

MEMORANDUM OF EASEMENTS IN GROSS			
NATURE	SHOWN	BURDENED LAND	GRANTEE
RIGHT TO CONVEY POWER	A	LOT 2	MAINPOWER NEW ZEALAND
RIGHT TO DRAIN STORMWATER	C	LOT 2	HURUNUI DISTRICT COUNCIL

SURVEYED		APPROVED		DATE	
DESIGNED	TH	11/9/24	TH 12/9/24		
DRAWN	TH	11/9/24			
CHECKED					
REVISION	CHANGES			CHECKED	DATE
1	INITIAL ISSUE FOR COMMENT			TH	12/9/24
2	AMENDMENTS FOLLOWING RFIs			TH	18/12/24

- NOTES:
- Coordinates are in terms of NZGD2000, Mt Pleasant Circuit.
  - The site is zoned Residential 1, Settlement Waikari in the Hurunui District Council District Plan.
  - Existing boundary definition is sourced from Landonline XML and is subject to change following formal survey.
  - Proposed boundaries, easements and areas are provisional and are subject to Council approval and final survey.
  - These notes are an integral part of this plan.
  - This plan is issued for a specific project and may not be altered or used for any other purpose without the prior written consent of Datum Surveying Ltd.

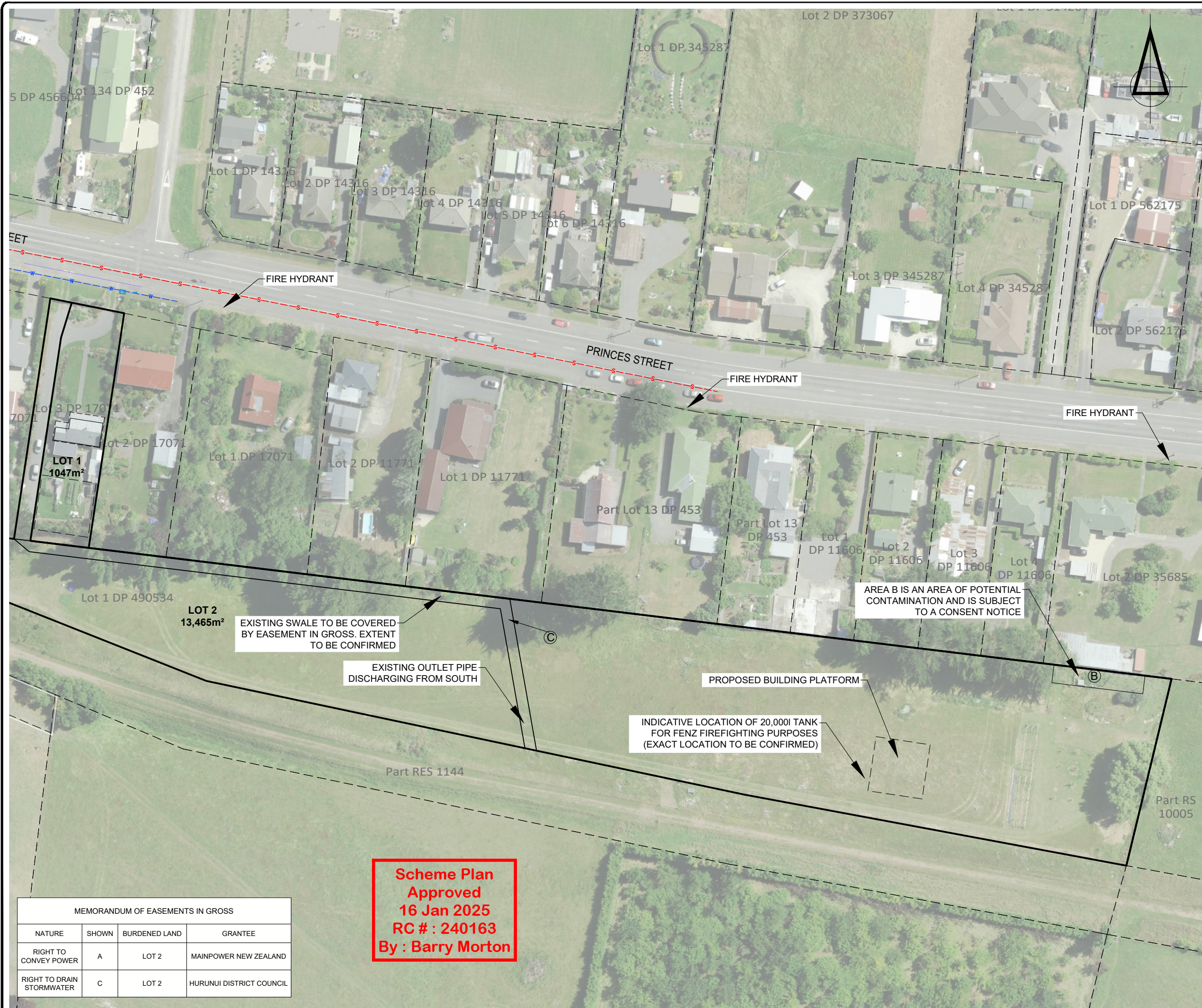
CLIENT	JO & BRENT TROTTER
PROJECT	LOTS 1 & 2 BEING A SUBDIVISION OF LOT 3 DP 17071 & LOT 1 DP 490534  57 PRINCES ST, WAIKARI
TITLE	SCHEME PLAN



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**Scheme Plan  
Approved  
16 Jan 2025  
RC # : 240163  
By : Barry Morton**

SCALE	1:500	(A3)
DRAWING No	1178-SC01	REVISION
		2



SURVEYED	TH	11/9/24	APPROVED	TH	12/9/24
DESIGNED	TH	11/9/24			
DRAWN	TH	11/9/24			
CHECKED					

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CLIENT

JO & BRENT TROTTER

PROJECT

LOTS 1 & 2 BEING A  
SUBDIVISION OF LOT 3 DP 17071  
& LOT 1 DP 490534

57 PRINCES ST, WAIKARI

TITLE

SCHEME PLAN



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SCALE 1:1000 (A3)

DRAWING No 1178-SC02 REVISION 2

MEMORANDUM OF EASEMENTS IN GROSS			
NATURE	SHOWN	BURDENED LAND	GRANTEE
RIGHT TO CONVEY POWER	A	LOT 2	MAINPOWER NEW ZEALAND
RIGHT TO DRAIN STORMWATER	C	LOT 2	HURUNUI DISTRICT COUNCIL













(Quotable) Value  
New Zealand

# NOTICE OF CHANGE OF OWNERSHIP OR OCCUPANCY

VALUATION REFERENCE

V.411

VALUATION NEW ZEALAND

(PURSUANT TO SECTION 31, LOCAL GOVERNMENT (RATING) ACT 2002)

1488/57  
2136021301

			Hurunui District Council PO Box 13 AMBERLEY 8251			NAME AND ADDRESS OF LOCAL RATING AUTHORITY Environment Canterbury PO Box 345 CHRISTCHURCH MAIL CENTRE 8140			
VE F I E L			INDICATORS		PREVIOUS OWNER/OCCUPIER/LESSEE				
ROLL AMENDED		FIELDSLIP NOTED		SALES LIST NOTED		SURNAME Gillard		OTHER NAMES Leanne	
PLAN NOTED		CV		LV					
NEW OWNER/OCCUPIER/LESSEE Enter first the name of the person to exercise Ratepayer Vote.									
SURNAME			OTHER NAMES			OCCUPATION			
White			Phillip John			032237			
Simpson			Tracy Anna			032238			
NEW POSTAL ADDRESS (for notices & rate demands)									
AREA (metric)			HA			M <sup>2</sup>			
			1353m2 more or less			CERTIFICATES OF TITLE CB10A/468			
LEGAL DESCRIPTION Lot 3 Deposited Plan 17071									
STREET NO. 57			STREET, ROAD Princess Street, Waikari						
ADDRESS OF PROPERTY									

## DETAILS OF TRANSACTION

NATURE OF TRANSACTION	(State which) Sale, gift, will, exchange, JFH, lease, sub-lease, transfer of lease, surrender of lease, etc						
	Sale						
DATE OFFER ACCEPTED	6 December 2009	DATE OF SETTLEMENT	21 December 2009	DATE OF POSSESSION	21 December 2009	DID GROSS CONSIDERATION INCLUDE GST?	Yes
GROSS CONSIDERATION (inc GST)	\$189,000.00	LAND & BUILDINGS (inc GST)	\$189,000.00	CHATELS	No	OTHER	
SUBJECT TO TENANCY	No	VENDOR FINANCE	No	IF SO, AMOUNT		TERM	
IF MULTI-UNIT PROPERTY, IS THERE ANY SPECIFIC RATE SHARING AGREEMENT?		No	IF SO, WHAT IS THE AGREED SHARE FOR THIS FLAT?			BUILDINGS ON THE LAND?	Yes

## DETAILS OF LEASE - GROUND LEASE/LAND & BUILDINGS LEASE/DEFERRED PAYMENT LICENCE/OTHER

LEASE NO.		RENTAL		TERM		FROM	
RIGHT OF RENEWAL		COMPENSATION FOR IMPROVEMENTS				OTHER DETAILS	

OWNER'S AGENT

Brandts-Giesen McCormick, PO Box 306, Rangiora  
7440 (Anna Renouf)

SIGNATURE

PURCHASER'S AGENT

AWS Legal, PO Box 1207, Invercargill 9840 (Aaron Drake)

PHONE No.

03 211 1370

F O R O F F I C E U S E	DATE	TYP	CLASSIFICATION			GROSS PRICE			NET PRICE			CHATELS	OTHER	PRODUCTION							
	CATEGORY	ZONE	USE	UNIT	%SUB	PARK	AGE	COND	CONS	SITE COVER	FLOOR	CV									
												LV									
	CV		LV		VI		X-REFERENCE-1				X-REFERENCE-2			Xi							
	GROSS SITE AREA			LEGAL DESCRIPTION											Nat	Ind					
	VALUERS REMARKS											VENDOR/PURCHASER									
	csi	lot	ctr	isc	vew	scp	hst	mod	eyb	mfl	tfl	pfn	dek	l/w	loi	car	dry	Gmr	nts	out	GST

POSTED

11 JAN 2010

23877B-4.230 pads/3/91MK

## Application Details

WS22085

## Applicant Details

### Name of Applicant\*

Brent and Joanne Trotter

### Postal Address

Street Address

57 Princes Street

Address Line 2

Town

Waikari

Province

Canterbury

Postal / Zip Code

7420

### Legal Description of Property

Lot 3 Deposited Plan 17071 and Lot 1 Deposited Plan 490534

### Address for connection same as above?

☒ Yes

### Property Address For Connection

Street Address

57 Princes Street

Address Line 2

Town

Waikari

Province

Canterbury

Postal / Zip Code

7420

### Area of Property

1.45 ha

Hectares/Sq Meters

## Type of Application

---

### Type of Application

☐ Full Water Application ☒ Modelling Only

### Is this for a Sub-Division

☒ Yes ☐ No

### Into how Many Lots?

4

### Type of Water Supply

☒ On Demand ☐ Restricted RWS

### Township Area

Waikari

### Attach a Sketch Plan\*

15327 SC-01 Rev B.pdf

380.6KB

## Authorisation

I recognise that acceptance of this Application does not necessarily mean that consent will be granted.

I undertake to comply with all provisions of the Hurunui District Council Three Waters Bylaw and Three Waters Policy, in addition to the ABBREVIATED NOTES FOR APPLICANTS forming part of this Water Supply application.

Disclaimer: We will use any information provided in this application to maintain and update our current contact details

I have read and understood the terms and conditions listed above \*

☒ Yes

**Name of Applicant**

Jo Trotter

**Contact Number**

0275696868

**Email**

trottersdonz@gmail.com

**Signature \***

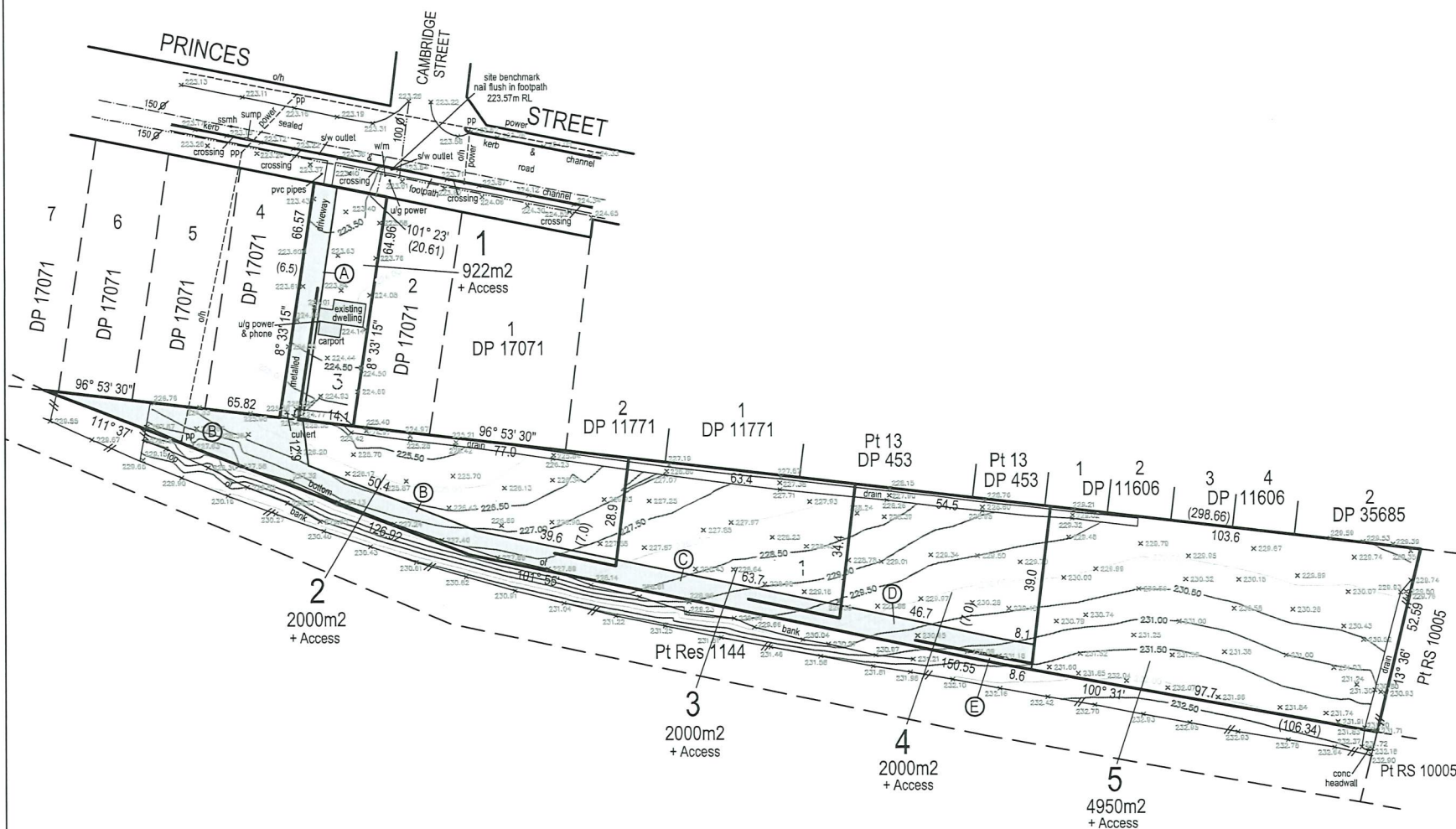


**Date**

11/02/2022

**For Office use only:**

Receipt Number		Date	
Invoice Number		Date	
Connection made by		Date	
Tank Number			
Tank Location			
Rated by		Date	
Drawn on Plans by		Date	



#### NOTES:

1. THIS SURVEY HAS NOT INCLUDED SITE MARKING OF THE BOUNDARY POSITIONS UNLESS OTHERWISE INDICATED.
2. SOME UNDERGROUND SERVICE INFORMATION IS SHOWN ON THIS PLAN. THE LOCATION OF ANY SUCH SERVICES SHOULD BE CONFIRMED WITH THE RELEVANT LOCAL AUTHORITY OR UTILITY SERVICE PROVIDER.
3. THE SITE DATUM FOR THIS SURVEY IS:  
NAIL FLUSH IN FOOTPATH  
REDUCED LEVEL: 223.57m  
DATUM: NZVD 2016
4. "SPOT HEIGHT" POSITIONS ARE SHOWN IN THE FOLLOWING FORMAT X AND ARE EXPRESSED IN METRES IN TERMS OF THE SITE DATUM FOR THE SURVEY. THE HEIGHTS OF THESE POSITIONS HAVE AN ACCURACY RELATIVE TO THE SITE DATUM AS FOLLOWS:  
\* HARD SURFACES eg CONCRETE, ASPHALT +/- 0.030m @ 95% CONFIDENCE LEVEL.  
\* SOFT SURFACES eg GRASS +/- 0.050m @ 95% CONFIDENCE LEVEL.
5. CADASTRAL BOUNDARIES BEARINGS AND DISTANCES HAVE BEEN SOURCED FROM DP's 17071 & 490534.
6. SCHEME PLAN ONLY, AREAS & DIMENSIONS ARE APPROXIMATE & SUBJECT TO FINAL SURVEY.

#### Legend

- sewer line
- water supply line

#### MEMORANDUM OF EASEMENTS

Nature	Servient Tenement			Dominant Tenement
	Lot No.	Shown		
Right of Way & all services	1	A,F		2-5
	2	B		1,3-5
	3	C		1,2,4,5
	4	D		1-3,5
	5	E		1-4

Right of Way on foot

REV	DATE	REVISION DETAILS	
B	04/02/23	FOR SUBDIVISION CONSENT	SRS
A	20/01/22	FOR SUBDIVISION CONSENT	SRS

DRAFTED  
SRS

VERIFIED

APPROVED

DATE

#### PROJECT

JO TROTTER - 57 PRINCES STREET, WAIKARI

#### TITLE

PROPOSED SUBDIVISION OF LOT 3 DP 17071 & LOT 1 DP 490534  
RT 708639

SHEET 1 OF 1

#### INFORMATION ONLY

PROJECT NO  
15327

SCALE	SIZE
1 : 1250 (A3)	A3
DRAWING NO	REV
SC-01	B

# Township On-Demand Water Supply



For Office use:

Appl. No WS250031

BC No \_\_\_\_\_

Val. No 2136221302

## Applicant Details:

Name of Applicant: Brent & Joanne Trotter

Postal Address: 57 Princes St Waikari 7420

Phone Number: 027 646 9274

Email: brenttrotter10@gmail.com

hereby make application for connection to the: AMBERLEY CULVERDEN HANMER SPRINGS  
HAWARDEN LEITHFIELD BEACH WAIKARI WAIPARA On - Demand Water  
Supply. (Circle the one that applies)

Connection Address: 57 Princes St Waikari Lot 2

Legal Description:

Subdivision

I hereby submit the connection fee (including GST) of:

\$775.00	for a domestic connection (20mm) plus actual reinstatement costs
\$1,989.00	for a new connection with no point of supply infrastructure, plus actual excavation and reinstatement costs

The standard connection fee provides for a water meter only. For new connections with no point of supply infrastructure, the fee provides for a toby box, valve and a water meter. Council advises applicants to install a gate valve on their side of the meter.

By signing below, you agree to comply with all the provisions of the Hurunui District Council Three Waters Bylaw and Three Waters Policy.

Applicants Signature

A handwritten signature in black ink, appearing to read "Brent Trotter", written over a horizontal line.

Date

28-1-2025

*For Office Use:*

<i>Receipt Number</i>		<i>Date</i>	
<i>Invoice Number</i>		<i>Date</i>	
<i>Connection made by</i>		<i>Date</i>	
<i>Meter Number</i>		<i>Meter Type</i>	
<i>Meter Location</i>			
<i>Meter Reading</i>		<i>No. of digits</i>	
<i>Rated by</i>		<i>Date</i>	
<i>Drawn on Plans by</i>		<i>Date</i>	

# Building consent 070554

Section 51, Building Act 2004 (BAM 005)

## THE BUILDING

Street address of building: 57 PRINCES ST, WAIKARI

Legal description of land where building is located: LOT 3 DP 17071 BLK XII WAIPARA SD

Valuation number: 2136021301

## THE OWNER

Name of owner: Leanne Gillard

First point of contact for communications with the council/building consent authority:

Full Name: Versatile Buildings

Mailing Address: 635 lineside Rd, Rangiora

## BUILDING WORK

The following building work is authorised by this building consent:

Relocate Dwelling & Garaport

SH

This building consent is issued under section 51 of the Building Act 2004. This building consent does not relieve the owner of the building (or proposed building) of any duty or responsibility under any other Act relating to or affecting the building (or proposed building).

This building consent also does not permit the construction, alteration, demolition, or removal of the building (or proposed building) if that construction, alteration, demolition, or removal would be in breach of any other Act.

## CONDITIONS OF BUILDING CONSENT

This building consent is issued subject to the following conditions:

1. A minimum of 24 hrs notice must be given to the Building Officer prior to any inspections.
2. All construction and fixings are to be in accordance with NZS 3604:1999 and the requirements of the NZ Building Code 1992 and subsequent amendments.
3. At least one copy of the approved plans and specifications must be kept on site at all times and made available to the Building Control Officer on request.
4. It is the applicant's responsibility to ensure that all buildings are located within the site in accordance with the plans submitted. We recommend you engage a surveyor if you are unsure of the boundary location.
5. F7 of the New Zealand Building Code requires appropriate means of detection and warning of fire (smoke alarms) must be provided within each household unit
6. Solid fuel burner brand, model and copy of manufacturer's test approved installation instructions shall be provided to HDC. National clean air standards introduced on the 1st September 2005 require emission to be less than 1.5g per kilo in accordance with AS/NZS 4013:1999 and a thermal efficiency of less than 65% in accordance with AS/NZS 4012:1999
7. Fix fire to the test approved hearth and hearth to the floor ( fastening against seismic movement ).
8. Under section 52 of the Building Act 2004 a building consent will lapse in 12 months from date of issue if the building works concerned have not been commenced
9. Provide tempering valve and seismic restraints to hot water cylinders where not already installed

### Compliance schedule

A compliance schedule is not required for the building.

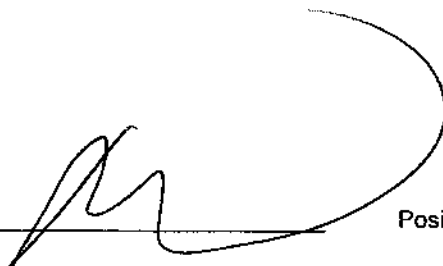
### Attachments

Copies of the following documents are attached to this building consent:

Project information memorandum 070554

Development contribution notice

Signature



Position Customer Service Building Officer

On behalf of: Hurunui District Council

Date: 18/12/07

# PROCESSING FOLDER BUILDING DEPARTMENT (BAM005-F)

1488/57

<b>Valuation Number:</b> 2136021301	<b>Confidential:</b>	<b>Zone:</b> Residential
--	----------------------	-----------------------------

PROJECT DETAILS:	
<b>Applicant:</b>	Leanne Gillard
<b>Address of Proposed Work:</b>	57. Princes Street, Wairarapa
<b>Nature of Building Work:</b>	Relocate Dwelling + Gasport.
<b>BC Number:</b>	070554

<b>PIM</b>	<b>BC</b>	<b>JOINT PIM / BC</b>
------------	-----------	-----------------------

<b>(1) BUILDING</b>	<b>PIM Date:</b> 17/12/07	<b>BC Date:</b> 17/12/2007	<b>Signature:</b> K. Roberts
---------------------	------------------------------	-------------------------------	---------------------------------

LAPS, BC, BC2, BC3, BP, FA, FF15, FF3  
Provide Tempering valve & seismic restraints to  
Hot Water Cylinders where not already installed.



<b>Wind:</b>	
Medium	<input type="checkbox"/>
High	<input checked="" type="checkbox"/>
Very High	<input type="checkbox"/>
Specific Design	<input type="checkbox"/>

<b>Earthquake:</b>	
A	<input checked="" type="checkbox"/>
Specific Design	<input type="checkbox"/>
<b>Snow Loading:</b>	
3	<input type="checkbox"/>
4	<input checked="" type="checkbox"/>
Altitude: 230 m	

<b>Hazard:</b>	
No Information	<input checked="" type="checkbox"/>
Flooding	<input type="checkbox"/>
Instability Zone	<input type="checkbox"/>
Filled Ground	<input type="checkbox"/>
Public Drains	<input type="checkbox"/>
Other	<input type="checkbox"/>

Verified by: K. Roberts

Date: 17/12/07

<b>(2) PLANNING:</b>	PIM Date: 11/12/07	BC Date: 11/12/07	Signature: 
<p>This is a permitted activity</p> <p>Development levies:</p> <p>Queen Mary Purchase \$650</p> <p>Queen Mary Site Development \$440</p> <p>District Library \$400</p> <p><del>Huron Rural Water \$2400.00</del></p>			
<b>(3) UTILITIES:</b>	PIM Date: 17/12/07	BC Date: 17/12/07	Signature: 
<p>Required to connect Council sewer &amp; water supply - standard fees apply</p> <p>\$450 water \$80 sewer</p> <p>(SC) (WC)</p> <p>Stormwater to be directed to Kelo x channel</p>			
<b>(4) ENGINEERING/HEALTH:</b>	PIM Date:	BC Date:	Signature:



**HURUNUI**  
District Council

# FILE PROCESSING - TIME SHEET

## BUILDING DEPARTMENT

(BAM 005-G)

All time charged to this BC must be noted below on this form.

### TIME SHEET

Officer	Process	Date	Time
CSB	Establish File	14-11-07	20 min
Boe	Check proposal, plans & specs	17/12/2007	144
TLBC	vet / verify	17/12/07	62
CSB	Issue	18-12-07	30
Total Time			256

### Amendment Cost Code

Planning: 133001561  
Building: 13500141

\$426.70

### INSPECTIONS

Inspections	Cost All Other	Cost Amberley	No. required
Concrete pre pour	\$120	\$90	2
Framing check	\$120	\$90	1
Pre Clad &/or Half Height	\$120	\$90	
Pre-line including plumbing	\$160	\$130	
Pre-line (minor - no plumbing)	\$120	\$90	
Pre-Stop	\$120	\$90	1
Plumbing and/or drainage	\$120	\$90	1
Final (major) - Dwelling, commercial or similar	\$210	\$130	
Final (minor) - Alterations / additions or similar	\$160	\$115	1
Re-inspection	\$120	\$90	

## CHECKLIST – FORMALLY RECEIVING BC

- ☒ Building Consent Form (signed and correctly completed)
  - ☒ PIM Form Completed
  - ☒ Certificate of Title (less than 6 months old and relevant)
  - ☐ Deposit supplied or calculation sheet produced
  
  - ☒ 2 copies of all information (minimum)
  - ☒ Site Plan
    - boundaries
    - coverage
    - distances
  
  - ☒ Construction Details
  - ☒ Cross Sections
  - ☒ Bracing Schedule (Earthquake zone A, wind zone high)
  - 2. ☒ Risk Matrix
  - ☒ Specifications
  - ☒ Floor Plan
  - ☒ Producer Statement (appropriate to site, by qualified person, appropriate to the drawings produced).
  - ☐ Any relevant Resource Consents
- 

Signature: 

Date: 14-11-07

BC Number...070554

Project...Relocate Dwelling - New Gasport

Name &amp; Rapid Number...L. G. Lidd, 14.88-57 Princes St Waikei.

HURUNUI  
District CouncilBUILDING CONSENT PROCESSING SHEET  
RESIDENTIAL/HABITABLE (BAM 100)

Building Elements		Items To Be Checked	Checked	Not Applicable	Comments Including Means of Verifying, Endorsements, Conditions & Requirements
General Information	Ownership	Property Ownership / CT	✓		on file
		2+ Allotments: Sect 75 / Amalgamation		✓	
Site	Positioning	Siting	✓		1.3m closest boundary (east)
		Snow zone	✓		4
		Corrosion zone 1/2/3	✓		3
		Wind speed	✓		High
		Earthquake zone	✓		A
	Location	Site specific requirement	✓		all of the above
		Contours/ Levels/ Datum	✓		slight fall to street
		Proposed building/s	✓		Relocate dwelling
		Existing buildings/s		✓	
		Any easements		✓	
	Engineering	Hazards on site/S71		✓	
		Section 72 : Land Subject to erosion, etc		✓	
		Flood prone site MIN FFL.....		✓	
		Ground bearing	✓		Soils to firm clay
General		Fault Lines		✓	
Specific Design	Producer Statement	Engineer's name and qualifications			
		PS1 or similar, format and correctness			
		Producer Statement Scope			
	Items Covered	All or parts			
	Monitoring Schedule	Items covered			
Specification	Content	Correct / up-to-date / relevant	✓		Sufficient
Elevations		Claddings / openings / downpipes	✓		Super clad.
Foundations	Concrete Foundations	Depth / width	✓		300mm Min, 165mm wide
		Reinforcement / Cover	✓		7/12 ~ B6 stirrup at 600mm c/s. 75mm of cover

Building Elements		Items To Be Checked	Checked	Not Applicable	Comments Including Means of Verifying, Endorsements, Conditions & Requirements
Floors	Floor Levels	Masonry 150 (FGL) 100 (Paving) Other 225(FGL) 150 (Paving)	✓		225 mm detailed
	Concrete Slabs	Thickness / Load bearing	✓		100" - perimeter walls
		Compacted fill / DPM	✓		20/40" washed Filling - 250 Polythene
		Reinforcing - Mesh, Cover, Bars & Supports		✓	
		Tanking: Wall DPC: Top edge sealing		✓	
		Blockwork: Steel & foundations 4229		✓	
		Shrinkage Control	✓		3.0" Max between shrinkage control casting
	Timber Floors (Including Decks)	Bearer Size, span, spacing			
	(Including Decks)	Joist size, span, spacing			
		Load bearing walls on floors. Distance to supports			
		Lateral support or Blocking			
		Sub Floor Insulation & protection			
		Flooring Material			
		Ground Clearances & ventilation			
	Pile Foundations	Pile types			
Roofing	Roofing	Pitch / Roofing Underlay			
		Roof: Truss Design & Layout			
		Rafters and framing			
		Point loads			
		Roof bracing			
		Roof Gutters			
		Skillion roofs			
		Flat roofs / substrate and membrane			
		Roof penetrations and flashings			
		Snow boards E2.3.1 > 30m above SL			

Building Elements		Items To Be Checked	Checked	Not Applicable	Comments Including Means of Verifying, Endorsements, Conditions & Requirements
Framing	Timber Framing	Timber Quality (Grade / Treatment)			<p><i>Existing</i></p> <p><i>Relocate for gas port see versatile-Mitek section 7</i></p>
		Stud Height, size, spacing			
		Plate Fixings			
		Truss to plate fixings			
		Bottom Plate DPC			
		Lintel and beam size, span			
		Lintel point loads			
		Post fixings, top & bottom			
		Beam size & fixing			
		Wall Bracing & calculations			
		Wall / Ceiling Insulation			
		Ceiling framing/battens			
		Purlin size, span, spacing			
		Purlin fixings			
		Ridge Beams and support			
		Lower level deck framing & floor			
		Upper storey floor framing			
		Upper level deck framing			
Claddings		Type claddings			
		Risk matrix			
		Cavity			
Cavity	Flashings	Wall, windows, junctions, parapet etc			
		Building Wrap & flexi tape			
		Cladding/control joints			
Internal Finishes	Internal Wet Areas	Linings			
		Showers/tanking			
Plumbing & Drainage	Water System	Potability of water supply	✓		<i>Utilities supply</i>
		HWC and valving incl. temp. valves	✓		
	Solar water heater	Installation and valving to NZS4614		✓	<i>Specs tabbed</i>
		Producer Statement (form D2 out of COP solar heaters)		✓	
	Waste pipes	G13 or AS 3500			
		Fixtures per Waste			
		Waste Pipes Size/Gradient			
	Drainage	Waste venting, antisiphonage			
		Drain Size, Gradient, Depth, Cover	✓		
		Septic tank or AWTs Register No.		✓	
		Loading on existing system		✓	
		Down pipes & stormwater disposal	✓		
		Surface water / Channel/ Sumps/Subsoil drains-sumps		✓	
Blockwork	Block Walls	Design/Reinforcing		✓	
	Openings	Lintels		✓	

Building Elements		Items To Be Checked	Checked	Not Applicable	Comments Including Means of Verifying, Endorsements, Conditions & Requirements
General Items	Ventilation	General			
	Stairways	Landings / Handrails / Safety Barriers			
		Anti-slip D1/AS1/Table2			
		Stair Dimensions/Pitch			
		Handrails			
		Head clearance			
	Windows / Doors	Glazing			
		Opening restrictors			
	Decks	Construction			
		Step down to deck			
		Drainage & gutters			
		Cladding clearance			
		Stormwater overflow relief			
		Substrate			
		Decking material			
Deck weatherproofing					
Smoke Alarms	Type / Location	✓		documented to ensure porched	
	Fire separation/travel	✓			
	Gas appliances	Safety precautions (shields etc)			✓
	Ventilation		✓		
Fires	Location	Location In Building	✓		Living room - request installation instructions
	Manufacturers Instructions	Instructions provided X	X		
	Second Hand appliances	Age of appliance & safety report		✓	
Alternative Solutions		Items identified			
		Appeals and test results			
External Works	Retaining Walls	Siting/surcharge			
		Footings & Construction			
		Subsoil Drainage			
	Ground works	Surface water control			
		Any excavation works & fill			
	Driveway construction				
Additional Comments					

Signed: L. Roberts

Dated: 17 / 12 / 2007

# REQUIRED ATTACHMENTS

Complete and attach **ONE** of the following checklists, and provide **ALL** of the information, and plans requested on that checklist:

☐ Form 002-T Temporary work ☐ Form 002-R Residential work ☐ Form 002-I Commercial/Industrial work

## Application Fee (Deposit)

☐ Application Fee of \$ 600 (refer to cover sheet for appropriate fees)

## KEY PERSONNEL

Name of Builder: <u>Versatile Buildings</u>	Phone Number:
Postal Address: <u>635 Lakeside Road</u>	<u>334998</u>
<u>Rangere</u>	Registration Number:
E-mail Address:	
Name of Craftsman Plumber: <u>Dave Henderson</u>	Phone Number:
Postal Address: <u>124 Estuary Road</u>	<u>3881203</u>
<u>Christchurch</u>	Registration Number:
E-mail Address:	
Name of Craftsman Gasfitter: <u>N/A</u>	Phone Number:
Postal Address:	
	Registration Number:
E-Mail Address:	
Name of Registered Drainlayer: <u>Jim Raika</u>	Phone Number:
Postal Address:	<u>3136292</u>
	Registration Number:
E-mail Address:	
Name of Designer: <u>Versatile Buildings Ltd</u>	Phone Number:
Postal Address: <u>113 Waterloo Road</u>	
<u>Christchurch</u>	Registration Number:
E-mail Address:	
Name of Engineer: <u>Mitek NZ Ltd</u>	Phone Number:
Postal Address: <u>20 Kotzikas Place</u>	
<u>Christchurch</u>	Registration Number:
E-mail Address:	

## SIGNATURE

Signed by or for and on behalf of the Owner:

☐ Owner

☒ Agent

Date: 13-11-07

**Note:** If acting "for and on behalf", please read the following declaration before signing:  
"I hereby declare that I am authorised to act as Agent of the Owner".

**Notes by applicant:** (Other notes or comments which you as the applicant may wish to add)

\_\_\_\_\_  
\_\_\_\_\_

# BUILDING CODE ASSESSMENT

Building Code Clause		Means of Compliance (note that a project may include both Acceptable and Alternative solutions)		
		Acceptable Solution	Alternative Solution (details verifying compliance are required)	Waiver/Modification required? (Provide separate details for justification of acceptance if yes)
B1	Structure		B1/AS1 B1/UM1	
B2	Durability		B2/AS1	
C1	Outbreak of fire		N/A	
C2	Means of escape		C2/AS1	
C3	Spread of fire		C3/AS1	
C4	Structural stability during fire		N/A	
D1	Access Routes		D1/AS1	
D2	Mechanical installations for access		N/A	
E1	Surface water		E1/AS1	
E2	External moisture		E2/AS1	V31000
E3	Internal moisture		E3/AS1	
F1	Hazardous agents on site		N/A	
F2	Hazardous building materials		F2/AS1 GLAZING	
F3	Hazardous substances and processes		N/A	
F4	Safety from falling		N/A	
F5	Construction and demolition hazards		N/A	
F6	Lighting for emergency		N/A	
F7	Warning systems		F7/AS1 SMOKE ALARMS	
F8	Signs		N/A	
G1	Personal hygiene		G1/AS1	
G2	Laundrying		G2/AS1	
G3	Food prep. and prevention of contamination		G3/AS1	
G4	Ventilation		G4/AS1	
G5	Interior environment		N/A	
G6	Airborne and impact sound		N/A	
G7	Natural light		G7/AS1	
G8	Artificial light		N/A	
G9	Electricity		G9/AS1	
G10	Piped services		N/A	
G11	Gas as an energy source		N/A	
G12	Water supplies		G12/AS1	
G13	Foul water		G13/AS1 G13/AS2	
G14	Industrial liquid waste		N/A	
G15	Solid waste		N/A	
H1	Energy efficiency provisions		H1/AS1	

Additional Notes:

12. Does the **existing** accessway meet the accessway and construction standards shown in Figure A5.5 on page 8 and Figure A5.9 on page 9?

Yes ☐ No ☐ N/A ☐

Go to Q16 after completing question 12.

13. Will the accessway meet the minimum sight distances as shown in Table 2 below?

Yes ☐ (Go to Q16) No ☐ (Go to Q16)

**Table A5.2 – Minimum sight distances to accessways with less than 100 equivalent car movements per day**

Posted legal speed limit	Minimum sight distance (m):	
	Local roads	Collector roads
50	40	45
60	55	65
70	85	85
80	105	105
100	160	160

14. Will the activity require a new accessway to be formed? An accessway refers to the area between the existing road formation and the property boundary within the road reserve intended for use by vehicles accessing and departing the site.

Yes ☐ (Go to Q 16) No ☒ (Go to Q 15)

15. Does the existing accessway meet the construction standards shown in Figure A5.4 on page 7?

Yes ☒ No ☐

16. Is the proposed building located within the Hanmer Basin Management Area?

Yes ☐ (Go to Q 17) No ☒ (Sign the declaration on page 4)

17. Please provide details as to the exterior cladding to be used on the building.

Cladding materials \_\_\_\_\_

18. Provide details on the proposed colours of the walls, roof and trim quoting British Standard numbers.

Walls \_\_\_\_\_

Roof \_\_\_\_\_

Trim \_\_\_\_\_

CONTRACTOR TO VERIFY ALL DIMENSIONS PRIOR TO STARTING • ALL DIMENSIONS IN MM UNLESS STATED

NZ Building Code G7/AS1 Natural

Ventilation. Provide operable building elements (provision to be fixed in open position) of a net area of no less than 5% of the floor area.

NZ Building Code G7/AS1 Natural  
Light. A window area of no less than 10% of the floor area.

**Prime Building Compliance Limited**  
All construction work and materials used shall comply with the New Zealand Building Code, notwithstanding any inconsistencies which may occur in the drawings and specifications.

**Prime Building Compliance Limited**  
BUILDING PLAN APPROVED

Signed: 1. 9. 00

**Prime Building Compliance Limited**

HEATING UNIT and FLUE to be installed in strict accordance with the manufacturers instructions. UNIT and HEARTH shall be restrained in accordance with the Building Code, clause B1 and NZS 7421:1990. An INSPECTION is required PRIOR to lighting the fire.

BRACING / SETTING OUT

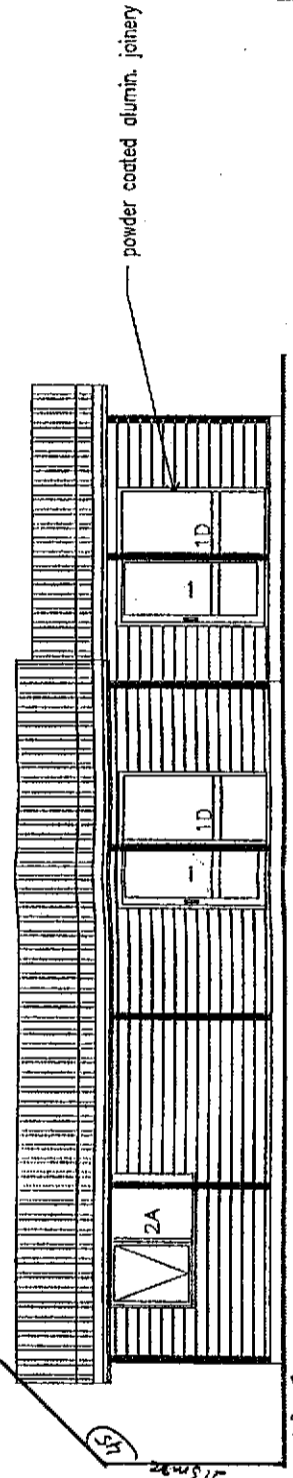
The proposed means of heating shall meet the National Environmental Standard:- being less than 1.5 grams particles/kg burnt and thermal efficiency 65% or greater.

ELEVATIONS

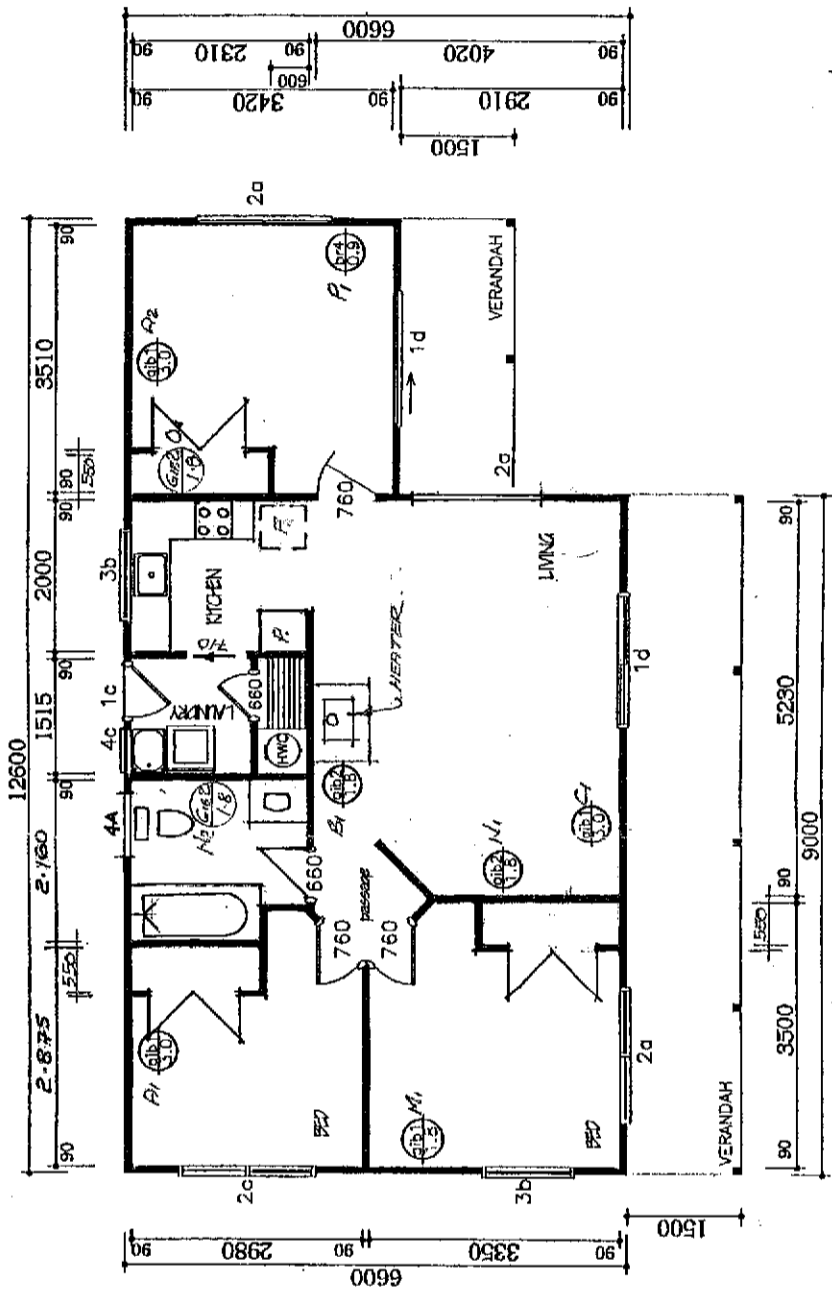
Notes: Construction to comply with NZS 3604 (1999) and the New Zealand Building Code 1992  
WINDOW SIZES INDICATE ROUGH OPENING

SCALE: 1:100  
DATE: SEP 99  
DRAWN: B.O'CONNOR  
PROJECT: 1209EA

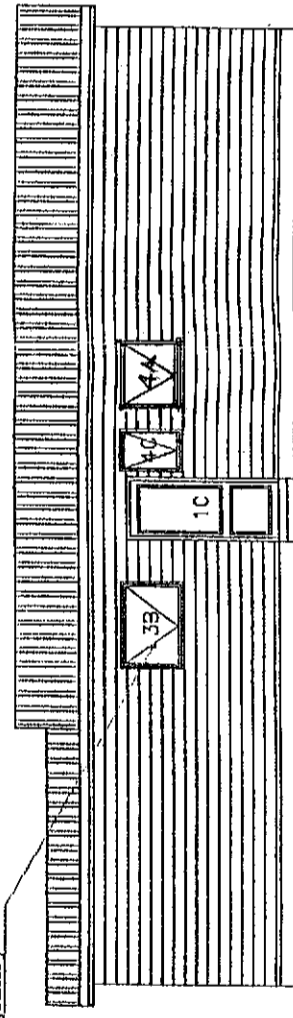
SHEET: 1 OF 2



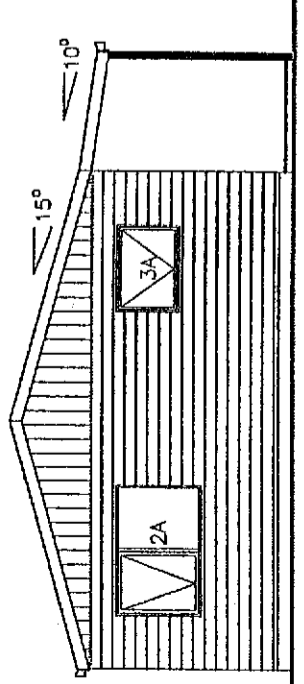
ELEVATION 1



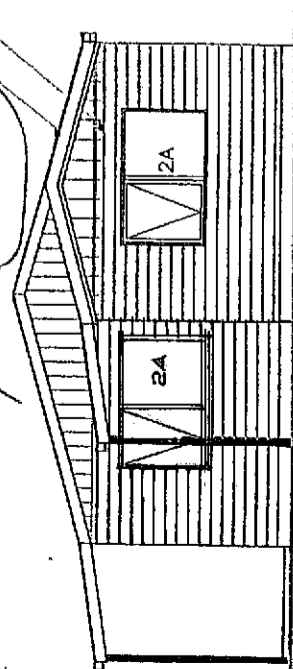
FLOOR PLAN



ELEVATION 3



ELEVATION 4



ELEVATION 2

BC1070554

NOTE: FINISHED FLOOR LEVEL TO BE 325 MM ABOVE ADJACENT GROUND.

**HURUNUI DISTRICT COUNCIL**  
Plans and specifications APPROVED  
In accordance with the Building Act 2004, clause 48(1) and the associated Building Regulations.

Signed:

**VERSATILE BUILDINGS**

HEAD OFFICE:  
112 WATERLOO ROAD  
PH: (03) 348-8704  
FAX: (03) 348-9083

PROJECT TITLE

DRAWING TITLE

**'Cottage Series' Crawford Extender: Plan A**

FLOOR AREA: 72.36m<sup>2</sup>

BAM 301

Denise Sutherland

070554

29 November, 2007

Gavin Rhodes  
Versatile Buildings  
Llmeside Rd  
Rangiora 7400

BC / 070554

Dear Gavin

**Proposal:** Erect Dwelling & carport  
**Site Address:** 57 Princes Street, Waikari  
**Building Consent No:** 070554

The above application has been checked, however the proposal must comply with the requirements of the New Zealand Building Code before Consent can be granted.

Therefore for a building consent to be granted we require the following further information:

1. Elevations for house and garage
2. Site coverage details – site plan does not show this.

Your application will be placed on hold until this information is provided. When the above requirements have been addressed appropriately, Council Officers will again consider approval of your application.

Please note that two copies are required of any additional documentation submitted. If you have any queries please do not hesitate to contact me.

Yours faithfully

  
Denise Sutherland  
Customer Service Building Officer



**COMPUTER FREEHOLD REGISTER  
UNDER LAND TRANSFER ACT 1952**



**Search Copy**

  
R.W. Muir  
Registrar-General  
of Land

**Identifier** CB10A/468  
**Land Registration District** Canterbury  
**Date Issued** 02 September 1970

**Prior References**  
CB773/80

---

**State** Fee Simple  
**Area** 1353 square metres more or less  
**Legal Description** Lot 3 Deposited Plan 17071  
**Proprietors**  
Leanne Gillard

---

**Interests**

7354725.3 Mortgage to Southland Building Society - 10.5.2007 at 11:57 am

Land Transfer Office

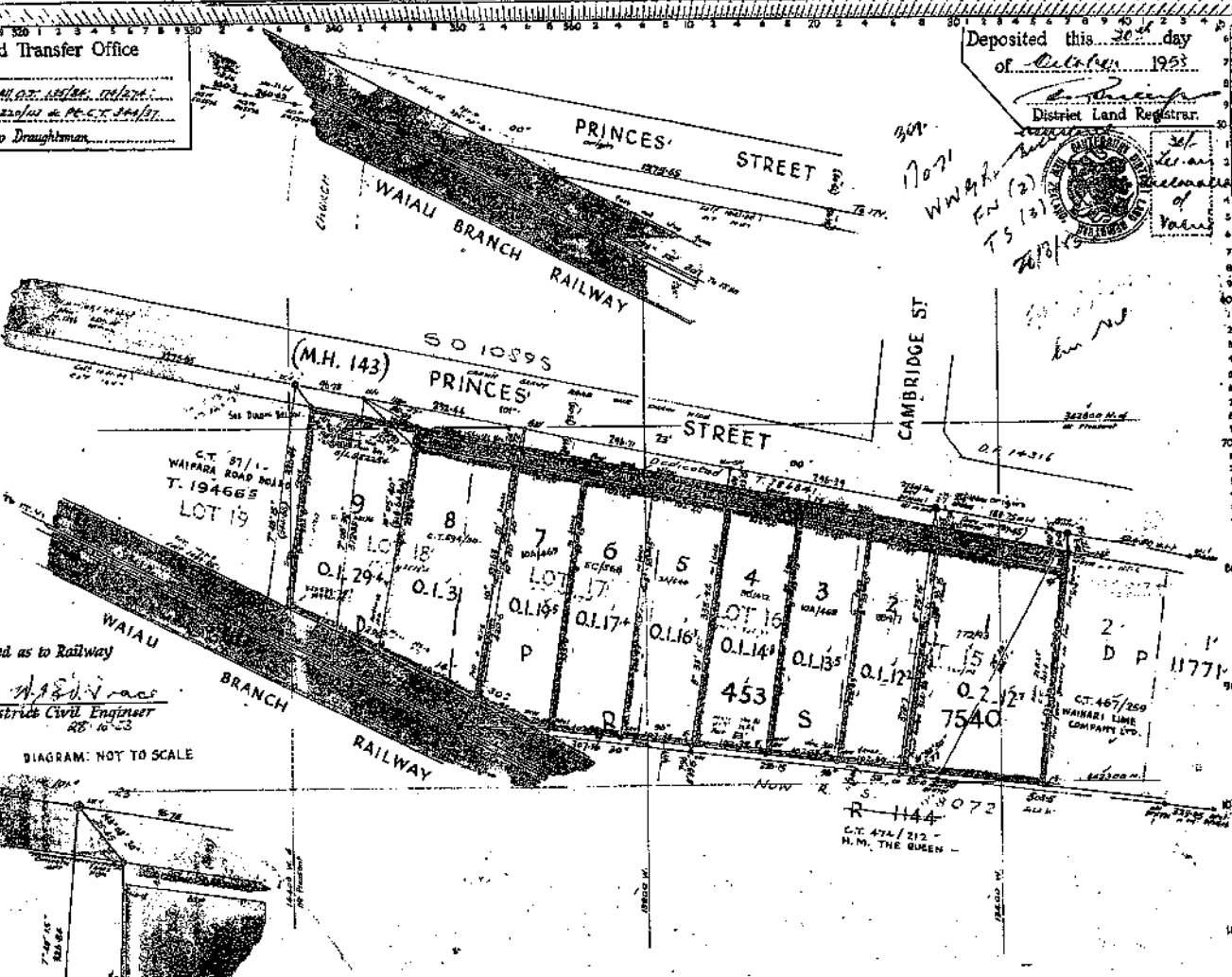
Received  
Title Ref. 11071  
220/103 & 135/84 & 174/274  
as Referred to Draughtsman

Deposited this 20th day  
of October 1953

District Land Registrar



11071  
WV 4/2  
EN (2)  
TS (13)  
7/13/53



Approved as to Railway  
Edys. W. J. J. J. J.  
District Civil Engineer  
28.10.53

DIAGRAM: NOT TO SCALE

PLAN OF SUBDN. OF LOTS 15, 16, 17 & 18 DP 453  
PART R S 7540

SCHEDULE OF AREAS		
WIDENING	A.	R.
AREA OF LOTS	3.2	066
TOTAL AREA	3.3	048

Approved as to Survey

Chief Surveyor  
29.10.1953

L.T. Draughtsman

Revised: 28.10.53

Reference plans: 11071, 135/84, 174/274

Field book: 135, p. 28-29

Traverse book: 135, p. 28-29

Examined by: 29.10.1953

Recorded: 29.10.1953

Correct: 29.10.1953

29.10.1953 L.T. Draughtsman

Scheme Plan 2543

Lot 9 subject to 25 link

Building line 382254

Surveyor's report on plan file

Comprised in C.I. 220/113, 174/274, 135/84 & 174/274

SURVEY DIST. 6 BLK. WAIPARA S.D. BLOCK XII

LAND DIST. CANTERBURY LOCAL BODY: WAIPARA COUNTY COUNCIL

Scale: 100 links to an inch Surveyed by J.K. Davis & Son Date: May 1953

I, J.K. Davis & Son, of Christchurch, Registered Surveyor and a holder of an annual practising certificate, do

solemnly and sincerely declare that this plan has been made from surveys executed by me; and that all plots and survey are correct, and have been made in accord

ance with the regulations under the Surveyors Act, 1928.

And I make this solemn declaration conscientiously believing the same to be true and by virtue of the Statutes of the said Act, 1928.

Declared at Christchurch this 10th day of August, 1953

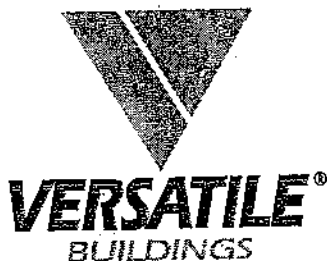
Before me -

J.K. Davis & Son  
Jointly of the District Surveyors, or Surveyors

Approved

J.M. Keppeler  
THE ENTRY OF THE LATE F. KEPPER  
Surveyor  
Applicant (or Registered Owner)

D. P 17071



Fuchsia Buildings Limited  
T/a Versatile Buildings North Canterbury  
635 Lineside Road, P O Box 734, Rangiora  
Phone: 03 313 4998 Fax: 03 313 4902  
Email: [rangiora@versatile.co.nz](mailto:rangiora@versatile.co.nz)  
Website: [www.versatile.co.nz](http://www.versatile.co.nz)

## Authorisation from the Owner Confirming Authority

Note: The agent/contact will be the first point of contact for communications with the council/building consent authority regarding the application/building work and will receive all correspondence including all invoices.

I: Name: Peter Hackett / Leanne Gillard  
Address: 57 Princess Street Waikei

Phone: 314 9366

Give Versatile Buildings North Canterbury authorisation to sign all consent papers etc.

Sign: [Signature]

Date: 6-11-07



Versatile Buildings  
57 Princes st Waikari  
Christchurch City Council - Cladding Risk Assessment Matrix

Hurunui District Council  
Building Act 2004  
BC / 070554

Plans and specifications approved  
in accordance with the Building Act 2004, clause 49(1) and the associated Building Regulations.

Wall Number	Risk Severity								Sub Totals for each risk factor
	Low	score	Medium	score	High	score	Very High	score	
Windzone (ExNZS3604)	0		0		1		2	0	1
Number of Storeys	0		1		2		4	0	0
Roof/Wall Junctions	0		1		3		5	0	2
Eave Width	0		1		2		5	1	2
Envelope Complexity	0		1		3		6	0	2
Decks	0		2		4		6	0	0
Total Risk Score									7

**HURUNUI DISTRICT COUNCIL**  
Plans and specifications APPROVED.  
In accordance with the Building Act 2004, clause 49(1) and the associated Building Regulations.

Signed .....

# GIB® Wall Bracing Calculation Sheet A

single storey

V85A

GIB® EzyBrace™

GIB® Bracing Systems, 2006

## Job Details

Name	versatile buildings	Cranford
Street and Number	57 princes st	
Lot and DP Number	Waikari	
City/Town/District	NORTH CANTERBURY	
Designer and date	Brendon Nott	5-Oct-07
Company Name	BNA ARCHITECTURE	

## Building Specification

Location of Storey	single	▼
Floor Loading	2 kPa	▼
Foundation Type	slab	▼
Building Height to Apex (m)	5	▼
Roof Height above Eaves (m)	2	▼
Stud Height (m)	3/2.4	▼
Cladding Weight (top or single)	light	▼
Cladding Weight (lower)	light	▼
Cladding Weight (subfloor)	light	▼
Roof Weight	light	▼
Roof Pitch (degrees)	0-25	▼
Room in Roof Space	no	▼
Building Length (m)	13	
Building Width (m)	7	
Gross Building Plan Area (m2)	91	

(Ph Gavin Rhodes for definite stud heights.)  
14/12/07 - 12.40pm

not applicable (single storey building)

not applicable (slab)

## Building Location

Wind Zone	High	✓
Region	R1	▼
Terrain	Inland	▼
Exposure	Exposed	▼
Topography	Moderate	▼
Earthquake Zone	A	▼

## Bracing Units required for Wind

per m	subfloor	walls
W along	n/a	64.73 BUs/m ✓
W across	n/a	54.63 BUs/m ✓
Totals	subfloor	walls
W along	n/a	54.73 BUs 44.8 ✓
W across	n/a	84.0 BUs 702 ✓

## Bracing Units required for Earthquake

per m2	subfloor	walls
E	n/a	3.6 BUs/m2 ✓
Totals	subfloor	walls
E along	n/a	328 BUs ✓
E across	n/a	328 BUs ✓

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**GIB® Bracing Systems, 2006**

*For full construction details see literature  
GIB® Bracing Systems, 2006*

Supplier	System	Minimum Length (m)	BUs W/m	BUs EQ/m
	none			
GIB®	GS1a	1.8	65	55
		2.4	75	65
GIB®	GS2	1.2	70	60
		1.8	80	70
		2.4	90	80
GIB®	BL1	0.4	120	115
		0.6	125	115
GIB®	BL1a	1.8	130	115
GIB®	BLP	0.6	145	135
		0.9	145	145
GIB®	BLG	0.6	145	130
		1.2	150	130
Custom	SP2	0.6	90	105
Custom	Custom			
Custom	Custom			
Custom	Custom			
Custom	Custom			
Custom	Custom			
Custom	Custom			
Custom	Custom			
Custom	Custom			
Custom	Custom			
Custom	Custom			

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**GIB® Wall Bracing Calculation Sheet B** single storey V85A

GIB® EzyBrace™

GIB® Bracing Systems, 2006

Along										
Wall or Bracing Line		Bracing Elements provided							Wind	Earthq.
1	2	3	4	5	7	8	6	9W	10EQ	
Line Label	Minimum BUs Req/Ach	Bracing Element No.	Supplier	Bracing Type	Element Length L (m)	Element Height H (m)	Angle to Bracing line (degrees)	BUs Achieved	BUs Achieved	
<b>A</b>	enter	1	GIB®	GS1a	3	2.4		225	195	
		2	GIB®	GS1a	3	2.4		225	195	
line totals		3								
W	450	4								
EQ	390	5								
<b>B</b>	enter	1	GIB®	GS2	1.8	2.4		144	126	
		2								
line totals		3	GIB®	BL1						
W	144	4								
EQ	126	5								
<b>C</b>	enter	1	GIB®	GS1a	1.8	2.4		117	99	
		2	GIB®	BL1	1.2	2.4		150	138	
line totals		3								
W	267	4								
EQ	237	5								
<b>D</b>	enter	1								
		2								
line totals		3								
W		4								
EQ		5								
<b>E</b>	enter	1								
		2								
line totals		3								
W		4								
EQ		5								
<b>F</b>	enter	1								
		2								
line totals		3								
W		4								
EQ		5								
<b>G</b>	enter	1								
		2								
line totals		3								
W		4								
EQ		5								
<b>H</b>	enter	1								
		2								
line totals		3								
W		4								
EQ		5								

								Wind	Earthq.
Totals Achieved								861	753
								OK	OK
Totals Required (from Sheet A)								511	328

4-4-8

**GIB® Bracing Systems, 2006**

*For full construction details see literature  
GIB® Bracing Systems, 2006*

Supplier	System	Minimum Length (m)	BUs W/m	BUs EQ/m
	none			
GIB®	GS1a	1.8	65	55
		2.4	75	65
GIB®	GS2	1.2	70	60
		1.8	80	70
		2.4	90	80
GIB®	BL1	0.4	120	115
		0.6	125	115
GIB®	BL1a	1.8	130	115
GIB®	BLP	0.6	145	135
		0.9	145	145
GIB®	BLG	0.6	145	130
		1.2	150	130
Custom	SP2	0.6	90	105
Custom	Custom			
Custom	Custom			
Custom	Custom			
Custom	Custom			
Custom	Custom			
Custom	Custom			
Custom	Custom			
Custom	Custom			
Custom	Custom			
Custom	Custom			
Custom	Custom			

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**GIB® Wall Bracing Calculation Sheet B** single storey V85A

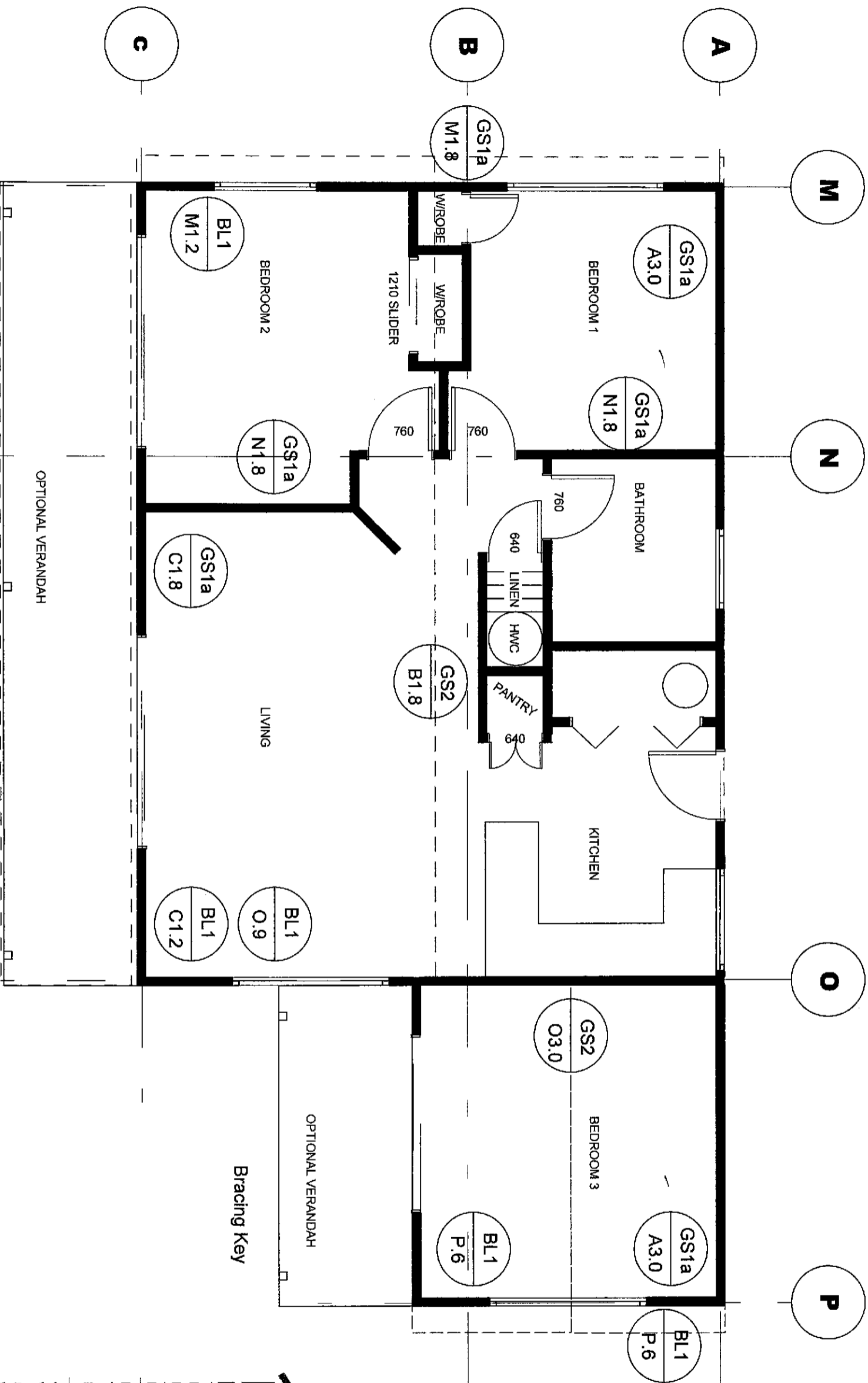
GIB® EzyBrace™

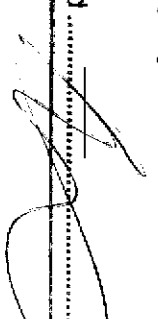
GIB® Bracing Systems, 2006

Across									
Wall or Bracing Line		Bracing Elements provided						Wind	Earthq.
1	2	3	4	5	7	8	6	9W	10EQ
Line Label	Minimum BUs Req/Ach	Bracing Element No.	Supplier	Bracing Type	Element Length L (m)	Element Height H (m)	Angle to Bracing line (degrees)	BUs Achieved	BUs Achieved
<b>M</b>	enter	1	GIB®	GS1a	1.8	2.4		117	99
		2							
line totals		3							
W	117	4							
EQ	99	5							
<b>N</b>	enter	1	GIB®	GS1a	1.8	2.4		117	99
		2	GIB®	GS1a	1.8	2.4		117	99
line totals		3							
W	234	4							
EQ	198	5							
<b>O</b>	enter	1	GIB®	GS2	3	2.4		270	240
		2	GIB®	BL1	0.9	2.4		113	104
line totals		3							
W	383	4							
EQ	344	5							
<b>P</b>	enter	1	GIB®	BL1	0.6	2.4		75	69
		2	GIB®	BL1	0.6	2.4		75	69
line totals		3							
W	150	4							
EQ	138	5							
<b>Q</b>	enter	1	GIB®	BL1					
		2							
line totals		3							
W		4							
EQ		5							
<b>R</b>	enter	1							
		2							
line totals		3							
W		4							
EQ		5							
<b>S</b>	enter	1							
		2							
line totals		3							
W		4							
EQ		5							
<b>T</b>	enter	1							
		2							
line totals		3							
W		4							
EQ		5							

							Wind	Earthq.
Totals Achieved							884	779
							OK	OK
Totals Required (from Sheet A)							840	328

702



**HURUNUI DISTRICT COUNCIL**  
Plans and specifications APPROVED  
in accordance with the Building Act  
2004, clause 49(1) and the associated  
Building Regulations.  
Signed 

**bna.**  
brendon nott architecture

Revision	Code	Date
Revision History		
brendon nott architecture		
The Gallery 105 Cashel street, Christchurch		
ph 03 9610209 mob 0273066084		

Job Title  
**Versatile Buildings**  
57 Princes St  
Walkan

Drawing Title

Crawford - Bracing Plan

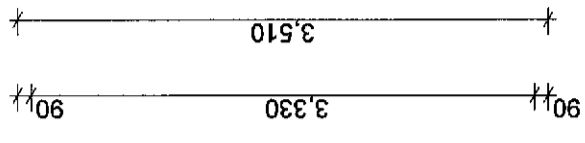
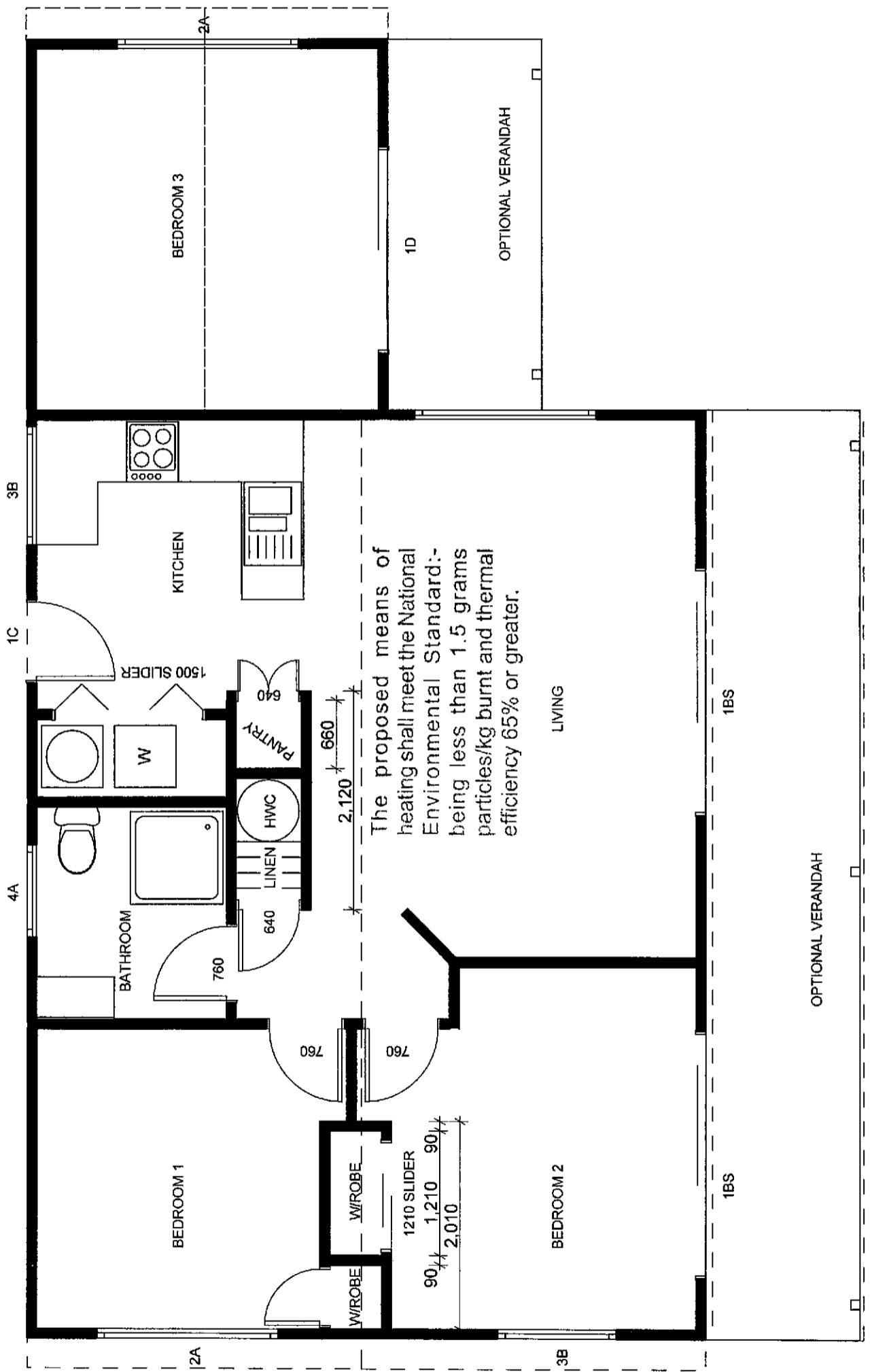
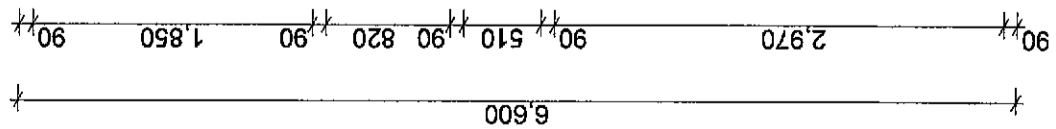
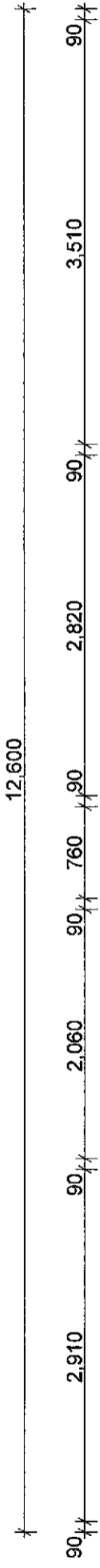
Drawing Status  
**Working Drawings**

Drawn by	Date	Checked by	Date
bdn	26/10/07	<bdn	26/10/07

Scales

Drawing Number  
**Sheet A02**

Status



**MURUNUI DISTRICT COUNCIL**  
Plans and specifications APPROVED.  
in accordance with the Building Act  
2004, clause 48(1) and the associated  
Building Regulations.

Signed *[Signature]*



Revision	Code	Date
Revision History		
Revision	Code	Date

brendon nott architecture  
The Gallery 105 Cashel street, Christchurch  
ph 03 9610209 mob 0273066084

Job Title  
**Versatile Buildings**  
57 Princes St  
Waikari

Drawing Title

Crawford - Floor Plan

Drawing Status  
**Working Drawings**

Drawn by	Date	Checked by	Date
bdn	26/10/07	<bdn	26/10/07

Scales

Drawing Number  
**Sheet A01**

Status

CONTRACTOR TO VERIFY ALL DIMENSIONS PRIOR TO STARTING • ALL DIMENSIONS IN MM UNLESS STATED

### Aluminium Window & Door Schedule for Versatile Homes Loadbearing Walls

#### Doors:

#### Lintels:

1A - 2010H x 1765W = 2x140x45  
1B - 2010H x 2365W = 1x190x45  
+ 1x140x45

1BS - 2010H x 2365W = 1x190x45  
+ 1x140x45

1C - 2010H x 865W = 2x90x45  
1D - 2010H x 1765W = 2x140x45  
1DS - 2010H x 1765W = 2x140x45

#### Windows:

1E - 1700H x 865W = 2x90x45  
1ES - 1700H x 865W = 2x90x45  
1F - 2010H x 565W = 1x90x45

2A - 1100H x 1765W = 2x140x45  
2B - 1100H x 1165W = 2x90x45  
2E - 1100H x 2365W = 1x190x45  
+ 1x140x45

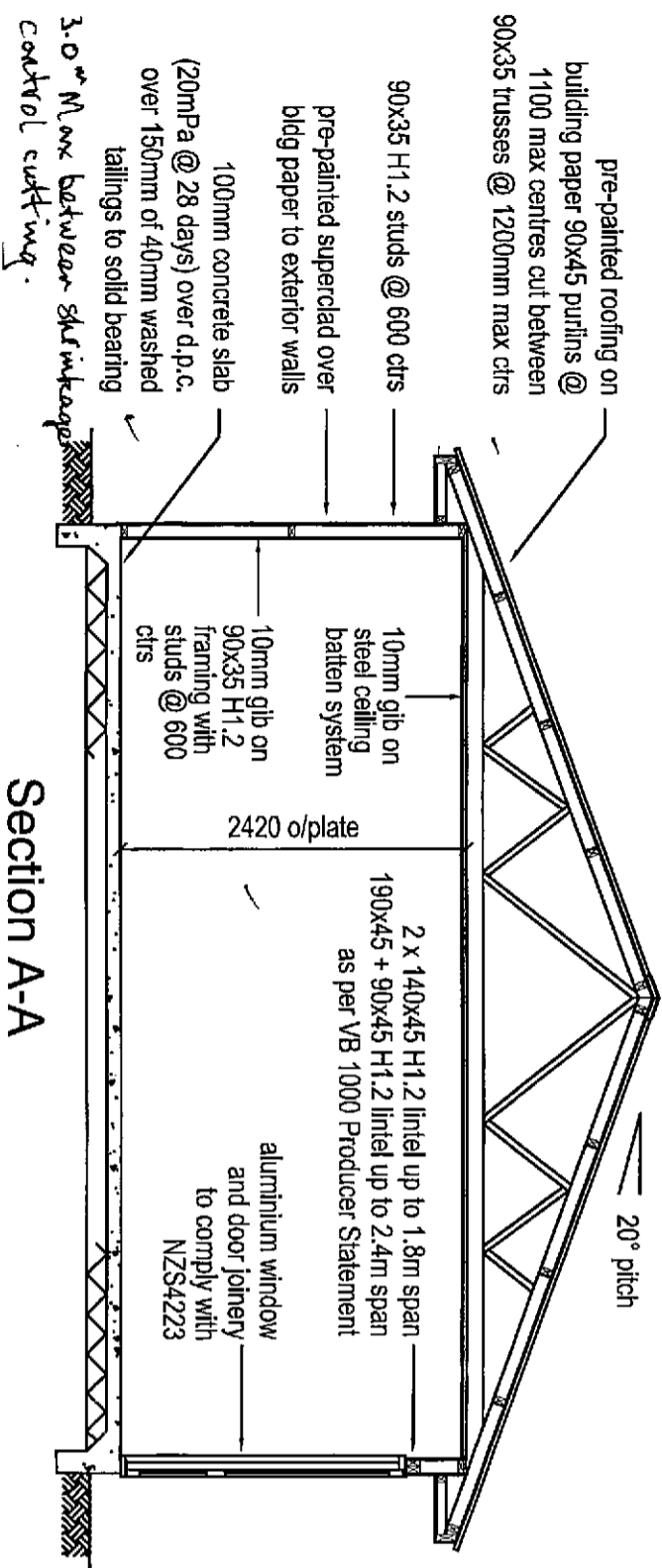
3A - 800H x 1765W = 2x140x45  
3B - 800H x 1165W = 2x90x45  
3C - 800H x 2365W = 1x190x45  
+ 1x140x45

4A - 800H x 865W = 2x90x45  
4C - 800H x 565W = 1x90x45  
5A - 500H x 1765W = 2x140x45  
5B - 500H x 1165W = 2x90x45



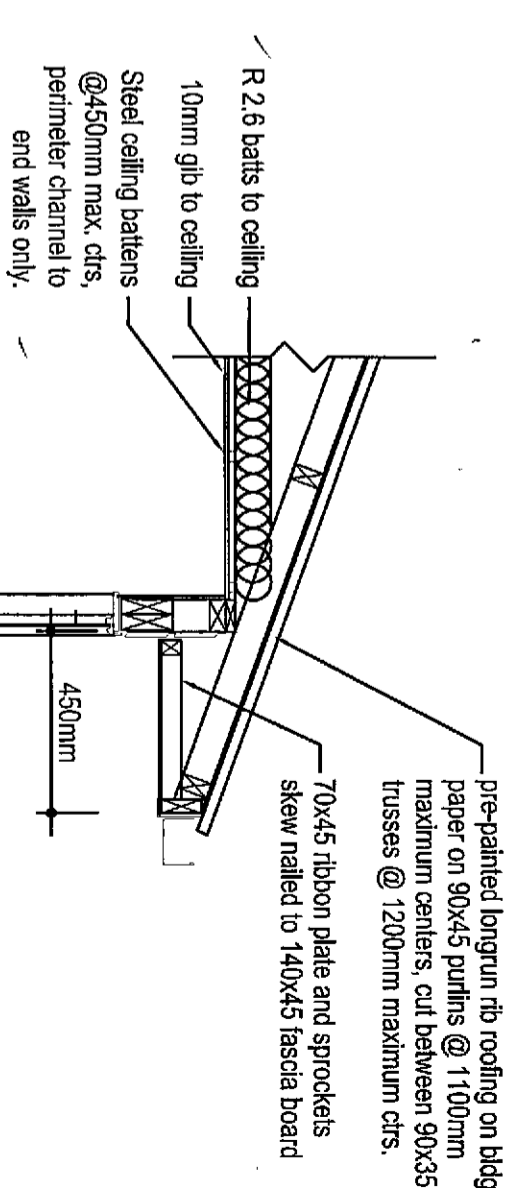
### Gable Soffit

Scale 1:20



### Section A-A

Scale 1:50



### Soffit Strip Section Detail

Scale 1:20

**REPORO DISTRICT COUNCIL**  
Plans and specifications APPROVED.  
In accordance with the Building Act  
2004, clause 49(1) and the associated  
Building Regulations.  
Signed .....

Note: Construction to comply with NZS 3604 (1999)  
and the New Zealand Building Code 2004

**VERSATILE**

PROJECT TITLE

Proposed home for:

Leanne Collett

DRAWING TITLE

Conc. floor - Superclad with Soffit  
20 roof pitch (S.I.)

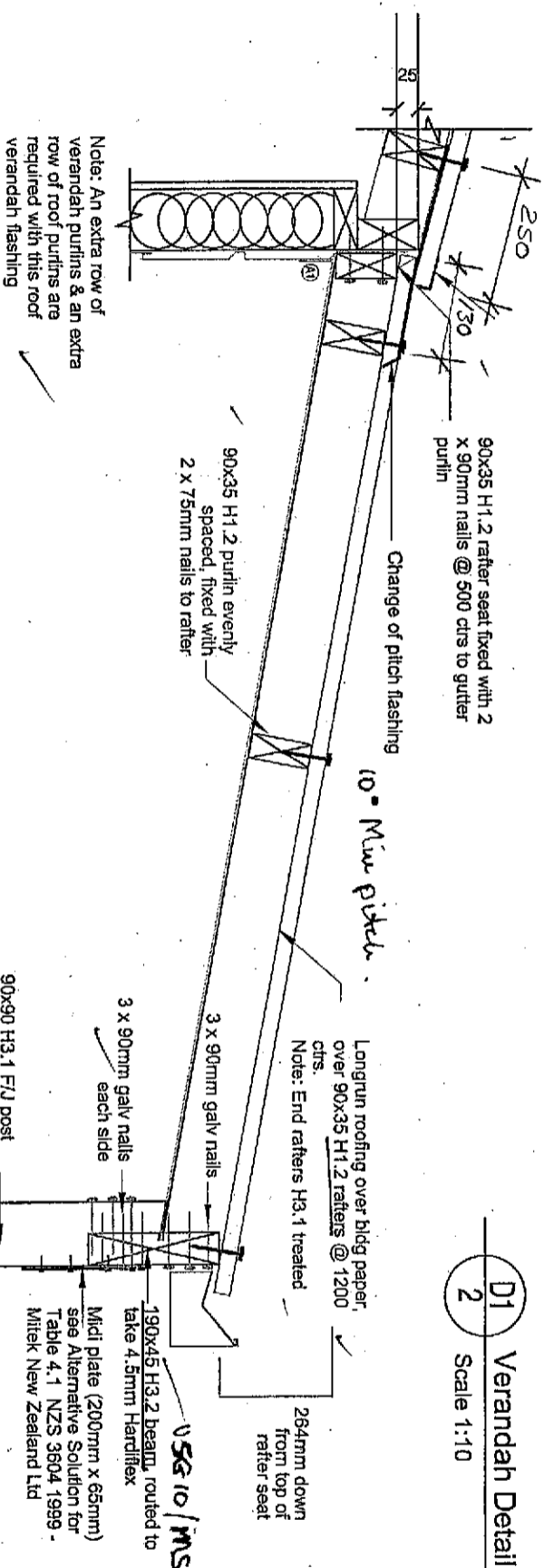
SCALE: DATE: Feb 07

DRAWN: FILE: 1202A

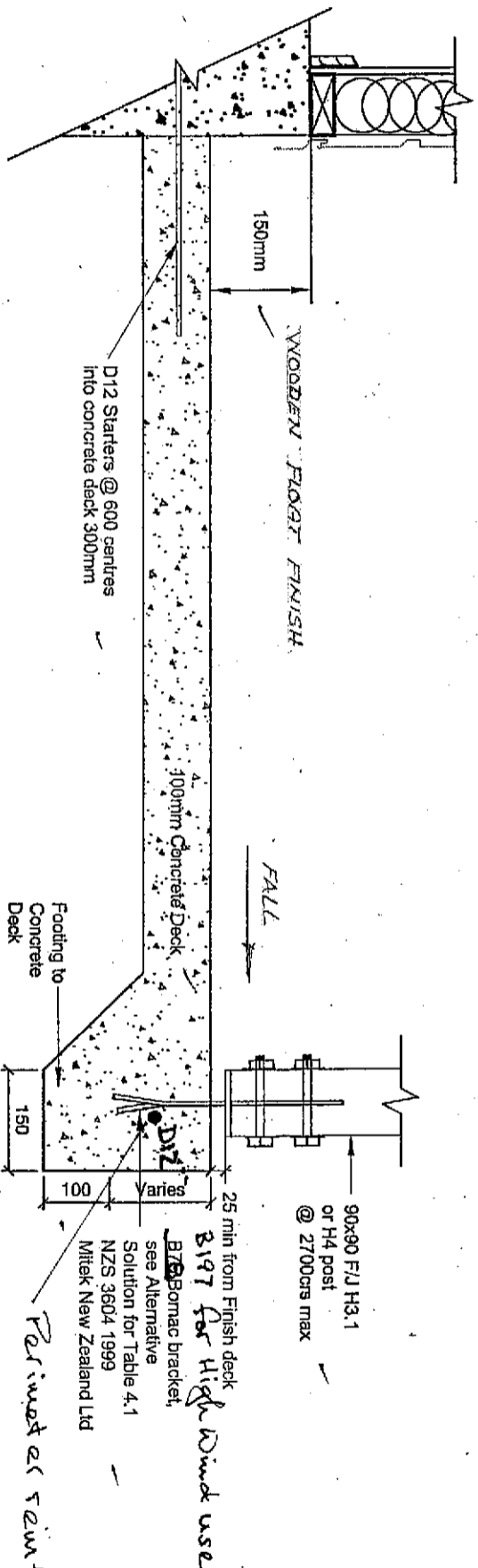
VBL

SHEET: 1

OF: 1



D1 Verandah Detail  
2 Scale 1:10



D12 Concrete Deck Detail  
2 Scale 1:10

**HURUMU DISTRICT COUNCIL**  
Plans and specifications APPROVED.  
In accordance with the Building Act 2004, clause 49(1) and the associated Building Regulations.  
Signed .....

Reinforcing required.

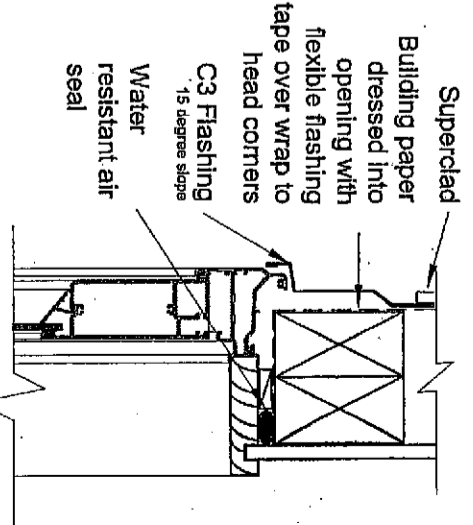
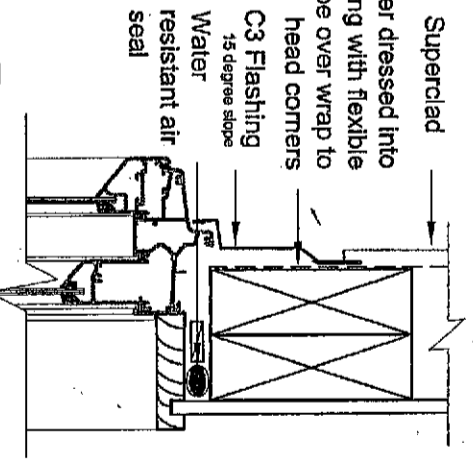
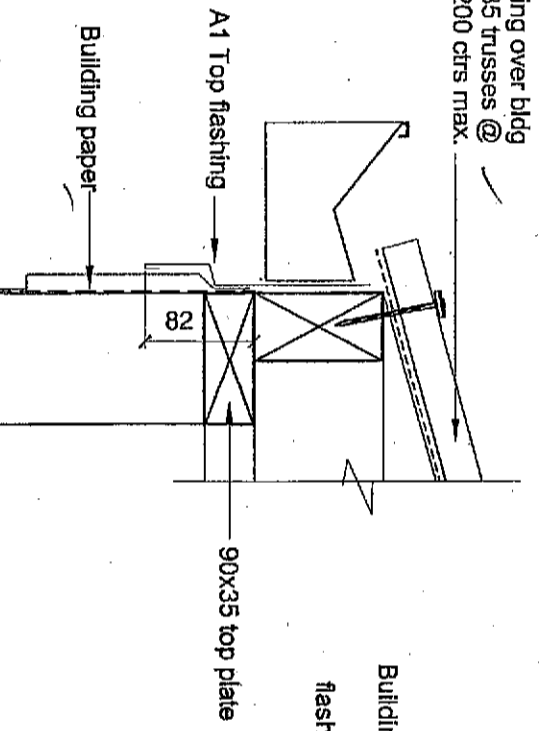
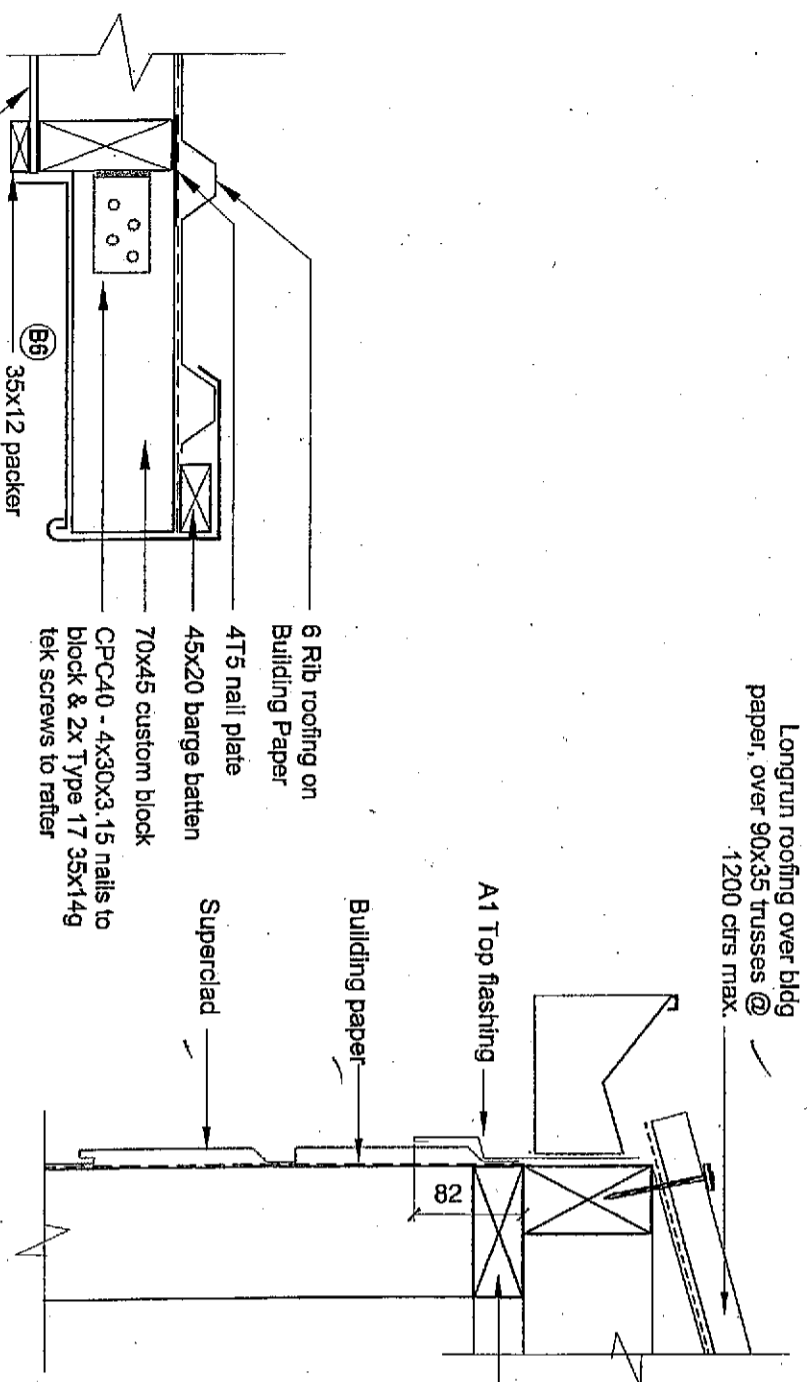
Note: Construction to comply with NZS 3604 (1999) and the New Zealand Building Code 2004



PROJECT TITLE Proposed home for:  
*Lecane College*

DRAWING TITLE  
**Versatile Details - Steel Cladding**

SCALE: 1:10 DATE: June 06  
DRAWN: VBL FILE: 2209B-E  
SHEET: 8 OF: 11

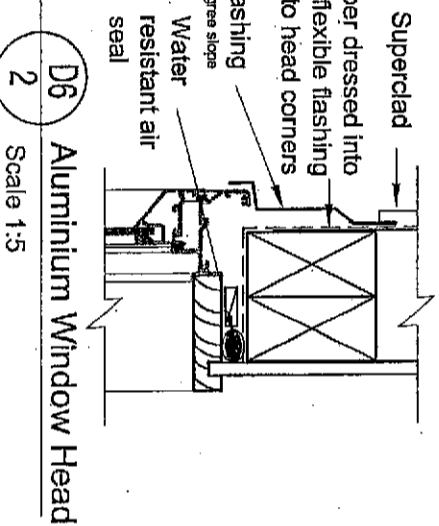


D2 Barge Detail  
2 Scale 1:5

D3 Aluminium Slider Head  
2 Scale 1:5

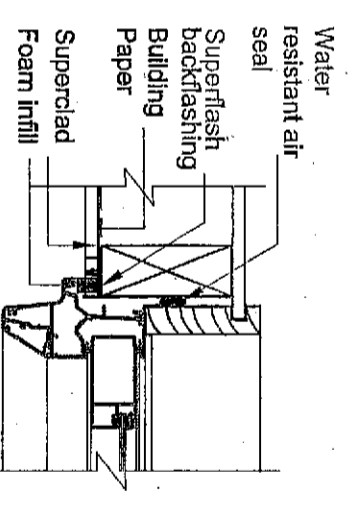
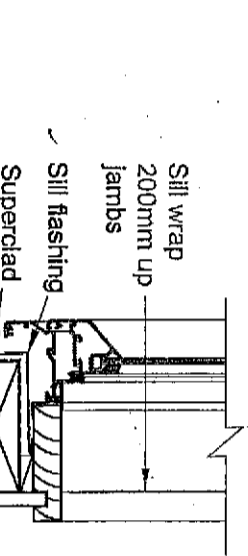
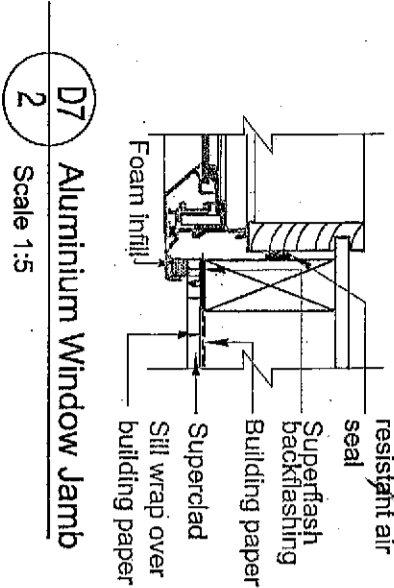
D9 Aluminium Door Head  
2 Scale 1:5

**HURUNUI DISTRICT COUNCIL**  
Plans and specifications APPROVED.  
In accordance with the Building Act 2004, clause 49(1) and the associated Building Regulations.  
Signed: [Signature]

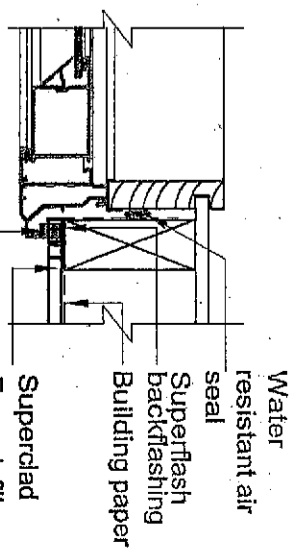


D5 Aluminium Slider Sill  
2 Scale 1:5

D10 Aluminium Door Sill  
2 Scale 1:5



D11 Aluminium Door Jamb  
2 Scale 1:5



D7 Aluminium Window Jamb  
2 Scale 1:5

D8 Aluminium Window Sill  
2 Scale 1:5

D4 Aluminium Slider Jamb  
2 Scale 1:5

PROJECT TITLE Proposed home for:

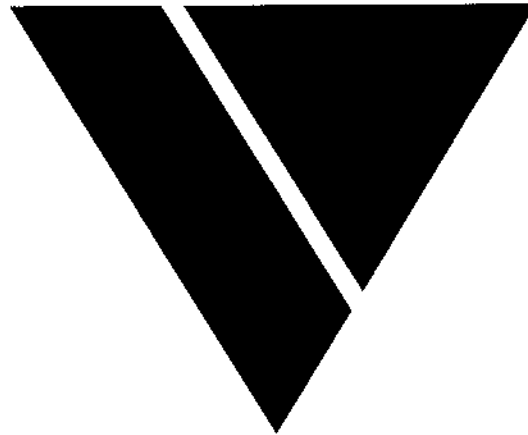
DRAWING TITLE



Versatile Details - Steel Cladding

Note: Construction to comply with NZS 3604 (1999) and the New Zealand Building Code 2004

SCALE: 1:5 DATE: June 06  
DRAWN: VBL FILE: 2209B-E  
SHEET: 10 OF: 11



# **VERSATILE<sup>®</sup>**

## **BUILDINGS**

### **Housing Specification**

#### **Concrete Floor with Superclad Cladding.**

<b><u>Contents.</u></b>	<b><u>Section.</u></b>	<b><u>Page</u></b>
Excavation	1	2
Concrete	2	3
Aluminium Joinery	4	4
Carpentry	5	4
Plumbing	6	10
Drainage	7	11
Electrical	8	13
Finishing.	9	14

# EXCAVATION

## SECTION 1

### 1. PRELIMINARY

1.1 Scope See Site Plan for extent of work

### 2. Clearing of Site

Remove all vegetation trees and roots within area to be covered by the building, verandah and porches in accordance with NZS 3604, Section 3.5.

### 3. EXCAVATION

#### 3.1 Concrete Floor

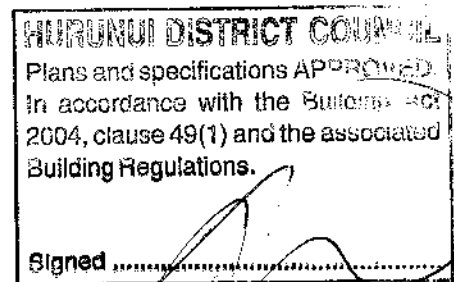
Excavate for foundations to a minimum depth of 300mm or to solid bearing. Excavate for verandah, porches and steps to depth shown on the drawings. A minimum 100mm depth of topsoil is to be excavated under all concrete floors. ✓

### 4. FILL UNDER CONCRETE FLOORS.

Approved hardfill to NZS 3604, section 7.5.3 shall be well compacted and leveled under all concrete floors and shall be a minimum thickness of 150mm. *20/40" washed Tailings.*

### 5. BACKFILLING

Backfill with excavated material, in 100mm compacted layers, to foundation walls, verandah piles and service trenches.



# CONCRETE

## SECTION 2

### 1. PRELIMINARY

#### 1.1 Standards

Workmanship and materials shall comply with NZS 3109 and NZS 3104.

#### 1.2 Inspection

At least 24 hours notice shall be given to the Territorial Authority before pouring, to allow for inspection of the excavation, formwork and reinforcing. No concrete shall be poured before approval.

### 2. MATERIALS

#### 2.1 Concrete

All concrete shall be Ordinary Grade 20 MPa, maximum aggregate size 19mm complying to NZS 3104.

#### 2.2 Reinforcing

Reinforcing shall be mild steel deformed bars lapped 40 rod diameters and tied with black annealed tie wires. Reinforcing bars shall comply with AS/NZS 4671, grade 300 deformed. Welded mesh to AS/NZS 4671.

### 3. FOUNDATION WALLS

Pour reinforced foundation footings and walls as detailed on the drawings and in accordance with NZS 3604. Allow to build in 40mm minimum P.V.C. power conduit. Allow to build in pipes etc as required by other trades.

### 4. CONCRETE FLOORS

Concrete floor shall be 100mm minimum thickness poured over 0.25mm polythene or "Moistop" vapour barrier. Vapour barriers shall be lapped 150mm at joints and sealed with pressure sensitive tape. Floor slab surface shall be smooth and level, free from ridges or hollows in accordance with NZS 3114.

Sawcut slabs as soon as practical after laying (generally within 24 hrs). Sawcuts to be 33% of slab depth or 30mm min.

### 5. VERANDAH

Verandah and porches shall be tied into the foundation with ~~600~~ <sup>6</sup>ties at 600 crs. Verandah and porches shall have falls away from the building and shall be finished with a wooden float. Form shrinkage control joints at 3.0m crs. Allow to build in verandah post brackets.

## **6. HOLD DOWN BOLTS**

Build in M12 galvanised bolts at 900mm max crs for bottom plate in accordance with NZS 3604, clause 6.11.9. ✓

# ***ALUMINIUM JOINERY***

## **SECTION 4**

### **1. PRELIMINARY**

#### **1.1 Scope**

Supply aluminium windows and doors of size shown on Elevations and Versatile standard window schedule.

#### **1.2 Standards**

All windows shall comply with NZS 4211 Performance of Windows, and NZS 3504 Aluminium Windows and the performance requirements of NZBC E2/VM1.

### **2. FINISH**

Aluminium shall be powder coated with paint grade timber reveals to NZS 3602.

### **3. GLAZING**

Glass as selected to NZS 4223, parts 1 and 3. Use safety glass in locations as stated in NZS 4223, part 3 as modified by F2/AS1, 1.0 Glazing. ✓

# ***CARPENTRY***

## **SECTION 5**

### **1. PRELIMINARY**

#### **1.1 Standards**

Workmanship and materials shall comply with NZS 3604, the NZBC and all relevant N.Z. Standards.

#### **1.2 Protection**

All finished or partly finished work shall be protected from surface injury or damage from exposure to the weather or any other cause.

### **2. MATERIALS**

#### **2.1 Timber**

All timber shall comply with N.Z.S. 3603, tables 1 to 3 and moisture content and treatment to NZS 3602, table 4. ✓

## 2.2 Fasteners

Nails, screws and other fixings shall be galvanised for exterior work or stainless steel where required by NZS 3604:1999. All fixings as per Versatile Buildings VB 1000 producer statement or NZS 3604.

For fixing type and quantity, see Versatile Buildings VB 1000 producer statement or NZS 3604

## 3. DAMP PROOF COURSE

Where timber is in contact with concrete the timber shall be separated from the concrete with "Cromford supercourse 500" hi-impact polyethylene d.p.c.

## 4. SCHEDULE OF TIMBERS

<u>Location</u>	<u>Timber</u>	<u>Grade</u>	<u>Treatment</u>
Wall framing	Pinus Radiata	MGP 10	H 1.2
Trusses	Pinus Radiata	MGP 10	Chem Free
Purlins	Pinus Radiata	MSG8	Chem Free
Verandah Beam	Pinus Radiata	No. 1	H 3.2
Verandah Posts	Pinus Radiata (laminated)	No. 1	H 3.1
Verandah Deck	Pinus Radiata	No. 1	H 3.2

## 5. WALL FRAMING

### 5.1 Exterior Framing

Shall be 90 x 35 MGP-10 studs at 600 crs with one row of dwangs equally spaced. Top and bottom plates shall be 90 x 35 MGP-10 with top plates joined over studs and at intersecting wall with nail plates. Fix bottom plates to concrete floors with bolts or dowels into slab (See section 2).

### 5.2 Internal Framing

Shall be 90 x 35 MGP-10 studs at 600 crs with one rows of dwangs equally spaced, In high wind areas 90 x 35 MGP-10 studs shall be at 600mm crs. Join top plates as for exterior framing. Bottom plates may be fixed to concrete floors with powder actuated fixings as "Ramset" or similar. Fix versatile stud savers at all internal corners.

### 5.3 Bracing

Shall be galvanised angle bracing or brace line Gibraltar board in accordance with the bracing schedule and to satisfy all requirements in the NZ3604. Fix bracing to manufacturers recommendations at the wall position shown on the bracing schedule and Versatile Buildings VB1000 Producer Statement.

## 6. ROOF FRAMING

### 6.1 Trusses

Trusses shall be spaced at 1200mm c/s and fabricated as shown on the drawing by registered truss manufacturer.

Fix trusses as detailed in Versatile Buildings VB1000 Producer Statement.

### 6.2 Purlins

Shall be 90 x 45 fixed with 3 x nails each end into top chords of trusses as per Versatile Buildings VB1000 Producer Statement.

### 6.3 Soffit (see elevations for extent of work)

Fix 75 x 50 or 75 x 40 sprockets to end of truss overhand to form soffits.  
Fix 140 x 45 fascia to end of truss overhang. Fix 4.75mm hardiflex Soffit.

### 6.4 Bracing

Shall be lumber lock galv steel strap brace (27 x 0.6mm) fixed in accordance with Versatile Buildings VB1000 Producer Statement. All other bracing in accordance with Winstones Wallboards Bracing handbook - *March 2006* except Versatile VF7 braces as per VB 1000.

### 6.5 Fascia

Shall be 0.35 BMT G250 coloured steel fixed with laps away from prevailing wind. Fix with galv. Clouts through top edge of fascia and through lip up into underside of soffit.

## 7. VERANDAH

Frame up verandah as shown on the drawings. Set 90 x 35 rafters into position at 1200 c/s max to verandah beam and verandah waling fixed over cladding on exterior wall framing. Rafters shall be set to 10 degrees pitch. Laminated posts shall be 90 x 90 at 2.5mm maximum c/s supported on galv post brackets embedded in 300 x 300 x 600 concrete footings as per VB1000 Producer Statement or directly into concrete edge beam of concrete deck. Rebate top of post round beam and fix with Lumberlok Midi 65/200 plate with 8 type 17 screws.

## 8. ROOFING

### 8.1 Building Paper

Lay building paper over superfilm lashing (lashing 450 c/s vertically and 300c c/s horizontally in the plane of the roof) or galvanised netting in accordance with NZBC E2/AS1 Clause 8.1.5. Building paper shall be breather type to NZS 2295 run parallel to ridge and lapped 150mm over lower sheet. Provide adequate lap of building paper into gutters.

### 8.2 Gutter

Versatile roll-formed 0.4mm BMT coloured steel gutters should be fixed prior to fixing of roof.

Fix end brackets 300mm from corners with four galv clouts into gutter purlin. Fix intermediate bracket at 900mm c/s maximum spacing. Fit pre-

fabricated ends to gutters, seal joints with RTV sealant and rivet fix. Cut hole for down pipe dropper. Rivet dropper and seal with R.T.V. Lap lengths of gutter to form joints with overlap running down the fall of the gutter. Seal between laps and rivet fix. Fix gutter roll to bracket ends then fold gutter up into position. Secure gutter by clipping bottom into bracket and front rolled edge over gutter bracket. Rivet through gutter roll into bracket.

### 8.3 Roofing Iron

- a) Material: Shall be Versatile "Six Rib: 0.4 B.M.T., G.550, ZM275 coloured steel longrun roofing fixed with 75mm spiral shanked nails with colour matched heads with neoprene seals.
- b) Installation: Lay sheets with laps away from the prevailing wind. Lap bottom edge of sheet 50mm over fascia.

Fix roofing through every rib to gutter purlin. Nail through sheet laps to every purlin. Fix each rib to each alternative purlin, except no two adjacent ribs (except laps) shall be nailed to the same purlin. All cutting of roofing shall be by shears or nibblers. Cutting discs will not be permitted.

Installers should wear clean soft soled shoes when walking on roof and should take all reasonable care to ensure the surface film of the roofing is not scratched. After completion of the roof wash down the entire surface with hose and soft bristled broom to remove all fixing debris and swarf. Ensure all fixing debris and swarf is washed out of gutters.

- c) Limitations and Maintenance: Versatile "Six Rib" coloured steel roofing will perform to the requirements of New Zealand Building Code, Clause B.2 Durability if installed and maintained as herein specified and in accordance with the recommendations of Versatile Buildings Ltd VB1000 Durability Statement.

### 8.4 Barges

Shall be 0.4mm roll formed coloured steel barges nailed through top face into each purlin with spiral shanked roof nails. Colour to match roofing iron.

### 8.5 Ridging

Shall be coloured steel alu-edged ridging with 100mm laps between sections. Lap lengths away from prevailing wind and fix with 75mm spiral shank roof nails through every roof rib into top purlin. Dress alu-edge down into tray of roofing. Colour to match roofing iron.

### 8.6 Ridge Caps

Fix coloured steel ridge caps by riveting to each end of ridge over barges and under ridging.

## 9. EXTERIOR WALL COVERINGS

### 9.1 Building Paper

**HURUNUI DISTRICT COUNCIL**  
Plans and specifications APPROVED.  
In accordance with the Building Act  
2004, clause 49(1) and the associated  
Building Regulations.

Signed .....

Cover all exterior wall framing with bituminous based building paper complying with NZBC E2/AS1 clause 9.1.7. Synthetic wraps shall not be used. Fix building paper horizontally with 75mm minimum laps that shed water. Securely fix to top and bottom plates and studs.

## 9.2 Superclad

### a) Standards.

Superclad metal weatherboards are an Alternative Solution under Clause E2 of the NZ Building Code.

### b) Material

Versatile "Superclad 300" shall be rollformed from 0.40mm BMT, G.250, ZM275 coloured steel with strippable film, colour Titania, Smooth Cream, Mist Green and Desert Sand.

### c) Installation

Fix pvc superflash to all window and door openings and corners, and to all cladding joints where shown on the drawings or worksheet in accordance with Versatile's instructions. Remove all strippable film from boards before fixing. Position top board and fix through top flange with 35 x 2.5 galv high tensile clouts at 600 crs. Nail through bottom flange of board into every stud and through middle flange at ends of boards only. The top board of Superclad shall be positioned so that the bottom of the board is 330mm below the top of the top plate.

Position next board by pushing top flange of board up into rebate of board above then nail fix through bottom flange into every stud and nail through middle flange, only at the end of each board. After fixing all cladding, clip in cap flashing to all jointers and rivet all corner flashings into position. If cutting of board is required use shears or a nibbler; cutting discs are not to be used.

### d) Limitation and Maintenance:

Versatile "Superclad 300" wall cladding will perform to requirements of the New Zealand Building Code Clause B.2. Durability, if installed and maintained as herein specified and in accordance with Versatile Buildings VB1000 producer statement. To ensure compliance the cladding and unwashed areas of the building such as under the gutters needs to be washed down using a hose and soft bristled broom. See producer statement for frequency.

## 10. INSULATION

### 10.1 General

Install insulation in accordance with NZBC acceptable solution H1/AS1

### 10.2 Foil Insulation

Drape double sided perforated aluminium foil over floor joists with 100mm dish at mid-span between joists. Tightly butt sisalation against blocking.

### 10.3 Ceiling Insulation

Insulate all interior roof cavity framing with R2.6 fibreglass batts minimum to form a complete insulated diaphragm.

#### 10.4 Wall Insulation

Insulate all exterior framing with friction fit R2.2 fibreglass batts to form a complete envelope.

### 11. INTERIOR LININGS

#### 11.1 General

All linings shall be carried to floor level and behind all fittings. The moisture content of the framing shall be as specified by the manufacturer before fixing any linings.

#### 11.2 Gibraltar Board

Line all walls and ceilings with 10mm Gibraltar board stopped to a level 4 paint grade finish.

Fix sheets to manufacturers recommendations with 30 x 2.5 Gib clouts or Gib screws just below the surface of the board (without rupturing the face paper or core). Fix ceiling sheets across ceiling battens in a staggered pattern. Fix wall sheets horizontally. Fix wall sheets to Versatile steel stud saver in internal corners and at junctions with other walls.

#### 11.3 Skirtings

Shall be customwood 40 x 10mm skirting to all wall and floor junctions including the inside of all built-in cupboards and wardrobes.

### 12. CUPBOARD AND FITTINGS

#### 12.1 Wardrobes

Shall be fully lined and stopped. Fit 20mm full length customwood or particle board shelf at 1.7m above floor, with 20mm galv-pipe hanging rail 75mm below shelf.

#### 12.2 Cylinder Cupboard

Fit four shelves beside cylinder as required. Each shelf to be ex 75 x 25 slats spaced 15mm apart.

#### 12.3 Kitchen cupboards

Supply and fit kitchen cupboards as shown on plan.

#### 12.4 Other Fittings.

See Schedule of Work, Fittings and Finishes document for other fittings

### 13. INTERIOR DOORS

Shall be paint grade flush panel hung on 1.5 prs of butts in rebated frames

# PLUMBING

## SECTION 6

### 1. PRELIMINARY

#### 1.1 Standards

All work shall comply with the NZBC clauses G.1 – G.4 and G.10- G.15. Acceptable solutions are as outlined in AS1.

All work shall be carried out by a tradesman registered under the Plumbers, Gasfitters and Drainlayers Act 1976.

### 2. MATERIALS

#### 2.1 Steel Tubing

Shall be galvanized M.S Class B, to comply with NZS/BS1387

#### 2.2 Copper Tubing

Shall be seamless cold drawn to comply with NZS 3501

#### 2.3 Plastic Pipe

- a) Polybutylene – Shall comply with AS 2642 Pts 1,2,3
- b) Up.v.c. – wastes, vents and soil pipes shall be rigid having solvent welded joints to comply with NZS 7641:1978 and NZS 7642:1971.
- c) Polypropylene – Traps shall be white polypropylene 'Dux' with screwed joints to NZS 7652
- d) Polyethylene – Water supply pipe to be h.d. polythene complete with Philmac or equal approved pipe fittings to NZS 7602

#### 2.4 Insulation

Sheath hot water pipework outside insulation envelope with cell foamed polymer lagging or hair felt lagging double lapped. - Lag cold where likelihood of freezing.

### 3. COLD WATER SUPPLY SERVICE

#### 3.1 Supply

From point of supply run 20mm polythene pipe 450mm min, underground to stop cock in toby box outside house foundation or in accessible wall panel in garage.

#### 3.2 Piping

All pipework shall comply with G.12/AS1, 5.0 Water Supply. Run 20mm pipe from entry point to stop cock at Nura supply tank in roof space or direct to hot water cylinder via stop cock, filter, pressure reducing valve, non return valve and final stop cock. Tee of supply pipe before supply tank or H.W.C. and run 20mm dia pipe with 15mm dia, branches and risers to sink, WHB, bath, shower, W.C. tub and hose taps.

#### 4. HOT WATER SERVICE

##### 4.1 Hot Water Cylinder

See Schedule of Work, Fittings and Finishes for size and type of HWC. Hot water cylinder shall be complete with element and thermostat and installed as NZBC G12/AS1, 6.10 Water heater installation. - *Seismic Restraint*

##### 4.2 Piping

From H.W.C., run 20mm dia supply pipe with 15mm branches or risers to sink W.H.B., bath, shower and tub. Fit tempering valve to comply to NZS 4617 to hot water supply pipework prior to all fittings. Set valve to 55°C in accordance with NZBC G.12 AS1 clause 4.13.2. ✓

#### 5. WASTE PIPES AND TRAPS

Install system to AS/NZS 3500, part 2. Provide all necessary traps, waste pipes, soil stacks, back vents and terminal vents. Adequately support all suspended wastes. ✓

#### 6. FLASHINGS

Flash all pipes that pass through the roof with Aquaseal pipe flashings bedded in R.T.V. sealant and rivetted to roofing. *EPDM flexible cone sleeve.*

#### 7. TAPS AND SANITARY FITTINGS

See Schedule of Work, Fittings and Finishes document for schedule of taps, sanitary fittings, shower and all bathroom hardware.

#### 8. DOWN PIPES

Supply and fit PVC downpipes to droppers in gutter. Fix each downpipe with two brackets per downpipe.

#### 9. TESTING

At completion of all work test all water supply pipework at maximum pressure available. Test all waste pipework (500 kPa).

Pressure Test Hot & Cold water supply lines to 1500 kPa before closing in.  
NZBC G12/AS1 Watertightness requirement.

### DRAINAGE

## SECTION 7

### 1. PRELIMINARY

#### 1.1 Standard

All work shall be to best trade practice and shall comply with NZBC Clauses G.1 – G.4 and G.10 – G.15. Acceptable solutions are as outlined in AS1.

All work shall be carried out under the supervision of someone registered under the Plumbers, Gasfitters and Drainlayers Act 1976. ✓

## 1.2 Scope

See Site plan for extent of work

## 1.3 P.C. Sum

A P.C. sum has been allowed for the sewer and stormwater installations.  
See Schedule of Work, Fittings and Finishes document.

# 2. MATERIALS

## 2.1 Pipes

UPVC pipes shall comply with NZS 7649, and 100 mm unglazed socket earthenware shall comply to NZS 3302 with rubber rings, class B to B.S. 2494.

## 2.2 Concrete

Shall be 17.5 MPa Ordinary Grade to NZS 3109

# 3. TRENCHES

Carry out work to AS/NZS 3500 Part 2 (sanitary plumbing and drainage) and AS/NZS Part 3 (stormwater drainage) as modified by NZBC B1/AS1, 6.0 Drains.

Neatly cut trenches, graded to falls and after approval, backfill and thoroughly consolidate. Spread surplus spoil where directed. Lay all drains on minimum 100mm of 20mm crushed metal.

At time of full water Test inspection, provide an accurate as laid drainage plan to Council Officer.

# 4. SEWER DRAINS

Provide all necessary bends junctions inspection fittings etc

Bed gullies in concrete and fit preformed concrete or plastic sumps complete with grate and cover.

Sumps shall be 100mm above existing ground level or 50mm above proposed concrete paving.

Finish all concrete to a dense smooth finish.

Connect to terminal vent and gully trap and run to approved connection

# 5. STORMWATER DRAINS

Provide all necessary bends, junctions, inspections fittings etc

Bed easy bends in concrete below downpipe entries. Fit grating and cover plate cut round downpipe.

Finish bends as specified for gullies

Connect to stormwater drain, side channel or soakpit as shown on the site plan.

# **ELECTRICAL**

## **SECTION 8**

### **1. PRELIMINARY**

#### **1.1 Standards**

The whole of the electrical installation shall be in strict accordance with the Electricity Regulations 1997, AS/NZS 3000 and with the utility network operators requirements. ✓

#### **1.2 Qualifications.**

All work shall be carried out by or directly supervised by a person holding a practicing certificate under the Electrical Regulations 1997.

#### **1.3 Scope**

The supply and wiring up of all fittings as scheduled. For extent of work see Schedule of Work, Fittings and Finishes document and if PC Sum is allowed for a mains connection and connection fee. For Telecom connection see Schedule of Work, Fittings and Finishes document.

#### **1.4 Compliance.**

Supply a Certificate of Compliance to the Owner as required under the Electricity Regulations 1997.

### **2. MATERIALS**

#### **2.1 Cables**

Cables and flexibles shall be 250v grade T.P.S. to comply with NZS 6401

#### **2.2 Light Switches**

Shall be 10amp, all insulated P.D.L. micro-gap type or equivalent, mounted 1200mm above floor. Supply and wire up light switches as plans.

#### **2.3 Power Points**

All wall plugs shall be 230v 10 amp 3 pin flush type mounted 300mm above floor or 225mm above bench tops. Mount plugs for washing machine and refrigerator 1200mm above floor. Supply and wire up power points and Telecom telephone jack points as plans.

Provide and wire up two exterior lights as per attached plans.

#### **2.4 Fixed Heating outlet**

Provide and wire up a minimum 3kw fixed heating outlet if allowed for in Schedule of Work, Fittings and Finishes document. ✓

### **3. MAIN SWITCHBOARD**

Supply and install in recess provided where shown on plans main switchboard complete with all necessary control and ancillary equipment.

#### 4. METER BOX

##### 4.1 Meter Box

Shall be installed in exterior wall to clients requirements. 40mm dia.  
Conduit will be run through framing to outside foundation for mains supply cable. (Conduit by others, See Concrete)

#### 5. WATER HEATER

Allow to connect up hot water cylinder to adjacent switched 16 amp permanent connection.

#### 6. ELECTRIC STOVE

See Schedule of Work, Fittings and Finishes for type of electric stove.  
Provide and fix a 30 amp flush switch for stove and sufficient cable for connection. Allow to connect up.

#### 7. DOUBLE GARAGE

Provide plugs, switches and lights to double garage

#### 8. SMOKE ALARM.

Fit Fire Service approved smoke alarm within 3m of bedroom doors <sup>and exit ways</sup> as per clause F7, Warning Systems of the NZ Building Code.

### FINISHING

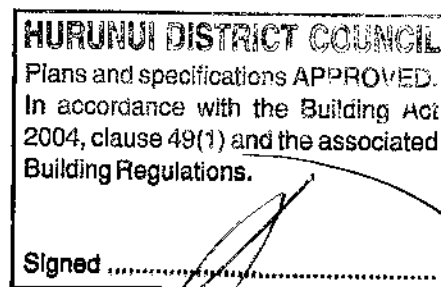
#### SECTION 9

##### 1. PAINTING AND DECORATING

For extent of work see Schedule of Work, Fittings and Finishes document.  
All painting work included in the contract shall be carried out by an experienced tradesman. The minimum number of coats to all interior walls and ceilings, except wet areas shall be one sealer coat and two top coats of acrylic. For wet areas minimum shall be two undercoats and one finish coat of enamel. For exterior work the minimum will be one undercoat and two top coats if using acrylic or two undercoats and one finish coat if using gloss enamel.

##### 2. CARPET AND VINYL

For extent of work see Schedule of Work, Fittings and Finishes document.  
All floor coverings to wet areas to comply with NZS4102



Document ID: 070554  
Date: 10/01/07

BC / 070554

Document ID: 070554  
Date: 10/01/07

# VB1000

S T R U C T U R A L D E T A I L S

*Habitable* (Class IV)



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Dean Murphy  
(03) 3491260

# VB1000

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## CONTENTS

SECTION 1	SPECIFICATION DETAILS
SECTION 2	WALL FRAMING DETAILS
SECTION 3	ROOF FRAMING DETAILS
SECTION 4	HARDWARE FIXING DETAILS
SECTION 5	WALL BRACING DETAILS
SECTION 6	VERANDAHS & DECKS DETAILS
SECTION 7	GARAPORTS DETAILS



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# PRODUCER VB1000 STATEMENT DESIGN

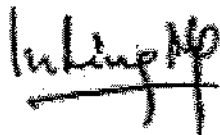
MiTek New Zealand Ltd has been engaged by Versatile Buildings Limited to provide engineering design services in respect of the requirements of clause(s) B1 of the building regulations 1992 for that part of the building work as specified. The design has been prepared in accordance with NZS4203, NZS3603 & NZS3604, approved documents of the NZ Building Code and the work as described on the MiTek New Zealand drawings titled VB1000, numbered pages 1 to 13.

As an independent design professional covered by a current policy of Professional Indemnity Insurance to a minimum value of \$200,000 I believe on reasonable grounds that subject to:

1. The verification of the design assumptions within the VB1000 documentation.
2. All proprietary products meeting the performance specification requirements.

the drawings, specifications and other documents according to which the building is proposed to be constructed, comply with the relevant provisions of the building code.

For and on behalf of MiTek New Zealand Ltd



In Ling Ng  
B.E. (Hons) MIPENZ (Structural)  
CPEng, IntPE  
Member ID 146585  
for MiTek New Zealand Ltd.  
20 Kotzikas Place  
Christchurch  
New Zealand

1st June 2007



**MiTek New Zealand Ltd.**

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Anthony 03 3488691

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# MANUFACTURERS VB1000 STATEMENT DURABILITY



To satisfy the requirements of Clause B2: "Durability" of the New Zealand Building Code, the metal cladding material needs to meet a 15-year durability life. To achieve that, the following provisions must apply:

## Range of Product and Use.

Specification:	AS1397: 2001
Coating Type:	Zinc/Aluminium & painted
Steel thickness range:	0.35mm – 0.95mm BMT
Steel grade range:	G300 – G550
Application:	Standard Versatile Walls on Class IV Building category as per NZS4203:1992
Fasteners:	Heavy Zinc or Zinc-tin coated clouts to comply with AS3566.2-2002 Classes 3 & 4. Aluminium rivets for all steel components. IFI114:1986

## Requirements, Limitations and Exclusions.

- Applicable to buildings in Sea-Spray zone and Exposure zones 1, 2, 3 & 4 in accordance with Clause 4, Durability, NZS 3604:1999 which is an acceptable solution under clause B2 of the NZBC.
- Fixing and installation of the cladding must be done exactly in accordance with Versatile Buildings Specifications.
- Normal and regular maintenance must be carried out on the exterior surface of the cladding and the following guide must be followed to ensure the durability requirements are met.

## Regular Maintenance.

**Exposure zones 1, 2, 3 & 4. (All areas other than Sea Spray zones – see below)**

- Rain washing only required on exposed sections, sheltered or protected areas such as under spouting, top cladding boards and tops of doors require washing every 3 months.

**Sea Spray zones (Within 500m from the sea or 100m from sheltered harbours or inlets) and areas of Geothermal Activity.**

- Rain-washing only required on exposed areas. Sheltered and protected areas such as under spouting, top cladding boards and tops of doors require washing down every month

and whenever corrosive salts are present.

## Extended Maintenance, Painting or Repainting.

### • Extended Durability

Once the metallic coating or the paint system has weathered away, signs of red rust for bare material or signs of the metallic coating for painted material, painting of the entire surface is required to extend the life of the cladding product. Paint manufacturer's recommendations are to be followed for surface preparation and paint type to be used.

### • Evident Corrosion

Areas that show signs of white or red rust/corrosion (typically in unwashed areas) require cleaning back with a stiff brush and cleaner to remove all dust, surface contaminants and corrosion products and present a sound substrate for painting. Priming of the surface and application of two coats of paint as per the Paint Manufacturer's recommendations is then required.

Particular attention needs to be paid to laps (side, end, flashing etc) where earlier corrosion may start due to moisture and dirt entrapment.

If evident corrosion is not treated quickly rapid deterioration of the sheet may occur which could result in perforation. At this stage replacement of the affected sheet is the best option.

## References.

1. NZS 3604:1999, Clause 4, Durability.
2. Versatile Buildings Assembly Instructions
3. New Zealand Building Code 1992

*Jeffrey Geayley*

Jeffrey Geayley  
for Versatile Buildings Ltd  
112 Waterloo Road, Christchurch  
New Zealand  
Dated: 1st March 2007

# WALL FRAME VB1000 DETAIL

## STUD DESIGN TABLE

Wind Load	Max Wall Height (mm)	Stud Cts (mm)	Min Size & Grade
Low/Med/High/V High	2.7	600	90X35 MGP10 or MSG10 ✓
Low/Med/High	3.0	600	90X35 MGP10 or MSG10
Very High	3.0	300	90X35 MGP10 or MSG10

## TIMBER GRADE & DESIGN

- Top plates, bottom plates & studs are to be constructed in 90 x 35 minimum grade to be MGP10 or MSG10 in all situations described in the tables shown above.
- All other wall framing members not specified can be non structural grade.
- All purlins and stiffening added to the lintels to be minimum 90x45 MSG8 grade. ✓

## TIMBER TREATMENT

- Treated timber is to be used in the construction of the building as defined by the frame and truss requirements in NZS3602:2003. All treated timber is to meet the required standards.
- Minimum H1.2 timber treatment is to be used in all wall framing which are enclosed with GIB board lining. ✓
- Treatment of Verandah & Deck construction refer to page 12 of this publication.
- Trusses including Gable Ends can be untreated.



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# DESIGN VB1000 INFORMATION

## DESIGN SCOPE

The VB1000 design series covers the structural requirements for the purlin fixing, truss fixing, truss design, truss bracing, lintels, verandah / decks & garaports. All other structural requirements are as per NZS3604:1999

## BUILDING ERECTION

Proper bracing must be installed to hold the components true and plumb and in a safe condition until permanent bracing is fixed. All permanent bracing and fixings must be installed before applying any loads.

## DESIGN REFERENCES

NZS3603:1993	NZS3604:1999
NZS4203:1992	AS1649:2001
NZS3602:2003	

## TRUSS JOINTS

GANG-NAIL plates are to be pressed into both sides at each joint by a licensed GANG-NAIL Fabricator

## LOAD DETAILS

These drawings have been prepared using the above design loads.

It is the responsibility of the user to ensure that the design data and loads are still correct at the time of construction.

## DESIGN LOADS

### Dead loads for Light Roof -

Top Chord = 0.15kPa (includes weight of trusses, purlins, associated framing and zincalume roof).

Bottom Chord = 0.2 kPa for trusses @ 900 or 1200 crs with ceiling.

### Live loads -

1.0kN concentrated load, 0.25kPa uniform load on roof section & 2.0kPa uniform load for decks.

### Wind loads -

All buildings designed for UP TO VERY HIGH wind conditions as defined by NZS3604:1999.

### Seismic loads -

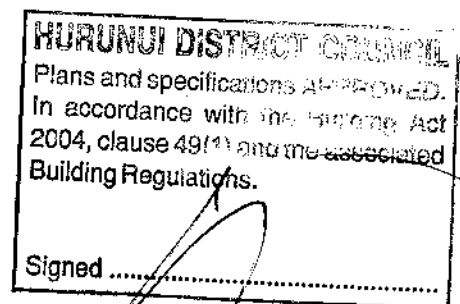
Seismic zones A, B or C.

### Snow loads -

Buildings designed for up to 1.00kPa snow load as shown on the attached selection chart.

Refer to MiTek New Zealand Limited for any design modifications required for increase in snow loads or wind loads above those stated on the drawings.

Buildings designed for class IV category as NZS4203:1992 Table 2.3.1



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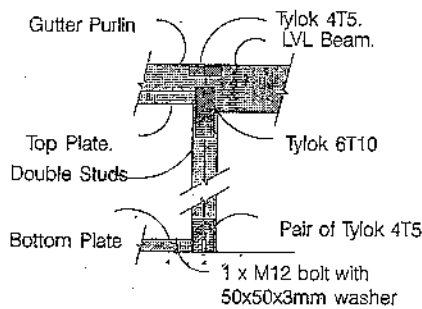
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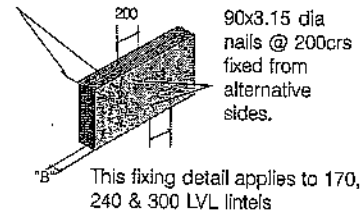
# **INTEL** **VB1000** **SELECTION**

## **LVL BEAM CONNECTION**



## **INTEL NAILING DETAILS**

90x3.15 dia nails driven  
alternative sides

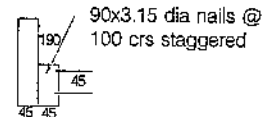


## **SIDE WALL ALUMINIUM JOINERY**

2.4m Stud Height

(Building width up to 12.0m ref. to NZS 3604:1999)

Lintel with plate



Opening Width	Build Width	Lintel Size
865mm Clear Span	Up to 9.0m	2 x 90 x 45
1165mm Clear Span	Up to 9.0m	2 x 90 x 45
1765mm Clear Span	Up to 9.0m	2 x 140 x 45
2365mm Clear Span	Up to 9.0m	190 x 45 + 90 x 45

## **SIDE ENTRY DOORS**

### **2.7m Wide Opening**

Build Width / Clear Span	Low/Med/High &/or 0.5kPa Snow load	Very High or 1.0 kPa Snow load
	Lintel Size	Lintel Size
Up to 6.0 m	170 x 45 LVL	2 x 170 x 45 LVL
Over 6.0 m to 12.0 m	2 x 170 x 45 LVL	2 x 170 x 45 LVL

### **3.0m - 4.5m Wide Opening**

Up to 6.0 m	240 x 45 LVL	2 x 240 x 45 LVL
Over 6.0 m to 12.0 m	2 x 240 x 45 LVL	2 x 240 x 45 LVL

### **4.8m Wide Opening**

Up to 12.0 m	2 x 300 x 45 LVL	2 x 300 x 45 LVL
--------------	------------------	------------------



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# SPAN AND LOAD DETAILS

## LOAD CHART

Live Load = 0.25 kPa (Distr)  
1.0 kN (Conc)  
Dead Load = 0.15 kPa (Top Chord)  
0.20 kPa (Bottom Chord)

Wind Load  $C_{pi}$  = 0.50 max  
 $C_{pe}$  = 0.80 max  
Purlin Spacing = 1000 max

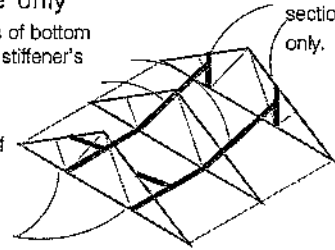
## TRUSS STIFFENER POSITION

Diagram indicative only

2 rows of bottom  
chord stiffener's

2 Vertical stiffener's on  
sectional & roller doors  
only.

For the number of rows of  
bottom chord stiffener's  
refer to truss details.  
Note: Some buildings do  
not require bottom chord  
stiffener's.



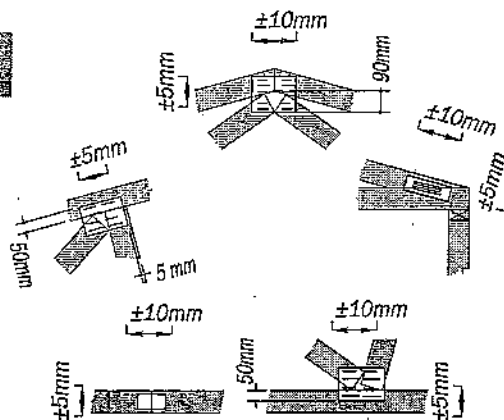
## SPAN CHART

Truss Centres	Wind Load	Ground Snow Load (kPa)
1200 max	Very High	1.0
900 max	Very High	1.2

## CONSTRUCTION TOLERANCES

### NOTE:

Nail plates are to be fully pressed home on  
both sides of joints.  
The nail plate axis must be located in the  
specified or indicated direction.



Typical positioning tolerances for nail plates.

### NOTE

1. Truss top chord pitch range is 15°, 20°, 25°, 30°
2. ● Indicates location of bottom chord brace, (truss stiffener/ridge brace).
3. ↑10 Indicates the truss camber (typical).
4. All truss plates are GANG-NAIL® GN10 type.
5. For truss spans 2.4m - 9.0m all top & bottom chords are to be MGP10 or MSG10 90x35 Radiata Pine.  
For truss spans 9.6 - 12.0m all top & bottom chords are to be LVL 10 90x45 Radiata Pine.
6. All webs are to be a min. MGP6 or MSG8 - 70x35 radiata pine.



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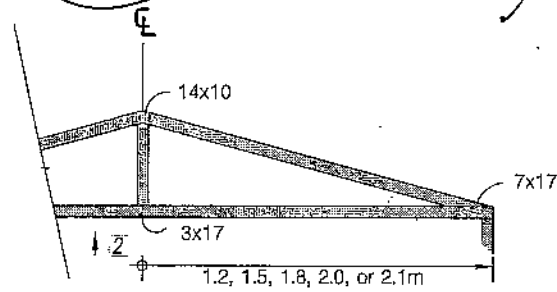
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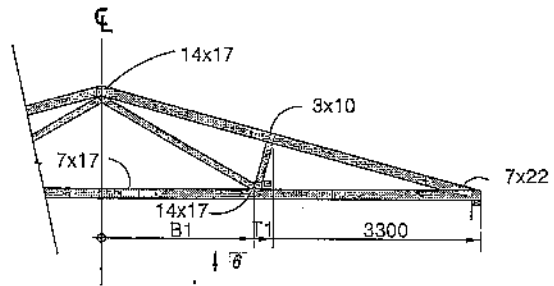
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# TRUSS VB1000 DETAILS

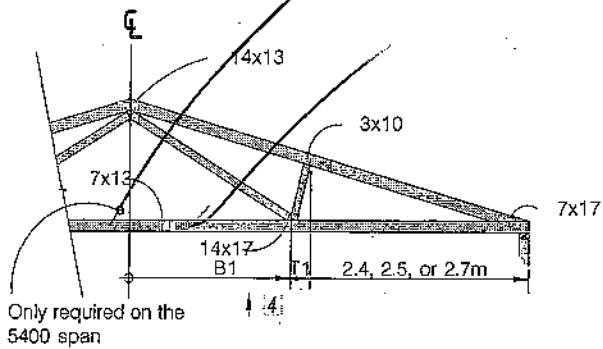
2,400 - 4,200 SPANS  
INCLUSIVE



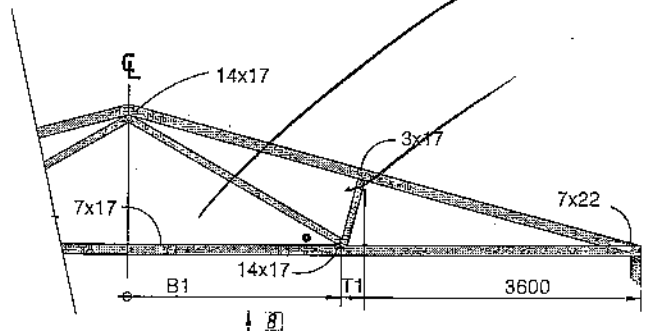
6,600 SPAN



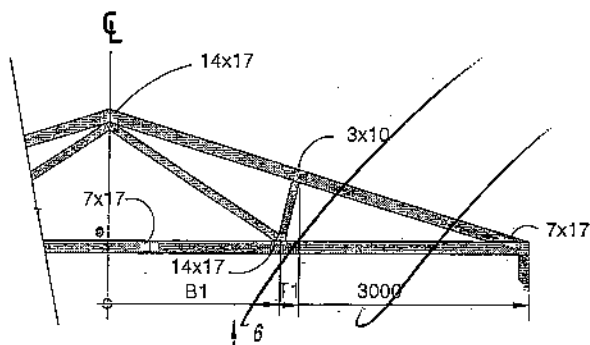
4,800, 5,000, 5,400  
SPANS INCLUSIVE



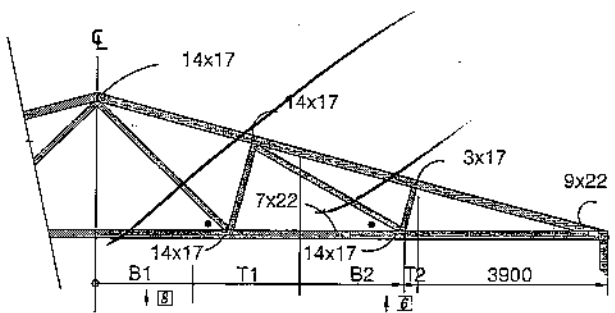
7,000 - 7200 SPANS  
INCLUSIVE



6,000 SPAN

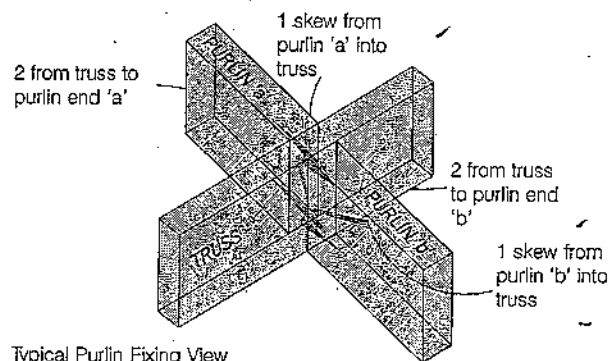


7,800 SPAN

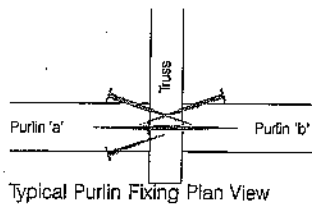


# TRUSS VB1000 DETAILS

## PURLIN FIXING DETAIL

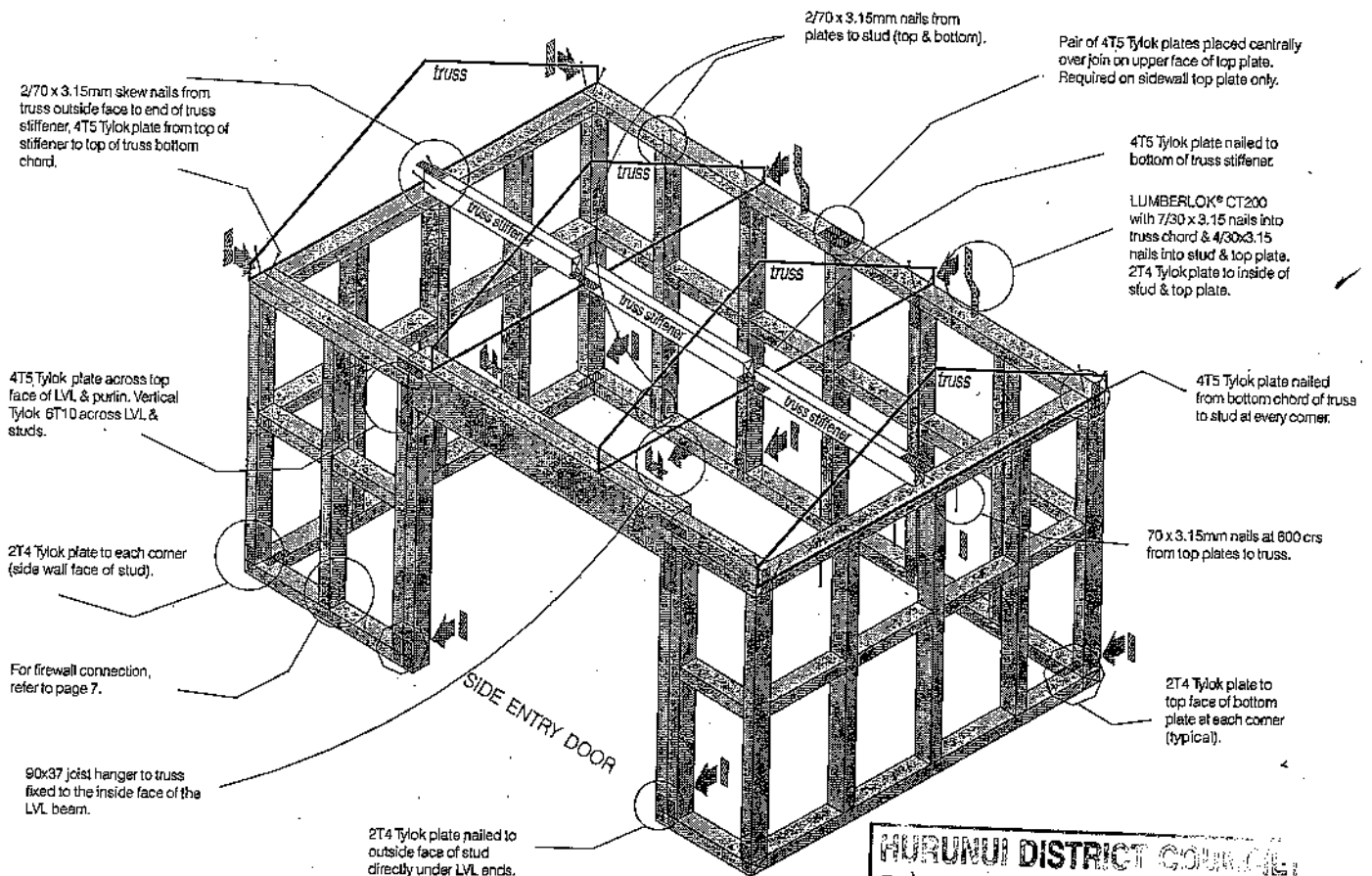


Typical Purlin Fixing View  
Note: All nails to be 90x3,15mm



# HARDWARE VB 1000 FIXINGS

## HARDWARE FIXING LOCATIONS SIDE ENTRY



**HURUNUI DISTRICT COUNCIL**  
Plans and specifications APPROVED  
In accordance with the Building Act  
2004, clause 49(1) and the associated  
Building Regulations.  
Signed .....



**MiTek New Zealand Ltd.**

HOME OF GANG-NAIL® BUILDING SYSTEMS

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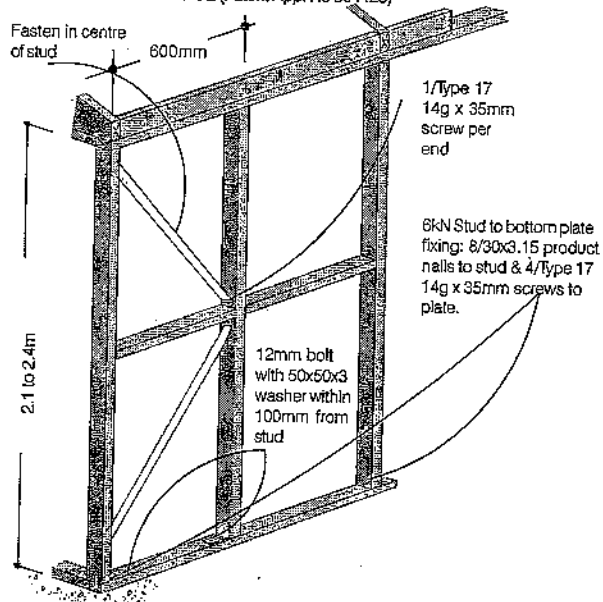


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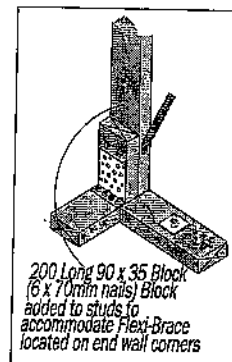
# WALL VF BRACING 1000



LUMBERLOK® FLEXIBRACE (Patent App. No 504428)



\* 10mm Gib® Standard Plasterboard,  
Refer to Winstone Technical manual for correct fixing details.



NOTES



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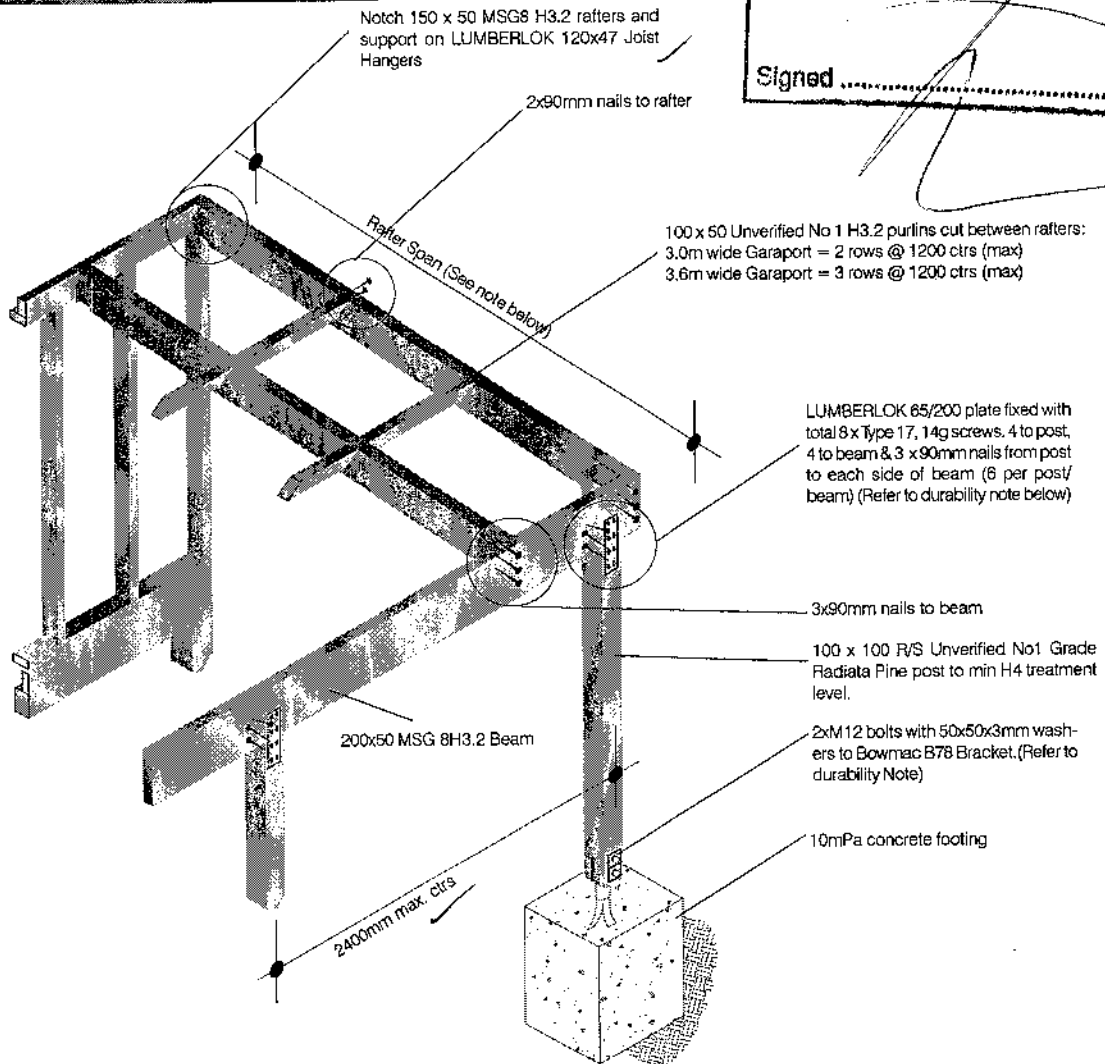
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# GARAPORTS VB1000

## GARAPORT DETAILS



HURUNUI DISTRICT COUNCIL  
Plans and specifications APPROVED.  
In accordance with the Building Act  
2004, clause 49(1) and the associated  
Building Regulations.

Signed .....

## GARAPORT FOOTING DETAILS

WIND ZONE	CONCRETE VOLUME m <sup>3</sup>	FOOTING W x D x H
LOW WIND	0.03m <sup>3</sup>	300x300x350
MEDIUM WIND	0.05m <sup>3</sup>	300x300x600
HIGH WIND	0.10m <sup>3</sup>	400x400x600
V/HIGH WIND	0.13m <sup>3</sup>	400x400x800

## Fastener Durability Note

The LUMBERLOK 65/200 plate and the Bowmac B78 bracket to be hot dip galvanized unless used in a sea spray zone as defined by NZS3604:1999, where they are to be Stainless Steel Type 304 grade

## Timber Treatment

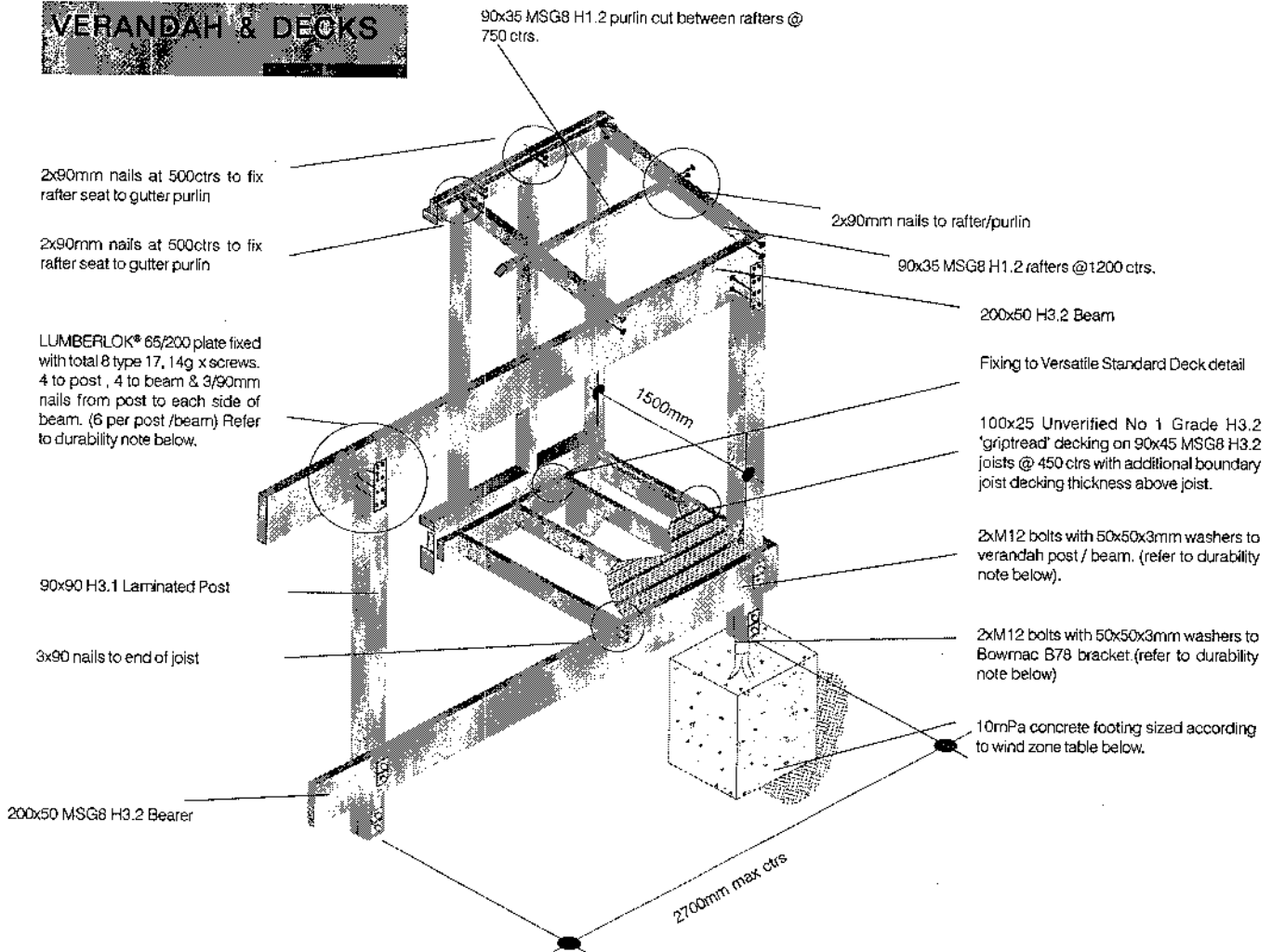
Posts to be minimum - H4  
200x50 Beams & all other exposed timber to be minimum H3.2  
Rafters to be minimum of H1.2

## Rafter Sizing

3000 span: 150 x 50 MSG8 @ 1200 ctrs  
3600 span: 150 x 50 MSG8 @ 900 ctrs

# VERANDAHS & DECKS

## VERANDAH & DECKS



## VERANDAH FOOTING DETAILS

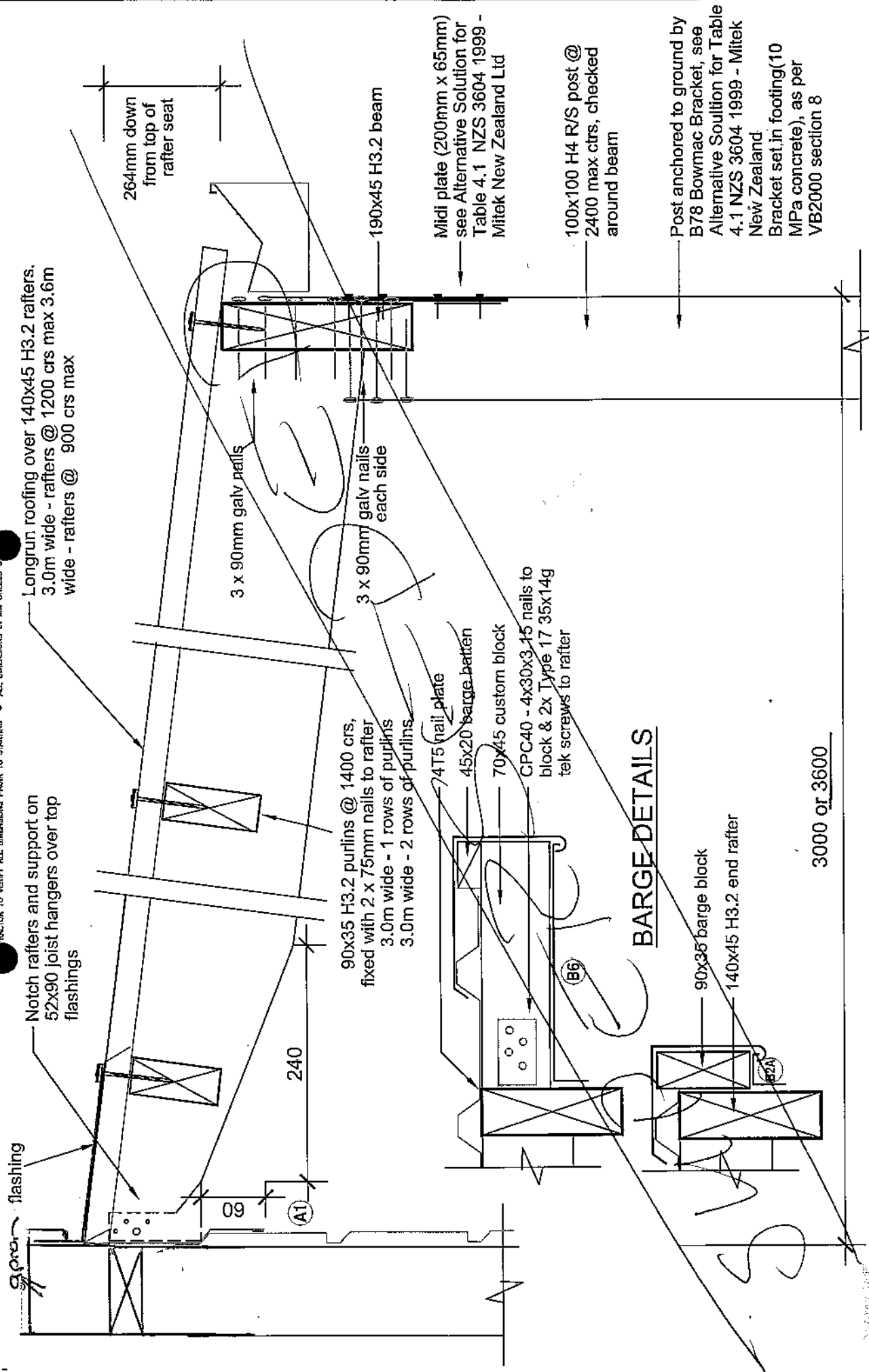
WIND ZONE	CONCRETE VOLUME m³	FOOTING WxDxH
LOW WIND	0.02m³	250x250x350
MEDIUM WIND	0.03m³	300x300x350
HIGH WIND	0.05m³	300x300x600
V/HIGH WIND	0.07m³	350x350x600

### Fastener Durability Note

The LUMBERLOK® 65/200 plate and the Bowmac B78 bracket to be hot dip galvanized unless used in a sea spray zone as defined by NZS3604:1999, where they are to be Stainless Steel Type 304 grade

### Timber Treatment

200x50 beam, bearer, 100x50 joists and all other exposed timber - H3.2  
Posts to be minimum H3.1  
Purlins and rafters minimum H1.2



Note: Construction to comply with NZS 3604 (1999) and the New Zealand Building Code 2004

SCALE: 1:5	DATE: Oct 05	SHEET: 1
REVISION: Ver 1.4	FILE: 1234	OF: 1

DRAWING TITLE

# Garaport Detail

PROJECT TITLE

# Garaport Details



**COMPUTER FREEHOLD REGISTER  
UNDER LAND TRANSFER ACT 1952**

**Historical Search Copy**



R.W. Muir  
Registrar-General  
of Land

Identifier **CB10A/468**  
Land Registration District **Canterbury**  
Date Issued **02 September 1970**

**Prior References**  
CB773/80

---

Estate	Fee Simple
Area	1353 square metres more or less

**Legal Description** Lot 3 Deposited Plan 17071

**Original Proprietors**  
Kevin Hugh Thomas Barry

---

**Interests**

5749102.1 Transfer to Robert Clarkson Young - 2.10.2003 at 9:00 am  
6729696.1 Transfer to Robin Michael Saunders - 26.1.2006 at 9:00 am  
7005100.1 Mortgage to Mortgage Holding Trust Company Limited - 28.8.2006 at 9:00 am  
7354725.1 Discharge of Mortgage 7005100.1 - 10.5.2007 at 11:57 am  
7354725.2 Transfer to Leanne Gillard - 10.5.2007 at 11:57 am  
7354725.3 Mortgage to Southland Building Society - 10.5.2007 at 11:57 am

Land and Deeds 69

# REGISTER

$$\frac{70.10A}{468}$$


This Certificate, dated the 2nd day of September one thousand nine hundred and seventy under the seal of the District Land Registrar of the Land Registration District of Canterbury

is seized of an estate in fee-simple (subject to such reservations, restrictions, encumbrances, liens, and interests as are notified by memorial underwritten or endorsed hereon) in the land hereinafter described, delineated with bold black lines on the plan hereon, be the several admeasurements a little more or less, that is to say: All that parcel of land containing 1 rood.

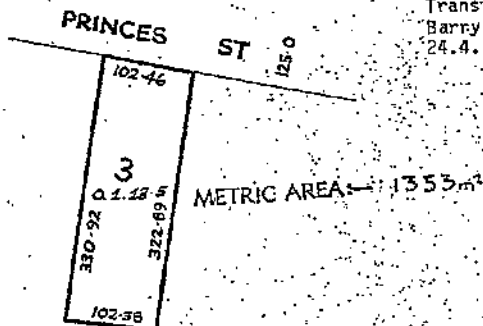
 District Land Registrar

Assistant Land Registrar

No. 111111 Change of Name of the  
Registered Proprietor to the Chairman  
Councillors and Inhabitants of the County  
of Warwick - 4/4/1978 at 10.34 a.m.  
Snydder  
For A.L.C.

Transfer 989854/1 to Kevin Hugh Thomas  
Barry of Waikari Retired Shearer -  
24.4.1992 at 9.40am

A.L.R.



Scale: 1 inch = 150 links

No. 10A/468



Fuchsia Buildings Limited  
T/a Versatile Buildings North Canterbury  
635 Lineside Road, P O Box 734, Rangiora  
Phone: 03 313 4998 Fax: 03 313 4902  
Email: [rangiora@versatile.co.nz](mailto:rangiora@versatile.co.nz)  
Website: [www.versatile.co.nz](http://www.versatile.co.nz)

## Authorisation from the Owner Confirming Authority

Note: The agent/contact will be the first point of contact for communications with the council/building consent authority regarding the application/building work and will receive all correspondence including all invoices.

I: Name: Peter Hackett / Leanne Gillard  
Address: 57 Princess Street Waikeke

Phone: 314 9366

Give Versatile Buildings North Canterbury authorisation to sign all consent papers etc.

Sign: [Signature] P. Hackett

Date: 6-11-07



Application form for

**DISTRICT ON DEMAND  
WATER SUPPLY**Appt. No. 0800010

Mail Ref. \_\_\_\_\_

Pty File No. \_\_\_\_\_

Val. Roll No. 2136021301I, Leanne Gillard (name of owner)of 11 Oxford Street, Waikari (postal address)

hereby make application for connection to the:

HANMER SPRINGS

HAWARDEN

AMBERLEY

CULVERDEN

WAIKARI

WAIPARA

LEITHFIELD BEACH

On - Demand Water Supply. (circle the one that applies)

Address of Property 57 Pines Street, WaikariLegal Description Lot 3 DP 17071 BLX XII Waipara SD

Contact Phone Number. BUS. \_\_\_\_\_ AH. \_\_\_\_\_

I hereby submit the connection fee (including GST) of:

\$450.00 for a domestic connection (20mm)

The connection fee provides for a pipe installation from the main line to the property (up to a distance of 4 metres) a toby box, valve and water meter, and foot path reinstatement if required. Council advises applicants to install their own gate valve on their side of the water meter. (Section D 11.3 HDC Water Supply Network Contract Conditions for Consumers November 1999 Version 1.0) For distances over 4 metres a Works Order Form will be required with this application for Council staff to install the additional water lines. These lines may however be installed by the applicant using Council approved pipe & fittings.

NB: if the lateral to which this application applies is not within private property and excavation of the Road Reserve is required then a Road Opening Permit must be applied for.

Applicants Signature \_\_\_\_\_ Date \_\_\_\_\_

For Office Use:

\* on uplifting of Building consent.

Receipt Number		Date	
Connection made by	<u>Bob GENET</u>	Date	<u>7.2.08</u>
Meter Number	<u>98A083660</u>		
Meter Location	<u>1.3m L.H.B</u>		
Meter Reading	<u>0000</u>		
Rated by		Date	
Drawn on Plans by	<u>James R</u>	Date	<u>28/4/08</u>
Original filed by		Date	



**WATER APPLICATION****080010**

Application No	080010	Mail No	
Valuation No	2136021301	Units	0.00
Property No	1488/57	Location	Waikari
Name	Gillard, Leanne		
Address	57 Princes Street, Waikari		
Mail Address	11 Oxford Street, Waikari		
Scheme	Hawarden / Waikari Township		
Application Type	Connection to Township High Pressure		
Serviceman	Garry Harris	Paid on	
Fee	\$450.00	Capital Contribution	no
Rec'd Application	30-Jan-08	Approval Date	30-Jan-08
To Engineer on	30-Jan-08	Connected on	18/2/09
To Serviceman o	30-Jan-08	Rates Updated on	
Updated Plans on	18/8/9	Tank No	
Lot Number		DP Number	
Application Withdrawn	<input type="checkbox"/>		
Last Pump Name	Town Supply		
Drawn on Wrtank Provisional Layer in Mapinfo	<input type="checkbox"/>		
Comments	Fees were paid on the uplifting of building consent # BC070554		



Application form for

## DISTRICT ON DEMAND WATER SUPPLY

Appl. No. 080009  
Mail Ref. ✓  
Pty File No. 1488/57  
Val. Roll No. 2136021301

I, Leanne Gillard (name of owner)  
of 11 Oxford Street, Waikari (postal address)

hereby make application for connection to the:  
HANMER SPRINGS      HAWARDEN      AMBERLEY      CULVERDEN  
WAIKARI      WAIPARA      LEITHFIELD BEACH      WAIKARI  
On - Demand Water Supply. (circle the one that applies)

Address of Property 57 Princes Street, Waikari

Legal Description Lot 3 DP 17071 BLX x 11 Waipara SD

Contact Phone Number. BUS.....AH.....

I hereby submit the connection fee (including GST) of:

\$450.00 for a domestic connection (20mm)

The connection fee provides for a pipe installation from the main line to the property ( up to a distance of 4 metres) a toby box, valve and water meter, and foot path reinstatement if required. Council advises applicants to install their own gate valve on their side of the water meter. (Section D 11.3 HDC Water Supply Network Contract Conditions for Consumers November 1999 Version.1.0) For distances over 4 metres a Works Order Form will be required with this application for Council staff to install the additional water lines. These lines may however be installed by the applicant using Council approved pipe & fittings.

NB: if the lateral to which this application applies is not within private property and excavation of the Road Reserve is required then a Road Opening Permit must be applied for.

Applicants Signature.....Date.....

For Office Use:

Receipt Number		Date	
Connection made by		Date	
Meter Number	<u>98A083660</u>		
Meter Location	<u>1.3m L.H.B</u>		
Meter Reading			
Rated by		Date	
Drawn on Plans by		Date	
Original filed by		Date	

**SEWER APPLICATION****080009**

Application No	080009	Mail No	
Valuation No	2136021301	Property No	1488/57
Name	Gillard, Leanne		
Sewerage Scheme	Waikari		
Application Type	Connection to Township Sewer		
Last Pump Name	Town Supply		
Fee	\$50.00	Paid On	
Drainlayer		Connected On	12/3/08
Rec'd application on	30-Jan-08	Capital Contributio	
Updated Plans On		Rates Updated On	
Location			
Comments	Fee was paid with there building consent # BC0700554		

# Sewer Connection Building Department



HURON  
District Council

## Project Details

Applicant: Gillard  
Address of Proposed Work: 57 Prince St Waikari

BO Number	070554	
Application Number	080009	
Approved	YES	NO
Valuation No		

ENTERED  
19/10/09

## Connection Details

Contractor: S. Nuttal  
Date Connected: 12/3/08  
POSTED  
- 7 OCT 2008



# HURUNUI DISTRICT COUNCIL

Application form for connection to

## DISTRICT SEWERAGE SCHEME

Appl. No. 080010  
Mail Ref. -  
Pty File No. 1488/57  
Val. Roll No. 2136021301

I, Leanne Gillard (name of owner)  
of 11 Oxford Street, Waikari (postal address)

Make application for connection to the: AMBERLEY AMBERLEY BEACH  
CHEVIOT GRETA VALLEY HANMER SPRINGS HAWARDEN  
LEITHFIELD LEITHFIELD BEACH MOTUNAU BEACH WAIKARI  
Sewerage Scheme. (circle the one that applies)

Address of Property 57 princes Street, Waikari

Legal Description Lot 3 DP 17071 B1X X11 Waipara SD

Contact Phone No. BUS. .... AH. ....

Connection Fee \$50.00 (including GST)

Generally each property has a lateral from the sewer main to the boundary provided it was included in the original scheme. Most subdivisions since that time have also had the property connected to as far as the boundary from the main sewer line. However in the instance where this is not provided e.g. Cheviot Township or where a different connection point is chosen then the full cost of connection to the sewer main will be met by the applicant. This work will be done by a registered drain layer to the satisfaction of the District Drainage Inspector to CDB DS 78. it will generally be done when the remainder of the sewer line on the property is installed.

NB: if the lateral to which this application applies is not within private property and excavation of the road reserve is required then a "road opening permit along with a traffic management plan" must be applied for.

Applicants Signature ..... Date .....

For Office Use:

Receipt Number		Date	
Connection made by		Date	
Rated by		Date	
Drawn on Plans by		Date	
Original filed by		Date	



# HURUNUI

## District Council

P.O. BOX 13  
AMBERLEY 7441  
NEW ZEALAND.  
Phone: (03) 314-8816  
Fax: (03) 314-9181  
Email: [info@hurunui.govt.nz](mailto:info@hurunui.govt.nz)  
Web: [www.hurunui.govt.nz](http://www.hurunui.govt.nz)

### Code Compliance Certificate 070554

Section 95, Building Act 2004 (BAM 007)

#### THE BUILDING

Street address of building: 57 PRINCES ST, WAIKARI

Legal description of land where building is located: LOT 3 DP 17071 BLK XII WAIPARA SD

Valuation number: 2136021301

Current, lawfully established, use: SH

Year first constructed: 2000

#### THE OWNER

Name of owner: Gillard Leanne

Mailing address: 23 Old Main North Road, RD 1, Amberley 7481

First point of contact for communications with the council/building consent authority:

Full Name: As Above

#### BUILDING WORK

Building consent number: 070554

Project: Relocate 3 Bedroom Dwelling With 6m x 3.6m Garaport.

Issued by: Hurunui District Council

#### CODE COMPLIANCE

The building consent authority named below is satisfied, on reasonable grounds, that —

(a) the building work complies with the building consent

Signature 

Position Team Leader Building Controls

On behalf of: Hurunui District Council

Date: 9/12/09

BC Number ..... 070554 .....	 <b>HURUNUI</b> District Council
Rapid Number ..... 488/57 .....	
Inspector's Name ..... John .....	

**CHECKLIST PROMPT**  
**CCC – RESIDENTIAL & HABITABLE (BAM 006-R)**



Item	Completed/Received
CCC request form BAM 006 dated 24/11/09	Received 25/11/09
BC conditions Met	Completed
PS4 - Construction Review	N/A.
Drainage Plan S. Nuttal.	Received
Electrical Certificate S. Lewis # E245622 B. Nat # E240790	"
Gas Certification	N/A.
Pressure Test Declaration	"
Exterior Cladding – Plaster Certification	"
Potable Water supply sign off H.D.C Supply	Completed
Wet Areas – Tanking Certification	N/A

**Council Files**

Correct BC Application / Documentation	
Inspections Charged x6 invoice # 70815	Completed.
Inspections Completed x7	"
Fees / Development contributions outstanding \$120	to receive
Correct Description of Building Works	Relocate 3 Bedroom Dwelling with 6m x 3.6m Garport.

**Additional Comments** N/A - not applicable

Construction & Inspections Completed.  
Correct documents used as per BCA accreditation process - not all fully completed - BCA QA system now in place. - all seems to be fully completed.  
OK to issue CCC & release when fees received

<b>Final Authorisations</b>	<b>Date</b>
Further information requested	
Information Received	
APPROVAL to issue CCC	
(signed) 	9/12/09
CCC Filed 	9/12/09

Hurunui District Council  
**Building Consent Inspection Entry**

Sort by Done Date , New Note , New Note - Recurring , Multiple New Notes , More Detail , Print CCC , Enquiry , Search

No: 070554

Owner: Leanne Gillard

Applicant: Versatile Buildings

Project: Relocate Dwelling & Garaport

Location: 57 PRINCES ST, WAIKARI

Valuation No: 2136021301

Status: 25/11/09 CCC Application Received

Inspection Notes

Chg Note	Type	Officer	Reqd date	Done date	Result	Insert	Notes
C1	CON Concrete pre pour	SBO		14/01/08	OK	insert note	
C2	PLD Plumbing	SBO		21/02/08	OK	insert note	
C3		SBO		12/03/08	OK	insert note	Drainage
C4	CON Concrete pre pour	BOI		13/07/09	Reinspection required	insert note	
C5	CON Concrete pre pour	BOI		5/08/09	OK	insert note	re-inspection
C6	FIN Final (major) - dwelling, commercial or similar	TLBC		18/11/09	Reinspection required	insert note	
C7	FIN Final (major) - dwelling, commercial or similar	TLBC		25/11/09	OK	insert note	re-inspection

Sort by Done Date , New Note , New Note - Recurring , Multiple New Notes , More Detail , Print CCC , Enquiry , Search

Copyright © 1997, Napier Computer Systems Limited. All rights reserved.  
Author: Lesley Marshall

6 inspections changed on  
invoice 70815

**APPLICATION**

 Site Address: 57 Princess St

 Type of Building Work: Domestic Dwelling  
 (eg. Domestic Dwelling)

Waikari Street/Road

 Project Information Memorandum No: 1488/57

 Legal Description:  
Lot 3 DP 17071 BLK

 Building Consent No: 070554
XII WAIPARA SD

 Building Consent Issued by: Hurunui

(This could include all or any of the following – Lot, DP, Section, Block, or Township, etc)

council  
 (Name of Building Consent Authority)

 Valuation Roll Number: 2136021301
**THE OWNER**
**AGENT - APPLICANT**

 Owner's Name: L Gillard

Agent's Name:

 Contact person:  
 (if owner is not an individual) as above

Contact person:

 Mailing Address:  
23 old main north rd Amberley RD1

Mailing/Billing Address:

Street Address/Registered Office

Street Address/Registered Office

E-mail Address:

E-mail Address:

 Phone Numbers: 03 3149366

Phone Numbers:

 Daytime: Mobile: 0274085319

Daytime: Mobile:

After Hours: Fax:

After Hours: Fax:

 Code Compliance Certificate to be posted to:  
23 old main north rd.  
Leithfield Amberley RD1

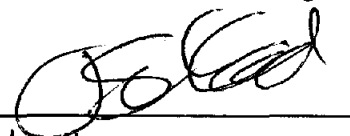
Note - The Agent will be the first point of contact for communications with the Council/Building Consent Authority regarding this application / Building Work and will receive all correspondence including all invoices.

**KEY PERSONNEL**
**Certificate  
 Attached**

Name of Designer:	Phone Number:	
Mailing Address:	Registration Number:	
E-mail Address:		
Name of Engineer:	Phone Number:	
Mailing Address:	Registration Number:	
E-mail Address:		
Name of Builder:	Phone Number:	
Mailing Address:	Registration Number:	
E-mail Address:		
Name of Craftsman Plumber:	Phone Number:	
Mailing Address:	<u>0272298788</u>	
E-mail Address:	Registration Number:	
Name of Registered Drainlayer:	Phone Number:	

Mailing Address:		Registration Number:	
E-mail Address:			
Name of Registered Electrician: <u>Cat electrical</u>		Phone Number: <u>Jake</u>	
Mailing Address: <u>P.O. box 670 Rangiora</u>		<u>021415426</u>	
E-mail Address:		Registration Number:	
Name of Registered Gasfitter:		Phone Number:	
Mailing Address:		Registration Number:	
E-mail Address:			

Add any additional people on another sheet.

SIGNATURE	
<input type="checkbox"/> I request that you issue a Code Compliance Certificate for this work under Section 95 of the Building Act 2004.	
Signed by or for and on behalf of the Owner: <u></u>	
<input checked="" type="checkbox"/> Owner	<input type="checkbox"/> Agent
Date: <u>24/11/09.</u>	
Note: If acting "for and on behalf", please read the following declaration before signing: "I hereby declare that I am authorised to act as Agent of the Owner".	

#### Additional Information to Note

1. A final inspection must have been completed prior to this application being sought.
2. The Code Compliance Certificate will be based on the approved building consent documents, so any variations to the original approved plans are required to be documented & approved prior to the work being carried out.
3. A Code Compliance Certificate will not be issued until all of the information required on this form that is relevant to the job is provided to the Council. This includes all Names, Certificates from personnel who carried out the work, Registration Numbers, Producer Statements, or any other required documents.
4. Certificates that relate to energy work (Electrical & Gasfitters).
5. The specified systems are listed on the attached form are to be contained in the compliance schedule for the building. In the opinion of the personnel who installed them, they are capable of performing to the performance standards set out in the building consent.

Notes by applicant: (Other notes or comments which you as the applicant may wish to add)

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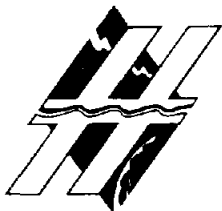


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4038



NOT TO SCALE



# HURUNUI

## District Council

P.O. Box 13  
Amberley 7410  
NEW ZEALAND  
Telephone: (03) 314-8816  
Fax: (03) 314-9181  
EMAIL: info@hurunui.govt.nz

Rapid No: 1488/57	Consent No: 070554
----------------------	-----------------------

15323

### SITE INSPECTION REPORT

(BAM 214)

Name of Owner/Owner's Agent:

Gillard

Site Address:

57 Princes St Waikari

Description of Consent:

Relocate Dwelling with Carport.

#### COMMENTS

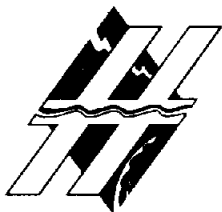
All items raised at time of previous inspection have been attended to except for the H.W.C. which still needs to be investigated by a qualified plumber.

Field Inspections Completed.

0274 085 319 - Peter.

Delete that which is not applicable.

INSTRUCTION TO OWNER/OWNER'S AGENT		INSPECTION TYPE
All work inspected is in accordance with the granted Building Consent	<input checked="" type="checkbox"/>	Final
Some work is not completed as detailed above and rectification is required	<input checked="" type="checkbox"/>	FURTHER INSPECTION
A formal notice to fix will be issued.	<input type="checkbox"/>	REQUIRED YES/ NO <input checked="" type="radio"/>
SIGNED: <i>P. Barker</i>		OFFICER: <i>J. Arthur</i> DATE: 25, 11, 09



# HURUNUI

## District Council

P.O. Box 13  
Amberley 7410  
NEW ZEALAND  
Telephone: (03) 314-8816  
Fax: (03) 314-9181  
EMAIL: info@hurunui.govt.nz

Rapid No:

1488/57

Consent No:

070554

15266

### SITE INSPECTION REPORT

(BAM 214)

Name of Owner/Owner's Agent: Gillard

Site Address: 57 Princes Rd Wairarapa

Description of Consent: Relocate Dwelling with Garage

#### COMMENTS

sighted:

Relocated Dwelling; generally completed with terrace & steps.

to complete:

- \* ~~stormwater risers need removal~~
- \* ~~grates to stormwater heads~~ - netting at top of D.P. ✓
- \* Ceiling lining to be min. 25mm clear of outer flue ✓
- \* H.W.C vent to be completed.
- \* to provide logburner specifications to check wall clearances Oshburn 1000 100mm ✓
- \* to provide as laid drainage plan ✓

Delete that which is not applicable.

INSTRUCTION TO OWNER/OWNER'S AGENT	INSPECTION TYPE
All work inspected is in accordance with the granted Building Consent	✓ <u>Final</u>
Some work is not completed as detailed above and rectification is required	✓ <u>FURTHER INSPECTION</u>
A formal notice to fix will be issued.	REQUIRED <u>YES/NO</u>
SIGNED: <u>P. Hackett</u> OFFICER: <u>M. O'Brien</u> DATE: <u>18.11.08</u>	

BC Number 070554  
 Rapid Number 1488/57  
 Inspector's Name Mika



**INSPECTION PROMPT (BAM 212)**  
**FINAL – RESIDENTIAL & HABITABLE**

Time Arrived: \_\_\_\_\_ Council Copy Viewed: yes Date: 18/11/09.

Exterior	N/A	Inspected	Interior	N/A	Inspected
Building Height Above Ground		<u>225mm</u>	Downlights Clear Insulation		
Duct covers installed	<input checked="" type="checkbox"/>		Extraction Ducts to exterior	<input checked="" type="checkbox"/>	
Downpipes clipped		<u>x1</u>	HWC Restraints		<u>existing</u>
MV, BV installed		<u>80mm</u>	HWC Temp Valve		<u>in ceiling</u>
Soffit lines sealed		<u>existing</u>	HWC Mains Valves		<u>open vented</u>
Penetrations sealed		<u>11</u>	HWC LP Vent		<u>medium pressure</u>
Cladding clearances		<u>200mm</u>	Wet areas impervious		<u>existing yes</u>
Access Levels		<u>less than 190mm</u>	Sanitary fixtures connected, Vented		<u>m.v.</u>
Grip Tread Access Routes		<u>conc.</u>	Stairs – Tread/Riser/ Pitch Head Clearance	<input checked="" type="checkbox"/>	
Handrails/Barriers Type/Connection	<input checked="" type="checkbox"/>		Handrails/ Barriers Type/ Connection	<input checked="" type="checkbox"/>	
Gas Bottle Location	<input checked="" type="checkbox"/>		Gas Hob Clearance	<input checked="" type="checkbox"/>	
			Window Restrictors	<input checked="" type="checkbox"/>	
			Safety Glazing Bathroom		<u>yes.</u>
			Smoke Alarms		<u>x3.</u>
			Means of Heating		
Other	N/A	Inspected	Other	N/A	Inspected
Tanking Certificate	<input checked="" type="checkbox"/>		Electrical Certificate	<input checked="" type="checkbox"/>	<u>Barry Neil</u>
Pressure Test Declaration	<input checked="" type="checkbox"/>		Gas Certificate	<input checked="" type="checkbox"/>	
PS4 – Engineer	<input checked="" type="checkbox"/>		As Laid Drainage Plan	<input checked="" type="checkbox"/>	<u>on file</u>

**Additional Comments:**

**N/A = not applicable to project**

## Electrical Certificate of Compliance

for prescribed electrical work that is carried out on electrical installations and involves the placing or positioning or the replacing or repositioning of conductors (including fittings attached to those conductors).  
To be completed whether or not an inspection is required.

No.

3022066

No. of attachments

## CUSTOMER INFORMATION - PLEASE PRINT CLEARLY

Name of customer

Peter Buckett

Phone: 027 408 5819

Address of installation

57 Princess Street Wairarapa

Postal address of customer (if not as above)

23 Old Main Rd Leithfield RD1

## WORK DETAILS

14 No. of lighting outlets

1 No. of ranges

13 No. of socket outlets

1 No. of water heaters

Was any installation work carried out by the homeowner?

Yes ☒ No

Please tick (✓) as appropriate where work includes:

Mains

Main earthing system

Switchboard

Electric lines

Description

Living room of  
Relocated Building  
Test of full building

It is recommended that test results be recorded here:

Visual Examination



Earth Continuity



Bonding



Polarity



Insulation Resistance

Infinite

Mohm

Other

If necessary attach any pages with sketches of work done

Name

Barry Neil

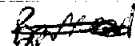
Registration no.

E240750

Company

CAT Electrical LTD

Signature



Date

17/11/09

Contact Ph No.

021 277 2441

Name

Registration no.

Company

Signature

Date

Contact Ph No.

## INSPECTION DETAILS

Electrical work requiring inspection by a registered electrical inspector

New mains

Switchboard

Earthing system

Installation work  
in hazardous areas

I certify that the inspection has been carried out in accordance with the requirements of regulation 41 of the Electricity Regulations 1997.

Name

Registration no.

Signature

Date

Daytime Contact  
Ph No.

CUSTOMER COPY - THIS IS AN IMPORTANT DOCUMENT AND SHOULD BE RETAINED



This form is approved by the Electrical Workers Registration Board (PO Box 10 156, Wellington. Freephone 0800 66-1000) for the purposes of the Electricity Regulations 1997.

No. **3017217**  
No. of attachments

...carried out on electrical installations and involves the placing or positioning or the replacing or repositioning of conductors (including fittings attached to those conductors).  
**To be completed whether or not an inspection is required.**

**CUSTOMER INFORMATION - PLEASE PRINT CLEARLY**

Name of customer Peter Hackett Phone: 0274085319  
Address of installation 57 Princes st Waukani  
Postal address of customer (if not as above) 23 old Main Rd Lethfield RD1 Amberley.

**WORK DETAILS**

No. of lighting outlets \_\_\_\_\_ No. of ranges \_\_\_\_\_  
No. of socket outlets \_\_\_\_\_ No. of water heaters \_\_\_\_\_  
Was any installation work carried out by the homeowner? Yes \_\_\_\_\_ No \_\_\_\_\_

Please tick (✓) as appropriate where work includes:  
☒ Mains ☒ Main earthing system  
☒ Switchboard ☐ Electric lines

Description New house installation -  
- Live in to Main Switch  
only -

It is recommended that test results be recorded here:

Visual Examination ☐  
Earth Continuity ☐  
Bonding ☐  
Polarity ☒  
Insulation Resistance 2 Mohm  
Other PSC 1039 A  
ELI 0.221  
Us - poly 242V

If necessary attach any pages with sketches of work done

Inspector's Name Jaime Lewis  
Registration No. E245622  
Company CAT Electrical Ltd  
Signature [Signature]  
Date 3/8/09  
Contact Ph No. 021 415 426

Inspector's Name \_\_\_\_\_  
Registration No. \_\_\_\_\_  
Company \_\_\_\_\_  
Signature \_\_\_\_\_  
Date \_\_\_\_\_  
Contact Ph No. \_\_\_\_\_

**INSPECTION DETAILS** Electrical work requiring inspection by a registered electrical inspector

New mains \_\_\_\_\_ Switchboard \_\_\_\_\_ Earthing system \_\_\_\_\_ Installation work in hazardous areas \_\_\_\_\_

I certify that the inspection has been carried out in accordance with the requirements of regulation 41 of the Electricity Regulations 1997.

Name [Signature] Registration no. E245622  
Signature \_\_\_\_\_ Date 11-08-09  
Daytime Contact Ph No. (021) 415 426

# LOG FIRE INSPECTION SHEET (BAM 207)

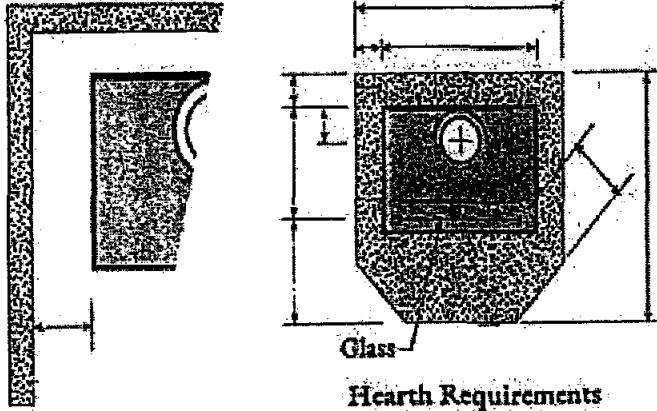
OWNER.....Gillard.....

BC NO..070554..

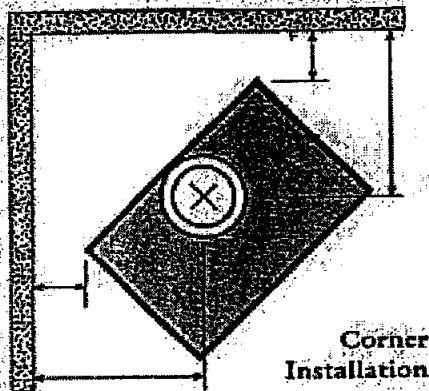
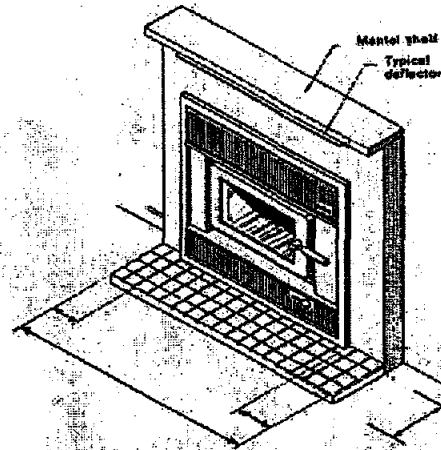
ADDRESS..57 Princes Rd Warkton.....

MAKE/MODEL..Osburn 1000.....

## FREESTANDING



## INBUILT



## WETBACK

YES ☒ NO ☐ N/A

## TEMP VALVE

YES ☒ NO ☐ N/A

## CYLINDER RESTRAINT

YES ☒ NO ☐ N/A

## WALL SHIELD

YES ☒ NO ☐ N/A

## INSULATION KIT

YES NO ☒ N/A

## SMOKE ALARMS

YES ☒ NO ☒ N/A

## SEISMIC RESTRAINTS

YES ☒ NO ☒ 2 Gun dyna bolts

## CLEAN AIR APPROVAL

YES NO

## FLUE SHIELD

NONE ☒ 1/2 HEIGHT ☒ FULL HEIGHT 1.2m

## NO FLUE SHEILDS

ONE TWO ☒ THREE (above ceiling)

CLEARANCE TO CHIMNEY/OUTER SHEILD.....X.....

ABOVE ROOF CLEARANCE.....600mm above ridge.....

GENERAL CONDITION (new/secondhand).....

RECOMMENDATIONS.....



# HURUNUI

## District Council

P.O. Box 13  
Amberley 7410  
NEW ZEALAND  
Telephone: (03) 314-8816  
Fax: (03) 314-9181  
EMAIL: info@hurunui.govt.nz

Rapid No:

1488/57

Consent No:

070554

14934

### SITE INSPECTION REPORT

(BAM 214)

Name of Owner/Owner's Agent:

Gillard

Site Address:

57 Princes St Waikari

Description of Consent:

Relocate Dwelling

#### COMMENTS

D.P.C. below plates

Plates fixed to slab at 1200 c/s max with  
12mm Dyna e Thru bolts

Gib hand brackets to both ends of bracing  
units on exterior walls

Car Port post holes now 650mm deep

Verandah has D12 starters x 600 c/s e

Big H/Wind bracket connections post to pad.  
Brace line bracing fixed x 150mm c/s as plan  
To Complete

Tek Screw Bkt Fixing one end of G/La along  
front of verandah - photo please ✓ done flltd.  
Patch building paper prior to securing ext cladding  
OK to pour e clad when above completed

Delete that which is not applicable.

#### INSTRUCTION TO OWNER/OWNER'S AGENT

All work inspected is in accordance with the granted Building Consent

Some work is not completed as detailed above and rectification is required

A formal notice to fix will be issued.

#### INSPECTION TYPE

Repeat Pre pour

FURTHER INSPECTION

REQUIRED YES/NO

SIGNED:

left on site

OFFICER

JW Arthur

DATE

5.8.09



# HURUNUI

## District Council

P.O. Box 13  
Amberley 7410  
NEW ZEALAND  
Telephone: (03) 314-8816  
Fax: (03) 314-9181  
EMAIL: info@hurunui.govt.nz

Rapid No: 1488/57	Consent No: 070554
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14464

### SITE INSPECTION REPORT

(BAM 2/4)

Name of Owner/Owner's Agent: Gillard  
Site Address: 57 Prince's St Waikeari  
Description of Consent: Relocate Dwelling

#### COMMENTS

- Still to complete prior to pouring verandah.
- D12 starters required @ 600.¢s
- High wind brackets required to posts (B16)

#### Car Port


Post bracket holes to be minimum of  
400mm<sup>2</sup> x 600 deep.

#### Dwelling

- 12mm Galv balt hold downs x 1200 ¢s e  
with bkts each end of bracing unit.
- To be reinspected prior to pouring

Delete that which is not applicable.

INSTRUCTION TO OWNER/OWNER'S AGENT		INSPECTION TYPE
All work inspected is in accordance with the granted Building Consent		Pre Pour.
Some work is not completed as detailed above and rectification is required	✓	FURTHER INSPECTION
A formal notice to fix will be issued.		REQUIRED YES/NO
SIGNED: <u>P. Aspell</u> OFFICER: <u>J. Wether</u> DATE: <u>13.7.09</u>		

BC Number ..... 070554 Rapid Number ..... 1488/57 Inspector's Name ..... John	 <b>HURUNUI</b> District Council
---	--

**INSPECTION PROMPT (BAM 201)**  
**CONCRETE FOOTINGS AND FOUNDATION WALLS**

*Verandah Slab & holes*

Time Arrived: \_\_\_\_\_ Council Copy Viewed: *yes* Date: *13 / 09*

Site Factors	N/A	Inspected	Steel Work	N/A	Inspected
Survey Pegs	✓		Horizontal Rods		<i>1 x D12</i>
Distance to Boundary		<i>existing</i>	Vertical Rods	✓	
Site Stability		<i>Good Clay</i>	Starters/Floor Ties		
Ground Bearing			Steel Identified		<i>yes</i>
Vegetation Clear	✓		Bottom Cover		<i>* 200mm</i>
FFL		<i>existing</i>	Side Cover		<i>100</i>
			Lapping		<i>7-800</i>
			Tying		<i>tie wire</i>
Excavations	N/A	Inspected	Other Items	N/A	Inspected
Depth		<i>300 o/a</i>	Waste Ducts	✓	
Width		<i>200</i>	Steel Around Blockout	✓	
Formwork		<i>Boxing</i>	Drains under Building	✓	
Level Bottom		<i>yes</i>	Subfloor Ventilation	✓	
Stepped Foundations		<i>No</i>	Engineer Design	✓	

**Additional Comments:**

N/A = not applicable to project

*.650*

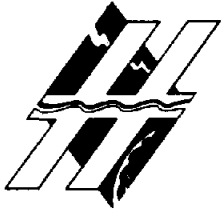
*Car Port holes - 400 x 400 x ~~500~~*

*Bkts - B79 Galv Boumbe Bkt*

*Verandah holes - 200mm<sup>2</sup> x 400 deep\**

*Bkts - Galv B16*

*\* and poured with verandah deck*



# HURUNUI

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NEW ZEALAND  
Telephone: (03) 314-8816  
Fax: (03) 314-9181  
EMAIL: info@hurunui.govt.nz

Rapid No:

1488/57

Consent No:

070554

11133

### SITE INSPECTION REPORT

(BAM 214)

Name of Owner/Owner's Agent:

Gillard

Site Address:

57 Princess St Waikari

Description of Consent:

Relocate Driveway

#### COMMENTS

Sighted:

2 G.T

1 m.v / w.c

}

- laid in 100mm UPVC

- gradient 1:60 - 1:100

- bedded in premix

- water tested.

3

D.P.

risers

in 100mm UPVC

to curb


& channel

- connections left for future sub-division / driveway

\* to supply as laid drainage plan

Delete that which is not applicable.

Drainlayer John Mittal

INSTRUCTION TO OWNER/OWNER'S AGENT		INSPECTION TYPE
All work inspected is in accordance with the granted Building Consent	<input checked="" type="checkbox"/>	Drainage
Some work is not completed as detailed above and rectification is required	<input type="checkbox"/>	FURTHER INSPECTION
A formal notice to fix will be issued.	<input type="checkbox"/>	REQUIRED YES/NO
SIGNED: 		OFFICER: M. Q. Cave
		DATE: 12 / 3 / 08

BC Number ..... 070554 .....  
 Rapid Number ..... 1488/57 .....  
 Inspector's Name ..... Mike .....



**HURUNUI**  
 District Council

**INSPECTION PROMPT  
 DRAINAGE (BAM 210)**

Time Arrived: *council* Site Copy Viewed: *yes* Date: *12/3/08*

Inspected	Sewerage System	Inspected	Stormwater System
100m D.W.V	Drain Material	100m DWV	Drain Material
1:100 <sup>+</sup>	Gradients	1:100 <sup>+</sup>	Gradients
all OK	Inspection Points	yes	Inspection Points
premix	Bedding Material	pre-mix	Bedding Material
300-400	Cover	300-600m	Cover
yes	Connection to Lateral	NO	Connection to Lateral
water - tested	Joint Test	N/A	Soak Pits size
180m riser	Main Vent Size/Location	—	Soak Pit Location
N/A	Branch Vent Size/Location	—	Gutter Sizes and Overflows
—	Septic Tank Type	—	Deck Overflow
—	Septic Tank Location	65m	Downpipe Size
—	ECAN Approval Effluent	65m	Downpipe Positions
—	Effluent Location	N/A	Deck Drains
—	Effluent Type	—	Deck Overflows
John Nuttal	Drainlayers Reg	—	Bubble Up sumps
x on site	As Laid Plan	x on site	As Laid Plan

**Additional Comments:**





# HURUNUI

## District Council

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Amberley 7410  
NEW ZEALAND  
Telephone: (03) 314-8816  
Fax: (03) 314-9181  
EMAIL: info@hurunui.govt.nz

Rapid No: 1488/57	Consent No: 070554
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10940

### SITE INSPECTION REPORT

(BAM 214)

Name of Owner/Owner's Agent: Gillard  
Site Address: 57 Princes St Waikei  
Description of Consent: Relocate Driveway

#### COMMENTS

- sighted!
  - photos taken
  - 100mm UPVC to asbestos 200mm main sewer-line - 600mm below road surface..
  - IP 1m from main sewer
  - gradient 1:20 - 1:40
  - junction to main sewer being concreted while on site.
- 
- \* to provide as laid drainage plan..
  - \* to complete chip (bedding) over pipes

OK to backfill

Delete that which is not applicable.

INSTRUCTION TO OWNER/OWNER'S AGENT		INSPECTION TYPE
All work inspected is in accordance with the granted Building Consent	<input checked="" type="checkbox"/>	<u>Pt. Drainage</u>
Some work is not completed as detailed above and rectification is required	<input type="checkbox"/>	FURTHER INSPECTION
A formal notice to fix will be issued.	<input type="checkbox"/>	REQUIRED YES <input checked="" type="radio"/> NO
SIGNED: <u>[Signature]</u> OFFICER <u>M. A. Rowe</u> DATE <u>21</u> / <u>2</u> / <u>08</u>		

BC Number ..... 070554 .....  
 Rapid Number ..... 1488/57 .....  
 Inspector's Name ..... Mike .....



**INSPECTION PROMPT  
DRAINAGE (BAM 210)**

Time Arrived: *Council* Site Copy Viewed: *yes* Date: *21/2/08*

Inspected	Sewerage System	Inspected	Stormwater System
<i>100m UPVC</i>	Drain Material		Drain Material
<i>1 T920-140</i>	Gradients		Gradients
<i>1m from rain</i>	Inspection Points		Inspection Points
<i>12mm chip</i>	Bedding Material		Bedding Material
<i>600mm</i>	Cover		Cover
<i>yes</i>	Connection to Lateral		Connection to Lateral
<i>to complete</i>	Joint Test		Soak Pits size
<i>N/A</i>	Main Vent Size/Location		Soak Pit Location
	Branch Vent Size/Location		Gutter Sizes and Overflows
	Septic Tank Type		Deck Overflow
	Septic Tank Location		Downpipe Size
	ECAN Approval Effluent		Downpipe Positions
	Effluent Location		Deck Drains
	Effluent Type		Deck Overflows
<i>John Nutall</i>	Drainlayers Reg		Bubble Up sumps
<i>x on site.</i>	As Laid Plan		As Laid Plan

Additional Comments: *N/A - not applicable*

**Kevin Roberts**

**From:** Amber Brooker  
**Sent:** Monday, 21 January 2008 4:49 p.m.  
**To:** Kevin Roberts  
**Subject:** WYWO: Graeme Wildman

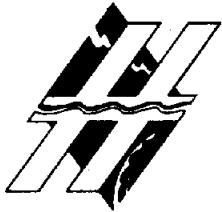
To	Kevin Roberts
<b>WHILE YOU WERE OUT</b>	
From	Graeme Wildman
of	Waikari
Phone	314 4571
RETURNED CALL <input type="checkbox"/>	PLEASE CALL <input checked="" type="checkbox"/>
WILL CALL AGAIN <input type="checkbox"/>	URGENT <input type="checkbox"/>
Message Mike - please call at Gillard job 070554, 1488/57 Princes St Waikari. Neighbour concerned at 2.0 x 2.0 slab poured up against their common boundary fence.	

Kevin

(at counter)

29/1/08 - spoke with owners of 57 Princes St, Gillard, and told them the garden shed must not be built on current slab. Explained that it has to be a minimum of 1m from fence if incorporated with their BC (070554) or the height of itself off the bdy.

M.A. Rower



# HURUNUI

## District Council

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Amberley 7410  
NEW ZEALAND  
Telephone: (03) 314-8816  
Fax: (03) 314-9181  
EMAIL: info@hurunui.govt.nz

Rapid No: 1488/57	Consent No: 070554
----------------------	-----------------------

10820

### SITE INSPECTION REPORT

(BAM 214)

Name of Owner/Owner's Agent: Gillard  
Site Address: 57 Princes St Wairarapa  
Description of Consent: Relocate Dwelling & Garage

#### COMMENTS

- sighted:
- Found / slab boxed as one
  - 200mm wide found. (2 D16 rods tied with R6 links on site, 600mm corners on site)
  - 250mm polyethylene lapped 300mm & taped.
  - 20/40 fishings
  - to tape waste penetrations thru poly.
  - discussed with bldg terrace rods to be drilled & exposed after floor poured.
  - \* to tape waste penetrations thru poly.
  - \* maintain conc. covr when placing steel
  - \* to wrap wastes thru found.

Delete that which is not applicable.

INSTRUCTION TO OWNER/OWNER'S AGENT	✓	INSPECTION TYPE
All work inspected is in accordance with the granted Building Consent	✓	Pre-pour
Some work is not completed as detailed above and rectification is required		FURTHER INSPECTION
A formal notice to fix will be issued.		REQUIRED YES/NO
SIGNED: <u>P. Harker</u> OFFICER <u>M. A. Rowe</u> DATE <u>14 / 1 / 08</u>		

BC Number ..... 070554 .....  
 Rapid Number ..... 1488/57 .....  
 Inspector's Name ..... Mike .....



**HURUNUI**  
 District Council

**INSPECTION PROMPT**  
**CONCRETE FLOOR SLABS (BAM 202)**

Time Arrived: Site Copy Viewed: yes Date: 14/1/08

Inspected	Damp Proofing	Inspected	Base Course
250mm polythene	DPM	20/40 tailings	Material
300mm tapered	Lapping & Sealing	500mm	Depth
to tape	Penetrations	N/A	Compaction
100mm	Slab Thickness	yes	Vegetation Removed
Inspected	Reinforcing	Inspected	Thickenings
N/A	Mesh Size	N/A	Links
	Lapping		Horizontal Rods
	Cover		Depth
	Supplementary Bars		Width
	Chairs		Location
	Floor Tie Lapping		
	Floor Ties connected		
Inspected	Services	Inspected	Other Items
UPVC	Material	N/A	Bottom plate anchors
1:60	Gradient		Shrinkage Control
40mm	Size		Heating
	Sleeving		Insulation
N/A	Cylinder Drain		

Additional Comments: N/A - not applicable


BC Number ...070554.....  
 Rapid Number ...1488/57.....  
 Inspector's Name .....Mike.....

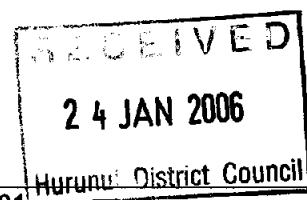


**INSPECTION PROMPT**  
**CONCRETE FOOTINGS AND FOUNDATION WALLS (BAM 201)**

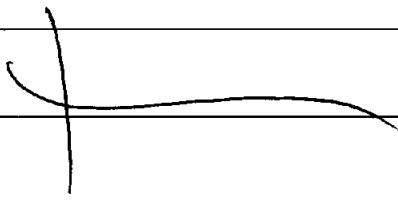
Time Arrived: Site Copy Viewed: yes Date: 16/1/08

Inspected	Site Factors	Inspected	Steel Work
Fence	Survey Pegs	2 D16	Horizontal Rods
1.3m	Distance to Boundary	N/A	Vertical Rods
OK	Site Stability	as one with slab	Starters/Floor Ties
clay 300kPa	Ground Bearing	yes	Steel Identified
yes	Vegetation Clear		Bottom Cover
300mm	FFL		Side Cover
			Lapping
			Tying
Inspected	Excavations	Inspected	Other Items
300mm	Depth	wastes filled	Waste Ducts
200mm	Width		Steel Around Blockout
200x25	Formwork	N/A	Drains under Building
yes	Level Bottom		Subfloor Ventilation
no	Stepped Foundations		Engineer Design

Additional Comments: N/A - not applicable

1488/57

<b>Quotable Value New Zealand Limited</b>		Valuation Reference: 2136021301		
Local Authority Name <b>Hurunui District Council</b>		Local Authority Address: Postal Address: <b>PO Box 13 Amberley</b> Town:		
Previous Owner:		<b>Robert Clarkson Young</b>		
New Owner:		<b>Robin Michael Saunders and Bryce Joshua Saunders as Trustees of The Saunders Childrens Trust</b>		
New Postal address for Valuation and Rates Notices:		<b>4261 Main Road Little River</b>		
Area of Property: 1353m <sup>2</sup>		Certificate of Title Reference(s)	Canterbury Registry 10A/468	
Legal Description:		Lot 3 DP 17071		
Situation Address of Property:		57 Princes Street, Waikari		
Details of Transaction		Sale		
Date offer accepted: <b>21.11.2005</b>	Settlement date: <b>19.12.2005</b>	Possession date: <b>19.12.2005</b>	Buildings on the Land?	Is there a known relationship between vendor and purchaser? If so, what is the relationship?
Gross Consideration: <b>\$66,000.00</b>	Land and Buildings: \$	Chattels:	Plant/Stock:	Other (Crop/Goodwill):
Does Gross consideration include GST:	Amount of GST included in Gross Consideration: \$	Which parties are registered for GST for this transaction?	If multi-property, is there any specific rate sharing agreement, and what is the agreed portion for this share?	
<b>Details of Lease</b>				
Lease Number:	Annual rental Excl GST:	Lease Term:	Start Date:	Date of Last Rent Review:
How often are rent reviews due:	Who is responsible for rates, insurance etc?	Is there a right of renewal?	Compensation for Improvement?	If applicable, was the deferred payment licence transferred?
<b>Other Details</b>				
Purchaser's Solicitor's details: <b>Trainor MacLean, P O Box 189, Christchurch (Robyn Mackie)</b>		Signature: 		
Vendor's Solicitor's details: <b>Williams &amp; Co - Kerry Williams PO Box 4599 CHRISTCHURCH</b>		Signature:		
Real Estate Agent: <b>Harcourts Grenadier</b>				



B & J Trotter  
57 Princes Street  
WAIKARI  
7420

12 April 2022

Dear Brent and Joanne,

## **Water Application Number WS22085 – 57 Princes Street, Waikari**

We have modelled the proposed development at 57 Princes Street, Waikari using the following specifications:

- 4 Lots (for dwellings)
- Existing dwelling (proposed Lot 1)

It is understood that there will be an open space within the right of way to the eastern end of the site shared by the future lots (shown under B on plan SC-01). We have assumed that this will be left as a green area and not require any Three Waters services in the future.

## **Water Supply**

Modelling has identified no current issues with an additional 4 lots in this location. The existing dwelling will remain connected to the water supply network as it currently does.

For firefighting purposes, a fire hydrant will be required in the right of way of Lot 3. This will require a minimum of 220 metres of DN125 12 bar MDPE pipe from Princes Street to service the hydrant.

As discussed earlier in the week, we are looking at trying to utilise the abandoned railway line for the water main. If this is possible then we will try and work with you to provide the water and hydrant requirements from this direction.

## **Wastewater Modelling**

Modelling has identified no current issues with an additional 4 lots in this location. The existing dwelling will remain connected to the wastewater network as it currently does.

## **Stormwater Considerations**

Any stormwater flows from the new dwellings or hard standing areas of the site will need to be attenuated to the current greenfield runoff rate with storage provided up to and including the 2% 24-hour rainfall event before they discharge into any of the existing drains on the site (shown on

Plan SC-01). These drains should be covered by easements and cleaned out sufficiently before the development has been completed to allow for unimpeded bank-to-bank flow.

Please note that there is an existing pipe under the railway line towards the eastern end of proposed Lot 2. This is not shown on the Plan SC-01. The discharge from this pipe will need to be considered in your stormwater proposals for the site and its discharge into the downstream network.

***Please note that this approval letter covers the capacity of the public network only. As part of your subdivision application, you must provide detailed plans of all the proposed water, sewer and stormwater network on the site for assessment.***

If you have any questions, please do not hesitate to contact me.

Yours sincerely

A handwritten signature in black ink, appearing to read 'D. Perry', with a stylized flourish at the end.

David Perry  
Asset Engineer – Three Waters  
Phone 03 314-8816  
Email [david.perry@hurunui.govt.nz](mailto:david.perry@hurunui.govt.nz)



**Form 9**  
**Under Section 88 of the Resource Management Act 1991**  
**Application for Resource Consent**

To: Hurunui District Council  
PO Box 13  
Amberley 7441

Phone: 033148816  
Email: [planning@hurunui.govt.nz](mailto:planning@hurunui.govt.nz)

1. I (full name)  
Jeff Turner \_\_\_\_\_ apply for the  
following resource consent: Land use consent and/or Subdivision consent

2. Describe the activity to which the application relates: (i.e. explain the proposal referring to the District Plan issues of non-compliance)

Resource Consent is being sought to undertake a boundary adjustment.  
It is proposed to separate RS 38072 from RS 38071 and amalgamate RS 38072  
with Lot 2 DP 35685 The final outcome is that no additional titles are being created.

3. The names and addresses of the owner and occupier (other than the applicant) of any land to which the application relates are as follows: (give names and addresses)

Jeffrey Mark Turner (Littles Drive)  
Jo and Brent Trotter (57 Princes St)

4. The location of the proposed activity is as follows:

Address: Boundary adjustment of Littles Drive and 57 Princess St, Waikari.

Legal Description: (Lot 2 DP 35685, RS 38070 & RS 38072) and Lot 3 17071

Valuation Number: 21360-23200 (Littles Dr) and 21362-21301 (57 Princes St)

5. Are any additional resource consents required from Canterbury Regional Council for the proposed activity? If the answer is yes, please list:

No

Have these been applied for? N/A

11. Address for service of applicant:

Jeff Turner  
24 Assisi St  
Christchurch 8081

Contact person: Jeff Turner

*(Name and designation)*

Phone No: \_\_\_\_\_

Mobile No: \_\_\_\_\_

Email: \_\_\_\_\_

027 209 2810

jeffturnernz1@gmail.com


**Note to applicant**

You may apply for 2 or more resource consents that are needed for the same activity on the same form. You must pay the charge payable to the consent authority for the resource consent application under the Resource Management Act 1991.

6. I attach in accordance with the Fourth Schedule of the Resource Management Act 1991, an assessment of environmental effects in sufficient detail that corresponds with the scale and significance of the effects that the proposed activity may have on the environment.
7. I attach the information required on the attached check sheet for land use or subdivision.
8. On 1 January 2012 the National Environmental Standard for Assessing and Managing Contaminants in Soil to Protect Human Health (NES) came into effect. Is the site currently, or previously, or more likely than not to have been used for an activity on the Hazardous Activities and Industries List (HAIL) as attached to this form? In order to help determine whether the NES applies, please answer the following questions:

Is an activity described on the HAIL currently being undertaken on the piece of land to which this application applies?	Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>
Has an activity described on the HAIL ever been undertaken on the piece of land to which this application applies to the best of your knowledge?	Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>
Is it more likely than not that an activity described on the HAIL is being or has been undertaken on the piece of land to which this application applies?	Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>
If 'Yes' to any of the above, then the NES for Assessing and Managing Contaminants in Soil to Protect Human Health may apply. Check the five activities to which the NES applies:	
Is the activity you propose to undertake removing or replacing a fuel storage system or parts of it?	Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>
Is the activity you propose to undertake sampling soil?	Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>
Is the activity you propose to undertake disturbing soil?	Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>
Is the activity you propose to undertake subdividing land?	Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>
Is the activity you propose to undertake changing the use of the land?	Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>
If 'Yes' to any of the above activities, then the NES for Assessing and Managing Contaminants in Soil to Protect Human Health is likely to apply and you are required to provide an assessment in relation to the NES.	

9. I enclose \$ 1350 being the relevant application fee.

10.  Date 15 March 2021  
Signature of applicant (or person authorised to sign on behalf of applicant)

# Hazardous Activities and Industries List (HAIL)

October 2011



Ministry for the  
**Environment**  
*Manatū Ahu To Teiao*

## **A Chemical manufacture, application and bulk storage**

1. Agrichemicals including commercial premises used by spray contractors for filling, storing or washing out tanks for agrichemical application
2. Chemical manufacture, formulation or bulk storage
3. Commercial analytical laboratory sites
4. Corrosives including formulation or bulk storage
5. Dry-cleaning plants including dry-cleaning premises or the bulk storage of dry-cleaning solvents
6. Fertiliser manufacture or bulk storage
7. Gasworks including the manufacture of gas from coal or oil feedstocks
8. Livestock dip or spray race operations
9. Paint manufacture or formulation (excluding retail paint stores)
10. Persistent pesticide bulk storage or use including sport turfs, market gardens, orchards, glass houses or spray sheds
11. Pest control including the premises of commercial pest control operators or any authorities that carry out pest control where bulk storage or preparation of pesticide occurs, including preparation of poisoned baits or filling or washing of tanks for pesticide application
12. Pesticide manufacture (including animal poisons, insecticides, fungicides or herbicides) including the commercial manufacturing, blending, mixing or formulating of pesticides
13. Petroleum or petrochemical industries including a petroleum depot, terminal, blending plant or refinery, or facilities for recovery, reprocessing or recycling petroleum-based materials, or bulk storage of petroleum or petrochemicals above or below ground
14. Pharmaceutical manufacture including the commercial manufacture, blending, mixing or formulation of pharmaceuticals, including animal remedies or the manufacturing of illicit drugs with the potential for environmental discharges
15. Printing including commercial printing using metal type, inks, dyes, or solvents (excluding photocopy shops)
16. Skin or wool processing including a tannery or fellmongery, or any other commercial facility for hide curing, drying, scouring or finishing or storing wool or leather products
17. Storage tanks or drums for fuel, chemicals or liquid waste
18. Wood treatment or preservation including the commercial use of anti-sapstain chemicals during milling, or bulk storage of treated timber outside

## **B Electrical and electronic works, power generation and transmission**

1. Batteries including the commercial assembling, disassembling, manufacturing or recycling of batteries (but excluding retail battery stores)
2. Electrical transformers including the manufacturing, repairing or disposing of electrical transformers or other heavy electrical equipment
3. Electronics including the commercial manufacturing, reconditioning or recycling of computers, televisions and other electronic devices
4. Power stations, substations or switchyards

## **C Explosives and ordnances production, storage and use**

1. Explosive or ordnance production, maintenance, dismantling, disposal, bulk storage or re-packaging
2. Gun clubs or rifle ranges, including clay targets clubs that use lead munitions outdoors
3. Training areas set aside exclusively or primarily for the detonation of explosive ammunition

**D Metal extraction, refining and reprocessing, storage and use**

1. Abrasive blasting including abrasive blast cleaning (excluding cleaning carried out in fully enclosed booths) or the disposal of abrasive blasting material
2. Foundry operations including the commercial production of metal products by injecting or pouring molten metal into moulds
3. Metal treatment or coating including polishing, anodising, galvanising, pickling, electroplating, or heat treatment or finishing using cyanide compounds
4. Metalliferous ore processing including the chemical or physical extraction of metals, including smelting, refining, fusing or refining metals
5. Engineering workshops with metal fabrication

**E Mineral extraction, refining and reprocessing, storage and use**

1. Asbestos products manufacture or disposal including sites with buildings containing asbestos products known to be in a deteriorated condition
2. Asphalt or bitumen manufacture or bulk storage (excluding single-use sites used by a mobile asphalt plant)
3. Cement or lime manufacture using a kiln including the storage of wastes from the manufacturing process
4. Commercial concrete manufacture or commercial cement storage
5. Coal or coke yards
6. Hydrocarbon exploration or production including well sites or flare pits
7. Mining industries (excluding gravel extraction) including exposure of faces or release of groundwater containing hazardous contaminants, or the storage of hazardous wastes including waste dumps or dam tailings

**F Vehicle refuelling, service and repair**

1. Airports including fuel storage, workshops, washdown areas, or fire practice areas
2. Brake lining manufacturers, repairers or recyclers
3. Engine reconditioning workshops
4. Motor vehicle workshops
5. Port activities including dry docks or marine vessel maintenance facilities
6. Railway yards including goods-handling yards, workshops, refuelling facilities or maintenance areas
7. Service stations including retail or commercial refuelling facilities
8. Transport depots or yards including areas used for refuelling or the bulk storage of hazardous substances

**G Cemeteries and waste recycling, treatment and disposal**

1. Cemeteries
2. Drum or tank reconditioning or recycling
3. Landfill sites
4. Scrap yards including automotive dismantling, wrecking or scrap metal yards
5. Waste disposal to land (excluding where biosolids have been used as soil conditioners)
6. Waste recycling or waste or wastewater treatment

**H Any land that has been subject to the migration of hazardous substances from adjacent land in sufficient quantity that it could be a risk to human health or the environment**

**I Any other land that has been subject to the intentional or accidental release of a hazardous substance in sufficient quantity that it could be a risk to human health or the environment**

## Subdivision Application Checklist

	INCLUDED	NOT APPLICABLE	OFFICE USE
Completed resource consent application form (Form 9) i.e. all questions have been answered.	X		
Application fee enclosed or paid on-line			
HDC Bank Account: 03-0802-0946666-00 – Ref: RC<Applicant name>	X		
A detailed description of the proposal.	X		
An assessment of environmental effects with details of any mitigation measures proposed. You may wish to refer to the assessment matters in Section C1.2 of the Hurunui District Plan.	X		
Certificate of title (less than 6 months old and relevant)	X		
Address the NES for Assessing and Managing Contaminants in Soil to Protect Human Health	X		
Subdivision scheme plan to a metric scale (1:100, 1:200, 1:250, 1:500, 1:1000, 1:2000) preferably on either A3 or A4 showing (where relevant):	X		
• Position of all new boundaries	X		
• Location and identification of all buildings on site	X		
• Areas of all new allotments	X		
• Location and areas of the land below the mean high water springs of the sea, or of any part of the bed of a river or lake, which is required under section 235 of the Act to be shown on the survey plan as land to be vested in the crown	X		
• Location and areas of land to be set aside as new road and road naming application in accordance with Road Naming Policy		X	
• Location and area of any proposed easements, with memorandum and/or schedule		X	
• Abutting and underlying title boundaries, existing building line restrictions and existing easements	X		
• Where appropriate and possible, contours (based on mean sea level) at an interval sufficient for design of accessways and services or to show the general topography of the area, particularly around house sites	X		
• Any features to be protected by covenant or other method		X	
• The principal topographical and geological features, including areas of loose fill and faultline or fault traces		X	
• Areas that may be subject to frequent flooding, or inundation, erosion, landslip or subsidence, or are within an identified natural hazard high risk area		X	
• Areas of wetlands and bush		X	
• All watercourses that have an average normal waterway width greater than 1m		X	
• The existing sewer and stormwater drainage system with invert and manhole levels		X	
• Existing power/telecommunication poles		X	
• Existing groundwater bores and their Regional Council reference number		X	
• Existing and proposed septic tank, soakage areas, and irrigation systems		X	
• Existing structures, fences and whether such structures will be retained, relocated or removed		X	
• Proposed roads, access points onto the lot(s), accessways, and service lanes with relevant widths, areas and gradients		X	
• Proposed areas of excavation and fill, together with the proposed finished contours for proposed cuts and fills greater than 1m <sup>3</sup>		X	
• Any designations applying to all or part of the lot		X	

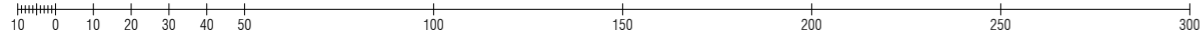
<ul style="list-style-type: none"> <li>Any conservation or heritage features (including any archaeological feature)</li> </ul>		X	
Information on the following matters, where relevant:		X	
Potable Water			
<ul style="list-style-type: none"> <li>Verification that each new lot is capable of meeting the minimum standard for water supply including water modeling results if connecting to a rural water scheme, or a water quality &amp; quantity assessment report if using a private supply</li> </ul>		X	
Utility services			
<ul style="list-style-type: none"> <li>Information on the availability or otherwise of common utility services</li> </ul>		X	
Stormwater drainage			
<ul style="list-style-type: none"> <li>Where existing stormwater sewers are proposed to be used or connected to service the subdivision, conformation that adequate capacity is available</li> </ul>		X	
<ul style="list-style-type: none"> <li>If stormwater is proposed to be discharged into a watercourse or the sea, any consultation or resource consents needed</li> </ul>		X	
<ul style="list-style-type: none"> <li>If soak pits are proposed, the results of soakage tests and site suitability for this type of stormwater disposal</li> </ul>		X	
Sewage disposal			
<ul style="list-style-type: none"> <li>Whether there is adequate capacity through the existing sewers; or</li> </ul>		X	
<ul style="list-style-type: none"> <li>Evidence that the lot(s) has the ability to adequately dispose of sewage in an environmentally acceptable manner, and if so, that the relevant consents have been lodged or obtained</li> </ul>		X	
Stability:			
<ul style="list-style-type: none"> <li>A statement that there is no uncontrolled fill on the site, and there is no evidence of soil creep, slumping, or other site instability.</li> </ul>		X	
Fault lines:			
<ul style="list-style-type: none"> <li>If any fault lines or traces are shown on the survey plan, a full geotechnical report must also be submitted.</li> </ul>		X	
Hazardous substances:			
<ul style="list-style-type: none"> <li>If the land contains or has contained an installation in which a hazardous substance was stored, used or disposed of, the application shall include any effects or risks posed by the installation.</li> </ul>		X	
Heritage or cultural sites:			
<ul style="list-style-type: none"> <li>If the land contains an identified feature the application must include information about the feature and any proposed method of protecting it as necessary.</li> </ul>		X	
Cross lease or company lease or unit title:			
<ul style="list-style-type: none"> <li>(i) Information to demonstrate that the building(s) have existing use rights; or</li> <li>(ii) A copy of the certificate of compliance for each building; or</li> <li>(iii) Any land use consent granted for the subject buildings; or</li> <li>(iv) Information to demonstrate the subject buildings meet the relevant development controls of this Plan.</li> </ul>		X	
Staged cross-lease subdivision:			
<ul style="list-style-type: none"> <li>Sufficient information to demonstrate that the undeveloped balance portion of land is suitable for further development that would be in accordance with the requirements of the District Plan, and that all possible site constraints to such development have been investigated and reported.</li> </ul>		X	
Staged unit title subdivision:			
<ul style="list-style-type: none"> <li>Information must be submitted with the application to show the proposed staging of development, including: <ul style="list-style-type: none"> <li>(i) How all existing or proposed buildings will meet the requirements of the District Plan; or</li> <li>(ii) The land use consent issued for any proposed buildings; or</li> <li>(iii) The building consent issued for any proposed buildings.</li> </ul> </li> </ul>		X	

<b>Staged freehold subdivision:</b>				
<ul style="list-style-type: none"> <li>Information and plans on the proposed staging process and time frame</li> </ul>			x	
<b>Ashley Forest Village - Comprehensive development</b>				
A comprehensive development plan detailing how any subdivision proposal links with future subdivision intended to be undertaken on the site.			x	
<b>Amberley - Stormwater disposal</b>				
<p>A stormwater management plan showing how it is proposed to manage the anticipated rainfall run-off from the site from a 2% Annual Exceedance Probability (AEP) rainfall event. The stormwater management plan must include the following information:</p> <ul style="list-style-type: none"> <li>The estimated rainfall run-off from a 2% AEP rainfall event from the site, once fully developed.</li> <li>Where, how and for what length of time the rainfall run-off is to be detained and the anticipated rate of release in to the Amberley drainage system;</li> <li>The anticipated rate of discharge of stormwater in to the Amberley drainage system and any possible surface flood flow paths for a rainfall run-off exceeding 2% AEP rainfall event; and</li> <li>Any restrictions on site coverage or hard standing areas to mitigate rainfall run-off.</li> </ul>			x	
<b>Amberley - Transport networks and reverse-sensitivity</b>				
An assessment of the adverse effects from vehicular or railway traffic on dwellings that may be erected within 80 metres of the sealed carriageway of State Highway 1 (Ashworth, Carters or Glasnevin roads) or 70 metres of the railway track.			x	
<b>Buxton Valley – Gore Bay</b>				
<ul style="list-style-type: none"> <li>Information to show compliance with Outline Development Plan in Appendix B6 of the Hurunui District Plan including:               <ol style="list-style-type: none"> <li>the alignment of roads;</li> <li>the location of complying building platforms within building clusters;</li> <li>the location and extent of indigenous vegetation to be planted for mitigation and enhancement purposes;</li> <li>the location and extent of areas for protection;</li> <li>the location and extent of areas protected for managed grazing;</li> <li>the location of fence lines; and</li> <li>the general location of walkways.</li> </ol> </li> <li>Esplanade strip a minimum width of 5m to be provided on either side of Buxton Stream and extending a maximum length of 226m from the eastern site boundary.</li> </ul>			x	
<b>St James Estate - Hanmer Springs</b>			x	
<ul style="list-style-type: none"> <li>Location of the central open space reserve (minimum area of 7,000m<sup>2</sup>) as identified on the Outline Development Plan at Appendix A3.5.</li> <li>Location of the open space buffer (minimum width of 20m) along the Hanmer Springs Road (SH7A) frontage of the site.</li> <li>Location of the open space reserve with a minimum area of 3ha at the junction of Hanmer Springs Road (SH7A) and Argelins Road.</li> <li>Location of the road connection to the property directly to the north of the site and showing the link to the central reserve as identified on the Outline Development Plan at Appendix 3.5.</li> <li>A stormwater detention pond providing for a minimum of 13,000m<sup>3</sup> of storage shall be provided generally in that location identified on the Outline Development Plan at Appendix A3.5.</li> </ul>			x	
<b>Woodbank (River Edge) Zone – Hanmer Springs</b>			x	
<ul style="list-style-type: none"> <li>A planting plan, in general accordance with the Landscape Plan and Plant Species List contained in Appendix A3.4.2</li> <li>Written confirmation stating that the stopbank between the Chatterton River and the western boundary of this zone has been upgraded to provide protection from a 0.2%AEP (1 in 500 year) flood event and 600mm freeboard.</li> </ul>			x	
			x	



Note:  
RS 38072 is being transferred out of CB35D/554 and being amalgamated with Lot 3 DP 17071 (CB10A/468). A new Record of Title is to be issued combining those parcels and a new Record of Title is to be issued for RS 38071.

AMALGAMATION CONDITION  
That Lot 3 DP 17071 and RS 38072 hereon be amalgamated and one Record of Title issued.





Registered Professional and Licensed Cadastral Surveyors  
MNZIS Member of Consulting Surveyors NZ  
access@landsurveying.co.nz  
p: 03 335 0329  
m: 0274 987 240

Notes:

# Proposed Boundary Adjustment of Lot 3 DP 17071, RS 38070 & RS 38072

Issue Details		
Rev.	Description	Date
A	Issued to client	10/03/2021

Date: 10/03/2021	CT ref: CB10A468 & CB35D/554	A3 Sheet
Surveyed: -	Total area: 0.0920ha	Revision A
Drawn: LS	Client: Jeff Turner	Sheet:
Checked: RV	Scale: 1:2000 @ A3	Ref: 3143
Local Authority: Hurunui District Council		



**RECORD OF TITLE**  
**UNDER LAND TRANSFER ACT 2017**  
**FREEHOLD**  
**Search Copy**



  
R.W. Muir  
Registrar-General  
of Land

**Identifier** **CB35D/554**  
**Land Registration District** **Canterbury**  
**Date Issued** 13 May 1992

**Prior References**  
CB613/80

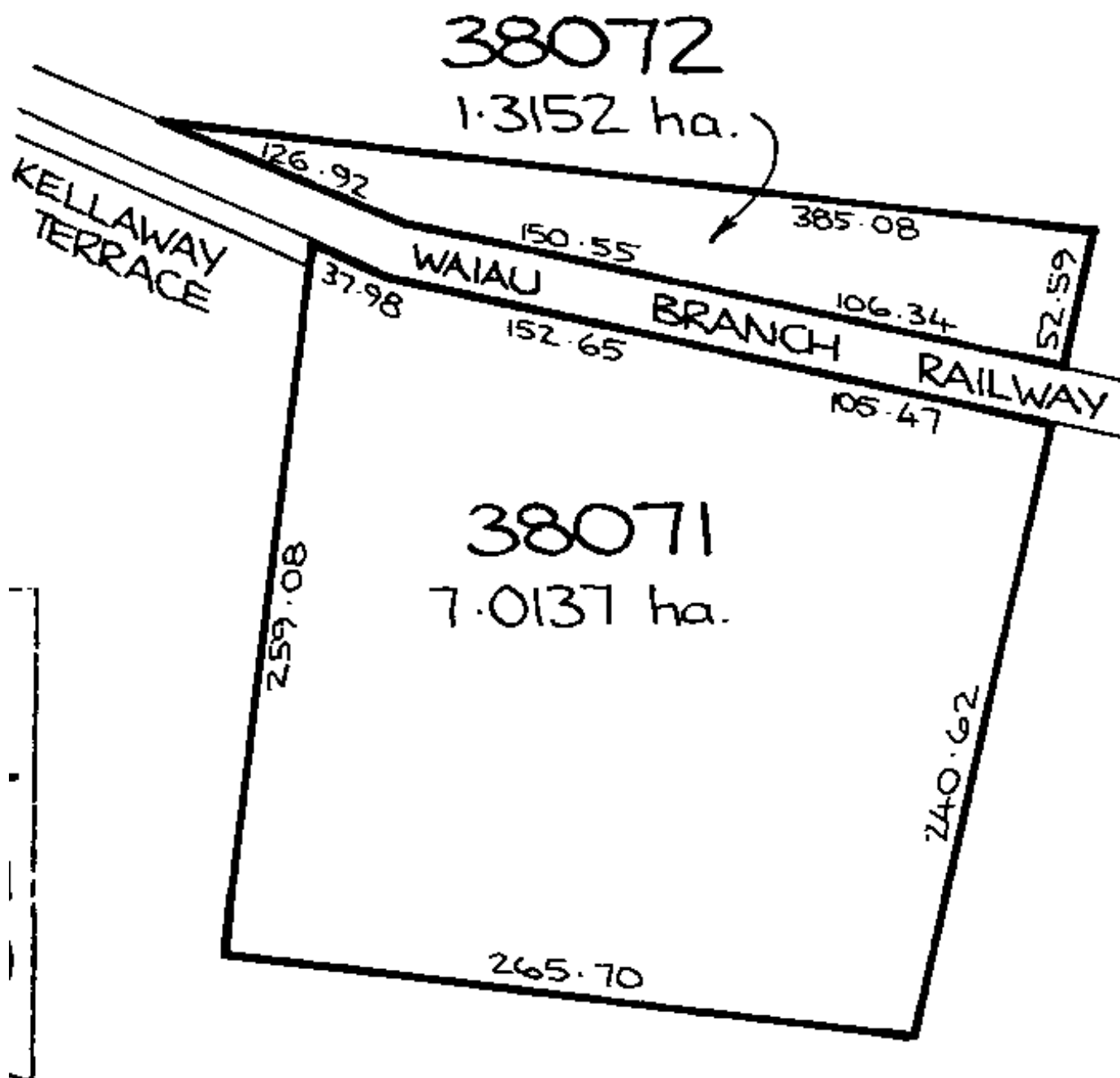
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**Estate** Fee Simple  
**Area** 8.3289 hectares more or less  
**Legal Description** Rural Section 38071 and Rural Section  
38072

**Registered Owners**  
Jeffrey Mark Turner

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**Interests**  
Subject to Part IV A Conservation Act 1987  
Subject to Section 11 Crown Minerals Act 1991  
6281767.7 Mortgage to ANZ National Bank Limited - 19.1.2005 at 9:00 am





**RECORD OF TITLE**  
**UNDER LAND TRANSFER ACT 2017**  
**FREEHOLD**  
**Search Copy**



  
R.W. Muir  
Registrar-General  
of Land

**Identifier** **CB10A/468**  
**Land Registration District** **Canterbury**  
**Date Issued** 02 September 1970

**Prior References**  
CB773/80

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**Estate** Fee Simple  
**Area** 1353 square metres more or less  
**Legal Description** Lot 3 Deposited Plan 17071  
**Registered Owners**  
Brent Anthony Trotter and Joanne Maureen Trotter

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**Interests**  
11681403.3 Mortgage to The Co-operative Bank Limited - 14.2.2020 at 2:54 pm



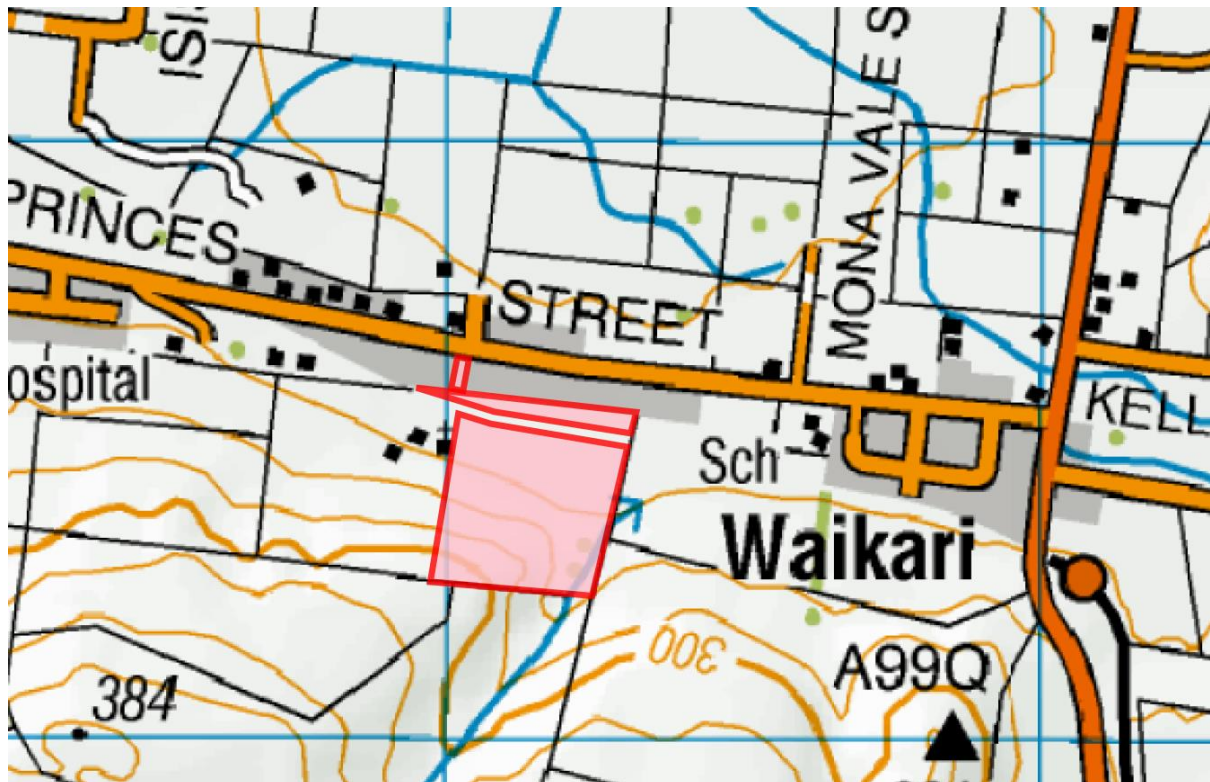
The Subdivisions Planning Officer  
Hurunui District Council  
PO Box 13  
Amberley 7441  
North Canterbury

Dear Sir/Madam

**Re: Proposed Boundary Adjustment, Littles Drive and 57 Princes Street, Waikari.**

This is an application to the Hurunui District Council ("the Council") for a Resource Consent prepared pursuant to the Resource Management Act (RMAct). This report includes an Assessment of Environmental Effects, Standards, Zones, Rules etc. referred to those set out in the Hurunui District Plan ("the plan") unless otherwise stated.

**The Property**



**Location plan**

Site Address	Littles Road (situated immediately behind 58 Littles Dr) and 57 Princes Street, Waikari.
Legal Description	Rural Sections 38071 and 38072 (Littles Dr), Lot 3 DP 17071 (57 Princes St)
Records of Title	CB35D/554 (Littles Dr) and CB10A/468 (57 Princes St)
Owners	RS 38071 and 38072 (Littles Dr): Jeffery Mark Turner

	Lot 3 DP 17071 (57 Princes St): Brent Anthony Trotter, Joanne Maureen Trotter
Total Area:	8.4642 hectares. (RS 38071 is 7.0137ha, RS 38072 is 1.3152ha and Lot 3 DP 17071 is 0.1353ha)
Encumbrances on Title	The land in CB35D/554 is subject to Part IV A Conservation Act 1987
Zone:	Lot 3 DP 17071 and RS 38072: Residential
	RS 38071: Rural. Area outside Environments of special concern and urban areas
Planning Map:	Q

### **The Site**

We refer you to the application plan. The properties subject to this application are held in fee-simple title and have a combined area of 8.6181 hectares. Lot 3 DP 17071 (57 Princes St), zoned residential, has an existing dwelling with services expected of an urban environment; these being water, sewer, power and telecommunications.

RS 38071 (58 Littles Dr) is zoned “*sites outside Environments of special concern and urban areas*”. This land is currently used for mixed use horticultural and agricultural purposes and is vacant.



### **Vegetation**

A truffiere exists abutting the Waiau Branch Railway at the north east corner RS 38071. Ornamental trees and shrubs exist on RS 38072 suited for a residential allotment. The balance of the subject land has some isolated trees. This proposal has no effect on the established trees within the subject site.

### **The Proposal**

Resource Consent is being sought to undertake a boundary adjustment. It is proposed to separate RS 38072 from RS 38071 (currently held together in one RT) and amalgamate it with Lot 3 DP 17071. The final outcome is that no additional titles are being created.

Lot 3 DP 17071 and RS 38072 (both zoned residential) are to be amalgamated into a single title of 1.4505 hectares; this land being on the northern side of the Waiau Branch Railway (walkway). It is noted that RS 38072 has no legal road frontage.

Although in the same title as RS 38071, RS 38072 being on the northern side of the Waiau Branch Railway is not utilised to its full potential due to zoning, accessibility and shape factor.

The intention of the subdivision is to:

- Allow lot boundaries to coincide with planning map boundaries.
- Make practical improvements/arrangements to the existing title that is currently segregated by the former Waiau Branch Railway (walkway).
- Improve access to RS 38072. Without boundary adjustment, the only access from RS 38071 to RS 38072 is via an informal agreement to access across Waikari Walkway. The boundary re-alignment means that reliance upon this access is effectively no longer needed as RS 38072 effectively gains road frontage access to Princes St via Lot 3 DP 17071 (57 Princes St).

This application is to be considered as a **Controlled Activity** in accordance with A3.1.

## **A3.2 Standards and terms for controlled activities**

### **A3.2.1 Shape factor requirement for allotments**

Lots created are of a good shape factor and able to contain a square measuring 15m by 15m.

### **A3.2.2 Dimensions of allotments with existing buildings**

Complies

### **A3.2.3 Disposal of effluent**

Lot 3 DP 17071 containing existing dwelling (57 Princes Street, residential) is connected to the reticulated sewer network of Waikari.

RS 38071 is a vacant lot.

### **A3.2.4 Potable water supply**

Lot 3 DP 17071 containing existing dwelling (57 Princes Street, residential) is connected to the reticulated water supply network of Waikari.

RS 38071 is a vacant lot.

### **A3.2.5 Minimum allotment area requirements**

RS 38071 complies.

Lot 3 DP 17071 & RS 38072 complies.

#### **A3.2.6 Minimum frontage requirements**

N/A

#### **A3.2.7 Minimum access and roading requirements**

No additional roading required. 57 Princes Street abuts formed and sealed road. RS 38071 abuts Littles Drive which is formed and gravelled.

#### **A3.2.8 Vehicle access standards**

Lot 3 DP 17071 & RS 38072 containing the existing dwelling (57 Princes Street, residential) has legal road frontage and access onto Princes Street.

RS 38071 has legal road frontage and access onto Littles Drive.

#### **A3.2.9 Esplanade reserves and strips**

N/A

#### **A3.2.10 Stormwater disposal – Amberley**

N/A

#### **A3.2.11 Exemptions from standards and terms**

**(b) Boundary adjustments are exempt from the minimum allotment area requirements, provided that:**

**(i) Any existing allotment that does not meet the minimum area standards under Rule A3.2.5 does not decrease in area.**

Existing allotments meet the current minimum area standards for the zoning the land is in.

**(ii) Any existing allotment that complies with the minimum area standards under Rule A3.2.5 does not fall below the relevant standards**

No lot falls below the relevant standard of 5 hectares.

**(iii) Any allotment complies with all other standards and terms for controlled activities under Rules A3.2.1 – A3.2.8.**

All other standards and terms are complied with.

#### **A3.3 Matter relating to controlled activities**

**(d) The provision or ability of every allotment to be serviced by access to a telecommunications network, and the effects of such access such as underground or overhead lines.**

57 Princes St is connected to the telecommunication network. This has been considered for RS 38071 and there is a telecommunication network in the vicinity of Waikari capable of being connected to. Connection for this parcel is not proposed in this application.

#### **Easements**

There is no requirement for any easements to be created as a result of this boundary adjustment.

#### **Amalgamation Condition**

Lot 3 DP 17071 & RS 38072 are to be amalgamated and held in one computer freehold register.

#### **Geotech Report**

It is noted that a possible minor fault line is located about 500m east of the site. No Geotech report is provided as this application seeks only for a change in the tenure of the titles.

### **NES Report**

No assessment in relation to the NES is provided as this application seeks only for a change in the tenure of the titles. There will be no disturbance of the soil or change of use of the land as a direct result of this application.

### **Development Contributions**

No extra units of demand are being created by this proposal. The existing dwelling and associated use remain the same. Two titles currently exist, the final outcome being two titles, this development is a boundary adjustment.

We understand that this proposal doesn't trigger a development contribution. If in the future the land owner proposes to subdivide Lot 3 DP 17071 & RS 38072 (held in a single title) into two allotments capable for dwellings, a development contribution would be appropriate at that stage. An application to the Council to subdivide would be required for that future proposal.

### **Assessment of Environment Effect**

The environmental effect of this proposal is considered to be minor in nature. No additional units of demand are created or the need for any construction. The use of the land remains as is. The only difference being that ownership is considered more logical to zoning and other constraints (Waiau Branch Railway, Walkway).

### **SUMMARY**

This proposal addresses the environment effects of subdividing the subject property into two lots (two titles being the final outcome). This application complies with the standards and terms for controlled activities and is to be considered a **Complying Activity**.

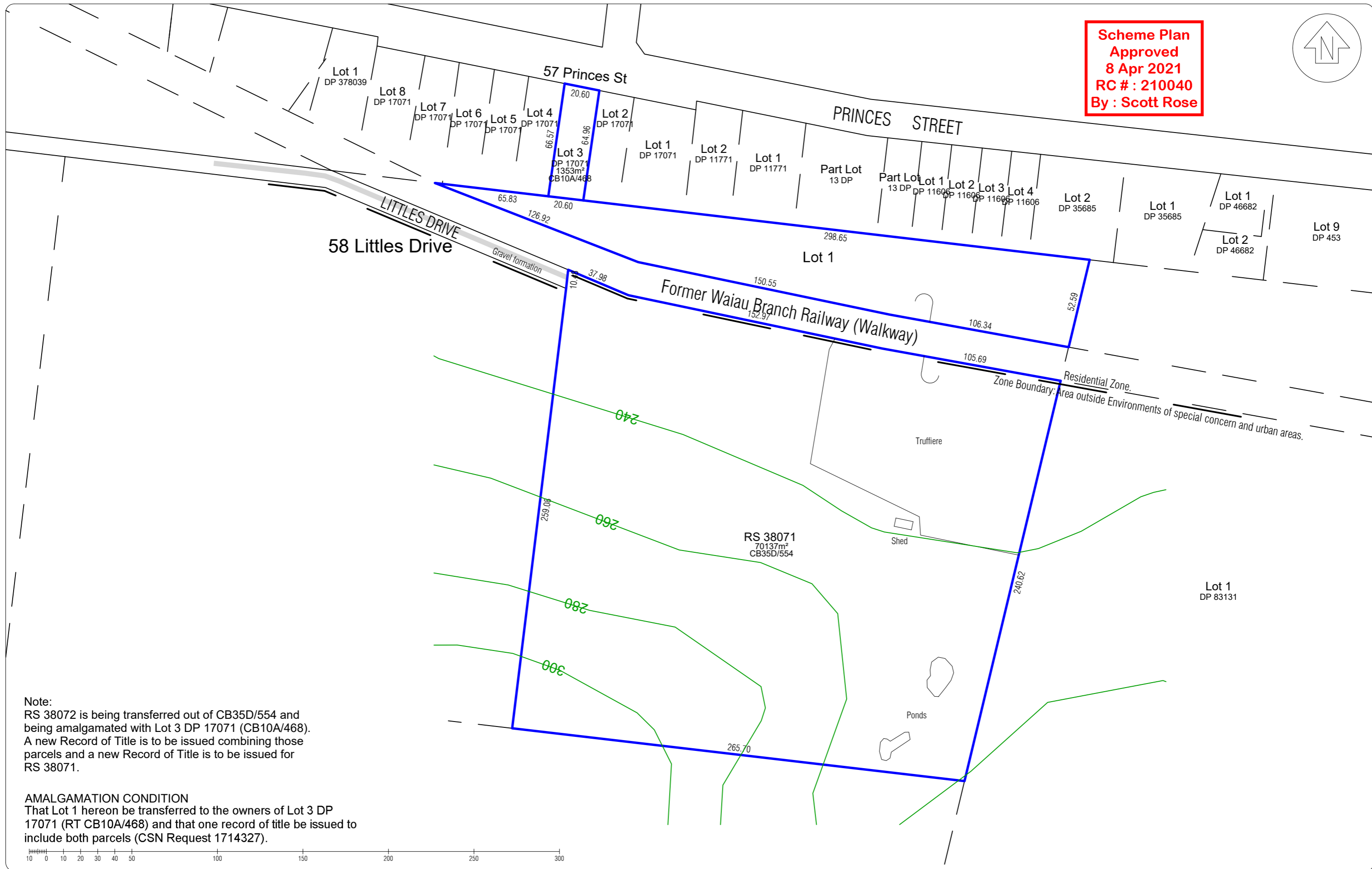
The land use has predominantly been horticultural and agricultural and will continue to be so. We are unaware of any land stability or drainage issues that would, pursuant to s.106 of the RMA Act, stop the Council from granting consent.

We attach the prescribed fee of \$1350 together with the required application form; the Record of Title and copies of the application plan.

We look forward to receiving the Council's decision in due course.

Yours faithfully

**Scheme Plan  
Approved  
8 Apr 2021  
RC # : 210040  
By : Scott Rose**



**Note:**  
 RS 38072 is being transferred out of CB35D/554 and being amalgamated with Lot 3 DP 17071 (CB10A/468). A new Record of Title is to be issued combining those parcels and a new Record of Title is to be issued for RS 38071.

**AMALGAMATION CONDITION**  
 That Lot 1 hereon be transferred to the owners of Lot 3 DP 17071 (RT CB10A/468) and that one record of title be issued to include both parcels (CSN Request 1714327).



Registered Professional and Licensed Cadastral Surveyors  
 MNZIS Member of Consulting Surveyors NZ  
 access@landsurveying.co.nz  
 p: 03 335 0329  
 m: 0274 987 240

Notes:

## Proposed Boundary Adjustment of Lot 3 DP 17071, RS 38070 & RS 38072

Issue Details		
Rev.	Description	Date
A	Issued to client	10/03/2021

Date: 10/03/2021	CT ref: CB10A468 & CB35D/554	A3 Sheet
Surveyed: -	Total area: 0.0920ha	Revision A
Drawn: LS	Client: Jeff Turner	Sheet:
Checked: RV	Scale: 1:2000 @ A3	Ref: 3143
Local Authority: Hurunui District Council		

**Customer Services**  
P. 03 353 9007 or 0800 324 636

PO Box 345  
Christchurch 8140

P. 03 365 3828  
F. 03 365 3194  
E. [ecinfo@ecan.govt.nz](mailto:ecinfo@ecan.govt.nz)

[www.ecan.govt.nz](http://www.ecan.govt.nz)

Dear Sir/Madam

Thank you for submitting your property enquiry in regards to our Listed Land Use Register (LLUR) which holds information about sites that have been used, or are currently used for activities which have the potential to have caused contamination.

The LLUR statement provided indicates the location of the land parcel(s) you enquired about and provides information regarding any LLUR sites within a radius specified in the statement of this land.

Please note that if a property is not currently entered on the LLUR, it does not mean that an activity with the potential to cause contamination has never occurred, or is not currently occurring there. The LLUR is not complete, and new sites are regularly being added as we receive information and conduct our own investigations into current and historic land uses.

The LLUR only contains information held by Environment Canterbury in relation to contaminated or potentially contaminated land; other information relevant to potential contamination may be held in other files (for example consent and enforcement files).

If your enquiry relates to a farm property, please note that many current and past activities undertaken on farms may not be listed on the LLUR. Activities such as the storage, formulation and disposal of pesticides, offal pits, foot rot troughs, animal dips and underground or above ground fuel tanks have the potential to cause contamination.

Please contact and Environment Canterbury Contaminated Sites Officer if you wish to discuss the contents of the LLUR statement, or if you require additional information. For any other information regarding this land please contact Environment Canterbury Customer Services.

Yours sincerely

**Contaminated Sites Team**

# Property Statement from the Listed Land Use Register

Visit [www.ecan.govt.nz/HAIL](http://www.ecan.govt.nz/HAIL) for more information about land uses.



Customer Services  
P. 03 353 9007 or 0800 324 636

PO Box 345  
Christchurch 8140

P. 03 365 3828  
F. 03 365 3194  
E. [ecinfo@ecan.govt.nz](mailto:ecinfo@ecan.govt.nz)

[www.ecan.govt.nz](http://www.ecan.govt.nz)

Date:	06 April 2021	
Land Parcels:	Lot 3 DP 17071	Valuation No(s): 2136221301



*The information presented in this map is specific to the property you have selected. Information on nearby properties may not be shown on this map, even if the property is visible.*

## Summary of sites:

There are no sites associated with the area of enquiry.

## Information held about the sites on the Listed Land Use Register

There are no sites associated with the area of enquiry.

## Information held about other investigations on the Listed Land Use Register

For further information from Environment Canterbury, contact Customer Services and refer to enquiry number ENQ277669.

**Disclaimer:**

*The enclosed information is derived from Environment Canterbury's Listed Land Use Register and is made available to you under the Local Government Official Information and Meetings Act 1987 and Environment Canterbury's Contaminated Land Information Management Strategy (ECan 2009).*

*The information contained in this report reflects the current records held by Environment Canterbury regarding the activities undertaken on the site, its possible contamination and based on that information, the categorisation of the site. Environment Canterbury has not verified the accuracy or completeness of this information. It is released only as a copy of Environment Canterbury's records and is not intended to provide a full, complete or totally accurate assessment of the site. It is provided on the basis that Environment Canterbury makes no warranty or representation regarding the reliability, accuracy or completeness of the information provided or the level of contamination (if any) at the relevant site or that the site is suitable or otherwise for any particular purpose. Environment Canterbury accepts no responsibility for any loss, cost, damage or expense any person may incur as a result of the use, reference to or reliance on the information contained in this report.*

*Any person receiving and using this information is bound by the provisions of the Privacy Act 1993.*

# Listed Land Use Register

What you need to know

## What is the Listed Land Use Register (LLUR)?

The LLUR is a database that Environment Canterbury uses to manage information about land that is, or has been, associated with the use, storage or disposal of hazardous substances.

## Why do we need the LLUR?

Some activities and industries are hazardous and can potentially contaminate land or water. We need the LLUR to help us manage information about land which could pose a risk to your health and the environment because of its current or former land use.

Section 30 of the Resource Management Act (RMA, 1991) requires Environment Canterbury to investigate, identify and monitor contaminated land. To do this we follow national guidelines and use the LLUR to help us manage the information.

The information we collect also helps your local district or city council to fulfil its functions under the RMA. One of these is implementing the National Environmental Standard (NES) for Assessing and Managing Contaminants in Soil, which came into effect on 1 January 2012.

For information on the NES, contact your city or district council.

## How does Environment Canterbury identify sites to be included on the LLUR?

We identify sites to be included on the LLUR based on a list of land uses produced by the Ministry for the Environment (MfE). This is called the Hazardous Activities and Industries List (HAIL)<sup>1</sup>. The HAIL has 53 different activities, and includes land uses such as fuel storage sites, orchards, timber treatment yards, landfills, sheep dips and any other activities where hazardous substances could cause land and water contamination.

### We have two main ways of identifying HAIL sites:

- We are actively identifying sites in each district using historic records and aerial photographs. This project started in 2008 and is ongoing.
- We also receive information from other sources, such as environmental site investigation reports submitted to us as a requirement of the Regional Plan, and in resource consent applications.

<sup>1</sup>The Hazardous Activities and Industries List (HAIL) can be downloaded from MfE's website [www.mfe.govt.nz](http://www.mfe.govt.nz) - keyword search HAIL

## How does Environment Canterbury classify sites on the LLUR?

Where we have identified a HAIL land use, we review all the available information, which may include investigation reports if we have them. We then assign the site a category on the LLUR. The category is intended to best describe what we know about the land use and potential contamination at the site and is signed off by a senior staff member.

Please refer to the Site Categories and Definitions factsheet for further information.

## What does Environment Canterbury do with the information on the LLUR?

The LLUR is available online at [www.llur.ecan.govt.nz](http://www.llur.ecan.govt.nz). We mainly receive enquiries from potential property buyers and environmental consultants or engineers working on sites. An inquirer would typically receive a summary of any information we hold, including the category assigned to the site and a list of any investigation reports.

We may also use the information to prioritise sites for further investigation, remediation and management, to aid with planning, and to help assess resource consent applications. These are some of our other responsibilities under the RMA.

If you are conducting an environmental investigation or removing an underground storage tank at your property, you will need to comply with the rules in the Regional Plan and send us a copy of the report. This means we can keep our records accurate and up-to-date, and we can assign your property an appropriate category on the LLUR. To find out more, visit [www.ecan.govt.nz/HAIL](http://www.ecan.govt.nz/HAIL).



## ***My land is on the LLUR – what should I do now?***

**IMPORTANT!** Just because your property has a land use that is deemed hazardous or is on the LLUR, it doesn't necessarily mean it's contaminated. The only way to know if land is contaminated is by carrying out a detailed site investigation, which involves collecting and testing soil samples.

You do not need to do anything if your land is on the LLUR and you have no plans to alter it in any way. It is important that you let a tenant or buyer know your land is on the Listed Land Use Register if you intend to rent or sell your property. If you are not sure what you need to tell the other party, you should seek legal advice.

You may choose to have your property further investigated for your own peace of mind, or because you want to do one of the activities covered by the National Environmental Standard for Assessing and Managing Contaminants in Soil. Your district or city council will provide further information.

If you wish to engage a suitably qualified experienced practitioner to undertake a detailed site investigation, there are criteria for choosing a practitioner on [www.ecan.govt.nz/HAIL](http://www.ecan.govt.nz/HAIL).



## ***I think my site category is incorrect – how can I change it?***

If you have an environmental investigation undertaken at your site, you must send us the report and we will review the LLUR category based on the information you provide. Similarly, if you have information that clearly shows your site has not been associated with HAIL activities (eg. a preliminary site investigation), or if other HAIL activities have occurred which we have not listed, we need to know about it so that our records are accurate.

If we have incorrectly identified that a HAIL activity has occurred at a site, it will be not be removed from the LLUR but categorised as Verified Non-HAIL. This helps us to ensure that the same site is not re-identified in the future.

## **Contact us**

Property owners have the right to look at all the information Environment Canterbury holds about their properties.

It is free to check the information on the LLUR, online at [www.llur.ecan.govt.nz](http://www.llur.ecan.govt.nz).

If you don't have access to the internet, you can enquire about a specific site by phoning us on (03) 353 9007 or toll free on 0800 EC INFO (32 4636) during business hours.

### **Contact Environment Canterbury:**

Email: [ecinfo@ecan.govt.nz](mailto:ecinfo@ecan.govt.nz)

### **Phone:**

Calling from Christchurch: (03) 353 9007  
Calling from any other area: 0800 EC INFO (32 4636)

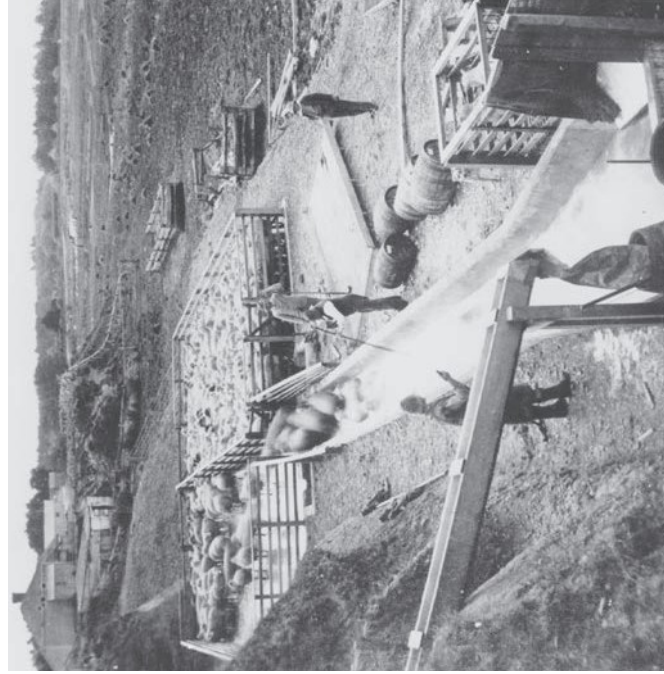


*Everything is connected*  
*Promoting quality of life through*  
*balanced resource management.*  
[www.ecan.govt.nz](http://www.ecan.govt.nz) E13/101



## **IMPORTANT!**

The LLUR is an online database which we are continually updating. A property may not currently be registered on the LLUR, but this does not necessarily mean that it hasn't had a HAIL use in the past.



Sheep dipping (ABOVE) and gas works (TOP) are among the former land uses that have been identified as potentially hazardous. (Photo above by Wheeler & Son in 1987, courtesy of Canterbury Museum.)

# Listed Land Use Register

## Site categories and definitions

When Environment Canterbury identifies a Hazardous Activities and Industries List (HAIL) land use, we review the available information and assign the site a category on the Listed Land Use Register. The category is intended to best describe what we know about the land use.

If a site is categorised as **Unverified** it means it has been reported or identified as one that appears on the HAIL, but the land use has not been confirmed with the property owner.

**If the land use has been confirmed but analytical information from the collection of samples is not available, and the presence or absence of contamination has therefore not been determined, the site is registered as:**

### **Not investigated:**

- A site whose past or present use has been reported and verified as one that appears on the HAIL.
- The site has not been investigated, which might typically include sampling and analysis of site soil, water and/or ambient air, and assessment of the associated analytical data.
- There is insufficient information to characterise any risks to human health or the environment from those activities undertaken on the site. Contamination may have occurred, but should not be assumed to have occurred.

**If analytical information from the collection of samples is available, the site can be registered in one of six ways:**

### **At or below background concentrations:**

The site has been investigated or remediated. The investigation or post remediation validation results confirm there are no hazardous substances above local background concentrations other than those that occur naturally in the area. The investigation or validation sampling has been sufficiently detailed to characterise the site.

### **Below guideline values for:**

The site has been investigated. Results show that there are hazardous substances present at the site but indicate that any adverse effects or risks to people and/or the environment are considered to be so low as to be acceptable. The site may have been remediated to reduce contamination to this level, and samples taken after remediation confirm this.

**Managed for:**

The site has been investigated. Results show that there are hazardous substances present at the site in concentrations that have the potential to cause adverse effects or risks to people and/or the environment. However, those risks are considered managed because:

- the nature of the use of the site prevents human and/or ecological exposure to the risks; and/or
- the land has been altered in some way and/or restrictions have been placed on the way it is used which prevent human and/or ecological exposure to the risks.

**Partially investigated:**

The site has been partially investigated. Results:

- demonstrate there are hazardous substances present at the site; however, there is insufficient information to quantify any adverse effects or risks to people or the environment; or
- do not adequately verify the presence or absence of contamination associated with all HAIL activities that are and/or have been undertaken on the site.

**Significant adverse environmental effects:**

The site has been investigated. Results show that sediment, groundwater or surface water contains hazardous substances that:

- have significant adverse effects on the environment; or
- are reasonably likely to have significant adverse effects on the environment.

**Contaminated:**

The site has been investigated. Results show that the land has a hazardous substance in or on it that:

- has significant adverse effects on human health and/or the environment; and/or
- is reasonably likely to have significant adverse effects on human health and/or the environment.

**If a site has been included incorrectly on the Listed Land Use Register as having a HAIL, it will not be removed but will be registered as:**

**Verified non-HAIL:**

Information shows that this site has never been associated with any of the specific activities or industries on the HAIL.

Please contact Environment  
Canterbury for further information:

(03) 353 9007 or toll free  
on 0800 EC INFO (32 4636)  
email [ecinfo@ecan.govt.nz](mailto:ecinfo@ecan.govt.nz)



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**Customer Services**  
**P. 03 353 9007 or 0800 324 636**

PO Box 345  
Christchurch 8140

P. 03 365 3828  
F. 03 365 3194  
E. [ecinfo@ecan.govt.nz](mailto:ecinfo@ecan.govt.nz)

[www.ecan.govt.nz](http://www.ecan.govt.nz)

Dear Sir/Madam

Thank you for submitting your property enquiry in regards to our Listed Land Use Register (LLUR) which holds information about sites that have been used, or are currently used for activities which have the potential to have caused contamination.

The LLUR statement provided indicates the location of the land parcel(s) you enquired about and provides information regarding any LLUR sites within a radius specified in the statement of this land.

Please note that if a property is not currently entered on the LLUR, it does not mean that an activity with the potential to cause contamination has never occurred, or is not currently occurring there. The LLUR is not complete, and new sites are regularly being added as we receive information and conduct our own investigations into current and historic land uses.

The LLUR only contains information held by Environment Canterbury in relation to contaminated or potentially contaminated land; other information relevant to potential contamination may be held in other files (for example consent and enforcement files).

If your enquiry relates to a farm property, please note that many current and past activities undertaken on farms may not be listed on the LLUR. Activities such as the storage, formulation and disposal of pesticides, offal pits, foot rot troughs, animal dips and underground or above ground fuel tanks have the potential to cause contamination.

Please contact and Environment Canterbury Contaminated Sites Officer if you wish to discuss the contents of the LLUR statement, or if you require additional information. For any other information regarding this land please contact Environment Canterbury Customer Services.

Yours sincerely

**Contaminated Sites Team**

# Property Statement from the Listed Land Use Register

Visit [www.ecan.govt.nz/HAIL](http://www.ecan.govt.nz/HAIL) for more information about land uses.



Customer Services  
P. 03 353 9007 or 0800 324 636

PO Box 345  
Christchurch 8140

P. 03 365 3828  
F. 03 365 3194  
E. [ecinfo@ecan.govt.nz](mailto:ecinfo@ecan.govt.nz)

[www.ecan.govt.nz](http://www.ecan.govt.nz)

Date:	06 April 2021		
Land Parcels:	RS 38071	Valuation No(s): 2136023200	
	RS 38072	Valuation No(s): 2136023200	



*The information presented in this map is specific to the property you have selected. Information on nearby properties may not be shown on this map, even if the property is visible.*

## Summary of sites:

There are no sites associated with the area of enquiry.

---

## Information held about the sites on the Listed Land Use Register

There are no sites associated with the area of enquiry.

---

## Information held about other investigations on the Listed Land Use Register

For further information from Environment Canterbury, contact Customer Services and refer to enquiry number ENQ277670.

**Disclaimer:** *The enclosed information is derived from Environment Canterbury's Listed Land Use Register and is made available to you under the Local Government Official Information and Meetings Act 1987 and Environment Canterbury's Contaminated Land Information Management Strategy (ECan 2009).*

*The information contained in this report reflects the current records held by Environment Canterbury regarding the activities undertaken on the site, its possible contamination and based on that information, the categorisation of the site. Environment Canterbury has not verified the accuracy or completeness of this information. It is released only as a copy of Environment Canterbury's records and is not intended to provide a full, complete or totally accurate assessment of the site. It is provided on the basis that Environment Canterbury makes no warranty or representation regarding the reliability, accuracy or completeness of the information provided or the level of contamination (if any) at the relevant site or that the site is suitable or otherwise for any particular purpose. Environment Canterbury accepts no responsibility for any loss, cost, damage or expense any person may incur as a result of the use, reference to or reliance on the information contained in this report.*

*Any person receiving and using this information is bound by the provisions of the Privacy Act 1993.*

# Listed Land Use Register

What you need to know

Everything is connected

## What is the Listed Land Use Register (LLUR)?

The LLUR is a database that Environment Canterbury uses to manage information about land that is, or has been, associated with the use, storage or disposal of hazardous substances.

## Why do we need the LLUR?

Some activities and industries are hazardous and can potentially contaminate land or water. We need the LLUR to help us manage information about land which could pose a risk to your health and the environment because of its current or former land use.

Section 30 of the Resource Management Act (RMA, 1991) requires Environment Canterbury to investigate, identify and monitor contaminated land. To do this we follow national guidelines and use the LLUR to help us manage the information.

The information we collect also helps your local district or city council to fulfil its functions under the RMA. One of these is implementing the National Environmental Standard (NES) for Assessing and Managing Contaminants in Soil, which came into effect on 1 January 2012.

For information on the NES, contact your city or district council.

## How does Environment Canterbury identify sites to be included on the LLUR?

We identify sites to be included on the LLUR based on a list of land uses produced by the Ministry for the Environment (MfE). This is called the Hazardous Activities and Industries List (HAIL)<sup>1</sup>. The HAIL has 53 different activities, and includes land uses such as fuel storage sites, orchards, timber treatment yards, landfills, sheep dips and any other activities where hazardous substances could cause land and water contamination.

### We have two main ways of identifying HAIL sites:

- We are actively identifying sites in each district using historic records and aerial photographs. This project started in 2008 and is ongoing.
- We also receive information from other sources, such as environmental site investigation reports submitted to us as a requirement of the Regional Plan, and in resource consent applications.

<sup>1</sup>The Hazardous Activities and Industries List (HAIL) can be downloaded from MfE's website [www.mfe.govt.nz](http://www.mfe.govt.nz) - keyword search HAIL

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Phone:

Calling from Christchurch: (03) 353 9007

Calling from any other area: 0800 EC INFO (32 4636)



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*Promoting quality of life through  
balanced resource management.*

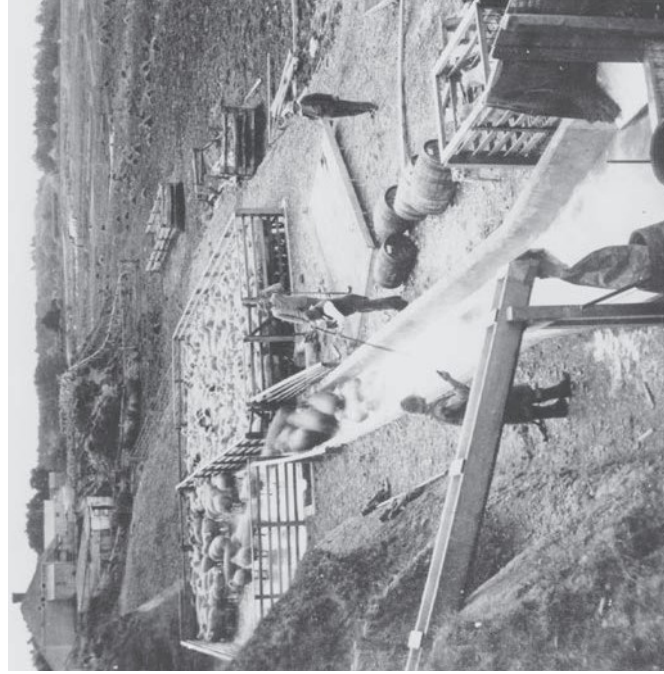
[www.ecan.govt.nz](http://www.ecan.govt.nz)

E13/101



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*Sheep dipping (ABOVE) and gas works (TOP) are among the former land uses that have been identified as potentially hazardous. (Photo above by Wheeler & Son in 1987, courtesy of Canterbury Museum.)*

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**If the land use has been confirmed but analytical information from the collection of samples is not available, and the presence or absence of contamination has therefore not been determined, the site is registered as:**

### **Not investigated:**

- A site whose past or present use has been reported and verified as one that appears on the HAIL.
- The site has not been investigated, which might typically include sampling and analysis of site soil, water and/or ambient air, and assessment of the associated analytical data.
- There is insufficient information to characterise any risks to human health or the environment from those activities undertaken on the site. Contamination may have occurred, but should not be assumed to have occurred.

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### **At or below background concentrations:**

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**Managed for:**

The site has been investigated. Results show that there are hazardous substances present at the site in concentrations that have the potential to cause adverse effects or risks to people and/or the environment. However, those risks are considered managed because:

- the nature of the use of the site prevents human and/or ecological exposure to the risks; and/or
- the land has been altered in some way and/or restrictions have been placed on the way it is used which prevent human and/or ecological exposure to the risks.

**Partially investigated:**

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- demonstrate there are hazardous substances present at the site; however, there is insufficient information to quantify any adverse effects or risks to people or the environment; or
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- has significant adverse effects on human health and/or the environment; and/or
- is reasonably likely to have significant adverse effects on human health and/or the environment.

**If a site has been included incorrectly on the Listed Land Use Register as having a HAIL, it will not be removed but will be registered as:**

**Verified non-HAIL:**

Information shows that this site has never been associated with any of the specific activities or industries on the HAIL.

Please contact Environment  
Canterbury for further information:

(03) 353 9007 or toll free  
on 0800 EC INFO (32 4636)  
email [ecinfo@ecan.govt.nz](mailto:ecinfo@ecan.govt.nz)



E13/102

Land Registration District

**Canterbury**

Plan Number

**DP 490534**

Territorial Authority (the Council)

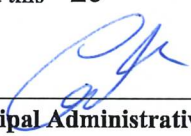
**Hurunui District Council**

**Certifications under the Resource Management Act 1991 (*options that do not apply must be deleted*)**

**Pursuant to the Resource Management Act 1991 I hereby certify that:**

- ☐ the above plan was approved by the Council pursuant to section 223 of the Resource Management Act 1991 on the 29 day of April 2021
- ☐ the approval of the Council under section 223 of the Resource Management Act 1991 is subject to the amalgamation conditions set out hereon (see LINZ request number 1714327)
- ☐ pursuant to Section 224(c) all the conditions of the subdivision consent have been complied with to the satisfaction of the Council

Dated this 29 day of April 2021

  
Principal Administrative Officer/Authorised Officer

**Amalgamation Conditions**

(Pursuant to s220 Resource Management Act 1991)

That Lot 1 hereon be transferred to the owners of Lot 3 DP 17071 (RT CB10A/468) and that one record of title be issued to include both parcels (LINZ request number 1714327).



# Title Plan - DP 490534

---

**Survey Number** DP 490534  
**Surveyor Reference** 1749 58 Littles Drive  
**Surveyor** Reuben Vos  
**Survey Firm** Access Land Surveying  
**Surveyor Declaration** I Reuben Vos, being a licensed cadastral surveyor, certify that:  
(a) this dataset provided by me and its related survey are accurate, correct and in accordance with the Cadastral Survey Act 2002 and the Rules for Cadastral Survey 2010, and  
(b) the survey was undertaken by me or under my personal direction.  
Declared on 02 Oct 2015 05:35 PM

---

## Survey Details

<b>Dataset Description</b>	Lot 1 a Subdivision of RS 38072		
<b>Status</b>	Deposited		
<b>Land District</b>	Canterbury	<b>Survey Class</b>	Class B
<b>Submitted Date</b>	02/10/2015	<b>Survey Approval Date</b>	05/10/2015
		<b>Deposit Date</b>	24/05/2021

---

## Territorial Authorities

Hurunui District

---

## Comprised In

RT CB35D/554  
RT CB15F/1172

---

## Created Parcels

Parcels	Parcel Intent	Area	RT Reference
Lot 1 Deposited Plan 490534	Fee Simple Title	1.3152 Ha	708639
<b>Total Area</b>		1.3152 Ha	

**Land Registration District**

**Canterbury**

**Plan Number**

**DP 490534**

**Territorial Authority (the Council)**

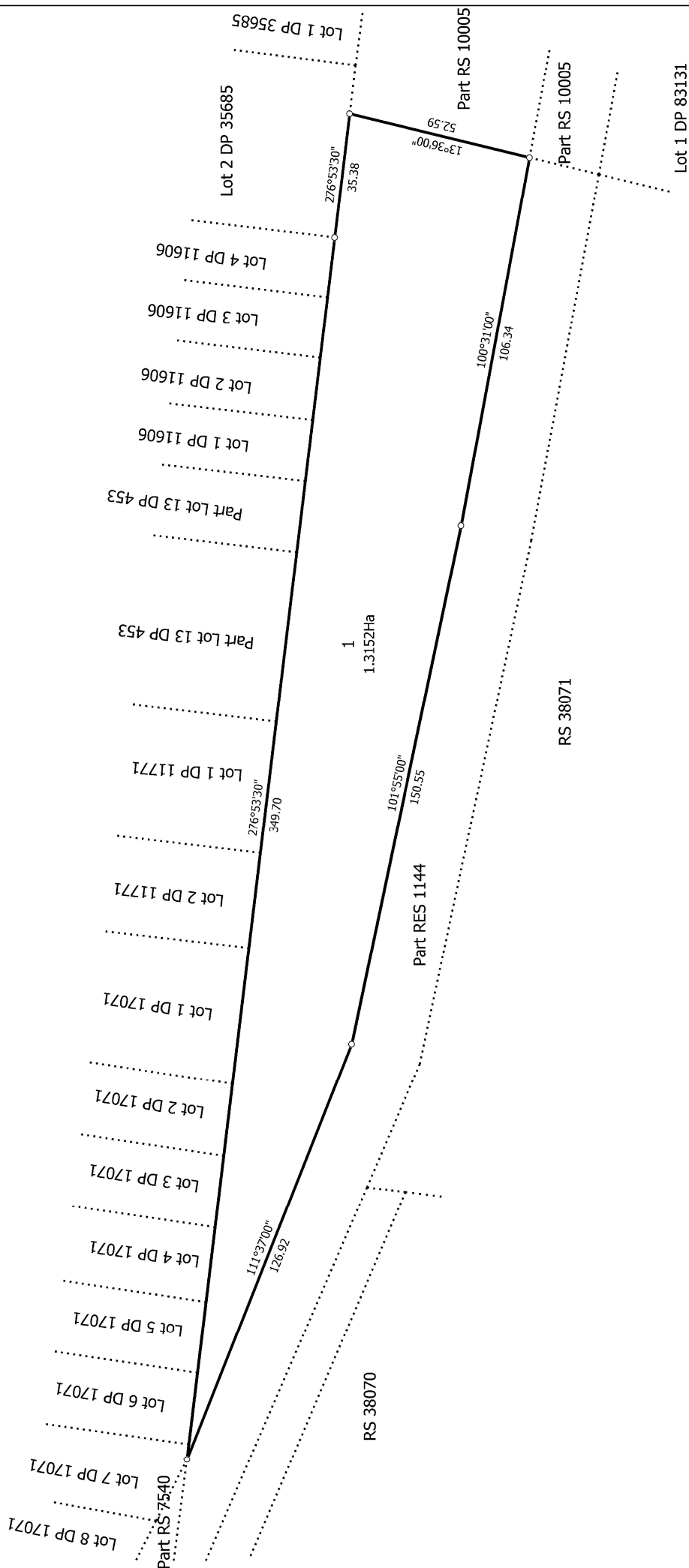
**Hurunui District Council**

**Amalgamation Condition**

(Pursuant to s220 Resource Management Act 1991)

That Lot 1 hereon be transferred to the owners of Lot 3 DP 17071 (RT CB10A/468) and that one record of title be issued to include both parcels (CSN Request 1714327)

Lot 1 is subject to Part 4A Conservation Act 1987



T 1/1

**Lot 1 a Subdivision of RS 38072**

Surveyor: Reuben Vos  
Firm: Access Land Surveying

Title Plan  
DP 490534

Digitally Generated Plan  
Generated on: 23/06/2021 08:11am Page 3 of 3

Deposited on: 24/05/2021



**Form 9**  
**Under Section 88 of the Resource Management Act 1991**  
**Application for Resource Consent**

To: Hurunui District Council  
PO Box 13  
Amberley 7441

Phone: 033148816  
Email: [planning@hurunui.govt.nz](mailto:planning@hurunui.govt.nz)

- 
1. I *(full name)* \_\_\_\_\_ apply for the following resource consent: Land use consent and/or Subdivision consent
  2. Describe the activity to which the application relates: *(i.e. explain the proposal referring to the District Plan issues of non-compliance)*
  3. The names and addresses of the owner and occupier (other than the applicant) of any land to which the application relates are as follows: *(give names and addresses)*
  4. The location of the proposed activity is as follows:  

Address: \_\_\_\_\_

Legal Description: \_\_\_\_\_

Valuation Number: \_\_\_\_\_
  5. Are any additional resource consents required from Canterbury Regional Council for the proposed activity? If the answer is yes, please list:

Have these been applied for? \_\_\_\_\_

6. **I attach** in accordance with the Fourth Schedule of the Resource Management Act 1991, an assessment of environmental effects in sufficient detail that corresponds with the scale and significance of the effects that the proposed activity may have on the environment.
7. **I attach** the information required on the attached check sheet for land use or subdivision.
8. On 1 January 2012 the National Environmental Standard for Assessing and Managing Contaminants in Soil to Protect Human Health (NES) came into effect. Is the site currently, or previously, or more likely than not to have been used for an activity on the Hazardous Activities and Industries List (HAIL) as attached to this form? In order to help determine whether the NES applies, please answer the following questions:

Is an activity described on the HAIL currently being undertaken on the piece of land to which this application applies?	Yes <input type="checkbox"/> No <input type="checkbox"/>
Has an activity described on the HAIL ever been undertaken on the piece of land to which this application applies to the best of your knowledge?	Yes <input type="checkbox"/> No <input type="checkbox"/>
Is it more likely than not that an activity described on the HAIL is being or has been undertaken on the piece of land to which this application applies?	Yes <input type="checkbox"/> No <input type="checkbox"/>
<b>If 'Yes' to any of the above, then the NES for Assessing and Managing Contaminants in Soil to Protect Human Health may apply. Check the five activities to which the NES applies:</b>	
Is the activity you propose to undertake removing or replacing a fuel storage system or parts of it?	Yes <input type="checkbox"/> No <input type="checkbox"/>
Is the activity you propose to undertake sampling soil?	Yes <input type="checkbox"/> No <input type="checkbox"/>
Is the activity you propose to undertake disturbing soil?	Yes <input type="checkbox"/> No <input type="checkbox"/>
Is the activity you propose to undertake subdividing land?	Yes <input type="checkbox"/> No <input type="checkbox"/>
Is the activity you propose to undertake changing the use of the land?	Yes <input type="checkbox"/> No <input type="checkbox"/>
<b>If 'Yes' to any of the above activities, then the NES for Assessing and Managing Contaminants in Soil to Protect Human Health is likely to apply and you are required to provide an assessment in relation to the NES.</b>	

9. I enclose \$\_\_\_\_\_ being the relevant application fee.

10. \_\_\_\_\_ Date \_\_\_\_\_  
Signature of applicant (or person authorised to sign on behalf of applicant)

11. Address for service of applicant:

Contact person: \_\_\_\_\_

*(Name and designation)*

Phone No: \_\_\_\_\_

Mobile No: \_\_\_\_\_

Email: \_\_\_\_\_

**Note to applicant**

You may apply for 2 or more resource consents that are needed for the same activity on the same form. You must pay the charge payable to the consent authority for the resource consent application under the Resource Management Act 1991.

# Hazardous Activities and Industries List (HAIL)

October 2011



## **A Chemical manufacture, application and bulk storage**

1. Agrichemicals including commercial premises used by spray contractors for filling, storing or washing out tanks for agrichemical application
2. Chemical manufacture, formulation or bulk storage
3. Commercial analytical laboratory sites
4. Corrosives including formulation or bulk storage
5. Dry-cleaning plants including dry-cleaning premises or the bulk storage of dry-cleaning solvents
6. Fertiliser manufacture or bulk storage
7. Gasworks including the manufacture of gas from coal or oil feedstocks
8. Livestock dip or spray race operations
9. Paint manufacture or formulation (excluding retail paint stores)
10. Persistent pesticide bulk storage or use including sport turfs, market gardens, orchards, glass houses or spray sheds
11. Pest control including the premises of commercial pest control operators or any authorities that carry out pest control where bulk storage or preparation of pesticide occurs, including preparation of poisoned baits or filling or washing of tanks for pesticide application
12. Pesticide manufacture (including animal poisons, insecticides, fungicides or herbicides) including the commercial manufacturing, blending, mixing or formulating of pesticides
13. Petroleum or petrochemical industries including a petroleum depot, terminal, blending plant or refinery, or facilities for recovery, reprocessing or recycling petroleum-based materials, or bulk storage of petroleum or petrochemicals above or below ground
14. Pharmaceutical manufacture including the commercial manufacture, blending, mixing or formulation of pharmaceuticals, including animal remedies or the manufacturing of illicit drugs with the potential for environmental discharges
15. Printing including commercial printing using metal type, inks, dyes, or solvents (excluding photocopy shops)
16. Skin or wool processing including a tannery or fellmongery, or any other commercial facility for hide curing, drying, scouring or finishing or storing wool or leather products
17. Storage tanks or drums for fuel, chemicals or liquid waste
18. Wood treatment or preservation including the commercial use of anti-sapstain chemicals during milling, or bulk storage of treated timber outside

## **B Electrical and electronic works, power generation and transmission**

1. Batteries including the commercial assembling, disassembling, manufacturing or recycling of batteries (but excluding retail battery stores)
2. Electrical transformers including the manufacturing, repairing or disposing of electrical transformers or other heavy electrical equipment
3. Electronics including the commercial manufacturing, reconditioning or recycling of computers, televisions and other electronic devices
4. Power stations, substations or switchyards

## **C Explosives and ordinances production, storage and use**

1. Explosive or ordinance production, maintenance, dismantling, disposal, bulk storage or re-packaging
2. Gun clubs or rifle ranges, including clay targets clubs that use lead munitions outdoors
3. Training areas set aside exclusively or primarily for the detonation of explosive ammunition

**D Metal extraction, refining and reprocessing, storage and use**

1. Abrasive blasting including abrasive blast cleaning (excluding cleaning carried out in fully enclosed booths) or the disposal of abrasive blasting material
2. Foundry operations including the commercial production of metal products by injecting or pouring molten metal into moulds
3. Metal treatment or coating including polishing, anodising, galvanising, pickling, electroplating, or heat treatment or finishing using cyanide compounds
4. Metalliferous ore processing including the chemical or physical extraction of metals, including smelting, refining, fusing or refining metals
5. Engineering workshops with metal fabrication

**E Mineral extraction, refining and reprocessing, storage and use**

1. Asbestos products manufacture or disposal including sites with buildings containing asbestos products known to be in a deteriorated condition
2. Asphalt or bitumen manufacture or bulk storage (excluding single-use sites used by a mobile asphalt plant)
3. Cement or lime manufacture using a kiln including the storage of wastes from the manufacturing process
4. Commercial concrete manufacture or commercial cement storage
5. Coal or coke yards
6. Hydrocarbon exploration or production including well sites or flare pits
7. Mining industries (excluding gravel extraction) including exposure of faces or release of groundwater containing hazardous contaminants, or the storage of hazardous wastes including waste dumps or dam tailings

**F Vehicle refuelling, service and repair**

1. Airports including fuel storage, workshops, washdown areas, or fire practice areas
2. Brake lining manufacturers, repairers or recyclers
3. Engine reconditioning workshops
4. Motor vehicle workshops
5. Port activities including dry docks or marine vessel maintenance facilities
6. Railway yards including goods-handling yards, workshops, refuelling facilities or maintenance areas
7. Service stations including retail or commercial refuelling facilities
8. Transport depots or yards including areas used for refuelling or the bulk storage of hazardous substances

**G Cemeteries and waste recycling, treatment and disposal**

1. Cemeteries
2. Drum or tank reconditioning or recycling
3. Landfill sites
4. Scrap yards including automotive dismantling, wrecking or scrap metal yards
5. Waste disposal to land (excluding where biosolids have been used as soil conditioners)
6. Waste recycling or waste or wastewater treatment

**H Any land that has been subject to the migration of hazardous substances from adjacent land in sufficient quantity that it could be a risk to human health or the environment****I Any other land that has been subject to the intentional or accidental release of a hazardous substance in sufficient quantity that it could be a risk to human health or the environment**

## Subdivision consent checklist

	Included	Not applicable
Completed application form (Form 9) i.e. all questions have been answered.		
Application fee enclosed or paid on-line. HDC Bank Account: 03-0802-0946666-00 – Ref: RC<Applicant name>		
A detailed description of the proposal.		
An assessment of the activity against the relevant rules, objectives and policies of the Hurunui District Plan.		
An assessment of environmental effects with details of any mitigation measures proposed. You may wish to refer to the assessment matters in the relevant chapter(s) of the Hurunui District Plan. This assessment may include specialist reports on matters such as traffic, heritage, noise or landscape.		
Record of title (less than 6 months old and relevant).		
Address the NES for Assessing and Managing Contaminants in Soil to Protect Human Health.		
If the application site is located within the Rural Zone and has a Land Use Capability of 1-3, as mapped by the New Zealand Land Resource Inventory, an assessment of the relevant provisions of the National Policy Statement for Highly Productive Land has been provided.		
Subdivision scheme plan to a metric scale (1:100, 1:200, 1:250, 1:500, 1:1000, 1:2000) preferably on either A3 or A4 showing (where relevant):		
<ul style="list-style-type: none"> <li>Position of all new boundaries.</li> </ul>		
<ul style="list-style-type: none"> <li>Location and identification of all buildings on site.</li> </ul>		
<ul style="list-style-type: none"> <li>Areas of all new allotments.</li> </ul>		
<ul style="list-style-type: none"> <li>Location and areas of the land below the mean high water springs of the sea, or of any part of the bed of a river or lake, which is required under section 235 of the Act to be shown on the survey plan as land to be vested in the crown.</li> </ul>		
<ul style="list-style-type: none"> <li>Location and areas of land to be set aside as new road and road naming application in accordance with Road Naming Policy.</li> </ul>		
<ul style="list-style-type: none"> <li>Location and area of any proposed easements, with memorandum and/or schedule.</li> </ul>		

<ul style="list-style-type: none"> <li>• Abutting and underlying title boundaries, existing building line restrictions and existing easements.</li> </ul>		
<ul style="list-style-type: none"> <li>• Where appropriate and possible, contours (based on mean sea level) at an interval sufficient for design of accessways and services or to show the general topography of the area, particularly around house sites.</li> </ul>		
<ul style="list-style-type: none"> <li>• Any features to be protected by covenant or other method.</li> </ul>		
<ul style="list-style-type: none"> <li>• The principal topographical and geological features, including areas of loose fill and faultline or fault traces.</li> </ul>		
<ul style="list-style-type: none"> <li>• Areas that may be subject to frequent flooding, or inundation, erosion, landslip or subsidence, or are within an identified natural hazard high risk area.</li> </ul>		
<ul style="list-style-type: none"> <li>• Areas of wetlands and bush.</li> </ul>		
<ul style="list-style-type: none"> <li>• All watercourses that have an average normal waterway width greater than 1 metre.</li> </ul>		
<ul style="list-style-type: none"> <li>• The existing sewer and stormwater drainage system with invert and manhole levels.</li> </ul>		
<ul style="list-style-type: none"> <li>• Existing power/telecommunication poles.</li> </ul>		
<ul style="list-style-type: none"> <li>• Existing groundwater bores and their Regional Council reference number.</li> </ul>		
<ul style="list-style-type: none"> <li>• Existing and proposed septic tank, soakage areas, and irrigation systems.</li> </ul>		
<ul style="list-style-type: none"> <li>• Existing structures, fences and whether such structures will be retained, relocated or removed.</li> </ul>		
<ul style="list-style-type: none"> <li>• Proposed roads, access points onto the lot(s), accessways, and service lanes with relevant widths, areas and gradients.</li> </ul>		
<ul style="list-style-type: none"> <li>• Proposed areas of excavation and fill, together with the proposed finished contours for proposed cuts and fills greater than 1 m<sup>3</sup>.</li> </ul>		
<ul style="list-style-type: none"> <li>• Any designations applying to all or part of the lot.</li> </ul>		
<ul style="list-style-type: none"> <li>• Any conservation or heritage features (including any archaeological feature).</li> </ul>		
<b>Information on the following matters, where relevant:</b>		
<b>Potable Water</b>		
<ul style="list-style-type: none"> <li>• Verification that each new lot is capable of meeting the minimum standard for water supply including water modelling results if connecting to a Council water scheme, or a water quality &amp; quantity assessment report if using a private supply. If water modelling is required, the results of the modelling must be provided for your resource consent application to proceed. Please note that water modelling applications typically take around six weeks to process. Water modelling for subdivisions within urban areas also include wastewater and stormwater modelling.</li> </ul>		

<b>Utility services</b>		
<ul style="list-style-type: none"> <li>Information on the availability or otherwise of common utility services.</li> </ul>		
<b>Stormwater drainage</b>		
<ul style="list-style-type: none"> <li>Where existing stormwater sewers are proposed to be used or connected to service the subdivision, conformation that adequate capacity is available.</li> </ul>		
<ul style="list-style-type: none"> <li>If stormwater is proposed to be discharged into a watercourse or the sea, any consultation or resource consents needed.</li> </ul>		
<ul style="list-style-type: none"> <li>If soak pits are proposed, the results of soakage tests and site suitability for this type of stormwater disposal.</li> </ul>		
<b>Sewage disposal</b>		
<ul style="list-style-type: none"> <li>Whether there is adequate capacity through the existing sewers; or</li> </ul>		
<ul style="list-style-type: none"> <li>Evidence that the lot(s) has the ability to adequately dispose of sewage in an environmentally acceptable manner, and that any required discharge consents have been obtained from the Canterbury Regional Council.</li> </ul>		
<b>Stability</b>		
<ul style="list-style-type: none"> <li>A statement that there is no uncontrolled fill on the site, and there is no evidence of soil creep, slumping, or other site instability.</li> </ul>		
<b>Fault lines</b>		
<ul style="list-style-type: none"> <li>If any fault lines or traces are shown on the survey plan, a full geotechnical report must also be submitted.</li> </ul>		
<b>Hazardous substances</b>		
<ul style="list-style-type: none"> <li>If the land contains or has contained an installation in which a hazardous substance was stored, used or disposed of, the application shall include any effects or risks posed by the installation.</li> </ul>		
<b>Heritage or cultural sites</b>		
<ul style="list-style-type: none"> <li>If the land contains an identified feature the application must include information about the feature and any proposed method of protecting it as necessary.</li> </ul>		
<b>Cross lease or company lease or unit title</b>		
(i) Information to demonstrate that the building(s) have existing use rights; or		
(ii) A copy of the certificate of compliance for each building; or		
(iii) Any land use consent granted for the subject buildings; or		
(iv) Information to demonstrate the subject buildings meet the relevant development controls of this Plan.		

<b>Staged cross-lease subdivision</b>		
<ul style="list-style-type: none"> <li>Sufficient information to demonstrate that the undeveloped balance portion of land is suitable for further development that would be in accordance with the requirements of the District Plan, and that all possible site constraints to such development have been investigated and reported.</li> </ul>		
<b>Staged unit title subdivision</b>		
<ul style="list-style-type: none"> <li>Information must be submitted with the application to show the proposed staging of development, including:</li> </ul>		
(i) How all existing or proposed buildings will meet the requirements of the District Plan; or		
(ii) The land use consent issued for any proposed buildings; or		
(iii) The building consent issued for any proposed buildings.		
<b>Staged freehold subdivision</b>		
<ul style="list-style-type: none"> <li>Information and plans on the proposed staging process and time frame.</li> </ul>		
<b>Ashley Forest Village - Comprehensive development</b>		
<ul style="list-style-type: none"> <li>A comprehensive development plan detailing how any subdivision proposal links with future subdivision intended to be undertaken on the site.</li> </ul>		
<b>Amberley - Stormwater disposal</b>		
<p>A stormwater management plan showing how it is proposed to manage the anticipated rainfall run-off from the site from a 2% Annual Exceedance Probability (AEP) rainfall event.</p> <p>The stormwater management plan must include the following information:</p>		
<ul style="list-style-type: none"> <li>The estimated rainfall run-off from a 2% AEP rainfall event from the site, once fully developed;</li> </ul>		
<ul style="list-style-type: none"> <li>Where, how and for what length of time the rainfall run-off is to be detained and the anticipated rate of release into the Amberley drainage system;</li> </ul>		
<ul style="list-style-type: none"> <li>The anticipated rate of discharge of stormwater into the Amberley drainage system and any possible surface flood flow paths for a rainfall run-off exceeding 2% AEP rainfall event; and</li> </ul>		
<ul style="list-style-type: none"> <li>Any restrictions on site coverage or hard standing areas to mitigate rainfall run-off.</li> </ul>		
<b>Amberley - Transport networks and reverse-sensitivity</b>		
<p>An assessment of the adverse effects from vehicular or railway traffic on dwellings that may be erected within 80 metres of the sealed carriageway of State Highway 1 (Ashworth, Carters or Glasnevin roads) or 70 metres of the railway track.</p>		
<b>Buxton Valley – Gore Bay</b>		

<ul style="list-style-type: none"> <li>Information to show compliance with Outline Development Plan in Appendix 5.1.6 of the Hurunui District Plan including:</li> </ul>		
(i) the alignment of roads;		
(ii) the location of complying building platforms within building clusters;		
(iii) the location and extent of indigenous vegetation to be planted for mitigation and enhancement purposes;		
(iv) the location and extent of areas for protection;		
(v) the location and extent of areas protected for managed grazing;		
(vi) the location of fence lines; and		
(vii) the general location of walkways.		
<ul style="list-style-type: none"> <li>Esplanade strip a minimum width of 5m to be provided on either side of Buxton Stream and extending a maximum length of 226m from the eastern site boundary.</li> </ul>		
<b>St James Estate - Hanmer Springs</b>		
<ul style="list-style-type: none"> <li>Location of the central open space reserve (minimum area of 7,000 m<sup>2</sup>) as identified on the Outline Development Plan at Appendix 5.1.1.</li> </ul>		
<ul style="list-style-type: none"> <li>Location of the open space buffer (minimum width of 20 m) along the Hanmer Springs Road (SH7A) frontage of the site.</li> </ul>		
<ul style="list-style-type: none"> <li>Location of the open space reserve with a minimum area of 3 ha at the junction of Hanmer Springs Road (SH7A) and Argelins Road.</li> </ul>		
<ul style="list-style-type: none"> <li>Location of the road connection to the property directly to the north of the site and showing the link to the central reserve as identified on the Outline Development Plan at Appendix 5.1.1.</li> </ul>		
<ul style="list-style-type: none"> <li>A stormwater detention pond providing for a minimum of 13,000 m<sup>3</sup> of storage shall be provided generally in that location identified on the Outline Development Plan at Appendix 5.1.1.</li> </ul>		

# Resource Consent Application & Assessment of Environmental Effects

57 Princes St, Waikari

2 Lot Subdivision





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## APPENDICES

Appendix A - Scheme Plan

Appendix B - Record of Title

Appendix C – Water Modelling

Appendix D – Geotechnical Report



## ADDRESS FOR SERVICE

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<b>Company</b>	Datum Surveying
<b>Address for Service</b>	Datum Surveying Ltd 106 North Eyre Road RD2 Swannanoa Canterbury 7692
<b>Email</b>	tim@datumsurveying.co.nz
<b>Phone</b>	0274083156
<b>Applicant</b>	Brent Anthony Trotter and Joanne Maureen Trotter

## 1. SUBJECT SITE

### 1.1. SUBJECT SITE DETAILS

<b>Site Name</b>	57 Princes St, Waikari
<b>Appellation</b>	Lot 3 DP 17071 and Lot 1 DP 490534
<b>Titles</b>	708639
<b>Property Area</b>	11.4505 Hectares
<b>Territorial Authority</b>	Hurunui District

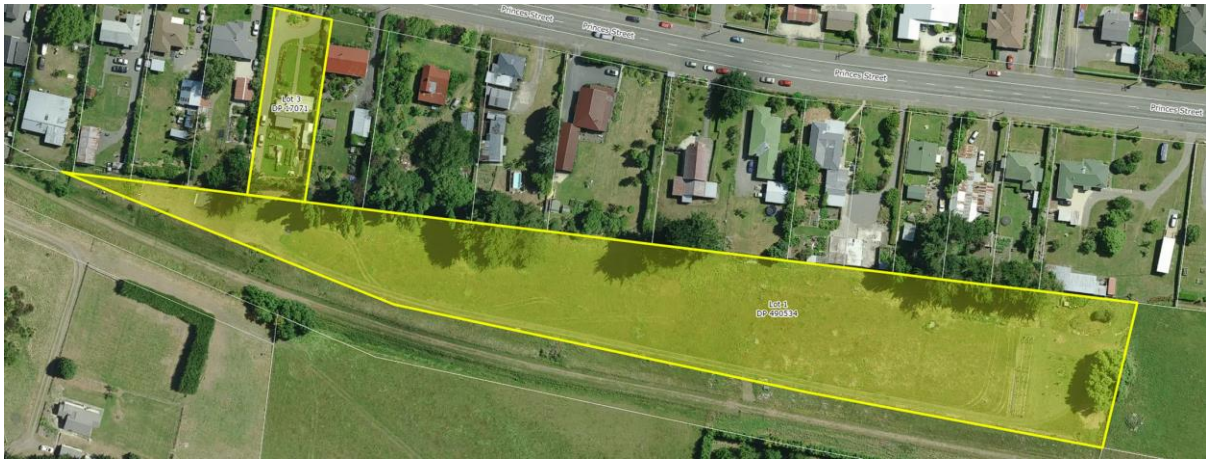
### 1.2. PLANNING FEATURES

The site is zoned Residential 1 – Waikari Settlement in the Hurunui District Plan. The site is also subject to the Fault Awareness Zone Area for the Moores Hill Fault.

## 2. SITE AND SURROUNDING ENVIRONMENT

### 2.1. SITE DESCRIPTION

The site consists of an existing dwelling on the centre of Lot 3 DP 17071 with an attached carport. The main driveway to the site is at the eastern edge of the road frontage with a supplementary gate at the western edge. Landscaping of the site is consistent with rural residential occupation with some vegetable gardening and garden areas on the front portion of the site. The rear of the site (generally made up of Lot 1 DP 490534) consists of paddocks and some plantings.



## 2.2. SURROUNDING ENVIRONMENT

The subject site is located within the Waikari settlement. This is a small, generally residential area surrounded by rurally zoned farmland.

## 2.3. EXISTING CONSENTS

The owners of the site have acquired the following approved consents:

- RC220139 – Consent to subdivide the site into 6 lots.
- RC220140 – Consent to subdivide potentially contaminated land.

Both consents were dated 1 December 2022, and it is expected that RC220140 is applicable to a future application and therefore no further Land use Consent is required for NES assessment. The recommendations in RC220140 are proposed to be adopted with this application and a consent notice area is proposed as shown on the scheme plan as Area A. It is proposed that a consent notice supporting this is registered on the title of Lot 2 hereon.

# 3. PROPOSAL

## 3.1. DESCRIPTION OF THE PROPOSAL

This application serves to subdivide the existing title into 2 new titles shaped such to facilitate road access to the rear of the site. This is proposed via a traditional “leg in” style subdivision with the road access at the western side of existing Lot 3 DP 17071 as outlined on the Scheme Plans attached as Appendix A.

## 3.2. SERVICING

All proposed connections have been designed to the proposed building platform on Lot 2. Scheme Plan 1178-SC01 details indicative connection locations and type, however these are subject to engineering approval from HDC.

### 3.2.1. WASTEWATER

A new connection to Lot 2 hereon has been proposed to be constructed at the driveway to Lot 2. This is proposed to be a DN100 wastewater lateral connected to the existing wastewater main in Princes St.



### 3.2.2. STORMWATER

Stormwater for the existing house is understood to be discharged to Princes Street. No change is proposed to this system. Discharge from the roof area of Lot 2 is proposed to a holding tank (size to be confirmed) which will be installed as part of the building consent.

### 3.2.3. POWER

It is understood that there is already an existing power ICP at the address.

An existing overhead power line is present towards the western edge of Lot 2 hereon. This services lots to the south and is proposed to be covered by an easement in gross in favour of Mainpower New Zealand as shown on the scheme plan.

### 3.2.4. WATER

Hurunui District Council have provided the water modelling assessment WS22085. This was completed for the 6-lot subdivision and is deemed applicable. Connection has been proposed to be a DN32 water lateral due to the length of the lateral connection.

## 3.3. GEOTECHNICAL ASSESSMENT

The site is subject to faultline awareness areas and therefore geotechnical assessments have been undertaken for the site and attached as Appendix 4. Note that this assessment was completed for the previously consented subdivision, however, is still relevant and applicable to this application and similar recommendations apply.

## 4. RULES ASSESSMENT

### 4.1. HURUNUI DISTRICT PLAN

#### Chapter 4 – Settlement Zone Assessment

Rule	Assessment	Comment
4.6.1 – Site Area	<b>Complies</b>	The prescribed minimum site area for Residential 1 is 700m <sup>2</sup> for each lot. Both are compliant
4.6.2 – Site Coverage	<b>Complies</b>	Lot 1 hereon has site coverage of approx. 11%.
4.6.3 - Yards	<b>Complies</b>	All yard dimensions are compliant. The existing dwelling is measured to be 2.2m from the proposed boundary of the access to Lot 2.
4.6.4 - Height	<b>Complies</b>	The existing dwelling on Lot 1 is within the height rule and Lot 2 is vacant.
4.6.5 – Sunlight Access	<b>Complies</b>	No recession plane infringements exist, and no new infringements are created by this application.



4.6.9 - Earthworks	<b>Complies</b>	No earthworks are proposed within the prescribed distance from water features.
4.6.15 – Vehicle Movements	<b>Complies</b>	This application does not serve to create excess vehicle movements.

#### Compliance Assessment

Activity	Status	Description
Chapter 4 Rules	<b>Permitted</b>	This application is within all rules outlined in Chapter 4 and therefore is assessed as a controlled activity.

#### Chapter 5 – Subdivision Rules

Rule	Assessment	Comment
5.5.9.1 – Lot Sizes	<b>Complies</b>	The prescribed minimum site area for Residential 1 is 700m <sup>2</sup> for each lot. Both are compliant
5.5.9.2 – Shape Factor & Frontage	<b>Complies</b>	Both proposed sites have space for a 15m x 15m square.
5.5.9.3 - Services	<b>Complies</b>	All lots can be services appropriately. This is outlined above.
5.5.9.4 - Access	<b>Complies</b>	Access to Lot 1 is existing and proposed access to Lot 2 is shown in the scheme plan to be compliant with access standards. This is proposed to be constructed accordingly. Assessment against the Transport Rules below is supportive of the design.

#### Compliance Assessment

Activity	Status	Description
Chapter 5 Rules	<b>Controlled</b>	This application complies with all Subdivision rules listed in the District Plan and therefore is assessed as a Controlled Activity.



## Chapter 8 – Transport Rules

Rule	Assessment	Comment
8.4.3.2.b – Vehicular Access Within Settlements	<b>Complies</b>	The proposed access to Lot 2 is compliant with prescribed rules.
8.4.3.3 – Minimum Access	<b>Complies</b>	The access to Lot 2 is not considered an access way and therefore this rule is not applicable. However, for the avoidance of doubt, the access is compliant with minimum dimensions outlined.
8.4.3.4 – Vehicle Crossing Standards	<b>Complies</b>	New vehicle crossing to Lot 2 is proposed to be constructed accordingly and access to Lot 1 is proposed to be upgraded to required standard as part of this application.

## Compliance Assessment

Activity	Status	Description
Chapter 8 Rules	<b>Permitted</b>	This application complies with all Subdivision rules listed in the District Plan and therefore is assessed as a permitted activity.

## 5. STATUTORY CONSIDERATIONS

### 5.1. OVERALL APPLICATION STATUS AND STATUTORY CONSIDERATIONS

This 2-lot subdivision is deemed to have a less than minor impact on the surrounding environment and is deemed to be generally within the rules set out in the Hurunui District Plan.

It is deemed that this application is for a **Controlled Activity** pursuant to Section 104 of the Resource Management Act 1991 and should be assessed as a non-notifiable activity.



## 6. ASSESSMENT OF ENVIRONMENTAL EFFECTS

In assessing this application against the District Plan, assessment has also been made of actual or potential effects on the environment. Consideration of such has been made towards the following factors:

- Allotment shape
- Utilities
- Easements
- Access
- Building Locations
- Subdivision Design
- Vegetation and planting

The creation of an additional lot considered as “infill subdivision” is an adequate way of facilitating development and a good way of utilising the extended and immediate environment. The consideration of the aforementioned factors of potential effect on the environment has seen that the shape and subdivision design is consistent with the expected infill design and density. The proposed lots are served and accessed in a way that is consistent with the surrounding environment and consistent with that expected in the District Plan. The proposal is seen to be consistent with residential activities expected of the zone of the relevant District Plan, and therefore vegetation and planting is likely to be consistent in future. There are no significant earthworks proposed as part of this application.

The subdivision proposed is seen to have a positive effect on the environment and is an effective use of the land. As outlined in the assessment against the relevant District Plan rules below, the nature of the proposed subdivision is such that it is a good use of the land for infill housing. The subdivision provides for an improved amenity value of the site and allows for intensification of the site in line with the objectives and policies of the District Plan. As a result of this, there is seen to be no actual or potential adverse effects on the environment.

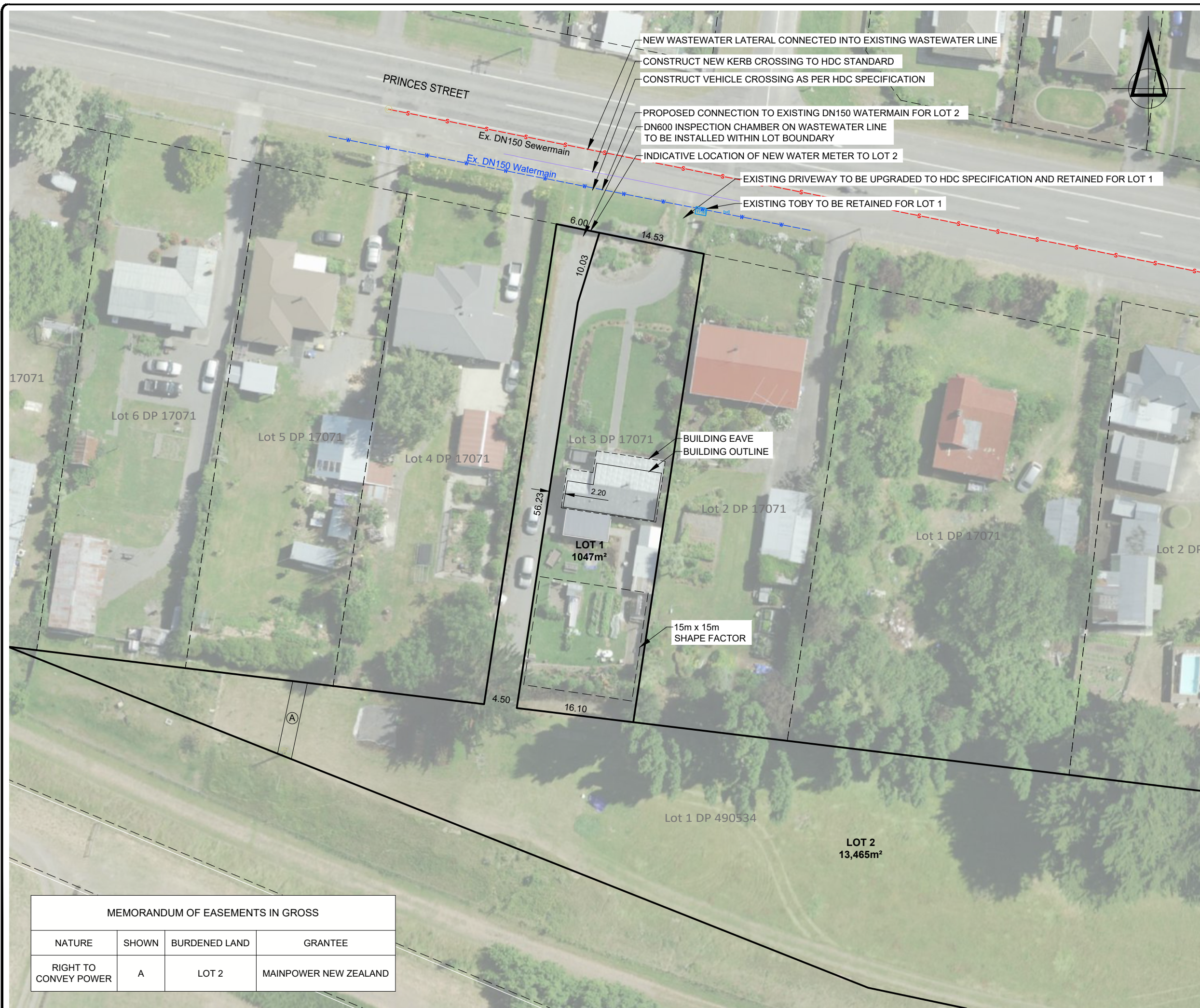
## 7. CONCLUSION

This application for a 2-lot subdivision is deemed to satisfy all objectives, policies, and all applicable rules under the Hurunui District Plan. The application serves to support the zoning, objectives and policies set out in the District Plan and doesn't generate any non-compliances, nor does the approval of this application serve to allow for any significant change to the physical environment in the future.

Accordingly, it is requested that this application for a Controlled Activity is approved in a non-notified manner.



## APPENDIX A – SCHEME PLAN



MEMORANDUM OF EASEMENTS IN GROSS			
NATURE	SHOWN	BURDENED LAND	GRANTEE
RIGHT TO CONVEY POWER	A	LOT 2	MAINPOWER NEW ZEALAND

SURVEYED	DESIGNED	DRAWN	CHECKED	APPROVED	DATE
	TH	TH		TH	12/9/24

- NOTES:
- Coordinates are in terms of NZGD2000, Mt Pleasant Circuit.
  - The site is zoned Residential 1, Settlement Waikari in the Hurunui District Council District Plan.
  - Existing boundary definition is sourced from Landonline XML and is subject to change following formal survey.
  - Proposed boundaries, easements and areas are provisional and are subject to Council approval and final survey.
  - These notes are an integral part of this plan.
  - This plan is issued for a specific project and may not be altered or used for any other purpose without the prior written consent of Datum Surveying Ltd.

CLIENT  
**JO & BRENT TROTTER**

PROJECT  
**LOTS 1 & 2 BEING A  
SUBDIVISION OF LOT 3 DP 17071  
& LOT 1 DP 490534**

**57 PRINCES ST, WAIKARI**

TITLE  
**SCHEME PLAN**



**DATUM SURVEYING**

www.datumsurveying.co.nz

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SURVEYED	TH	11/9/24	APPROVED	TH	12/9/24
DESIGNED	TH	11/9/24	CHECKED	TH	12/9/24
DRAWN	TH	11/9/24	REVISION	CHANGES	CHECKED
CHECKED	TH	11/9/24	1	INITIAL ISSUE FOR COMMENT	TH

- NOTES:
- Coordinates are in terms of NZGD2000, Mt Pleasant Circuit.
  - The site is zoned Residential 1, Settlement Waikari in the Hurunui District Council District Plan.
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CLIENT

JO & BRENT TROTTER

PROJECT

LOTS 1 & 2 BEING A  
SUBDIVISION OF LOT 3 DP 17071  
& LOT 1 DP 490534

57 PRINCES ST, WAIKARI

TITLE

SCHEME PLAN



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SCALE 1:1000 (A3)

DRAWING No 1178-SC02 REVISION 1



## APPENDIX B – RECORD OF TITLE



**RECORD OF TITLE**  
**UNDER LAND TRANSFER ACT 2017**  
**FREEHOLD**  
**Search Copy**



  
R.W. Muir  
Registrar-General  
of Land

**Identifier** **708639**  
**Land Registration District** **Canterbury**  
**Date Issued** 24 May 2021

**Prior References**  
CB10A/468 CB35D/554

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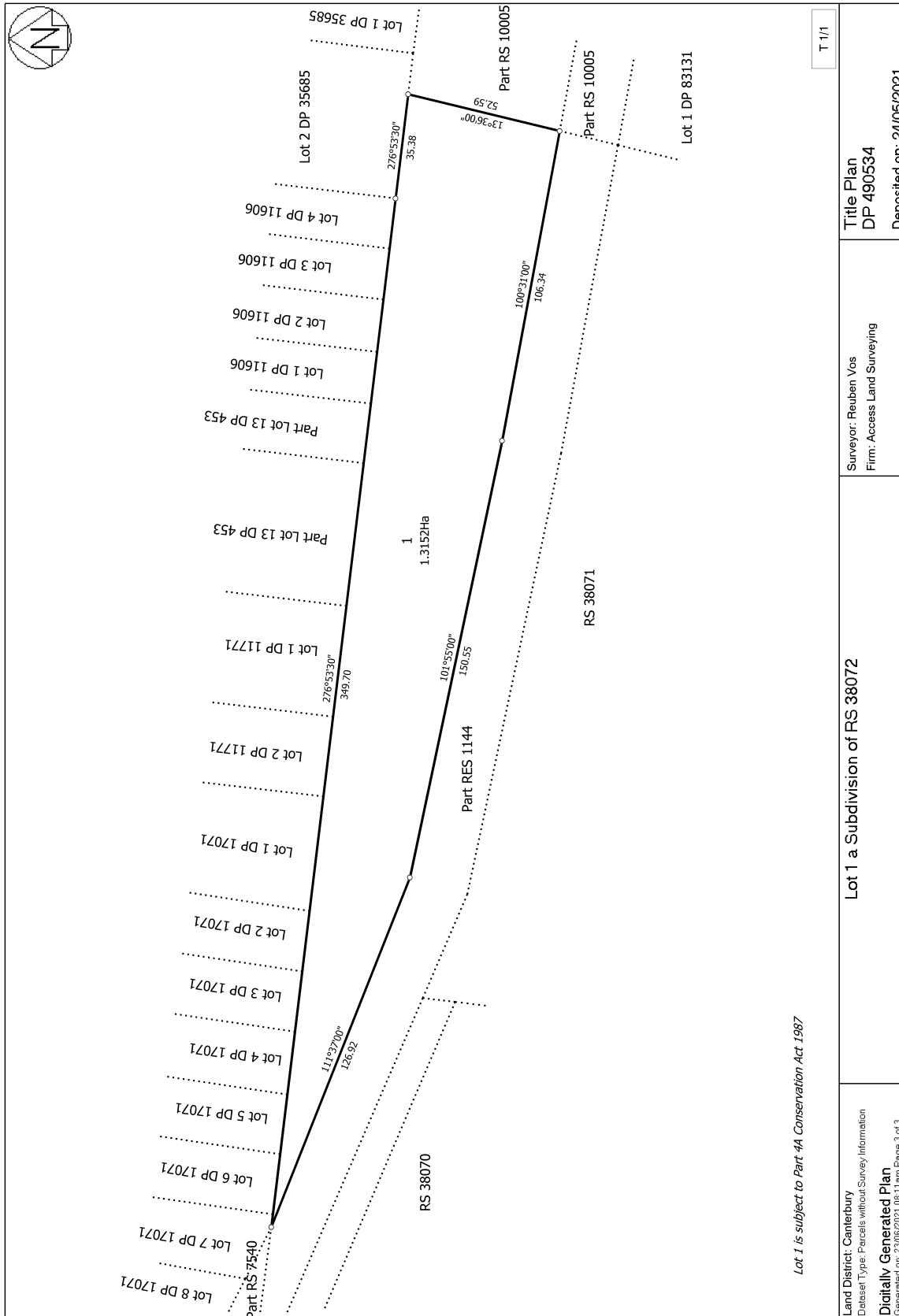
**Estate** Fee Simple  
**Area** 1.4505 hectares more or less  
**Legal Description** Lot 3 Deposited Plan 17071 and Lot 1  
Deposited Plan 490534

**Registered Owners**  
Brent Anthony Trotter and Joanne Maureen Trotter

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**Interests**  
Subject to Part IV A Conservation Act 1987 (affects Lot 1 DP 490534)  
Subject to Section 11 Crown Minerals Act 1991 (affects Lot 1 DP 490534)  
11681403.3 Mortgage to The Co-operative Bank Limited - 14.2.2020 at 2:54 pm (affects Lot 3 DP 17071)  
Subject to Section 241(2) and Sections 242(1) and (2) Resource Management Act 1991 (affects DP 490534)

Search Copy Dated 29/10/24 11:01 am, Page 2 of 3  
Register Only





## APPENDIX C – WATER MODELLING

# HURUNUI DISTRICT COUNCIL

P.O. Box 13 | Amberley | 7441 | 66 Carters Road | Amberley | 7410  
Phone 03 314-8816 | Fax 03 314-9181 | Email [info@hurunui.govt.nz](mailto:info@hurunui.govt.nz)  
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Skype [hdc\\_customer\\_services](https://www.skype.com/en/customer-services) | [twitter.com/hurunuidc](https://twitter.com/hurunuidc)



B & J Trotter  
57 Princes Street  
WAIKARI  
7420

12 April 2022

Dear Brent and Joanne,

## **Water Application Number WS22085 – 57 Princes Street, Waikari**

We have modelled the proposed development at 57 Princes Street, Waikari using the following specifications:

- 4 Lots (for dwellings)
- Existing dwelling (proposed Lot 1)

It is understood that there will be an open space within the right of way to the eastern end of the site shared by the future lots (shown under B on plan SC-01). We have assumed that this will be left as a green area and not require any Three Waters services in the future.

## **Water Supply**

Modelling has identified no current issues with an additional 4 lots in this location. The existing dwelling will remain connected to the water supply network as it currently does.

For firefighting purposes, a fire hydrant will be required in the right of way of Lot 3. This will require a minimum of 220 metres of DN125 12 bar MDPE pipe from Princes Street to service the hydrant.

As discussed earlier in the week, we are looking at trying to utilise the abandoned railway line for the water main. If this is possible then we will try and work with you to provide the water and hydrant requirements from this direction.

## **Wastewater Modelling**

Modelling has identified no current issues with an additional 4 lots in this location. The existing dwelling will remain connected to the wastewater network as it currently does.

## **Stormwater Considerations**

Any stormwater flows from the new dwellings or hard standing areas of the site will need to be attenuated to the current greenfield runoff rate with storage provided up to and including the 2% 24-hour rainfall event before they discharge into any of the existing drains on the site (shown on

Plan SC-01). These drains should be covered by easements and cleaned out sufficiently before the development has been completed to allow for unimpeded bank-to-bank flow.

Please note that there is an existing pipe under the railway line towards the eastern end of proposed Lot 2. This is not shown on the Plan SC-01. The discharge from this pipe will need to be considered in your stormwater proposals for the site and its discharge into the downstream network.

***Please note that this approval letter covers the capacity of the public network only. As part of your subdivision application, you must provide detailed plans of all the proposed water, sewer and stormwater network on the site for assessment.***

If you have any questions, please do not hesitate to contact me.

Yours sincerely

A handwritten signature in black ink, appearing to read 'D. Perry', with a stylized flourish at the end.

David Perry  
Asset Engineer – Three Waters  
Phone 03 314-8816  
Email [david.perry@hurunui.govt.nz](mailto:david.perry@hurunui.govt.nz)



## APPENDIX D – GEOTECHNICAL REPORT



Structural | Geotechnical | Civil | Environmental | Fire

# ENGINEERING SERVICES

57 Princes  
Street, Waikari,  
Hurunui

JOB No.: 2210054  
DATE: 31 March 2022  
ISSUE: 01

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Natural Hazard Assessment Report for  
Proposed Subdivision

---

***find better ways.***

---

## QUALITY CONTROL

**Title** Natural Hazard Assessment Report for Proposed Subdivision –  
57 Princes Street, Waikari, Hurunui

**Client** Brent and Joanne Trotter

**Filename** 2210054 REP001 2022-03-31 57 Princes Street, Waikari, Hurunui Rev01  
S106 apFS

**Version** 01

**Status** Final

**Date** 31 March 2022

**Project Number** 2210054

---

**Author** **Name:** Dunya Salman  
*MSc, BSc  
Geotechnical Engineer*

**Signature:**



---

**Reviewed by** **Name:** Ollie Behrent  
*BAppSc, PMEG, MEngNZ  
Engineering Geologist*

**Signature:**



---

**Reviewed & Approved to Release By** **Name:** Firas Salman  
*PhD, CMEngNZ, CPEng  
Senior Geotechnical Engineer*

**Signature:**

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### Limitations

This report has been prepared at the specific instructions of our client in connection with the above project.

Only our client is entitled to rely upon this report, and then only for the purpose stated above. Kirk Roberts Consulting Engineers Ltd accepts no liability to anyone other than these parties in any way in relation to this report and the content of it and any direct or indirect effect this report may have. Kirk Roberts Consulting Engineers Ltd does not contemplate anyone else relying on this report or that it will be used for any other purpose.

Should anyone wish to discuss the content of this report with Kirk Roberts Consulting Engineers Ltd, they are welcome to contact us on 03 379 8600 and [www.kirkroberts.co.nz](http://www.kirkroberts.co.nz)

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APPENDIX B	NZGD DATA
APPENDIX C	EXPLORATORY HOLE RECORDS
APPENDIX D	RISK-BASED ASSESSMENT
APPENDIX E	STATEMENT OF PROFESSIONAL OPINION

# 1 INTRODUCTION

Kirk Roberts Consulting (Kirk Roberts) has been engaged by Brent and Joanne Trotter (the Client) to undertake geotechnical investigations and reporting at 57 Princes Street, Waikari, Hurunui (the site).

The purpose of this investigation is to assess the geotechnical suitability of the land for the proposed subdivision and prepare this report to support a Resource Consent application to subdivide the subject property into five new lots, and where possible provide advice on suitable foundation options in accordance with Ministry of Business, Innovation and Employment (MBIE) Guidelines<sup>1</sup>.

This report presents the results of geotechnical investigations undertaken on the 18<sup>th</sup> of February 2022, together with an analysis of the soil properties, and a discussion of the following issues:

- Topographical and geological information;
- General geotechnical conditions encountered across the site;
- Risk of material damage due to natural hazards;
- Confirmation of MBIE land classification;
- Advice on suitable foundation system for future development (where possible);
- Suitability to subdivide the site in accordance with Section 106 of the Resource Management Act (RMA) 1991.

Note:

- Risk mitigation measures are limited only to those that would be warranted at the time of subdivision.
- The layout and nature of the future residential dwellings within proposed Lots 2 – 5 following the subdivision are not confirmed at this stage. This report should not be used to support any future application for foundation design or Building Consent, unless supported by further site-specific geotechnical investigation, assessment and reporting. However, this report will provide a general guidance for future development.

# 2 REPORTING REQUIREMENTS

The scope of the report is governed by the need to address requirements set out in the following documents:

- Resource Management Act (1991); S106 Natural Hazards;
- Ministry for the Environment (MfE) Resource Legislation Amendments 2017 – Fact sheet 10 New matters to consider for resource consents of designations;
- MBIE Guidance<sup>1</sup>: “*Repairing and Rebuilding Houses Affected by the Canterbury Earthquakes; Part D Subdivisions*”;
- Hurunui Operative District Plan/ Chapter 15 Natural Hazards<sup>2</sup>.

# 3 SITE DESCRIPTION

The site comprises a single land parcel of land being summarised in Table 1 below.

Table 1: Site Identification

Address	Legal Description	Area
57 Princes Street, Waikari	LOT 3 DP 17071 & LOT 1 DP 490534	1.45 ha

Access to the site is available off of Princes Street to the north. The site is bounded by residential properties to the north and farming properties on all other sides. The site has irregular shape, the northwest part of the site is already developed with an existing dwelling and detached garage with a few sheds, as indicated in Figure 1.

Inspection and assessment of the existing dwelling and other structures are beyond the scope of this report.

<sup>1</sup> Ministry of Business, Innovation & Employment. (2012). Repairing and Rebuilding Houses affected by the Canterbury Earthquakes (version 3). New Zealand.

<sup>2</sup> Hurunui Operative District Plan, Natural Hazards – Rules <https://dp.hurunui.govt.nz/eplan/#Rules/0/17/1/0/0>

The ground level contours shown on Environment Canterbury<sup>3</sup> (ECan) indicate that the site is relatively flat. Waikari River is located approximately 550 m northeast of the site at its nearest point.



Figure 1: Approximate Site Location. (Source: Canterbury Maps<sup>3</sup>, 2022)

## 4 PROPOSED SUBDIVISION

Kirk Roberts has been provided with a proposed subdivision plan for the site prepared by Survus Consultants (*“Proposed Subdivision of LOT 3 DP 17071 & LOT 1 DP 490534”*, Project No. 15327, Drawing No: SC-01, Revision B, dated 4<sup>th</sup> of February 2022. The plans indicate the site is to be subdivided into five new lots. Refer to the proposed plans in Appendix A.

Kirk Roberts have not been provided with building construction plans. For the purpose of this investigation and report, it has been assumed that any future construction will be built in accordance with the MBIE Guidance for Repairing and Rebuilding Houses affected by the Canterbury Earthquakes (the MBIE Guidance) and NZS 3604:2011.

We note that proposed Lot 1 is already developed with an existing dwelling and detached garage. We understand this lot will not be developed further as a result of the proposed subdivision.

We recommend that Kirk Roberts Consulting review any future finalised development plans to assess the requirement for additional investigations, and to confirm that the recommendations made herein remain suitable.

## 5 GEOTECHNICAL INVESTIGATIONS

### 5.1 Geotechnical Database Review

To supplement our geotechnical investigation, a review of the ECan<sup>3</sup> database and the New Zealand Geotechnical Database<sup>4</sup> (NZGD) has been undertaken. Refer to Appendix B.

Review of NZGD<sup>4</sup> uncovered several test pits tests (TP\_136958, TP\_136960 and TP\_136964) located approximately 115 – 130 m to the northwest of the site. The tests encountered a similar soil profile comprising topsoil to 0.4 – 0.5 m below ground level (bgl), overlying silt and clayey silt to at least 2 – 2.2 m bgl where the tests met the target depth.

<sup>3</sup> Environment Canterbury – Canterbury Maps Viewer, data retrieved in March 2022 from <https://mapviewer.canterburymaps.govt.nz/>

<sup>4</sup> New Zealand Geotechnical Database (NZGD), data retrieved in March 2022 from <https://www.nzgd.org.nz/Default.aspx>

## 5.2 Site-Specific Geotechnical Investigation

A geotechnical investigation has been carried out by Kirk Roberts on the 18<sup>th</sup> of February 2022, consisting of five hand-auger boreholes (HA-1 to HA-5) and five associated Scala penetrometer tests (SP-1 to SP-5) to a target depth of 3.0 m bgl or effective refusal.

Testing was completed to assess the near surface soil profile, groundwater table and shallow foundation bearing capacity within the proposed Lot 2, Lot 3, Lot 4 and Lot 5. No investigation was undertaken within proposed Lot 1.

Refer to Appendix C.

## 5.3 Investigation Summary

Geotechnical investigation plans of the assessed exploratory holes are presented in Appendix C. The geotechnical investigations are summarised in Table 2 below.

*Table 2: Summary of Investigations*

Investigation	Test type/code	Depth of test (m bgl)	Comments
Kirk Roberts 2022	Hand-auger boreholes HA-1 to HA-5	1.4 to 3	Refusal and target depth
	Scala Penetrometers SP-1 to SP-5	1.8 to 2.9	Refusal and target depth

# 6 SUB-SURFACE CONDITIONS

## 6.1 Geological Setting

We have reviewed the data published by GNS Science on the New Zealand Geology Web Map<sup>5</sup> to determine the anticipated geology. This is summarised in Table 3 below.

*Table 3: Anticipated geology.*

Geological group	Key name	Geological age	Description
Late Pleistocene sediments	OIS2 (Late Pleistocene) fan deposits	14,000 to 24,000 years	Late Pleistocene river deposits: poorly sorted steep fan gravel deposits

## 6.2 Faults

Information shown on the GNS' Active Faults Database<sup>6</sup>, New Zealand Geotechnical Database (NZGD)<sup>4</sup>, the Hurunui Operative District Plan<sup>2</sup> and Canterbury Maps Viewer<sup>3</sup> identified Moores Hill Fault crosses approximately the centre and the eastern parts of the site. Refer to Figure 2 and Figure 3.

We have reviewed the GNS report (2012/113)<sup>7</sup> for information about the Moores Hill Fault. We could not find a newer fault study, and we therefore assume the findings of the GNS report (2012/113) are still valid.

The GNS report<sup>7</sup> indicates that “no fault scarps had been found along” Moores Hill Fault. GNS report<sup>7</sup> also stated “there are sufficient step-like topographic anomalies to warrant, in our (GNS) opinion, designating the western sector of the Moores Hill Fault as ‘likely’”.

The definition of ‘likely’ represents the GNS’ level of confidence in the interpretation of the deformation features. It also designates “features that are most probably due to faulting or folding, but where we (GNS) cannot rule out other origins such as having been formed by erosion.”

Information shown on the Canterbury Maps Viewer<sup>3</sup> indicates Moores Hill Fault comprises two main segments (refer to Table 4 and Figure 4).

<sup>5</sup> GNS Science – New Zealand Geology Web Map, data retrieved in March 2022 from <http://data.gns.cri.nz/geology/>

<sup>6</sup> Geological and Nuclear Sciences – Active Faults Database, data retrieved in March 2022 from <https://data.gns.cri.nz/af/>

<sup>7</sup> Barrell, D.J.A. and Townsend, D.B. 2012. General distribution and characteristics of active faults and folds in the Hurunui District, North Canterbury. GNS Science Consultancy Report 2012/113. 45 p.

Table 4: Moores Hill Fault main segments

Certainty	Surface form	Location	Nature of evidence (GNS report <sup>7</sup> )	Fault complexity
Possible	Not expressed	This fault segment is located approximately 14.5 km northeast of the site.	No surface expression (i.e. evidence concealed or eroded away) but lies along trend from nearby likely or possible active fault.	Uncertain deformation
Likely	Moderately expressed	This fault segment crosses the eastern part of the site.	moderately expressed	Uncertain deformation

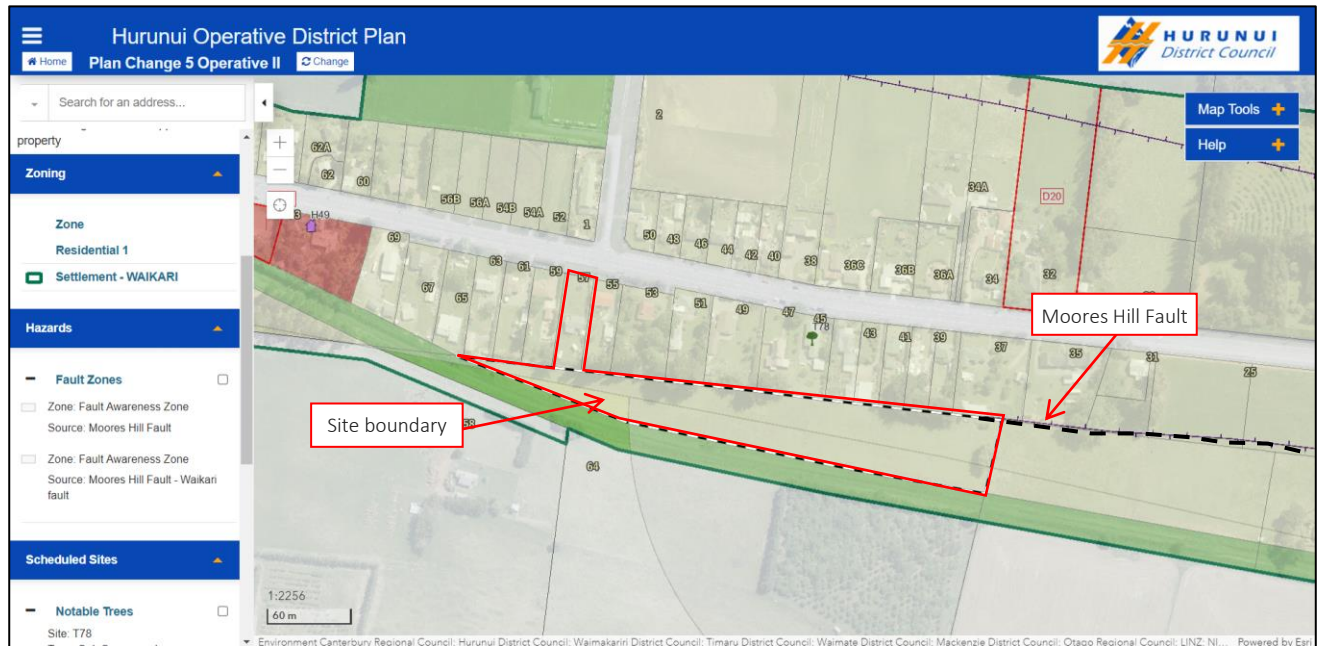


Figure 2: Hurunui Operative District Plan<sup>2</sup>

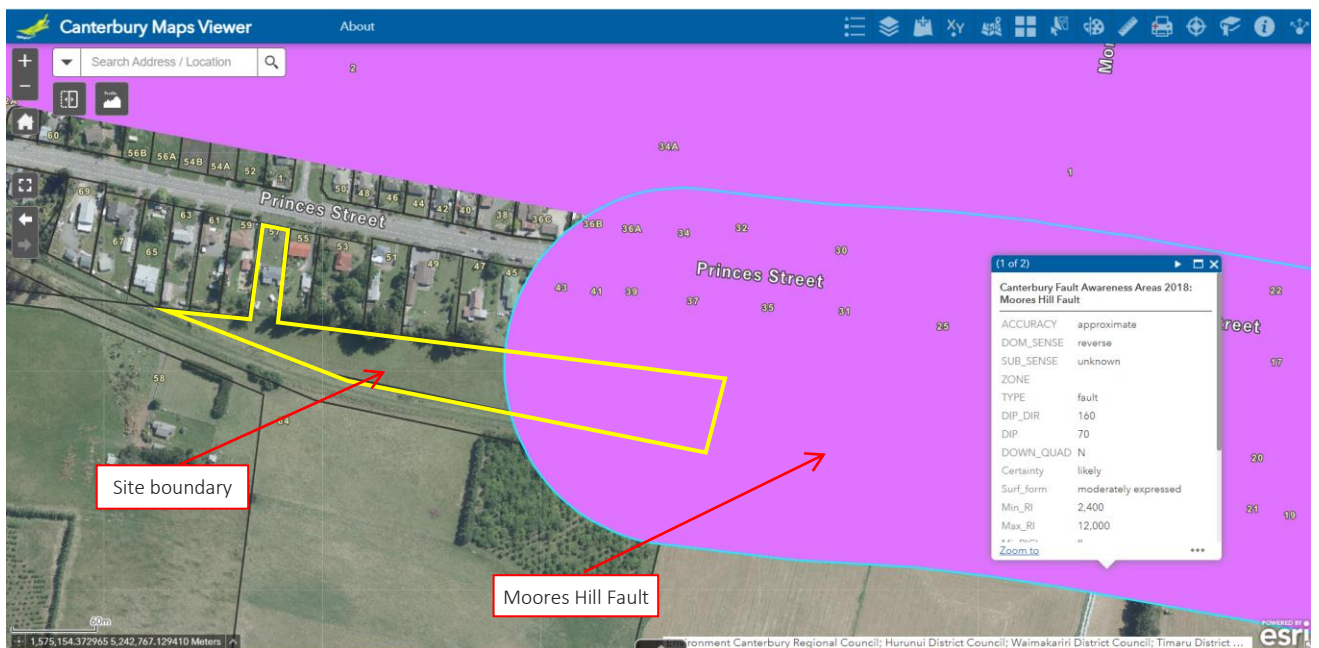


Figure 3: Canterbury Maps Viewer<sup>3</sup> – Faults



Figure 4: Canterbury Maps Viewer<sup>3</sup> – Faults

### 6.3 Soil Profile – Site Specific Investigations

Subsurface ground conditions encountered in the exploratory holes are summarised below. For the shallow test locations and a full detailed description of the subsoil encountered on site, reference should be made to the appended borehole logs in Appendix C. For the purpose of this report, subsoil conditions on the site have been interpolated between the hand-auger boreholes and it must be accepted that soil conditions can and do vary between borehole positions.

The hand-auger boreholes completed during the Kirk Roberts investigation indicate the tested area is underlain by a soil profile comprising topsoil to depths of 0.3 – 0.4 m bgl, overlying soft to vert stiff silt to at least 1.4 – 3 m bgl where tests met practical refusal on stiff strata.

In general, the Scala penetrometer tests undertaken across the site typically returned a minimum of 1 blow per 100 mm of penetration from 0.3 m bgl indicating a minimum index geotechnical ultimate bearing capacity<sup>8</sup> of ( $q_u$ ) = 100 kPa. This increases to a minimum of 2 blows per 100 mm of penetration from 0.4 – 0.5 m bgl indicating a minimum index geotechnical ultimate bearing capacity of ( $q_u$ ) = 200 kPa.

The Scala penetrometer tests returned a minimum of 3 blows per 100 mm of penetration from 0.5 – 0.7 m bgl indicating a minimum index geotechnical ultimate bearing capacity of ( $q_u$ ) = 300 kPa. This indicates that conditions consistent with 'good ground' in accordance with NZS 3604:2011 are generally available from these depths at the locations tested.

### 6.4 Soil Profile Summary

Review of the exploratory hole records indicate the site to be underlain by the following subsurface soil profile (refer to Table 5):

Table 5: Simplified Soil Profile

Top of layer (m bgl)	Description	Density
0.0	TOPSOIL	-
0.3 – 0.4	Silt	Soft to stiff

<sup>8</sup> The inferred bearing capacity is based on Scala penetrometer tests and have been estimated using the procedure presented by M.J. Stockwell in the paper 'Determination of allowable bearing pressure under small structures (June 1977)'.

## 6.5 Groundwater Table

Groundwater was not encountered during Kirk Roberts geotechnical investigation in February 2022.

A review of ECan<sup>3</sup> database indicates the groundwater recorded from nearby wells was 5.77 m bgl.

## 7 ENVIRONMENTAL CONSIDERATIONS

### 7.1 Environment Canterbury (ECan) Listed Land Use Register (LLUR)

The LLUR<sup>9</sup> is a registry of sites where hazardous activities are known to have taken place, and is maintained by Environment Canterbury (ECan). The property is not recorded on ECan's LLUR as having a historic land-use listed on the MfE's Hazardous Activity and Industry List (HAIL).

Further assessment of site-specific environmental issues is beyond the scope of this report.

### 7.2 Flood Risk Assessment

The subject site is shown on the Hurunui Operative District<sup>2</sup> Plan is not located within Flood Assessment Zone. Refer to Figure 5.

We recommend the Hurunui District Council is contacted to confirm and advise of any Finished Floor Level (FFL) requirements for future development on the site.

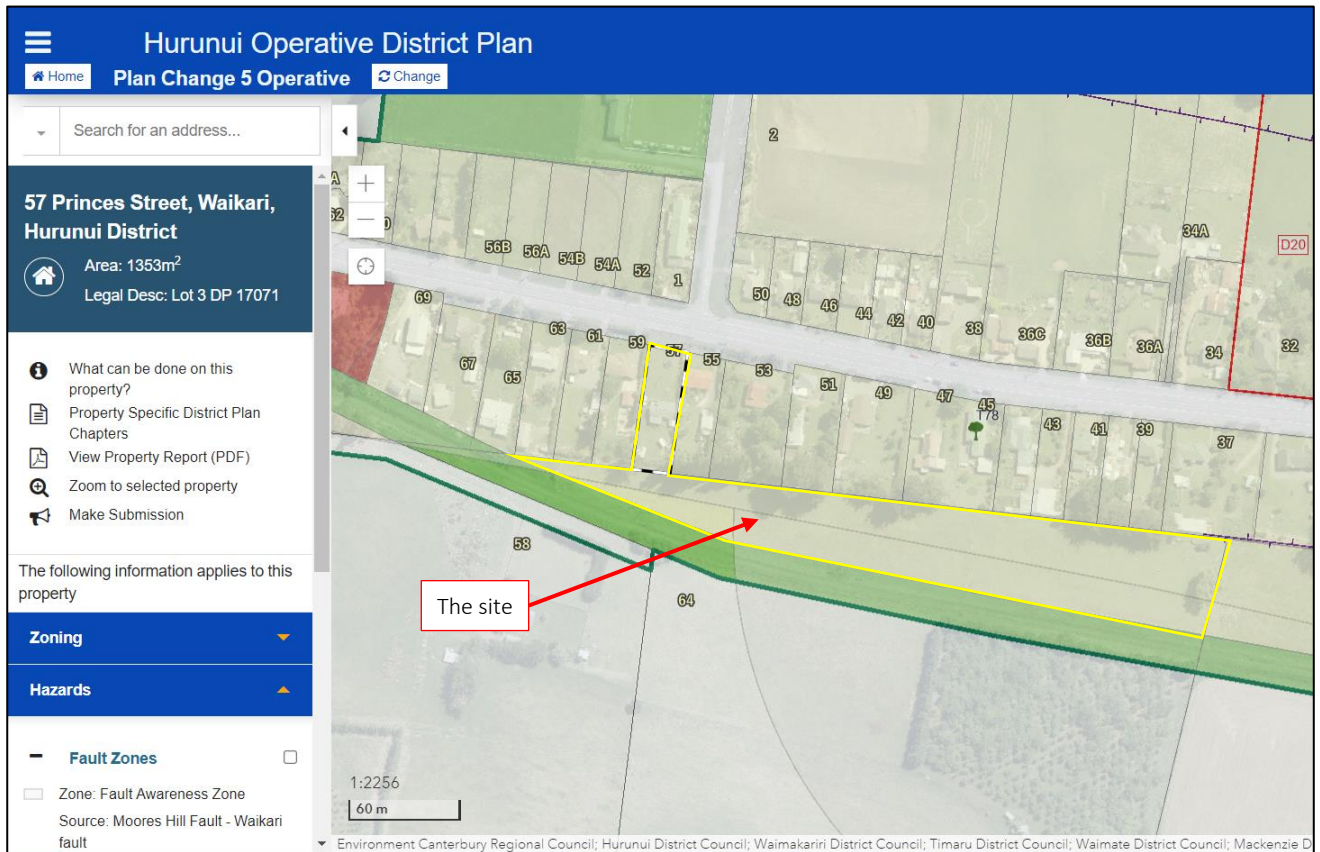


Figure 5: Hazards map is retrieved from Hurunui Operative District Plan<sup>2</sup>

<sup>9</sup> Environmental Canterbury's (ECan) – Listed Land Use Register (LLUR), data retrieved in March 2022 from <http://llur.ecan.govt.nz/Public/>

## 8 SEISMIC ASSESSMENT

### 8.1 Importance Level

The proposed future developments (following the subdivision) are considered as an Importance Level 2 (IL2) as defined by the NZS 1170.0:2002.

### 8.2 Seismic Performance

NZS 1170.5 provides guidance on different soil class types used to determine the site seismic coefficient. The seismic coefficient is required to calculate the elastic site spectra for horizontal loading of an overlying structure.

The site subsoil types are divided into 5 classes, consisting of 'Strong Rock', 'Rock', 'Shallow Soil', 'Deep or Soft Soil' and 'Very Soft Soil', designated as classes A – E respectively in NZS 1170.5 Clause 3.1.3.

The thickness of the deposits beneath this area of Canterbury defines the site as Class D, 'Deep or Soft Soils', in terms of the seismic design requirements of NZS 1170.5.

### 8.3 Area-Wide Liquefaction Hazard Assessment

Geotech Consulting Ltd undertook a liquefaction susceptibility study<sup>10</sup> to define areas of liquefaction susceptibility across the Hurunui District Council. The study mapped Hurunui District into four zones describing different levels of liquefaction potential (being Zone 1 with low to high liquefaction potential and Zone 4 with nil to extremely low liquefaction potential).

The site has been classified as 'Zone 3', which indicates 'Zone of very low potential – Areas of alluvium older than Holocene age. Very small risk of liquefaction of local, isolated areas.

### 8.4 Liquefaction susceptibility

Not all soils are susceptible to liquefaction. Generally, for liquefaction to occur, three preconditions need to be met<sup>11</sup>:

- Geologically young (less than 10,000 years old), loose sediments, that are
- Fine-grained and non-cohesive (coarse silts and fine sands), and
- Saturated (below the water table).

If all three of these preconditions are met, then an assessment of the liquefaction hazard is required. Given the following:

- The soils at the site are expected to be "Late Pleistocene River deposits" (14,000 to 24,000 years old); and
- The site is underlain by silt from around 0.4 m bgl and extends to at least 3 m; and
- The water table is expected to be deeper than 5 m bgl,

Based on the above, it is our professional opinion that the risk of liquefaction at the site is considered to be low.

### 8.5 Site-Specific Liquefaction Hazard Assessment

Section 16.2 of MBIE's guidelines<sup>1</sup> require appropriate geotechnical investigations be carried out to enable the ground forming materials to at least 15 m depth to be characterised, unless the ground is known to be of acceptable quality from lesser depths, for example in areas known to be underlain by competent natural gravels and/or deep groundwater profiles, or in hillside areas.

The results of the on-site shallow test holes and the expected depth to groundwater, provide satisfactory evidence that the nature of the ground forming materials comprises competent soils and deep groundwater.

We therefore consider that the site is underlain by a stable, thick, non-saturated crust layer that is not likely to be at risk of liquefaction in a future large earthquake event. This crust layer is of sufficient thickness to mitigate potential effects of deep-seated liquefaction from impacting on the ground surface and proposed developments.

Based on the above, a deep geotechnical investigation is not required to assess the site susceptibility to liquefaction and accordingly not warranted to support this subdivision proposal. It is considered that the site will perform in accordance

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<sup>10</sup> McCahon (2011): *Liquefaction Hazard in Hurunui District*, Environment Canterbury, Report No. R11/61

<sup>11</sup> Saunders, W. S. A., Berryman, K. R. 2012. "Just add water: when should liquefaction be considered in land use planning?", GNS Science Miscellaneous Series 47. 15p.

with the requirements for a Technical Category 1 (TC1) land performance. This implies that the site is likely to be susceptible to less than 15 mm settlement in a Serviceability Limit State (SLS) event and 25 mm settlement in an Ultimate Limit State (ULS) event.

## 8.6 Lateral Spread

Lateral spread risk has been assessed according to the site and ground conditions, as well as proximity to significant waterways and steep changes in ground level. The subject property is generally flat and level. Furthermore, we are not aware of any historical lateral movement at the site.

Based on the above, and considering the negligible to low risk of liquefaction at the property, it is our professional opinion that the risk to the site of lateral spreading in terms of both global lateral movement and lateral stretch is negligible to low.

# 9 MOORES HILL FAULTIS

## 9.1 Fault Awareness Area

The Hurunui Operative District<sup>2</sup> Plan identifies that the Moores Hill Fault crosses the east part of the site and creates a 'Fault Awareness Zone' with a 125 m buffer zone on either side of the fault line. Refer to Figure 2.

Section 15.3, Policy 15.4 of the District Plan<sup>2</sup> states *"For other faults identified within the District Plan, where detailed geotechnical analysis has not been undertaken, a Fault Awareness Zone has been included within the District Plan. Because the knowledge of these faults is not as comprehensive, and the exact location of the fault or fold is unknown, a larger buffer zone has been applied. Building within the Fault Awareness Zone is a permitted activity. However, geotechnical analysis is expected at the time of subdivision or plan change."*

Section 5.4.5-1(b) of the District Plan<sup>2</sup> states the subdivision would be a discretionary activity.

Section 5.7-1(l) of the District Plan<sup>2</sup> defines the assessment criteria as *"whether each lot has an adequate building platform to allow a complying building to be constructed that will not be subject to unacceptable risks from natural hazards or will significantly exacerbate the risks to other properties and people, including the provision of a report on natural hazard risks by an appropriately qualified and experienced person, in the event that a natural hazard is shown on the planning maps."*

## 9.2 Risk-Based Approach Assessment

GNS report (2012/113), Table 1, p. 12, indicates that where there is a "likely" fault with surface-form that is 'moderately expressed' it still should be considered as an active fault.

Importantly, MfE's Active Fault Guidelines states *"where the level of certainty is low regarding the fault location, its complexity and recurrence interval, it may be difficult to justify rules that limit any building in these areas."*

The Moores Hill Fault is estimated to have an average Recurrence Interval (RI) of 7,200 years (GNS report, 2012/113, Table 2, p. 15)

Taking this into account, MfE's Active Fault Guidelines set out a simplified risk-based approach that can be followed to assess whether or not the site can be considered for residential development. (Refer to Appendix D)

- RI Class = **Class IV** (MfE's Active Fault Guidelines, Table 7.1, p. 14)
- Fault complexity = **Type C - Uncertain** (MfE's Active Fault Guidelines, Table 8.1, p. 18 refer also to GNS, 2012/113, Table 1, p. 12)

Building Importance Category (BIC) = **2a** - residential timber-framed construction  
(MfE's Active Fault Guidelines, Table 9.1 and Table 9.2, p. 21 and p. 22, respectively).

Based on this, MfE's criteria concludes that **building within the fault hazard avoidance area should be a permitted activity** (MfE's Active Fault Guidelines, Table 11.1, p. 36).

Please note the above assessment is based on Category 2a, as this seems to be the more logical and sensible option for residential construction within the proposed subdivision. However, the future development of the site should not be limited to this category, as other options for residential constructions are also available in Table 9.1 and Table 9.2 of the MfE's Active Fault Guidelines such as:

- **Category 1** for “structures presenting a low degree of hazard to life and other property” (i.e. structures <30m<sup>2</sup>, farm buildings, isolated structures, in-ground swimming pools, etc.)
- **Category 2a** for simple residential construction (i.e. timber-framed single-storey dwellings)
- **Category 2b** for more complicated residential construction (i.e. timber framed houses of plan area of more than 300m<sup>2</sup>, houses outside the scope of NZ 3604 “Timber Framed Building”, etc.)

Whether the future construction on the proposed subdivision falls within Category 1, Category 2a or Category 2b, the Risk-Based Approach Assessment will reach the same conclusion (i.e. **building within the fault hazard avoidance area should be a permitted activity**). Refer to Appendix D.

We note the MfE’s Active Fault Guidelines provide assessment for construction within fault hazard avoidance area. However, Moores Hill Fault is associated with ‘*Fault Awareness Zone*’ which represents the uncertainty of the fault location and activity. We consider the above assessment is suitable and acceptable to justify the nil to minimal risk of fault hazard to future developments.

In summary, by conservatively adopting the average RI for Moores Hill Fault when assessing the risk posed by the “*likely*” fault designation, we conclude the site is suitable for future residential construction, and given the significant uncertainty about whether or not reactivation of the fault will occur, the location where surface rupture could occur, we conclude there should be no restrictions in relation to Active Faults that need to apply to the proposed subdivision.

## 10 NATURAL HAZARD ASSESSMENT

### 10.1 RMA 1991, S106 Assessment

A suitability assessment of the site for subdivision has been carried out in accordance with Section 106 of the Resource Management Act (RMA) 1991 and the Resource Legislation Amendments 2017 – Fact Sheet 10.

Our assessment is presented in Table 6 and is based on observations and desktop review of the subject property and experience of ground conditions within this area of Canterbury.

*Table 6: Assessment of hazards and their risk to new subdivision against the RMA*

Hazard	Potential Susceptibility	
	Risk - Current	Risk - Post Development
Falling Debris	The site is not located near any cliffs or rock outcrops and therefore the risk of material damage due to falling debris is considered not likely.	
Landslip	The site is generally flat. There is no steep cliff on site.	The site geology and assessed low liquefaction potential indicate the risk of landslip is nil to low. Material damage within proposed building platforms due to land slippage is considered unlikely.
Earthquake	Site-specific geotechnical assessment indicates the site performance is equivalent to TC1 land classification.  The eastern part of the site is located with the Fault Awareness Area of the Moores Hill Fault and suited approximately 130 m away from fault trace line.	The risk of earthquake damage is low and can be mitigated by following the foundation requirements set by MBIE guidelines <sup>1</sup> for TC1 land.  Risk-based approach assessment (Section 9.2 above) provides a conservative assessment and concludes no restrictions in relation to Active Fault need to be applied to the proposed subdivision.
Inundation	The site is not located within the Flood Assessment Zone.  The risk of inundation from liquefaction is not likely.	The underlying in-situ silts are of moderate permeability nature.  Stormwater run-off from roofs, driveways and hardstand should be appropriately managed and can be discharged directly to the ground, or to the Council’s network (if available) via a suitably designed discharge system.

Hazard	Potential Susceptibility	
	Risk - Current	Risk - Post Development
Subsidence	<p>Given the encountered ground conditions and the site performance is equivalent to TC1 land classification, the site is considered susceptible to low liquefaction settlement. The ground conditions may be susceptible to some static settlement.</p> <p>We did not identify any deep uncontrolled fill, organic soils, or peat in the subsoil tests. While it is conceivable that there could still be areas of shallow unidentified fill from historical activities that were not discovered.</p>	<p>Any future development will likely to comprise construction of residential dwelling and the likely degree of static settlement will not adversely affect this type of structure. The likely risk of consolidation settlement can be mitigated by suitability designed foundation system/ground remediation.</p> <p>The extent of any unidentified fill (if ever occurred) would typically be relatively small and would be addressed at the time of future residential dwelling construction.</p> <p>Any filling above existing ground levels should only be undertaken with input from a suitably qualified Geotechnical Engineer.</p>
Erosion & Sedimentation	<p>Due to the location, geology and topography of the site and surrounding land, the site is not likely to be subject to material damage due to erosion and sedimentation.</p>	<p>The likely current risk of erosion and sedimentation (if any) will not be exacerbated as a result of the proposed subdivision.</p> <p>Fine grained sands and silt soils have the potential to erode if exposed for long periods of inundation. However, vegetative cover should prevent this from occurring. All reasonable attempts should be made to protect exposed soils from rainfall and run-off by implementing an erosion and sediment control plan in accordance with council requirements.</p>
Volcanic and Geothermal Activity	<p>The GNS database does not identify any active volcanoes within the South Island. We consider the risk of material damage due to volcanic and geothermal activity is not likely.</p>	
Fire	<p>The site is located in a rural area and is serviced by the Waikari Fire Station.</p>	<p>Detailed fire risk assessment is beyond the scope of this report.</p>
Wind	<p>The site is not located near cliffs or sudden change in elevation. The proposed subdivision of the site will not exacerbate the risk of material damage due to wind.</p>	<p>Detailed wind risk assessment is beyond the scope of this report.</p>
Tsunami	<p>Canterbury Tsunami Evacuation Zones<sup>12</sup> indicates the site is located within the No Zone identified as <i>"Tsunami flooding is not expected"</i>.</p>	<p>Detailed tsunami risk assessment is beyond the scope of this report.</p>
Drought	<p>Detailed drought risk assessment is beyond the scope of this report.</p>	

<sup>12</sup> Environment Canterbury. Canterbury Tsunami Evacuation Zones, data retrieved in March 2022 from <https://ecan.maps.arcgis.com/apps/Minimalist/index.html?appid=591062afb6b542abb247cc8d15a64855>

## 10.2 Natural Hazard Assessment Summary

Based on the above observed or predicted geotechnical hazards, as shown in Table 6, we conclude there is no reason to refuse subdivision consent in clause 106 (a) of the RMA 1991, based on natural hazards.

Any proposed development will have to comply with relevant legislation, codes and standards. The potential location for a future dwelling on the proposed lots is unlikely to require significant fill or cut earthworks. However, where earthworks are required, they are likely to expose fine grained soil that will be susceptible to erosion if left exposed to weathering for prolonged periods of time.

Erosion by wind, precipitation or inadequately discharged stormwater run-off should be controlled through best construction practice. Provided these best practice methodologies are implemented during construction it is our opinion that development of the site will not result in the acceleration or worsening of these hazards.

Section 106 1(c) is not relevant to a geotechnical appraisal and therefore has not been considered in this report.

Providing the recommendations of this report are followed then it is our opinion that the site will be geotechnically suitable for the proposed residential subdivision. A '*Statement of Professional Opinion on the Suitability of Land for Subdivision*' is provided in Appendix E.

## 11 RECOMMENDATIONS

Kirk Roberts' site-specific investigation and report concluded that the site has an equivalent TC1 land performance. Refer to Section 8.5 above.

### 11.1 Subdivision Consent Conditions

- Appropriate accessway will need to be formed to provide access to proposed Lots 2 to 5.

### 11.2 Consent Notice on Computer Freehold Register

- A TC1 land classification is considered appropriate for the site.
- The foundation of the future dwelling should be subject to a site-specific investigation, assessment and design.
- Stormwater run-off from roofs, driveways and hardstand areas should be appropriately managed and should be discharged to an approved discharge system away from the foundations of future dwellings.

## 12 FOUNDATION RECOMMENDATIONS

### 12.1 Discussion

Given the results of the investigations and the assessed TC1 categorisation for the site. Foundation options specified for TC1 sites as outlined in Part A of the MBIE guidelines<sup>1</sup> are generally considered appropriate for the site conditions encountered, if the residential development is to comply with NZS 3604:2011.

A minimum static ultimate bearing capacity of at least  $q_u=300$  kPa was encountered at approximately 0.5 – 0.7 m bgl (below topsoil) on the silts across the tested locations. Refer to Appendix C.

The site-specific investigations undertaken to inform this report were scattered across proposed Lots 2, 3, 4 and 5 and did not target any specific building platform for future construction within the new vacant lots. Therefore, the foundation of future dwellings will need to be subject to site-specific geotechnical investigation and reporting. Kirk Roberts can provide the required specific investigation and reporting at the request of the client.

## 13 CONCLUSIONS

Kirk Roberts Consulting Engineers Ltd has been engaged by Brent and Joanne Trotter (the Client) to undertake geotechnical investigations and reporting at 57 Princes Street, Waikari, Hurunui. The purpose of this investigation is to assess the site with a view to supporting a Resource Consent application to subdivide the subject property into 5 new titles.

Based on the findings of this investigation and subsequent report, the following can be concluded:

- The hand-auger boreholes completed during the Kirk Roberts investigation indicate the site is underlined by a soil profile comprising topsoil to depths of 0.3 – 0.4 m bgl, overlying soft to stiff silt to at least 1.4 – 3 m bgl where tests met practical refusal on stiff strata.
- The Scala penetrometer tests generally returned 3 blows per 100 mm of penetration from 0.5 – 0.7 m bgl indicating an index geotechnical ultimate bearing capacity of 300 kPa is generally available at this depth (below the topsoil)
- Groundwater was not encountered during the Kirk Roberts investigation. However, nearby wells recorded groundwater at 5.77 m bgl.
- The thickness of the deposits beneath this area of Canterbury defines the site as Class D, '*Deep or soft Soils*', in terms of the seismic design requirements of NZS 1170.5.
- The site will perform equivalent to Technical Category 1 (TC1) site.

Following our investigation and assessment detailed above, it is our professional opinion that the site will be geotechnically suitable for the proposed subdivision. There is no reason to refuse subdivision consent to clause 106 (a), based on natural hazards.

## 14 LIMITATIONS

Whilst every care was taken during our desktop review, site-specific investigations and interpretation of subsurface conditions, there may well be subsoil strata and features that were not detected.

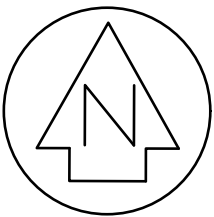
It must be appreciated that the actual characteristics of the subsurface materials may vary significantly between adjacent test locations and sample intervals other than where observations, explorations and investigations have been made.

It should be noted that because of the inherent uncertainties in subsurface evaluations, changed or unanticipated subsurface conditions may occur that could affect total project cost and/or execution. Kirk Roberts Consulting does not accept responsibility for the consequences of significant variances in the conditions and the requirements for execution of the works.

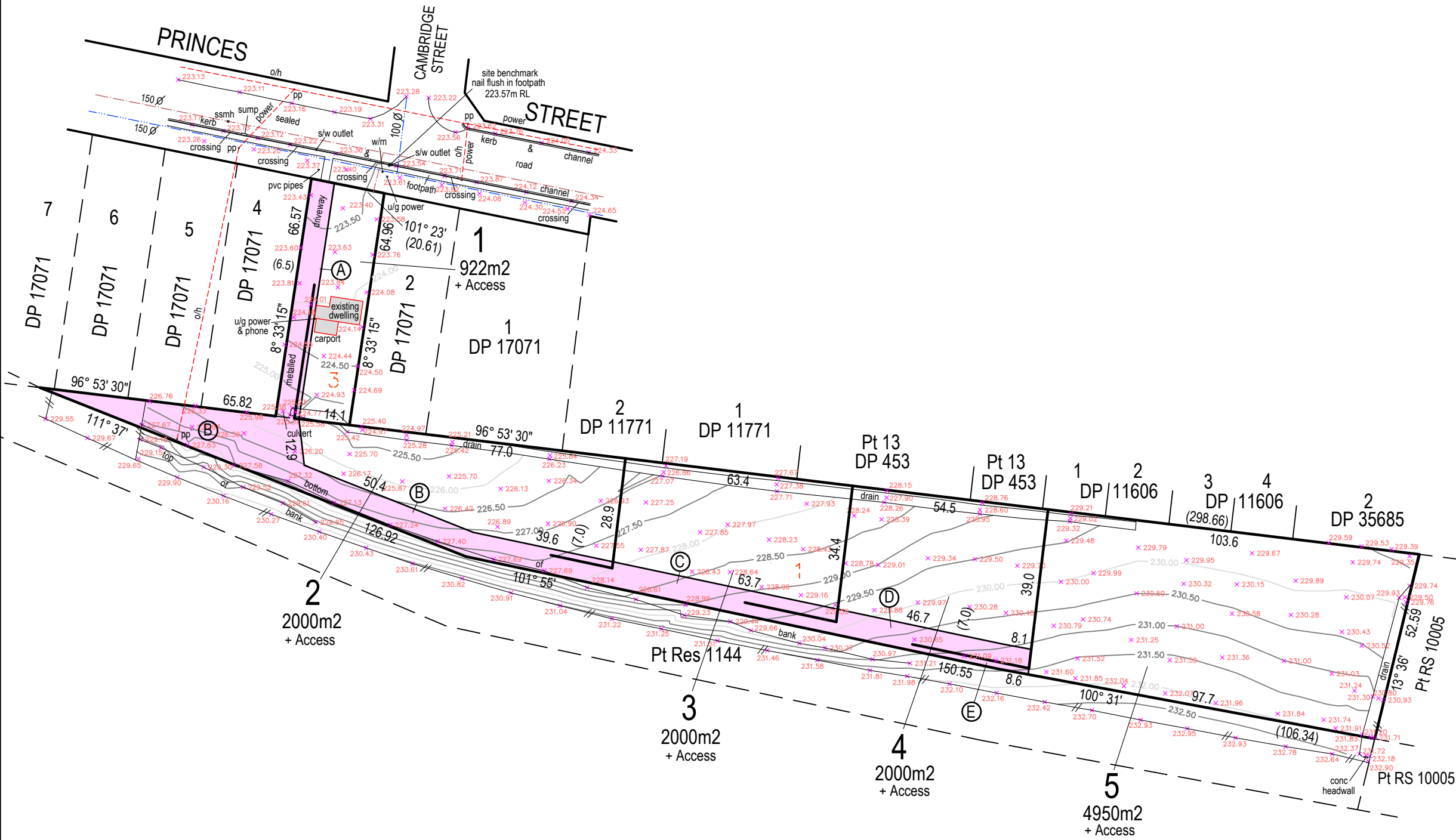
This report has been prepared to address the natural hazard as outlined in S106 of the Resource Management Act 1991 and is therefore suitable to support the Resource Consent application for the proposed subdivision. This report is not intended to support Building Consent application for any future development within the site. Further, site-specific geotechnical investigation, assessment and engineering design will be required once the nature, layout and construction materials are known for any future development.

This report has been prepared at the specific instructions of our client in connection with the above project. No liability is accepted by Kirk Roberts or any of their employees with respect to the use of this report by any other party.

## Appendix A      Proposed Subdivision Plans



- NOTES :
1. THIS SURVEY HAS NOT INCLUDED SITE MARKING OF THE BOUNDARY POSITIONS UNLESS OTHERWISE INDICATED.
  2. SOME UNDERGROUND SERVICE INFORMATION IS SHOWN ON THIS PLAN. THE LOCATION OF ANY SUCH SERVICES SHOULD BE CONFIRMED WITH THE RELEVANT LOCAL AUTHORITY OR UTILITY SERVICE PROVIDER.
  3. THE SITE DATUM FOR THIS SURVEY IS:  
NAIL FLUSH IN FOOTPATH  
REDUCED LEVEL: 223.57m  
DATUM: NZVD 2016
  4. "SPOT HEIGHT" POSITIONS ARE SHOWN IN THE FOLLOWING FORMAT X AND ARE EXPRESSED IN METRES IN TERMS OF THE SITE DATUM FOR THE SURVEY. THE HEIGHTS OF THESE POSITIONS HAVE AN ACCURACY RELATIVE TO THE SITE DATUM AS FOLLOWS:  
x HARD SURFACES eg CONCRETE, ASPHALT +/- 0.030m @ 95% CONFIDENCE LEVEL.  
x SOFT SURFACES eg GRASS +/- 0.050m @ 95% CONFIDENCE LEVEL.
  5. CADASTRAL BOUNDARIES BEARINGS AND DISTANCES HAVE BEEN SOURCED FROM DP's 17071 & 490534.
  6. SCHEME PLAN ONLY, AREAS & DIMENSIONS ARE APPROXIMATE & SUBJECT TO FINAL SURVEY.



Legend

- sewer line  
--- water supply line

MEMORANDUM OF EASEMENTS

Nature	Servient Tenement		Dominant Tenement
	Lot No.	Shown	
Right of Way & all services	1	A,F	2 - 5
	2	B	1, 3 - 5
	3	C	1, 2, 4, 5
	4	D	1 - 3, 5
	5	E	1 - 4
Right of Way on foot			

PLANNING + SURVEYING + ENGINEERING

4 Meadow Street, PO Box 5558, Papanui, Christchurch

P 03 352 5599    AMBERLEY 03 314 9200

F 03 352 5527    ASHBURTON 03 307 7021

TOLL FREE 0508 787 887    DARFIELD 03 318 8151

REV	DATE	REVISION DETAILS		DRAFTED SRS	VERIFIED
B	04/02/22	FOR SUBDIVISION CONSENT	SRS		
A	20/01/22	FOR SUBDIVISION CONSENT	SRS		

PROJECT

JO TROTTER - 57 PRINCES STREET, WAIKARI

TITLE

PROPOSED SUBDIVISION OF LOT 3 DP 17071 & LOT 1 DP 490534

RT 708639

SHEET 1 OF 1

INFORMATION ONLY

PROJECT NO 15327

SCALE 1: 1250 (A3)	SIZE A3
DRAWING NO SC-01	REV B

## Appendix B      NZGD Data



Scale at A4: 1:2,500  
Date exported: 16/03/2022

0 0.03 0.06 0.09 0.12 (km)



**LEGEND**

Piezometer	Machine Borehole	Hand Auger Scala	SWS	VsVp
Test	Cone Penetrometer Test	SCPT	Scala	Other
	Hand Auger	Seismic Dilatometer	Test Pit	

Notes: (1) Investigation locations sourced from New Zealand Geotechnical Database <https://www.nzgd.org.nz>. Data comes from multiple sources and quality of location is not guaranteed.  
(2) Basemap: Sourced from the LINZ Data Service and licensed for re-use under the Creative Commons Attribution 4.0 New Zealand licence



# LOG OF TEST PIT TP01

**Geotechnical Investigator**  
Princes Street  
Waikari  
15459.000.000

**Client** : Ceres New Zealand  
**Date** : 01/10/18  
**Max Test Pit Depth** : 2 m  
**Digger Type/Size** : Hyundai R17Z-9A / 1.7 ton  
**Bucket Type/Size** : 0.4 m wide toothed bucket

**Shear Vane No** : 1362  
**Logged By** : LF  
**Reviewed By** : JM  
**Latitude** :  
**Longitude** :

Depth (m)	Material	Excavatability (Relative Scale)		USCS Symbol	DESCRIPTION	Graphic Symbol	Water Level	Moisture Cond.	Consistency/ Density Index	Shear Vane Undrained Shear Strength Peak/Remolded (kPa)	Scala Penetrometer						
		Easier	Harder								Blows per 100mm						
											2	4	6	8	10	12	
0.5	TOPSOIL			ML	Clayey SILT with minor organics; dark brownish black. Low plasticity [TOPSOIL].				F	89/33							
												ML	Clayey SILT; dark greenish brown. Low plasticity.			M	F-St
ALLUVIUM																	
1.0																	
1.5																	
2.0																	
Depth of Excavation: 2 m Termination Condition: Target depth																	

GEOSCIENCE TEST PIT LOG - TEST PIT LOGS - ALL LOTS.GPJ NZ MASTER DATA TEMPLATE.GDT 3/10/18

Test pit met target depth  
Scala Penetrometer met target depth  
Groundwater was encountered at 2.0 m depth.



# LOG OF TEST PIT TP02

**Geotechnical Investigator**  
Princes Street  
Waikari  
15459.000.000

**Client** : Ceres New Zealand  
**Date** : 01/10/18  
**Max Test Pit Depth** : 2 m  
**Digger Type/Size** : Hyundai R17Z-9A / 1.7 ton  
**Bucket Type/Size** : 0.4 m wide toothed bucket

**Shear Vane No** : 1362  
**Logged By** : LF  
**Reviewed By** : JM  
**Latitude** :  
**Longitude** :

Depth (m)	Material	Excavatability (Relative Scale)	USCS Symbol	DESCRIPTION	Graphic Symbol	Water Level	Moisture Cond.	Consistency/Density Index	Shear Vane Undrained Shear Strength Peak/Remolded (kPa)	Scala Penetrometer Blows per 100mm
		Easier	Harder							2 4 6 8 10 12
0.0	TOPSOIL		ML	Clayey SILT with minor organics; dark brownish black. Low plasticity [TOPSOIL].				S-F		
0.5			ML	Clayey SILT; dark greenish brown. Low plasticity.			M	F-St	64/15	
1.0	ALLUVIUM		ML					VSt-H		
1.5			ML	Clayey SILT with trace sand; greenish grey. Low plasticity.			W	VSt-H		
2.0				Becomes saturated at 1.9 m depth.			S			
				Depth of Excavation: 2 m Termination Condition: Target depth						

GEOSCIENCE TEST PIT LOG - TEST PIT LOGS - ALL LOTS.GPJ NZ MASTER DATA TEMPLATE.GDT 3/10/18

Test pit met target depth  
Scala Penetrometer met target depth  
Groundwater was encountered at 2.0 m depth.



# LOG OF TEST PIT TP06

**Geotechnical Investigator**  
Princes Street  
Waikari  
15459.000.000

**Client** : Ceres New Zealand  
**Date** : 01/10/18  
**Max Test Pit Depth** : 2.2 m  
**Digger Type/Size** : Hyundai R17Z-9A / 1.7 ton  
**Bucket Type/Size** : 0.4 m wide toothed bucket

**Shear Vane No** : 1362  
**Logged By** : LF  
**Reviewed By** : JM  
**Latitude** :  
**Longitude** :

Depth (m)	Material	Excavatability (Relative Scale)	USCS Symbol	DESCRIPTION	Graphic Symbol	Water Level	Moisture Cond.	Consistency/ Density Index	Shear Vane Undrained Shear Strength Peak/Remolded (kPa)	Scala Penetrometer Blows per 100mm
		Easier	Harder							2 4 6 8 10 12
0.5	TOPSOIL		ML	Clayey SILT with minor organics; dark brownish black. Low plasticity [TOPSOIL].				F		
			ML	Clayey SILT; greenish brown. Low plasticity.			M	F-St	60/24	
1.0	ALLUVIUM		ML	SILT with some sand, minor silt and trace gravel; light greenish grey. Low plasticity. Sand, fine, poorly graded. Gravel, fine, poorly graded, limestone.						
1.5			ML	Becomes wet at 1.5 m depth.			W	VSt-H		
2.0				Becomes saturated at 2 m depth.			S			
Depth of Excavation: 2.2 m Termination Condition: Target depth										

GEOSCIENCE TEST PIT LOG - TEST PIT LOGS - ALL LOTS.GPJ NZ MASTER DATA TEMPLATE.GDT 3/10/18

Test pit met target depth  
Scala Penetrometer met target depth  
Groundwater was encountered at 2.0 m depth.

## Appendix C      Exploratory Hole Records

- Geotechnical investigation location plan
- Hand-auger and Scala penetrometer records



IMAGE SOURCE:  
ENVIRONMENT CANTERBURY 2022

PROJECT: 2210054  
CREATED BY: DS  
DATE: 25 February 2022  
REVISION: A

57 Princes Street, Waikari

# GEOTECHNICAL INVESTIGATION LOCATION PLAN





PROJECT: 2210054  
CREATED BY: DS  
DATE: 25 February 2022  
REVISION: A

57 Princes Street, Waikari

# GEOTECHNICAL INVESTIGATION LOCATION PLAN



# SCALA PENETROMETER & HAND AUGER RESULTS



Client: Brent and Joanne Trotter  
 Site Address: 57 Princes Street  
 Town/City: Waikari

Scala Penetrometer: SP-1  
 Hand Auger No. HA-1  
 Job No.: 2210054

Logged By: DS  
 Logged Date: 25/02/22  
 Checked By: FS  
 Checked Date: 30/03/22

Date: 18/02/22  
 Weather: Clear  
 Operator: JR

Geological Formation	Depth (m)	Sample Description	Graphic	USCS	D <sub>r</sub>	Water Table	Undrained Shear Strength Su (kPa)	Blows per 100 mm of Penetration																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																									
								1	2	3	4	5	6	7	8	9	10	11	12	13	14	15	16	17	18	19																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																							
	0.5	Silty TOPSOIL (OL); dark brown. Soft, moist, non-plastic; rootlets.		OL				1																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																									

Remarks: Scala Penetrometer and Test Bore log tests give an indication of the ground condition at the location of the tests only. While they are representative of typical conditions across the site, they do not identify variations in the ground away from the test locations.

# SCALA PENETROMETER & HAND AUGER RESULTS



Client: Brent and Joanne Trotter  
 Site Address: 57 Princes Street  
 Town/City: Waikari

Scala Penetrometer: SP-2  
 Hand Auger No. HA-2  
 Job No.: 2210054

Logged By: DS  
 Logged Date: 25/02/22  
 Checked By: FS  
 Checked Date: 30/03/22

Date: 18/02/22  
 Weather: Clear  
 Operator: JR

Geological Formation	Depth (m)	Sample Description	Graphic	USCS	D <sub>r</sub>	Water Table	Undrained Shear Strength Su (kPa)	Blows per 100 mm of Penetration																		
								1	2	3	4	5	6	7	8	9	10	11	12	13	14	15	16	17	18	19
		Silty TOPSOIL (OL); dark brown. Soft, moist, non-plastic; rootlets.		OL				1																		
	0.5	SILT (M); light brown. Firm, moist, non-plastic.						1																		
	1.0							2																		
	1.5							3																		
	2.0							3																		
	2.5							4																		
	3.0							5																		
	3.5							5																		
	4.0							5																		
	4.5							7																		
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	13.0							12																		

Remarks: Scala Penetrometer and Test Bore log tests give an indication of the ground condition at the location of the tests only. While they are representative of typical conditions across the site, they do not identify variations in the ground away from the test locations.

# SCALA PENETROMETER & HAND AUGER RESULTS





Client: Brent and Joanne Trotter  
 Site Address: 57 Princes Street  
 Town/City: Waikari

Scala Penetrometer: SP-3  
 Hand Auger No. HA-3  
 Job No.: 2210054

Logged By: DS  
 Logged Date: 25/02/22  
 Checked By: FS  
 Checked Date: 30/03/22

Date: 18/02/22  
 Weather: Clear  
 Operator: JR

Geological Formation	Depth (m)	Sample Description	Graphic	USCS	D <sub>r</sub>	Water Table	Undrained Shear Strength S <sub>u</sub> (kPa)	Blows per 100 mm of Penetration																					
								1	2	3	4	5	6	7	8	9	10	11	12	13	14	15	16	17	18	19			
	0.5	Silty TOPSOIL (OL); dark brown. Soft, moist, non-plastic; rootlets.		OL		Groundwater Not Encountered		1	1	2	1	2	3	4	4	6	8	10	11	13	13	14	17	17	17	20			
		SILT (M); light brown. Soft to firm, moist, low plasticity.		M																									
	1.0	0.9m: SILT. Stiff, non-plastic.																											
	1.5	EOH: 1.70m																											
	2.0	1.7m: EOH - Unable to auger through stiff strata																											
	2.5																												

**Remarks:**  
 Scala Penetrometer and Test Bore log tests give an indication of the ground condition at the location of the tests only. While they are representative of typical conditions across the site, they do not identify variations in the ground away from the test locations.

# SCALA PENETROMETER & HAND AUGER RESULTS



Client: Brent and Joanne Trotter  
 Site Address: 57 Princes Street  
 Town/City: Waikari

Scala Penetrometer: SP-4  
 Hand Auger No. HA-4  
 Job No.: 2210054

Logged By: DS  
 Logged Date: 25/02/22  
 Checked By: FS  
 Checked Date: 30/03/22

Date: 18/02/22  
 Weather: Clear  
 Operator: JR

Geological Formation	Depth (m)	Sample Description	Graphic	USCS	D <sub>r</sub>	Water Table	Undrained Shear Strength Su (kPa)	Blows per 100 mm of Penetration																		
								1	2	3	4	5	6	7	8	9	10	11	12	13	14	15	16	17	18	19
	0.5	Silty TOPSOIL (OL); dark brown. Soft, moist, non-plastic; rootlets.		OL				1																		
		SILT (M); light brown. Soft to firm, moist, non-plastic.		M				1																		
	1.0	1.0m: Stiff.				Groundwater Not Encountered		1.5																		
	1.5	EOH: 1.50m						2																		
	2.0	1.5m: EOH - Unable to auger through stiff strata						3																		
	2.5							5																		
								6																		
								7																		
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								18																		
								20																		

**Remarks:**  
 Scala Penetrometer and Test Bore log tests give an indication of the ground condition at the location of the tests only. While they are representative of typical conditions across the site, they do not identify variations in the ground away from the test locations.

# SCALA PENETROMETER & HAND AUGER RESULTS



Client: Brent and Joanne Trotter  
 Site Address: 57 Princes Street  
 Town/City: Waikari

Scala Penetrometer: SP-5  
 Hand Auger No. HA-5  
 Job No.: 2210054

Logged By: DS  
 Logged Date: 25/02/22  
 Checked By: FS  
 Checked Date: 30/03/22

Date: 18/02/22  
 Weather: Clear  
 Operator: JR

Geological Formation	Depth (m)	Sample Description	Graphic	USCS	D <sub>r</sub>	Water Table	Undrained Shear Strength Su (kPa)	Blows per 100 mm of Penetration																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																								
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	0.5	Silty TOPSOIL (OL); dark brown. Soft, moist, non-plastic; rootlets.		OL					1																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																							</

**Remarks:**  
 Scala Penetrometer and Test Bore log tests give an indication of the ground condition at the location of the tests only. While they are representative of typical conditions across the site, they do not identify variations in the ground away from the test locations.

## Appendix D Risk-Based Assessment

**Reference:** Kerr, J.; Nathan, S.; Van Dissen, R.; Webb, P.; Brunsdon D.; King, A. 2003. *Planning for Development of Land on or Close to Active Faults: A Guideline to Assist Resource Management Planners in New Zealand*. Ministry for the Environment (MfE), published July 2003.

**Table 7.1: Fault recurrence interval classes**

Recurrence interval class	Average fault recurrence interval of surface rupture
I	≤2000 years
II	>2000 years to ≤3500 years
III	>3500 years to ≤5000 years
IV	>5000 years to ≤10,000 years
V	>10,000 years to ≤20,000 years
VI	>20,000 years to ≤125,000 years

**Table 8.1: Defining fault complexity types**

<b>A</b> <b>Well defined</b>	<b>A well defined</b> fault trace of limited geographic width Typically metres to tens of metres wide
<b>B</b> <b>Distributed</b>	Deformation is <b>distributed</b> over a relatively broad geographic width Typically tens to hundreds of metres wide Usually comprises multiple fault traces and/or folds
<b>C</b> <b>Uncertain</b>	The location of fault trace(s) is <b>uncertain</b> as it either has not been mapped in detail or it cannot be identified. This is typically a result of gaps in the trace(s), or erosion or coverage of the trace(s)

**Table 9.1: Building Importance Categories: a modified version of New Zealand Loading Standard classifications**

Building Importance Category (BIC)	Description	Examples
<b>1</b>	Structures presenting a low degree of hazard to life and other property	Structures with a total floor area of less than 30m <sup>2</sup> Farm buildings, isolated structures, towers in rural situations Fences, masts, walls, in-ground swimming pools
<b>2a</b>	Residential timber-framed construction	Timber framed single-story dwellings
<b>2b</b>	Normal structures and structures not in other categories	Timber framed houses of plan area of more than 300 m <sup>2</sup> Houses outside the scope of NZS 3604 "Timber Framed Buildings" Multi-occupancy residential, commercial (including shops), industrial, office and retailing buildings designed to accommodate less than 5000 people and also those less than 10,000 m <sup>2</sup> gross area. Public assembly buildings, theatres and cinemas of less than 1000 m <sup>2</sup> Car parking buildings
<b>3</b>	Structures that, <b>as a whole, may</b> contain people in crowds or contents of high value to the community or pose <b>risks to people in crowds</b>	Emergency medical and other emergency facilities not designated as post disaster facilities Buildings where more than 300 people can congregate in one area Buildings and facilities with primary school, secondary school or day care facilities with capacity greater than 250 Buildings and facilities with capacity greater than 500 for colleges or adult education facilities Health care facilities with a capacity of 50 or more residents but not having surgery or emergency treatment facilities Airport terminals, principal railway stations, with a capacity of more than 250 people Any occupancy with an occupancy load greater than 5000 Power generating facilities, water treatment and waste water treatment facilities and other public utilities not included in Importance Category 4 Buildings and facilities not included in Importance Category 4 containing hazardous materials capable of causing hazardous conditions that do not extend beyond the property boundaries
<b>4</b>	<b>Structures with special post disaster functions</b>	Buildings and facilities designated as essential facilities Buildings and facilities with special post-disaster function Medical emergency or surgical facilities Emergency service facilities such as fire, police stations and emergency vehicle garages Utilities required as backup for buildings and facilities of importance level 4 Designated emergency shelters Designated emergency centres and ancillary facilities Buildings and facilities containing hazardous materials capable of causing hazardous conditions that extend beyond the property boundaries.

Tables 11.1 and 11.2 show an example of resource consent activity status for proposed buildings within a fault hazard avoidance area. The activity status will depend on the Building Importance Category, the fault recurrence interval, and the fault complexity.

**Table 11.1: Resource consent activity status for greenfield sites**

Building importance category	1	2a	2b	3	4
Fault complexity	Activity status				
<b>Fault recurrence interval class I less than or equal to 2000 years</b>					
A – Well defined	Permitted	Non-complying	Non-complying	Non-complying	Prohibited
B – Distributed	Permitted	Discretionary	Non-complying	Non-complying	Non-complying
C – Uncertain <sup>†</sup>	Permitted	Discretionary	Non-complying	Non-complying	Non-complying
<b>Fault recurrence interval class II greater than 2000 but less than or equal to 3500 years</b>					
A – Well defined	Permitted	Non-complying	Non-complying	Non-complying	Prohibited
B – Distributed	Permitted	Discretionary	Non-complying	Non-complying	Non-complying
C – Uncertain <sup>†</sup>	Permitted	Discretionary	Non-complying	Non-complying	Non-complying
<b>Fault recurrence interval class III greater than 3500 to but less than or equal to 5000 years</b>					
A – Well defined	Permitted	Permitted*	Non-complying	Non-complying	Non-complying
B – Distributed	Permitted	Permitted	Discretionary	Discretionary	Non-complying
C – Uncertain <sup>†</sup>	Permitted	Permitted	Discretionary	Discretionary	Non-complying
<b>Fault recurrence interval class IV greater than 5000 but less than or equal to 10,000 years</b>					
A – Well defined	Permitted	Permitted*	Permitted*	Non-complying	Non-complying
B – Distributed	Permitted	Permitted	Permitted	Discretionary	Non-complying
C – Uncertain <sup>†</sup>	Permitted	Permitted	Permitted	Discretionary	Non-complying
<b>Fault recurrence interval class V greater than 10,000 but less than or equal to 20,000 years</b>					
A – Well defined	Permitted	Permitted*	Permitted*	Permitted*	Non-complying
B – Distributed	Permitted	Permitted	Permitted	Permitted	Non-complying
C – Uncertain <sup>†</sup>	Permitted	Permitted	Permitted	Permitted	Non-complying
<b>Fault recurrence interval class VI greater than 20,000 but less than or equal to 125,000 years</b>					
A – Well defined	Permitted	Permitted*	Permitted*	Permitted*	Permitted*
B – Distributed	Permitted	Permitted	Permitted	Permitted	Permitted**
C – Uncertain <sup>†</sup>	Permitted	Permitted	Permitted	Permitted	Permitted**

Note: Faults with a recurrence interval of greater than 125,000 years are not considered active.

\* The activity status is permitted, but could be controlled or discretionary because the fault location is well defined.

\*\* Although the activity status is permitted, care should be taken in locating BIC 4 structures on or near known active faults. Controlled or discretionary activity status may be more suitable.

† Where the fault trace is uncertain, specific fault studies may provide more certainty on the location of the fault. Moving the fault into the distributed or well defined category would allow a reclassification of the activity status and fewer assessment criteria.

*Italics* show that the activity status is more flexible. For example, where *discretionary* is indicated, controlled activity status may be considered more suitable.

## Appendix E      Statement of Professional Opinion

# Statement of Professional Opinion on the Suitability of Land for Subdivision

ISSUED BY:

**Kirk Roberts Consulting Engineers Limited**

(Geotechnical engineering firm or suitably qualified engineer)

TO:

**Brent and Joanne Trotter**

(Owner/Developer)

TO BE SUPPLIED TO:

**Hurunui District Council**

(Territorial authority)

IN RESPECT OF:

**Subdivision of LOT 3 DP 17071 & LOT 1 DP 490534 into 5 lots**

(Description of infrastructure/land development)

AT:

**57 Princes Street, Waikari, Hurunui**

(Address)

I **Firas Salman**

(Geoprofessional)

ON BEHALF OF: **Kirk Roberts Consulting Engineers Ltd**

(Geotechnical engineering firm)

Hereby confirm:

1. I am a suitably qualified and experienced geoprofessional employed by the geotechnical firm named above was retained by the owner/developer as the geoprofessional on the above proposed development.
2. The geotechnical assessment report, dated **31/03/2022** has been carried out in accordance with the Requirements of the Territorial authority and includes:
  - (i) Details of and the results of my/the site investigations
  - (ii) An assessment of the slope stability and ground bearing capacity confirming the location and appropriateness of building sites.
  - (iii) Recommendations proposing measures to avoid, remedy or mitigate any potential hazards on the land subject to the application, in accordance with the provisions of Section 106 of the Resource Management Act 1991.

3. In my professional opinion, not to be construed as a guarantee, I consider that Council is justified in granting consent incorporating the following conditions:

(i) Refer to Section 11 of our Natural Hazard Report, reference 2210054, dated 31/03/2022.

(ii) \_\_\_\_\_

4. This professional opinion is furnished to the territorial authority and the owner/developer for their purposes alone, on the express condition that it will not be relied upon by any other person and does not remove the necessity for the normal inspection of foundation conditions at the time of erection of any building. It is limited to those items referred to in clause 2 only.
5. This statement shall be read in conjunction with the geotechnical report referred to in clause 2 above, and shall not be copied or reproduced except in conjunction with the full geotechnical completion report.
6. Liability under this statement accrues to the geotechnical firm only and no liability shall accrue to the individual completing this statement.
7. The geotechnical engineering firm issuing this statement holds a current policy of professional indemnity insurance of no less than \$ 500,000

(Minimum amount of insurance shall be commensurate with the current amounts recommended by IPENZ, ACENZ, NZTA, INGENIUM.)

\_\_\_\_\_  
Date: 31/03/2022

Signature of engineer, for an on behalf of Kirk Roberts Consulting Engineers Ltd

Qualifications and experience:

PhD, CEngNZ, CPEng (1023569)

\_\_\_\_\_  
This form is to accompany Form 9 – Resource Management Act 1991 (Application for a Resource Consent (Subdivision))