

PART E : COMPLIANCE SCHEDULE DETAILS**E1 : SYSTEMS NECESSITATING A COMPLIANCE SCHEDULE**

(Complete Part E1 for all new buildings and alterations, except single residential dwellings)

The building will contain the following (Tick ☒ each applicable box and attach proposed inspection, maintenance, and reporting procedures.

- ☐ Automatic Sprinkler systems or other systems of automatic fire protection
- ☐ Automatic doors which form part of any fire wall and which are designed to close shut and remain shut on an alarm of fire.
- ☐ Emergency warning systems for fire and other dangers.
- ☐ Emergency lighting systems.
- ☐ Escape route pressurisation systems. Riser
- ☐ Mains for fire service use.
- ☐ Any automatic back-flow preventer connected to a potable water supply.
- ☐ Lifts, escalators, or travelators or other similar systems.
- ☐ Mechanical ventilation or air conditioning system serving all or a major part of the building.
- ☐ Any other mechanical, electrical, hydraulic, or electronic system whose proper operation is necessary for compliance with the building code.
- ☐ Building maintenance units for providing access to the exterior and interior walls of buildings.
- ☐ Such signs as are required by the building code in respect of the above-mentioned systems.
- ☒ None of the above.

E2 : OTHER SYSTEMS AND FEATURES TO BE INCLUDED IN THE COMPLIANCE SCHEDULE

(Complete Part E2 only if the building contains one or more of the systems listed in Part E1)

The building will contain the following (Tick ☒ each applicable box and attach proposed inspection, maintenance, and reporting procedures).

- ☐ Means of escape from fire.
- ☐ Safety barriers.
- ☐ Means of access and facilities for use by persons with disabilities which meet the requirements of Section 25 of the Disabled Persons Community Welfare Act 1975.
- ☐ Hand-held hoses for fire fighting.
- ☐ Such signs as are required by the building code or Section 25 of the Disabled Persons Community Welfare Act 1975

Form 3

Dargaville Office
Private Bag 1001
DARGAVILLE
Phone 09 439 7059
Fax 09 439 6756

KAIPARA DISTRICT COUNCIL

APPLICATION FOR A BUILDING CONSENT

Section 33, Building Act 1991
(Attach all relevant documents in duplicate)

Paparoa Office
PO Box 1
PAPAROA
Phone 09 431 7019
Fax 09 431 7017

PART A : GENERAL
(Complete Part A in all cases)**OWNER****APPLICANT**

Name R L SCOTT.
Postal Address 7 WHARFE RD.
RUAWAI
Phone Number 094392029.
Fax Number —

Name R L SCOTT.
Postal Address 7 WHARFE RD
RUAWAI
Phone Number 094392029.
Fax Number —

PROJECT LOCATION

Address 7 WHARFE RD. RUAWAI

LEGAL DESCRIPTION

Valuation Number 1240-00800
Lot(s) — DP(s) —
Section PT 51 Block XV
Survey District TOKA TOKA

Area of Site — hectares / square metres
Nature of soil (rock, clay, sand, loam etc) —
Floor area (proposed work - square metres)

	Basement	Ground Floor	Other Floors	Total
Main Building				<u>8</u>
Accessory Buildings		<u>42.96</u>		<u>42.96</u>

ESTIMATED VALUE OF WORK

Main buildings	\$ <u>4500.00</u>
Accessory buildings	\$ <u>—</u>
Plumbing & Drainage	\$ <u>500.00</u>
Total Value of Work	\$ <u>5000.00</u>

- ☐ Application for Building Consent only, in accordance with Project Information Memorandum No: —
- ☐ Application for Building Consent and Project Information Memorandum

Signed for and on behalf

Signature: R L SCOTT.Name: RAI SCOTT.

Please print

Date: 14-7-97**Note:**

Information regarding vehicle crossings & services eg water connection, sewerage & stormwater connections are handled by the Assets Department. Forms for these items are available from the Dargaville & Paparoa offices.

DESCRIPTION OF WORK & INTENDED USE

Double Garage

NATURE OF CONSENT

- ☐ New building - exclude domestic garages & domestic outbuildings
- ☐ Foundations only
- ☐ Alterations, repairs, extensions, conversions, resiting, installation of heating appliances
- ☒ Domestic garages & domestic outbuildings
- Intended Life:
Indefinite, but not less than 50 yrs ☒ OR Specified as — yrs
- Demolition ☐
- Being stage — of an intended — stages

OFFICE USE ONLYProperty ID: —**FEES PAID ON APPLICATION**
(including GST)

P I M	\$ <u>25</u>
Building Consent	<u>145</u>
BRANZ Levy	<u>—</u>
B I A Levy	<u>—</u>
TOTAL	<u>170</u>

Receipt No: 264016Date: 050897

PART B : PROJECT DETAILS

(Complete Part B only if you have not applied separately for a Project Information Memorandum)

The project involves the following matters (Tick ☒ each applicable box, if any, and attach relevant information in duplicate)

- ☐ Location, in relation to legal boundaries, and external dimensions of new, relocated, or altered buildings (Site Plan with elevations, Topography, drawn to Scale)
- ☐ Detail;s of any known or potential erosion, avulsion, falling debris, filled ground, subsidence, slippage, alluvion, inundation, hazardous contaminants on or near the site.
- ☐ Provisions to be made for vehicular access, including parking (To be shown on site plan)
- ☐ Provisions to be made in building over or adjacent to any road or public place
- ☐ New provisions to be made for disposing of stormwater and wastewater (To be shown on site plan)
- ☐ Precautions to be taken where building work is to take place over existing drains or sewers or in close proximity to wells or watermain
- ☐ New Connections to public utilities i.e. water supply, stormwater system, wastewater system (Note: Council has no agreement with network utility operations to act as their agent)
- ☐ Provisions to be made in any demolition work for the protection of the public, suppression of dust, disposal of debris, disconnection from public utilities, and suppression of noise
- ☐ Details of any cultural heritage significance of the building or building site, including whether it is on a marae, or waahi tapu.
- ☐ Copy or reference to, of any resource consent or planning approval for this project.
- ☐ Details of volume Proposed Excavations: Include volumes for Site Preparation, Basement and Driveway.

(Complete Part C in all cases)

PART C : BUILDING DETAILSThis application is accompanied by (Tick ☒ each applicable box, attach relevant documents in duplicate)

- ☒ The drawings, specifications, and other documents according to which the building is proposed to be constructed to comply with the provisions of the New Zealand Building Code, with supporting documents, if any, including -
- ☐ Building Certificates
- ☐ Producer Statements
- ☐ References to accreditation certificates issued by the Building Industry Authority
- ☐ References to determinations issued by the Building Industry Authority
- ☐ Proposed procedures, if any, for inspection during construction

PART D : KEY PERSONNEL

(Complete Part D as far as possible in all cases. Give names, addresses, and telephone numbers. Give relevant registration numbers if known)

DESIGNER(S)

Name _____

Address _____

Phone Number _____ Fax Number _____

BUILDER

Name _____

Address _____

Phone Number _____ Fax Number _____

DRAINLAYER

Name _____

Address _____

Phone Number _____ Fax Number _____ Registration No: _____

PLUMBER

Name _____

Address _____

Phone Number _____ Fax Number _____ Registration No: _____

CERTIFIERS

Name _____ Reg.No _____

Address _____

Phone Number _____ Fax Number _____

Certifying _____

Name _____ Reg No _____

Address _____

Phone Number _____ Fax Number _____

Certifying _____

RELEASE OF INFORMATION

Council provides building consent information to a number of organisations. Included in this is the names of applicants and the locations of the projects. Much of this information has to be supplied in terms of the Local Government Information Act, however we can withhold personal identification if you wish. Please indicate below if you object to release of identifying information.

I WISH TO OBJECT TO THE ISSUE OF IDENTIFYING INFORMATION ON MY PROJECT. ☐

B U I L D I N G C O N S E N T
Section 35, Building Act 1991

Applicant

R & L SCOTT
7 WHARFE ROAD
RUAWAI

Consent Details

Consent/PIM No.: 970446
Date issued: 5/08/97
Date of applicn: 5/08/97
Valn No: 0124000800

Project Descrn: ALTERATIONS, REPAIRS or EXTENSIONS
BEING STAGE 1 OF AN INTENDED 1 STAGES
DOUBLE GARAGE

Intended Life: INDEFINITE, BUT NOT LESS THAN 50 YEARS

Intended Uses: PRIVATE

Project Location: 5-7 WHARF RD, RUAWAI

Legal Description: PT SEC 51 BLK XV TOKATOKA SD

Estimated Value: \$ 5,000

CHARGES: The Council's charges paid on uplifting this
Building Consent, in accordance with the attached
details, are:

	\$	170.00
Building Research Levy	\$	0.00
Building Industry Authority Levy	\$	0.00
TOTAL:	\$	170.00

This building consent is a consent under the Building Act 1991 to undertake building work in accordance with the attached plans and specifications so as to comply with the provisions of the building code. It is not a consent under the Resource Management Act and does not affect any duty or responsibility under any other Act nor permit any breach of any other Act.

This building consent is issued subject to the conditions specified in the attached page(s) headed CONDITIONS OF BUILDING CONSENT 970446.

SIGNED FOR AND ON BEHALF OF THE COUNCIL:

James White Building Inspector Date 5-8-97

CONDITIONS OF BUILDING CONSENT 970446

- 1 This consent will lapse if building work has not commenced within 6 months from the date of issue or if reasonable progress has not been made within 12 months after work has commenced. The consent may be extended for a further period at the discretion of Council.
- 2 No deviation or alteration from the original plans and specifications can be carried out without written approval of Council and no building may be converted to any other use other than that stated on the building consent.
- 3 IMPORTANT: YOU ARE FULLY RESPONSIBLE FOR ANY DAMAGE DONE TO ANY WORKS SUCH AS TELEPHONE CABLES, POWER CABLES, WATER MAINS, GAS MAINS, SEWERS, PIPES, FOOTPATHS, ROADS OR OTHER SERVICES.
- 4 As the property owner is responsible for the correct siting of all works in accordance with the NZ Building Code and the Resource Management Act, the owner must ascertain the true position of survey pegs before work commences.
- 5 Restrictions on the Erection of Buildings near Overhead Electric Lines:- Under the Electrical Supply Regulations 1976, it is an offence to erect any building or structure etc, within certain prescribed distances of an overhead electric line.
- 6 To enquire about these restrictions, contact the nearest office of the NZ Electricity Department or your local Power Supply Authority.
- 7 NOTICE THAT BUILDING WORK IS READY FOR INSPECTION.
For the purposes of Section 76 of the Building Act, and unless otherwise provided by the building consent, the owner or other person undertaking any building work shall give:
 - 8 a) at least 2 working days notice of the intended commencement of construction.
 - 9 b) at least 1 working days notice of the covering up of any
 - 10 i) drainage or plumbing

Building Consent 970446 [Continued]

- 11 ii) excavation for a foundation
- 12 iii) reinforcing steel for a foundation
- 13 iv) timber required to have a specific moisture content
- 14 v) other work required to give notice as a condition
- 15 Council MUST be notified at the completion of building work on the attached form.

P R O J E C T I N F O R M A T I O N M E M O R A N D U M
Section 31, Building Act 1991

Applicant

R & L SCOTT
7 WHARFE ROAD
RUAWAI

PIM Details

Consent/PIM No.: 970446
Date issued: 5/08/97
Date of applicn: 5/08/97
Valn No: 0124000800

Project Descrn: ALTERATIONS, REPAIRS or EXTENSIONS
BEING STAGE 1 OF AN INTENDED 1 STAGES
DOUBLE GARAGE

Intended Life: INDEFINITE, BUT NOT LESS THAN 50 YEARS

Intended Uses: PRIVATE

Project Location: 5-7 WHARF RD, RUAWAI

Legal Description: PT SEC 51 BLK XV TOKATOKA SD

Estimated Value: \$ 5,000

This project information memorandum is confirmation that the proposed building work may be undertaken, subject to the provisions of the Building Act 1991, and any requirements of the building consent.

This project information memorandum includes:

— Information identifying relevant special features of the land concerned

SIGNED FOR AND ON BEHALF OF THE COUNCIL:

J. M. White Building Inspector Date 5-8-97

KAIPARA DISTRICT COUNCIL

ATTACHMENT TO P.I.M. No 970446

INSPECTORATE

- (A) Wind Zone rating for site
- Low
Medium
High ✓
Very High
- (B) Provisions being made with regard to building over or adjacent to a road or public place are acceptable
- Hoardings)
Gantries) NA
Temporary Support)
- (C) Provisions made for demolition are adequate
- Removal of materials from site) N/A
Dust Extraction)
- (D) The site is known to be affected by hazardous contaminants which may impact on the proposed project
- Chemical Contamination)
Underground Tanks) None Known
Asbestos)
- (E) Licenses required to operate, subject to Building Consent being granted
- Health Licences) NO
Dangerous Goods Licence)

PLANNING

- (A) Proposed Project complies with District Plan Zoning
- Yes ✓
No
- (B) The bulk and location of the proposed project complies with the restrictions of the District Plan
- Yes ✓
No
- (C) Special planning restrictions known to affect the site which impact on the proposed project
- Protected Tree Restrictions)
Historic Site Restrictions) NIL
- (D) Proposed Vehicle access acceptable
- Gradient)
Width) EXISTING
Length)
- (E) Resource Consent Required - NO
- Nature of required consent

NOTE: The Northland Regional Council General Authorisation requires that there be a two metre separation between the lowest point of a septic tank effluent field and the highest ground water level. As this can only be determined by an examination of your site it is recommended that you seek professional advice on this point. If you cannot obtain the required separation it will be necessary to apply to the Northland Regional Council for a resource consent to discharge effluent.

ENGINEERING

- (A) The site is known to have soil conditions which will have impact on the proposed project
- Fill)
Erosion)
Slippage) None Known
Poor Bearing Capacity)
- (B) Site is known to be prone to flooding or lies within an overland flow path
- NO
- (C) Proposed methods for building over or near service pipes acceptable? NA
- (D) Proposed connection to services acceptable
- Stormwater Disposal TO EXISTING
Water Connection NA
Foulwater Disposal NA
- (E) Proposed location of vehicle access acceptable
- Location)
Traffic Implications) EXISTING
- (F) Restrictions which may be imposed owing to potential impact on traffic
- Signs NA

FREDERICK R SMITH BE (civil), MIPENZ, MACENZ
Registered Consulting Structural and Civil Engineer

23 Glamorgan Drive, Torbay, Auckland Telephone/Facsimile 64 9 473 1262
P O Box 35 422, Browns Bay, Auckland Mobile Telephone 025 997 139

1614
16 September 1996

The Manager
Local Territorial Authority

Attention: Senior Building Controller

Dear Sir

**STEEL FRAMED BUDGET BUILDINGS
GARAGES - FARMSHEDS - HAYBARNs - CARPORTS**

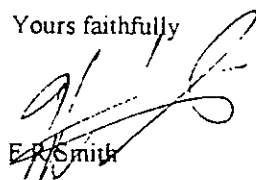
As the New Zealand representative, of the Australian designer of the above range of Spic-N-Span cold formed steel framed buildings, I have been requested, by some Local Authorities, to issue a blanket Producer Statement for these specific designed structures.

I consider the Producer Statement to be a legal document, that is unique to a particular building on one site, but I can issue the following statement:

1. The buildings are constructed from high tensile steel with high tensile steel cladding and no timber is used.
2. The buildings are fabricated from zincalume protected steelwork, all members are fixed with zinc plated Tek screws and any member, 'with moderate ease' can be removed and treated for corrosion at any time, 'without reconstruction or major renovation'.
3. The buildings are light and, even with the concrete floor slab, the required ground bearing pressure is less than 75kPa.
4. The maximum uplift, in any post, is 12.5 KN and the building will be stable provided the support system will resist these forces. Zincplated Rawlplug Excalibur screwbolts are used to fix the structure to the concrete floor slab or concrete footings and these fasteners can be removed for inspection and treatment or replacement at any time.
5. The W37 and W42 buildings will withstand site wind speeds (NZS 4203:1992 clause 5.4.1) of 45 and 50 metres per second respectively.
6. The buildings will withstand snow loads of 0.7Kpa and loadings of up to 1.2kPa can be resisted by strengthening the roof trusses and adding extra purlins.

Please contact me for further information.

Yours faithfully


F. R. Smith

FREDERICK R SMITH BE (civil), MIPENZ, MACENZ
Registered Consulting Structural and Civil Engineer

23 Glamorgan Drive, Torbay, Auckland Telephone/Facsimile 64 9 473 1262
P O Box 35 422, Browns Bay, Auckland Mobile Telephone 025 997 139

**STEEL FRAMED BUDGET GARAGES FARMSHEDS &
CARPORTS**

STATEMENT OF DURABILITY

NEW ZEALAND BUILDING CODE

The DURABILITY requirement, of the Building Regulations 1992, requires the structure of the building, without reconstruction or major renovation, to have a life of at least 50 years (clause B2.3 (a)) whereas building elements which do have a moderate ease of access (clause B2.3 (c)) shall have a life of at least 15 years and components such as linings, doors and windows shall have a life of at least 5 years (clause B2.3 (d)), with only normal maintenance, unless the *building* is given a *specified intended life*.

NORMAL CONDITIONS

In areas of normal conditions (500m from breaking surf, in the immediate vicinity of calm salt water such as estuaries and harbour foreshores, more than 500 metres from industrial emissions and subject to little or no fallout from them and away from geothermal areas) provided the building is located, where possible, with the openings away from prevailing inclement weather, doors are kept closed and the building is given 'normal maintenance', as specified for corrosive conditions below, then the life of the building will be 50 years.

CORROSIVE CONDITIONS

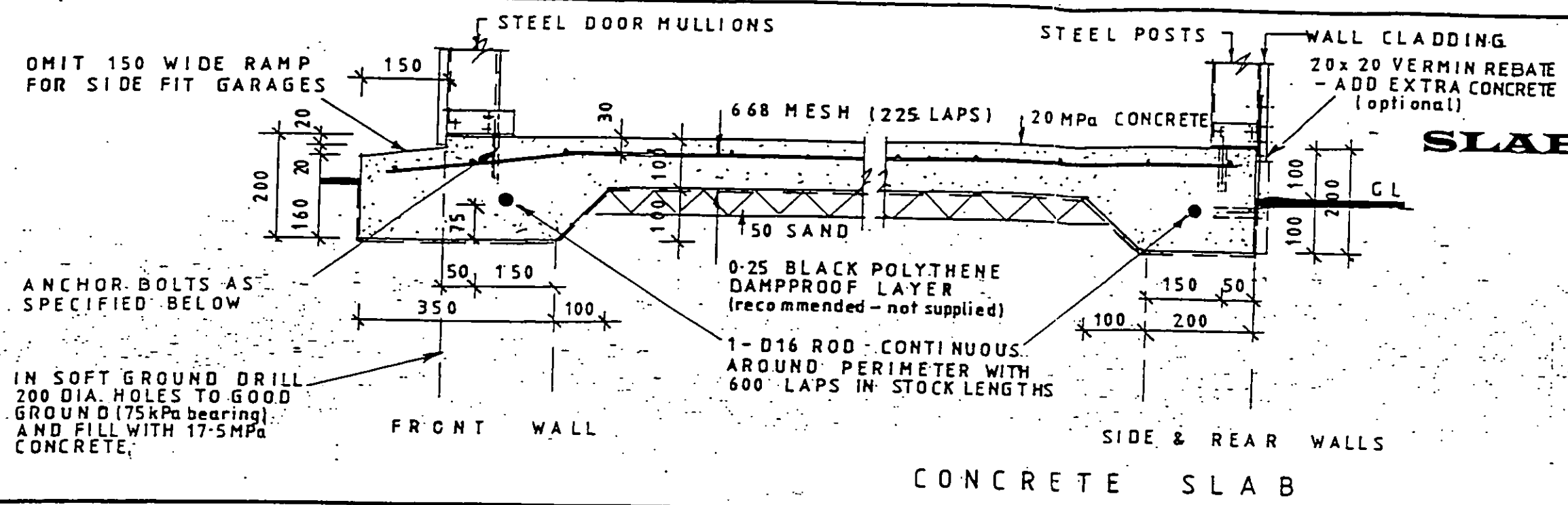
In area of corrosive conditions (within 500m of breaking surf, heavy salt deposits, constant smell of salt spray, the continuous presence of a smell of industrial chemicals, such as sulphur or acids, close to industrial emissions and/or geothermal areas and subject to light fallout from them) because all of the components of the building can be replaced 'with moderate ease' without 'reconstruction or major renovation' **the specified intended life of the building is nominated as 20 years**. After this period the local authority may request an inspection and assessment of the future life of the building.

For the life of the building to be at least 20 years - framing that is to be boxed or lapped with other framing members shall **prior to assembly** be degreased, etched with a primer suitable for galvanised iron and zincalume and given a heavy coat of anti-corrosive zinc-rich paint, or equivalent protective paint system, as supplied by a reputable paint supplier and the zinc plated Rawlplug screwbolts, securing the building to the foundations, shall be liberally coated with Selleys Roof and Gutter Sealant, as shall the angle fixing brackets.

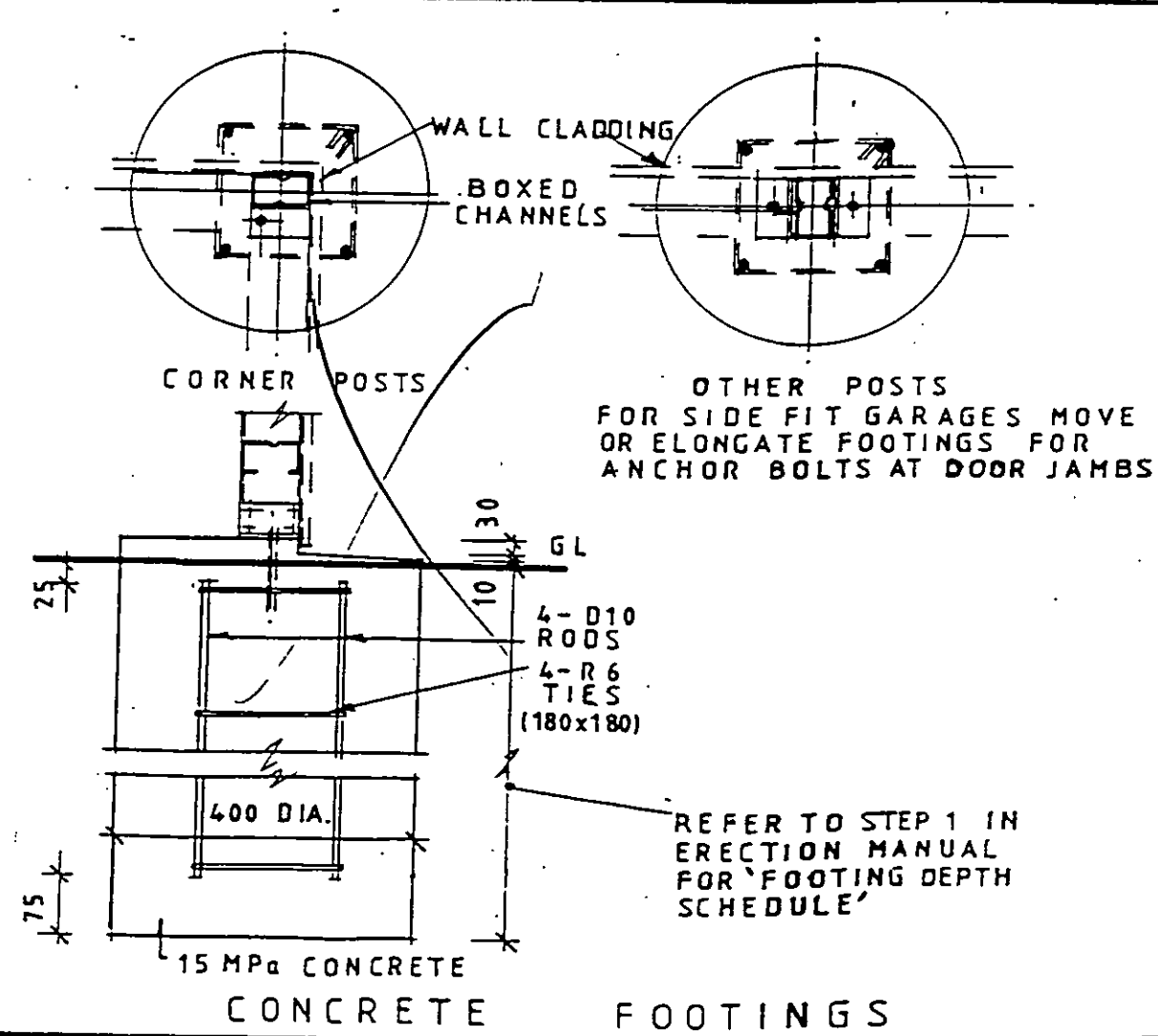
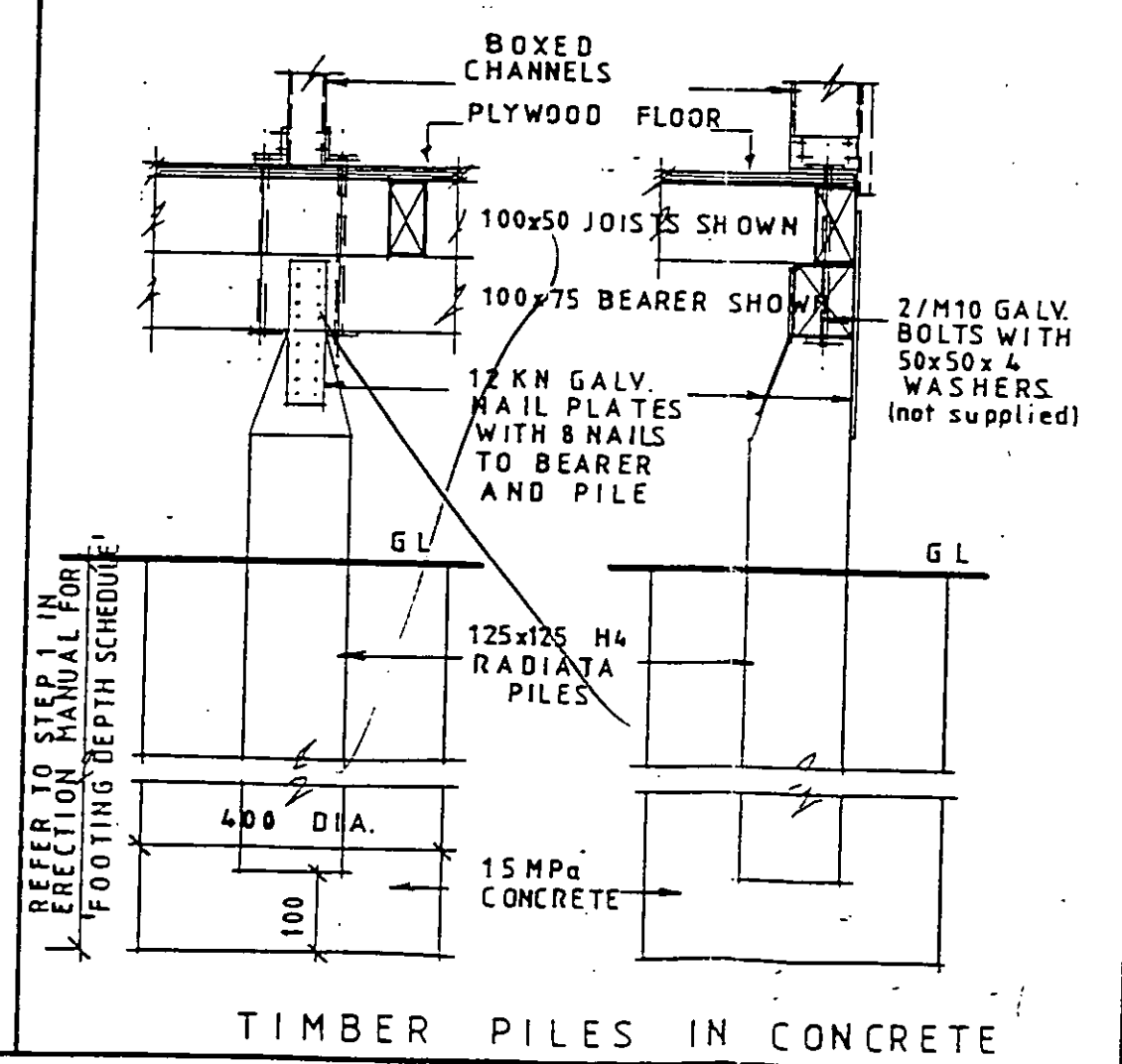
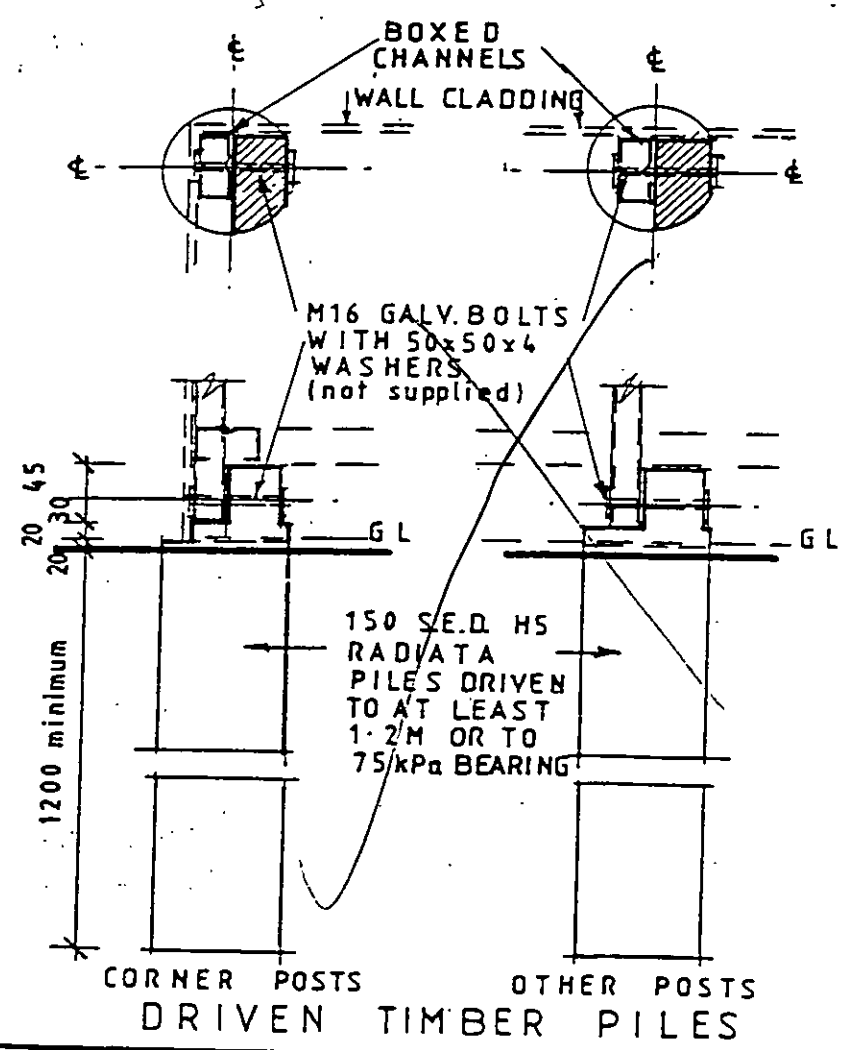
'Normal maintenance', as required by the Building Code, shall then consist of annual washing of areas, unwashed by rain, for buildings in moderate corrosion environments, twice annually washing down, in areas of severe corrosion and a complete protective painting system, for buildings in very severe atmospheres.

(amended : 15.09.96)

BUDGET GARAGES
5A Ryan Place, PO Box 76-318, Manukau City, Auckland
Free Phone 0800 103 545 Facsimile 09 262 2798



DELETE OPTIONS NOT APPLICABLE



ANCHOR BOLTS TO CONCRETE SHALL BE RAWLPLUG M10x75 ZINC PLATED HEX HEADED EXCALIBUR SCREWBOLTS

ALL WORK SHALL CONFORM TO THE REQUIREMENTS OF THE NEW ZEALAND BUILDING CODE

Designer: Des Newport, Consulting Engineer
Brisbane, Australia

Regd. Eng: FREDERICK R SMITH
CONSULTING ENGINEER
23 Glamorgan Drive, Torbay
Auckland Ph/Fx 09 473 1262

Manufacturer: Spic - N. Span, Brisbane, Australia

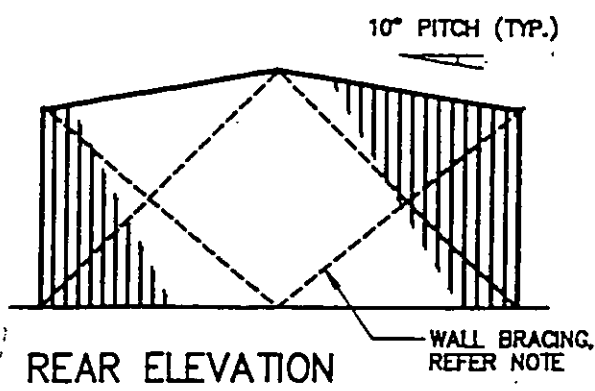
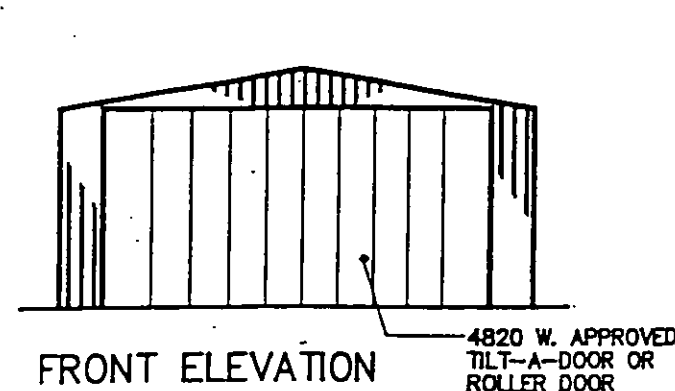
25.7.96 amended
28.8.96

BUDGET GARAGES LTD

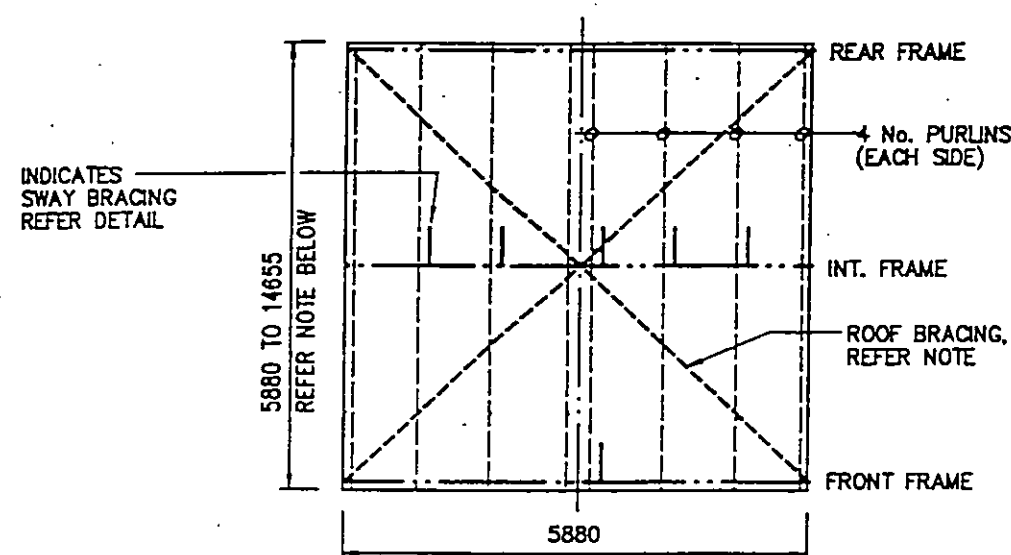
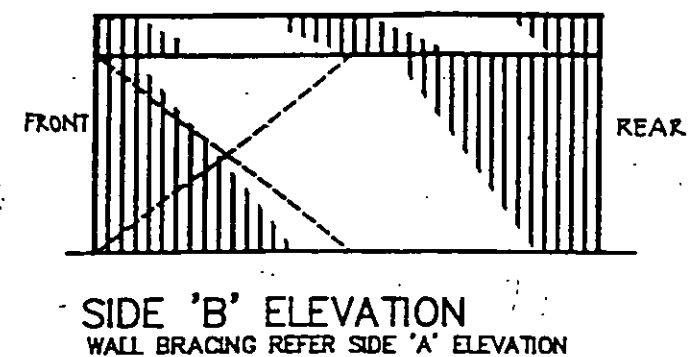
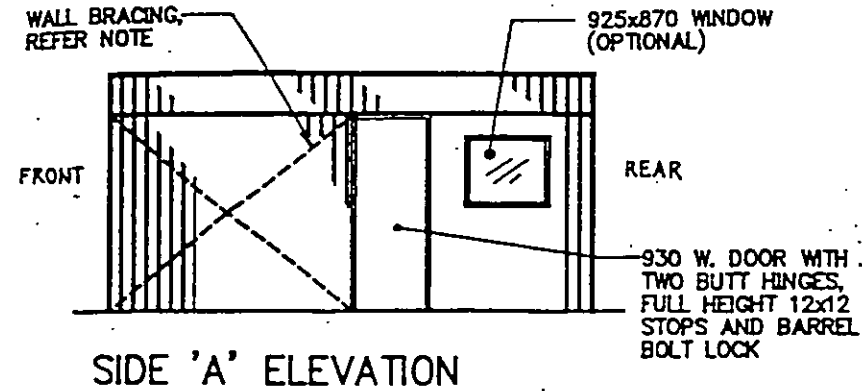
STEEL FRAMED GARAGES

CONCRETE FLOOR SLAB - FOOTINGS OR TIMBER PILES

SHEET 4

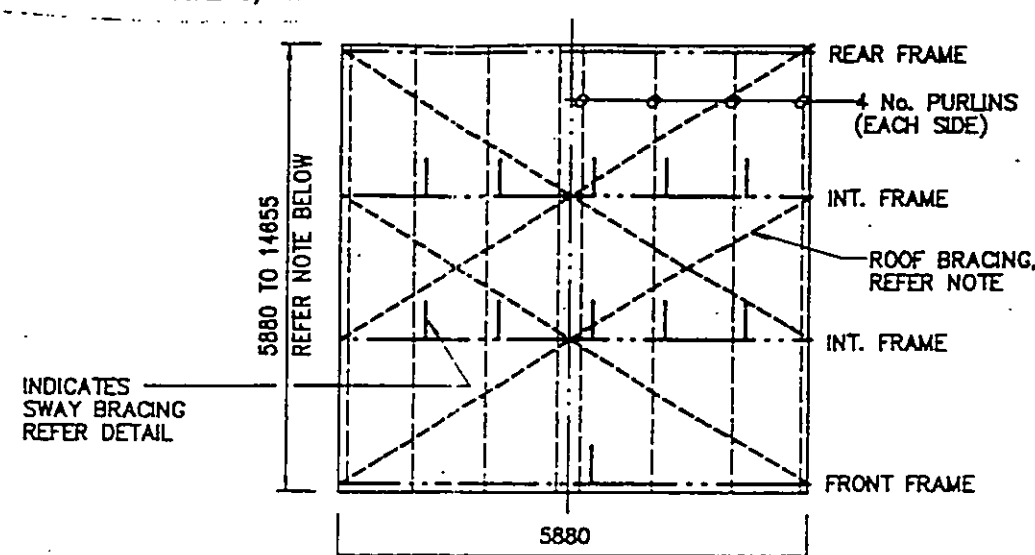


- PERSONNEL DOOR MAY BE INSTALLED IN THIS WALL PROVIDED THE NUMBER OF BRACING SETS IS MAINTAINED AS SCHEDULED
- WALL BRACING (2 BAYS) EX. G550 STRAPS:-
S42 - 6-12m L. GARAGE - 21x0.8 STRAPS
3 SCREWS/CONN.
15m L. GARAGE - 50x0.8 STRAPS
4 SCREWS/CONN.
S50 - 6-9m L. GARAGE - 50x0.8 STRAPS
3 SCREWS/CONN.
12-15m L. GARAGE - 50x0.8 STRAPS
4 SCREWS/CONN.



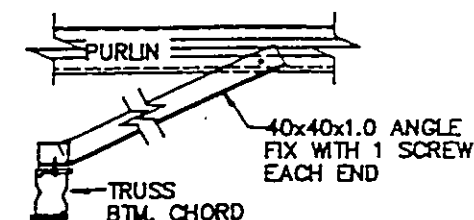
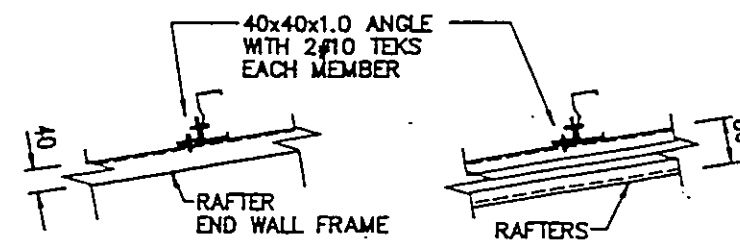
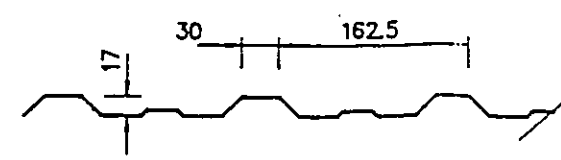
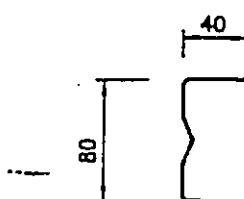
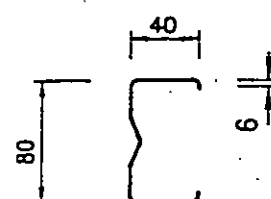
FRAMING PLAN - S42

- S42, 6m WIDE GARAGES MAY BE EXTENDED TO MAXIMUM 15m LONG BY INSERTING INTERNAL FRAMES AT 3000 CTS. MAXIMUM. BRACING LAYOUT SIMILAR.
- ROOF BRACING EX. G550 STRAPS:-
6-12m L. GARAGE - 21x0.8 STRAPS (3 SCREWS/CONN.)
15m L. GARAGE - 50x0.8 STRAPS (3 SCREWS/CONN.)



FRAMING PLAN - S50

- S50, 6m WIDE GARAGE MAY BE EXTENDED TO MAXIMUM 15m LONG BY INSERTING INTERNAL FRAMES AT 2000 CTS. MAXIMUM. BRACING LAYOUT SIMILAR.
- ROOF BRACING EX. G550 STRAPS:-
6-9m L. GARAGE - 50x0.8 STRAPS
4 SCREWS/CONN.
12-15m L. GARAGE - 50x0.8 STRAPS
5 SCREWS/CONN.

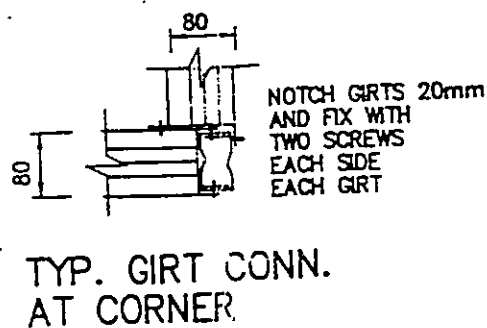


TYPICAL SWAY BRACING DETAIL

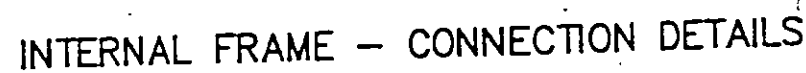
© spic-n-span 1995

		DES NEWPORT CONSULTING ENGINEERS Pty. Ltd. PO Box 76318, MANUKAU CITY, AUCKLAND 208 CONSTANCE STREET, FORTITUDE VALLEY BRISBANE QLD, 4006 AUSTRALIA Phone +61 7 3252 9822 Fax +61 7 3252 9844		CLIENT BUDGET GARAGES Ltd. 5a RYAN PLACE, MANUKAU CITY, AUCKLAND Phone (09) 262 2803 Fax (09) 262 2798 Freephone 0800 10 35 45	PROJECT 2.4m, 2.7m, 3m Height RANGE OF GARAGES 6m WIDE FRONT ENTRY SITE WIND SPEED 42m/s AND 50m/s	SUBJECT ELEVATIONS, FRAMING PLANS, CONNECTION DETAILS	JOB No. 91099NZ DWG No. 1 REVISION SUFFIX A
A	RELEASED FOR BUILDING APPROVAL	JULY 1998					
SUFF	REVISION	DATE					

			DES NEWPORT CONSULTING ENGINEERS Pty. Ltd. PO Box 76318, MANUKAU CITY, AUCKLAND 208 CONSTANCE STREET, FORTITUDE VALLEY BRISBANE QLD. 4006 AUSTRALIA Phone +61 7 3252 9822 Fax +61 7 3252 9844		CLIENT BUDGET GARAGES Ltd. 5a RYAN PLACE, MANUKAU CITY, AUCKLAND Phone (09) 262 2803 Fax (09) 262 2798 Freephone 0800 10 35 45		PROJECT 2.4m, 2.7m, 3m Height RANGE OF GARAGES 6m WIDE FRONT ENTRY SITE WIND SPEED 42m/s AND 50m/s		SUBJECT DETAILS OF FRAMES, HOLD DOWN DETAILS		JOB No. 91099NZ	
											DWG No. 2	
A RELEASED FOR BUILDING APPROVAL JULY 1992											REVISION SUFFIX	
SUFF REVISION DATE											A	



TYP. GIRT CONN.
AT CORNER



- # STEELWORK
- 1 ALL STRUCTURAL FRAMING MEMBERS SHALL BE G550 GRADE STEEL AND ALL CLEATS SHALL BE G450 GRADE STEEL GALVANIZED TO MIN Z200.
 - 2 ROOF AND WALL SHEETING SHALL BE G550 GRADE STEEL PROTECTED WITH ZINCALUME AZ150.
 - 3 EVERY CLADDING SHEET IS TO BE FIXED AT RIDGE PURLINS AND EAVES WITH ONE SCREW AT EVERY PAN. AT OTHER PURLINS, GIRTS ETC. FIX WITH ONE ONE SCREW AT EVERY SECOND PAN. ALL SCREWS INTO ROOF SHEETING TO HAVE NEOPRENE WASHERS.
 - 4 PURLINS AND GIRTS EX. 80x40 LIPPED, CRIMPED CHANNELS
 - 5 AT FRONT, INTERNAL AND REAR FRAMES CONNECT GIRTS WITH 2#10 SCREWS PER FLANGE PER MEMBER U.N.Q. SCREWS TO HAVE MINIMUM EDGE DISTANCE OF 8mm AND A MINIMUM PITCH OF 12mm.
 - 6 SCREWS TO BE WAFERTEKS No. 10 U.N.Q.MANUFACTURED BY DEUTSCHER (OR EQUIVALENT).
 - 7 FRAME AROUND PERSONNEL DOOR EX. 80x40x0.8 UNLIPPED CHANNELS. -X- MULLIONS TO FLOOR WITH 40x40x0.8 CLEAT AND 1/D10 DYNABOLT. -FLANGE CONNECT MEMBERS WITH 2 SCREWS EACH FLANGE. (FRAME AROUND WINDOW OPENING SIMILARLY)
 - 8 PERSONNEL DOOR FRAMED EX. 40x40 CHANNEL AND CLAD WITH STANDARD SHEETING PROFILE.
 - 9 RIDGES, BARGES AND ALL PENETRATIONS TO BE FLASHED WITH 0.4mm ZINCALUME FINISHED STEEL.
 - 10 GUTTER AND DOWNPIPES TO BE FITTED AND DISCHARGED TO EXISTING STORMWATER SYSTEM. SPLICE GUTTER AT CENTRE OF BUILDING. PROVIDE TWO SCREWS INTO EACH WEB AND SEAL WITH SILICONE.
 - 11 BOXED MEMBERS TO BE FLANGE CONNECTED WITH #10 TEXSCREWS AT 600 CTS.
 - 12 STEELWORK SHALL ALL COMPLY WITH THE REQUIREMENTS OF:-
 - NZS 4203 WIND LOADING CODE
 - AS 1170 PARTS 1 & 2 LOADING CODES
 - NZS 3404 STEEL STRUCTURE STANDARD
 - AS 1538 COLD FORMED STEEL STRUCTURE CODE
 - AS 1562 DESIGN AND INSTALLATION OF METAL ROOFING
 - AS 1111/1112 METRIC HEXAGON COMMERCIAL BOLTS AND SCREWS
 - AS 2313 GUIDE TO THE PROTECTION OF IRON AND STEEL
 - AS 3568 SELF DRILLING SCREWS FOR BUILDING & CONSTRUCTION INDUS

I certify that if constructed in accordance with these drawings the project will be structurally adequate complying with all relevant Australian and New Zealand Standards and Codes of Practice.

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CLIENT

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Phone (09) 262 2803 Fax (09) 262 2798
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PROJECT 2.4m, 2.7m, 3m Height
RANGE OF GARAGES
6m WIDE
SITE WIND SPEED
42m/s AND 50m/s

SUBJECT

CONNECTION DETAILS
AND NOTES

JOB No.		91099NZ	
DWG No.		3	
REVISION		SUFFIX	
A			

SLAB / FOOTINGS

6 X 9M, W35 FRONT DOOR FITMENT

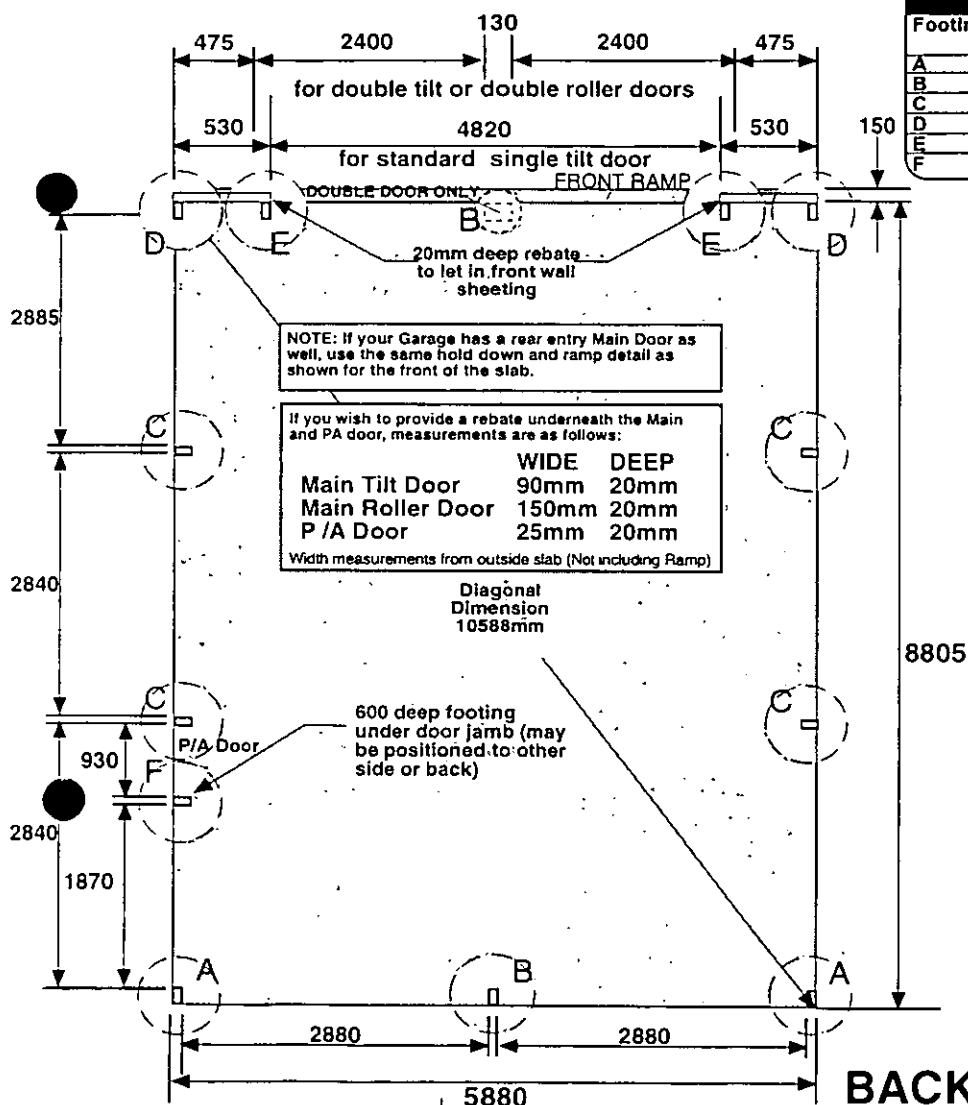
Pour a perfectly level concrete slab to the dimensions shown in Figure 1A. This is to be 100mm thick, reinforced with F72 Mesh, laid 30mm from the top with edge thickening shown in Figure 1B and a ramp at the front (Figure 1C). Concrete strength is to be 20MPa at 28 days.

If you would rather erect your Garage on footings, the locations are shown as dotted lines () in Figure 1A, a side view of the footing and a size schedule are shown in Figure 1D.

The Garage has been designed so the slab size and the external frame size are the same. The wall sheeting then overlaps the top of the slab by 20mm to form a waterproof joint. If you plan to erect your Garage on a slab larger than the one specified, it will be necessary to trim 20m off each wall sheet, then seal the joint between the slab and wall sheet with Silicone.

Fig. 1 A:

FRONT



No. of anchors to be used for each Leg:
- Screwbolts: M10x75mm all cases x qty shown below.
- Chemsets: as shown below.

Footing	2.4Wall H.	2.7Wall H.	3.0Wall H.
A	1 X M10	1 X M10	1 X M10
B	2 X M8	2 X M8	2 X M8
C	2 X M8	2 X M8	2 X M8
D	2 X M10	2 X M12	2 X M12
E	2 X M10	2 X M12	2 X M12
F	1 X M8	1 X M8	1 X M8

NEW ZEALAND ONLY

Fig 1b, c & d are NOT to be used in New Zealand conditions refer to SLAB AND FOUNDATION SCHEDULE attached to plans, for detailed drawings.

FIG. 1 B:

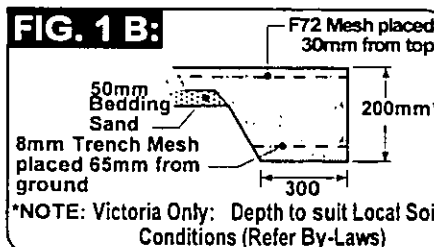
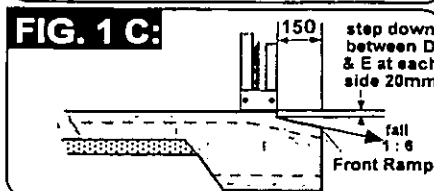


FIG. 1 C:



Refer to this Section ONLY if FOOTINGS are being used instead of concrete slab!

FOOTING DEPTH SCHEDULE (mm)

Wall Height	A		B		C		D		E		F	
	20 kpa	10kpa	20 kpa	10kpa	20 kpa	10kpa	20 kpa	10kpa	20 kpa	10kpa	20 kpa	10kpa
2.4H.	900	1150	950	1150	650	1050	1000	1700	900	1300	600	600
2.7H.	950	1150	1050	1250	850	1050	1450	2550	1300	2200	600	600
3.0H.	950	1150	1050	1250	850	1050	1450	2550	1300	2200	600	600

NOTE: Most soils meet 20kpa requirements. For soft soil use 10kpa value. For shaft adhesion value in your area consult your local soils engineer.

FIG. 1 D:

