

McFADDEN McMEEKEN PHILLIPS

L A W Y E R S



14 New Street
PO Box 656
Nelson
New Zealand

DX WC 70016

Phone: (03) 548 2154
Fax: (03) 548 2157

17 May 2000

Tasman District Council
Private Bag 4
RICHMOND

Attention: **Mr G Cheatley**

Fax: 544 7249

Dear Sir

RE: PROPERTY 13 MAIN ROAD, APPLEBY

We act for a purchaser of this property who commissioned the report from Colin Aitken Inspection Services Limited dated 14 May which we understand you now have a copy of.

If TDC accept Mr Aitken's recommendation that no remedial work or further inspections are required, would you please advise me as soon as possible.

Yours faithfully

McFADDEN McMEEKEN PHILLIPS

Neil Allen
Legal Executive

email: neil@mmp.co.nz

Oil

- Please respond to
- Colin's report using
- normal form.
- give to Linda to
- file and input to computer
- Colin wants his receipt
- Email Neil Allen and advise
- OK - please fax copy of response
- to Colin to next tag

COLIN AITKEN

INSPECTION SERVICES LTD

Registered Member Building Officials Institute of New Zealand

23 Trolove Place
Stoke, Nelson
Phone/Fax: (03) 547 3277
Cell Phone: 025 751 966
E-mail: colin.aitken@xtra.co.nz

14-5-00

Mr G Cheatley
Manager Regulatory Services
Tasman District Council
189 Queen Street
Richmond

Dear Sir

I recently carried out an inspection of the property situated at 13 Main Road Appleby where some work has been undertaken without gaining the necessary approval from the Local Authority.

I submit this report for inclusion on the property file for future reference.

If you have any questions please contact me.

If I don't hear from you within a reasonable time I will presume that the report has been accepted.

Yours faithfully



Colin Aitken

20200
194302400

FILE
bkt

*changed to correct file
19-9-00 101.*

REPORT FOR LOCAL AUTHORITY

ADDRESS	13 Main Road Appleby.
WORK	Extension onto Dwelling.
AGE	Unknown.
INSPECTION	<p>Required to check that the extension was built to the required standard.</p> <p>Prepare a report and have it lodged on the Council property file.</p>
SPECIFICATION	<p>A small alteration has been made to the northern end of the original building.</p> <p>The addition is 1.3m at one end and 2.2m at the other.</p> <p>The addition is supported on a continuos concrete foundation and from my inspection it appears to have been well tied into the original as there is no sign of cracking at the joint.</p> <p>The external wall is framed in 100 x 50 framing covered on the exterior with Hardies flat profiled sheet and lined internally.</p> <p>In the ceiling space a purpose made truss has been put in place over the line of the original external wall.</p> <p>Extra ceiling runners have been added over the ceiling joists and all the timbers have been well fixed together and there is no sign of any movement either in the ceiling space or on the under side of the ceiling lining.</p> <p>The roof is framed up with 100 x 50 rafters with under purlins mid span.</p> <p>The roof construction is similar to the original and corrugated iron has been used as the covering.</p> <p>Over the concrete terrace a roofed area has been built with timber rafters and lintel structure and Nova roof covering.</p> <p>The 250 x 50 lintel is supported by 3 / 50 x 50 posts bolted to the timber lintel and attached onto the concrete. The posts are at 3.2m centres.</p> <p>The rafters are attached onto the dwelling at one end and onto the lintel at the other. The spacing of the rafters are at 900 centres with 3 rows of dwangs which support the roof covering.</p>

PERMIT or CONSENT	In my opinion if an application had been made it would have been granted and the final work approved.
REMEDIAL WORK	Not required.
FURTHER INSPECTION	Not required.
DISTRICT PLAN	No contravention has occurred. The extension has not increased the number of habitable rooms and the location of the extension would comply with the day light angle and distance to boundary requirements.
SECTION 64 OF THE BUILDING ACT	In my opinion the work carried out is not considered to be Dangerous or Insanitary as set out in section 64 of the Building Act.

Signed  Date 14-5-00

STREET FRONTAGE BEAUTIFICATION POLICY

- Policy applies only where planting is practical and does not cause an obstruction to footpaths and traffic visibility; or interfere with underground services.
- One shrub to every 5 metres of frontage with a maximum of 5 shrubs per property.
- The property owner shall be responsible for maintenance and there will be no replacements.

Date _____

Name Mr & Mrs KHV Parkes
Address 13 Appleby Highway
Richmond

Shrubs supplied 1x Coprosma Clearwater Gold
2x Dodonea viscosa purpurea
2x Pittosporum tenuifolium

Signature J Parkes

ENTERED



tasman

district council

Writer's Direct Dial No. (03) 543 8542

E-mail: robyn.scherer@tasman.govt.nz

18 June 2012

1943020200.

Evelyn Symons
13 Appleby Highway
Richmond 7020

Dear Ms Symons

You recently received a letter from Council regarding low flow restricted water supplies. This letter was intended for low flow restricted water supply consumers only but unfortunately an error with the mail merge database resulted in all consumers in the Brightwater-Hope area receiving the letter, not just the low flow consumers.

We apologise for any inconvenience this error has caused.

Yours sincerely

Robyn Scherer
Engineering Secretary

13 Appleby highway

1947020200

Plumbing and Drainage Repor.

Valuation No. 202

Address: 13 Appleby Highway Owner: KH & C Parkes Plumber/Drainlayer: A.R. Tuffnell Ltd.

Receipt No. 08890 Permit No. 215A Fee \$

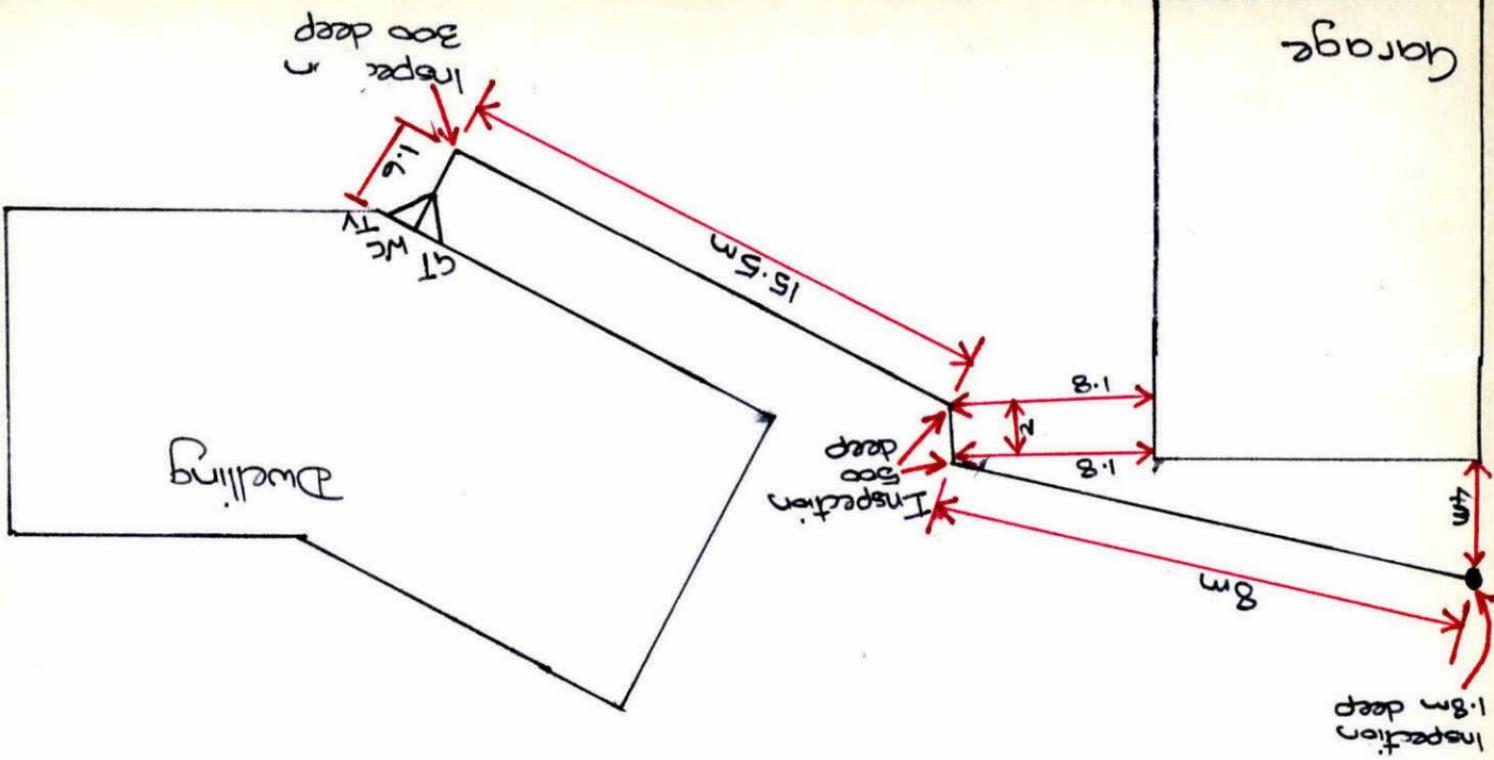
Estimated Value \$

Description of Work:

Special Conditions:

Inspection Dates				Final Inspection
Inspector				

Remarks:





WAIMEA COUNTY COUNCIL

P.O. BOX 3050.

TELEPHONE 8176.

189 QUEEN STREET, RICHMOND, NEW ZEALAND.

✓
Permit No. 215 A.....

Val Ref No. 19430 20200

Application for Permit to have Drainage or Plumbing Work Carried Out

I A. R. Tu Huu Hotel

(Name of Craftsman Plumber or Registered Drainlayer or other Person entitled to do the work)

P.O. Box 3182

Ricmond

of (Postal Address)

hereby apply for a permit for the work described herein and set out in the plans attached hereto, to be carried out in the premises owned or occupied by:-

T. R. Parker 13 Appleby Street

(Name and Address of Owner of Premises)

..... (Occupier of Premises if not Owner)

and situated in Street/Road, Township

DESCRIPTION OF WORK

... New connection to approved existing drains and installation of drainage work to locate body sewage scheme.

Paid 7/7/87 Receipt 0.8890

Registration No. of Craftsman Plumber or Registered Drainlayer 0752

Value of Proposed Work (excluding cost of materials)

(a) Plumbing

(b) Drainage

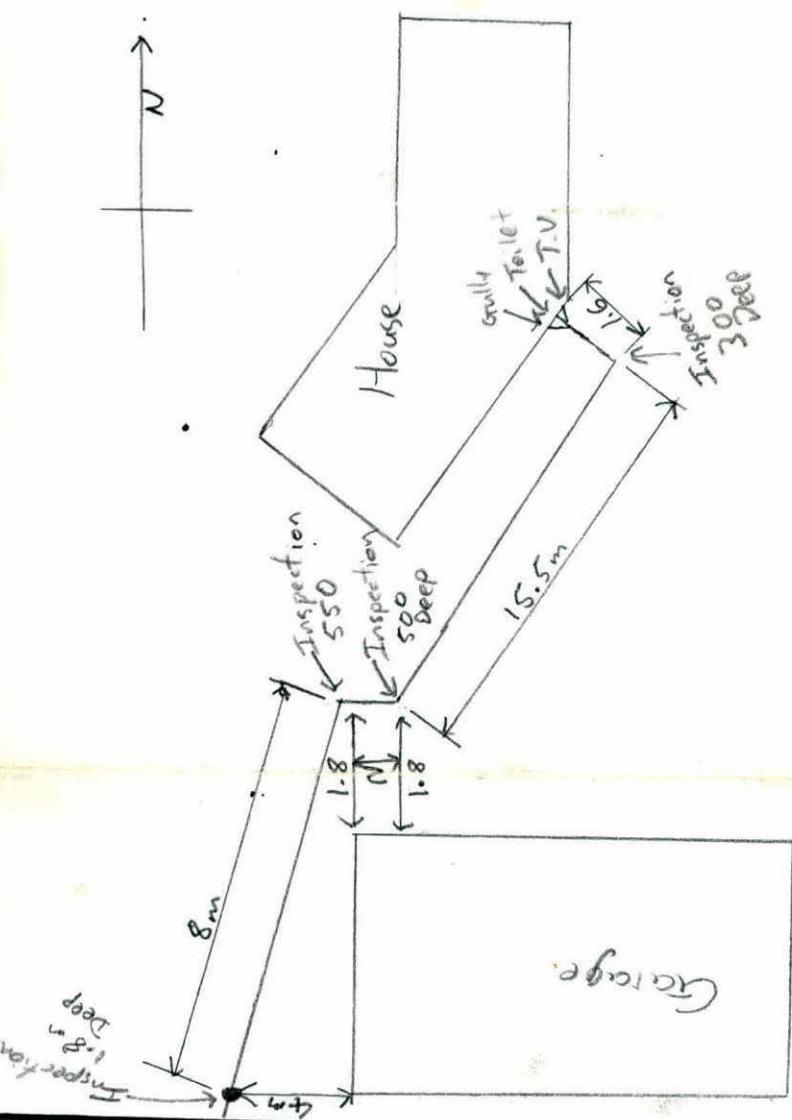
TOTAL

\$13.75

Dated this 2 day of July 1987

Signature

PLAN OF PROPOSED DRAINAGE WORK



SCHEDULE OF FEES

If the value of the proposed work (excluding materials) does not exceed

fee of	
50.00	6.00
75.00	9.00
100.00	12.00
200.00	15.00
300.00	18.00
400.00	21.00
500.00	24.00
600.00	27.00
700.00	30.00
800.00	33.00
900.00	36.00
1000.00	39.00
1200.00	45.00
1400.00	51.00
1600.00	57.00
1800.00	63.00
2000.00	69.00

If the value exceeds \$2,000 the fees shall be \$69.00 plus \$6.00 for every \$200 or part thereof in excess of \$2,000.

Application for a Solid Fuel Burner

FORM NUMBER: BC7

DATE: 1 JULY 2002

This application is made under Section 33 of the Building Act 1991

Applicant*

Name: Christine Mackenzie

Postal Address:

183 Milton Street
Nelson

Post Code:

Phone: 03 548 0156

Fax:

* Under 33 of the Building Act, the applicant must be the owner of the land on which building work is contemplated, or a person who has agreed in writing, whether conditionally or unconditionally, to purchase the land or any leasehold estate or interest in the land, or to take a lease of the land, while the agreement remains in force.

**Name and Address for Service
to which documentation will be sent:**
(if different from above)

Contact Name:

As above

Postal Address:

Post Code:

Phone:

Fax:

Installer

Name: Tim Millar PlumbingBuilding Consent No: BC030524Date Issued: 1.4.02

Project Location

Street Address: 13 Appleby HighwayLegal Description: Lot 16 DP 4875Valuation Number: 19143020200

Description of Burner

(i.e. model, wetback, free-standing or inbuilt)

Freestanding New Secondhand

If secondhand, please provide certification
from a competent repairer/installer.

 I attach a copy of the specifications

Total Estimated Value of Project

(Incl. GST) \$ 1849 - 00Signed: Tim Millar

(by or on behalf of the applicant)

Date: 31/3/03

Please complete floor plan (over page) to show
the use of room and location of burner.

Here We Are!

RICHMOND
189 Queen St
Private Bag 4
Richmond 7031
Ph (03) 544 8176
Fax (03) 543 9524

MOTUEKA
7 Hickmott Place
P.O. Box 123
Motueka 7161
Ph (03) 528 7700
Fax (03) 528 9751

GOLDEN BAY
78 Commercial St
P.O. Box 74
Takaka 7172
Ph (03) 525 9516
Fax (03) 525 9972

MURCHISON
92 Fairfax St
Murchison 7191
Ph (03) 523 1013
Fax (03) 523 1012

24 HOUR
EMERGENCY
PHONE
Call your local office

It's the
lifestyle
that counts

Use of room (e.g. lounge)

Lounge

Please draw room and mark location of burner in space provided.

Windows

Kitchen

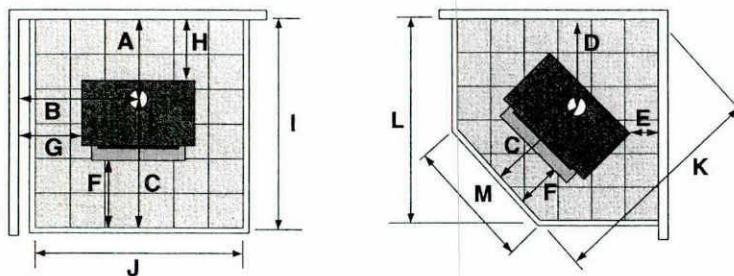
For Office Use Only

Fee	<input type="checkbox"/> Paid: <input type="checkbox"/> \$90 Free-standing/Inbuilt/Wetback	Receipt No.	<input checked="" type="checkbox"/> Invoiced
A01	The appliance, hearth and flue are to be installed in accordance with the manufacturer's installation specifications and NZS 74212, which includes seismic restraint. Wetbacks do not provide seismic restraint.		
A02	Please arrange for final inspection once fire unit is installed.		
A03	Please arrange for inspection of chamber prior to installation of any inbuilt fireplace.		
A04	Please arrange for a plumbing inspection for heating appliances containing wetbacks that connect to new or existing hot water cylinders to ensure that installation of tempering valve is correct. This is to be done as soon as the appliance is installed.		
A05	No part of the roof framing can be interfered with, without Building Inspector approval.		
A06	Council recommends annual maintenance of the heating appliance installed. Possible replacement of the appliance should be considered at five years.		
Approved for Issue of Consent			
Building Inspector			

CLEARANCE CHART

Metro woodfires are tested to and comply with NZS7421:1990 or AS/NZS2918:2001 if installed as detailed in the chart below: -

- Measurements listed below are the minimum required, stated in millimetres. Measurements are taken from the following reference points as illustrated: -
 - From the nearest combustible wall or surface (A, B, D, E, G, H)
 - From the Metro's flue centre (A, B, C, D)
 - From the outermost point of the Metro's cabinet / construction (E, F, G, H)
 - To the edge of the ash Floor Protectors non-combustible surface (C, F, I, J, K, L, M)
- The Metro Tiny-Trad, Metro Pioneer and Metro Pioneer Traditional have also been tested with optional "flueshield side extensions". When fitted into an alcove situation not projecting forward of the Metro with flueshield side extensions fitted, clearances "B" and "G" reduce by 80mm for the Pioneer and Pioneer Traditional and 100mm for the Tiny-Traditional.



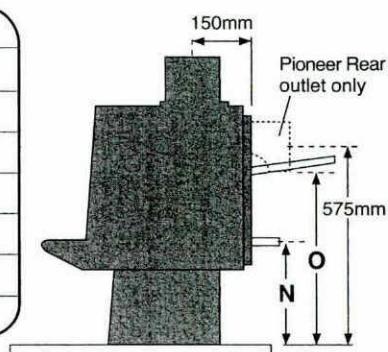
Installation Clearances mm A B C D E F G H I J K L M

		With Flueshield**	445	480	305	25	100	200	75	705	650	920	875	650
TINY-TRAD	Without Flueshield	605	545		595	315		350	455	1085		1320	1165	
PIONEER & PIONEER TRAD	With Flueshield**	200	595	480	400	85	100	300	50	680	825	1045	950	660
	Without Flueshield	580	595		595	280		300	430	1060		1320	1145	
PIONEER REAR OUTLET	N/A	565	N/A	N/A	100	100	270	60	690	825	1070	965	660	
X-TREME & X-TREME TRAD	With Flueshield**	230	575	525	455	110	100	240	80	755	905	1165	1065	740
	Without Flueshield	800	575		595	250		240	650	1325		1365	1205	
ASPIRE & ASPIRE TRAD	With Flueshield**	230	575	525	455	110	100	240	80	755	905	1165	1065	740
	Without Flueshield	800	575		595	250		240	650	1325		1365	1205	
WEE RAD	With Flueshield**	200	555	480	400	80	100	250	50	680	825	1045	950	660
	Without Flueshield	580	555		600	280		250	430	1060		1320	1145	
RAD	With Flueshield**	230	575	525	455	80	100	200	80	755	905	1165	1065	740
	Without Flueshield	800	575		625	250		200	650	1325		1365	1205	
MEGA RAD	With Flueshield**	270	675	625	500	125	100	300	120	895	905	1325	1175	740
	Without Flueshield	540	675		595	220		300	390	1165		1470	1270	

** Ensure the flueshield is fitted so that the lower flue is NOT directly exposed to the rear wall, refer to the instructions supplied with the flueshield.

Dimensions mm	N	O	Width	Depth	Height
TINY-TRAD	295	485	490	530	665
PIONEER & PIONEER TRAD	295	485	590	530	665
PIONEER REAR OUTLET	295	485	590	530	660
X-TREME & X-TREME TRAD	340	530	670	575	715
ASPIRE & ASPIRE TRAD	340	530	670	575	715
WEE-RAD	295	485	607	530	665
RAD	353	543	750	575	745
MEGA RAD	353	543	750	675	745

Note: Both wetback connections are 150mm left of the flue centre, facing the Metro / wall.



FLOOR PROTECTORS

Freestanding Metro Woodfires do not require an insulating Floor Protector, as they are tested and comply with the minimum "ash hearth" requirement of NZS7421:1990, being:-

"A non combustible surface extending 200mm in all directions directly below the door opening"

Note: - The minimum Floor Protector sizes are specified in the clearance chart above

- A Floor Protector can include ceramic tiles with grouted joints fixed directly onto a wooden floor, or a sheet of toughened glass, panel steel or any other non combustible material laid directly onto a wooden floor.
- If being installed onto a concrete or other non combustible floor, no Floor Protector is required.

PRE INSTALLATION

Prior to installing your Metro insert into a masonry chimney, it is important that certain clearances and other requirements are complied with as detailed below :-.

Chimney – The chimney must be swept and checked for:-

- Cracks and general overall condition, with repairs carried out if necessary by a suitably qualified person.
- Cavity dimensions to ensure the fireplace insert will fit, it is usually necessary to remove the fire bricks from the lower chimney cavity.
- The base of the chimney cavity on which the Metro fireplace insert will rest must be level, if it is not, it should be levelled using mortar.
- If an ash removal door exists in the base of the chimney it should be sealed shut to prevent air entering the cavity.

Mantle – If a timber or combustible mantle shelf exists above the fireplace opening, it should be a minimum distance above the top of the Metro's fascia, minimum distances are:-

- Metro Hi output Insert = 460mm
- Metro Compact Insert = 400mm

If less than the above minimum specified, a deflector or heat shield will be required to be fitted under the mantle.

FLOOR PROTECTOR REQUIREMENTS

Metro fireplace insert's are designed to be installed direct onto a concrete base. A floor protector is required to protect in front of the Metro and must extend a minimum of 200mm to each side of the door opening making the minimum floor protector width 825mm. The minimum floor protector projection forward of the Metro is dependant on the height of the fireplace insert above the combustible floor. The following schedule of floor protector projections is measured from behind the Metro fascia being the total floor protector depth as shown in diagram 4 below. Note, the heights specified above the combustible floor can be achieved by:-

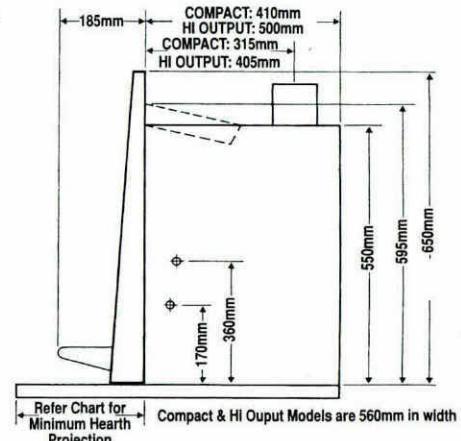
- The thickness of the floor protector
- Or by raising the fireplace insert
- Or a combination of the two

Insert Raised Minimum Floor Protector projection and Type

Insert Raised	Metro Compact	Metro Hi Output
10mm	439mm insulated	455mm insulated
15mm	425mm insulated	445mm insulated
20mm	417mm insulated	436mm insulated
25mm	403mm insulated	424mm insulated
30mm	392mm insulated	408mm insulated
35mm	381mm insulated	396mm insulated
40mm	367mm insulated	366mm insulated
41mm & above	N/A	260mm ash hearth
45mm	356mm insulated	
50mm & above	260mm insulated	

DIAGRAM 4

Fascia Model	Base Width	Body Width
H.T & V.E Fascia	810mm	810mm
Trad Fascia	900mm	810mm



Important

Metro fireplace inserts are tested to and comply with NZS7421:1990 incorporating appendix "J" when installed in accordance with the installation and operation manual supplied with every Metro woodfire.

- A minimum flue length of 4.2 metres of 150mm diameter stainless steel flue is required.
- All flue joints must be sealed and riveted.
- Metro fireplace inserts are available with optional 3kW or 4kW wetbacks.
- Seismic restraint of the fireplace insert is required.

PIONEER

MANUFACTURING LIMITED

P.O.Box 11, Inglewood

New Zealand

Phone 06-756 6520

Fax 06-756 6540

Email: info@woodfire.co.nz

Website www.woodfire.co.nz

BUILDING INSPECTORS INSPECTION REPORT

FORM BC10

Property Details:

Owner: C McKenzie

Building Consent # 0305-24

Site Address: 13 Appleby AV

Valuation # _____

Contractor: Tim Miller

Inspection:

<input type="checkbox"/> Siting	<input type="checkbox"/> Plan changes	<input type="checkbox"/> Roof truss/Purlin connections
<input type="checkbox"/> Foundation / footing	<input type="checkbox"/> Masonry bond beam	<input type="checkbox"/> Drainage, effluent disposal
<input type="checkbox"/> Slab / subfloor	<input type="checkbox"/> Preline brace / struct.	<input type="checkbox"/> Drainage stormwater
Mid-height veneer	<input type="checkbox"/> Preline plumbing	<input type="checkbox"/> Heating unit
<input type="checkbox"/> Weather tightness	<input type="checkbox"/> Preline F.R.R. struct. & fixings	<input type="checkbox"/> Swimming pool fencing
<input type="checkbox"/> Stucco/texture pre-coat	<input type="checkbox"/> Post line bracing	<input type="checkbox"/> Other
<input type="checkbox"/> Masonry infill	<input type="checkbox"/> Post line F.R.R.	

To: Owner / Agent / Contractor

How Notified: Direct Left on site

Inspection Notes:

Investigating F/R replacing existing chimney
Factory built
Unit bolted to existing concrete base
Flue assembly through ceiling as required
Flue cowling correct

OK for CC

Approved

Re-inspection required

Building Inspector: J R

Date: 2/5/03

Here We Are!

RICHMOND
 189 Queen St
 Private Bag 4
 Richmond 7031
 Ph (03) 544 8176
 Fax (03) 543 9524

MOTUEKA
 7 Hickmott Place
 P.O. Box 123
 Motueka 7161
 Ph (03) 528 7700
 Fax (03) 528 9751

GOLDEN BAY
 78 Commercial St
 P.O. Box 74
 Takaka 7172
 Ph (03) 525 9516
 Fax (03) 525 9972

MURCHISON
 92 Fairfax St
 Murchison 7191
 Ph (03) 523 1013
 Fax (03) 523 1012

24 Hour
 EMERGENCY
 PHONE
 Call your local office

It's the
 lifestyle
 that counts

**Advice of Completion of Building Work
Section 43(1), Building Act 1991**

To: TASMAN DISTRICT COUNCIL

Consent Details

Christine MacKenzie 183 Milton Street Nelson	No. 030524
	Issue date 1/04/03
	Application date 31/03/03

Project

Description	ALTERATIONS, REPAIRS or EXTENSIONS BEING STAGE 1 OF AN INTENDED 1 STAGES Install Metro Wee Rad log burner
Intended Life	SPECIFIED AS 5 YEARS
Intended Use	Heating
Estimated Value	\$1,849
Location	13 Appleby Highway, Appleby
Legal Description	Lot 16 DP 4875 Blk VI Waimea SD
Valuation No.	1943020200

You are hereby advised that

All
 Part only as specified in the attached particulars

of the building work under the above building consent is believed to have been completed to the extent required by that building consent.

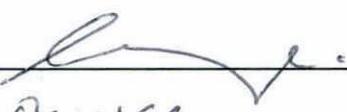
You are requested to issue

A final
 An interim

code compliance certificate accordingly (except where a code compliance certificate has been issued by a building certifier as stated below).

The attached particulars include:

Building certificates
 A code compliance certificate issued by a building certifier
 Producer statements

Signed by or for and on behalf of the owner:Name: Position: *OWNER*Date: *2/5/03***Business hours contact phone no.:****Main Office**

189 Queen Street
Private Bag 4
Richmond 7031
New Zealand
Tel (03) 544-8176
Fax (03) 543-9524

**Murchison
Service Centre**

92 Fairfax Street
Murchison 7191
Tel (03) 523-1013
Fax (03) 523-1012

**Motueka
Service Centre**

7 Hickmott Place
P.O. Box 123
Motueka 7161
Tel (03) 528-7700
Fax (03) 528-9751

**Golden Bay
Service Centre**

78 Commercial Street
P.O. Box 74
Takaka 7172
Tel (03) 525-9516
Fax (03) 525-9972



CODE COMPLIANCE CERTIFICATE

To avoid delays and assist the Tasman District Council in issuing a Code Compliance Certificate, please have the tradesmen used on your building project sign the following:

"The building work has been carried out in accordance with the building consent and the Building Code."

TRADE	NAME	ADDRESS	SIGNATURE	DATE
Builder				
Craftsman Plumber				
Registered Drainlayer (As-built plan submitted - YES/NO)				
Plasterer or Blocklayer				
Roofing and Spouting				
Heating installation	Tim Miller	2/5/03		
Other (please state)				

B U I L D I N G C O N S E N T S U M M A R Y

FILE

Applicant

Consent Details

Christine MacKenzie
183 Milton Street
Nelson

Consent/PIM No.: 030524
Date issued: 1/04/03

Valn No: 19430202
Phone No: 5480156

Project Descrn: ALTERATIONS, REPAIRS or EXTENSIONS
BEING STAGE 1 OF AN INTENDED 1 STAGES
Install Metro Wee Rad log burner

Intended Life: SPECIFIED AS 5 YEARS

Intended Uses: Heating

Project Location: 13 Appleby Highway, Appleby

Legal Description: Lot 16 DP 4875 Blk VI Waimea SD

Estimated Value: \$ 1,849

Contractor: Tim Millar Plumbing

INSPECTION DETAILS:

FILE

SIGNED:

DATE :

CONDITIONS OF CONSENT 030524

- 1 The owner or person undertaking the building work shall advise of completion of work by returning the "Advice of Completion of Building Work" form which accompanied the consent.
- 2 A copy of this consent is to remain on site at all times and you should ensure that a copy is given to any tradesmen e.g. your builder, plumber and drainlayer.
- 3 All Building Work shall comply with the New Zealand Building Code notwithstanding any inconsistencies which may occur on the Drawings and Specifications.
- 4 This consent will expire if building work is not commenced within 6 months from the date of issue unless a written extension of time is obtained from the Building Inspector.
- 5 The appliance, hearth and flue is to be installed in accordance with the manufacturer's installation specifications (a copy of which is to be on-site for Council inspection purposes) and NZS7421, which includes seismic restraint. WETBACKS DO NOT PROVIDE SEISMIC RESTRAINT.
- 6 Please arrange for final inspection once fire unit installed.
- 7 No part of the roof framing can be interferred with, without Building Inspector approval.
- 8 Council recommends annual maintenance of the heating appliance installed. Possible replacement of the appliance should be considered at five years.

Code Compliance Certificate**Section 43(3), Building Act 1991****Application**

Christine MacKenzie 183 Milton Street Nelson	No.	030524
	Issue date	5/05/03

Project

Description	ALTERATIONS, REPAIRS or EXTENSIONS BEING STAGE 1 OF AN INTENDED 1 STAGES Install Metro Wee Rad log burner
Intended Life	SPECIFIED AS 5 YEARS
Intended Use	Heating
Estimated Value	\$1,849
Location	13 Appleby Highway, Appleby
Legal Description	Lot 16 DP 4875 Blk VI Waimea SD
Valuation No.	1943020200

This is a final Code Compliance Certificate issued in respect of all the building work under the above building consent.

FILE**Signed for and on behalf of the Council:****Name:**

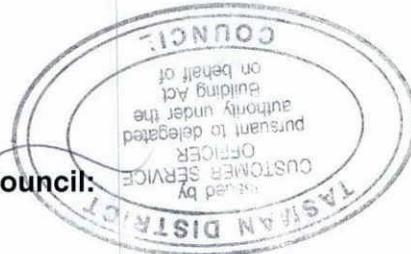
Main Office
189 Queen Street
Private Bag 4
Richmond 7031
New Zealand
Tel (03) 544-8176
Fax (03) 543-9524

**Murchison
Service Centre**
92 Fairfax Street
Murchison 7191
Tel (03) 523-1013
Fax (03) 523-1012

**Motueka
Service Centre**
7 Hickmott Place
P.O. Box 123
Motueka 7161
Tel (03) 528-7700
Fax (03) 528-9751

Date:

S/5/03.
Golden Bay
Service Centre



78 Commercial Street
P.O. Box 74
Takaka 7172
Tel (03) 525-9516
Fax (03) 525-9972

APPLICATION FOR BUILDING CONSENT

Section 33, Building Act 1991

Building Consent No.	930840
Date Issued	28/5/93

TO TASMAN DISTRICT COUNCIL
PART A: GENERALAPPLICANT¹

Name: PARKES K + C

Mailing Address: 13 Appleby Highway
Richmond

Contact Name: Owners

Position: _____

Phone: 544 8619 Fax: _____

PROJECT

Intended Use(s) (in detail): _____

Log fire installed
in existing fireplace

PROJECT LOCATION

Street Address: 13 Appleby Highway
Richmond

LEGAL DESCRIPTION

Valuation Roll Number: 19430-20200

Plot: 16 DP: 4875

Section: _____ Block: V1

Survey District: WAIMEA SD

VALUE OF PROPOSED PROJECT

The Council's charges payable on the making of this application are based on the estimated value (GST inclusive) of:

Building \$ 1100.00

Plumbing/Drainage
(labour only) \$

Total \$ 1100.00

 New or Buildings/excluding domestic garages Foundations Only Other New Construction and Demolitions Domestic Garage/Outbuildings Alterations/Repairs/Extensions/Relocated Buildings Burner Application

With Wetback

YES/NO

Intended Life:

 Indefinite, but not less than 50 years

Specified as _____ years

Demolition

Being Stage 1 of 7 stages

SCHEME/ZONE

WAI/Rural A

This application is for:

 Building consent only, in accordance with project information memorandum No..... Both building consent and a project information memorandum.

PART B: PROJECT DETAILS

(Complete Part B only if you have not applied separately for a project information memorandum.)

The project involves the following matters (cross each applicable box, if any, and attach relevant information in duplicate):

- Location in relation to legal boundaries, and external dimensions of new, relocated, or altered buildings.
- New provisions to be made for vehicular access, including parking.
- Provisions to be made in building over or adjacent to any road or public place.
- New provisions to be made for disposing of stormwater and wastewater.
- Precautions to be taken where building work is to take place over existing drains or sewers or in close proximity to wells or watermains.
- New connections to public utilities.
- Provisions to be made in any demolition work for the protection of the public, suppression of dust, disposal of debris, disconnection from public utilities, and suppression of noise.
- Any cultural heritage significance of the building or building site, including whether it is on a marae.

PART C: BUILDING DETAILS

This application is accompanied by (cross each applicable box and attach relevant documents in duplicate):

- The drawings, specifications, and other documents according to which the building is proposed to be constructed to comply with the provisions of the building code, with supporting documents, if any, including :
 - Building Certificates
 - Producer Statements
 - References to accreditation certificates issued by the Building Industry Authority.
 - References to determinations issued by the Building Industry Authority.
- Proposed procedures, if any, for inspection during construction.

PART D: KEY PERSONNEL

Names/Addresses/Telephone Numbers	Registration No.	Signature
Builder(s):		
Registered Drainlayer:		
Craftsman Plumber: <i>Tony Gardner</i>	<i>5474379</i>	
Registered Gasfitter:		
Registered Electrician:		
Designer(s):		
Building Certifier(s):		
Other:		

PART E: COMPLIANCE SCHEDULE DETAILS

E1: SYSTEMS NECESSITATING A COMPLIANCE SCHEDULE

(Complete Part E1 for all new buildings and alterations, except single residential dwellings.)

The building will contain the following (cross each applicable box and attach proposed inspection, maintenance, and reporting procedures).

- Automatic sprinkler systems or other systems of automatic fire protection.
- Automatic doors which form part of any fire wall and which are designed to close shut and remain shut on an alarm of fire.
- Emergency warning systems for fire or other dangers.
- Emergency lighting systems.
- Escape route pressurisation systems.
- Riser mains for fire service use.
- Any automatic back-flow preventer connected to a potable water supply.
- Lifts, escalators, or travelators or other similar systems.
- Mechanical ventilation or air conditioning system servicing all or a major part of the building.
- Any other mechanical, electrical, hydraulic, or electronic system whose proper operation is necessary for compliance with the building code.
- Building maintenance units for providing access to the exterior and interior walls of buildings.
- Such signs as are required by the building code in respect of the above mentioned systems.
- None of the above.

E2: OTHER SYSTEMS AND FEATURES TO BE INCLUDED IN THE COMPLIANCE SCHEDULE

(Complete Part E2 only if the building contains one or more of the systems listed in Part E1.)

The building will contain the following (cross each applicable box and attach proposed inspection, maintenance, and reporting procedure):

- Means of escape from fire.
- Safety barriers.
- Means of access and facilities for use by persons with disabilities which meet the requirements of Section 25 of the Disabled Persons Community Welfare Act 1975.
- Hand-held hoses for fire fighting.
- Such signs as are required by the Building Code or Section 25 of the Disabled Persons Community Welfare Act 1975.

PART F: STATISTICAL INFORMATION

Please answer the following questions if they apply:

Floor aream²

No. of dwelling units

No. of storeys

1	<input type="checkbox"/>	Floor Timber	1	<input type="checkbox"/>	Roof Steel Sheeting	1	<input type="checkbox"/>	Energy Electric	1	<input type="checkbox"/>	Outer Walls Brick
2	<input type="checkbox"/>	Concrete	2	<input type="checkbox"/>	Steel Tiles	2	<input type="checkbox"/>	Gas	2	<input type="checkbox"/>	Concrete
3	<input type="checkbox"/>	Wood Products	3	<input type="checkbox"/>	Concrete Tiles	3	<input type="checkbox"/>	Solid Fuel	3	<input type="checkbox"/>	Concrete Block
4	<input type="checkbox"/>	Other	4	<input type="checkbox"/>	Shingles	4	<input type="checkbox"/>	Floor Electrical	4	<input type="checkbox"/>	Cement Board
			5	<input type="checkbox"/>	Aluminium	5	<input type="checkbox"/>	Ceiling Electrical	5	<input type="checkbox"/>	Plaster
			6	<input type="checkbox"/>	Other	6	<input type="checkbox"/>	Storage Electrical	6	<input type="checkbox"/>	Timber
									7	<input type="checkbox"/>	Steel
									8	<input type="checkbox"/>	Aluminium
									9	<input type="checkbox"/>	Other
1	<input type="checkbox"/>	Framing Timber	1	<input type="checkbox"/>	Internal Linings Plaster Board	7	<input type="checkbox"/>	Cooking Electric			
2	<input type="checkbox"/>	Concrete	2	<input type="checkbox"/>	Fibrous Plaster	8	<input type="checkbox"/>	Gas			
3	<input type="checkbox"/>	Wood Products	3	<input type="checkbox"/>	Wood Products	9	<input type="checkbox"/>	Solid Fuel			
4	<input type="checkbox"/>	Aluminium	4	<input type="checkbox"/>	Other						
5	<input type="checkbox"/>	Other		<input type="checkbox"/>							

Signed by/for and on behalf of the applicant:

B Parkes

Name:

Position: *Owner* Date: *27-5-93*

COUNCIL USE ONLY

Checked By:	Initials	Date
Plumbing & Drainage		
Design		
Health		
Planning		

Building \$.....
 Plumbing/Drainage \$.....
 BRANZ Levy \$.....
 Space Heater \$..... *40.00*
 Demolition \$.....
 Dependent Relative \$.....
 TOTAL \$..... *40.00*

Tax Invoice sent *27.5.93* \$ *40.00*
 Payment Received *27.5.93* Receipt No. *91678*

Approved for issue of Building Consent

Technical Officer: *[Signature]*

Date: *28, 5, 93*

Consent Fees Payable (GST incl):

PIM/BUILDING CONSENT APPLICATION COVER SHEET

Applicant:	K & C Parkes		
Application No.:	930840	Date Received:	27/5/93
PIM Issued:	Electrical:		
Engineering:	Planning:		
EHO:	Consent Officer: Lynda		

CHECK LIST

Two Sets of Plans and Specifications	Bracing Schedule and Subfloor Bracing	Certificate of Title	Accurate Site Plan (include drainage locations and connection points)	Cross Section
Truss Number	Schedule of Materials	Historical Places Trust	Land Notification	Generate Invoice Y/N

BUILDING

A 03

A 02

TECHNICAL OFFICER: *Q* DATE: 28/5

HEALTH (Domestic Services)

INSPECTOR: DATE:

OTHER

OFFICER: DATE:

ADVICE OF COMPLETION OF BUILDING WORK

Section 43(1), Building Act 1991



TO TASMAN DISTRICT COUNCIL

Under Building Consent No.: 930840

FROM (Owner):

Name: Koc Parkes

Mailing Address: 13 Appleby Highway
Richmond

PROJECT: LOG BURNER

You are advised that:

all
 part only as specified in the attached particulars

of the building work under the building consent is believed to have been completed to the extent required by that building consent.

You are requested to issue:

a final
 an interim

code compliance certificate accordingly (except where a code compliance certificate has been issued by a building certifier as stated below).

The attached particulars include:

Building Certificates.
 Code Compliance Certificate No.: issued by
..... (building certifier).
 Producer Statements.

CC
19/10/93

Signed by/for and on behalf of the owner:

Name: Koc Parkes

Position: Building Surveyor

Date: 18/10/93

For Office Use Only

Approved for use:

Building Inspector

Plumbing & Drainage Inspector

Date Issued: 18/10/93

B U I L D I N G C O N S E N T S U M M A R Y 930840

Val no. 1943020200

APPLICANT: K & C PARKES : 13 APPLEBY HIGHWAY : RICHMOND
DATE OF APPLICN: 27/05/93
DATE ISSUED: 28/05/93
OVERSEER: Graeme Wood
PLUMBER: TONY GARDNER : MARTIN AVE MONACO : 5474379

PROJECT DESCRN:

BEING STAGE 1 OF AN INTENDED 1 STAGES
INSTALL LOG FIRE IN EXISTING FIREPLACE

INTENDED LIFE: INDEFINITE, BUT NOT LESS THAN 50 YEARS
INTENDED USES: HEATING
PROJECT LOCATION: 13 APPLEBY HWAY
LEGAL DESCRIPTION: LOT 16 DP 4875 BLK VI WAIMEA SD

ESTIMATED VALUE: \$ 1,100

CHARGES: \$ 40.00

INSPECTION DETAILS:

all for good

SIGNED: asnd

DATE: 18/10/93



CONDITIONS OF CONSENT 930840

- 1 Please arrange for inspection of chamber prior to installation of any in built fireplace.
- 2 Please arrange for final inspection once fire unit installed.

Code Compliance Certificate

Section 95, Building Act 2004

Application

K & C PARKES	No.	930840
13 APPLEBY HIGHWAY	Issue date	19/10/93
RICHMOND	Overseer	NLR Graeme Wood

Project

Description	6 Burner Permits Being Stage 1 of an intended 1 Stages Install log fire in existing fireplace
Intended Life	Indefinite, but not less than 50 years
Intended Use	HEATING
Estimated Value	\$1,100
Location	13 Appleby Highway, Appleby
Legal Description	Lot 16 DP 4875 Blk VI Waimea SD
Valuation No.	1943020200

This is a final Code Compliance Certificate issued in respect of all the building work under the above building consent.

1943/202

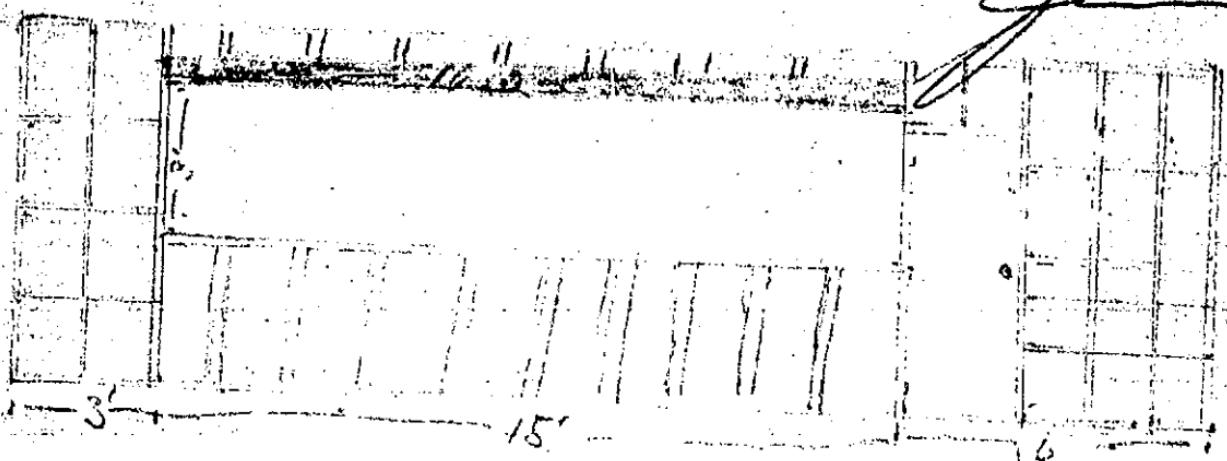
URGENT COPY REQUEST

DO YOU SEE THE PLANE
SIGHTING REPORTS DATED 20

21 AUGUST 1943. REF ID: 141951.

DATE 21-9-62 19

THE END



Main Road to Bollingwood.

1943/202

17

5 ft from
front for
alley
Total

lot 15

lot 16

18

19

Right of way

Main Road Ballengowood

WAIHEE COUNTY COUNCIL

DATE MAY 1943 PLANO SPECIFICATIONS APPROVED BY

18 BUILDING PERMIT NO. 144951

21.9.6-11

REASON APPROVED

J

all studs & decking are 4x2 roof will be shingled
steps at 18' out
gutter repeated with
gutter with back

1963/202

Ball Eng. Porch Room

F-18

eng. eng.
6' thick

10'

WATKINS COUNTY U.

THREE ARE THE PLATE SPECIMEN
TO BE BURNED
IN BURNING PLATE NO/41951.

Size 21.7.6 in. x 14

BURNING PLATE NO/

Main Road, Watkins

[Signature]

WAIMEA COUNTY COUNCIL

THIS IS THE ~~STANDARD~~ SPECIFICATIONS NO. 472

RECEIVED PLATE NO. 19106090

MARCH 20 1943

WAIMEA COUNTY COUNCIL

Application for Building Permit

1943
202

To: The Building Inspector,
Waimea County Council,
NELSON.

Date: 1/2/56

Sir,

Erect

Alter

Reinstate

Demolish

....a. Residence for Mr. R. K. Andrews
in P. Apapili Rd. Road, Three Bends Corner, Riding,
for Mr. R. K. Andrews (Owner) of 178 Murihi St. Lehuauna (Address)
according to locality plan and detailed plans, elevations, cross-sections,
and specifications of building deposited herewith, in duplicate,

Particulars Lot No. 16. D.P. No. 42.35. Section No 11 G
of Land Block No. 11. Waimea. S.D.

..... AREA: acres. 0

Particulars Roads 36. perches.
of Building Foundations: Continuous concrete. Walls. Weather Board

Roof: Galvanized. and Floor Area: 1132 Sq.Ft.

Area of Outbuildings included in this application. 0 Sq.Ft.

Area of existing outbuildings: 230. Sq.Ft.

Estimated Cost
of Building Building: £ 261.5. Plumbing & Drainage: £ 2.96.
..... Total £ 2911.0.0

Proposed purposes for which every part of building is to be used or occupied
(describing separately each part intended for use) for a separate
purpose) Residential

Proposed use or occupancy of other part of building

Nature of ground on which Building is to be placed and of the subjacent
strata: (entire gravel)

Yours faithfully,

Signature of applicant: R. J. Kaisan

Address: 71. Weka St

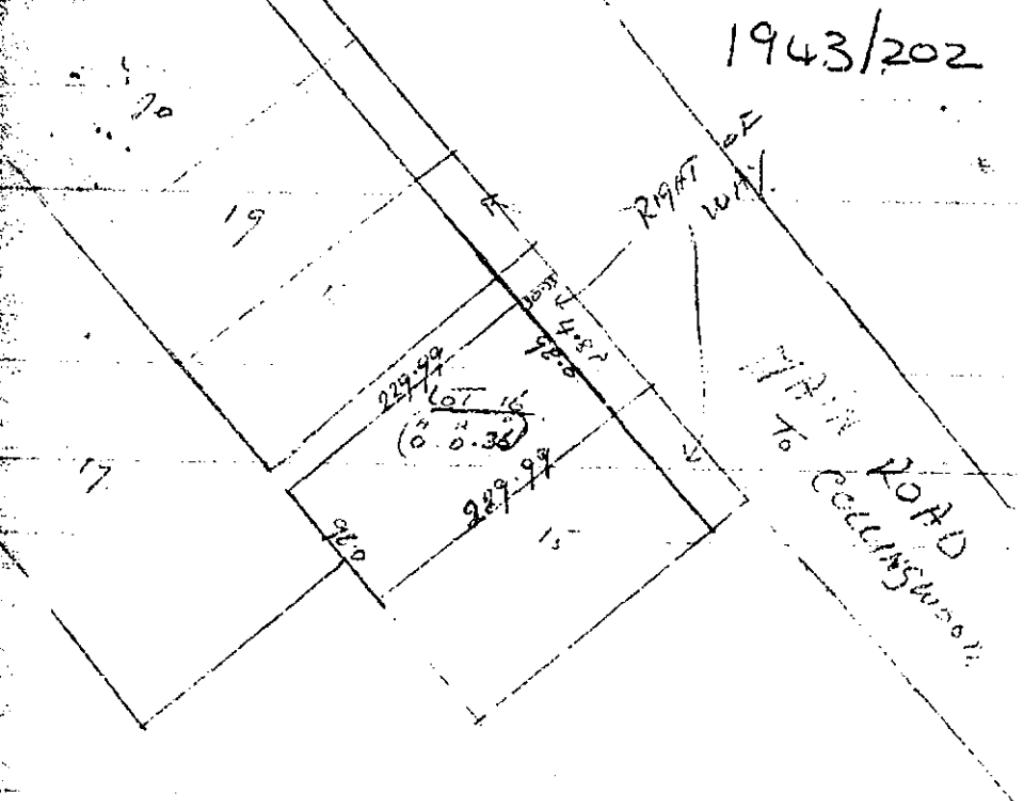
Builders Name: R. J. Kaisan. Nelson.

Phone 449

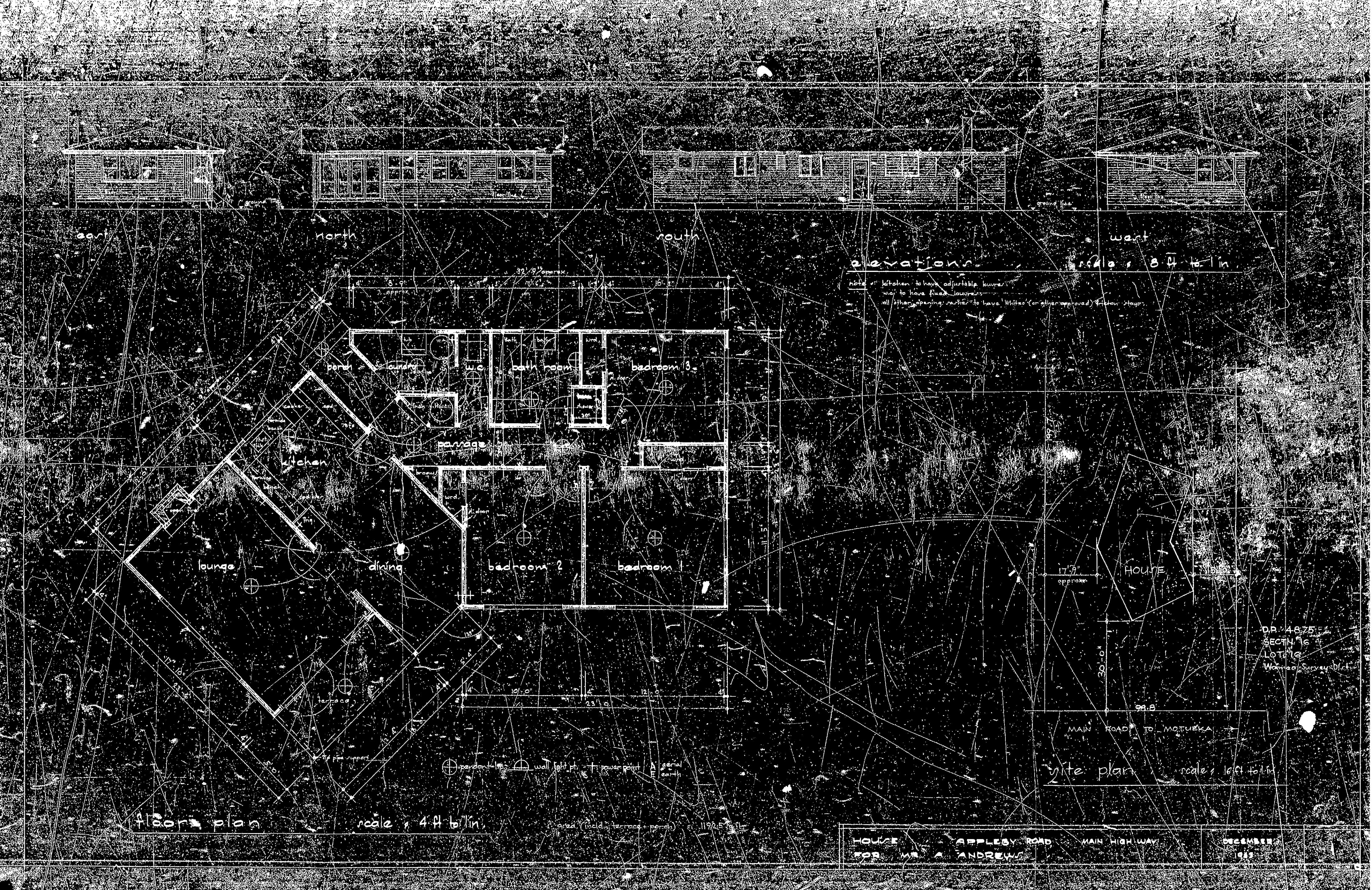
N.B. The locality plan must show position of building on Section and
distances from road, boundaries etc.

Letter 13
164.

1943/202



Lot 16. D P 4875. Area: 36 perches.
part section 110 running east
part of land contained in left private of
Little Cheepey, lot 177, 162.60 perches
and subject to certain rights of way.



CONCRETE

REINFORCEMENT: Reinforcement shall consist of round mild steel rods conforming to N.Z.S.S.197, accurately fabricated and fixed in position. Hook ends of all rods and lap at least 40 diameters. Bend all horizontal bars not less than 2' around angles.

FORMWORK: All concrete work shall be cast in boxing constructed from pinus radiata timber. Formwork shall be securely braced and supported and shall be true to level and alignment. Joints shall be close to prevent seepage of liquid. It shall be constructed in such manner that it can be removed without damage to concrete which shall finish to the dimensions required.

Form all openings and chases required by other trades.

BOLTS & FIXINGS: Provide in concrete where it is required to fix timber thereto diabolts on $\frac{3}{8}$ " diahooked rods, extending at least 8" into the concrete. These shall be placed 6" from the angles of walls and at not more than 4' centres at intermediate points, with a minimum of two bolts for each length of timber.

Piles shall be provided with two strands of No. 8 galvanised wire for securing bearers.

CONTINUOUS CONCRETE FOUNDATIONS: Footings for continuous foundation walls shall extend at least 12" into the ground. The minimum height of the wall shall be 12" above ground level with a minimum thickness of 5". The wall shall be reinforced with one $\frac{3}{8}$ " diabar in the footing and one $\frac{1}{2}$ " diabar at the top. Where the height of the wall exceeds 3 ft. these shall be supplemented with $\frac{3}{8}$ " diabars at 15" centres, both horizontally and vertically.

CONCRETE PILES: If greater than 2'6" in height they shall be reinforced with one $\frac{3}{8}$ " dia rod. They shall not extend more than 4'6" above the ground level.

Precast piles shall not extend further than 1'6" above ground level and shall be set in concrete.

Piles shall have a minimum cross-sectional area of 64 sq ins and shall be set in rows not exceeding 7' apart.

The minimum spacing of piles in rows shall be 4'6" and the minimum height of piles above ground level shall be 12".

EXTERIOR CONCRETE PILES: When required to receive timber base battens, cast into piles, dovetail wooden nailing strips. These shall be at least $1\frac{1}{2} \times 1\frac{1}{2}$ " of Ht. Totara, or of similar durable timber.

Fireplace and surround (cont'd)

Brick surrounds shall be constructed of selected brick with joints raked out and pointed with coloured mortar. Flat bricks arches shall be supported on 2" x $\frac{3}{8}$ " wrought iron bars, cambered $\frac{1}{8}$ " and with the ends split and turned up and down, and carried into bricks joints.

The following indicates the type of fireplace surround and hearth required.

Surround	Hearth
1. Brick	1. Brick
2. Tile	2. Raised coloured concrete..
3. Summerhill stone	3. Tile <i>Raised tiles</i>

VENTS: Set in vent spaces provided under "Concretor" 12" x 6" vents which may be precast concrete or crimped galvanised wire.

CARPENTER and JOINERTIMBER:

Rimu Radiata: All pinus radiata framing timbers are to be pressure treated by an approved process. Interior finishing timbers and cupboard shelves may be dressing grade Radiata Pine.

Timber qualities and gradings in conformity with National Grading rules N.Z.S.S.119 and to be the best of its kind, sound and well seasoned, free from all defects, etc., fitted together in the best possible manner. All woodwork exposed to be wrought to a smooth fine surface throughout.

Dressed Pine.

Where not otherwise specified, timber to be of ~~seasoned~~ Rimu.

Sleepers to be 4 x 3 Rimu Bldg. heart.

Floor joists 5 x 2 Rimu Bldg., heart spaced not more than 18" centre to centre, checked so as to come perfectly level on top and to be well spiked to sleepers.

~~Bottom and top plated 4 x 2 Rimu checked to receive studs - bottom plates heart.~~

Studs 4 x 2 spaced not more than 18" centre to centre, all cut off to an even length to have wall finish 8ft. 1in. between floor and ceiling.

Where specified as Heart Rimu, Tanalized Pinus Radiata may be used. All wall intersections and angles to be double studded and blocked for solid backing and nailing of lining wall dwanged with 4 x 1 $\frac{1}{2}$ and 3 x 1 $\frac{1}{2}$ to suit studs and wall boarding. Ceiling joists for all rooms to suit studs and wall boarding. Ceiling joists for all rooms to be 4 x 2 at 18" centres.

Rafters 4 x 2 spaced not more than 30" centre to centre to be covered with G.C. Iron; ~~tfies~~ ~~roof rafters not more than 18" centre to centre.~~

1943/202

- 7 -

A106090

Box overhang of eaves, line underneath with flat Fibrolite on 3 x 1½ dwangs from rafter to 3 x 1 fixed on studs full perimeter of building.

TRIMMERS:

Openings to 3' 1"	4" x 2"
" " 4' 6"	4" x 3"
" " 6' 8"	2/5" x 2"
" " 8' 10"	2/6" x 2"
" " 11"	2/8" x 2"
" over 11"	2/10" x 2"

Fasten 4 x 2 runners over all room ceilings. Roof braces 4 x 2, wall braces to be 6 x 1 checked in flush, inside wall braces to be 4 x 1 checked in flush.

Collar ties to be 6 x 1

u-Pine-Treated

Spouting fascia to be 6 x 1 ~~New Cl. Heart dressed.~~

Flooring to be ~~6~~ or 1 x 1 T & G. Pime Clean Ht. or pressure treated timber, tightly cramped, double nailed and all byewood cleaned off. Fix up for shower space where shown.

Fix to all interior rooms and hall ~~6~~ x 1 bevelled skirting neatly scribed to floors.

Architraves to be ~~3~~ x 1 bevelled

all windows to be finished with 5 x 1 D.A.R. sill boards and $\frac{1}{8}$ quarter round apron pieces.

LININGS:

	<u>Walls</u>	<u>Ceilings</u>
Bedrooms	Laminate	Plastered
Dining Room	Laminate	Wooded
Lounge	Laminate	Wooded
Bathroom, W.C. Laundry	Plastered	Hardboard
Kitchen	Laminate	Wooded
Wardrobe, Linen and Hot Water cupboards	Laminate	Laminate

ROOF:

Tiled-Roof: Roof shall be tiles and the pitch sh. be 28°.

The colour shall be

Iron Roof: Roof shall be in G.C. Iron on 4 x 1½ x 2 purlins. The pitch shall be 15°.

PRIMING: All external timbers shall be primed before fixing, care being taken to see that butt joints and laps are treated.

WAIMEA COUNTY COUNCIL

These are the plans
submitted for consideration.

Building Permit No. 602634.

Dated 27/11/1970

Assessment No. 1943/202

COUNTY COUNCIL

BUILDING INSPECTION DEPARTMENT FOR BUILDINGS

16th Oct.

Date. 23.11.70

To: The Building Inspector,
Waimea County Council,
KUHIO, R.

Sir,

1943/202

I hereby apply for permission to

Erect
Alter
Convert.....
Relocate
Demolish

Builder..... A.R. Andrews

in..... 10 Bawleys Rd..... Road..... Waimea East. Riding

for..... A.R. Andrews..... of..... above.....
(Owner) (Address)

According to locality plan and detailed plans, elevations, cross-sections and specifications of building submitted here with, in duplicate.

Particulars Lot No. 16..... D.P. 4875..... Section No. 110.

Of Land

Block No. V.L. Waimea..... S.D. Areas. Acres
..... Roads. Perches.

Particulars Foundations..... Concrete..... Walls.

Roof..... Flat..... Ground floor area. Sq. ft.

Area of Outbuildings included in this application. Sq. ft.

Area of existing outbuildings. Sq. ft.

Estimated Value of Buildings.

Building. £..... 1000..... Plin. in. & Drainage.

Total. £..... 1000.....

Proposed purposes for which every part of building is to be used or occupied (describing separately each intended for use or occupation for a separate purpose)..... Dwelling.....

Proposed use or occupancy of other part of building. Dwelling etc.

Nature of ground on which building is to be placed and of the subjacent strata.

Yours faithfully,

Signature of Applicant..... E.M. Andrews.....

Address..... 10. Bawleys. Road.....

..... Back road.....

Builders Name

..... A.R. Andrews.....

N.B. The Locality plan must show position of building on Section and Distances from road, boundaries etc.

ON APPROVAL

Fees Paid: Building. £2.00..... Drainage..... Receipt No. 1845

Received for 23/11/70

4 x 2 Framing

4 x 3

5 x 2 Floor Joists

Roof Iron

Concrete Foundations

Weather Board on 4" ex by chimney

4 x 12 Purling

Rafters

4 x 2

G.I.B. Walls

Fibrous Ceilings

Price \$450-

400 C.F.

WAIMEA COUNTY COUNCIL

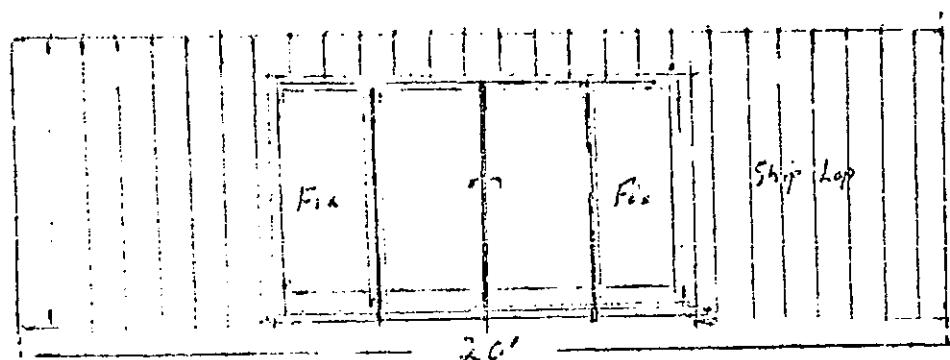
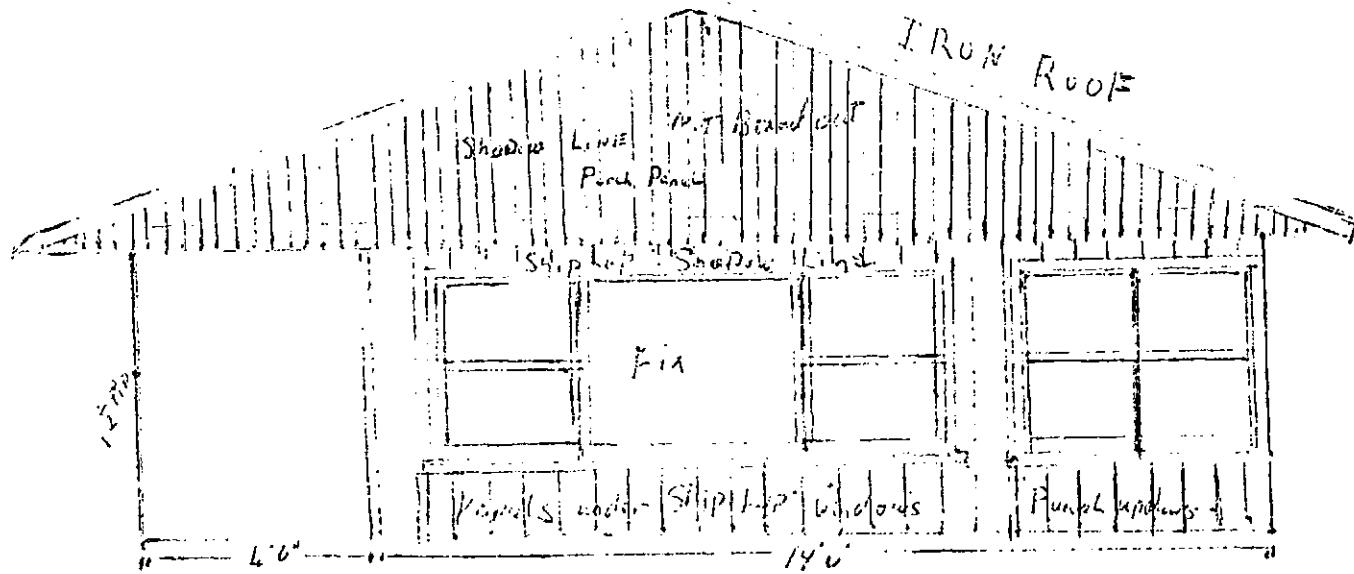
These are the plans
specifications referred to in

Building Permit No. C026346

Dated 27/11/1970

BUILDING INSPECTOR

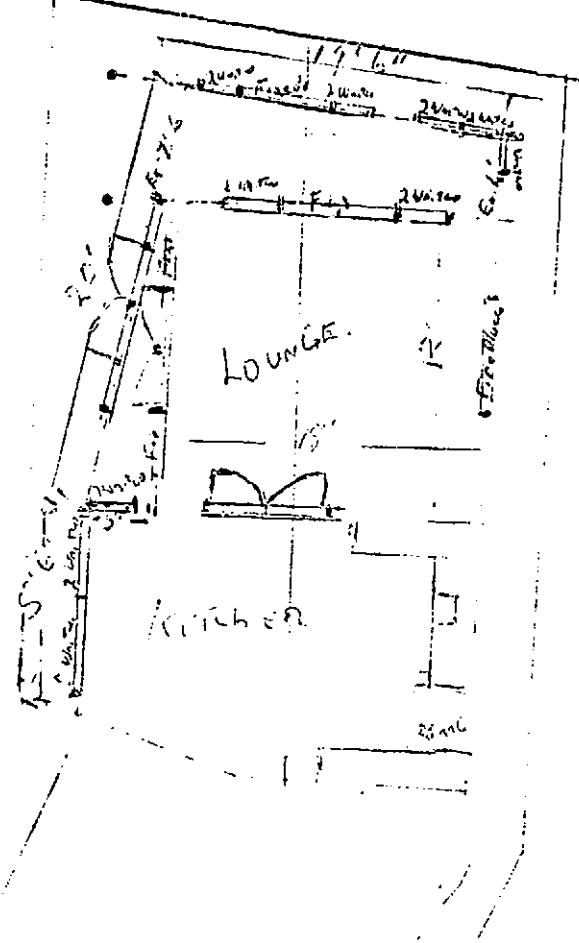
Bill for Lee



CC per del.

27/11/70
026346

1943/202
026346



1943/202

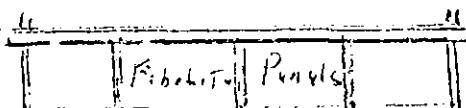
CO26346

1943/202 CO26346

27/11/2020 CO26346

RCC for OMR

L.T. 16 U.P. 4875
ESK G. P.R. S.C. 113
West East Lat. BLK
Wain - SD

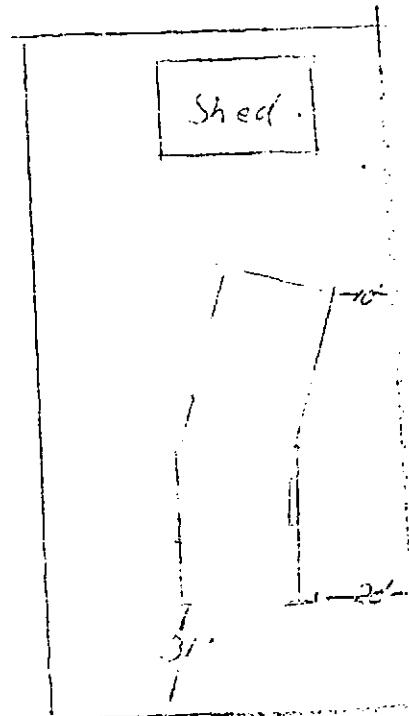


Panels Under Windows

2026346

27/4 70

All in ORL



1943/202
C026346

Front Rear Porch

This information has been compiled from Tasman District Council records and is made available in good faith, but its accuracy or completeness is not guaranteed.

Property Location

Valuation	Legal Description	Address	Suburb	Area (ha)
1943020200	PT LOT 16 DP 4875	13 Appleby Highway	Appleby	0.0791

Rates Information

Rates are charged in four instalments for the period commencing 1 July and ending 30 June each year. Please note that if this property is a contiguous property, its rates will change if sold separately. Also note that this rating information relates to all parcels, i.e., Lot and DP numbers, under this valuation assessment.

Annual Rates	Current Instalment
\$4339.58	\$1084.89

Rates Breakdown

The Annual Rates above are broken down as follows:

Description	Rate	Units	Amount
General Rate	0.2141c/\$CV	670,000	\$1,434.47
Uniform Annual General Charge	\$413.00/Pty	1	\$413.00
Wastewater - 1st Pan	\$1007.50/pan	1	\$1,007.50
WaimeaComDam-Env&ComBen-Distri	\$81.80/Pty	1	\$81.80
WaimeaComDam-Enviro&ComBen-ZOB	0.0074c/\$CV	670,000	\$49.58
Refuse/Recycling Rate	\$133.69/Pty	1	\$133.69
Shared Facilities Rate	\$73.55/Pty	1	\$73.55
Mapua Rehabilitation Rate	\$4.35/Pty	1	\$4.35
Museums Facilities Rate	\$70.02/Pty	1	\$70.02
District Facilities Rate	\$138.68/Pty	1	\$138.68
Urban Wat.Supply- Serv Chge	\$542.60/meter	1	\$542.60
Regional River Works - Area Z	0.0152c/\$LV	320,000	\$48.64
Stormwater UDA	0.0510c/\$CV	670,000	\$341.70

Warm Tasman Rate

Warm Tasman Home Insulation Rate does not apply for this property.

Rating Valuation

Tasman District Council uses a capital value rating system. Please note that this rating information relates to all parcels, i.e., Lot and DP numbers, under this valuation assessment.

Capital Value	Land Value	Improvements	Valuation Date
\$670,000.00	\$320,000.00	\$350,000.00	01/09/2023

New Rating Valuation

This information has been compiled from Tasman District Council records and is made available in good faith, but its accuracy or completeness is not guaranteed.

Rating values are reviewed triennially. If the valuation of this property is going to change in the next rating year, it will show below as the New Capital Value. Please note that this rating information relates to all parcels, i.e., Lot and DP numbers, under this valuation assessment.

New Capital Value	New Land Value	New Improvements Value	New Valuation Date
\$670,000.00	\$320,000.00	\$350,000.00	01/09/2023

Water Meter Information

Reticulated water: Water usage is charged in addition to rates payable. You should check that the vendor has the water meter read at possession time by requesting a special meter reading.

Water ID	Meter Reader Note	Meter Id	Read Date	Year to date	Last year units
W30053		23M304047	06/07/2025	74	68

Services

This property is serviced under the following water, sewerage, and stormwater schemes.

Scheme or Supply	Service Provided
Stormwater UDA	Stormwater
Tasman Waste Water	Wastewater
Urban Water Supply	Water Supply

Protected Trees

No protected trees have been found for this property.

Heritage Buildings

There are no heritage buildings on this property.

Wheelie Bins

This property has had the following wheelie bin(s) delivered.

Bin Size	Serial Number	Delivered on	Delivered to
Single 240	2407231	08/06/2015	13 Appleby Highway, Appleby

Planning Zones

The following Planning Zones pertain to this property. Please refer to the [Tasman Resource Management Plan](#) or contact a Duty Planner for detailed information about what activities can take place in a zone.

Zone	Zone Description
Rural 1	The Rural 1 Zone contains the small area of the District's land which has the highest productive value. In general, this land is suited to a wide range of uses including intensive soil-based production. Rules for subdivision and development primarily protect the productive land value on a long-term basis.

This information has been compiled from Tasman District Council records and is made available in good faith, but its accuracy or completeness is not guaranteed.

Building Consents

Please note that if a Code Compliance Certificate has not been issued, it is strongly advised that the process is completed in order to confirm that the work is in compliance with the Building Code.

Application Date	BC Number	Proposal	Status	CCC Issue Date
31/03/2003	030524	Install Metro Wee Rad log burner	Code Compliance Certificate Issued	05/05/2003
27/05/1993	930840	Install log fire in existing fireplace	Code Compliance Certificate Issued	19/10/1993

Compliance Schedule

No Compliance Schedule records are available for this property.

Building Permits

The NZ Building Act came in to force on 1 July 1992. From that date, the issue of building permits ceased and they were replaced with building consents. Under the old permit system there was no requirement for Council to keep or provide records of building work. While Council generally holds records of permits issued, often little or no information is available regarding results of building inspections. Should an evaluation of the building be required, an independent qualified person should be consulted.

Date	Permit Number	Notes
27/11/1970	C026346	Alter dwelling
12/05/1964	A106090	Permit to erect Residence House plan and specifications on microfiche
14/09/1962	142951	Permit to erect Shed

Building Notes

This property has the following building notes on file.

Date	Building Note Type	Subject	Notes
			Report received from Colin Aitken Inspection Services Ltd re unauthorised work 15 May 2000.

Swimming Pools

No Swimming Pool records have been found for this property.

Resource Consents

No Resource Consent records are on record for this property.

Planning Permits

No historical planning permits have been found for this property

Works and Land Entry Agreements

Property Enquiry – Tasman District Council

This information has been compiled from Tasman District Council records and is made available in good faith, but its accuracy or completeness is not guaranteed.

No Works and land Entry Agreement has been found for this property.

This information has been compiled from Tasman District Council records and is made available in good faith, but its accuracy or completeness is not guaranteed.

Environmental Health and Licences

No Environmental Health or Licence information has been found for this property.

Air Shed

This property sits within a controlled Air Shed.

Air Shed	Air Shed Regulations
Richmond Air Shed	After a house in Richmond changes ownership, an existing non-compliant wood burner cannot be used. It may be replaced with either a clean heat system or an approved clean air wood burner. New houses, or existing houses without an existing wood burner or open fire, can only install clean heat systems - no wood burners at all.

Hazardous Activities and Industries List (HAIL)

No verified HAIL site has been found for this property. However, if the site or any adjacent site has been used for industrial, horticultural or agricultural purposes, we suggest you make further enquiries.

Potential Lead Paint Contamination of Dwellings, Buildings & Land

Any specific information in relation to contamination will be contained in the HAIL part of the Property summary, otherwise the Council has no specific information in relation to this property.

Lead is a highly toxic substance that was a key ingredient in household paint.

Any building or dwelling built before or during the 1960's is likely to have used lead-based paint at some time. Soil surrounding these buildings has potential to be contaminated by heavy metals contained in the paint.

Landowners are responsible for ensuring the safe management of lead paint removal for protecting human health and the environment.

Wetlands

Council holds no records of a wetland being on this property. However please note that the Resource Management (National Environmental Standards for Freshwater) Regulations 2020 creates conditions relating to works carried out around natural inland wetlands regardless of whether they have been mapped by Council or not.

Pest Inspection History

The Tasman-Nelson region has a Regional Pest Management Strategy for the control of declared pest plants, animals and organisms. The responsibility for the control of pests lies with the land occupier or owner. No pests have been recorded on this property.

Biodiversity Reports

Council has been compiling biodiversity reports (also called Native Habitat Tasman reports or Ecological Assessment reports) for individual property owners. This survey of natural areas on private land aims to support proactive land management while also help Council meet its RMA responsibilities. However, no report has been lodged on this property.

Rules in the Tasman Resource Management Plan relating to clearance of indigenous vegetation and forests apply. These include 17.5.5, 17.6.5, 17.7.5, 17.8.5, 18.2.4, 18.5.2, 18.5.3, 28.2.2, and 31.1.6. These are available on the Council website. For further information, please contact Council's Biodiversity team at biodiversity@tasman.govt.nz.

This information has been compiled from Tasman District Council records and is made available in good faith, but its accuracy or completeness is not guaranteed.