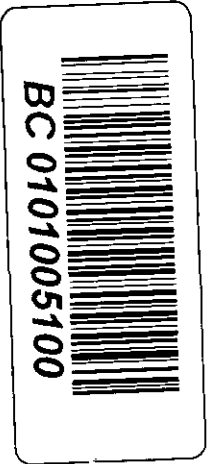


10/1/51



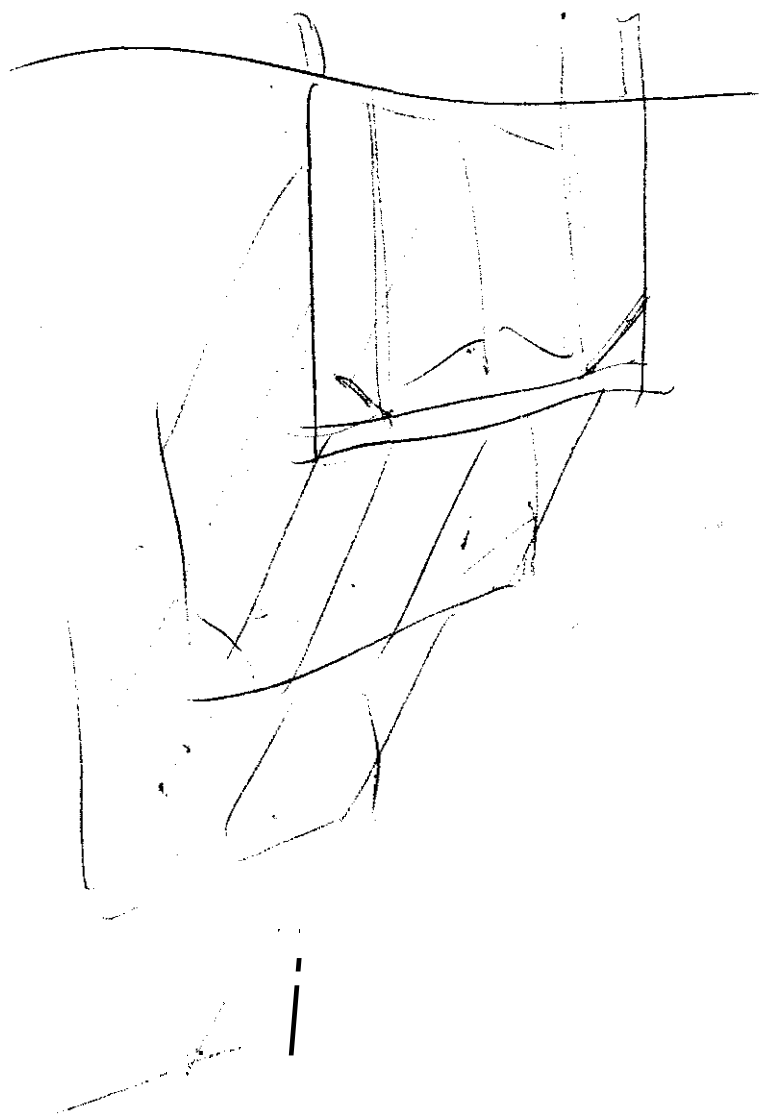
~~W. B. J. BELL~~  
OPAWAKE RI  
R. B. J. BELL

8/83  
10/84

NEW INITIAL  
HOME 12/91

USAWOMAN 12/99

EXTEND LIVING  
MIND OURS  
DEER 9/02



020668

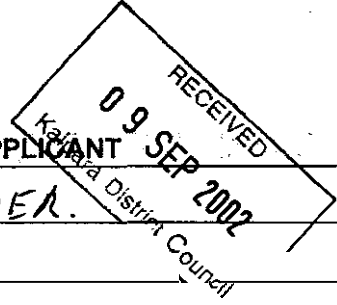
Dargaville Office  
Private Bag 1001  
DARGAVILLE  
Phone 09 439 7059  
Fax 094396756

**KAIPARA DISTRICT COUNCIL**  
**APPLICATION FOR A BUILDING CONSENT**

Kaiwaka Office  
State Highway 1  
KAIWAKA  
Phone 09 431 2013  
Fax 09 431 2023

Section 33, Building Act 1991  
(Attach all relevant documents in duplicate)

(Complete Part A in all cases)



**OWNER**

**APPLICANT**

Name R & B J. BELL  
Postal Address OPANAKE RD.  
RD2 DARGAVILLE  
Phone Number 094396004.  
Fax Number ↑

Name AS OWNER.  
Postal Address \_\_\_\_\_  
Phone Number \_\_\_\_\_  
Fax Number \_\_\_\_\_

**PROJECT LOCATION**

**DESCRIPTION OF WORK & INTENDED USE**

Address AS ABOVE.

EXTEND LIVING AREA OVER DECK

**LEGAL DESCRIPTION**

**NATURE OF CONSENT**

Valuation Number 101/51  
Lot(s) 1 DP(s) 192493  
Section \_\_\_\_\_ Block \_\_\_\_\_

- New building - exclude domestic garages & domestic outbuildings
  - Foundations only
  - Alterations, repairs, extensions, conversions, resiting, installation of heating appliances
  - Domestic garages & domestic outbuildings
- Intended Life:  
Indefinite, but not less than  
50 yrs  OR  
Specified as \_\_\_\_\_ yrs
- Demolition
- Being stage .....  
of an intended .. stages

Survey District \_\_\_\_\_  
Area of Site \_\_\_\_\_ hectares / square metres

Nature of soil (rock, clay, sand, loam etc) \_\_\_\_\_

Floor area (proposed work - square metres)

	Basement	Ground Floor	Other Floors	Total
Main Building				<u>+ 7.2</u>
Accessory Buildings				

**OFFICE USE ONLY**

Property ID: \_\_\_\_\_

**ESTIMATED VALUE OF WORK**  
(including GST)

**FEES PAID ON APPLICATION**  
(including GST)

Main buildings	\$ <u>2499.</u>
Accessory buildings	\$ _____
Plumbing & Drainage	\$ _____
<b>Total Value of Work</b>	\$ _____

	\$	c
P I M		
Building Consent	<u>80.00</u>	
BRANZ Levy	_____	
B I A Levy	_____	
<b>TOTAL</b>	<u>\$ 80.00</u>	

- Application for Building Consent only, in accordance with Project information Memorandum No: \_\_\_\_\_
- Application for Building Consent and Project Information Memorandum

Receipt No: 398948  
Date: 09.09.02

Signed for and on behalf

Signature: [Signature]

Name: \_\_\_\_\_ Date: 9-9-02

Please print

Note: Information and forms for vehicle crossings & services eg water connection, sewerage & stormwater connections area available from the front counter at the Dargaville and Kaiwaka offices.

## PART B : PROJECT DETAILS

(Complete Part B only if you have not applied separately for a Project information Memorandum)

**The project involves the following matters (Tick each applicable box, if any, and attach relevant information in duplicate)**

- Location, in relation to legal boundaries, and external dimensions of new, relocated, or altered buildings  
(Site Plan with elevations, topography, drawn to scale)
- Details of any known or potential erosion, avulsion, falling debris, filled ground, subsidence, slippage, alluvion, inundation, hazardous contaminants on or near the site
- Provisions to be made for vehicular access, including parking (to be shown on site plan)
- Provisions to be made in building over or adjacent to any road or public place
- New provisions to be made for disposing of stormwater and wastewater (to be shown on site plan)
- Precautions to be taken where building work is to take place over existing drains or sewers or in close proximity to wells or watermains
- New connections to public utilities ie water supply, stormwater system, wastewater system (Note: Council has no agreement with network utility operations to act as their agent)
- Provisions to be made in any demolition work for the protection of the public, suppression of dust, disposal of debris, disconnection from public utilities, and suppression of noise
- Details of any cultural heritage significance of the building site, including whether it is on a marae, or waahi tapu
- Copy or reference to, of any resource consent or planning approval for this project
- Details of volume. Proposed excavations : Include volumes for site preparation, basement and driveway

## (Complete Part C in all cases) PART C : BUILDING DETAILS

**This application is accompanied by (Tick each applicable box, attach relevant documents in duplicate)**

- The drawings, specifications and other documents according to which the building is proposed to be constructed to comply with the provisions of the New Zealand Building Code, with supporting documents, if any, including -
- Building Certificates
- Producer Statements
- References to accreditation certificates issued by the Building Industry Authority
- References to determinations issued by the Building Industry Authority
- Proposed procedures, if any, for inspection during construction

**KAIPARA DISTRICT COUNCIL**

**PROGRESS CHECK SHEET FOR A BUILDING CONSENT**

Valuation Reference: 101/51

Name of Applicant: RAY BELL

Address of Property: OPAWAKE R.D.

Consent Required For: EXTEND LIVING AREA OVER DECK

Consent Issued (number): 02068

**OBJECTION TO RELEASE OF INFORMATION:** YES/NO

**Sent To Applicant**

- Building Consent ✓ PIM
- Various Receipts Inspection Checklist ✓
- One Copy of Approved Plan and Specification Submitted with Application ✓

<i>27-09-02: Prelim inspect OK: Moisture content, bracing &amp; insulation OK.</i>
<i>16-12-02: Final inspect OK</i>

DGW/dgw

*ccc plan*  
*ji*

**Advice of Completion of Building Work**  
Section 43(1), Building Act 1991

**RECEIVED**  
- 5 DEC 2002  
Kaipara District Council

To: KAIPARA DISTRICT COUNCIL

**Consent Details**

R & BJ BELL	No.	020668
OPANAKE ROAD	Issue date	11/09/02
RD 2	Application date	9/09/02
MARGAVILLE		

<b>Project Description</b>	Alterations, Repairs or Extensions Being Stage 1 of an intended 1 Stages EXTEND LIVING AREA OVER DECK
<b>Intended Life</b>	Indefinite, but not less than 50 years
<b>Intended Use</b>	OWNERS USE
<b>Estimated Value</b>	\$2,500
<b>Location</b>	OPANAKE ROAD, PARORE
<b>Legal Description</b>	LOT ■ DP 192493
<b>Valuation No.</b>	0101005100

You are hereby advised that

- All
- Part only as specified in the attached particulars

of the building work under the above building consent is believed to have been completed to the extent required by that building consent.

You are requested to issue

- A final
- An interim

code compliance certificate accordingly (except where a code compliance certificate has been issued by a building certifier as stated below).

The attached particulars include:

- Building and energy certificates
- A code compliance certificate issued by a building certifier
- Producer statements

Signed by or for and on behalf of the owner:

Name: *M Bell*

Position: *Owner* Date: *5/12/02*

Business hours contact phone no.: *094396004*

## Code Compliance Certificate

### Section 43(3), Building Act 1991

#### Application

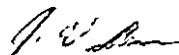
R & BJ BELL	No.	020668
OPANAHEROAD	Issue date	17112102
R D 2		
DARGAVILLE		

#### Project

Description	Alterations, Repairs or Extensions Being Stage 1 of an intended 1 Stages EXTEND LIVING AREA OVER DECK
Intended Life	Indefinite, but not less than 50 years
Intended Use	OWNERS USE
Estimated Value	\$2,500
Location	OPANAKE ROAD, PARORE
Legal Description	LOT 1 DP 192493
Valuation No.	0101005100

This is a final Code Compliance Certificate issued in respect of all the building work under the above building consent.

Signed for and on behalf of the Council:



Name: \_\_\_\_\_

Date: 17-12-02

## Building Consent

Section 35, Building Act 1991

### Application

R & BJ BELL	No.	020668
OPANAKE ROAD	Issue date	11/09/02
R D 2	Application date	9/09/02
DARGAVILLE		

### Project

Description	Alterations, Repairs or Extensions Being Stage 1 of an intended 1 Stages EXTEND LIVING AREA OVER DECK
Intended Life	Indefinite, but not less than 50 years
Intended Use	OWNERS USE
Estimated Value	\$2,500
Location	OPANAKE ROAD, PARORE
Legal Description	LOT 1 DP 192493
Valuation No.	0101005100

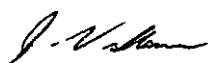
### Charges

The Council's charges paid on uplifling this Building Consent, in accordance with the attached details are:

	\$	80.00
Building Research Levy	\$	0.00
Building Industry Authority Levy	\$	0.00
Total	\$	80.00

This building consent is a consent under the Building Act 1991 to undertake building work in accordance with the attached plans and specifications so as to comply with the provisions of the building code. It is not a consent under the Resource Management Act and does not affect any duty or responsibility under any other Act nor permit any breach of any other Act.

Signed for and on behalf of the Council:



Name: \_\_\_\_\_

Date: 11-09-02

This consent will lapse if building work has not commenced within **6** months from the date of issue or if reasonable progress has not been made within 12 months after work has commenced. The consent may be extended for a further period at the discretion of Council.

No deviation or alteration from the original plans and specifications can be carried out without written approval of Council and no building may be converted to any other use other than that stated on the building consent.

**NOTICE THAT BUILDING WORK IS READY FOR INSPECTION.** For the purposes of Section 76 **of** the Building Act, and unless otherwise provided by the building consent, the owner or other person undertaking any building work shall give:

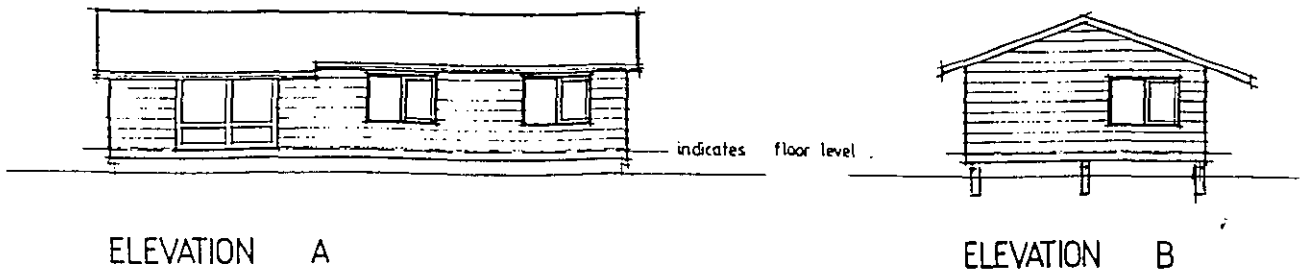
iv) timber required to have a specific moisture content

Council **MUST** be notified at the completion of building work on the attached form.

NOTE:	One days notice is required for all inspections (A day means one Council Working day) inspections relating to this consent are those highlighted in the following list.				
Paparoa (09)431 7019 FAX: (09)431 7017		YES	NO		
Foundations	Excavations level and clean, reinforcement in place, starters tied, with correct clearances prior to placement of concrete.				
Subfloor	Sub floor bracing and connectors, crawl space, dpc.				
Floor Slab	Damp proofing and/or reinforcement in place, correct clearances, plumbing & drainage pipes in place and protected, damp proofing continuous to the exterior face of the building.				
Masonry	Inc. bond beams, reinforcement in place, starters tied, bottom of core & ports clean, plumbing & drainage pipes in place.				
✓ Prelining	At the stage where exterior cladding and joinery is in place, but prior to the erection or fixing of internal linings, includes plumbing in walls under test, framing, bracing, moisture content, insulation, fixings for subfloor.	✓			AN
Insulation	Skillion roofs, solid construction (where insulation cannot be seen at the preline stage).				
Gib Nail	Sheet bracing and insulation, double skin firewalls.				
Brick Veneer	When the veneer reaches sill height (brick ties, weep holes, clean cavities, steel lintels which support brickwork).				
Sanitary Drainage	Manholes, benching, test on lines bedding SS connection, septic tank & irrigation installations prior to backfilling.,				

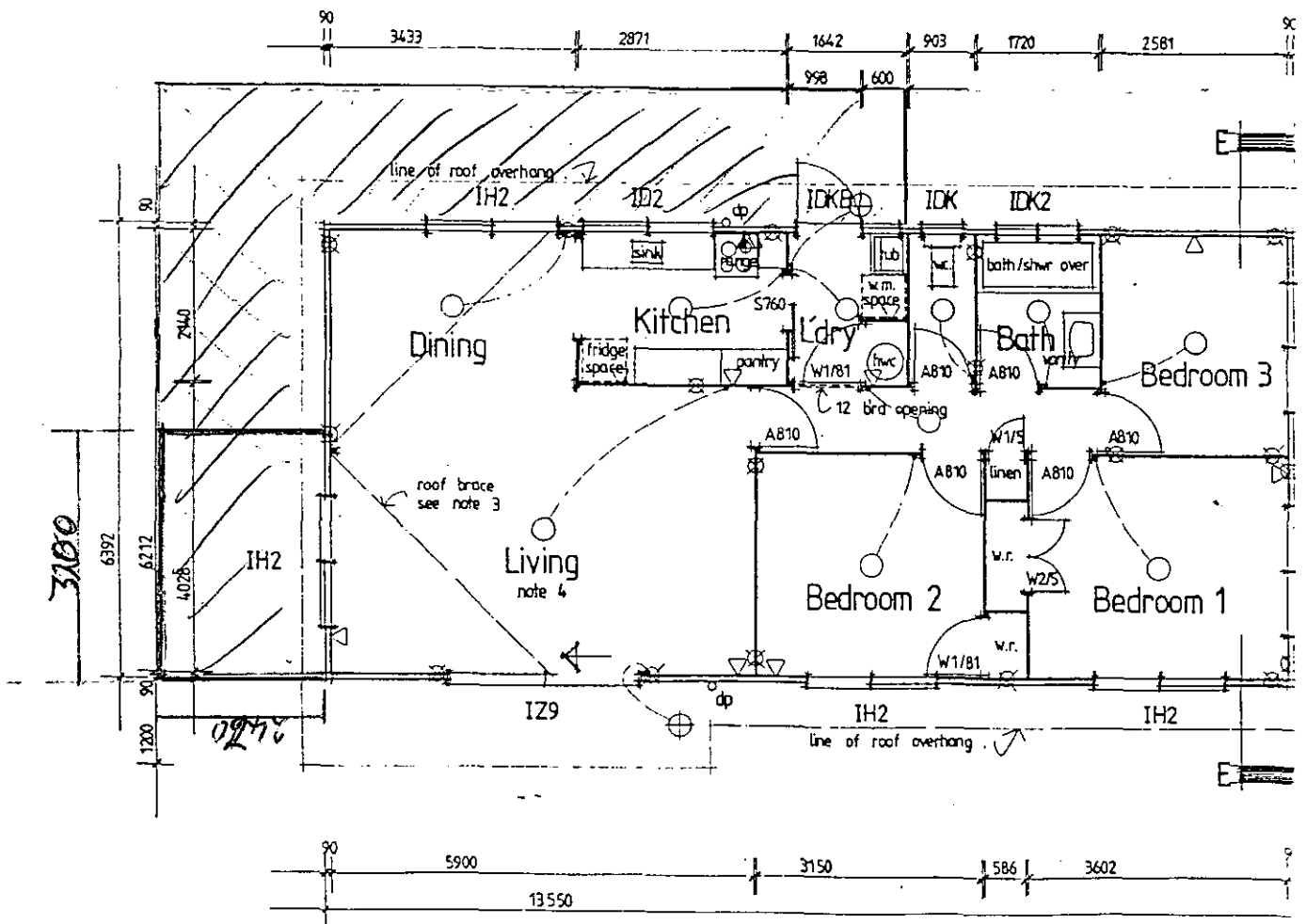
Stormwater Drainage	All drains, manholes, connection to SW system, soak holes in place but prior to covering up.				
Disconnect Sanitary Drainage	Demolition work, capping sewer.				
Disconnect Stormwater	Removal and capping of existing stormwater connection.				
Disconnect Water	Removal of water meter from Council supply.				
Special Conditions	Where notice is required for specific items.				
✓ Completion	Weathertightness, flashings, doors. deviation from plans, building, plumbing, drainage, free standing fire unit completion of all work authorised by this consent required prior to the issue of the Code Compliance Certificate.				AN

NOTE: DEPENDING ON THE FORM OF CONSTRUCTION SOME OF THESE INSPECTIONS COULD BE INCORPORATED INTO ONE INSPECTION.



ELEVATION A

ELEVATION B



FLOOR PLAN

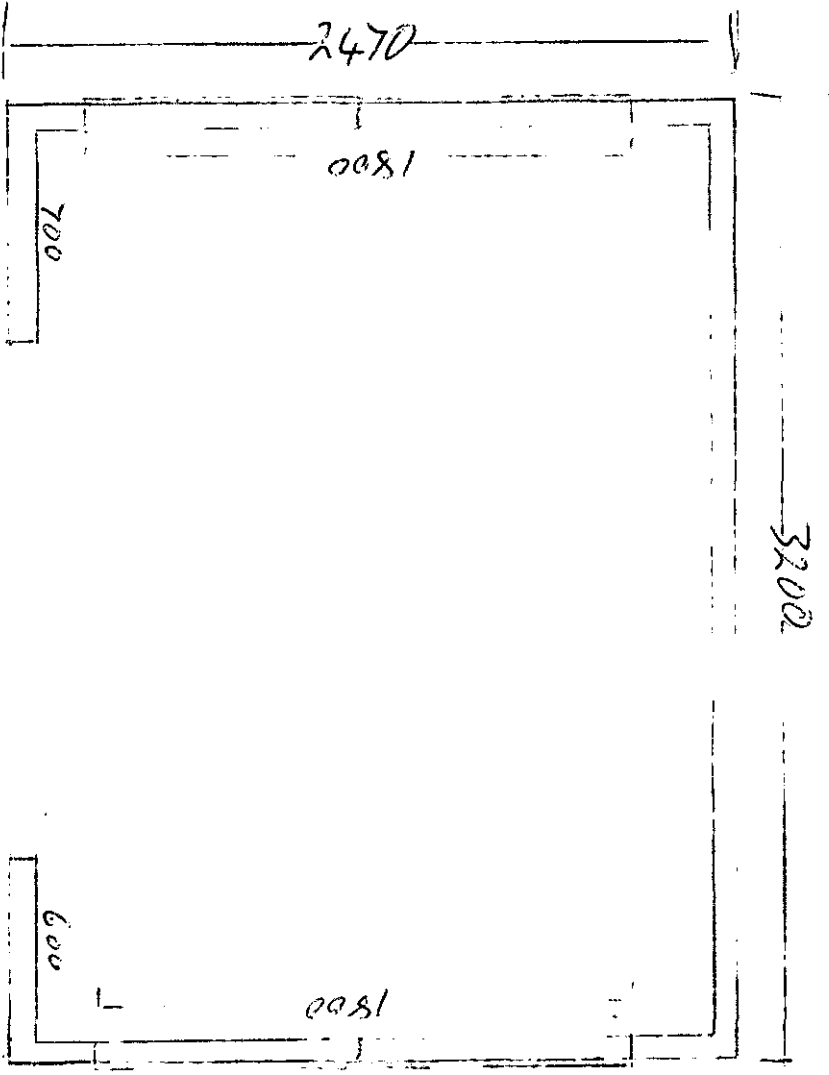
Kaipara District Council

BC 020668

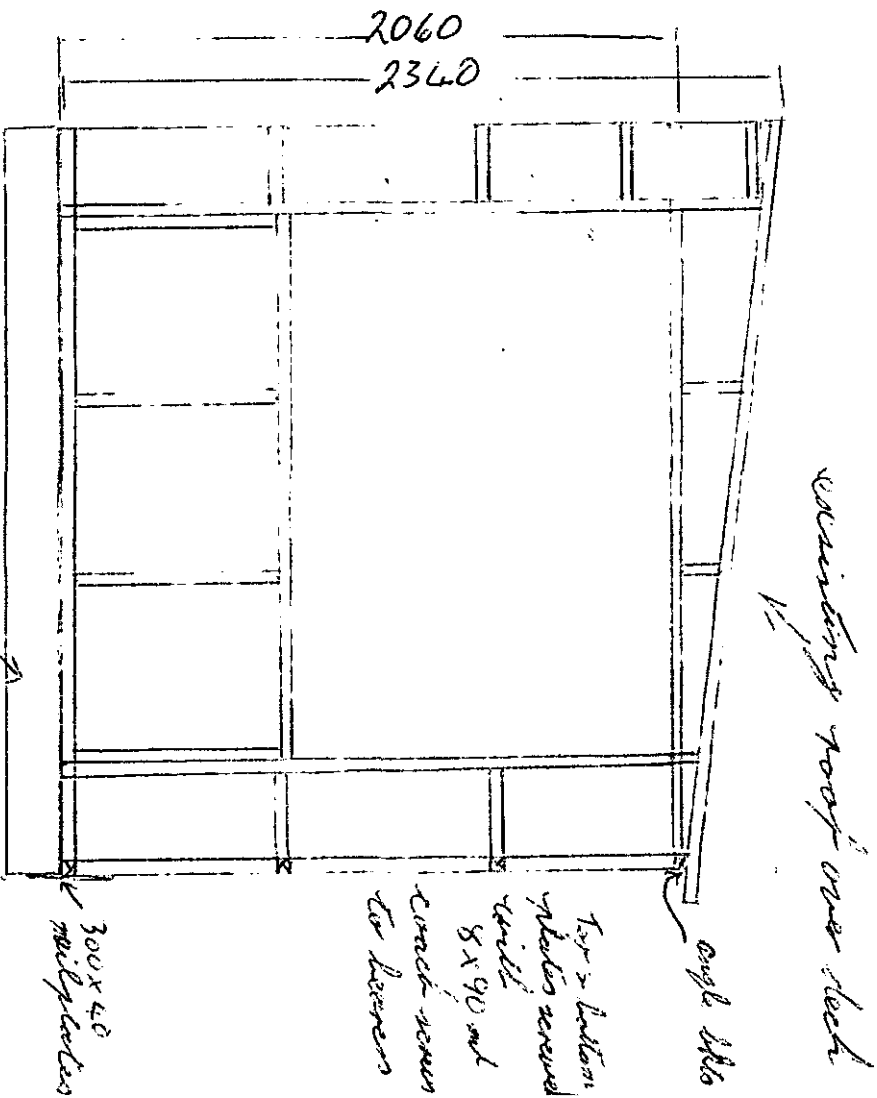
*R. Bell*  
BUILDING INSPECTOR

R. B. J. BELL  
BUILDER





all framing under 100x50 H3 Mg.  
 exterior cladding fibre plank  
 interior lining gdi boards  
 ceiling existing plaster board  
 insulation pink batts  
 flooring topsoil particle board  
 windows x 2



existing deck beams

R B



PART D : KEY PERSONNEL

(Complete Part D As far as possible in all cases. Give names, addresses and telephone numbers. Give relevant registration numbers if known)

DESIGNER(S)

Name \_\_\_\_\_

Address \_\_\_\_\_

Phone Number \_\_\_\_\_ Fax Number \_\_\_\_\_

BUILDER

Name AS OWNER

Address \_\_\_\_\_

Phone Number \_\_\_\_\_ Fax Number \_\_\_\_\_

DRAINLAYER

Name \_\_\_\_\_

Address \_\_\_\_\_

Phone Number \_\_\_\_\_ Fax Number \_\_\_\_\_

PLUMBER

Name \_\_\_\_\_

Address \_\_\_\_\_

Phone Number \_\_\_\_\_ Fax Number \_\_\_\_\_

CERTIFIERS

Name \_\_\_\_\_ Reg No \_\_\_\_\_

Address \_\_\_\_\_

Phone Number \_\_\_\_\_ Fax Number \_\_\_\_\_

Certifying \_\_\_\_\_

Name \_\_\_\_\_ Reg No \_\_\_\_\_

Address \_\_\_\_\_

Phone Number \_\_\_\_\_ Fax Number \_\_\_\_\_

Certifying \_\_\_\_\_

RELEASE OF INFORMATION

Council provides building consent information to a number of organisations. Included in this is the names of applicants and the location of the projects. Much of this information has to be supplied in terms of the Local Government Information Act, however we can withhold personal identification if you wish. Please indicate below if you object to release of identifying information.

I WISH TO OBJECT TO THE ISSUE OF IDENTIFYING INFORMATION ON MY PROJECT

**PART E : COMPLIANCE SCHEDULE DETAILS**

**E1 : SYSTEMS NECESSITATING A COMPLIANCE SCHEDULE**

(Complete Part E1 for all new buildings and alterations, except single residential dwellings)

The building will contain the following (Tick  each applicable box and attach proposed inspection, maintenance and reporting procedures.

- Automatic Sprinkler systems or other systems of automatic fire protection
- Automatic doors which form part of any fire wall and which are designed to close shut and remain shut on an alarm of fire
- Emergency warning systems for fire and other dangers
- Emergency lighting systems
- Escape route pressurisation systems. Riser
- Mains for fire service use
- Any automatic back-flow preventer connected to a potable water supply
- Lifts, escalators, or travelators or other similar systems
- Mechanical ventilation or air conditioning system serving all or a major part of the building
- Any other mechanical, electrical, hydraulic or electronic system whose proper operation is necessary compliance with the building code
- Building maintenance units for providing access to the exterior and interior walls of buildings
- Such signs as are required by the building code in respect of the above-mentioned systems
- None of the above

**E2 : OTHER SYSTEMS AND FEATURES TO BE INCLUDED IN THE COMPLIANCE SCHEDULE**

(Complete Part E2 only if the building contains one or more of the systems listed in Part E1)

The building will contain the following (Tick  each applicable box and attach proposed inspection, maintenance and reporting procedures)

- Means of escape from fire
- Safety barriers
- Means of access and facilities for **use** by persons with disabilities which meet the requirements of Section 25 of the Disabled Persons Community Welfare Act 1975.
- Hand-held hoses for fire fighting
- Such signs as are required by the building code or Section 25 of the Disabled Persons Community Welfare Act 1975

Dargaville Office  
Private Bag 1001  
DARGAVILLE  
Phone 09 439 7053  
Fax 09 439 6756

KAIPARA DISTRICT COUNCIL  
APPLICATION FOR A BUILDING CONSENT

Paparua Office  
PO Box 1  
PAPARUA  
Phone 09 431 7019  
Fax 09 431 7017

OWNER		APPLICANT	
Name <u>R. &amp; B.J. BELL</u>	Name <u>OWNER</u>	Postal Address <u>OPANAKE RD. RD 2 DARGAVILLE</u>	Postal Address _____
Phone Number <u>09 439 6004</u>	Phone Number _____	Fax Number <u>AS ABOVE</u>	Fax Number _____
PROJECT LOCATION		DESCRIPTION OF WORK & INTENDED USE	
Address <u>OPANAKE RD</u>	<u>EXTENSION OF ROOF OVER DECK</u>		
LEGAL DESCRIPTION		NATURE OF CONSENT	
Valuation Number <u>10 10 05 100</u>	<input type="checkbox"/> New building - exclude domestic garages & domestic outbuildings	Intended Life: Indefinite, but not less than	
Lot(s) <u>1</u> DP(s) <u>192 493</u>	<input type="checkbox"/> Foundations only	50 yrs <input checked="" type="checkbox"/> OR Specified as _____ yrs	
Section _____ Block <u><del>24 8060 HECTS</del></u>	<input checked="" type="checkbox"/> Alterations, repairs, extensions, conversions, resiting, installation of heating appliances	Demolition <input type="checkbox"/>	
Survey District <u>KAIHU</u>	<input type="checkbox"/> Domestic garages & domestic outbuildings	Being stage ..... of an intended ..... stages	
Area of Site <u>24 8065 HKS</u> hectares / square metres	OFFICE USE ONLY		
Nature of soil (rock, clay, sand, loam etc) <u>CLAY &amp; SAND</u>	Property ID: _____		
Floor area (proposed work - square metres)	FEES PAID ON APPLICATION (including GST)		
Basement _____ Ground Floor _____ Other Floors _____ Total _____	PLM.	\$	c
Main Building _____ Accessory Buildings _____	Building Consent	<u>80-00</u>	
	BRANZ Levy	_____	
	6:1 A Levy	_____	
	TOTAL	<u>80-00</u>	
	Receipt No: <u>330983</u>	_____	
	Date: <u>10-12-99</u>	_____	
ESTIMATED VALUE OF WORK (including GST)			
Main buildings	\$ <u>2500</u>		
Accessory buildings	5		
Plumbing & Drainage	3		
Total Value of Work	\$ _____		
<input type="checkbox"/> Application for Building Consent only, in accordance with Project Information Memorandum No: _____ <u>X</u>			
<input type="checkbox"/> Application for Building Consent and Project Information Memorandum			

Signed for and on behalf

Signature ABell

Name RAYMOND BELL Date 10-12-99  
Please print

**Note:** Information regarding vehicle crossings & services eg water connection, sewerage & stormwater connections are handled by the Assets Department. Forms for these items are available from the Dargaville & Paparua offices.

## PART B : PROJECT DETAILS

(Complete Part B only if you have not applied separately for a Project Information Memorandum)

The project involves the following matters (Tick each applicable box, if any, and attach relevant information in duplicate)

- Location, in relation to legal boundaries, and external dimensions of new, relocated, or altered buildings  
(Site Plan with elevations, topography, drawn to scale)
- Details of any known or potential erosion, avulsion, falling debris, filled ground, subsidence, slippage, alluvion, inundation, hazardous contaminants on or near the site
- Provisions to be made for vehicular access, including parking (to be shown on site plan)
- Provisions to be made in building over or adjacent to any road or public place
- New provisions to be made for disposing of stormwater and wastewater (to be shown on site plan)
- Precautions to be taken where building work is to take place over existing drains or sewers or in close proximity to wells or watermains
- New connections to public utilities ie water supply, stormwater system, wastewater system (Note: Council has no agreement with network utility operations to act as their agent)
- Provisions to be made in any demolition work for the protection of the public, suppression or dust, disposal of debris, disconnection from public utilities, and suppression of noise
- Details of any cultural heritage significance of the building site, including whether it is on a marae, or waahi tapu
- Copy or reference to, of any resource consent or planning approval for this project
- Details of volume. Proposed excavations : Include volumes for site preparation, basement and driveway

(Complete Part C in all cases)  
**PART C : BUILDING DETAILS**

This application is accompanied by (Tick each applicable box, attach relevant documents in duplicate)

- The drawings, specifications and other documents according to which the building is proposed to be constructed to comply with the provisions of the New Zealand Building Code, with supporting documents, if any, including -
  - Building Certificates
  - Producer Statements
  - References to accreditation certificates issued by the Building Industry Authority
  - References to determinations issued by the Building Industry Authority
  - Proposed procedures, if any, for inspection during construction

**KAIPARA DISTRICT COUNCIL**

Valuation Reference:	101/51
	K
Consent Required For:	ROOF OVER DECK
Consent Issued (number):	990720
OBJECTION TO RELEASE OF INFORMATION:	YES/NO

**Sent To Applicant**

- Building Consent ✓
- Various Receipts ✓
- One Copy of Approved Plan and Specification Submitted with Application ✓
- PIM ✓
- Inspection Checklist ✓

20-04-01 Prelim inspection: OK
27-09-02 : Final inspection OK

DGW/dgw



ccc Please  
Ji

### Advice of Completion of Building Work

Section 43(1), Building Act 1991

To: KAIPARA DISTRICT COUNCIL

#### Consent Details

B & BJ BELL	No.	990720
OPANAKE ROAD	Issue date	14/12/99
2	Application date	10/12/99
WIRIAMIA		

#### Project

Description	ALTERATIONS, REPAIRS or EXTENSIONS BEING STAGE 1 OF AN INTENDED 1 STAGES EXTEND ROOF OVER DECK
Intended Life	INDEFINITE, BUT NOT LESS THAN 50 YEARS
Intended Use	OWNERS USE
Estimated Value	\$2,500
Location	OPANAKE RD, DARGAWLLE
Legal Description	LOT 1 DP 192493
Valuation No.	0101005100

You are hereby advised that

- All
- Part only as specified in the attached particulars

of the building work under the above building consent is believed to have been completed to the extent required by that building consent.

You are requested to issue

- A final
- An interim

code compliance certificate accordingly (except where a code compliance certificate has been issued by a building certifier as stated below).

The attached particulars include:

- Building and energy certificates
- A code compliance certificate issued by a building certifier
- Producer statements

Signed by or for and on behalf of the owner:

Name: Bell

Position: Owner Date: 3-9-02

Business hours contact phone no: 4396004

## Code Compliance Certificate

Section 43(3), Building Act 1991

### Application

R & BJ BELL	No.	990720
OPANAKEROAD	Issue date	1/10/02
RD 2		
DARGAVILLE		

### Project

Description	Alterations, Repairs or Extensions Being Stage 1 of an intended 1 Stages EXTEND ROOF OVER DECK
Intended Life	Indefinite, but not less than 50 years
Intended Use	OWNERS USE
Estimated Value	\$2,500
Location	OPANAKE RD, DARGAVILLE
Legal Description	LOT 1 DP 192493
Valuation No.	0101005100

This is a final Code Compliance Certificate issued in respect of **all** the building work under the above building consent.

Signed for and on behalf of the Council:



Name:

Date: 1-10-02





REQUIRED INSPECTIONS		BUILDING CONSENT NO. 990720			
NOTE: One days notice is required for all inspections (A day means one Council Working day) inspections relating to this consent are those highlighted in the following list.					
CONTACT: KAIPARA DISTRICT COUNCIL TELEPHONE: Dargaville (09) 439 7059 FAX: (09) 439 6756 Paparoa (09) 431 7019 FAX: (09) 431 7017		APPROVED		Re-check	Initial
		YES	NO		
Foundations	Excavations level and clean, reinforcement in place, starters tied, with correct clearances prior to placement of concrete.				
Subfloor	Sub floor bracing and connectors. crawl space, d.p.c.				
Floor Slab	Damp proofing and/or reinforcement in place, correct clearances, plumbing & drainage pipes in place and protected, damp proofing continuous to the exterior face of the building.				
Masonry	Inc. bond beams, reinforcement in place, starters tied, bottom of core & ports clean, plumbing & drainage pipes in place.				
✓ Prelining	At the stage where exterior cladding and joinery is in place, but prior to the erection or fixing of internal linings, includes plumbing in walls under test, framing, bracing, moisture content, insulation, fixings for subfloor.	✓	20-04-01		PL
Insulation	Skillion roofs, solid construction (where insulation cannot be seen at the preline stage).				
Gib Nail	Sheet bracing and insulation, double skin firewalls.				
Brick Veneer	When the veneer reaches sill height (brick ties, weep holes, clean cavities, steel lintels which support brickwork).				
Sanitary Drainage	Manholes, benching, test on lines bedding SS connection, septic tank & irrigation installations prior to backfilling.				

As Built Drainage Plan Required? YES  NO

Stormwater Drainage	All drains, manholes, connection to SW system, soak holes in place but prior to covering up.				
Disconnect Sanitary Drainage	Demolition work, capping sewer.				
Disconnect Stormwater	Removal and capping of existing stormwater connection.				
Disconnect Water					
Special Conditions	Where notice is required for specific items				
✓ Completion	Weather-tightness, flashings, doors, deviation from plans, building, plumbing, drainage, free standing fire unit completion of all work authorised by this consent required prior to the issue of the Code Compliance Certificate.	✓	27-09-02		PL

NOTE: DEPENDING ON THE FORM OF CONSTRUCTION SOME OF THESE INSPECTIONS COULD BE INCORPORATED INTO ONE INSPECTION.

## Building Consent

### Section 35, Building Act 1991

#### Application

R & BJ BELL	No.	990720
OPANAKE ROAD	Issue date	14/12/99
RD 2	Application date	10/12/99
DARGAVILLE		

#### Project

Description	ALTERATIONS, REPAIRS or EXTENSIONS BEING STAGE 1 OF AN INTENDED 1 STAGES EXTEND ROOF OVER DECK
Intended Life	INDEFINITE, BUT NOT LESS THAN 50 YEARS
Intended Use	OWNERS USE
Estimated Value	\$2,500
Location	OPANAKE RD, DARGAVILLE
Legal Description	LOT 1 DP 192493
Valuation No.	0101005100

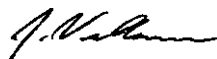
#### Charges

The Council's charges paid on uplifting this Building Consent, in accordance with the attached details are:

	\$	80.00
Building Research Levy	\$	0.00
Building Industry Authority Levy	\$	0.00
Total	\$	80.00

This building consent is a consent under the Building Act 1991 to undertake building work in accordance with the attached plans and specifications so as to comply with the provisions of the building code. It is not a consent under the Resource Management Act and does not affect any duty or responsibility under any other Act nor permit any breach of any other Act.

Signed for and on behalf of the Council:



Name: \_\_\_\_\_

Date: 14-12-99

## Project Information Memorandum

### Section 31, Building Act 1991

#### Application

R & BJ BELL	No.	990720
OPANAKE ROAD	Issue date	14/12/99
RD 2	Application date	10/12/99
DARGAVILLE		

#### Project

Description	ALTERATIONS, REPAIRS or EXTENSIONS BEING STAGE 1 OF AN INTENDED 1 STAGES EXTEND ROOF OVER DECK
Intended Life	INDEFINITE, BUT NOT LESS THAN 50 YEARS
Intended Use	OWNERS USE
Estimated Value	\$2,500
Location	OPANAKE RD, DARGAVILLE
Legal Description	LOT 1 DP 192493
Valuation No.	0101005100

This project information memorandum is confirmation that the proposed building work may be undertaken, subject to the provisions of the Building Act 1991, and any requirements of the building consent.

No relevant information has been located for this property,

Signed for and on behalf of the Council:



Name: \_\_\_\_\_

Date: 14-12-99

PART D : KEY PERSONNEL

(Complete Part D **As** far as possible in all cases. Give names, addresses and telephone numbers.  
Give relevant registration numbers if known)

DESIGNER(S)

Name \_\_\_\_\_

Address \_\_\_\_\_

Phone Number \_\_\_\_\_

Fax Number \_\_\_\_\_

BUILDER

Name \_\_\_\_\_

*R. BELL*

Address \_\_\_\_\_

*OPANAKE RD*

Phone Number \_\_\_\_\_

*094396004*

Fax Number \_\_\_\_\_

*SAME*

DRAINLAYER

Name \_\_\_\_\_

Address \_\_\_\_\_

Phone Number \_\_\_\_\_

Fax Number \_\_\_\_\_

PLUMBER

Name \_\_\_\_\_

Address \_\_\_\_\_

Phone Number \_\_\_\_\_

Fax Number \_\_\_\_\_

CERTIFIERS

Name \_\_\_\_\_

Reg No \_\_\_\_\_

Address \_\_\_\_\_

Phone Number \_\_\_\_\_

Fax Number \_\_\_\_\_

Certifying \_\_\_\_\_

Name \_\_\_\_\_

Reg No \_\_\_\_\_

Address \_\_\_\_\_

Phone Number \_\_\_\_\_

Fax Number \_\_\_\_\_

Certifying \_\_\_\_\_

RELEASE OF INFORMATION

Council provides building consent information to a number of organisations. Included in this is the names of applicants and the location of the projects. Much of this information has to be supplied in terms of the Local Government Information Act, however we can withhold personal identification if you wish. Please indicate below if you object to release of identifying information.

I WISH TO OBJECT TO **THE ISSUE** OF IDENTIFYING INFORMATION ON MY PROJECT



PART E : COMPLIANCE SCHEDULE DETAILS

E1 : SYSTEMS NECESSITATING A COMPLIANCE SCHEDULE

(Complete Part E1 for all new buildings and alterations, except single residential dwellings)

The building will contain the following (Tick  each applicable box and attach proposed inspection, maintenance and reporting procedures.

- Automatic Sprinkler systems or other systems of automatic fire protection
- Automatic doors which form part of any fire wall and which are designed to close shut and remain shut on an alarm of fire
- Emergency warning systems for fire and other dangers
- Emergency lighting systems
- Escape route pressurisation systems. Riser
- Mains for fire service use
- Any automatic back-flow preventer connected to a potable water supply
- Lifts, escalators, or travelators or other similar systems
- Mechanical ventilation or air conditioning system serving all or a major part of the building
- Any other mechanical, electrical, hydraulic or electronic system whose proper operation is necessary for compliance with the building code
- Building maintenance units for providing access to the exterior and interior walls of buildings
- Such signs as are required by the building code in respect of the above-mentioned systems
- None of the above

E2 : OTHER SYSTEMS AND FEATURES TO BE INCLUDED IN THE COMPLIANCE SCHEDULE

(Complete Part E2 only if the building contains one or more of the systems listed in Part E1)

The building will contain the following (Tick  each applicable box and attach proposed inspection, maintenance and reporting procedures)

- Means of escape from fire
- Safety barriers
- Means of access and facilities for use by persons with disabilities which meet the requirements of Section 25 of the Disabled Persons Community Welfare Act 1975.
- Hand-held hoses for fire fighting
- Such signs as are required by the building code or Section 25 of the Disabled Persons Community Welfare Act 1975

# KAIPARA DISTRICT COUNCIL

Dargaville Office  
Private Bag, Dargaville  
Phone (0884) 7059

Paparua Office  
P.O. Box 1, Paparua  
Phone (089) 4317019

## APPLICATION FOR BUILDING PERMIT

To the Engineer (ATTENTION: Building Inspector)

I hereby make application to erect/~~re-erect~~/~~extend~~/~~alter~~/~~repair~~ the building(s) according to the site plan, detailed plans, elevations, cross sections and specifications deposited herewith in duplicate.

Particulars of the land and buildings are:

**OWNER** Name R & B. J. BEHL  
Postal Address P.O. Box 362 DARGAVILLE  
Phone 4396004

**BUILDER** Name AS ABOVE  
Postal Address \_\_\_\_\_  
Phone \_\_\_\_\_

**EXISTING USE OF SITE AND BUILDINGS** FARM

**NATURE OF PROPOSED BUILDING WORK** NEW PRIVATE DWELLING.

e.g. additions to Dwelling, Bedroom, Lounge extensions etc.

**VALUATION DEPT. ASSESSMENT No:** (from rate demand) 101 / 51 X

**LEGAL DESCRIPTION OF SITE** (from rate demand or title deeds) LOT 24 DP 10664  
KAIHU No 2R Block

**ADDRESS OF SITE** OPANAKE RD DARG.

**AREA OF SITE** 32.5645 HA Hectares \_\_\_\_\_ sq. metres

**NATURE OF SOIL** (rock, clay, sand, loam etc) CLAY  SAND

**FLOOR AREA** (proposed work-square metres)

	Basement	Ground Floor	Other Floors	Total
Main Building				87 <input checked="" type="checkbox"/> m <sup>2</sup>
Accessory Buildings				

**ESTIMATED VALUE OF WORK AND FEES**

	VALUE
Main Buildings (excluding plumbing and drainage)	\$ <u>54,500</u>
Accessory Buildings (excluding plumbing and drainage)	\$ _____
Plumbing .....	\$ <u>3500</u>
Drainage .....	\$ <u>000</u>
<b>Sub Total</b> .....	\$ <u>60,000</u>
Building Levy Fee (on Sub Total Value) ....	\$ _____
Vehicle Crossing Deposit .....	\$ _____
Vehicle Crossing Payment .....	\$ _____
Footpath and Street Damage Deposit .....	\$ _____
Sewer Connection .....	\$ _____
Water Connection .....	\$ _____
<b>Other:</b> e.g. Hoarding Licence, Stormwater Inspection, Off Street Parking .....	\$ _____

FOR OFFICE USE ONLY				
Fees	Receipt No.	Date	Permit	No.
\$ <u>485.00</u>	<u>59235</u>	<u>6/12/91</u>		
\$ _____	_____	/ /		
\$ <u>149.00</u>	<u>59235</u>	<u>6/12/91</u>		
\$ <u>60.00</u>	<u>59235</u>	<u>6/12/91</u>		
\$ _____	_____	/ /		
\$ _____	_____	/ /		
\$ _____	_____	/ /		
\$ _____	_____	/ /		
\$ _____	_____	/ /		
<b>TOTAL FEE \$</b> <u>8694.00</u>				

**CERTIFICATE**

I hereby certify that the above information is correct in every respect and do hereby agree to abide by all provisions of the Kaipara District Council By-laws governing and regulating all matters the subject of the foregoing.

Signature of Applicant MBell Date 28-11-91



Inspector: M \_\_\_\_\_ File No. \_\_\_\_\_

Receipt No. \_\_\_\_\_

Date Permit Issued 11 / 11 / 11

**OWNER**

Name \_\_\_\_\_

Mailing Address \_\_\_\_\_

**BUILDER**

Name \_\_\_\_\_

Mailing Address \_\_\_\_\_

PROPERTY ON WHICH BUILDING IS TO BE ERRECTED/DEMOLISHED

**SITE**

Street No. \_\_\_\_\_

Street Name \_\_\_\_\_

Town/District \_\_\_\_\_

Ridino \_\_\_\_\_

**LEGAL DESCRIPTION**

Valuation Roll No. \_\_\_\_\_

Lot \_\_\_\_\_ D.P. \_\_\_\_\_

Section \_\_\_\_\_ Block \_\_\_\_\_

Survey District \_\_\_\_\_

**DESCRIPTION OF PROPOSED WORK AND MAIN PURPOSE OF USE**

ERECT NEW BUILDING FOR ...

**FLOOR AREA** Whole Sq Metres 57

**DWELLING UNITS** Erected

ESTIMATED VALUES \$	Building	56,000
	Plumbing	4,500
	Drainage	2,000
	G.S.T. (10%)	
	<b>TOTAL</b>	<b>62,500</b>

**NATURE OF PERMIT (TICK BOX)**

NEW BUILDING  
- exclude domestic garages and domestic outbuildings

FOUNDATIONS ONLY

ALTERED, REPAIRED, EXTENDED, CONVERTED, RESITED  
- include installation of heating appliances

NEW CONSTRUCTION  
OTHER MAIN BUILDINGS - include demolitions

DOMESTIC GARAGES  
AND DOMESTIC OUTBUILDINGS

**FEES APPLICABLE**

Building Permit	\$ 455	Water Connection	\$ _____	Receipt No.	1115
Street Damage Deposit	\$ _____		\$ _____	Date of Payment	11/11/11
Building Research Levy	\$ 60		\$ _____	Authorised Officer	_____
Plumbing	\$ 145		\$ _____		
Drainage	\$ _____		\$ _____		
Sewer Connection	\$ _____		\$ _____		
Vehicle Crossing Levy	\$ _____	G.S.T. (10%)	\$ _____		
M.S. Plumbing	\$ _____	<b>TOTAL:</b>	\$ <b>694</b>		

Special Conditions \_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

Date Inspected	REMARKS (e.g. stage reached with work)



K A I P A R A   D I S T R I C T   C O U N C I L

A P P L I C A T I O N   F O R   P E R M I T   F O R   S A N I T A R Y   P L U M B I N G   O R   D R A I N A G E   W O R K

To: The Engineer (Attn. Plumbing & Drainage Inspector)  
Kaipara District Council

Private Bag  
DARGAVILLE

P.O. Box 1  
PAPAROA

I, the undersigned B BOAKES of 102 Jellicoe St  
(full name) (full postal address)  
hereby apply for a permit for the work described herein, and set out in the  
plans attached hereto, to be carried out in the premises situated at:

Valuation Number: ? legal Description:  
Lot No.: \_\_\_\_\_  
Street or Road: OPANAKE RD Deposited Land: 10667  
Block: 2B  
District: DARG. Survey District: KAIHU

Name and Address of Person for whom work is to be carried out:

R. & B. J. BELL  
OPANAKE RD DARG.

Name and Address of Registered Craftsman Plumber, or Registered Drainlayer:

Plumber: B BOAKES Drainlayer: B BOAKES

Registration Number: \_\_\_\_\_ Registration Number: \_\_\_\_\_

DESCRIPTION OF WORK

State type of premises: NEW PRIVATE DWELLING

State extent of work: Plumbing & drain on above

ESTIMATED VALUE OF WORK

	Materials	labour	Subtotal
Drainage	<u>1100</u>	<u>900</u>	<u>2000</u>
Plumbing	<u>2500</u>	<u>1000</u>	<u>3500</u>
		TOTAL	_____

Signed: B Boakes Date: 2-12-91

- SEE NOTES ON REVERSE -

OFFICE USE ONLY

fee Paid: \_\_\_\_\_ Receipt Number: \_\_\_\_\_ Date: \_\_\_\_\_

SCALE OF PERMIT FEES PAYABLE

Labour Value up to \$200.00 ..... \$30.00  
plus \$7.00 for every \$100.00 or part thereof up to \$2,000.00  
plus \$5.50 for every \$100.00 or part thereafter

NOTE:

Fees are calculated on the total value of the work less the cost of materials. Such items as digger hire should not be included in the value of materials. Where the value of materials is not stated these will be calculated at 60% of the total value of plumbing work and 40% of the total value of drainage work. The Council reserve the right to alter the estimated value of all work for permit fee purposes at the discretion of the Plumbing and Drainage Inspector.

Water Conservation Bylaw (Dargoaville Only)

Dual Flush Toilets

All water closet flushing cisterns in new installations or where the cistern is being replaced shall be of a dual flush type approved by the engineer.

On Demand Urinal flush Controllers

The flushing of all urinals in new installations or where the cistern is being replaced, shall be controlled by an on-demand controller or a type approved by the Engineer.

Work is to be carried out by a registered plumber or drainlayer.

A plan of the proposed work is to be submitted with this application.

"As built" plans of the completed work will be the responsibility of the Drainage and Plumbing Inspector.

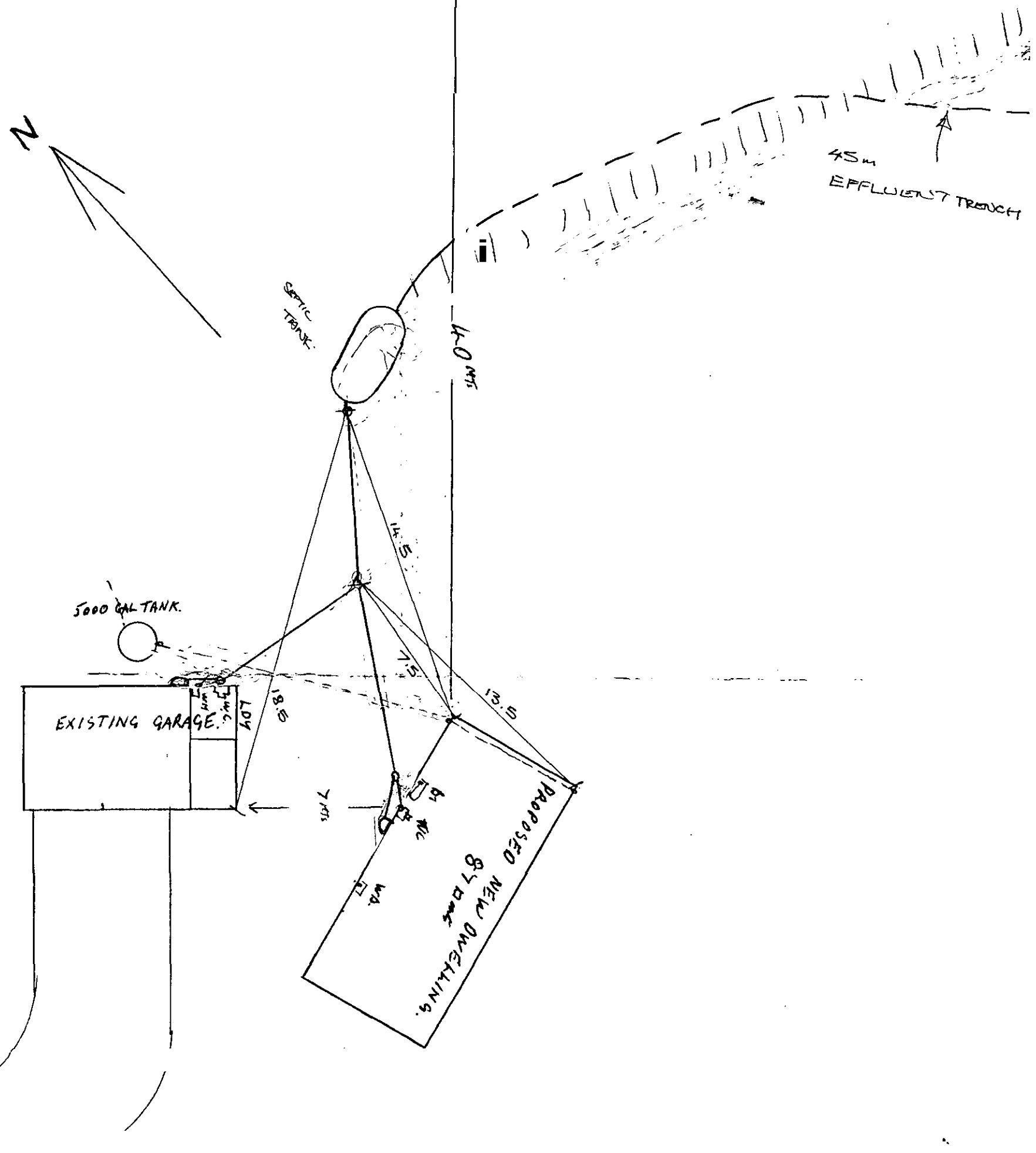
All testing gear to be supplied by the Drainlayer and drains are to be pretested by air.

Permit fees are payable on sanitary plumbing and drainage, but not on roofing, spouting etc.

Plan

A suitable plan should be provided here indicating position, and length of the walls of the building, the position of sanitary fittings, the proposed position of drainage and septic tank, distances from boundaries and the position and dimensions of effluent disposal.

# OPANAKE RD.



SITE PLAN, STORM WATER & SEWAGE FOR  
 R & B J. BELL OPANAKE RD.

SCALE: 1:200

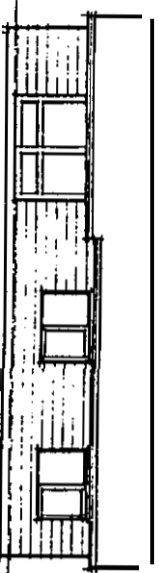
DRAWN:

RS.

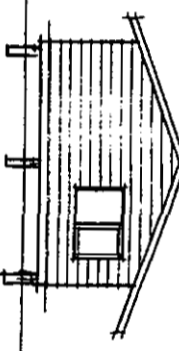
DATE: 28-11-91

APPROVED:

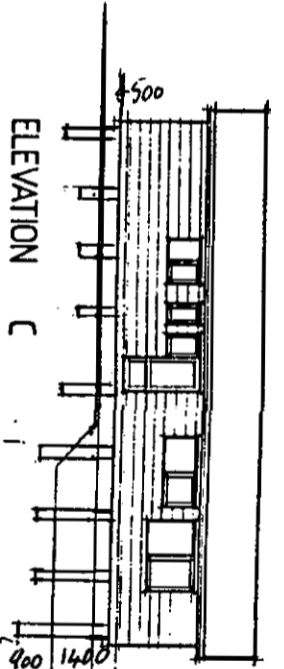
RS.



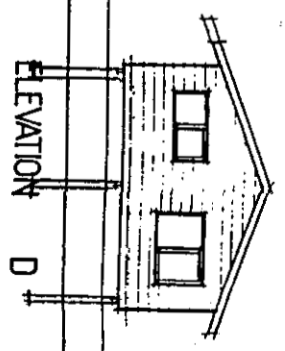
ELEVATION A



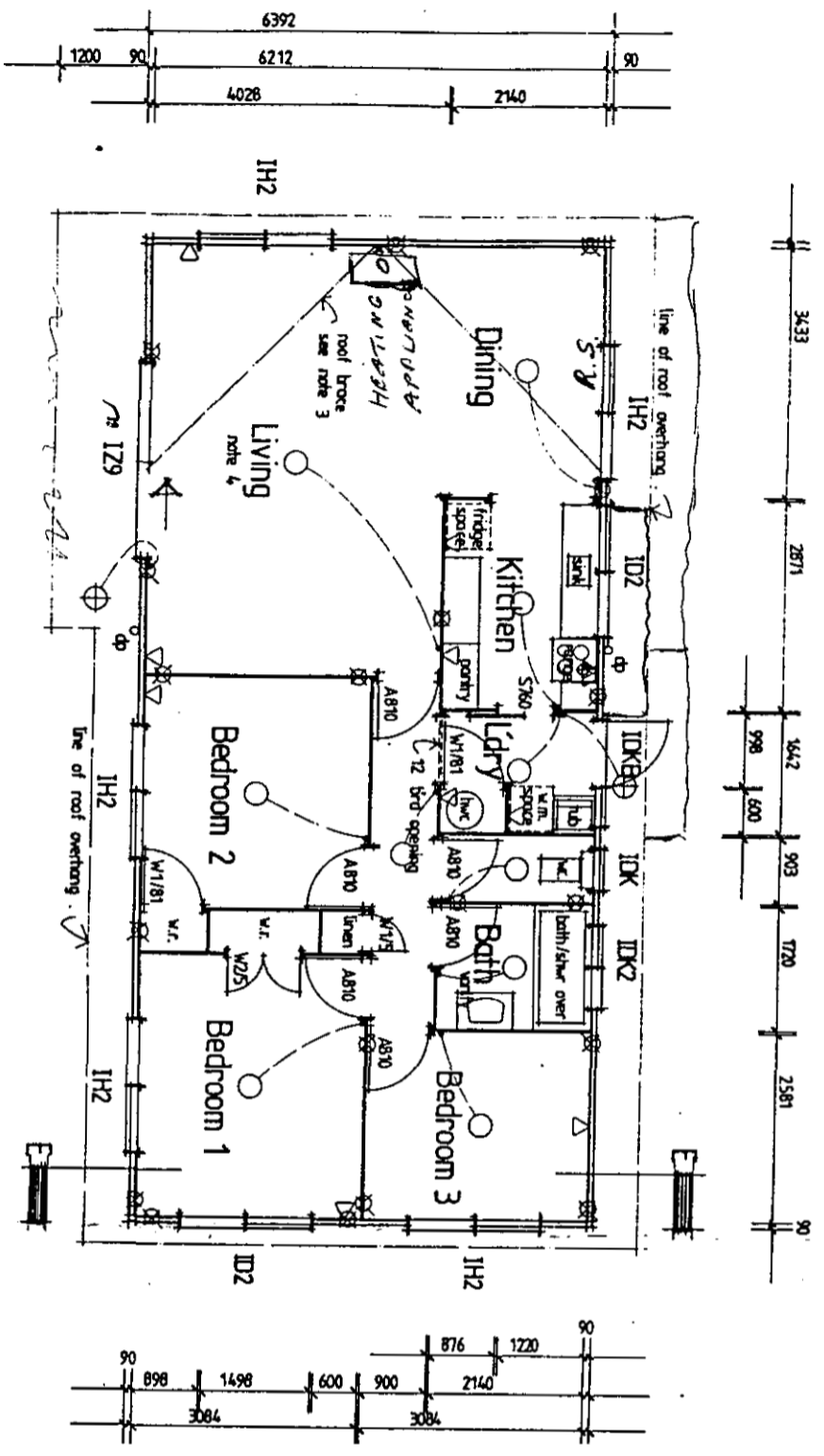
ELEVATION B



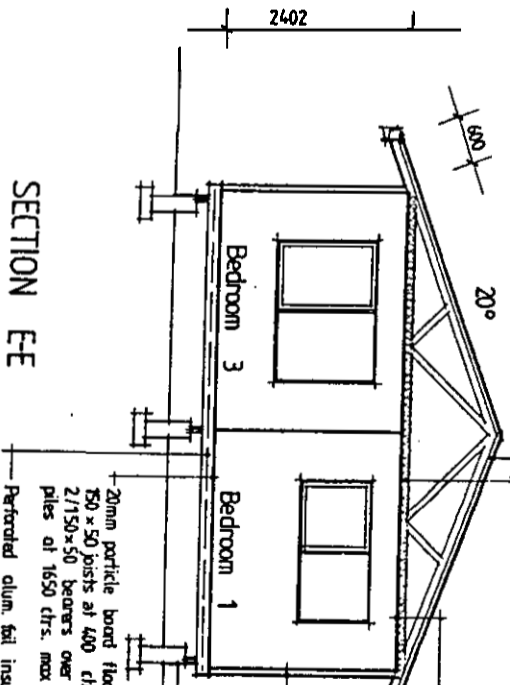
ELEVATION C



ELEVATION D



FLOOR PLAN



Styrene five rib roofing on building paper on rafters on 75x50 purlins at 800 ctrs. max. over gung nail trusses at 1200 ctrs.

Fiberglass ceiling batts

Michelangelo ceiling tiles.

Smooth hardflex soffit lining.

Hardplank sheathing over building paper over 50x40 bolthens on alum. foil over 44mm "INITIAL" solid wall construction system.

100x25 CT base lying by owner / contractor.

20mm particle board flooring on 75x50 joists at 400 ctrs. max. on 2/150x50 bearers over approved piles at 1650 ctrs. max.

Perforated alum. foil insulation.

7.5mm ply to base  
TO ACT AS BRACING



CLIENT	OWNER
PROJECT	HOUSE TYPE
DATE	SCALE

DRAWING	
PLAN, SECTION, ELEVATIONS	
HOUSE TYPE	FLOOR AREA
TAKAHF	SCALE

DRAWN	TRACED	APPROVED
DATE	DATE	DATE
31/10/90	31/10/90	31/10/90

NOTES	
1. Foundation construction to comply with NZS 3604.	ELECTRICAL KEY
2. RTZ 80 rafters and RTZ 30x.	
3. Droppin lines to be kept clear of RTZ 30x.	
4. 21st height to be kept clear of RTZ 30x.	



CLIENT

DRAWING

DRAWN

TRACKED

APPROVED

NOTES

ELECTRICAL KEY

SHEET

RAJDER

HOUSE TYPE

FLOOR AREA

CHANGED

DATE

ELEV

CP

SUBFLOOR

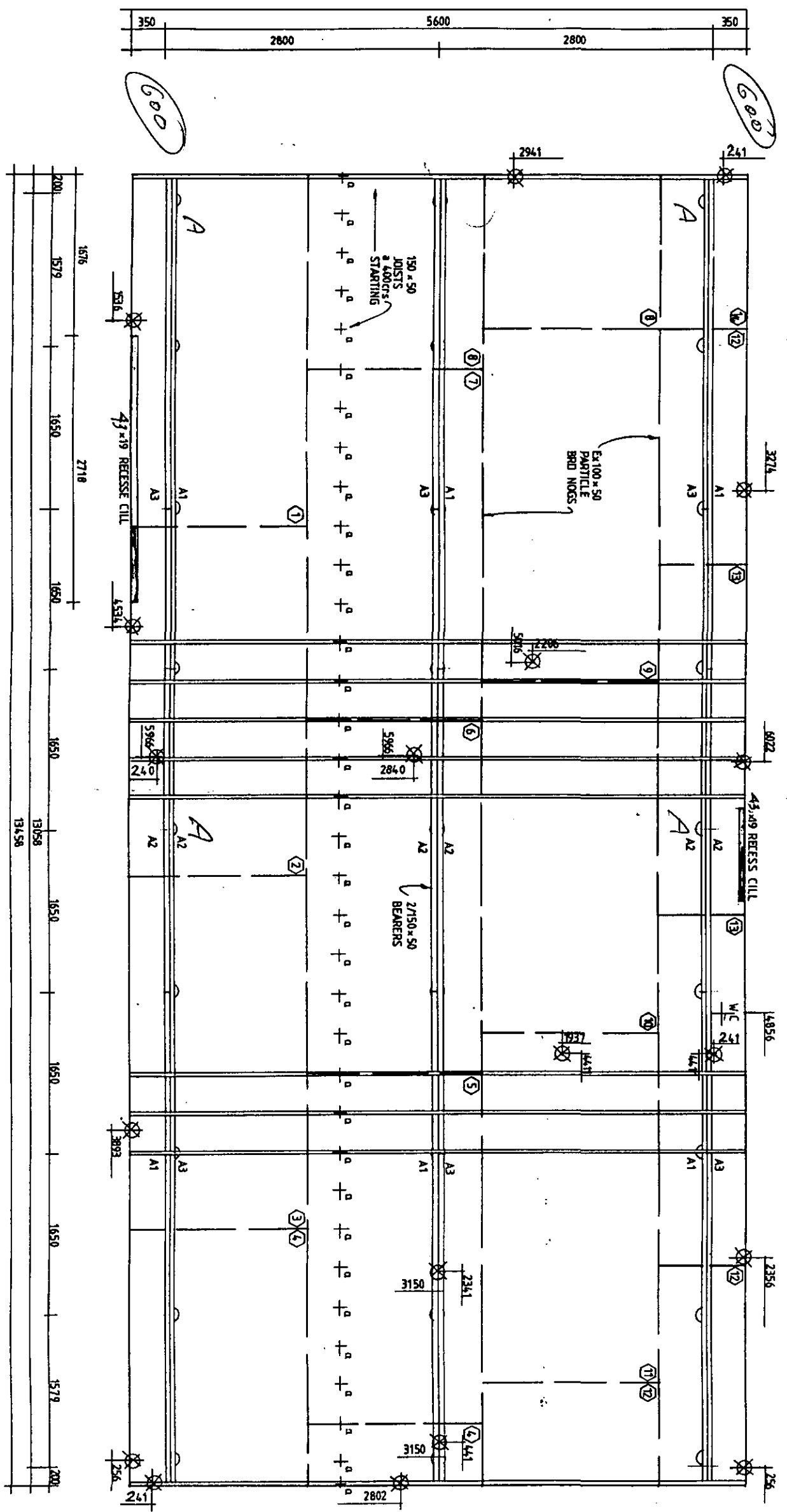
TAKAHE STD

86.61 sqm

1/25

11/11

FOUNDATION CONSTRUCTION TO COMPLY WITH NZS 3604 & LOCAL BUILDING BY-LAW



SYMBOL	DESCRIPTION
○	Light
△	Switch
□	Socket
◇	Outlet
⊕	Power
⊖	Earth
⊗	Water
⊙	Gas
⊚	TV
⊛	Phone
⊜	Antenna
⊝	Fire
⊞	Alarm
⊠	Door
⊡	Window
⊣	Stair
⊤	Roof
⊥	Foundation

Valuation Reference **1010 05100** Computer Codes Indic **121000** Date of Revision **1/10/90** Date form printed **1/11/91**

Special Values **0** change F Nature of Improvements

VI	20000	BDG FEG	BELL RAYMOND
LV	52000	RATEADLE	BELL BARBARA JEAN
CV	72000		PO BOX 362
			DARGAVILLE

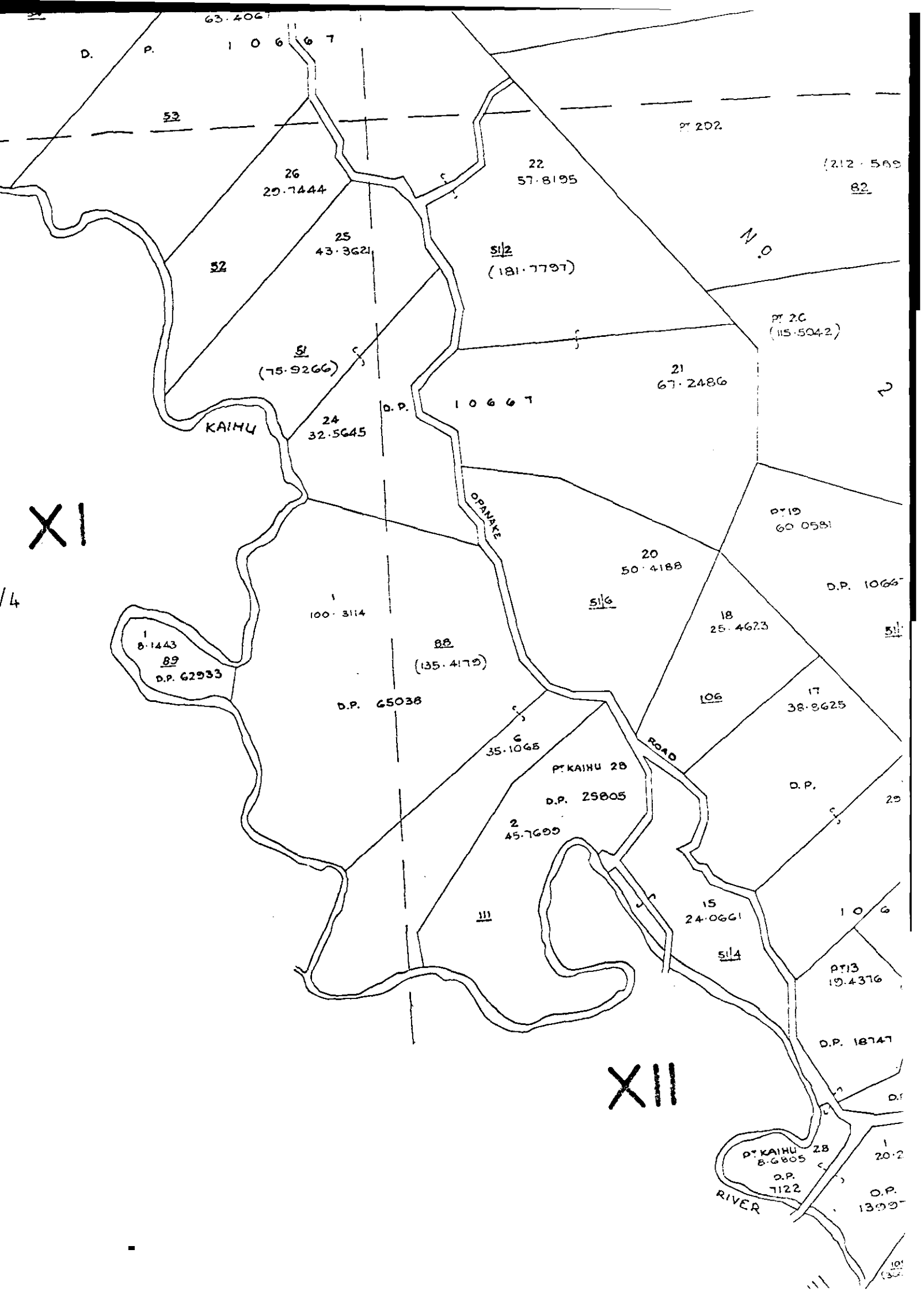
HECTARES **32.5645** Address of Property/Situation **OPANAKE RD KAIPARA DISTRICT**

REGION: **01 NORTHLAND** WARD: **01 Dargaville**

CODE SCHEME NAME CLASS AREA CV LV  
 997 KAIHU VALLEY MAINTENANCE A 2.0000  
 997 KAIHU VALLEY MAINTENANCE G 30.5645

LOT Z DP 10667 BLKS XI XII KAIHU CD  
 REASON...-ADDSESS CHANGE X TL>

The sequence of data here is: Owner (if other than Occupier), Special Rating Area information (if any), Description of Property



63.406

10667

D. P.

53

PT 202

(212.560)

82

26  
20.7444

22  
57.8195

N.O

52

25  
43.3621

51/2  
(181.7797)

PT 20  
(115.5042)

51  
(75.9266)

21  
67.2486

D.P.

10667

KAIHU

24  
32.5645

PT 19  
60.0581

XI

1/4

1  
100.3114

20  
50.4188

D.P. 10667

51/6

18  
25.4623

51/1

1  
8.1443  
89  
D.P. 62933

88  
(135.4170)

D.P. 65038

106

17  
38.8625

35.1065

ROAD

PT KAIHU 2B

D.P. 25805

D.P.

2  
45.7600

51/1

15  
24.0661

51/4

PT 13  
19.4376

XII

D.P. 18747

PT KAIHU 2B  
8.6805  
D.P. 7122

RIVER

1  
20.2

D.P. 13000

101  
(32)

## GENERAL INFORMATION

(1) The following MUST accompany this Application:

PLANS AND SPECIFICATIONS TO BE SUBMITTED IN DUPLICATE in ink or on print paper to an acceptable metric scale (eg. Plans and Elevations 1:100, Cross sections 1:50, Details 1:10, Site Plan 1:200 would be normal) and drawings shall be drawn or printed on quality paper preferably of Standard A1, A2 or A3 size.

The following shall be included:

- (a) A floor plan of each floor level showing position of all sanitary fittings and names and sizes of various rooms.
  - (b) Where the building is on a sloping site the correct height of foundations must be shown.
  - (c) An elevation of each external wall.
  - (d) Cross-sections showing framing, the type and location of cladding, insulation, sheathing and lining.
  - (e) The type and location of each foundation element (for example: reinforced masonry foundation wall, anchor pile, cantilevered pile, and so on).
  - (f) Adequate information on all subfloor, floor, wall, and roof framing, including the type and location of each subfloor brace, diagonal brace, and wall bracing element and the number of bracing units assigned to each wall bracing element.
  - (g) Where a building requires Plumbing and Drainage work a separate Application form must be filled in and fee paid before a Building Permit can be issued.
  - (h) Such drawings and information in details as may be necessary to indicate that the proposed building or other work or change of use of land or buildings will comply in all respect with the District Planning Scheme and with the By-laws.
  - (i) A report and calculations showing how the design complies with the By-laws in the case of buildings requiring specific designs.
  - (j) Applications for (in so far applicable):
    - (1) Drainage and Plumbing
    - (2) Sewer Connections
    - (3) Water Supply Connection
    - (4) Footpath Damage Deposit
    - (5) Hoarding Licence
    - (6) Vehicle Crossing
    - (7) Stormwater Connection
  - (k) In duplicate a location drawing showing the site (all four boundaries) the buildings already on the site and the new proposed building shown in black. The measurements from the proposed buildings to all buildings on the site and the boundary lines should be given.
- (2) **FEES** may be forwarded later on advice of availability of permit and the amount of fees required.

## SCALE OF FEES

For the examination of plans and specifications of any building and for the inspection of such building the following fees shall be payable according to the estimated value of the work.

In any dispute as to value, the Engineer shall have the absolute determination of the value of the proposed work or building.

## BUILDING PERMIT FEES

**ESTIMATED VALUE OF WORK** (Value to exclude value of Plumbing and Drainage work).

Values must be calculated at current market rates and include the GST content of the price of the building.

0 to \$ 2,500	fee	\$ 55.00
\$ 2,501 to \$ 5,000	fee	\$ 95.00
\$ 5,001 to \$ 9,000	fee	\$145.00
\$ 9,001 to \$ 13,000	fee	\$220.00
\$ 13,001 to \$ 20,000	fee	\$300.00
\$ 20,001 to \$ 30,000	fee	\$370.00
\$ 30,001 to \$ 45,000	fee	\$425.00
\$ 45,001 to \$ 60,000	fee	<del>\$485.00</del>
\$ 60,001 to \$ 80,000	fee	\$525.00
\$80,001 to \$110,000	fee	\$585.00
\$110,001 to \$150,000	fee	\$650.00
\$150,001 to \$200,000	fee	\$750.00

\$200,001 and above — \$750.00 for the first \$200,000 plus \$100.00 for every \$50,000 or part thereof thereafter.

That where a design certificate or structural checking is required, that the fee be increased by 25%.

## BUILDING RESEARCH LEVY FEE

In addition to the above fee, there will also be payable a Building Research Levy in accordance with the Building Research Levy Act 1969, which is set at \$1.00 in each \$1,000 or part thereof of the value of each Building Permit issued. Permits for work of a value less than \$20,000 are exempted.

## PLUMBING AND DRAINAGE PERMIT FEE

See Drainage and Plumbing Application Form

A minimum fee of \$30.00 for the first \$200 worth of work (labour without materials).

\$6.00 per \$100.00 worth of work thereafter.

All the above fees include GST.

# HOBSON COUNTY COUNCIL

Private Bag,  
Dargaville.

Local Government Centre,  
(Office, Hokianga Road,)  
Dargaville

Phone 7059  
Dargaville

## APPLICATION FOR L I T

TO THE BUILDING INSPECTOR

Sir,

I hereby make application to ~~erect/re-erect~~ extend/alter/repair the building(s) according to the site plan (overleaf) detailed plans, elevations, cross sections and specifications deposited herewith in duplicate. Particulars of the land and buildings are:—

Name MR P M MOORE 793954

Postal Address P.O. Box 2980 AUCKLAND Phone 709-07844 WK

**BUILDER**

Name Self

Postal Address — Phone —

**EXISTING USE OF SITE AND BUILDINGS**

Forming Property under development

**NATURE OF PROPOSED BUILDING WORK**

Tractor / Implement shed / workshop.

e.g., additions to Dwelling, Bedroom, Lounge extensions etc.

**VALUATION DEPT. ASSESSMENT No.:** (from rate demand) 101/51

**LEGAL DESCRIPTION OF SITE:** (from rate demand or title deeds)

LOT 8 DP 10667 BKS XI & XII KAIMU S.D.

Road or Street: OPANAKE RD

**AREA OF SITE:** Acres Roods Perches

75.9266 Hectares

**NATURE OF SOIL:** (rock, clay, sand, loam, etc.) Te Kofurua Sand, Whorekoko silt loam

**FLOOR AREA:** (proposed work — square measure)

	Basemnet	Ground Floor	Other Floors	Total
Main Building	.....	.....	.....	<u>62.46 M2</u>
Accessory Buildings	.....	.....	.....	.....

**ESTIMATED VALUE OF WORK:**

Main Buildings (excluding plumbing and drainage) \$:.....

Accessory Buildings (excluding plumbing and drainage) \$:.....

Plumbing and Drainage \$:.....

Total Value of Work \$2500

**CERTIFICATE:** I hereby certify that the above information is correct in every respect and do hereby agree to abide by all provisions of the Hobson County Council by-laws governing and regulating all matters the subject of the foregoing.

Signature of Applicant; P M Moore

Date: 16/August/82

**FOR OFFICE USE ONLY**

**FEEs:**

Building Permit \$ 27-00 Receipt No. 6954 Date 1982 Permit No. ....

Plumbing and Drainage Permit \$ ..... Receipt No. .... Date ..... Permit No. ....

Building Research Levy \$ ..... Receipt No. .... Date .....

TOTAL \$ 27-00

FOR OFFICE USE ONLY

TO ADMINISTRATIVE OFFICER:

Date Received

Check List: Forms completed ( ) Valuation No. ( ) Fees received ( )

Remarks: .....

Signature: Date: .....

TO PLANNING OFFICER:

(Check with District Planning Scheme. Refer to Council if required).

Approved by County Chairman Signature: Date: ...

Checked and approved by Officer Signature: Date:

TO HEALTH INSPECTOR:

(Check for drainage, health, etc)

Checked and approved Signature: Date: .....

TO BUILDING INSPECTOR:

(Check for by-laws, etc.)

Checked and approved Signature: Date:

REMARKS: .....

PERMIT TO BE ISSUED SUBJECT TO: .....

GENERAL INFORMATION

(1) The following MUST accompany this Application:

PLANS AND SPECIFICATIONS TO BE SUBMITTED IN DUPLICATION (in ink or a print paper) including —

- < (a) Ground plans of proposed work showing position of all sanitary fittings and names and sizes of various rooms.
- X (b) Where the building is on a sloping site the correct height of Foundations must be shown.
- ✓ (c) Front and side elevations.
- ✓ (d) Cross section showing framing with bracing
- X (e) Where a building requires Plumbing and Drainage work a separate Application Form must be filled in and fee paid before a Building Permit can be issued.
- X (f) Application for entrance crossing from road
- X (g) Such drawings and information in detail as may be necessary to indicate that the proposed building or other work or change of use of land or building will comply in all respect with the District Planning Scheme and with the By-laws.
- X (h) A report and calculations showing how the design complies with the By-laws in the case of building requiring specific design.

(2) FEES may be forwarded later on advice of availability of permit and the amount of fees required.

**OWNER**

Name P M Moore

Address P.O. Box 2980 Auckland

**BUILDER**

Name ? M Moore

Mailing Address P O Box 2980 Auckland

**SITE**

Street No. \_\_\_\_\_

Street Name Opanake Road

Town/District \_\_\_\_\_

Riding Awakino

**LEGAL DESCRIPTION**

Valuation Roll No. 101151

Lot 24 D.O. 10667

Section \_\_\_\_\_ Block XI, XII

Survey District Kaihu

**DESCRIPTION OF PROPOSED WORK AND MAIN PURPOSE OF USE**

New tractor implement shed & workshop for owners use.

**FLOOR AREA** Whole Sq. Metres 62.46m<sup>2</sup>

**DWELLING UNITS** Number Erected \_\_\_\_\_

ESTIMATED VALUES \$	Building	<u>2500</u>	
	Drainage		
	Plumbing		
	TOTAL	<u>2500</u>	

**NATURE OF PERMIT (TICK BOX)**

**NEW BUILDING**  
- include dwelling added, exclude domestic garages

**FOUNDATIONS ONLY**

**ALTERED, REPAIRED, EXTENDED**  
- include conversions and domestic garages

**NEW CONSTRUCTION OTHER THAN BUILDINGS**  
- include demolitions

**FEES APPLICABLE**

Building Permit (etc) .....	\$ <u>27</u>	
Building Research Levy .....	\$	
Sewer Connection .....	\$	
Water Connection .....	\$	
Street Damage Deposit .....	\$	

Authorised Officer Lance Webster

PERMISSION IS HEREBY GRANTED YOU to carry out the works as proposed in accordance with the drawings and other documents submitted, and with any conditions defined: such work to be subject to inspection at any time during progress and to be carried out in strict conformity with the requirements of the Council By-Laws

**IMPORTANT** - YOU ARE FULLY RESPONSIBLE for any damage done to any works such as telephone cables, water mains, gas mains, sewers, pipes, footpaths, roads or other services.

P.O. BOX 2980  
Auckland.

The Building Inspector  
Hobson County Council  
Local Government Centre  
Private Bag  
Dargaville.

31/8/82

Attn. Mrs N Newby.

Re. Issue of Building Permit.

I refer to your letter of 17/8/82  
and enclose a cheque for \$27.00 as  
payment of the building permit fee.

Please forward the Permit to me  
at the above address.

Yours faithfully  
P. M. Moore.

P.O. BOX 2980  
AUCKLAND.

The Building Inspector  
Hobson County Council  
Social Government Centre  
Private Bag  
Dargaville

16 August 82

Attn: Mr. N. Newby.

Dear Sir.

Re Application for Building Permit

Please find enclosed an application for a building permit for the construction of a tractor shed / implement shed / workshop on our property at ~~Opake~~ Opake Road.

We intend to commence construction of the building in three weeks time and would therefore very much appreciate the application being considered before then.

I await your reply in due course.

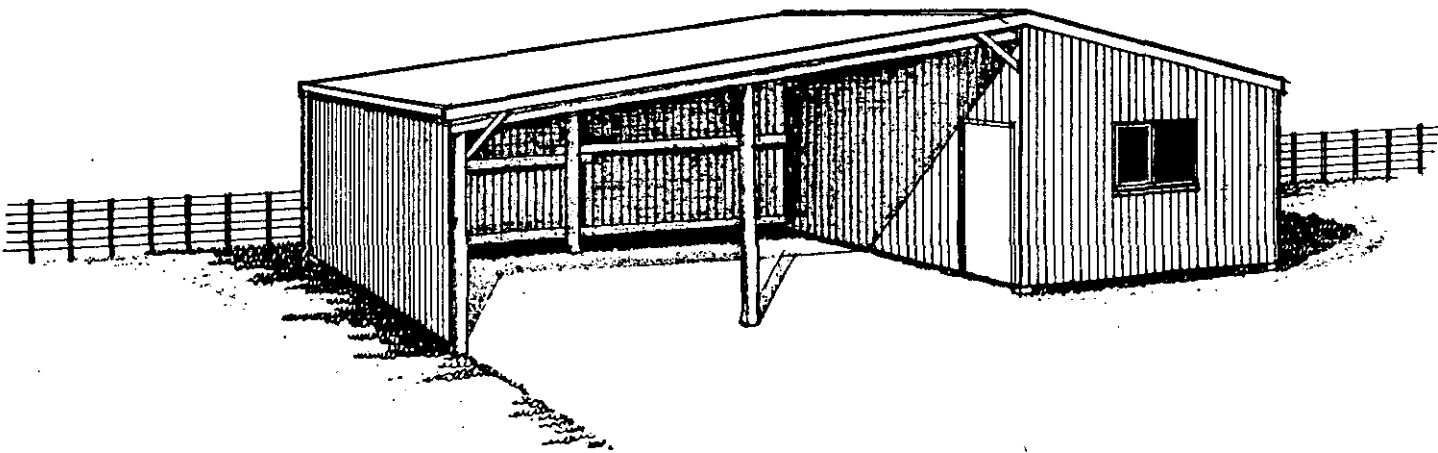
Yours faithfully  
P. M. Moore.

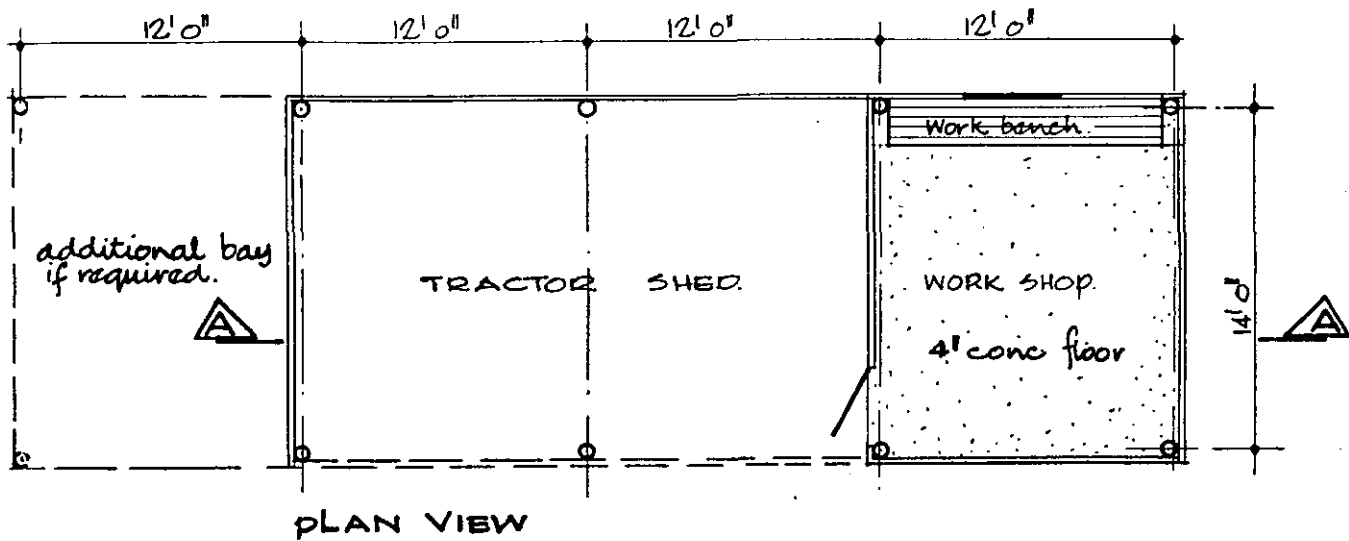


# 'TANALISED' PINEX PINE ON THE FARM

PROJECT SHEET No. 1

# TRACTOR SHED AND WORKSHOP





26g. corr. iron roofing fixed on 5x2 purlins at 3' 0" centres.

building paper & netting placed under roofing over workshop.

8"x1" board & 3"x1" batten wall cladding

6"x2 posts spaced 4' 0" apart

2"x2 girts to top of poles.

6" s.d. poles with 6"x6" conc collar at ground level.

4" conc. floor to workshop reinforced with H.R.C. No 6 mesh.

SECTION AT 'A A'

10' 0" 12' 0" 3' 0"

Notes:

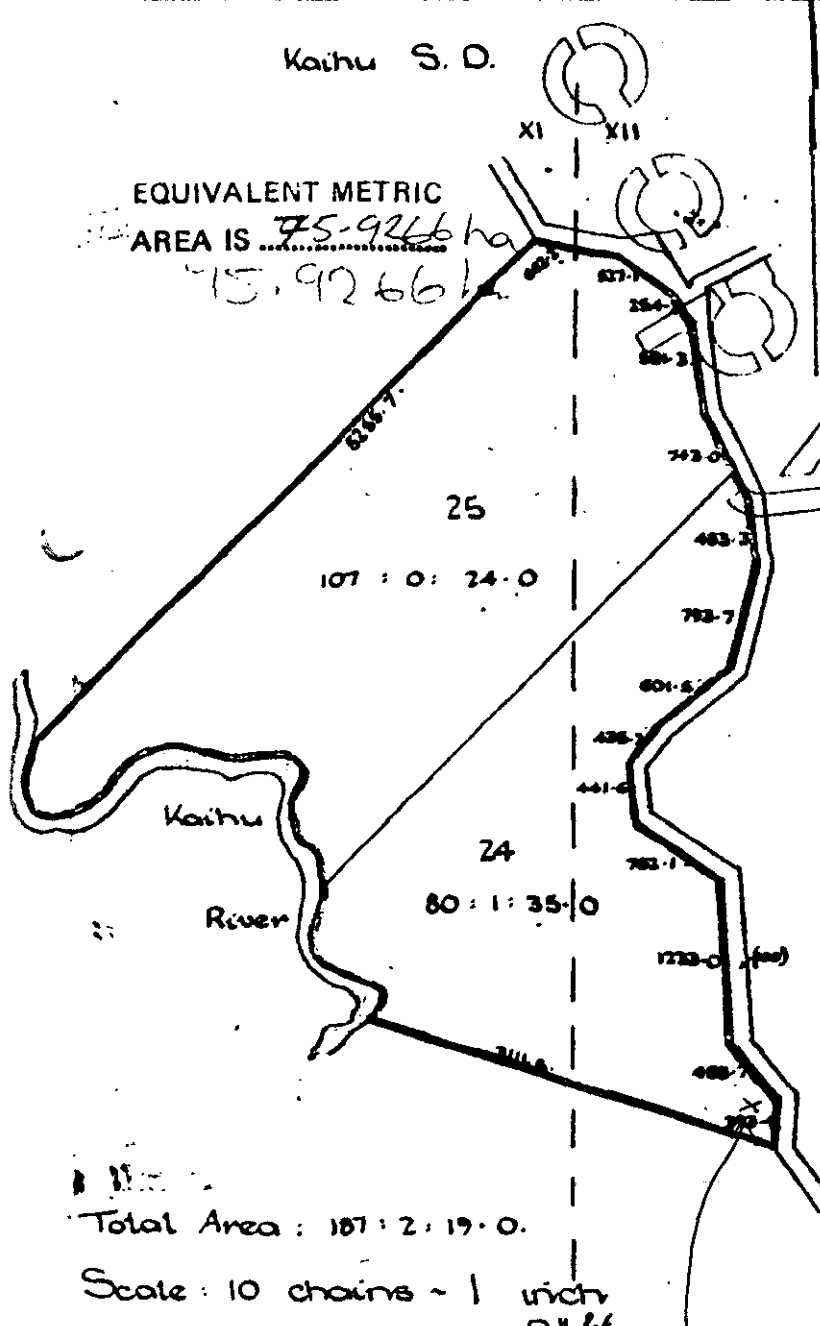
1. We will be adding the additional bay as shown above so that total dimensions will be 48ft x 14ft.
2. Corrugated iron is to be used on the wall rather than the board / batten cladding.

Reference: { Vol. 875, Folio 207  
Transfer No. 645980  
Order for N/C No.

## CERTIFICATE OF TITLE UNDER LAND TRANSFER ACT

This Certificate, dated the ninth day of September, one thousand nine hundred and sixty under the hand and seal of the District Land Registrar of the Land Registration District of AUCKLAND WITNESSETH that KENNETH RUPERT HARRISON of Dargaville, apiculturist and ELEANOR MYRTLE HARRISON, his wife are seized of an estate in fee simple as tenants in common in equal shares

is seized of an estate in fee simple (subject to such reservations, restrictions, encumbrances, liens, and interests as are notified by memorial under written or endorsed hereon, subject also to any existing right of the Crown to take and lay off roads under the provisions of any Act of the General Assembly of New Zealand) in the land hereinafter described, as the same is delineated by the plan hereon bordered GREEN, be the several admeasurements, a little more or less, that is to say: All that parcel of land containing 187 ACRES 2 ROODS 19 PERCHES more or less being Lots 24 and 25 Deposited Plan 10667 and being part Kaihu No. 2B Block



**NEW ZEALAND**  
DISTRICT LAND REGISTRAR  
AUCKLAND

District Assistant Land Registrar.

Transfer 714925 to Thomas Noel Vince of Dargaville agricultural contractor produced 20.9.1964 at 9.17.03  
A 54350 Mortgage to Robert Howard Vinler produced 22.1.1965 at 16.11.03  
Transfer 8267804 to Robert Marshall Vincent of Takatika, farmer 6.1.1968 at 12.0.03  
A.446185 Transfer to Alan Douglas Appleton of Dargaville farmer - 11.2.1970 at 11.50.03  
A591736 Mortgage to Bank of New Zealand produced 11.11.1971 at 9.47.03

THIS REPRODUCTION (ON A REDUCED SCALE) CERTIFIED TO BE A TRUE COPY OF THE ORIGINAL REGISTER FOR THE PURPOSES OF SECTION 215A LAND TRANSFER ACT 1952.

18439  
18424

Total Area : 107 : 2 : 19 . 0.

Scale : 10 chains ~ 1 inch

Intended location of building



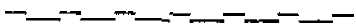
Metres

ROAD FRONTAGE

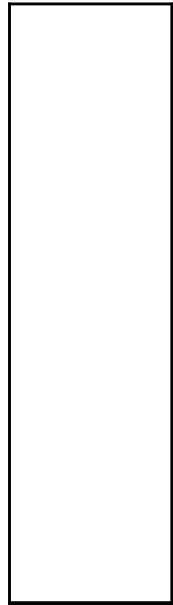
2 4 6 8 10 12 14 16 18 20 22 24 25

# SITE PLAN

THIS PLAN MUST SHOW (in ink):

- 1. Position of existing buildings (drawn in red).
- 2. Position of building proposed under this application (drawn in blue).
- 3. Position of Garage and Driveways whether required now or not.
- 4. Position of Septic Tank, Sanitary and Stormwater drainage
- 5. Distances of each building from boundary lines.
- 6. Boundary lines shown thus:  

- 7. Any building Line Restrictions imposed on land.
- 8. Site plan must be drawn accurately to scale. Indicate if not in metric.
- 9. Deviation from site plan is not permitted without previous approval of the Council.

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*Please refer to attached copy of Certificate of title showing location of building.*

Conversion:

2 Metres 6.562 feet

REAR BOUNDARY

## SCALE OF FEES

For the examination of plans and specifications of any building and for the inspection of such building the following fees shall be payable according to the estimated value of the work.

In any dispute as to value, the County Engineer shall have the absolute determination of the value of the proposed work or building.

### BUILDING PERMIT FEES

ESTIMATED VALUE OF WORK: (Value to exclude value of Plumbing and Drainage work).

#### ESTIMATED VALUE OF WORK

Value of Work

0-600	_____	-
601-800	_____	9.00,
601-1000	_____	11.00
1001-1200	_____	14.00
1201-1400	_____	16.00
1401-1600	_____	18.00
1601-1800	_____	21.00
1301-2000	_____	23.00
2001-2500	_____	27.00
2501-3000	_____	31.00
3001-3500	_____	37.00
3501-4000	_____	41.00
4001-5000	_____	47.00
5001-6000	_____	53.00
6001-7000	_____	62.00
7001-8000	_____	68.00
8001-9000	_____	74.00
9001-10000	_____	82.00
10001-12000	_____	92.00
12001-14000	_____	101.00
14001-16000	_____	109.00
16001-18000	_____	118.00
18001-20000	_____	134.00
20001-25000	_____	151.00
25001-30000	_____	168.00
30001-35000	_____	189.00
35001-10000	_____	210.00
40001-50000	_____	231.00
50001-60000	_____	252.00
60001-70000	_____	273.00
70001-80000	_____	294.00
80001-90000	_____	315.00
90001-100000	_____	346.00
100001-120000	_____	390.00
120001-140000	_____	410.00
140001-160000	_____	440.00
160001-180000	_____	460.00
180001-200000	_____	480.00
200001-240000	_____	510.00
240001-280000	_____	550.00

### BUILDING RESEARCH LEVY FEE

In addition to the above fees there will also be payable a Building Research Levy in accordance with the Building Research Levy Act, 1969, which is set at \$1.00 in each \$1000 or part thereof of the value of each Building Permit issued. Permits for work of a value less than \$3000 are exempted.

# HOBSON COUNTY COUNCIL

Private Bag  
Dargaville

Local Government Centre,  
(Office, Hokianga Road),  
Dargaville

Phone 7059  
Dargaville

## APPLICATION FOR BUILDING PERMIT

TO THE BUILDING INSPECTOR

Sir,

I hereby make application to erect/re-erect/extend/alter/repair the building(s) according to the site plan (overleaf) detailed plans, elevations, cross sections and specifications deposited herewith in duplicate.

Particulars of the land and buildings are:

**OWNER** Name MOORE FARMS PARTNERSHIP  
 Postal Address P.O. BOX 2980 AUCKLAND Phone 478 3922  
478 3984

**BUILDER** Name Self Constructed  
 Postal Address ..... Phone.....

**PLUMBER** ..... **DRAINLAYER** .....

**EXISTING USE OF SITE AND BUILDINGS** Fencing property

**NATURE OF PROPOSED BUILDING WORK** Hay shed  
 e.g. additions to Dwelling, Bedroom, Lounge extensions etc.

**VALUATION DEPT. ASSESSMENT No.:** (from rate demndnd) 101/51

**LEGAL DESCRIPTION OF SITE:** (from rate demand or title deed) .....  
Lots 24 & 25 DP 10667 BLKS XI & XII Kaihu S.D.

Road or Street: OPAWAKE RD District: ..... Riding: .....

**AREA OF SITE:** 75.9266 Hectares

**NATURE OF SOIL:** (rock, clay, sand, loam, etc) Te Kofunui Sand wharekohe  
Silt Loam.

**FLOOR AREA:** (proposed work — square measure)

	Basement	Ground Floor	Other Floors	Total
Main Building	.....	.....	.....	<u>31.12</u>
Accessory Buildings	.....	.....	.....	.....

**ESTIMATED VALUE OF WORK:**

Main Buildings (excluding plumbing and drainage)	\$.....	<u>1000-00</u>
Accessory Buildings (excluding plumbing and drainage)	\$.....	<u>—</u>
Plumbing and Drainage	\$.....	<u>—</u>
Total Value of Work \$.....		<u>1000-00</u>

**CERTIFICATE:** I hereby certify that the above information is correct in every respect and do hereby agree to abide by all provisions of the Hobson County Council by-laws governing and regulating all matters the subject of the foregoing.

Signature of Applicant: P.M. Moore Date: 7/10/84

### FOR OFFICE USE ONLY

<b>FEES:</b>				
Building Permlt	\$ <u>11-00</u>	Receipt No. <u>1621</u>	Date <u>24-10-84</u>	Permlt No. <u>B26741</u>
Plumbing and Drainage Permit	\$ .....	Receipt No. ....	Date .....	Permlt No. ....
Building Research Levy	\$ .....	Receipt No. ....	Date .....	
<b>TOTAL</b>		\$ <u>11-00</u>		

**FOR OFFICE USE ONLY**

**TO ADMINISTRATIVE OFFICER:** Date Received .....

Check List: Forms Completed ( ) Valuation No. ( ) Fees received ( )

Remarks: .....

.....Signature: Date: .....

---

**TO PLANNING OFFICER:** (Check with District Planning Scheme. Refer to Council If required).

Approved by County Chairman Signature: ..... Date: .....

Checked and approved by Officer Signature: ..... Date: .....

---

**TO HEALTH INSPECTOR:** (Check for drainage, health, etc)

Checked and approved Signature: ..... Date: .....

---

**TO BUILDING INSPECTOR:** (Check for by-laws, etc.)

Checked and approved Signature ..... Date: .....

---

**REMARKS:** .....

**PERMIT TO BE ISSUED SUBJECT TO:** .....

---

**GENERAL INFORMATION**

(1) The following **MUST** accompany this Application:

**PLANS AND SPECIFICATIONS TO BE SUBMITTED IN DUPLICATE (In ink or on print paper) including—**

- (a) Ground plans of proposed work showing position of all sanitary fittings and names and sires of various rooms.
- (b) Where the building is on a sloping site the correct height of foundations must be shown.
- (c) Front and side elevations.
- (d) Cross section showing framing with bracing.
- (e) Where a building requires Plumbing and Drainage work a separate Application Form must be filled in and fee paid before a Building Permit can be Issued.
- (f) Application for entrance crossing from road.
- (g) Such drawings and information in detail as may be necessary to indicate that the proposed building or other work or change of use of land or buildings will comply in all respect with the District Planning Scheme and with the By-laws.
- (h) A report and calculations showing how the design complies with the By-laws in the case of building requiring specific design.

(2) FEES may be forwarded later on advice of availability of permit and the amount of fees required.

# BUILDING PERMIT

(Office Copy)

# AUTHORITY

Stats. No. B **026741**

Hobson County Council

No. \_\_\_\_\_

Receipt No. 1621

Date Permt Issued 24/10/84

**OWNER**

Name Moore Farms Partnership,  
Mailing Address Box 2980,  
Auckland.

**BUILDER**

Name Owner  
Mailing Address \_\_\_\_\_

### PROPERTY ON WHICH BUILDING IS TO BE ERECTED/DEMOLISHED

**SITE**

Street No. \_\_\_\_\_  
Street Name Opanake Rd,  
Town/District Parore Dargaville,  
Riding Awakino.

**LEGAL DESCRIPTION**

Valuation Roll No. 101/51  
Lot 24+25 D.P. 10667  
Section \_\_\_\_\_ Block XI+XII  
Survey District Kaihu.

### DESCRIPTION OF PROPOSED WORK AND MAIN PURPOSE OF USE

Build Hay shed on property.

**FLOOR AREA** Whole Sq. Metres 31. **DWELLING UNITS** Number Erected \_\_\_\_\_

ESTIMATED VALUES \$	Building	1000	00
	Plumbing		
	Drainage		
	<b>TOTAL</b>	<u>1000</u>	<u>00</u>

**NATURE OF PERMIT (TICK BOX)**

NEW BUILDING  
- include dwelling added, exclude domestic garages

FOUNDATIONS ONLY

ALTERED, REPAIRED, EXTENDED  
- include conversions and resited buildings

NEW CONSTRUCTION OTHER THAN BUILDINGS - include demolitions

DOMESTIC GARAGES AND DOMESTIC OUTBUILDINGS

### FEES APPLICABLE

Building Permit	\$ <u>11 00</u>	Water Connection	\$ _____
Street Damage Deposit	\$ _____	Vehicle Crossing Levy	\$ _____
Building Research Levy	\$ _____	M.S. Plumbing	\$ _____
Plumbing	\$ _____		\$ _____
Drainage	\$ _____		\$ _____
Sewer Connection	\$ _____	<b>TOTAL:</b>	\$ <u>11 00</u>

Receipt No. 1621  
Date of Payment 24/10/84  
Authorised Officer [Signature]

Special Conditions: (In addition to those noted on reverse):

### NOTICE TO APPLICANT

PERMISSION IS HEREBY GRANTED YOU to carry out the works as proposed in accordance with the drawings and other documents submitted, and with any conditions defined; such work to be subject to inspection at any time during progress and to be carried out in strict conformity with the requirements of the Council By-Laws

**IMPORTANT - YOU ARE FULLY RESPONSIBLE** for any damage done to any works such as telephone cables, water mains, gas mains.

Moore Formos Partnership  
P.O. Box 2980  
Auckland  
23/10/84.

The Building Inspector  
Hobson County Council  
Private Bag  
Dargaville

attn: N Newby

Dear Sir

Please find enclosed a cheque for \$11.00  
being payment of Building Permit fee.  
Could you please forward the Permits  
me at the above address.

Yours faithfully  
P. M. Moore

Moore Farms Partnership  
P.O. Box 2980  
Auckland.  
4/10/24.

Mr. N. Newby.  
Building Inspector.  
Hobson County Council.  
Local Govt Centre.  
P.O. Box 7059.  
Dargoville.

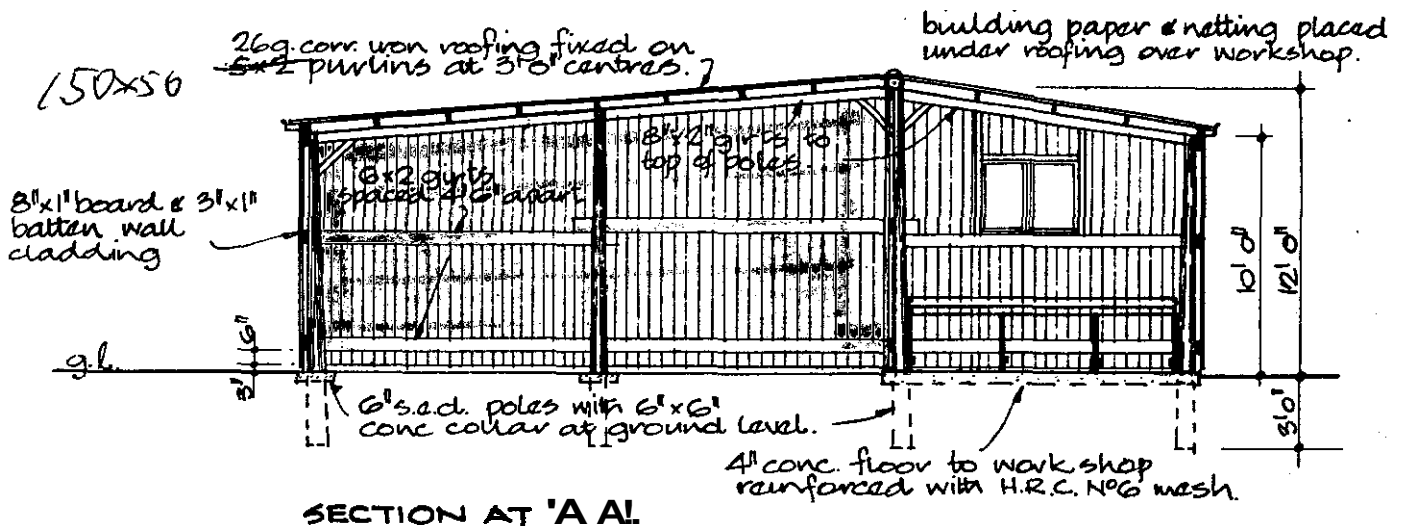
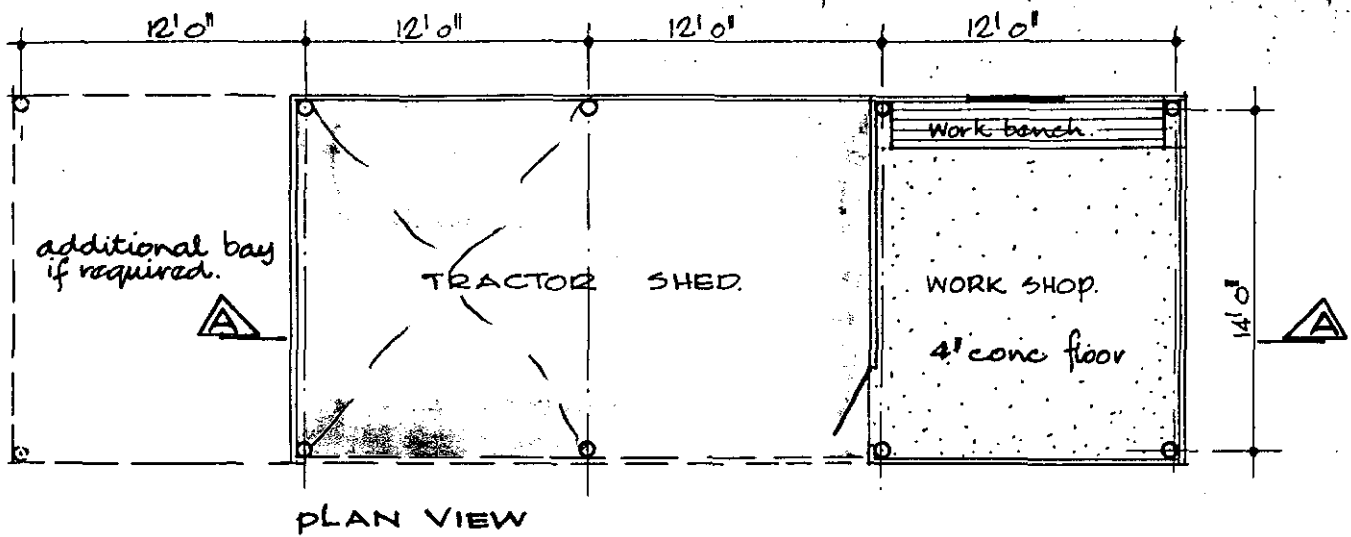
Dear Sir.

Please find enclosed our application  
for a building permit for a hay shed to  
be constructed on our property at Oponake  
Road Dargoville.

We expect to commence Building towards  
the end of this month and would be  
pleased to receive the permit by then.

Yours faithfully.

P. Moore



Shed to be constructed based on the Dimensions of the Shaded Area.

Metres

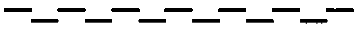
ROAD FRONTAGE

2 4 6 8 10 12 14 16 18 20 22 24 25

# SITE PLAN

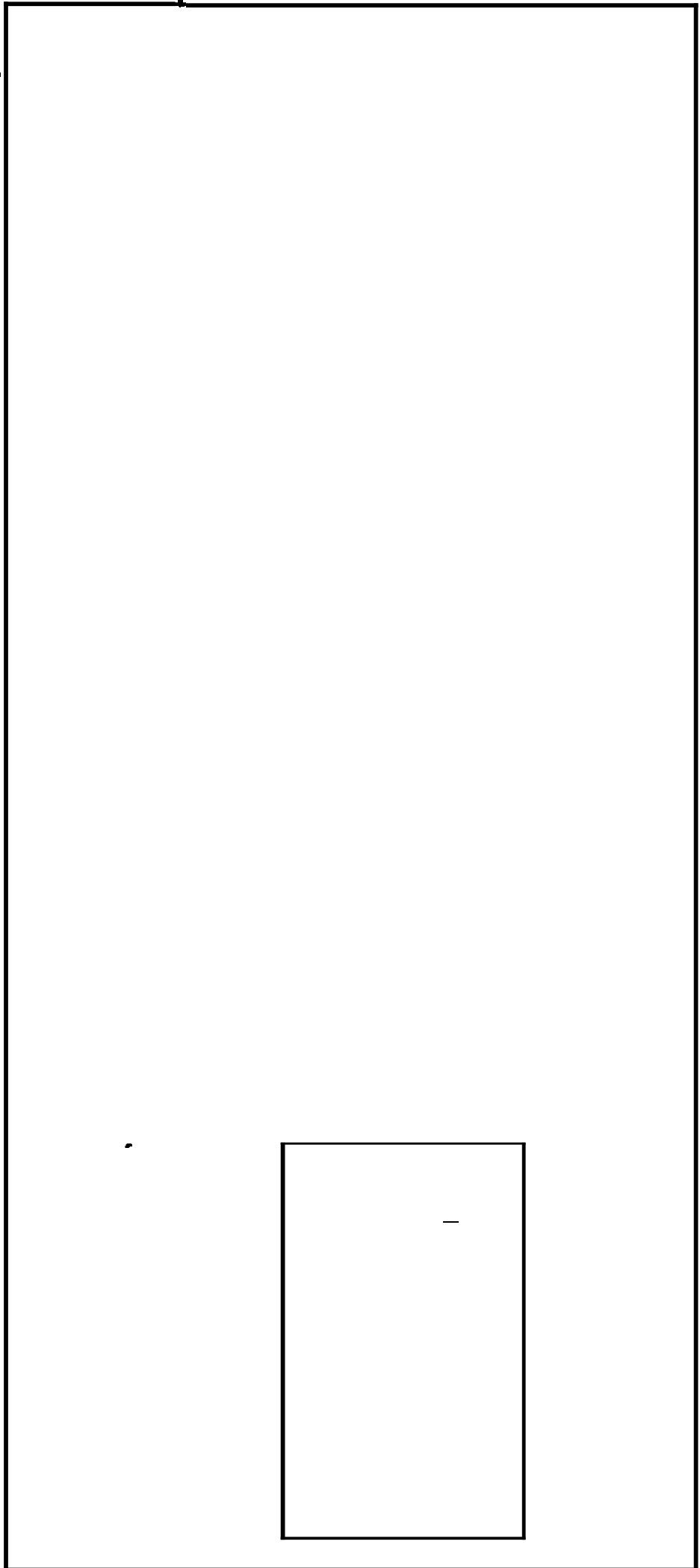
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REAR BOUNDARY

Conversion:

2 Metres 6.562 feet

# SCALE OF FEES

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## BUILDING PERMIT FEES

ESTIMATED VALUE OF WORK: (Value to exclude value of Plumbing and Drainage work).

### ESTIMATED VALUE OF WORK

Value of Work \$	Fees \$
0-600	—
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1001-1200	14.00
1201-1400	16.00
1401-1600	18.00
1601-1800	21.00
2001-2500	27.00
2501-3000	31.00
3001-3500	37.00
3501-4000	41.00
4001-5000	47.00
5001-6000	53.00
6001-7000	62.00
7001-8000	68.00
8001-9000	74.00
9001-10000	82.00
10001-12000	92.00
12001-14000	101.00
14001-16000	109.00
16001-18000	118.00
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35001-40000	210.00
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60001-70000	273.00
70001-80000	294.00
80001-90000	315.00
90001-100000	346.00
100001-120000	390.00
120001-140000	410.00
140001-160000	440.00
160001-180000	460.00
180001-200000	480.00
200001-240000	510.00
240001-280000	550.00

## BUILDING RESEARCH LEVY FEE

In addition to the above fees there will also be payable a Building Research Levy in accordance with the Building Research Levy Act, 1969, which is set at \$1.00 in each \$1000 or part thereof of the value of each Building Permit issued. Permits for work of a value less than \$10,000 are exempted.

## PLUMBING AND DRAINAGE PERMIT FEES

Value of Work	Fee
Up to \$50	\$1.00
\$51-\$100	\$2.00
\$101-\$200	\$3.00
\$201-\$400	\$5.00

Plus \$2.00 for every \$200 or part thereof in excess of the first \$400.