

**McFADDEN McMEEKEN PHILLIPS**

L A W Y E R S



14 New Street  
PO Box 656  
Nelson  
New Zealand

DX WC 70016

Phone: (03) 548 2154  
Fax: (03) 548 2157

17 May 2000

Tasman District Council  
Private Bag 4  
RICHMOND

Attention: **Mr G Cheatley**

Fax: 544 7249

Dear Sir

**RE: PROPERTY 13 MAIN ROAD, APPLEBY**

We act for a purchaser of this property who commissioned the report from Colin Aitken Inspection Services Limited dated 14 May which we understand you now have a copy of.

If TDC accept Mr Aitken's recommendation that no remedial work or further inspections are required, would you please advise me as soon as possible.

Yours faithfully

**McFADDEN McMEEKEN PHILLIPS**

Neil Allen  
Legal Executive

email: neil@mmp.co.nz

*Oil*  
- Please respond to  
Colin's report using  
normal form.  
- give to <sup>9430</sup> Linda to  
file and input to computer  
- Colin wants his receipt  
- I ph'd Neil Allen and advised  
ok - please fax copy of response  
to Colin to Neil - *ta g/c*

mckenzie ltr tdc re inspection report 17 may 00 1100.doc

17 May 00 Page 1 of 1

# COLIN AITKEN INSPECTION SERVICES LTD

*Registered Member Building Officials Institute of New Zealand*

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23 Trolove Place  
Stoke, Nelson  
Phone/Fax: (03) 547 3277  
Cell Phone: 025 751 966  
E-mail: colin.aitken@xtra.co.nz

14-5-00

Mr G Cheatley  
Manager Regulatory Services  
Tasman District Council  
189 Queen Street  
Richmond

Dear Sir

I recently carried out an inspection of the property situated at 13 Main Road Appleby where some work has been undertaken without gaining the necessary approval from the Local Authority.

I submit this report for inclusion on the property file for future reference.

If you have any questions please contact me.

If I don't hear from you within a reasonable time I will presume that the report has been accepted.

Yours faithfully



Colin Aitken

20200  
1943 025400

**FILE**



changed to correct file  
19-9-00 lol.

---

*Experienced Building Inspector  
Available for dwelling pre purchase inspection and reports  
Advice on building related matters*

## **REPORT FOR LOCAL AUTHORITY**

**ADDRESS** 13 Main Road Appleby.

**WORK** Extension onto Dwelling.

**AGE** Unknown.

**INSPECTION** Required to check that the extension was built to the required standard.  
Prepare a report and have it lodged on the Council property file.

**SPECIFICATION** A small alteration has been made to the northern end of the original building.  
The addition is 1.3m at one end and 2.2m at the other.

The addition is supported on a continuous concrete foundation and from my inspection it appears to have been well tied into the original as there is no sign of cracking at the joint.

The external wall is framed in 100 x 50 framing covered on the exterior with Hardies flat profiled sheet and lined internally.

In the ceiling space a purpose made truss has been put in place over the line of the original external wall.  
Extra ceiling runners have been added over the ceiling joists and all the timbers have been well fixed together and there is no sign of any movement either in the ceiling space or on the under side of the ceiling lining.

The roof is framed up with 100 x 50 rafters with under purlins mid span.

The roof construction is similar to the original and corrugated iron has been used as the covering.

Over the concrete terrace a roofed area has been built with timber rafters and lintel structure and Nova roof covering.

The 250 x 50 lintel is supported by 3 / 50 x 50 posts bolted to the timber lintel and attached onto the concrete. The posts are at 3.2m centres.

The rafters are attached onto the dwelling at one end and onto the lintel at the other. The spacing of the rafters are at 900 centres with 3 rows of dwangs which support the roof covering.



**PERMIT or CONSENT**

In my opinion if an application had been made it would have been granted and the final work approved.

**REMEDIAL WORK**

Not required.

**FURTHER INSPECTION**

Not required.

**DISTRICT PLAN**

No contravention has occurred.

The extension has not increased the number of habitable rooms and the location of the extension would comply with the day light angle and distance to boundary requirements.

**SECTION 64 OF THE BUILDING ACT**

In my opinion the work carried out is not considered to be Dangerous or Insanitary as set out in section 64 of the Building Act.

Signed



Date 14-5-00

STREET FRONTAGE BEAUTIFICATION POLICY

- Policy applies only where planting is practical and does not cause an obstruction to footpaths and traffic visibility; or interfere with underground services.
- One shrub to every 5 metres of frontage with a maximum of 5 shrubs per property.
- The property owner shall be responsible for maintenance and there will be no replacements.

Date \_\_\_\_\_

Name Mr & Mrs KHV ParkesAddress 13 Appleby Highway  
RichmondShrubs supplied 1x Coprosma Clearwater Gold  
2x Dodonea viscosa purpurea  
2x Pittosporum tenuifolium  
\_\_\_\_\_  
\_\_\_\_\_Signature 

ENTERED



# tasman

district council

Writer's Direct Dial No. (03) 543 8542

E-mail: [robyn.scherer@tasman.govt.nz](mailto:robyn.scherer@tasman.govt.nz)

18 June 2012

1943020200.

Evelyn Symons  
13 Appleby Highway  
Richmond 7020

Dear Ms Symons

You recently received a letter from Council regarding low flow restricted water supplies. This letter was intended for low flow restricted water supply consumers only but unfortunately an error with the mail merge database resulted in all consumers in the Brightwater-Hope area receiving the letter, not just the low flow consumers.

We apologise for any inconvenience this error has caused.

Yours sincerely

Robyn Scherer  
**Engineering Secretary**

13 Appleby highway

# Plumbing and Drainage Report

1943020200

FILE

Valuation No. 202

Address: 13 Appleby Highway Owner: KH + C Parkes Plumber/Drainlayer: AR. Tuffnell Ltd.

Receipt No. 08890 Permit No. 215A Fee \$

Estimated Value \$

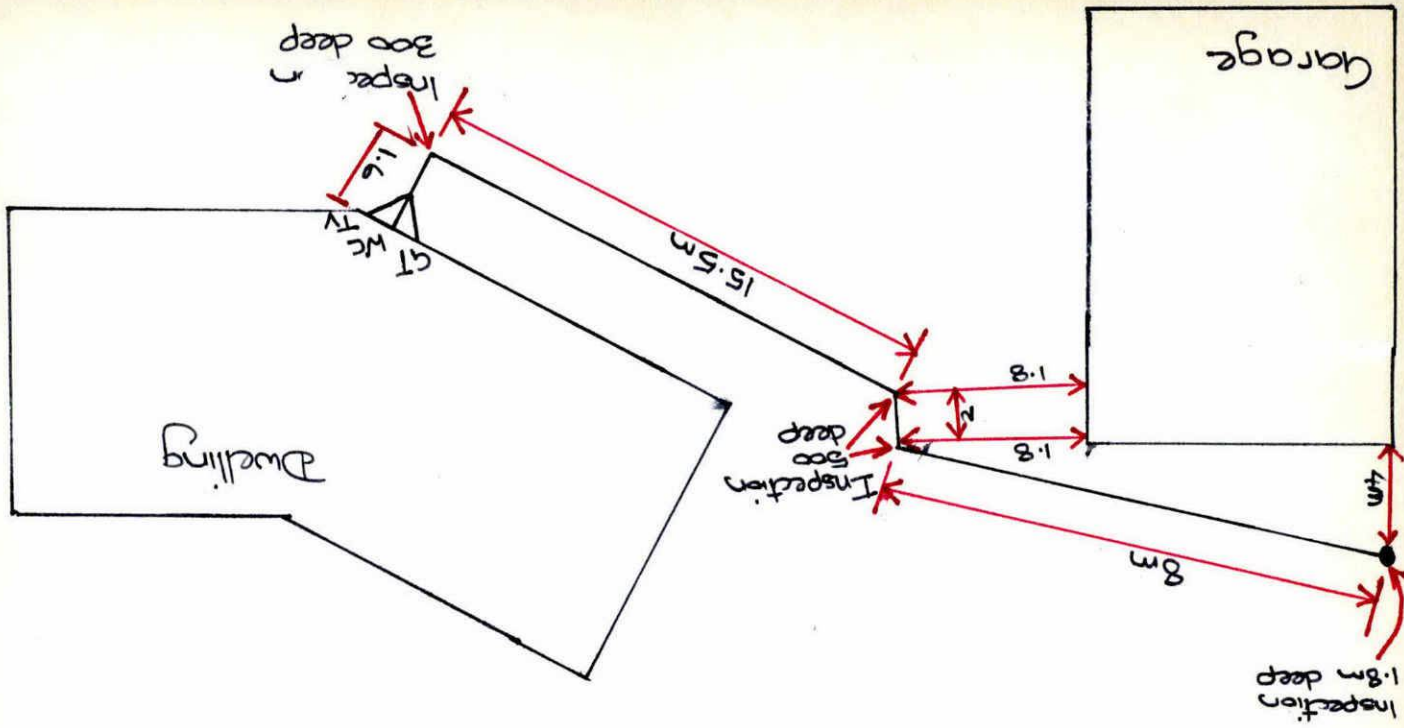
Description of Work:

Special Conditions:

Inspection Dates				Final Inspection
Inspector				

Remarks:









# WAIMEA COUNTY COUNCIL

P.O. BOX 3050.

TELEPHONE 8176.

189 QUEEN STREET, RICHMOND, NEW ZEALAND.

Permit No. 215 A

Val Ref No. 19430 20200

## Application for Permit to have Drainage or Plumbing Work Carried Out

I A. R. Tu Hui Hui  
(Name of Craftsman Plumber or Registered Drainlayer or other Person entitled to do the work)  
of P.O. Box 3182 Richmond  
(Postal Address)

hereby apply for a permit for the work described herein and set out in the plans attached hereto, to be carried out in the premises owned or occupied by:-

T. R. Parker 13 Appleby Street  
(Name and Address of Owner of Premises)

.....  
(Occupier of Premises if not Owner)

and situated in ..... Street/Road, ..... Township

### DESCRIPTION OF WORK

New sewer connection Connection to approved existing drains and  
installation of drainage work to local body  
sewage scheme.

Paid 7/7/87 Receipt 08890

Registration No. of Craftsman Plumber or Registered Drainlayer 0752

Value of Proposed Work (excluding cost of materials)

(a) Plumbing \_\_\_\_\_

(b) Drainage \_\_\_\_\_

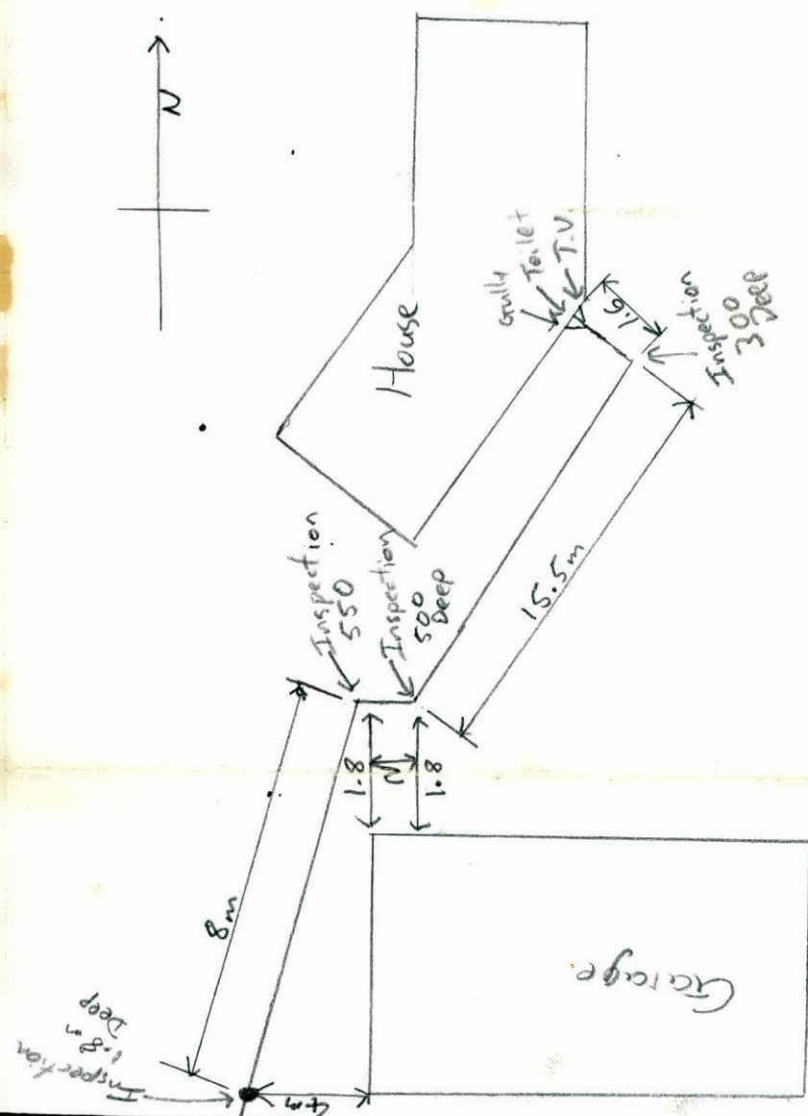
TOTAL

\$13-75

Dated this 2 day of July 19 87

Signature [Signature]

# PLAN OF PROPOSED DRAINAGE WORK



## SCHEDULE OF FEES

If the value of the proposed work (excluding materials) does not exceed

50.00	fee of	6.00
75.00		9.00
100.00		12.00
200.00		15.00
300.00		18.00
400.00		21.00
500.00		24.00
600.00		27.00
700.00		30.00
800.00		33.00
900.00		36.00
1000.00		39.00
1200.00		45.00
1400.00		51.00
1600.00		57.00
1800.00		63.00
2000.00		69.00

value exceeds \$2,000 the fees shall be \$69.00 plus \$6.00 for every \$200 or part thereof in excess of \$2,000





# Application for a Solid Fuel Burner

FORM NUMBER: BC7

DATE: 1 JULY 2002

*This application is made under Section 33 of the Building Act 1991*

## Applicant\*

Name: Christine Mackenzie

Postal Address:

183 Milton Street  
Nelson

Post Code:

Phone: 03 5480156

Fax:

\* Under 33 of the Building Act, the applicant must be the owner of the land on which building work is contemplated, or a person who has agreed in writing, whether conditionally or unconditionally, to purchase the land or any leasehold estate or interest in the land, or to take a lease of the land, while the agreement remains in force.

**Name and Address for Service  
to which documentation will be sent:**  
(if different from above)

Contact Name:

As above

Postal Address:

Post Code:

Phone:

Fax:

## Installer

Name: Tim Millar Plumbing

Building Consent No: BC030524

Date Issued: 1.4.02

## Project Location

Street Address: 13 Appleby Highway

Legal Description: Lot 16 DP 4875

Valuation Number: 1943020200

## Description of Burner

(i.e. model, wetback, free-standing or inbuilt)

Freestanding

☒ New

☐ Secondhand

**If secondhand, please provide certification  
from a competent repairer/installer.**

☒ I attach a copy of the specifications

## Total Estimated Value of Project

(Incl. GST) \$ 1849-00

Signed:

(by or on behalf of the applicant)

Date: 31/3/03

**Please complete floor plan (over page) to show  
the use of room and location of burner.**

## Here We Are!

### RICHMOND

189 Queen St  
Private Bag 4  
Richmond 7031  
Ph (03) 544 8176  
Fax (03) 543 9524

### MOTUEKA

7 Hickmott Place  
P.O. Box 123  
Motueka 7161  
Ph (03) 528 7700  
Fax (03) 528 9751

### GOLDEN BAY

78 Commercial St  
P.O. Box 74  
Takaka 7172  
Ph (03) 525 9516  
Fax (03) 525 9972

### MURCHISON

92 Fairfax St  
Murchison 7191  
Ph (03) 523 1013  
Fax (03) 523 1012

**24** Hour

**EMERGENCY  
PHONE**

Call your local office

*It's the  
lifestyle  
that counts*

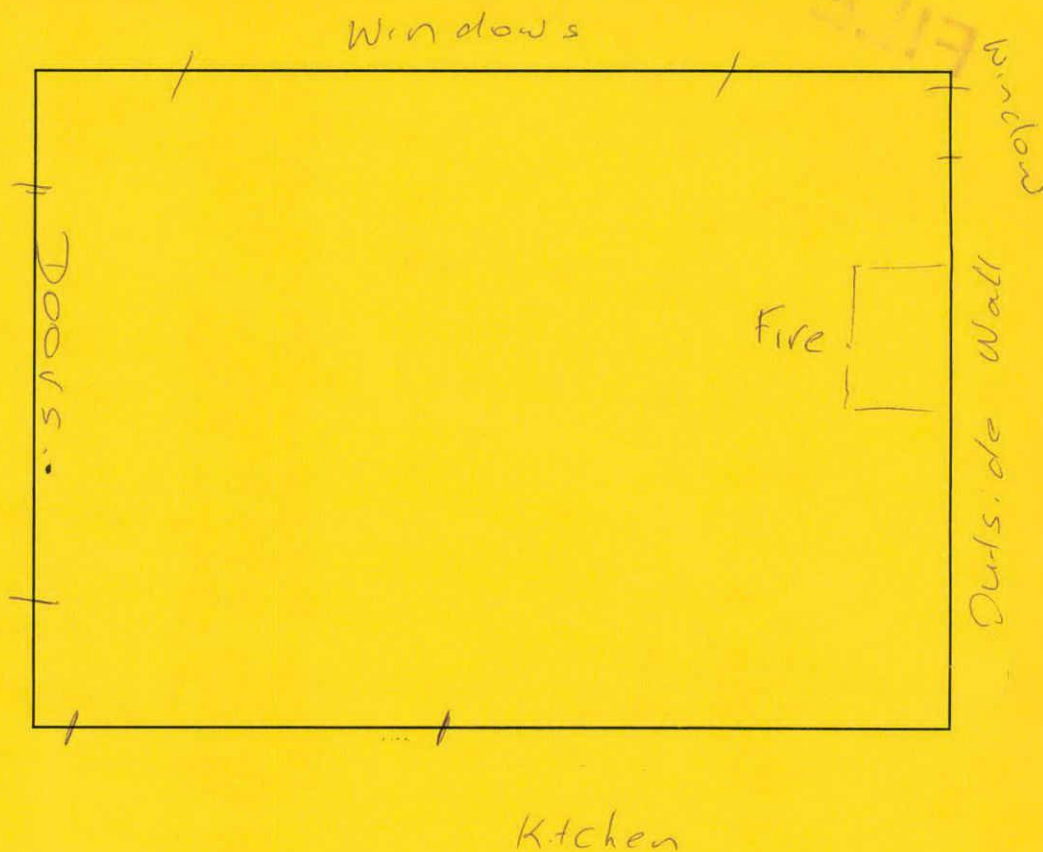
email: [info@tdc.govt.nz](mailto:info@tdc.govt.nz) website: <http://www.tdc.govt.nz>



Use of room (e.g. lounge)

Lounge

Please draw room and mark location of burner in space provided.



### For Office Use Only

Fee ☒ Paid: ☐ \$90 Free-standing/Inbuilt/Wetback Receipt No. ☒ Invoiced

X	A01	The appliance, hearth and flue are to be installed in accordance with the manufacturer's installation specifications and NZS 74212, which includes seismic restraint. <b>Wetbacks do not provide seismic restraint.</b>
X	A02	Please arrange for final inspection once fire unit is installed.
<del>X</del>	A03	Please arrange for inspection of chamber prior to installation of any inbuilt fireplace.
<del>X</del>	A04	Please arrange for a plumbing inspection for heating appliances containing wetbacks that connect to new or existing hot water cylinders to ensure that installation of tempering valve is correct. This is to be done as soon as the appliance is installed.
X	A05	No part of the roof framing can be interfered with, without Building Inspector approval.
X	A06	Council recommends annual maintenance of the heating appliance installed. Possible replacement of the appliance should be considered at five years.

Approved for Issue of Consent

Building Inspector

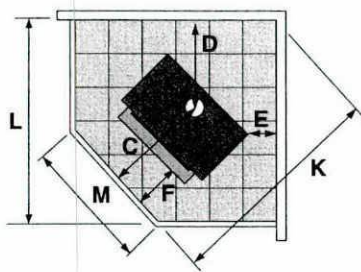
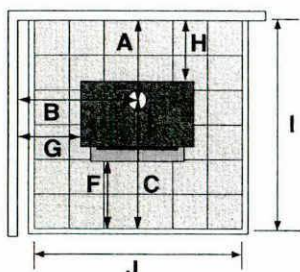
*[Signature]*



## CLEARANCE CHART

Metro woodfires are tested to and comply with NZS7421:1990 or AS/NZS2918:2001 if installed as detailed in the chart below: -

- Measurements listed below are the minimum required, stated in millimetres. Measurements are taken from the following reference points as illustrated: -
  - From the nearest combustable wall or surface (A, B, D, E, G, H)
  - From the Metro's flue centre (A, B, C, D)
  - From the outermost point of the Metro's cabinet / construction (E, F, G, H)
  - To the edge of the ash Floor Protectors non-combustible surface (C, F, I, J, K, L, M)
- The Metro Tiny-Trad, Metro Pioneer and Metro Pioneer Traditional have also been tested with optional "flueshield side extensions". When fitted into an alcove situation not projecting forward of the Metro with flueshield side extensions fitted, clearances "B" and "G" reduce by 80mm for the Pioneer and Pioneer Traditional and 100mm for the Tiny-Traditional.



Installation Clearances mm

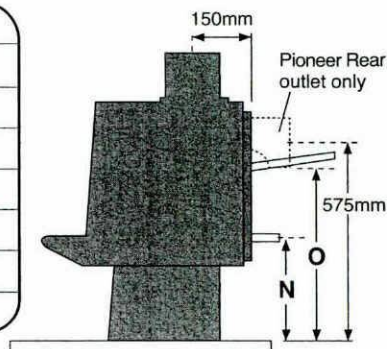
		A	B	C	D	E	F	G	H	I	J	K	L	M
<b>TINY-TRAD</b>	With Flueshield**	225	445	480	305	25	100	200	75	705	650	920	875	650
	Without Flueshield	605	545		595	315		350	455	1085		1320	1165	
<b>PIONEER &amp; PIONEER TRAD</b>	With Flueshield**	200	595	480	400	85	100	300	50	680	825	1045	950	660
	Without Flueshield	580	595		595	280		300	430	1060		1320	1145	
<b>PIONEER REAR OUTLET</b>		N/A	565	N/A	N/A	100	100	270	60	690	825	1070	965	660
<b>X-TREME &amp; X-TREME TRAD</b>	With Flueshield**	230	575	525	455	110	100	240	80	755	905	1165	1065	740
	Without Flueshield	800	575		595	250		240	650	1325		1365	1205	
<b>ASPIRE &amp; ASPIRE TRAD</b>	With Flueshield**	230	575	525	455	110	100	240	80	755	905	1165	1065	740
	Without Flueshield	800	575		595	250		240	650	1325		1365	1205	
<b>WEE RAD</b>	With Flueshield**	200	555	480	400	80	100	250	50	680	825	1045	950	660
	Without Flueshield	580	555		600	280		250	430	1060		1320	1145	
<b>RAD</b>	With Flueshield**	230	575	525	455	80	100	200	80	755	905	1165	1065	740
	Without Flueshield	800	575		625	250		200	650	1325		1365	1205	
<b>MEGA RAD</b>	With Flueshield**	270	675	625	500	125	100	300	120	895	905	1325	1175	740
	Without Flueshield	540	675		595	220		300	390	1165		1470	1270	

\*\* Ensure the flueshield is fitted so that the lower flue is NOT directly exposed to the rear wall, refer to the instructions supplied with the flueshield.

Dimensions mm

	N	O	Width	Depth	Height
<b>TINY-TRAD</b>	295	485	490	530	665
<b>PIONEER &amp; PIONEER TRAD</b>	295	485	590	530	665
<b>PIONEER REAR OUTLET</b>	295	485	590	530	660
<b>X-TREME &amp; X-TREME TRAD</b>	340	530	670	575	715
<b>ASPIRE &amp; ASPIRE TRAD</b>	340	530	670	575	715
<b>WEE-RAD</b>	295	485	607	530	665
<b>RAD</b>	353	543	750	575	745
<b>MEGA RAD</b>	353	543	750	675	745

Note: Both wetback connections are 150mm left of the flue centre, facing the Metro / wall.



## FLOOR PROTECTORS

Freestanding Metro Woodfires do not require an insulating Floor Protector, as they are tested and comply with the minimum "ash hearth" requirement of NZS7421:1990, being:-

"A non combustable surface extending 200mm in all directions directly below the door opening"

Note: - The minimum Floor Protector sizes are specified in the clearance chart above

- A Floor Protector can include ceramic tiles with grouted joints fixed directly onto a wooden floor, or a sheet of toughened glass, panel steel or any other non combustable material laid directly onto a wooden floor.
- If being installed onto a concrete or other non combustable floor, no Floor Protector is required.



## PRE INSTALLATION

Prior to installing your Metro insert into a masonry chimney, it is important that certain clearances and other requirements are complied with as detailed below :-

**Chimney** – The chimney must be swept and checked for :-

- Cracks and general overall condition, with repairs carried out if necessary by a suitably qualified person.
- Cavity dimensions to ensure the fireplace insert will fit, it is usually necessary to remove the fire bricks from the lower chimney cavity.
- The base of the chimney cavity on which the Metro fireplace insert will rest must be level, if it is not, it should be levelled using mortar.
- If an ash removal door exists in the base of the chimney it should be sealed shut to prevent air entering the cavity.

**Mantle** – If a timber or combustible mantle shelf exists above the fireplace opening, it should be a minimum distance above the top of the Metro's fascia, minimum distances are:-

- Metro Hi output Insert = 460mm
- Metro Compact Insert = 400mm

If less than the above minimum specified, a deflector or heat shield will be required to be fitted under the mantle.

## FLOOR PROTECTOR REQUIREMENTS

Metro fireplace insert's are designed to be installed direct onto a concrete base. A floor protector is required to protect in front of the Metro and must extend a minimum of 200mm to each side of the door opening making the minimum floor protector width 825mm. The minimum floor protector projection forward of the Metro is dependant on the height of the fireplace insert above the combustible floor. The following schedule of floor protector projections is measured from behind the Metro fascia being the total floor protector depth as shown in diagram 4 below. Note, the heights specified above the combustible floor can be achieved by :-

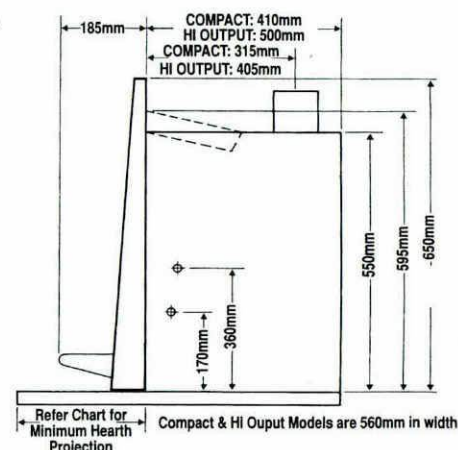
- The thickness of the floor protector
- Or by raising the fireplace insert
- Or a combination of the two

### Insert Raised Minimum Floor Protector projection and Type

	Metro Compact	Metro Hi Output
10mm	439mm insulated	455mm insulated
15mm	425mm insulated	445mm insulated
20mm	417mm insulated	436mm insulated
25mm	403mm insulated	424mm insulated
30mm	392mm insulated	408mm insulated
35mm	381mm insulated	396mm insulated
40mm	367mm insulated	366mm insulated
41mm & above	N/A	260mm ash hearth
45mm	356mm insulated	
50mm & above	260mm insulated	

DIAGRAM 4

Fascia Model	Base Width	Body Width
H.T & V.E Fascia	810mm	810mm
Trad Fascia	900mm	810mm



## Important

Metro fireplace inserts are tested to and comply with NZS7421:1990 incorporating appendix "J" when installed in accordance with the installation and operation manual supplied with every Metro woodfire.

- A minimum flue length of 4.2 metres of 150mm diameter stainless steel flue is required.
- All flue joints must be sealed and riveted.
- Metro fireplace inserts are available with optional 3kW or 4kW wetbacks.
- Seismic restraint of the fireplace insert is required.

**PIONEER**

MANUFACTURING LIMITED

P.O.Box 11, Inglewood

New Zealand

Phone 06-756 6520

Fax 06-756 6540

Email: info@woodfire.co.nz

Website www.woodfire.co.nz

METRO



**BUILDING INSPECTORS INSPECTION REPORT**

FORM BC10

**Property Details:**Owner: C MackenzieBuilding Consent # 030524Site Address: 13 Appleby HW

Valuation # \_\_\_\_\_

Contractor: Tim Miller**Inspection:**

- |  |   |  |
|--|---|--|
| <input type="checkbox"/> Siting                  | <input type="checkbox"/> Plan changes                     | <input type="checkbox"/> Roof truss/Purlin connections |
| <input type="checkbox"/> Foundation / footing    | <input type="checkbox"/> Masonry bond beam                | <input type="checkbox"/> Drainage, effluent disposal   |
| <input type="checkbox"/> Slab / subfloor         | <input type="checkbox"/> Preline brace / struct.          | <input type="checkbox"/> Drainage stormwater           |
| Mid-height veneer                                | <input type="checkbox"/> Preline plumbing                 | <input type="checkbox"/> Heating unit                  |
| <input type="checkbox"/> Weather tightness       | <input type="checkbox"/> Preline F.R.R. struct. & fixings | <input type="checkbox"/> Swimming pool fencing         |
| <input type="checkbox"/> Stucco/texture pre-coat | <input type="checkbox"/> Post line bracing                | <input type="checkbox"/> Other                         |
| <input type="checkbox"/> Masonry infill          | <input type="checkbox"/> Post line F.R.R.                 |  |

To: Owner / Agent / Contractor

How Notified: ☐ Direct ☐ Left on site**Inspection Notes:**

Investigating F/R replacing existing Chimney  
Factory hearth  
Unit bolted to existing concrete base  
Flue assembly through ceiling as required  
Flue cowlng correct

OK for CC

Approved ☐Re-inspection required ☐Building Inspector: [Signature]Date: 2/5/03**Here We Are!**

**RICHMOND**  
189 Queen St  
Private Bag 4  
Richmond 7031  
Ph (03) 544 8176  
Fax (03) 543 9524

**MOTUEKA**  
7 Hickmott Place  
P.O. Box 123  
Motueka 7161  
Ph (03) 528 7700  
Fax (03) 528 9751

**GOLDEN BAY**  
78 Commercial St  
P.O. Box 74  
Takaka 7172  
Ph (03) 525 9516  
Fax (03) 525 9972

**MURCHISON**  
92 Fairfax St  
Murchison 7191  
Ph (03) 523 1013  
Fax (03) 523 1012

**24** Hour  
**EMERGENCY  
PHONE**  
Call your local office

It's the  
**lifestyle**  
that counts

email: [info@tdc.govt.nz](mailto:info@tdc.govt.nz) website: <http://www.tdc.govt.nz>

**Advice of Completion of Building Work****Section 43(1), Building Act 1991**

To: TASMAN DISTRICT COUNCIL

**Consent Details**Christine MacKenzie  
183 Milton Street  
NelsonNo. 030524  
Issue date 1/04/03  
Application date 31/03/03**Project**

Description	ALTERATIONS, REPAIRS or EXTENSIONS BEING STAGE 1 OF AN INTENDED 1 STAGES Install Metro Wee Rad log burner
Intended Life	SPECIFIED AS 5 YEARS
Intended Use	Heating
Estimated Value	\$1,849
Location	13 Appleby Highway, Appleby
Legal Description	Lot 16 DP 4875 Blk VI Waimea SD
Valuation No.	1943020200

You are hereby advised that

- ☐ All  
☐ Part only as specified in the attached particulars

of the building work under the above building consent is believed to have been completed to the extent required by that building consent.

You are requested to issue

- ☐ A final  
☐ An interim


code compliance certificate accordingly (except where a code compliance certificate has been issued by a building certifier as stated below).

The attached particulars include:

- ☐ Building certificates  
☐ A code compliance certificate issued by a building certifier  
☐ Producer statements

**Signed by or for and on behalf of the owner:**

Name:



Position:

OWNER

Date: 2/5/03.

**Business hours contact phone no.:****Main Office**189 Queen Street  
Private Bag 4  
Richmond 7031  
New Zealand  
Tel (03) 544-8176  
Fax (03) 543-9524**Murchison****Service Centre**92 Fairfax Street  
Murchison 7191  
Tel (03) 523-1013  
Fax (03) 523-1012**Motueka****Service Centre**7 Hickmott Place  
P.O. Box 123  
Motueka 7161  
Tel (03) 528-7700  
Fax (03) 528-9751**Golden Bay****Service Centre**78 Commercial Street  
P.O. Box 74  
Takaka 7172  
Tel (03) 525-9516  
Fax (03) 525-9972



## CODE COMPLIANCE CERTIFICATE

To avoid delays and assist the Tasman District Council in issuing a Code Compliance Certificate, please have the tradesmen used on your building project sign the following:

"The building work has been carried out in accordance with the building consent and the Building Code."

TRADE	NAME	ADDRESS	SIGNATURE	DATE
Builder				
Craftsman Plumber				
Registered Drainlayer (As-built plan submitted - YES/NO)				
Plasterer or Blocklayer				
Roofing and Spouting				
Heating installation	Tim Miller	2/5/03		
Other (please state)				



## BUILDING CONSENT SUMMARY

**FILE**

## Applicant

Christine MacKenzie  
183 Milton Street  
Nelson

## Consent Details

Consent/PIM No.: 030524  
Date issued: 1/04/03

Valn No: 1943020200  
Phone No: 5480156

Project Descrn:	ALTERATIONS, REPAIRS or EXTENSIONS BEING STAGE 1 OF AN INTENDED 1 STAGES Install Metro Wee Rad log burner
-----------------	---

Intended Life: SPECIFIED AS 5 YEARS

Intended Uses: Heating

Project Location: 13 Appleby Highway, Appleby

Legal Description: Lot 16 DP 4875 Blk VI Waimea SD

Estimated Value: \$ 1,849

Contractor: Tim Millar Plumbing

## INSPECTION DETAILS:

**FILE**

SIGNED:

DATE: \_\_\_\_\_

CONDITIONS OF CONSENT 030524

- 1 The owner or person undertaking the building work shall advise of completion of work by returning the "Advice of Completion of Building Work" form which accompanied the consent.
- 2 A copy of this consent is to remain on site at all times and you should ensure that a copy is given to any tradesmen e.g. your builder, plumber and drainlayer.
- 3 All Building Work shall comply with the New Zealand Building Code notwithstanding any inconsistencies which may occur on the Drawings and Specifications.
- 4 This consent will expire if building work is not commenced within 6 months from the date of issue unless a written extension of time is obtained from the Building Inspector.
- 5 The appliance, hearth and flue is to be installed in accordance with the manufacturer's installation specifications (a copy of which is to be on-site for Council inspection purposes) and NZS7421, which includes seismic restraint. WETBACKS DO NOT PROVIDE SEISMIC RESTRAINT.
- 6 Please arrange for final inspection once fire unit installed.
- 7 No part of the roof framing can be interfered with, without Building Inspector approval.
- 8 Council recommends annual maintenance of the heating appliance installed. Possible replacement of the appliance should be considered at five years.

**Code Compliance Certificate****Section 43(3), Building Act 1991****Application**Christine MacKenzie  
183 Milton Street  
NelsonNo. 030524  
Issue date 5/05/03**Project**

Description	ALTERATIONS, REPAIRS or EXTENSIONS BEING STAGE 1 OF AN INTENDED 1 STAGES Install Metro Wee Rad log burner
Intended Life	SPECIFIED AS 5 YEARS
Intended Use	Heating
Estimated Value	\$1,849
Location	13 Appleby Highway, Appleby
Legal Description	Lot 16 DP 4875 Blk VI Waimea SD
Valuation No.	1943020200

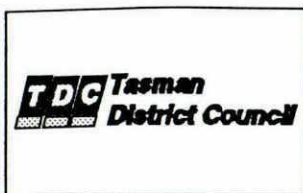
This is a final Code Compliance Certificate issued in respect of all the building work under the above building consent.

**FILE****Signed for and on behalf of the Council:****Name:****Main Office**189 Queen Street  
Private Bag 4  
Richmond 7031  
New Zealand  
Tel (03) 544-8176  
Fax (03) 543-9524**Murchison****Service Centre**  
92 Fairfax Street  
Murchison 7191  
Tel (03) 523-1013  
Fax (03) 523-1012**Motueka****Service Centre**  
7 Hickmott Place  
P.O. Box 123  
Motueka 7161  
Tel (03) 528-7700  
Fax (03) 528-9751**Date:**

5/5/03

**Golden Bay**  
**Service Centre**78 Commercial Street  
P.O. Box 74  
Takaka 7172  
Tel (03) 525-9516  
Fax (03) 525-9972





# APPLICATION FOR BUILDING CONSENT

Section 33, Building Act 1991

FORM 3

TO TASMAN DISTRICT COUNCIL  
PART A: GENERAL

Building Consent No.	930840
Date Issued	28/5/93

## APPLICANT<sup>1</sup>

Name: PARKES K + C

Mailing Address: 13 Appleby Highway  
Richmond

Contact Name: OWNERS

Position: \_\_\_\_\_

Phone: 544 8619 Fax: \_\_\_\_\_

## PROJECT LOCATION

Street Address: 13 Appleby Highway  
Richmond

## LEGAL DESCRIPTION

Valuation Roll Number: 1943 O-20000

Lot: 16 DP: 4875

Section: \_\_\_\_\_ Block: VI

Survey District: WAIMEA SD

## VALUE OF PROPOSED PROJECT

The Council's charges payable on the making of this application are based on the estimated value (GST inclusive) of:

Building \$ 1100.00

Plumbing/Drainage (labour only) \$ \_\_\_\_\_

Total \$ 1100.00

## PROJECT

Intended Use(s) (in detail): \_\_\_\_\_

Log fire installed  
in ex-isting fireplace

New or Buildings/excluding domestic garages ☐

Foundations Only ☐

Other New Construction and Demolitions ☐

Domestic Garage/Outbuildings ☐

Alterations/Repairs/Extensions/Relocated Buildings ☐

Burner Appliance ☒

With Wetback ☒ YES/NO

Intended Life:  
Indefinite, but not less than 50 years ☐  
Specified as \_\_\_\_\_ years

Demolition ☐

Being Stage ..... of ..... stages

## SCHEME/ZONE

WAI/Rural A

This application is for:

☐ Building consent only, in accordance with project information memorandum No. ....

☐ Both building consent and a project information memorandum.

<sup>1</sup>Under Section 33 of the Building Act, the applicant must be the owner of the land on which building work is contemplated or a person who or which has agreed in writing, whether conditionally or unconditionally, to purchase the land or any leasehold estate or interest in the land, or to take a lease of the land, while the agreement remains in force.

**PART B: PROJECT DETAILS**

(Complete Part B only if you have not applied separately for a project information memorandum.)

The project involves the following matters (cross each applicable box, if any, and attach relevant information in duplicate):

- ☐ Location in relation to legal boundaries, and external dimensions of new, relocated, or altered buildings.
- ☐ New provisions to be made for vehicular access, including parking.
- ☐ Provisions to be made in building over or adjacent to any road or public place.
- ☐ New provisions to be made for disposing of stormwater and wastewater.
- ☐ Precautions to be taken where building work is to take place over existing drains or sewers or in close proximity to wells or water mains.
- ☐ New connections to public utilities.
- ☐ Provisions to be made in any demolition work for the protection of the public, suppression of dust, disposal of debris, disconnection from public utilities, and suppression of noise.
- ☐ Any cultural heritage significance of the building or building site, including whether it is on a marae.

**PART C: BUILDING DETAILS**

This application is accompanied by (cross each applicable box and attach relevant documents in duplicate):

- ☐ The drawings, specifications, and other documents according to which the building is proposed to be constructed to comply with the provisions of the building code, with supporting documents, if any, including :
  - ☐ Building Certificates
  - ☐ Producer Statements
  - ☐ References to accreditation certificates issued by the Building Industry Authority.
  - ☐ References to determinations issued by the Building Industry Authority.
- ☐ Proposed procedures, if any, for inspection during construction.

**PART D: KEY PERSONNEL**

Names/Addresses/Telephone Numbers	Registration No.	Signature
Builder(s):		
Registered Drainlayer:		
Craftsman Plumber: <i>Tony Gardner</i>	<i>5474379</i>	
Registered Gasfitter:		
Registered Electrician:		
Designer(s):		
Building Certifier(s):		
Other:		



## **PART E: COMPLIANCE SCHEDULE DETAILS**

### **E1: SYSTEMS NECESSITATING A COMPLIANCE SCHEDULE**

(Complete Part E1 for all new buildings and alterations, except single residential dwellings.)

The building will contain the following (cross each applicable box and attach proposed inspection, maintenance, and reporting procedures).

- ☐ Automatic sprinkler systems or other systems of automatic fire protection.
- ☐ Automatic doors which form part of any fire wall and which are designed to close shut and remain shut on an alarm of fire.
- ☐ Emergency warning systems for fire or other dangers.
- ☐ Emergency lighting systems.
- ☐ Escape route pressurisation systems.
- ☐ Riser mains for fire service use.
- ☐ Any automatic back-flow preventer connected to a potable water supply.
- ☐ Lifts, escalators, or travelators or other similar systems.
- ☐ Mechanical ventilation or air conditioning system servicing all or a major part of the building.
- ☐ Any other mechanical, electrical, hydraulic, or electronic system whose proper operation is necessary for compliance with the building code.
- ☐ Building maintenance units for providing access to the exterior and interior walls of buildings.
- ☐ Such signs as are required by the building code in respect of the above mentioned systems.
- ☐ None of the above.

### **E2: OTHER SYSTEMS AND FEATURES TO BE INCLUDED IN THE COMPLIANCE SCHEDULE**

(Complete Part E2 only if the building contains one or more of the systems listed in Part E1.)

The building will contain the following (cross each applicable box and attach proposed inspection, maintenance, and reporting procedure):

- ☐ Means of escape from fire.
- ☐ Safety barriers.
- ☐ Means of access and facilities for use by persons with disabilities which meet the requirements of Section 25 of the Disabled Persons Community Welfare Act 1975.
- ☐ Hand-held hoses for fire fighting.
- ☐ Such signs as are required by the Building Code or Section 25 of the Disabled Persons Community Welfare Act 1975.



# **PART F: STATISTICAL INFORMATION**

Please answer the following questions if they apply:

Floor area .....m<sup>2</sup> No. of dwelling units ..... No. of storeys .....

1	<input type="checkbox"/>	<b>Floor</b> Timber	1	<input type="checkbox"/>	<b>Roof</b> Steel Sheeting	1	<input type="checkbox"/>	<b>Energy</b> Electric	1	<input type="checkbox"/>	<b>Outer Walls</b> Brick
2	<input type="checkbox"/>	Concrete	2	<input type="checkbox"/>	Steel Tiles	2	<input type="checkbox"/>	Gas	2	<input type="checkbox"/>	Concrete
3	<input type="checkbox"/>	Wood Products	3	<input type="checkbox"/>	Concrete Tiles	3	<input type="checkbox"/>	Solid Fuel	3	<input type="checkbox"/>	Concrete Block
4	<input type="checkbox"/>	Other	4	<input type="checkbox"/>	Shingles	4	<input type="checkbox"/>	Floor Electrical	4	<input type="checkbox"/>	Cement Board
			5	<input type="checkbox"/>	Aluminium	5	<input type="checkbox"/>	Ceiling Electrical	5	<input type="checkbox"/>	Plaster
			6	<input type="checkbox"/>	Other	6	<input type="checkbox"/>	Storage Electrical	6	<input type="checkbox"/>	Timber
									7	<input type="checkbox"/>	Steel
									8	<input type="checkbox"/>	Aluminium
									9	<input type="checkbox"/>	Other
1	<input type="checkbox"/>	<b>Framing</b> Timber	1	<input type="checkbox"/>	<b>Internal Linings</b> Plaster Board	7	<input type="checkbox"/>	<b>Cooking</b> Electric			
2	<input type="checkbox"/>	Concrete	2	<input type="checkbox"/>	Fibrous Plaster	8	<input type="checkbox"/>	Gas			
3	<input type="checkbox"/>	Wood Products	3	<input type="checkbox"/>	Wood Products	9	<input type="checkbox"/>	Solid Fuel			
4	<input type="checkbox"/>	Aluminium	4	<input type="checkbox"/>	Other						
5	<input type="checkbox"/>	Other		<input type="checkbox"/>							

Signed by/for and on behalf of the applicant:

Name: B. Parkes

Position: Owner Date: 27-5-93

## **COUNCIL USE ONLY**

Checked By:	Initials	Date
Plumbing & Drainage		
Design		
Health		
Planning		

Approved for issue of Building Consent

Technical Officer: [Signature]

Date: 28, 5, 93

Consent Fees Payable (GST incl):

Building \$.....

Plumbing/Drainage \$.....

BRANZ Levy \$.....

Space Heater \$ 40.00

Demolition \$.....

Dependent Relative \$.....

TOTAL \$ 40.00

Tax Invoice sent 27,593 \$ 40.00

Payment Received 27,593 Receipt No. 91678



# PIM/BUILDING CONSENT APPLICATION COVER SHEET

Applicant: <u>K &amp; C Parkes</u>	
Application No.: <u>930840</u>	Date Received: <u>27/5/93</u>
PIM Issued:	Electrical:
Engineering:	Planning:
EHO:	Consent Officer: <u>Lynda</u>

## CHECK LIST

Two Sets of Plans and Specifications <input checked="" type="checkbox"/>	Bracing Schedule and Subfloor Bracing	Certificate of Title	Accurate Site Plan (include drainage locations and connection points)	Cross Section
Truss Number	Schedule of Materials	Historical Places Trust	Land Notification	Generate Invoice Y/N

## BUILDING

A 0 3
A 0 2

TECHNICAL OFFICER: [Signature]

DATE: 28/5

## HEALTH (Domestic Services)


INSPECTOR:

DATE:

## OTHER


OFFICER:

DATE:



## ADVICE OF COMPLETION OF BUILDING WORK

Section 43(1), Building Act 1991

TO TASMAN DISTRICT COUNCIL

Under Building Consent No.:

930840

**TDC** Tasman  
District Council

FROM (Owner):

Name:

K &amp; C Parkes

Mailing Address:

13 Appleby Highway  
Richmond

PROJECT:

LOG BURNER

You are advised that:

☐

all

☐

part only as specified in the attached particulars

of the building work under the building consent is believed to have been completed to the extent required by that building consent.

You are requested to issue:

☐

a final

☐

an interim

code compliance certificate accordingly (except where a code compliance certificate has been issued by a building certifier as stated below).

The attached particulars include:

☐

Building Certificates.

☐

Code Compliance Certificate No.: ..... issued by .....

..... (building certifier).

☐

Producer Statements.

Signed by/for and on behalf of the owner:

Name:



Position:

Date:

For Office Use Only

Approved for use:

Building Inspector

Plumbing &amp; Drainage Inspector

Date Issued:

18/10/93

CC  
19/10/93

Val no. 1943020200

BUILDING CONSENT SUMMARY 930840

APPLICANT: K & C PARKES : 13 APPLEBY HIGHWAY : RICHMOND  
DATE OF APPLICN: 27/05/93  
DATE ISSUED: 28/05/93  
OVERSEER: Graeme Wood  
PLUMBER: TONY GARDNER : MARTIN AVE MONACO : 5474379

PROJECT DESCRN:

BEING STAGE 1 OF AN INTENDED 1 STAGES  
INSTALL LOG FIRE IN EXISTING FIREPLACE  
INDEFINITE, BUT NOT LESS THAN 50 YEARS  
HEATING

INTENDED LIFE:

INTENDED USES:

PROJECT LOCATION: 13 APPLEBY HWAY

LEGAL DESCRIPTION: LOT 16 DP 4875 BLK VI WAIMEA SD

ESTIMATED VALUE: \$ 1,100  
CHARGES: \$ 40.00

INSPECTION DETAILS:

all fire work

SIGNED:

a g m d

DATE:

18/10/93





**CONDITIONS OF CONSENT 930840**

- 1 Please arrange for inspection of chamber prior to installation of any in built fireplace.
- 2 Please arrange for final inspection once fire unit installed.

## Code Compliance Certificate

Section 95, Building Act 2004

### Application

K & C PARKES 13 APPLEBY HIGHWAY RICHMOND	No. Issue date  Overseer	930840 19/10/93  NLR Graeme Wood
--	-----------------------------------	---

### Project

Description	6 Burner Permits Being Stage 1 of an intended 1 Stages Install log fire in existing fireplace
Intended Life	Indefinite, but not less than 50 years
Intended Use	HEATING
Estimated Value	\$1,100
Location	13 Appleby Highway, Appleby
Legal Description	Lot 16 DP 4875 Blk VI Waimea SD
Valuation No.	1943020200

This is a final Code Compliance Certificate issued in respect of all the building work under the above building consent.



1943

WAIMEA COUNTY COUNCIL.

Local and the same SPECIFICATIONS REFERRED BY

A BUILDING PERMIT NO. 14,295/

WAIMEA COUNTY COUNCIL.

MADE 21.9.62

Application for Building Permit.

BUILDING INSPECTOR.

Date: 14. Sept. 1962..

To: The Building Inspector,  
Waima County Council,  
NELSON.

1943/202

Sir,

- Erect
- Alter -
- Convert
- Reinstate
- Demolish

I hereby apply for permission to Convert Erect Shed

in 100m ROAD Road, 110m Riding,  
for ALAN J. DUNN of 14, 100m ROAD So.  
(Owner) (Address)

according to locality plan and detailed plans, elevations, cross-sections, and  
specifications of building deposited herewith, in duplicate.

Particulars Lot No. 16 D.P. No. 4.8.75 Section No. P  
of land 110 Block No. 11 S.D. 110m  
AREA: 110 acres.  
..... r ods 36 perches.

Particulars Foundations: Concrete Walls Brick  
of Building Roof: Iron Ground Floor Area: 374 Sq. Ft.

Area of Outbuildings included in this application: ..... Sq. Ft.

Area of existing outbuildings: ..... Sq Ft.

Estimated Cost  
of Building Building: 115 Plumbing & Drainage: 1  
Total 115 1000 RC

Proposed purposes for which every part of building is to be used or occupied  
(describing separately each part intended for use or occupation for a separate  
purpose).....

Proposed use or occupancy of other part of building .....

Nature of ground on which Building is to be placed and of the subjacent  
strata: Earth

Yours faithfully,

Signature of Applicant: A. R. Andrews...

Address: 142, 100m ROAD, SO.

Builders Name: Self

N.B. The locality plan must show position of building on Section and  
distances from road, boundaries etc.

9243  
14.9.62  
10/11  
Letter sent 17.9.62

1943/202

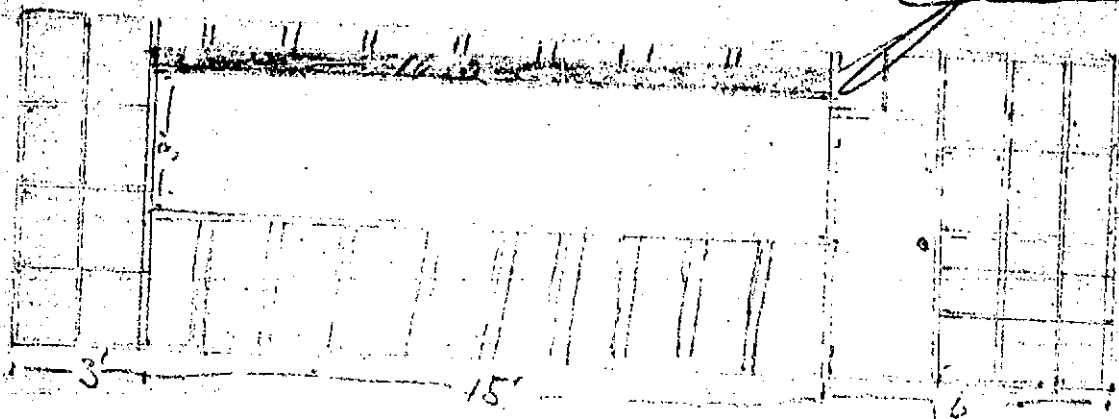
NADRA COUNTY COUNCIL.

UNDER ART THE PLANNING  
SUPERVISOR'S OFFICE NO.

AN ORDER OF THE COUNCIL NO. 141951.

DATED 21-9-60.

FOR THE COUNCIL



Main Road to Collingwood.



1943/202

17

5th from  
2nd St  
10th St

Right of way

lot 15

lot 16

lot 18

lot 19

lot 20

Right of way

RAIMER COUNTY COUNCIL  
PLAT 10  
GOLDEN STATE HIGHWAY DISTRICT NO  
IN BUILDING PERMIT NO. 14951  
21-9-64

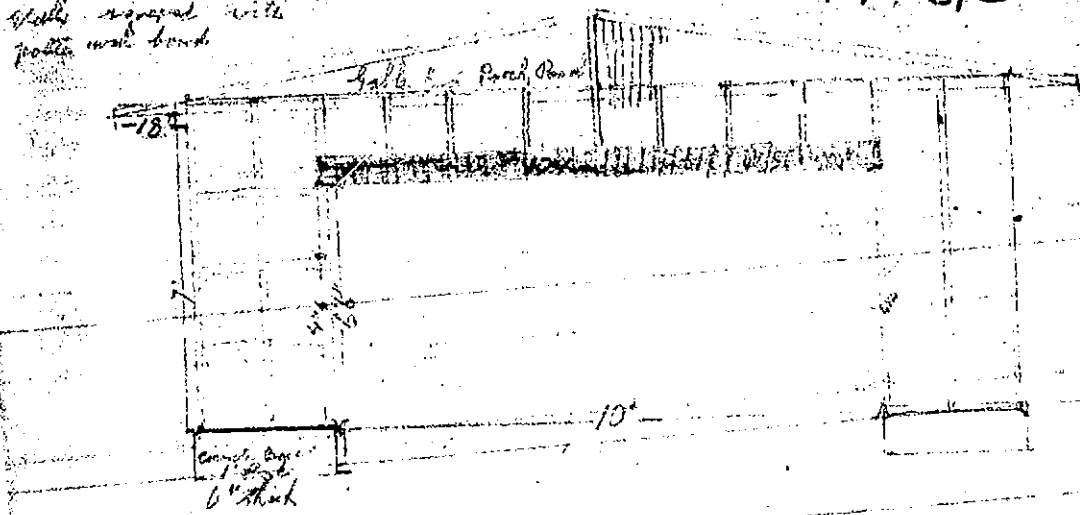
Main Road Ballinger Road

RAIMER COUNTY COUNCIL

*[Signature]*

all siding + doings on 4x2 roof will be added.  
 Siding at 18' cont.  
 Walls agreed with  
 gutter work done.

1943/202



Concrete Base  
 6" thick

WATKINS COUNTY O.  
 TOWN AND TAX PLATS  
 SPECIFICATIONS EXTENDED TO  
 10 BUILDING PERMIT NO. 141951.  
 DATED 2-7-61 BY

Mane Road Home

RECEIVED

*[Signature]*



Application for Building Permit

Date: 12-5-64

To: The Building Inspector,  
Waiheia County Council,  
NELSON.

1943/202

Sir,

I hereby apply for permission to

Erect  
Alter  
Convert  
Reinstate  
Demolish

..... a Residence for Mr & Mrs R Andrews  
in a property of Road, Three Baches Corner Riding,  
for Mr & Mrs R Andrews of 108 Wharfedale St. Takapuna  
(Owner) (Address)  
according to locality plan and detailed plans, elevations, cross-sections,  
and specifications of building deposited herewith, in duplicate,

Particulars of Land Lot No. 15..... D.P. No. 175.75..... Section No. 110  
..... Block No. 11..... S.D. ....  
..... AREA: ..... acres. 0

Particulars of Building Foundations: Continuous concrete perches.  
Roof: Gable iron and Floor Area: 1132 Sq. Ft.  
Area of Outbuildings included in this application. .... Sq. Ft.  
Area of existing outbuildings: ..... Sq. Ft.

Estimated Cost of Building Building: £ 2615..... Plumbing & Drainage: £ 296.....  
..... Total £ 2911-0-0

Proposed purposes for which every part of building is to be used or occupied  
(describing separately each part intended for use ..... tion for a separate  
purpose)..... Residential

Proposed use or occupancy of other part of building .....

Nature of ground on which Building is to be placed and of the subjacent  
strata: ..... (entire gravel)

Yours faithfully,

Signature of Applicant: R. J. Baismann

Address: 41 Waka St

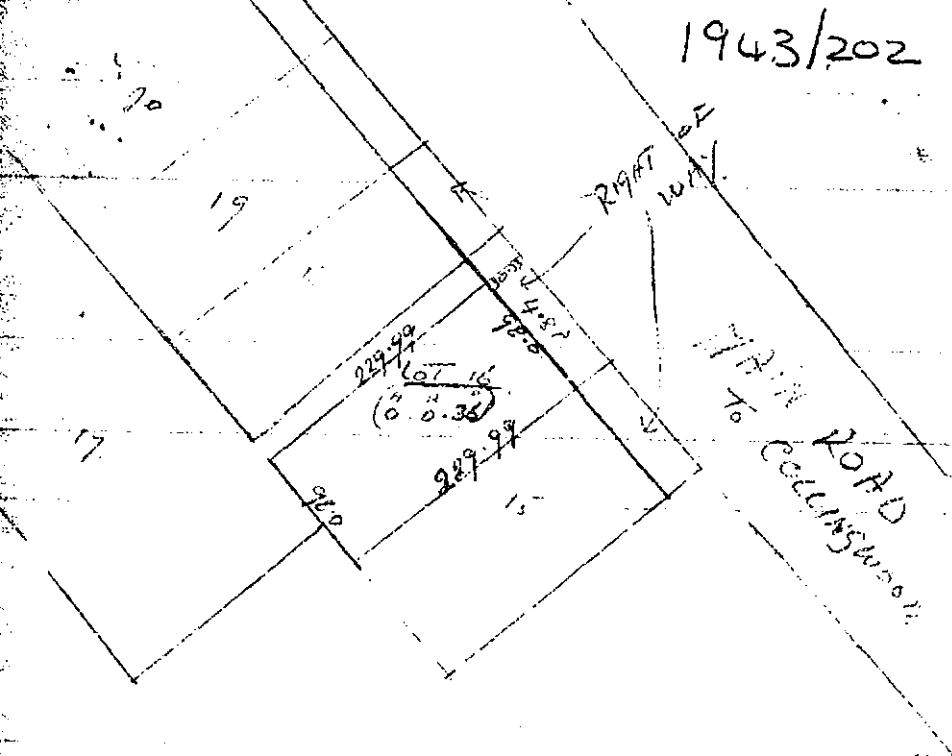
Builders Name: R. J. Baismann Nelson

Phone 49

N.B. The locality plan must show position of building on Section and  
distances from road, boundaries etc.

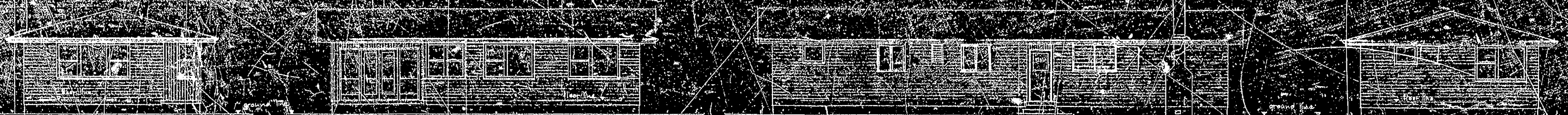
Letter 13/164

1943/202



Lot 16. D P 4875. Area: 36/100 acres.  
 Part Section 110 Reason East  
 Part of land contained in Cert. of title of  
 Little v. Lane 77, Vol. 187, Page 10, north  
 and subject to a 100' right of way.

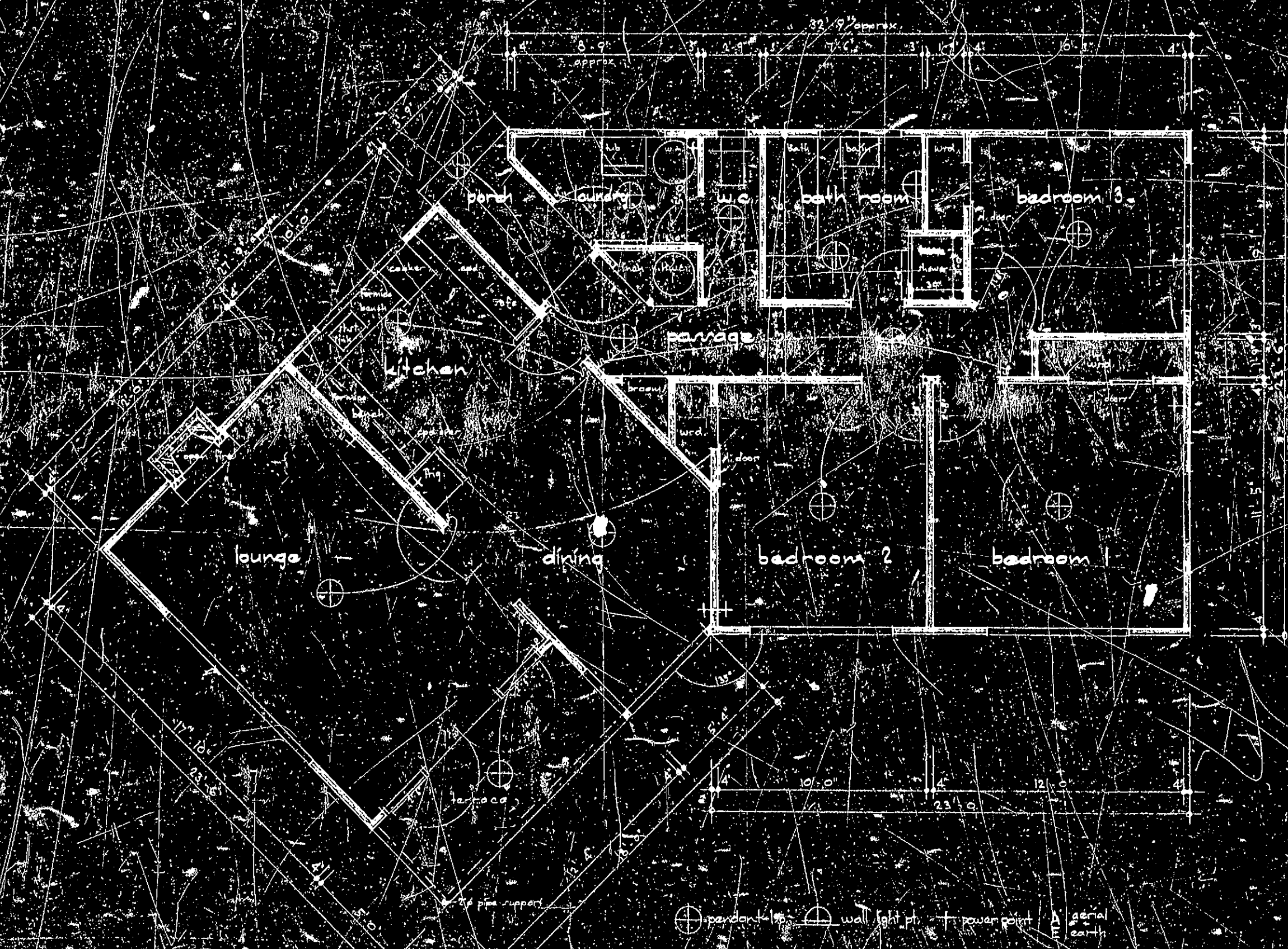




east                      north                      south                      west

elevations                      scale: 8 ft to 1 in

note: kitchen to have adjustable cupboard  
wider to have fixed lowboys  
all other opening racks to have 'White' (or other approved) blind stays



floor plan                      scale: 4 ft to 1 in



site plan                      scale: 16 ft to 1 in

DR 4875  
SECT 16  
LOT 13  
Wairarapa Survey Dist.

HOUSE	APPLEBY ROAD	MAIN HIGHWAY	DECEMBER
FOR MR A ANDREWS			1945



1943/202

- 3 -

A106090

CONCRETE

**REINFORCEMENT:** Reinforcement shall consist of round mild steel rods conforming to U.S.S. 197, accurately fabricated and fixed in position. Hook ends of all rods and lap at least 40 diameters. Bend all horizontal bars not less than 2' around angles.

**FORMWORK:** All concrete work shall be cast in boxing constructed from planed radiata timber. Formwork shall be securely braced and supported and shall be true to level and alignment. Joints shall be close to prevent seepage of liquid. It shall be constructed in such manner that it can be removed without damage to concrete which shall finish to the dimensions required.

Form all openings and chases required by other trades.

**BOLTS & FIXINGS:** Provide in concrete where it is required to fix timber thereto diabolts on  $\frac{3}{8}$ " dia hooked rods, extending at least 8" into the concrete. These shall be placed 6" from the angles of walls and at not more than 4' centres at intermediate points, with a minimum of two bolts for each length of timber.

Piles shall be provided with two strands of No. 8 galvanised wire for securing bearers.

**CONTINUOUS CONCRETE FOUNDATIONS:** Footings for continuous foundation walls shall extend at least 12" into the ground. The minimum height of the wall shall be 12" above ground level with a minimum thickness of 5". The wall shall be reinforced with one  $\frac{3}{8}$ " diabar in the footing and one  $\frac{1}{2}$ " diabar at the top. Where the height of the wall exceeds 3 ft. these shall be supplemented with  $\frac{3}{8}$ " diabars at 15" centres, both horizontally and vertically.

**CONCRETE PILES:** If greater than 2'6" in height they shall be reinforced with one  $\frac{3}{8}$ " dia rod. They shall not extend more than 4'6" above the ground level.

Precast piles shall not extend further than 1'6" above ground level and shall be set in concrete.

Piles shall have a minimum cross-sectional area of 64 sq ins and shall be set in rows not exceeding 7' apart.

The minimum spacing of piles in rows shall be 4'6" and the minimum height of piles above ground level shall be 12".

**EXTERIOR CONCRETE PILES:** When required to receive timber base battens, cast into piles, dovetail wooden nailing strips. These shall be at least 1 $\frac{1}{2}$  x 1" of Ht. Totara, or of similar durable timber.



Fireplace and surround (cont'd)

Brick surrounds shall be constructed of selected brick with joints raked out and printed with coloured mortar. Flat bricks arches shall be supported on 2" x  $\frac{3}{8}$ " wrought iron bars, cambered  $\frac{1}{8}$ " and with the ends split and turned up and down, and carried into bricks joints.

The following indicates the type of fireplace surround and hearth required.

Surround	Hearth
1. <del>Brick</del> .....	1. <del>Brick</del> .....
2. <del>Tile</del> .....	2. <del>Unaided coloured concrete</del> ..
3. Summerhill stone ....	3. Tile <i>Raised Tile</i> .....

VENTS: Set in vent spaces provided under "Concretor" 12" x 6" vents which may be precast concrete or crimped galvanised wire.

CARPENTER and JOINERTIMBER:

Plan: Radiata: All pinus radiat framing timbers are to be pressure treated by an approved process. Interior finishing timbers and cupboard shelves may be dressing grade Radiata Pine.

Timber qualities and gradings in conformity with National Grading rules N.Z.S.S.109 and to be the best of its kind, sound and well seasoned, free from all defects, etc., fitted together in the best possible manner. All woodwork exposed to be wrought to a smooth fine surface throughout.

Where not otherwise specified, timber to be of ~~seasoned Rimu~~ *Dressed Pine*.  
Sleepers to be 4 x 3 Rimu Bldg. heart.

Floor joists 5 x 2 Rimu Bldg., heart spaced not more than 18" centre to centre, checked so as to come perfectly level on top and to be well spiked to sleepers.

~~Bottom and top plated 4 x 2 Rimu checked to receive studs - bottom plates heart.~~

Studs 4 x 2 spaced not more than 18" centre to centre, all cut off to an even length to have wall finish 8ft.1in. between floor and ceiling.

Where specified as Heart Rimu, Tanalized Pinus Radiata may be used. All wall intersections and angles to be double studded and blocked for solid backing and nailing of lining wall dwanged with 4 x 1 $\frac{1}{2}$  and 3 x 1 $\frac{1}{2}$  to suit studs and wall boarding. Ceiling joists for all rooms to suit studs and wall boarding. Ceiling joists for all rooms to be 4 x 2 at 18" centres.

Rafters 4 x 2 spaced not more than 30" centre to centre to be covered with G.C. Iron; ~~tified roof rafters not more than 18" centre to centre.~~

Box overhang of eaves, line underneath with flat Fibrolite on 3 x 1 1/2 dwangs from rafter to 3 x 1 fixed on studs full perimeter of building.

TRIMMERS:

Openings to 3' 1"	4" x 2"
" " 4' 6"	4" x 3"
" " 6' 8"	2/5" x 2"
" " 8' 10"	2/6" x 2"
" " 11'	2/8" x 2"
" over 11'	2/10" x 2"

Fasten 4 x 2 runners over all room ceilings. Roof braces 4 x 2. wall braces to be 6 x 1 checked in flush, inside wall braces to be 4 x 1 checked in flush.

Collar ties to be 6 x 1

Spouting fascia to be 6 x 1 ~~Redwood~~ <sup>u Pine Treated</sup> ~~Heart dressed~~.

Flooring to be ~~G.O.~~ or 1 T & G. Pine Clean Ht. or pressure treated timber, tightly cramped, double nailed and all byewood cleaned off. To m up for shower space where shown.

Fix to all interior rooms and hall 3/4 x 1 bevelled skirting neatly scribed to floors.

Architraves to be ~~3/4 x 1~~ bevelled

all windows to be finished with 5 x 1 D.A.R. sill boards and 1/4 quarter round apron pieces.

LININGS:

	<u>Walls</u>	<u>Ceilings</u>
Bedrooms	Larissa	Wooded
Dining Room	Larissa	Wooded
Lounge	Larissa	Wooded
Bathroom, W.C. Laundry	Hardboard	Hardboard
Kitchen	Larissa	Wooded
Wardrobe, linen and Hot Water cupboards	Larissa	Larissa

ROOF:

Tiled Roof: Roof shall be tiles and the pitch sh. be 28°. The colour shall be .....

Iron Roof: Roof shall be in G.C. Iron on 4 x 1 1/2 x 2 purlins. The pitch shall be 15°.

PRIMING: All external timbers shall be primed before fixing, care being taken to see that butt joints and laps are treated.

These are the plans submitted

Building Permit No. **C02634**

Dated **27/11/1970**

..... COUNTY ..... DISTRICT

Assessment No. **1943**  
**202**

BUILDING INSPECTION Application for Building

**16/11/70**

Date **23/11/70**

To: The Building Inspector,  
Waimā County Council,  
**WAIMĒA**

**1943/202**

Sir,

**C026346**

Convert  
Alter  
Reinforce  
Demolish

I hereby apply for permission to Convert

~~Reinforce~~ **A.R. Andrews**

in **10 Bouverys Rd** Road **Waimā East** Riding  
for **A.R. Andrews** of **above**  
(Owner) (Address)

According to locality plan and detailed plans, elevations, cross-sections and specifications of building deposited here with, in duplicate.

Particulars Lot No. **16** D.P. **4875** Section No. **110**  
Of Land

Block No. **V.I. Waimā** S.D. Areas Acres  
Roads **3.4** Perches

Particulars Foundations **Concrete** Walls **timber**

Roof **Iron** Ground floor area Sq.ft.

Area of Outbuildings included in this application Sq.ft.

Area of existing outbuildings Sq.ft.

Estimated Value of Building

Building **\$1000** Plan and Drainage **\$400**  
Total **\$1400**

Proposed purposes for which every part of building is to be used or occupied (describing separately each intended for use or occupation for a separate purpose) **Dwelling**

Proposed use or occupancy of other part of building **Dwelling Site**

Nature of ground on which building is to be placed and of the subjacent strata **Loam**

Yours faithfully,

Signature of Applicant **E.M. Andrews**

A draws **10. Bouverys road**  
**Enchanted**

Builders Name **A.R. Andrews**

N.B. The Locality plan must show position of Building on Section and distances from road, boundaries etc.

OF 10 C026  
Fees Paid: Building **\$2.00** Drainage **75/5**  
Receipt no. **75/5**  
**25/11/70**



4 x 2 Framing  
4 x 3  
5 x 2 Floor Joists  
Roof Iron

1943/202  
C026346

Concrete Foundations

Weather Board on 4" ex by chimney

4 x 12 Perling

4 x 2 Rafter

G.I.B. Walls

Fibrous Ceiling

Price \$400-

400 Lft

WAIMEA COUNTY COUNCIL

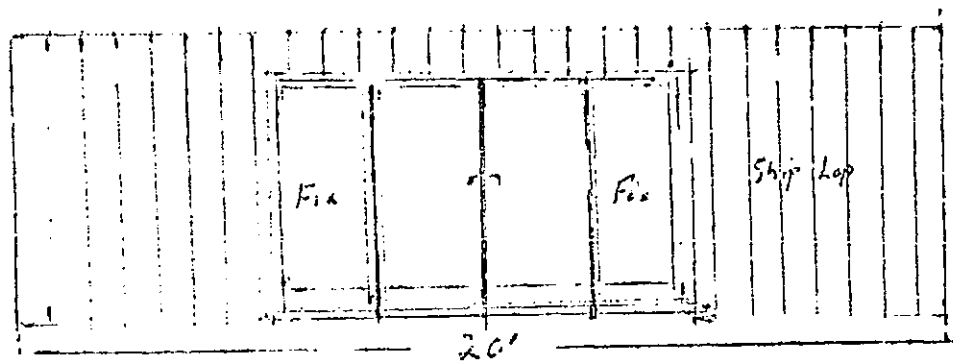
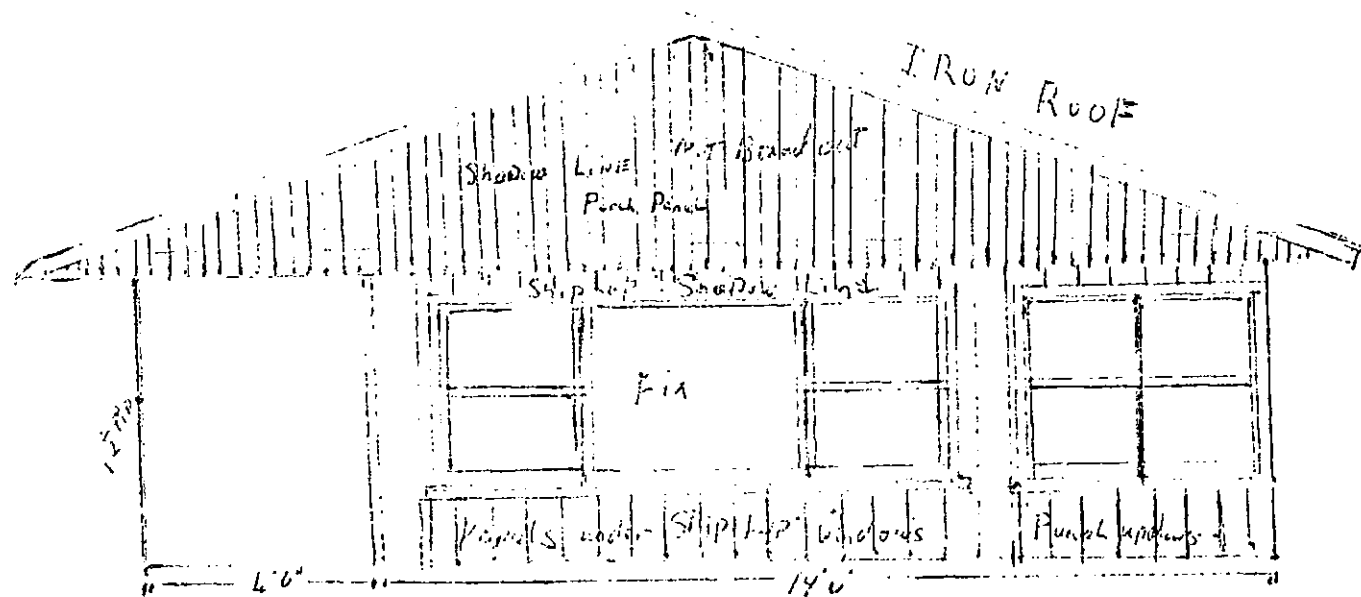
These are the plans  
specifications referred to in

Building Permit No. C026346

Dated 27/11 1970

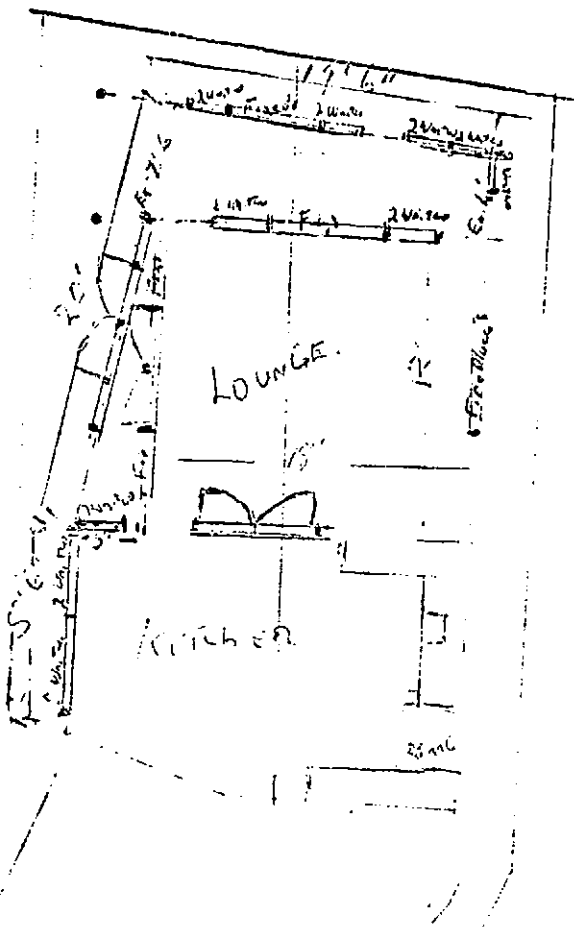
BUILDING INSPECTOR.

*W. P. Oke*



1943/202  
C026346

27/11/70  
C026346  
RCC for ALL



1943/202  
C026346

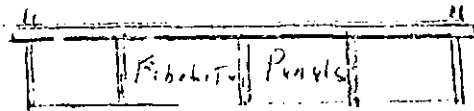
UNIT COUNTY CHIN

27/11 1940 C026346

RCI/DM



L.T. 16 D.P. 4875  
BNG. PT. SC. 113  
W. 100m East Dst. BLK  
Wain - SD

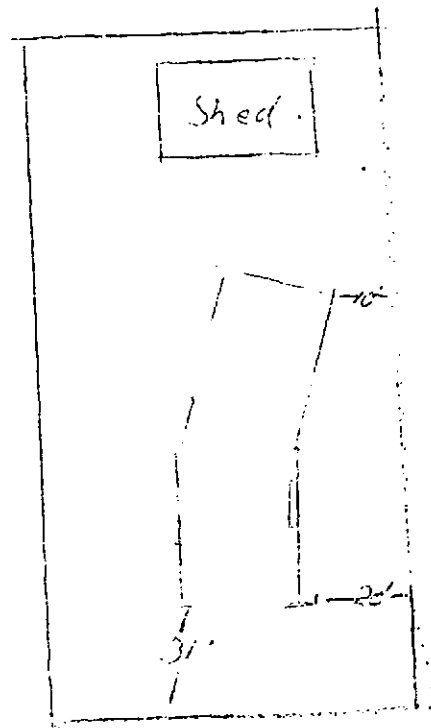


Panels Under windows

27/11 70 0026346

27/11 70

RU 1/2 ORL



1943/202  
C026346

Point to Road. Down to

This information has been compiled from Tasman District Council records and is made available in good faith, but its accuracy or completeness is not guaranteed.

## Property Location

Valuation	Legal Description	Address	Suburb	Area (ha)
1943020200	PT LOT 16 DP 4875	13 Appleby Highway	Appleby	0.0791

## Rates Information

Rates are charged in four instalments for the period commencing 1 July and ending 30 June each year. Please note that if this property is a contiguous property, its rates will change if sold separately. Also note that this rating information relates to all parcels, i.e., Lot and DP numbers, under this valuation assessment.

Annual Rates	Current Instalment
\$4339.58	\$1084.89

## Rates Breakdown

The Annual Rates above are broken down as follows:

Description	Rate	Units	Amount
General Rate	0.2141c/\$CV	670,000	\$1,434.47
Uniform Annual General Charge	\$413.00/Pty	1	\$413.00
Wastewater - 1st Pan	\$1007.50/pan	1	\$1,007.50
WaimeaComDam-Env&ComBen-Distri	\$81.80/Pty	1	\$81.80
WaimeaComDam-Enviro&ComBen-ZOB	0.0074c/\$CV	670,000	\$49.58
Refuse/Recycling Rate	\$133.69/Pty	1	\$133.69
Shared Facilities Rate	\$73.55/Pty	1	\$73.55
Mapua Rehabilitation Rate	\$4.35/Pty	1	\$4.35
Museums Facilities Rate	\$70.02/Pty	1	\$70.02
District Facilities Rate	\$138.68/Pty	1	\$138.68
Urban Wat.Supply- Serv Chge	\$542.60/meter	1	\$542.60
Regional River Works - Area Z	0.0152c/\$LV	320,000	\$48.64
Stormwater UDA	0.0510c/\$CV	670,000	\$341.70

## Warm Tasman Rate

Warm Tasman Home Insulation Rate does not apply for this property.

## Rating Valuation

Tasman District Council uses a capital value rating system. Please note that this rating information relates to all parcels, i.e., Lot and DP numbers, under this valuation assessment.

Capital Value	Land Value	Improvements	Valuation Date
\$670,000.00	\$320,000.00	\$350,000.00	01/09/2023

## New Rating Valuation

This information has been compiled from Tasman District Council records and is made available in good faith, but its accuracy or completeness is not guaranteed.

Rating values are reviewed triennially. If the valuation of this property is going to change in the next rating year, it will show below as the New Capital Value. Please note that this rating information relates to all parcels, i.e., Lot and DP numbers, under this valuation assessment.

New Capital Value	New Land Value	New Improvements Value	New Valuation Date
\$670,000.00	\$320,000.00	\$350,000.00	01/09/2023

## Water Meter Information

Reticulated water: Water usage is charged in addition to rates payable. You should check that the vendor has the water meter read at possession time by requesting a special meter reading.

Water ID	Meter Reader Note	Meter Id	Read Date	Year to date	Last year units
W30053		23M304047	06/07/2025	74	68

## Services

This property is serviced under the following water, sewerage, and stormwater schemes.

Scheme or Supply	Service Provided
Stormwater UDA	Stormwater
Tasman Waste Water	Wastewater
Urban Water Supply	Water Supply

## Protected Trees

No protected trees have been found for this property.

## Heritage Buildings

There are no heritage buildings on this property.

## Wheelie Bins

This property has had the following wheelie bin(s) delivered.

Bin Size	Serial Number	Delivered on	Delivered to
Single 240	2407231	08/06/2015	13 Appleby Highway, Appleby

## Planning Zones

The following Planning Zones pertain to this property. Please refer to the [Tasman Resource Management Plan](#) or contact a Duty Planner for detailed information about what activities can take place in a zone.

Zone	Zone Description
Rural 1	The Rural 1 Zone contains the small area of the District's land which has the highest productive value. In general, this land is suited to a wide range of uses including intensive soil-based production. Rules for subdivision and development primarily protect the productive land value on a long-term basis.



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## Building Consents

Please note that if a Code Compliance Certificate has not been issued, it is strongly advised that the process is completed in order to confirm that the work is in compliance with the Building Code.

Application Date	BC Number	Proposal	Status	CCC Issue Date
31/03/2003	030524	Install Metro Wee Rad log burner	Code Compliance Certificate Issued	05/05/2003
27/05/1993	930840	Install log fire in existing fireplace	Code Compliance Certificate Issued	19/10/1993

## Compliance Schedule

No Compliance Schedule records are available for this property.

## Building Permits

The NZ Building Act came in to force on 1 July 1992. From that date, the issue of building permits ceased and they were replaced with building consents. Under the old permit system there was no requirement for Council to keep or provide records of building work. While Council generally holds records of permits issued, often little or no information is available regarding results of building inspections. Should an evaluation of the building be required, an independent qualified person should be consulted.

Date	Permit Number	Notes
27/11/1970	C026346	Alter dwelling
12/05/1964	A106090	Permit to erect Residence House plan and specifications on microfiche
14/09/1962	142951	Permit to erect Shed

## Building Notes

This property has the following building notes on file.

Date	Building Note Type	Subject	Notes
			Report received from Colin Aitken Inspection Services Ltd re unauthorised work 15 May 2000.

## Swimming Pools

No Swimming Pool records have been found for this property.

## Resource Consents

No Resource Consent records are on record for this property.

## Planning Permits

No historical planning permits have been found for this property

## Works and Land Entry Agreements

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No Works and land Entry Agreement has been found for this property.

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### Environmental Health and Licences

No Environmental Health or Licence information has been found for this property.

### Air Shed

This property sits within a controlled Air Shed.

Air Shed	Air Shed Regulations
Richmond Air Shed	After a house in Richmond changes ownership, an existing non-compliant wood burner cannot be used. It may be replaced with either a clean heat system or an approved clean air wood burner. New houses, or existing houses without an existing wood burner or open fire, can only install clean heat systems - no wood burners at all.

### Hazardous Activities and Industries List (HAIL)

No verified HAIL site has been found for this property. However, if the site or any adjacent site has been used for industrial, horticultural or agricultural purposes, we suggest you make further enquiries.

### Potential Lead Paint Contamination of Dwellings, Buildings & Land

Any specific information in relation to contamination will be contained in the HAIL part of the Property summary, otherwise the Council has no specific information in relation to this property.

Lead is a highly toxic substance that was a key ingredient in household paint. Any building or dwelling built before or during the 1960's is likely to have used lead-based paint at some time. Soil surrounding these buildings has potential to be contaminated by heavy metals contained in the paint. Landowners are responsible for ensuring the safe management of lead paint removal for protecting human health and the environment.

### Wetlands

Council holds no records of a wetland being on this property. However please note that the Resource Management (National Environmental Standards for Freshwater) Regulations 2020 creates conditions relating to works carried out around natural inland wetlands regardless of whether they have been mapped by Council or not.

### Pest Inspection History

The Tasman-Nelson region has a Regional Pest Management Strategy for the control of declared pest plants, animals and organisms. The responsibility for the control of pests lies with the land occupier or owner. No pests have been recorded on this property.

### Biodiversity Reports

Council has been compiling biodiversity reports (also called Native Habitat Tasman reports or Ecological Assessment reports) for individual property owners. This survey of natural areas on private land aims to support proactive land management while also help Council meet its RMA responsibilities. However, no report has been lodged on this property.

Rules in the Tasman Resource Management Plan relating to clearance of indigenous vegetation and forests apply. These include 17.5.5, 17.6.5, 17.7.5, 17.8.5, 18.2.4, 18.5.2, 18.5.3, 28.2.2, and 31.1.6. These are available on the Council website. For further information, please contact Council's Biodiversity team at [biodiversity@tasman.govt.nz](mailto:biodiversity@tasman.govt.nz).



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