in this building



- NOTES:**
1. EXISTING TIMBER FRAMING IS RIMU.
  2. MEASUREMENTS ARE BETWEEN PILE FACES.
  3. BEARERS GENERALLY 100X75 UNLESS NOTED.
  4. FH MEANS 2.3m HIGH PILE TO EXCAVATED LEVEL.
  5. ALL PILES ARE 200 X 200 POURED CONCRETE ON 300 X 300 PAOS.
  6. WALLS ARE POURED CONCRETE 125 WIDE, ON 300 FOOTINGS, 2/110mm RODS IN FOOTINGS.

DRAWN: ROGER JONES  
33 ERIN ST  
DUNEDIN  
PL 477 1412

**EXISTING FOUNDATIONS**

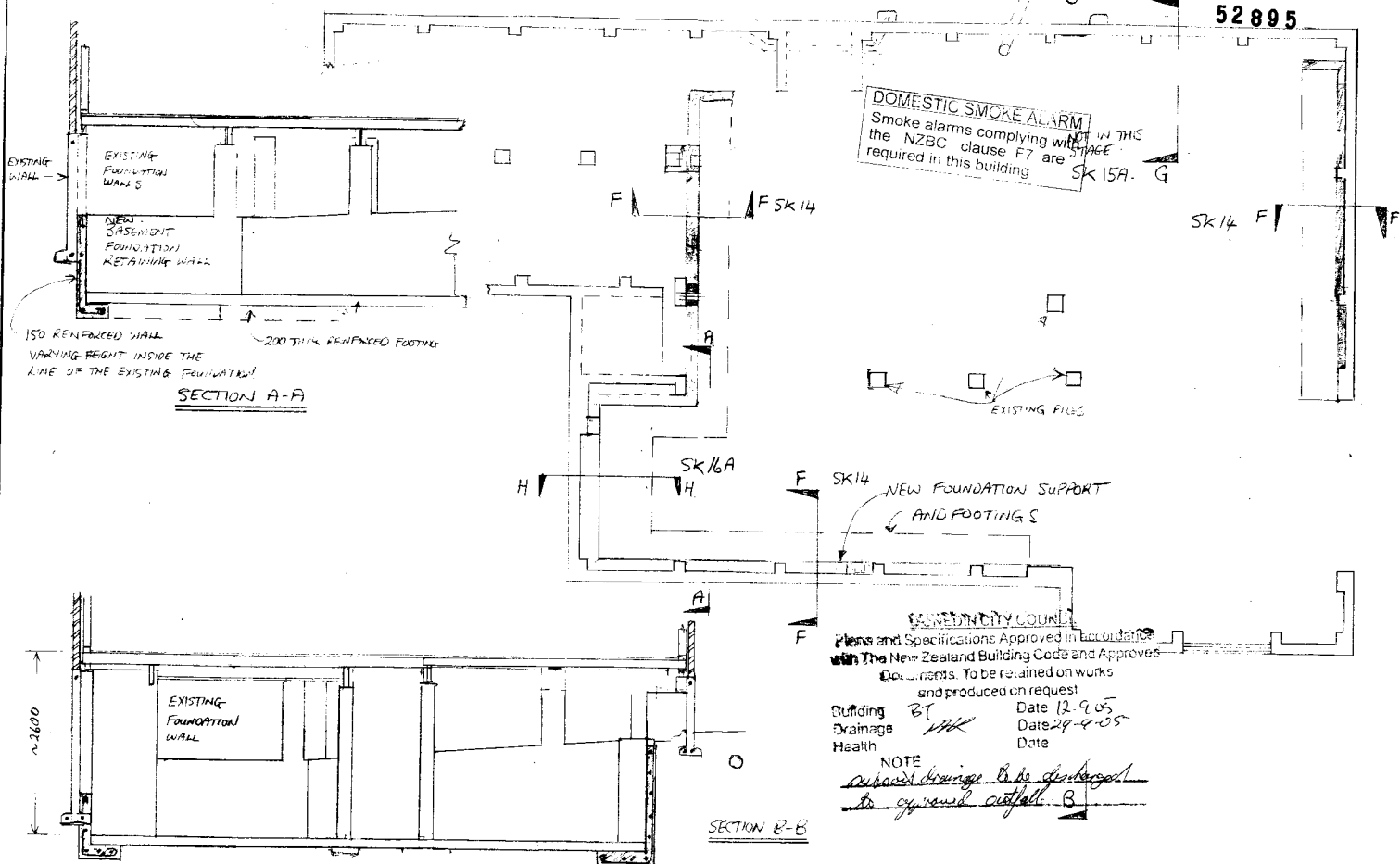
REV A	2. AUG 04 AS MEASURED FOUNDATIONS
REV B	24 AUG 04 FOR PERMIT

F & P DANIEL  
17 NORTHFIELD AVE  
OPOHIO

DRAWN RBY	CHECKED	SCALES	SHEET 1
TRACED RBY	DATE 2-AUG-04	1:50	

SHEET 1
SERIES OF
REF

52895



**DOMESTIC SMOKE ALARM**  
Smoke alarms complying with the NZBC clause F7 are required in this building  
SK 15A. G

DUNEDIN CITY COUNCIL  
Plans and Specifications Approved in accordance with The New Zealand Building Code and Approved Documents. To be retained on works and produced on request.  
Building BT Date 12-9-05  
Drainage MK Date 29-4-05  
Health Date

NOTE  
Subsoil drainage to be discharged to ground surface B

DRAWN - ROGER JONES  
33 ERIN ST  
DUNEDIN  
PH 477 1412

PROPOSED  
BASEMENT  
REINFORCEMENT

REV A	4-AUG	FOR ENGINEERING
REV D	22-11-05	FOR PERMIT

FOUNDATION REINFORCEMENT -			SHEET
J & P DANIEL			2
17 NORTHFIELD AVE - OPONO			SERIES OF
DRAWN J.C.J.	CHECKED	SCALE	REF
TRACED P.L.	DATE 22-11-05	1:50	

## CODE COMPLIANCE CERTIFICATE

DCCBCA-F4-07-v3.0

Section 95, Building Act 2004

CCC NO:	ABA-2005-310787	Telephone No:	03 477 4000
<b>APPLICANT</b>		<b>PROJECT</b>	
P A Daniel and J C K Daniel 17 Northfield Avenue Dunedin 9010		<b>Work Type:</b> Additions & Alterations  <b>Intended Use/Description of Work:</b> Add lounge/HWC/Kitchen/Window in bedroom one/Heater-logaire Hestia.	
<b>PROJECT LOCATION</b>		<b>Intended Life:</b> Indefinite, not less than 50 years.	
17 Northfield Avenue Dunedin			
<b>LEGAL DESCRIPTION</b>		<b>This CCC also applies to the following Amended Consents:</b> N/A	
<b>Legal Description:</b> LOT 13 DP 6782			
<b>Valuation Roll No:</b> 26760-04300 <b>Building Name:</b> N/A			

The Building Consent Authority named above is satisfied, on reasonable grounds, that:

The building work complies with the Building Consent, and

This Certificate is issued subject to the conditions specified:

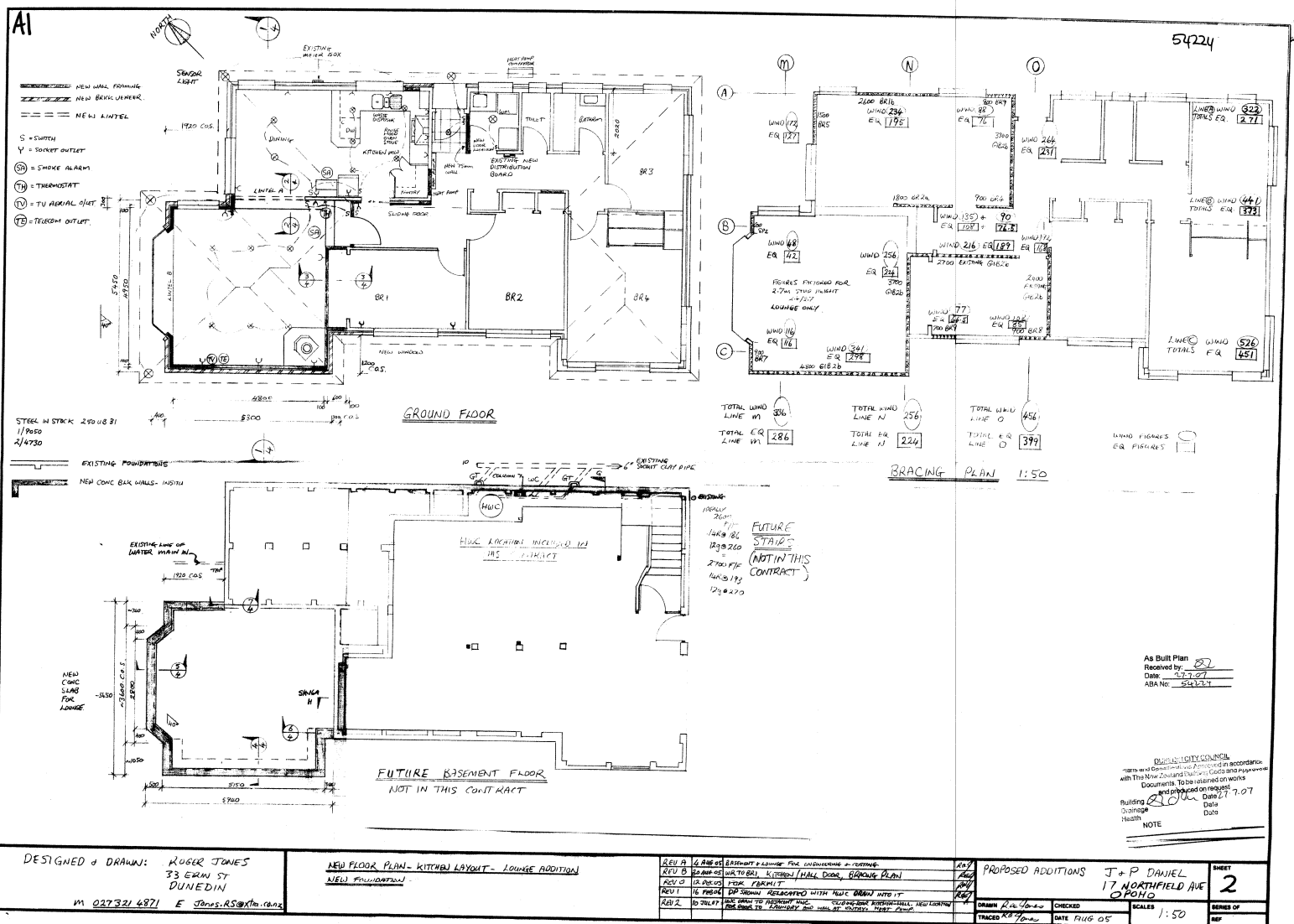
The Building Consent is subject to a modification to the Building Code to the effect that, Clause B2.3.1 applies from 28 August 2006 instead of from time of issue of the Code Compliance Certificate.

**Signed for and on behalf of the Council:**



**Team Leader Inspections**

Date: 14 May 2014



AI

54224

- NEW WALL FORMING
- NEW BEVEL LINEN
- NEW LINTEL
- S = SWITCH
- V = SOCKET OUTLET
- ⊕ = SMOKE ALARM
- ⊖ = THERMOSTAT
- Ⓜ = TV AERIAL JACKET
- Ⓟ = TELEPHONE OUTLET

GROUND FLOOR

BRACING PLAN 1:50

FUTURE BASEMENT FLOOR  
NOT IN THIS CONTRACT

TOTAL WIND LINE W1	336	TOTAL WIND LINE N	256	TOTAL WIND LINE O	456
TOTAL EQ LINE W1	286	TOTAL EQ LINE N	224	TOTAL EQ LINE O	399

WIND FIGURES EQ FIGURES

FUTURE STAIRS (NOT IN THIS CONTRACT)

As Built Plan  
Received by: [Signature]  
Date: 07.07  
ABA No: 544124

COUNCIL CITY COUNCIL  
Terms and Conditions apply in accordance with the New Zealand Building Code and Regulations. To be obtained on works and approved on request.  
Building Date: 07.07  
Health Date: [Blank]  
NOTE

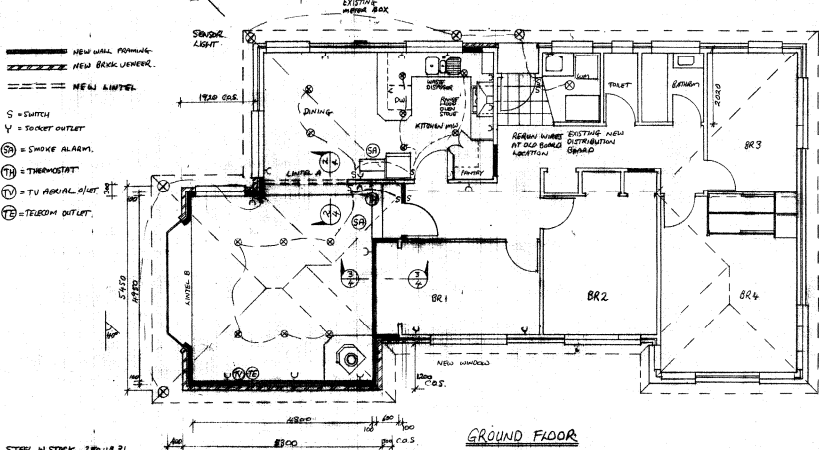
DESIGNED & DRAWN: ROGER JONES  
33 ERIN ST  
DUNEDIN  
M 027321 4871 E JONES.RS@Xtra.co.nz

NEW FLOOR PLAN - KITCHEN LAYOUT - LOUNGE ADDITION  
NEW FOUNDATION

REV A	6 ANGLES BARRIERS & LINING FOR EXISTING WALLS	REV	ADD
REV B	ADD WALL TO BR1, KITCHEN / HALL DOOR, BRACING PLAN	REV	ADD
REV C	12 DOORS FOR STAIRS	REV	ADD
REV 1	16 PROPS	REV	ADD
REV 2	10 TRAYS	REV	ADD

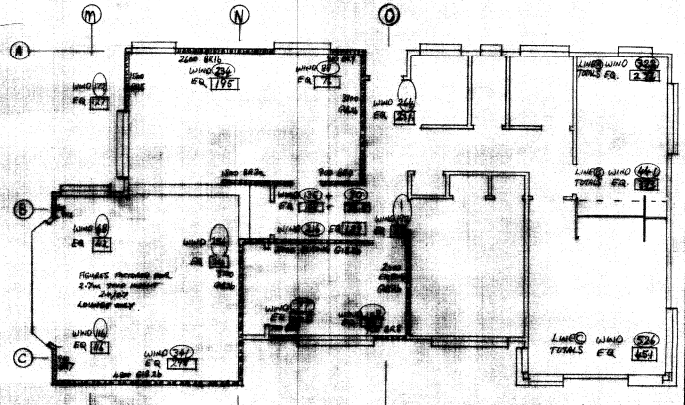
PROPOSED ADDITIONS J + P DANIEL  
17 NORTHFIELD AVE  
DUNEDIN  
DRAWN: [Signature] CHECKED: [Signature] DATE: AUG 05  
SCALE: 1:50

SHEET 2  
SERIES OF [Blank]  
REP



GROUND FLOOR

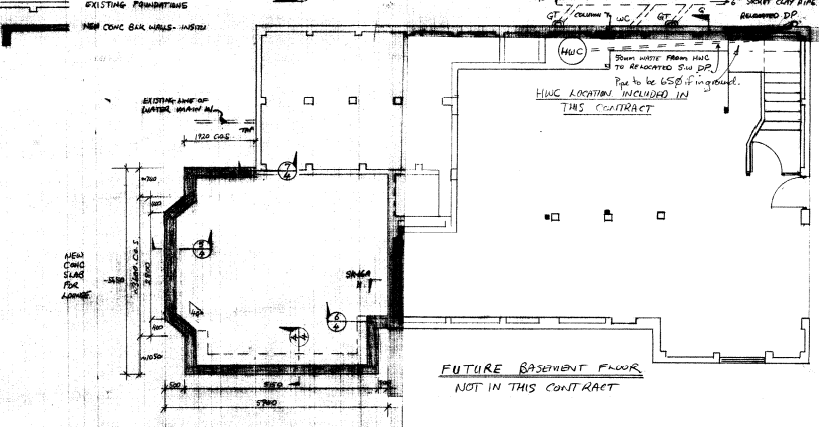
STEEL W/ STRONG 280 UB 21  
11/950  
2/4730



BRACING PLAN 1:50

TOTAL WIND LINE W1	284	TOTAL WIND LINE W2	284	TOTAL WIND LINE W3	464
TOTAL FR LINE W1	286	TOTAL FR LINE W2	284	TOTAL FR LINE W3	378

WIND PEAKS EA. PEAKS



FUTURE BASEMENT FLOOR  
NOT IN THIS CONTRACT

FUTURE STAIRS  
(NOT IN THIS CONTRACT)  
1400x2600  
1290x260  
2700x180  
1400x180  
1290x270

Plumbing and Drainage  
To comply with approved documents G18AS1 & 2

DOMESTIC SMOKE ALARM  
Smoke alarms complying with the NZSC clause 77 are required in this building.

For the final inspection of your heating appliance please ensure that access is available to the ceiling space if required and that the ceiling plates left unattached.

Installation shall be in accordance with AS/NZS 2918:2001 with particular reference to the need for seismic restraint.

54224

DESIGNED & DRAWN: ROGER JONES  
33 GRAN ST  
DUNEDIN  
M 027324 4871 E Jones.AS@xtra.co.nz

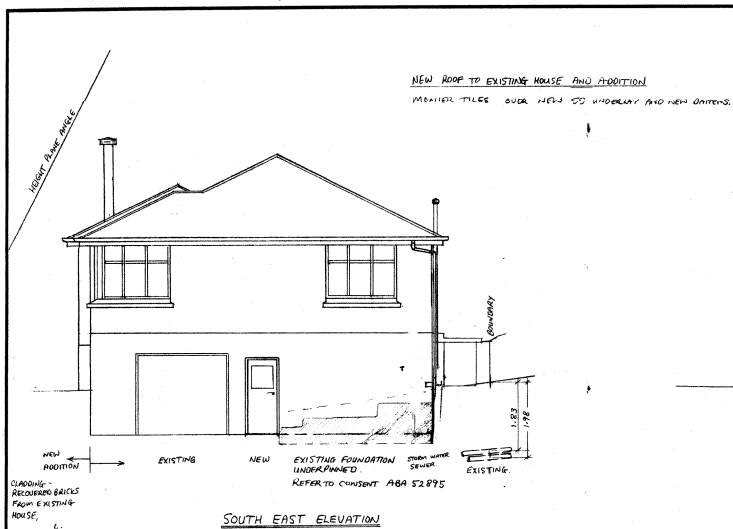
NEW FLOOR PLAN - KITCHEN LAYOUT - LOUVER ADDITION  
NEW FOUNDATIONS

APPROVED FOR BUILDING PERMITS FOR THE PROPOSED ADDITIONS  
APPROVED FOR BUILDING PERMITS FOR THE PROPOSED ADDITIONS  
APPROVED FOR BUILDING PERMITS FOR THE PROPOSED ADDITIONS

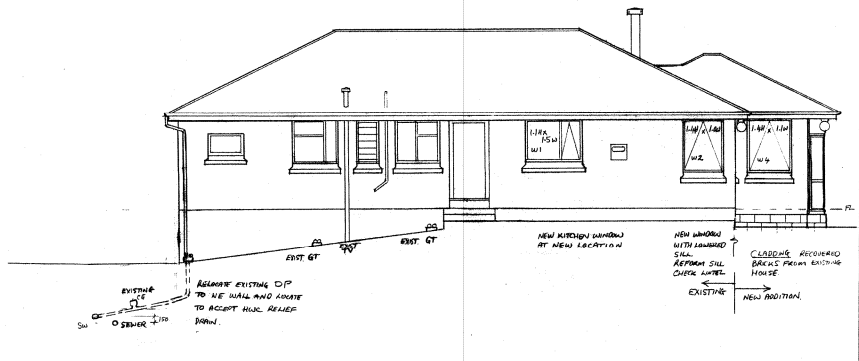
PROPOSED ADDITIONS J + P DANIEL  
17 HARTFIELD AVE  
DUNEDIN  
1:50

SHEET 2

NEW ROOF TO EXISTING HOUSE AND ADDITION  
 MONIER TILE OVER NEW OSB UNDERLAY AND NEW BATTENS.

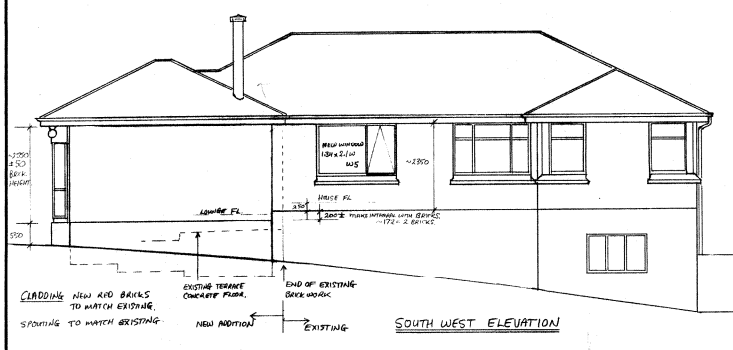


SOUTH EAST ELEVATION

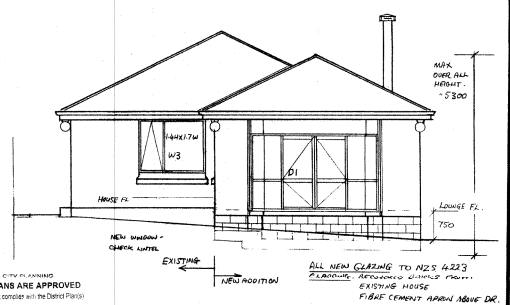


NORTH EAST ELEVATION

Plumbing and Drainage  
 To comply with approved documents: E1AS1, G12AS1, G13AS1 & 2



SOUTH WEST ELEVATION



NORTH WEST ELEVATION

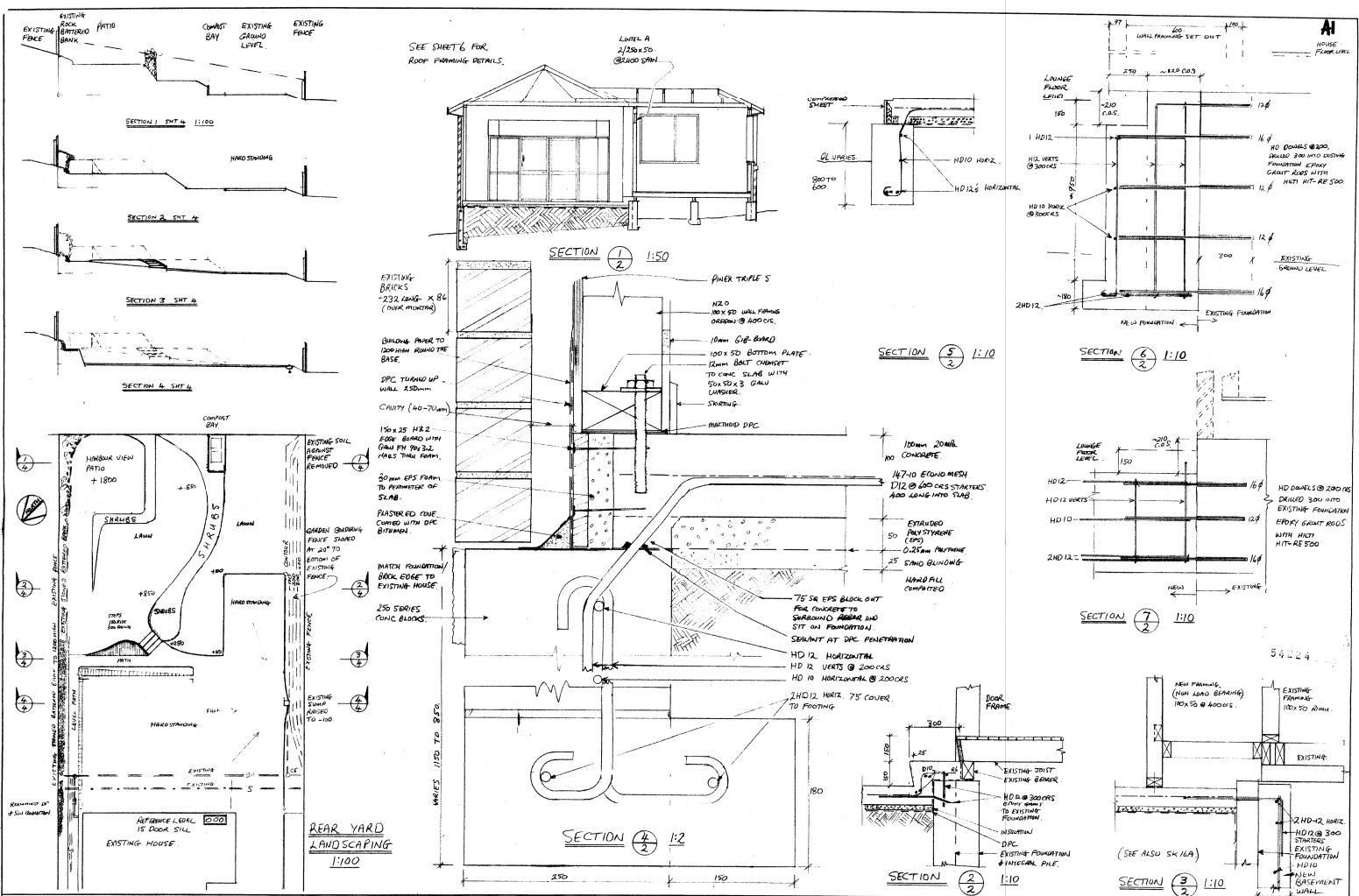
THESE PLANS ARE APPROVED  
 TO COMPLY WITH APPROVED DOCUMENTS: E1AS1, G12AS1, G13AS1 & 2  
 15/12/06  
 Signed Date

DESIGNED + DRAWN  
 ROGER JONES  
 33 ERIN ST  
 DUNE VIN  
 M 027 321 4871 E Jones\_RS@tra.co.nz

LOUNGE EXTENSIONS ELEVATIONS

REV 0	16/02/06	OP RETURNED
REV 1	16/02/06	OP RETURNED
REV 2	16/02/06	OP RETURNED
REV 3	16/02/06	OP RETURNED
REV 4	16/02/06	OP RETURNED
REV 5	16/02/06	OP RETURNED
REV 6	16/02/06	OP RETURNED
REV 7	16/02/06	OP RETURNED
REV 8	16/02/06	OP RETURNED
REV 9	16/02/06	OP RETURNED

PROPOSED ADDITIONS J + P DANIEL 17 NORTHFIELD AVE OPOHO		SHEET <b>3</b>
DRAWN R Jones	CHECKED R Jones	SCALE 1:50
TRACED R Jones	DATE 8/16/06	SHEET OF 3



DESIGNED - DRAWN - ROGER JONES  
33 EWIN ST  
DUNEDIN  
M. 027 321 4871 E. [roger.jones@ra.co.nz](mailto:roger.jones@ra.co.nz)

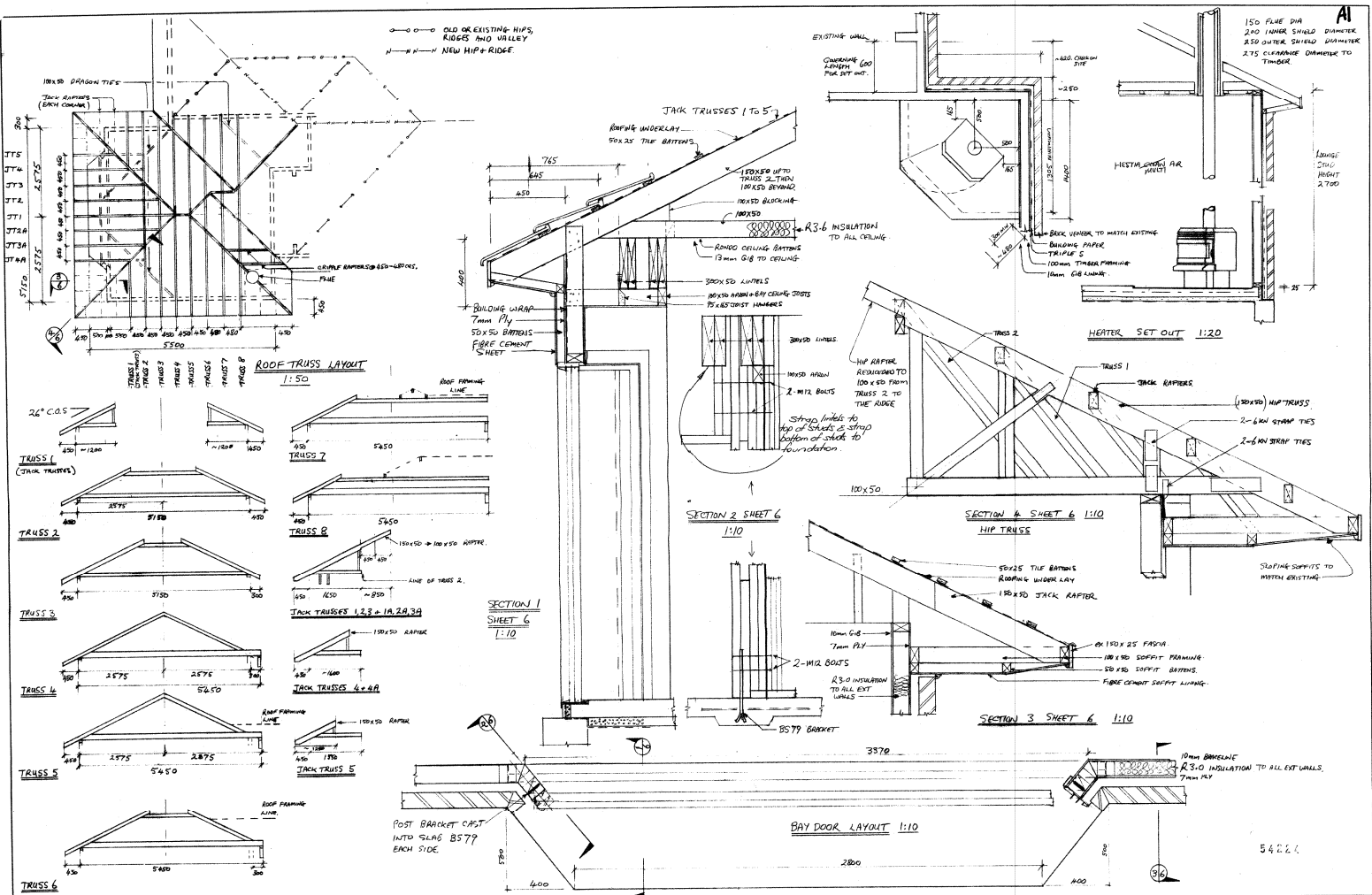
REAR YARD + FOUNDATION CROSS SECTIONS

REV	DATE	DESCRIPTION

PROPOSED ADDITIONS  
J+P DANIEL  
17 NORTHFIELD AVE  
OPOHO

DRAWN *[Signature]* CHECKED *[Signature]* SCALES  
TRACED *[Signature]* DATE SEP 05 1:100, 1:10, 1:2

SHEET 4

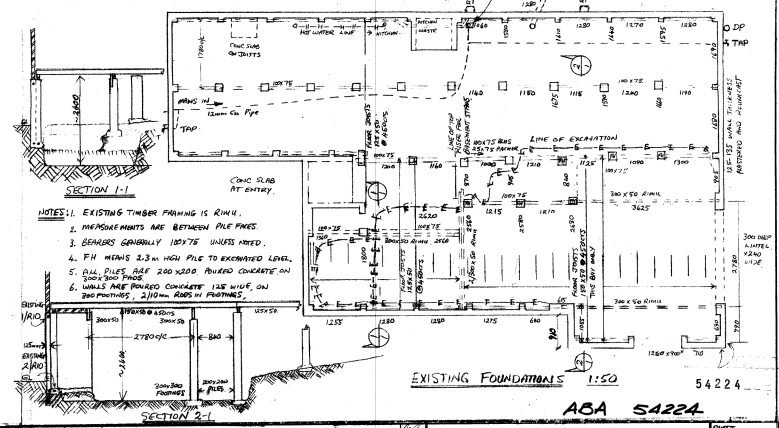
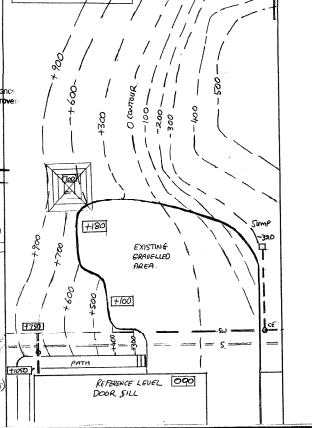
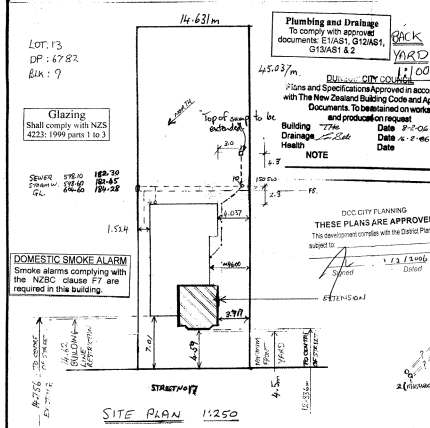
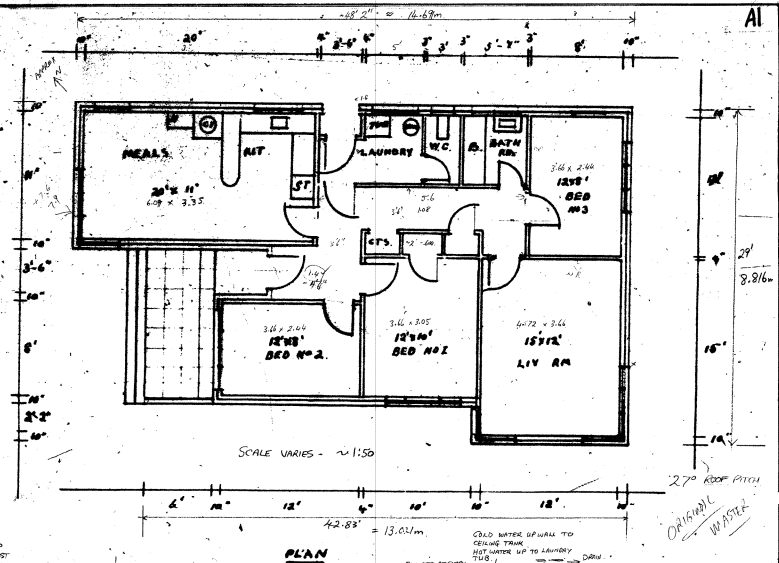
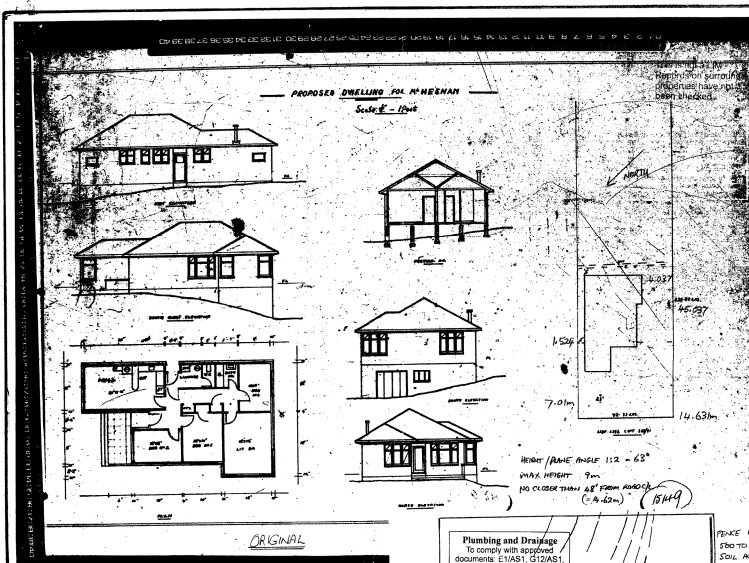


DESIGNED & DRAWN: ROGER JONES  
 33 ERIN ST  
 DUNEDIN  
 M. 027 321 4871 E. Jones.RS@xtra.co.nz

ROOF TRUSS LAYOUT TRUSS OUTLINES  
 BAY DOOR FRAMING HEATER SET OUT

REV A	28 SEP 05	FOR PRICING & CONSENT	227
REV D	14 DEC 05	ROOF LITTER HELD DOWN ELEVATED ADDED - FOR CONSENT	247

PROPOSED ADDITIONS	J + P DANIEL	SHEET	6
	17 NORTHFIELD AVE		
	CPD 110		
DRAWN	RJ Jones	CHECKED	
TRACED	RJ Jones	DATE	24 SEP 05
		SCALE	1:10 1:20 1:50
		SERIES OF	
		REF	



DESIGNED & DRAWN  
ROGER JONES  
32 FRIN ST  
DUNEDIN  
PH 477 1412

EXISTING PLANS, FOUNDATION LAYOUT,  
ELEVATIONS,  
SITE PLAN

REV B 2ND QS FOR TP - 06/01/06  
REV C 1/16/06 5TH FLOOR DOWN WATER PIPE IN BASEMENT  
REV D 1/16/06 FOR PERMIT

EXISTING PLANS,  
FOUNDATION LAYOUT,  
ELEVATIONS  
OTHER DRAWINGS

J & P DANIEL  
17 NORTHFIELD CRES

SCALE: 1:250  
NTS & 1:150

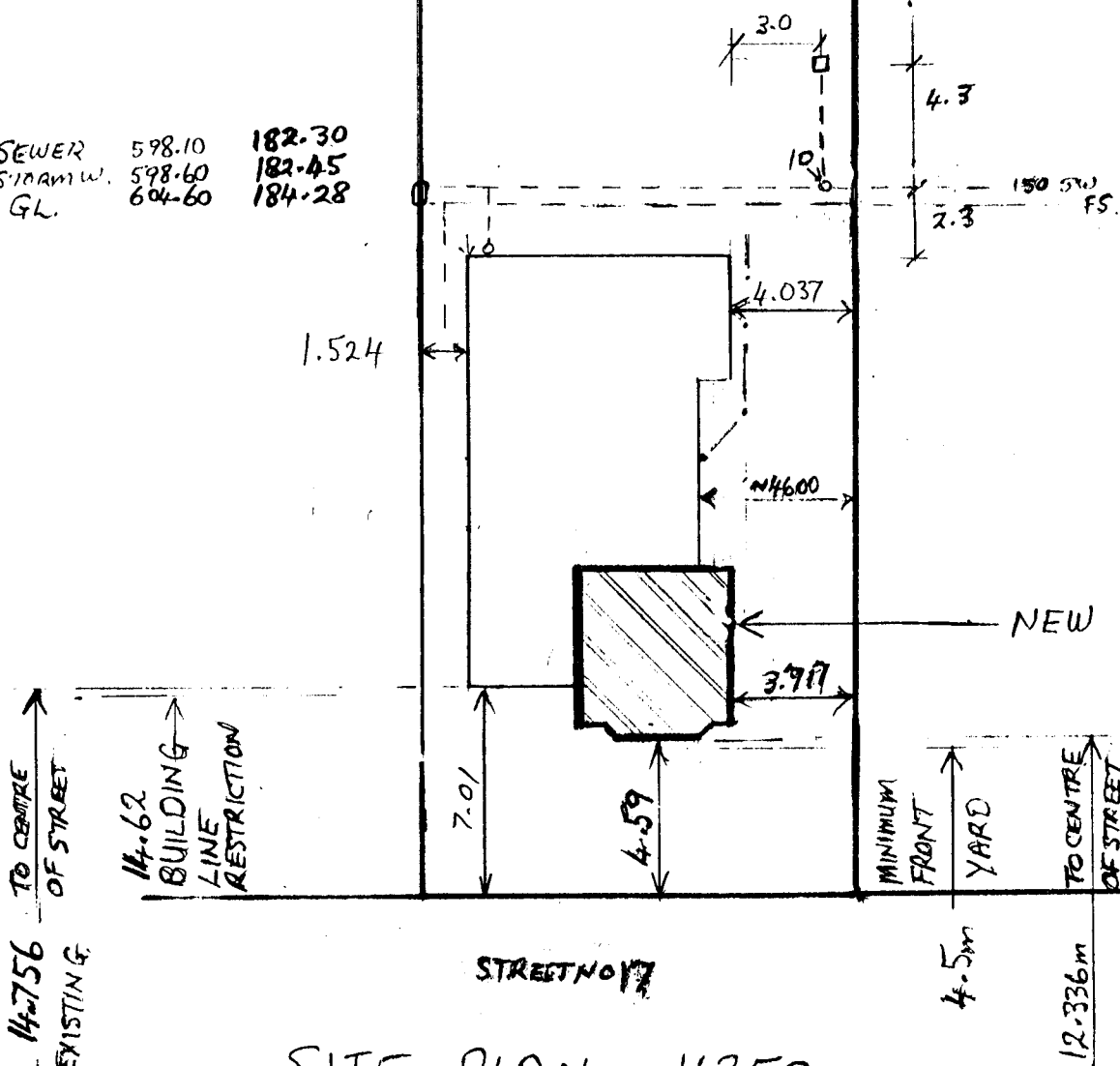
LOT: 13  
 DP: 6782  
 BLK: 9

14.631m

45.037m.

← NORTH

SEWER	598.10	182.30
SIDING W.	598.60	182.45
GL.	604.60	184.28



SITE PLAN      1:250

**Code Compliance Certificate** Form 7  
Section 95, Building Act 2004

P A Daniel and J C K Daniel  
17 Northfield Avenue  
Dunedin 9010

**The building**

**Street address of building:** 17 Northfield Avenue Dunedin

**Legal description of land where building is located:** LOT 13 DP 6782

**Building Name:** n/a

**Location of building within site/block number:** n/a

**Level/unit Number:** n/a

**Current, lawfully established, use:** Housing

**Number of occupants:**

**Year first constructed:** 1953

**The owner**

**Name of owner:** P A Daniel and J C K Daniel

**Contact person:** P A Daniel and J C K Daniel

**Mailing address:** 17 Northfield Avenue, Dunedin 9010

**Street address/registered office:**

**Mobile:** 027 618 0084

**Landline:** 03 473 8888

**Email address:** danfam@maxnet.co.nz

**First point of contact for communications with the building consent authority:** As above

**Building work**

**Building Consent Number:** ABA-2021-2355 - Alter Laundry in Dwelling, Install Toilet and retrofit insulation to walls as highlighted on plan

**This CCC also applies to the following amended consents:** n/a

**Issued by: Dunedin City Council**

**Code Compliance**

The building consent authority named below is satisfied, on reasonable grounds, that-

- (a) The building work complies with the building consent



**Team Leader Inspections**  
**On behalf of Dunedin City Council**

Date: 23 November 2022



**BUILDING CONSENT - ABA-2021-2355**

(Section 51, Building Act 2004)

Form 5

**The building**

**Street address of building:** 17 Northfield Avenue Dunedin

**Legal description of land where building is located:** LOT 13 DP 6782

**Building Name:** n/a

**Location of building within site/block number:** n/a

**Level/unit Number:** n/a

**The owner**

**Name of owner:** P A Daniel and J C K Daniel

**Contact person:** P A Daniel and J C K Daniel

**Mailing address:** 17 Northfield Avenue, Dunedin 9010

**Street address/registered office:**

**Mobile:** 027 618 0084

**Landline:** 03 473 8888

**Email address:** danfam@maxnet.co.nz

**First point of contact for communications with the building consent authority:** As above

**Building work**

**The following building work is authorised by this building consent:**

Alter Laundry in Dwelling, Install Toilet.

This building consent is issued under Section 51 of the Building Act 2004. This building consent does not relieve the owner of the building (or proposed building) of any duty or responsibility under any other Act relating to or affecting the building (or proposed building).

This building consent also does not permit the construction, alteration, demolition, or removal of the building (or proposed building) if that construction, alteration, demolition, or removal would be in breach of any other Act.

**Compliance Schedule**

A compliance schedule is not required for the building.

**Attachments**

Copies of the following documents are attached to this building consent:

Record of required site inspections (section 90(2) of the Building Act 2004)

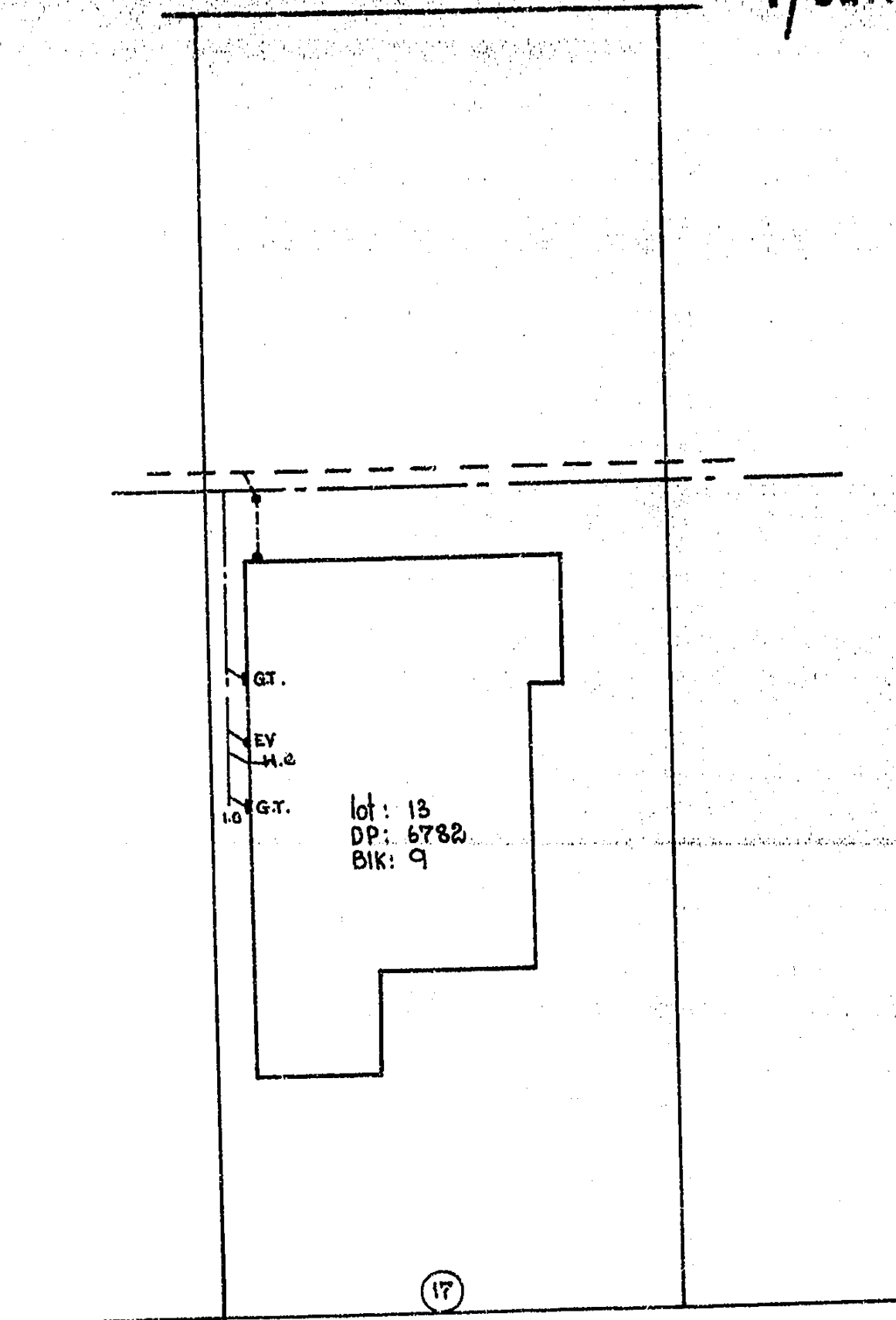
Grant Sutton

**Authorised Officer**

**On behalf of Dunedin City Council**

Date: 15 November 2021

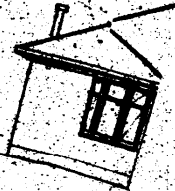
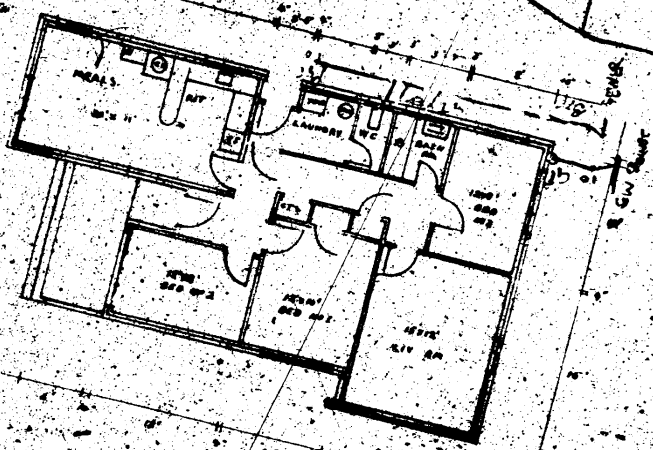
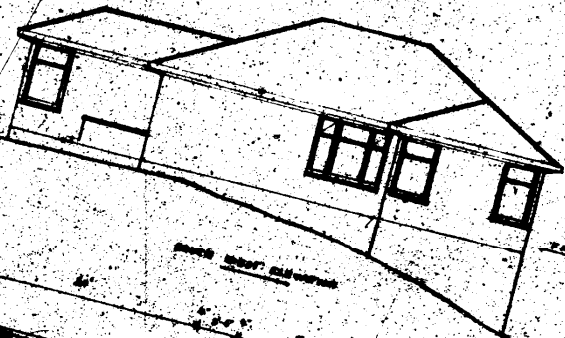
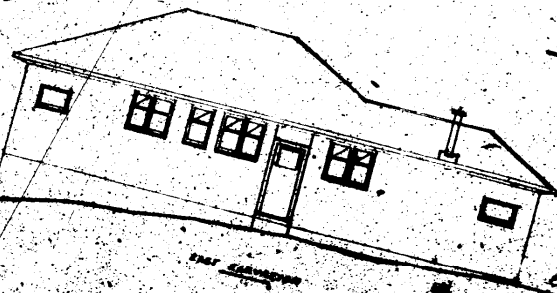
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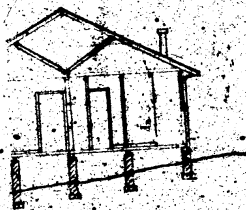
NORTHFIELD AVE

F3217

PROPOSED DWG NO 101  
DATE 4-19



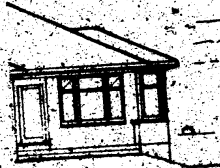
H. HEBBARD



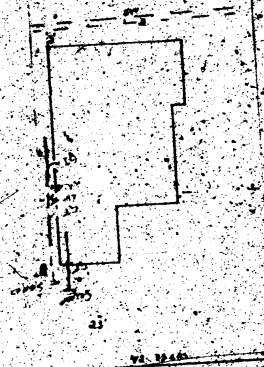
N. ELEVATION



S. ELEVATION



E. ELEVATION



Legend

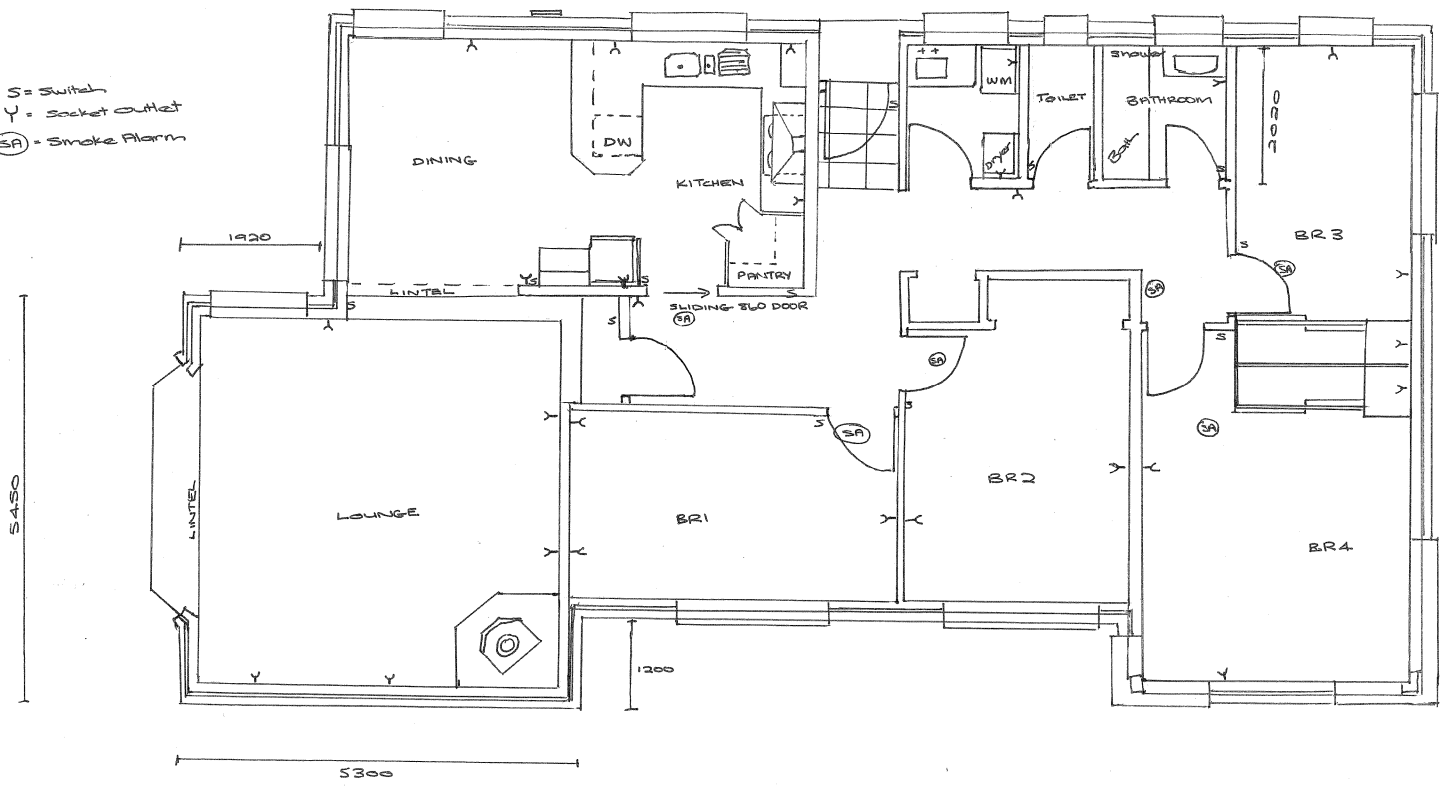
Existing Drains

New Floor Drains

New Stormwater Drains

NEW 1200 LOT 10/11

S = Switch  
Y = Socket Outlet  
SA = Smoke Alarm



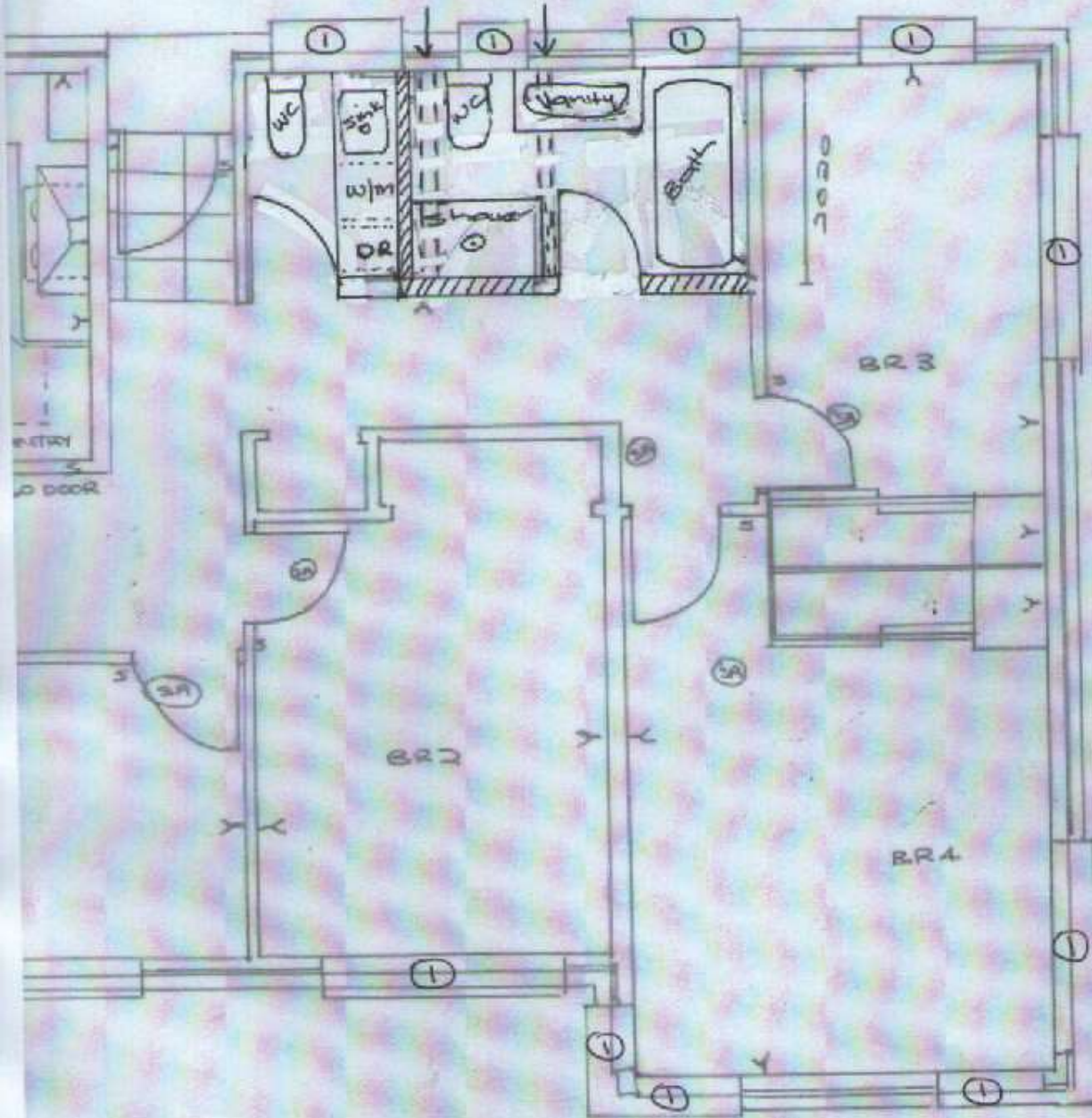
J+P DANIEL  
EXISTING FLOOR PLAN - 17 NORTHFIELD AVENUE  
OPOTO, DUNEDIN

DRAWN / TRACED: P. Daniel
Date: SEPT 2021
SCALE: 1 : 50

SHEET  
1

Exemption works

- ① Replacement of windows
- ② Rearrangement of existing plumbing fixtures in Bathroom
- ③ ~~Rebate~~ Relocation of non-loadbearing walls
- ④ Removal of non-loadbearing walls



DRAWN/TRACE: P. Daniel  
Date: SEPT 2021  
SCALE: 1:50

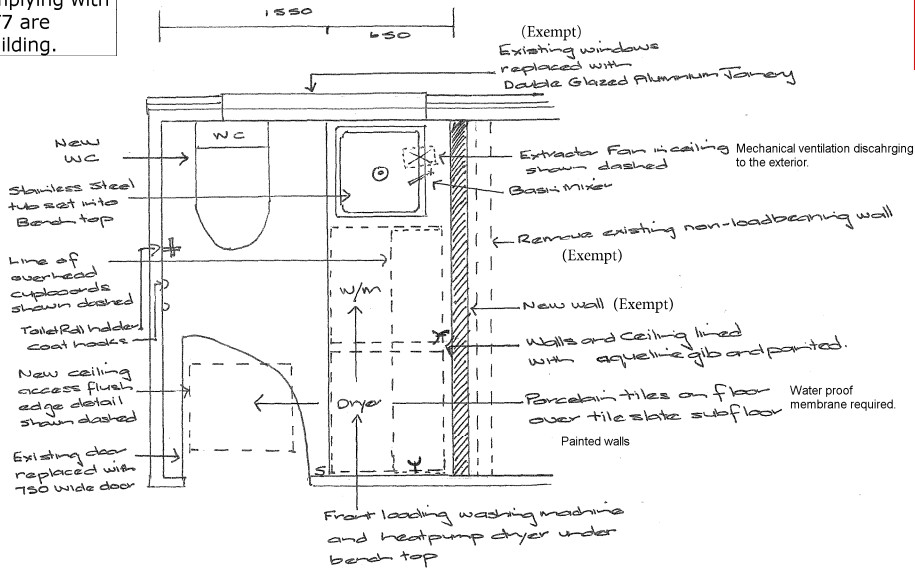
Proposed Laundry + Bathroom layout and exemption works under Schedule 1

SHEET  
4

J + P Daniel  
17 Northfield Avenue  
Opoho, Dunedin

**DOMESTIC SMOKE ALARM**  
Smoke alarms complying with the NZBC clause F7 are required in this building.

In granting this building consent the Council is satisfied that the proposed building works comply with the Building Code. Please note, that the council has not reviewed and makes no statement as to whether any other building work (other than those for which this consent is granted) either existing or proposed, referred to or shown on the application, plan, diagram or specification, comply with the Building Code or has been legally established.



DUNEDIN CITY COUNCIL  
Plans and Specifications approved in accordance with the NZ Building Code.  
To be retained on works and produced on request.

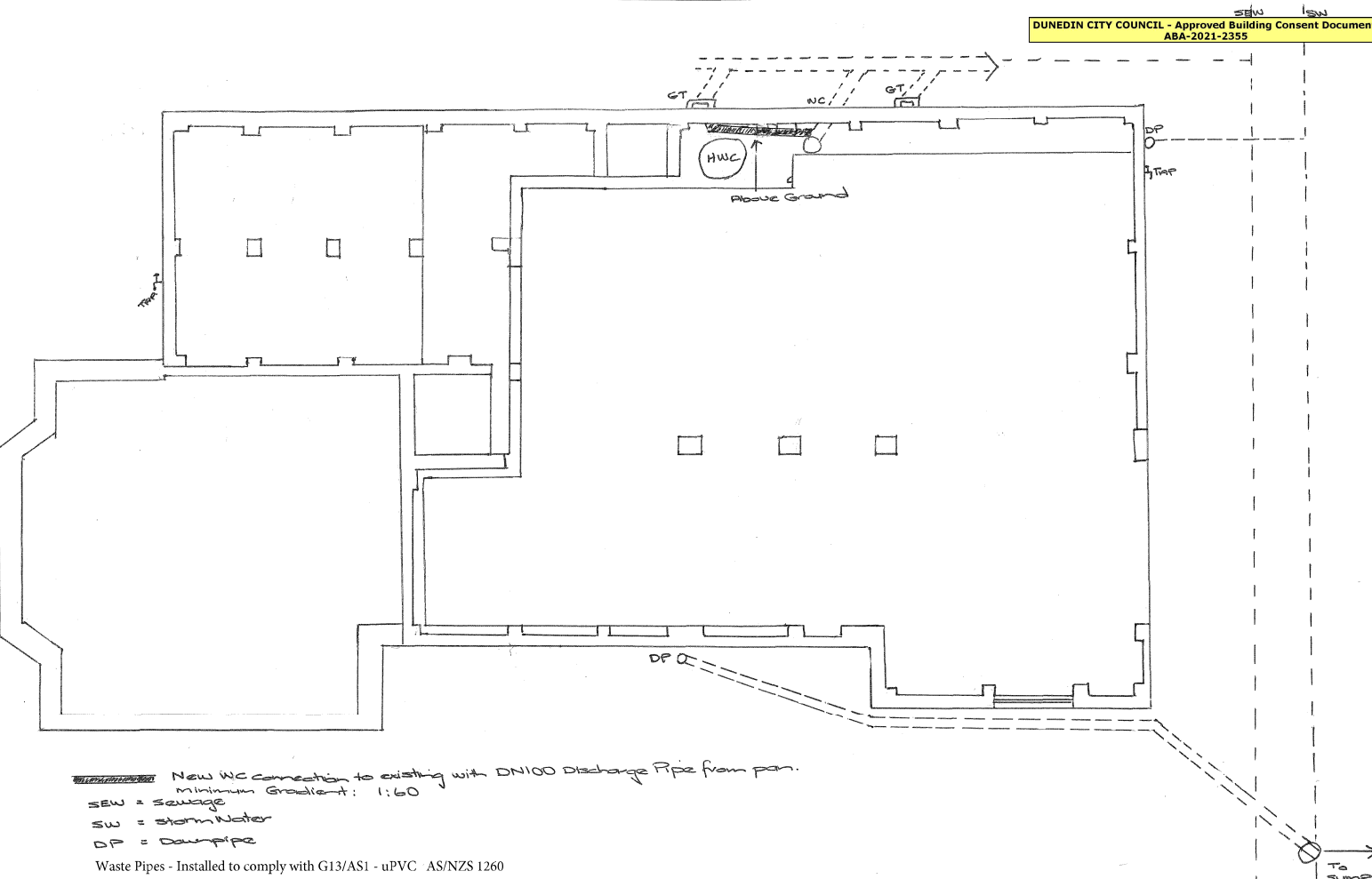
Date: 08/11/2021 Plumbing: T Caulfield

**DRAIN LOCATION**  
Position, level (or existence) of public or private drains is subject to on site verification by the owner of the land or their agent.

**PLUMBING AND DRAINAGE**  
To comply with acceptable solutions:  
E1/AS1, G12/AS1, G13/AS1 and 2.

**Glazing shall comply with NZS 4223:Part 3:2016**

J + P Daniel	Drawn : P. Daniel - Concept by Jeff Gray	SHEET 2
PROPOSED LAUNDRY FLOOR PLAN - 17 Northfield Avenue opoho, Dunedin	Date : Sept 2021	
	SCALES : 1 : 20	



~~Minimum~~ New WC connection to existing with DN100 Discharge Pipe from pan.  
 Minimum Gradient: 1:60  
 SEW = Sewage  
 SW = storm Water  
 DP = Downpipe  
 Waste Pipes - Installed to comply with G13/AS1 - uPVC AS/NZS 1260

EXISTING BASEMENT WITH PROPOSED NEW WC CONNECTION

J + P Daniel - 17 Northfield Avenue  
 Opoho, Dunedin

Traced and Drawn: P Daniel  
 Date: Sept 2021  
 SCALES: 1:50

SHEET  
 3