

Site Inspection Sheet

121562

Application

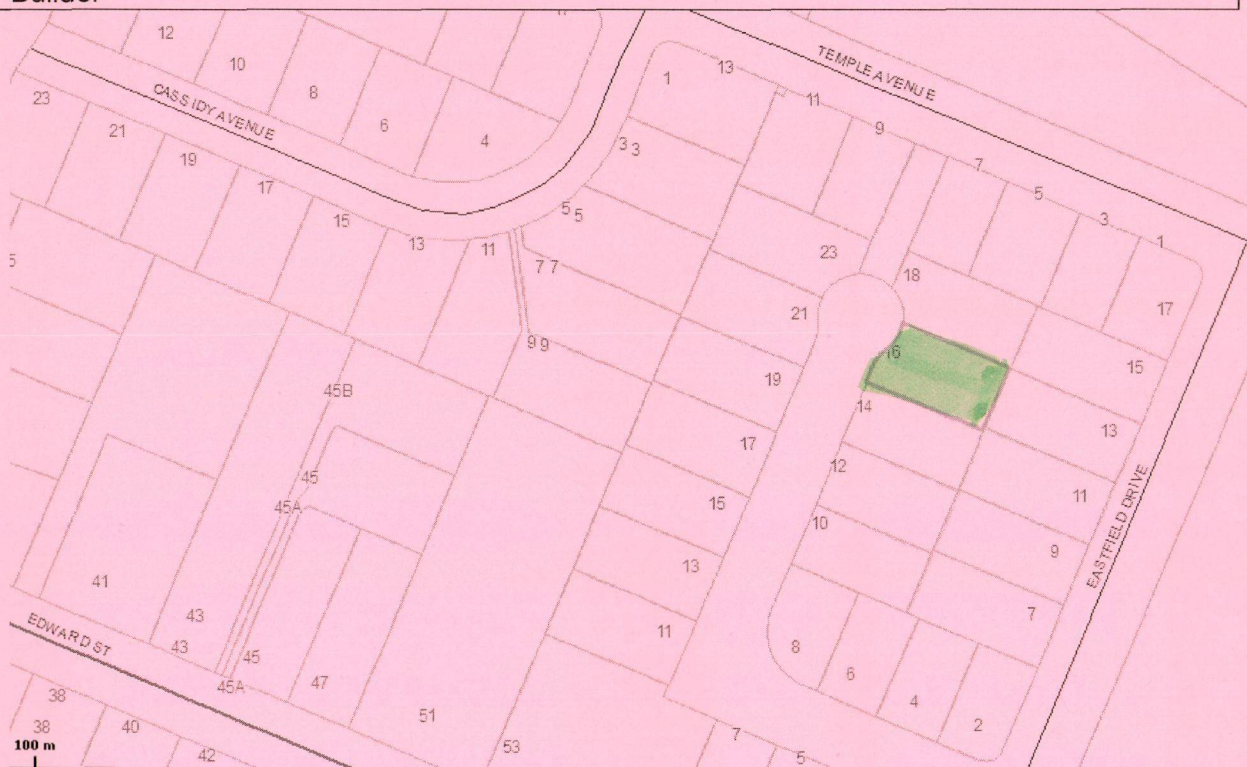
Horncastle Homes
Horncastle Homes
PO Box 8255
Riccarton
Christchurch 8440

Issue date

20/09/12

Project

Description	HOUSING - Detached Dwelling (New Dwellings Only) Being Stage 1 of an intended 1 Stages Domestic Dwelling
Intended Life	Indefinite, but not less than 50 years
Intended Use	4 Bedroom Domestic Dwelling with attached Double Garage - 180sqm
Estimated Value	\$216,096
Location	16 Goldney Close, Lincoln RAPID:
Legal Description	Lot 54 DP 451072
Valuation No.	2404169054
Builder	





Code Compliance Certificate Sign-off Prompt Sheet

A tick (✓) in any space indicates an item has been assessed/provided & is approved/acceptable. A cross (x) in any space indicates an item has not been assessed/provided and a comment/reason should be added. N/A should be used if an item is not applicable to the consent signoff process.

Building
Consent:

121562

A. OWNER & PROJECT DETAILS (Recent CT may be required)					
1	Owner's Name:	Horncastle Homes.	2	Agent's Name:	None Listed
3	Project Address:	16 Goldney Close Lincoln	4	Post CCC to:	PO Box 8255 Riccarton chch 8440
5	Classified Use:	Detached Dwelling	6	Year Constructed:	2013

B. INSPECTIONS		✓, x, N/A	OUTCOME & REASONS
1	Have all inspections been carried out?	✓	SDC Inspections completed
2	Have all issues encountered during the inspection phase been resolved?	✓	No outstanding issues
3	Is a further site inspection required?	✓	None required

C. SUPPORTING DOCUMENTATION		✓, x, N/A	OUTCOME & REASONS
1	Have all documentation required by the conditions of the Building Consent been provided?	✓	1/ Electrical certificate 2/ PS4 for Fifth Raft slab. 3/ PS Plumbing test.
2	List additional documents received in support of CCC application to demonstrate compliance.		1/ PS Tanking around bath. + venties. 2/ Amended plans item 5 note 20-6-13 3/ Details, storage trusses over garage
3	Energy Works Certificates (Gas & Electricity)		
	a. Electrical Cert No:	✓	checked
	b. Gas Cert No:		None.
4	Check registration numbers of LBPs associated with project and ensure that any Memorandum of Work Certificates are supplied for the Restricted Building Work.	✓	checked

D. NOTICE TO FIX (NTF)		✓, ✗, N/A	OUTCOME & REASONS
1	Confirm all NTF's (if any) have been complied with to allow the issuance of the CCC	✓	None issued. checked. NCS
2	Where an NTF has been lifted ensure NCS & database updated.		None issued

E. COMPLIANCE SCHEDULE (where required)		✓, ✗, N/A	OUTCOME & REASONS
1	Specified Systems identified?	✓	None Detached Dwelling
2	Compliance Schedule document produced?	NA	Compliance Schedule number: NA
3	Compliance Schedule invoice produced?	NA	

F. FURTHER INFORMATION REQUIRED (if any - include reasons)			
1	The following additional information is required in support of the application for a Code Compliance Certificate: None requ		
2	Decision: approve further information received*: Reason for decision: Information received demonstrates compliance with the Building Code/Consent.	NAME	Signature
		NA	
3	Decision: decline to accept further information received*: Reason for decision: Information fails to demonstrate compliance with the Building Code/Consent. Action taken:	NAME	Signature
		NA	

*Delete if not applicable

G. CCC PROCESSING SIGN OFF			
1	Decision: issue CCC* CCC May be issued Reason/s for decision: Inspections completed. No outstanding issues. Documentation supplied		
	NAME	Signature	Date
	Geoff Stevenson	Geoff Stevenson	11-7-13
2	Decision: recommend BCA Refuse to issue CCC and forwarded to Technical & Compliance Team Leader for review:* Reason/s for decision: N/A CCC issued		
	NAME	Signature	Date

*Delete if not applicable

H. SUPERVISION (where applicable)			
1	This signoff has been completed under the supervision of:		
	NAME	Signature	Date
	NA		

I. REVIEW (where applicable)			
1	Outcome of Review:		
	NA		
	NAME	Signature	Date

Code Compliance Certificate**121562****Section 95, Building Act 2004****The Owner**

Name of Owner:	Horncastle Homes Ltd
Mailing address:	PO Box 8255, Riccarton, Christchurch 8440
Street address/registered office:	38 Lower Street, Riccarton, Christchurch
Phone number:	
Landline:	Daytime:
Mobile:	After hours: (03) 348 8905
Facsimile number:	(03) 348 8906
Email address:	nathan@horncastle.co.nz
Website:	

The Building Work

Street Address of Building:	16 Goldney Close, Lincoln
Legal Description of land where building is located:	Lot 54 DP 451072
Valuation Number:	2404169054
Current lawfully established use:	Detached Dwelling
Type of work:	Domestic Dwelling
Estimated Value:	\$216,096
Location of building within site/block number:	
Building Name:	Year Construction Commenced: 2013

Code Compliance Certificate:

The Building Consent Authority named above is satisfied on reasonable grounds, that the Building work complies with the Building Consent



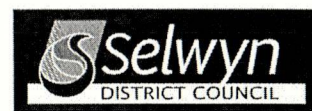
Geoff Stevenson
Selwyn District Council Building Consent Authority Signatory

Issue Date: 11/07/13

Horncastle Homes
PO Box 8255
Riccarton
Christchurch 8440

130704035

SCANNED



Application for Code Compliance Certificate (Form 6) Section 92, Building Act 2004

For Official use
Date Received:RECEIVED
-4 JUL 2013

Items marked * are mandatory. Complete this form in BLOCK CAPITALS using BLACK or BLUE ink.

1. The Building Consent

Building Consent
Number*:

121562

Issued by*:

SELWYN DISTRICT COUNCIL

2. The Project

Description of the building work*:

DOMESTIC DWELLING

Floor Area*: 180 m²Has the intended use of the
building changed since the Building
Consent was issued/granted? *☐

YES

→ Provide details of the new use:
[refer NZBC A1 Classified Uses]☒

NO

3. The Owner [include preferred form of address, eg, Mr, Miss, Dr, if an individual]

Owner's Name*:

Horncastle Homes Ltd

Contact Person (if owner is a company):

GORDON MCKAY

Mailing/
Billing Address*:Po Box 8255
Riccarton
Christchurch, 8440Street Address/
Registered Office:38 Lowe St
Riccarton
Christchurch, 8011

Phone Number: 03 348 8905

Cell Phone:

Fax: 03 348 8906

E-mail address: office@horncastle.co.nz

Website: www.horncastle.co.nz

4. The Agent (Note - Only required if application is being made on behalf of the owner. The Agent, if nominated, will be the first point of contact for communications with the Council/Building Consent Authority regarding this application/building work and will receive all correspondence including all invoices)

Agent's Name:

Contact Person (if agent is a company):Mailing/
Billing Address:Street Address/
Registered Office:

Phone Number:

Cell Phone:

Fax:

E-mail address:

Website:

5a. The Application

All building work to be carried out under the above building consent was completed on*:

3/7/13.

5b. The Application (Restricted Building Work) *

The licenced building practitioner(s) who carried out, or supervised, the restricted building work is/are as follows:

Note: Enter the licenced building practitioner (LBP) number or registration number if treated as being licenced under section 291 of Building Act 2004.

Name Licence Class LBP number

Particular work carried
out or supervised:

Name Licence Class LBP number

Particular work carried
out or supervised:

ROOFING

Name Licence Class LBP number

Particular work carried
out or supervised:

BRICKLAYING

Name Licence Class LBP number

Particular work carried
out or supervised:

Name Licence Class LBP number

Particular work carried
out or supervised:

Name Licence Class LBP number

Particular work carried
out or supervised:

Name Licence Class LBP number

Particular work carried
out or supervised:

Name Licence Class LBP number

Particular work carried
out or supervised:

Name Licence Class LBP number

Particular work carried
out or supervised:

Name Licence Class LBP number

Particular work carried
out or supervised:

Note: Use additional sheets if required.

5c. The Application (Key Personnel) *

The personnel who carried out the building work other than restricted building work are as follows:

Builder:	DEAN RICHARDS	Registration Number:	122386
Mailing Address:	22 ESPERANCE ST, CHRISTCHURCH	Phone (day):	
e-mail:	d.richards1234@me.com		
Certifying Plumber:	Marcus Van Klink	Registration Number:	13849 ✓
Mailing Address:	248 Tram Rd, RD2, Kaipoi	Phone (day):	0275 638 764
e-mail:	office@universal.co.nz		
Certifying Gasfitter:	n/a	Registration Number:	
Mailing Address:		Phone (day):	
e-mail:			
Certifying Drainlayer:	Redband Drainage	Registration Number:	19732 ✓
Mailing Address:	PO Box 121, Dunsandel, 7657	Phone (day):	027 659 8849
e-mail:	redbanddrainage@xtra.co.nz		
Registered Electrician:	Tim Field	Registration Number:	E16880 ✓
Mailing Address:	8 Sovereign Gardens, Halswell, 8025	Phone (day):	027 235 7358
e-mail:	wiretech@xtra.co.nz		
Name:	Roofing BROCK WALSH	Registration Number:	122066 ✓
Mailing Address:	12 RIVERLEA ESTATE DR, KAINKA	Phone (day):	027 2509045
e-mail:	contact@elementroofing@gmail.com		
Name:	Bricklayer DARREYL BLOOMFIELD	Registration Number:	113964 ✓
Mailing Address:	11 LARNE PL	Phone (day):	027 305 9646
e-mail:	northcantbb@xtra.co.nz		

Note: Use additional sheets if required.

Other notes or comments which you as the applicant may wish to add:

5d. The Application (Specified Systems)

Are there any specified systems associated with this project? *

☐ YES

☒ NO, there are no specified systems associated with this project.

The following specified systems are contained on the compliance schedule for the building and, in the opinion of the personnel who installed them, are capable of performing to the performance standards set out in the building consent: *[specified systems are defined in regulations]*.

- SS1 ☐ Automatic systems for fire suppression (for example, sprinkler systems)
- SS2 ☐ Automatic or manual emergency warning systems for fire or other dangers (other than a warning system for fire that is entirely within a household unit & serves only that unit).
- SS3 ☐ Electromagnetic or automatic doors or windows (for example, ones that close on fire alarm activation)
- SS3/1 ☐ Automatic doors
- SS3/2 ☐ Access Controlled Doors
- SS3/3 ☐ Interfaced fire or smoke doors or windows
- SS4 ☐ Emergency lighting systems
- SS5 ☐ Escape route pressurisation systems
- SS6 ☐ Riser mains for fire service use
- SS7 ☐ Automatic back-flow preventers connected to a potable water supply
- SS8 ☐ Lifts, escalators, travelators, or other systems for moving people or goods within buildings
- SS8/1 ☐ Passenger Carrying lifts
- SS8/2 ☐ Service Lifts
- SS8/3 ☐ Escalators and moving walks
- SS9 ☐ Mechanical ventilation or air conditioning systems
- SS10 ☐ Building maintenance units for providing access to the exterior and interior walls of buildings
- SS11 ☐ Laboratory fume cupboards
- SS12 ☐ Audio loops or other assistive listening systems
- SS13 ☐ Smoke control systems
- SS13/1 ☐ Mechanical Smoke Control
- SS13/2 ☐ Natural Smoke Control
- SS13/3 ☐ Smoke Curtains
- SS14 ☐ Emergency power systems for, or signs relating to, a system or feature specified in any of the clauses 1 to 13
- SS14/1 ☐ Emergency Power Systems
- SS14/2 ☐ Signs relating to Specified Systems 1 to 13
- SS15 ☐ Other Fire Safety Systems or Features
- SS15/1 ☐ Systems for communicating spoken information intended to facilitate evacuation
- SS15/2 ☐ Final exit (as defined by A2 of the Building Code; and
- SS15/3 ☐ Fire separations
- SS15/4 ☐ Signs for communicating information intended to facilitate evacuation;
- SS15/5 ☐ Smoke separations
- SS16 ☐ Cable Cars

Purpose Group*:

Fire Hazard Category*:

Max Occupant Load*:

5e. The Application (Signatory)

I request that you issue a code compliance certificate for this work under section 95 of the Building Act 2004.

Signed by*: 

FULL NAME*: GORDON MCKAY (HORNCastle HOMES)

Date*: 1/7/13

I am the*: ☒ **Owner** ☐ **Agent** on behalf of, and with the authority of, the owner.

Address the code compliance certificate should be sent to: gordon@horncastle.co.nz

6. Attachments

The following documents are attached to this application:

- ☒ **Evidence of ownership*** (*Certificate of Title or Sale & Purchase Agreement*)
- ☒ Certificates that relate to the energy work (*eg Gas & electricity*)
- ☒ Evidence that the specified systems are capable of performing to the performance standards set out in the building consent
- ☐ Proof of potability of drinking water from private well, and/or rainwater catchment, supply (refer to New Zealand Drinking Water Standards 2005)
- ☒ **Memoranda (Records of Building Work) from licenced building practitioner(s)** stating what restricted building work they carried out or supervised*
- ☒ Other documents from personnel who carried out the work

For Official use only:

Memorandum from licensed building practitioner: Record of building work

Section 88, Building Act 2004

Please fill in the form as fully and correctly as possible.

If there is insufficient room on the form for requested details, please continue on another sheet and attach the additional sheet(s) to this form.

THE BUILDING

Street address: 16 GOLDNET CLOSE

Suburb:

Town/City: LINCOLN

Postcode:

THE PROJECT

Building consent number: 121 562

THE OWNER(S)

Name(s): HORNCASTLE HOMES

Mailing address:

Suburb: RICCARTON

PO Box/Private Bag: 8255

Town/City: CHRISTCHURCH

Postcode:

Phone number: 07 348 8905

Email address: office@horncastle.co.nz

RECORD OF WORK THAT IS RESTRICTED BUILDING WORK

PRIMARY STRUCTURE

Work that is restricted building work	Description of restricted building work	Carried out or supervised
Tick <input checked="" type="checkbox"/>	If necessary, describe the restricted building work.	Tick <input checked="" type="checkbox"/> whether you carried out the restricted building work or supervised someone else carrying out the restricted building work.
Foundations and subfloor framing <input type="checkbox"/>		<input type="radio"/> Carried out <input type="radio"/> Supervised
Walls <input type="checkbox"/>		<input type="radio"/> Carried out <input type="radio"/> Supervised
Roof <input checked="" type="checkbox"/>		<input checked="" type="radio"/> Carried out <input type="radio"/> Supervised
Columns and beams <input type="checkbox"/>		<input type="radio"/> Carried out <input type="radio"/> Supervised
Bracing <input type="checkbox"/>		<input type="radio"/> Carried out <input type="radio"/> Supervised
Other <input type="checkbox"/>		<input type="radio"/> Carried out <input type="radio"/> Supervised

EXTERNAL MOISTURE MANAGEMENT SYSTEMS

Work that is restricted building work	Description of restricted building work	Carried out or supervised
Tick <input checked="" type="checkbox"/>	If necessary, describe the restricted building work.	Tick <input checked="" type="checkbox"/> whether you carried out the restricted building work or supervised someone else carrying out the restricted building work.
Damp proofing <input type="checkbox"/>		<input type="radio"/> Carried out <input type="radio"/> Supervised
Roof cladding or roof cladding system <input checked="" type="checkbox"/>		<input checked="" type="radio"/> Carried out <input type="radio"/> Supervised
Ventilation system (for example, subfloor or cavity) <input type="checkbox"/>		<input type="radio"/> Carried out <input type="radio"/> Supervised
Wall cladding or wall cladding system <input type="checkbox"/>		<input type="radio"/> Carried out <input type="radio"/> Supervised
Waterproofing <input type="checkbox"/>		<input type="radio"/> Carried out <input type="radio"/> Supervised
Other <input type="checkbox"/>		<input type="radio"/> Carried out <input type="radio"/> Supervised

ISSUED BY

Name and contact details of the licensed building practitioner who is licensed to carry out or supervise restricted building work.

Name: Brock Walsh LBP number: BP 122 066

Class(es) licensed in: ProSibel Roofing Metal
& wall cladding

Plumbers, Gasfitters and Drainlayers registration number (if applicable):

Mailing address (if different from below): 112 Riverlea estate Drive

Street address/Registered office:

Suburb: Kainga

Town/City: Christchurch

PO Box/Private Bag

Postcode: 8083

Phone number: 3231889

Mobile: 0272509045

After hours:

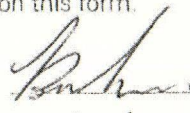
Fax:

Email address: contactelementroofing@gmail.com

Website:

DECLARATION

I Brock Walsh carried out or supervised the restricted building work recorded on this form.

Signature: 

Date: 1/5/13

Electrical Certificate of Compliance

for a low voltage installation if prescribed electrical work has been done on any part of it and the prescribed electrical work involved placing, replacing, or repositioning conductors or fittings attached to conductors.

No. 4024840

No. of attachments

To be completed whether or not an inspection is required.

CUSTOMER INFORMATION - PLEASE PRINT CLEARLY

Name of customer

Horncastle Hemes

Phone:

Address of installation

Lot 54 Rosemevryn, Lincoln

Postal address of customer (if not as above)

DECLARATION OF CONFORMITY (Please tick (✓) appropriate boxes)

In accordance with Regulation 58 of the Electricity (Safety) Regulations 2010, the design of the installation or part of the installation to which this certificate applies

- (a) complies with either Part 2 of AS/NZS 3000:2007 ☒ or Part 1 of AS/NZS3000:2007 and Regulation 59 ☐ and
(b) the supply system of the installation or part of the installation to which this certificate applies is
230V/400 V MEN ☒ or attached other system ☐

WORK DETAILS

39 No. of lighting outlets

1 No. of ranges

33 No. of socket outlets

1 No. of water heaters

Please tick (✓) as appropriate where work includes:

Was any installation work carried out by the homeowner?

Yes ☐ No ☒☒ Mains☒ Main earthing system☒ MEN Switchboard closest to point of supply☐ Electric lines

Description of work carried out (If necessary attach any pages with work done)

New house done to plan. Wired heat pump feed only.

CERTIFICATION OF WORK (Please tick (✓) appropriate boxes)

I certify that the completed installation or part of the installation to which this certificate applies

- ☒ has been installed in accordance with the design detailed in the Declaration of Conformity section above
☒ has had tests which are required by the Electricity (Safety) Regulations 2010 satisfactorily completed
☐ has an earthing system that is correctly rated
☐ contains fittings which are safe to connect to a power supply
☒ is safe to connect to a power supply

ELECTRICAL WORKER DETAILS

Name

Tim Field

Registration No.

E16580

Company

Wiretech Ltd

Contact Ph No.

0272357358

Signature

[Signature]

Date

14-5-13

INSPECTION DETAILS

Electrical work requiring inspection by a registered electrical inspector

☒ Mains work (mains, MEN switchboards closest to the point of supply, or main earthing systems)☐ Attached other☐ Work carried out in accordance with Part 1 of AS/NZS 3000:2007

I certify that the items identified above are electrically safe and that the inspection has been carried out in accordance with the Electricity (Safety) Regulations 2010.

Name

Richard Gibson

Registration No.

1258020

Signature

[Signature]

Date

17-5-13

Contact Ph No.

0772316604

PRODUCER STATEMENT – PS4 – CONSTRUCTION REVIEW

ISSUED BY:	The Engineering Company Ltd <small>(Design Firm)</small>		
TO BE SUPPLIED TO:	Selwyn District Council <small>(Building Consent Authority)</small>		
IN RESPECT OF:	New Dwelling with attached Garage <small>(Description of Building Work)</small>		
AT:	Lot 54, Goldney Close, Rosemerryn Estate, Lincoln <small>(Address)</small>		
LOT	54	DP	451072 SO

We have been engaged by the Horncastle Homes to above to provide the:

Construction Observation services for the Firth Ribraft Floor Slab

in respect of the requirements of **Clause(s) B1** of the approved Compliance Documents issued by Department of Building & Housing for the work described on **ENGCO** drawings titled:

HORNCASTLE HOMES Ltd, LOT 54, ROSEMERRYN STAGE 2, LINCOLN
and numbered S1 to S6 (21.08.2012)

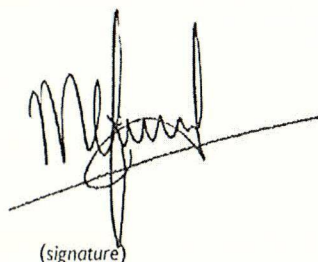
- No authorised variations have been issued during the course of the works.
- I have sighted Building Consent No. **BC121562** and the attached conditions of consent.

I or personnel under my control have carried out periodic reviews of the of the work appropriate to the engagement and based upon these reviews and information supplied by the contractor during the course of the works, I **believe on reasonable grounds** the slab, has been constructed in accordance with the drawings, specifications, and other documents provided or listed above will comply with the relevant provisions of the Building Code.

I, M. Q. Cusieli, am a Chartered Professional Engineer, CPEng#161509, and am a Member of IPENZ.

The Engineering Company Ltd holds a current policy of Professional Indemnity Insurance no less than \$200,000*.

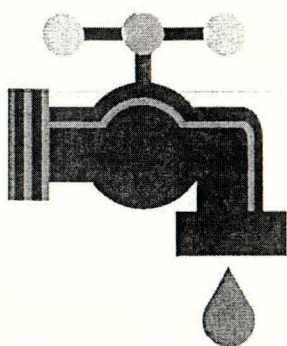
Signed by M. Q. Cusieli, BE(hons), MIPENZ, CPEng, IntPE
on behalf of The Engineering Company Ltd, 8/1025 Ferry Rd, Ferrymead, Christchurch



(signature)

Date: 29 May 2013

Note: This statement shall only be relied upon by the Building Consent Authority named above. Liability under this statement accrues to the Design Firm only. The total maximum amount of damages payable arising from this statement and all other statements provided to the Building Consent Authority in relation to this building work, whether in contract, tort or otherwise (including negligence), is limited to the sum of \$200,000.*



PRODUCER STATEMENT PIPEWORK TESTING

Please complete and return to:
W.D.C Building Unit
PO Box 1005
Rangiora
Email: buildinginfo@wmk.govt.nz
Fax: 03 313 4432

Building Consent Number:	121562
Issued by: (Certifying Plumber)	Marcus van Klink
For: (Owner)	HOMECASTLE HOMES LTD

In respect of the testing of water pipe work prior to concealment.

At: (address)	16 GOLDNEY CLOSE (LOT 54 ROSEMEAD)
------------------	------------------------------------

I hereby state that I have personally tested the water pipe work installed in the building authorised under this Building Consent by the method indicated hereunder.

- ☒ By pressurising the pipe work to 1500 kpa for a period of not less than 15 minutes for the hot and cold water supply and checking to see there are no leaks. (NZBC G12/AS1 7.5.1 (a), (b).)
- ☐ By pressurising the upvc pipe work to 1.5 times the maximum working pressure for a period of not less than 15 minutes and checking that there are no leaks. (NZBC G12/AS1 7.5.2, NZS 7643). Max working pressure was
- ☐ By pressurising the pipe work to 1500 kpa for a period of not less than 5 minutes and checking to see there are no leaks. (NZBC G12 VM1, AS3500:Part 1.2 1998)

And believe on reasonable grounds that the pipe work has passed that test.

- ☒ All work complies with the NZBC

I also understand that Waimakariri District Council in accepting this producer statement will be relying on it to issue the Code Compliance Certificate at the completion of the building work.

Signature of Certifying Plumber:	<i>Marcus van Klink</i>
Date:	24/5/13.
Registration Number:	13849 ✓
Company Name:	UNIVERSAL PLUMBING LTD.

SYRUS TILES TILING COMPANY LIMITED

po box 20364, bishopdale, christchurch
phone: 027 220 9422, fax 03 360 3612, email: syrustiles@xtra.co.nz

SYRUS
TILING

Syrus Tiles, P.O. Box 20364,
Bishopdale
Christchurch

Produce Statement

Installers Name: Scott Rogers

Installers #: 461

Product Used : Superflex 1

Site Address : 16 GOLDNEY CLOSE (LOT 54 ROSEMEAD)

Consent #: 121562

Builders Name ; Horncastle Homes

Job #: 33634

Date Installed : 6/6/13

Substrate : Aqua Gib over timber, Hardies Board over timber

Comments : Waterproofing was taken to a height of 280mm above bath and on to
shelve at end of bath also waterproofed to 140mm behind vanities.

Regards Scott Rogers



QuickMap Title Preview



Information last updated as at 04 May 2013

COMPUTER FREEHOLD REGISTER UNDER LAND TRANSFER ACT 1952

Identifier 574232
Land Registration District Canterbury
Date Issued 02 May 2012

Prior References

550511

Type	Fee Simple
Area	639 square metres more or less
Legal Description	Lot 54 Deposited Plan 451072

Proprietors

Horncastle Homes Limited

Land Covenant in Easement Instrument 8647356.9 - 3.12.2010 at 3:39 pm
Land Covenant in Easement Instrument 8775959.7 - 31.5.2011 at 4:42 pm
9029308.9 Consent Notice pursuant to Section 221 Resource Management Act 1991 - 2.5.2012 at 3:52 pm
Land Covenant in Easement Instrument 9029308.10 - 2.5.2012 at 3:52 pm
Fencing Covenant in Transfer 9082682.1 - 30.5.2012 at 3:42 pm
9082682.2 Mortgage to Bank of New Zealand - 30.5.2012 at 3:42 pm

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Memorandum from licensed building practitioner: Record of building work

Section 88, Building Act 2004

Please fill in the form as fully and correctly as possible.

If there is insufficient room on the form for requested details, please continue on another sheet and attach the additional sheet(s) to this form.

THE BUILDING

Street address: **Lot 54 Rosemerryn**

Suburb:

Town/City: **Lincoln**

Postcode:

THE PROJECT

Building consent number:

BC 121562

THE OWNER(S)

Name(s): **Horncastle Homes Ltd**

Mailing address:

Suburb: **Riccarton**

PO Box/Private Bag: **Po Box 8255**

Town/City: **Christchurch**

Postcode: **8440**

Phone number: **03 348 8905**

Email address: **office@horncastle.co.nz**

RECORD OF WORK THAT IS RESTRICTED BUILDING WORK

PRIMARY STRUCTURE

Work that is restricted building work	Description of restricted building work	Carried out or supervised
Tick <input checked="" type="checkbox"/>	If necessary, describe the restricted building work.	Tick <input checked="" type="checkbox"/> whether you carried out the restricted building work or supervised someone else carrying out the restricted building work.
Foundations and subfloor framing <input type="checkbox"/>		<input type="radio"/> Carried out <input type="radio"/> Supervised
Walls <input type="checkbox"/>		<input type="radio"/> Carried out <input type="radio"/> Supervised
Roof <input type="checkbox"/>		<input type="radio"/> Carried out <input type="radio"/> Supervised
Columns and beams <input type="checkbox"/>		<input type="radio"/> Carried out <input type="radio"/> Supervised
Bracing <input type="checkbox"/>		<input type="radio"/> Carried out <input type="radio"/> Supervised
Other <input type="checkbox"/>		<input type="radio"/> Carried out <input type="radio"/> Supervised

EXTERNAL MOISTURE MANAGEMENT SYSTEMS

Work that is restricted building work	Description of restricted building work	Carried out or supervised
Tick <input checked="" type="checkbox"/>	If necessary, describe the restricted building work.	Tick <input checked="" type="checkbox"/> whether you carried out the restricted building work or supervised someone else carrying out the restricted building work.
Damp proofing <input type="checkbox"/>		<input type="radio"/> Carried out <input type="radio"/> Supervised
Roof cladding or roof cladding system <input type="checkbox"/>		<input type="radio"/> Carried out <input type="radio"/> Supervised
Ventilation system (for example, subfloor or cavity) <input type="checkbox"/>		<input type="radio"/> Carried out <input type="radio"/> Supervised
Wall cladding or wall cladding system <input checked="" type="checkbox"/>		<input checked="" type="radio"/> Carried out <input checked="" type="radio"/> Supervised
Waterproofing <input type="checkbox"/>		<input type="radio"/> Carried out <input type="radio"/> Supervised
Other <input type="checkbox"/>		<input type="radio"/> Carried out <input type="radio"/> Supervised

ISSUED BY

Name and contact details of the licensed building practitioner who is licensed to carry out or supervise restricted building work.

Name: **Daryl Bloomfield**

LBP number: **113964**

Class(es) licensed in:

Bricklaying B1

Plumbers, Gasfitters and Drainlayers registration number (if applicable):

Mailing address (if different from below):

Street address/Registered office: **11 Larne Place**

Suburb: **Belfast**

Town/City: **Christchurch**

PO Box/Private Bag

Postcode: **8051**

Phone number: **03 323 5446**

Mobile: **027 305 9646**

After hours:


Fax:

Email address: **northcantbb@xtra.co.nz**

Website:

DECLARATION

I, **Daryl Bloomfield**, carried out or supervised the restricted building work recorded on this form.

Signature: 

Date: **10/06/2013**

Memorandum from licensed building practitioner: Record of building work

Section 88, Building Act 2004

Please fill in the form as fully and correctly as possible.

If there is insufficient room on the form for requested details, please continue on another sheet and attach the additional sheet(s) to this form.

THE BUILDING	
Street address:	16 Goldney Close.
Suburb:	
Town/City:	Lincoln.
Postcode:	

THE PROJECT
Building consent number:
121562

THE OWNER(S)	
Name(s): Horncastle Homes Ltd	
Mailing address:	
Suburb: Riccarton	PO Box/Private Bag: Po Box 8255
Town/City: Christchurch	Postcode: 8440
Phone number: 03 348 8905	Email address: office@horncastle.co.nz

RECORD OF WORK THAT IS RESTRICTED TO TRAINING WORK

PRIMARY STRUCTURE

Work that is restricted building work	Description of restricted building work	Carried out or supervised
Tick <input checked="" type="checkbox"/>	If necessary, describe the restricted building work	Tick <input checked="" type="checkbox"/> whether you carried out the restricted building work or supervised someone else carrying out the restricted building work.
Foundations and subfloor framing <input type="checkbox"/>	By others.	<input type="radio"/> Carried out <input type="radio"/> Supervised
Walls <input type="checkbox"/>	Stand Carlers Pre cut Pee Nail frames.	<input type="radio"/> Carried out <input checked="" type="radio"/> Supervised
Roof <input type="checkbox"/>	Stand Trusses install Truss hold down's and Roof bracing. Install #13-2 Ply to Flat roof and screw with SS screws.	<input type="radio"/> Carried out <input checked="" type="radio"/> Supervised
Columns and beams <input type="checkbox"/>		<input type="radio"/> Carried out <input type="radio"/> Supervised
Bracing <input type="checkbox"/>	Install Ply Bracing and bottom Plate hold down's. Bottom Plate hold down's for Gb bracing	<input type="radio"/> Carried out <input checked="" type="radio"/> Supervised
Other <input type="checkbox"/>		<input type="radio"/> Carried out <input type="radio"/> Supervised

EXTERNAL MOISTURE MANAGEMENT SYSTEMS

Work that is restricted building work	Description of restricted building work	Carried out or supervised
Tick <input checked="" type="checkbox"/>	If necessary, describe the restricted building work	Tick <input checked="" type="checkbox"/> whether you carried out the restricted building work or supervised someone else carrying out the restricted building work.
Damp proofing <input type="checkbox"/>	Install Thermacraft building and shop. All bars to windows & door openings	<input type="checkbox"/> Carried out <input checked="" type="checkbox"/> Supervised
Roof cladding or roof cladding system <input type="checkbox"/>	By others.	<input type="checkbox"/> Carried out <input type="checkbox"/> Supervised
Ventilation system (for example, subfloor or cavity) <input type="checkbox"/>		<input type="checkbox"/> Carried out <input type="checkbox"/> Supervised
Wall cladding or wall cladding system <input type="checkbox"/>	Install Knot Weather boards over 20 mm cavity	<input type="checkbox"/> Carried out <input checked="" type="checkbox"/> Supervised
Waterproofing <input type="checkbox"/>	Black Seal Foundation Rebate.	<input type="checkbox"/> Carried out <input checked="" type="checkbox"/> Supervised
Other <input type="checkbox"/>		<input type="checkbox"/> Carried out <input type="checkbox"/> Supervised

BUILDER	
Name and contact details of the licensed building practitioner who is licensed to carry out or supervise restricted building work.	
Name: <u>Dean Richards</u>	LBP number: <u>122386</u> /
Class(es) licensed in: <u>Carpentry</u>	
Plumbers, Gasfitters and Drainlayers registration number (if applicable):	
Mailing address (if different from below):	
Street address/Registered office: <u>22 Esperance st.</u>	
Suburb:	Town/City: <u>Christchurch</u>
PO Box/Private Bag	Postcode: <u>8052</u>
Phone number:	Mobile: <u>0274338923</u>
After hours:	Fax:
Email address: <u>d.richards1234@me.com</u>	Website:

DECLARATION	
I <u>Dean Richards</u> carried out or supervised the restricted building work recorded on this form	
Signature: <u>D.J. Richards</u>	
Date: <u>3/7/2013</u>	

BCA

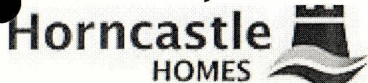
From: Gordon McKay <gordon@horncastle.co.nz>
Sent: Thursday, 4 July 2013 2:14 p.m.
To: BCA
Subject: BC121562 Code Application
Attachments: BC121562 Code Application.pdf

Hi, Please find attached code application for Lot 54 Rosemerryn, BC121562
Regards

Gordon McKay
Project Manager

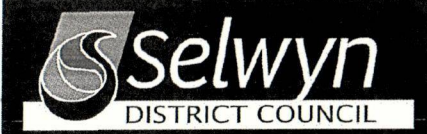
P O Box 8255, Riccarton, Christchurch 8440, New Zealand.
Ph: **+64 3 348 8905**, Mobile: **+64 27 702 1683** Fax: **+64 3 348 8906**
Email: **gordon@horncastle.co.nz**
Web: **www.horncastle.co.nz**

We call Canterbury home



NOTE: This message is confidential and may be legally privileged. If you are not the intended recipient please notify us immediately by return email and then destroy this email. Thank you


12/11/11

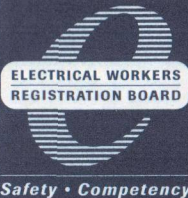
	Code Compliance Certificate Application Checklist - Form 6(C) (in conjunction with Form 6)	Building Consent No: 121562
		Date Received: 4/7/13

Project address: 16 Goldney Close Lincoln

Has the practical completion inspection been carried out	Supplied	Not Applicable	Selwyn BCA Use Only
<p align="center">YES / NO (Please circle)</p> <p>If NO, please book the inspection before proceeding with this application</p> <p>NB The following is required on application in sufficient detail to show compliance with all aspects of the relevant Building Consent. Please complete this Checklist in FULL by placing a tick (✓) in the supplied or Not Applicable boxes. Additional information may be requested during processing of the application.</p>			
Check You Have Included :-			
COMPLETED, dated and signed Application Form			✓
Building Consent number			✓
An Address for the CCC to be posted to			✓
A copy of the Current Certificate of Title		✓	
Check You Have Listed The Key Personnel:- <ul style="list-style-type: none"> Name, address, phone number, registration number for ALL key personnel e.g. Builder, Electrician, Drain layer, Plumber etc Trade Certificates – provided by all key personnel 			✓
Check You Have Included The Documentation:- <ul style="list-style-type: none"> Electrical Certificate Gas Certificate Water Pressure Test (1500KPA) statement, if stated in building consent or if requested by Building Inspector 		✓	✓
Supporting documentation to verify compliance (please list attachments):- <ul style="list-style-type: none"> RS4 Engco Synus 			✓
Proof of potability of water (3 tests results - 1 x chemical + 3 x bacteria)			
Exterior Cladding – Construction Statement required by Building Consent conditions. e.g. Plaster Cladding, Classic Stone			
Relocated Buildings – Copy of Code Compliance Certificate for the building, issued by the local authority whom's district the building was constructed in		✓	
Pile Driving records for driven piles		✓	
Septic tanks- Confirmation from ECAN that they have received and approved the certificate of construction from the drain layer / designer (Compliance Monitoring report)		✓	
Evidence that specified systems are capable of performing to the performance standards set out in the Building Consent including:- <ul style="list-style-type: none"> Installers Certificates FPIS Certificates Dangerous Goods Location – Test Certificate issued by an ERMA approved test certifier 		✓	
Approvals from Other Authorities – Approvals for discharges to land, air, or water from ECAN,		✓	
NOTE: Once received by the BCA, your CCC application will be considered and either issued or refused within 20 working days. Please note if any further information is requested this time is suspended until that information is received.			

For BCA Use Only:-

This application is accepted / declined as all relevant information has / has not been supplied - signed: 



Electrical Certificate of Compliance

No. 4024840

No. of attachments

for a low voltage installation if prescribed electrical work has been done on any part of it and the prescribed electrical work involved placing, replacing, or repositioning conductors or fittings attached to conductors.

To be completed whether or not an Inspection is required.

CUSTOMER INFORMATION - PLEASE PRINT CLEARLY

Name of customer Horncastle Homes

Phone:

Address of installation Lot 54 Rosemerryn, Lincoln

Postal address of customer (if not as above)

DECLARATION OF CONFORMITY (Please tick (✓) appropriate boxes)

In accordance with Regulation 58 of the Electricity (Safety) Regulations 2010, the design of the installation or part of the installation to which this certificate applies

- (a) complies with either Part 2 of AS/NZS 3000:2007 ☒ or Part 1 of AS/NZS3000:2007 and Regulation 59 ☐ and
 (b) the supply system of the installation or part of the installation to which this certificate applies is
 230V/400 V MEN ☒ or attached other system ☐

WORK DETAILS

39 No. of lighting outlets

1 No. of ranges

Please tick (✓) as appropriate where work includes:

33 No. of socket outlets

1 No. of water heaters

☒ Mains☒ Main earthing system

Was any installation work carried out by the homeowner?

Yes ☒ No☒ MEN Switchboard closest to point of supply☐ Electric lines

Description of work carried out (If necessary attach any pages with work done)

New house done to plan. Wired heat pump feed only.

CERTIFICATION OF WORK (Please tick (✓) appropriate boxes)

I certify that the completed installation or part of the installation to which this certificate applies

- ☒ has been installed in accordance with the design detailed in the Declaration of Conformity section above
☒ has had tests which are required by the Electricity (Safety) Regulations 2010 satisfactorily completed
☒ has an earthing system that is correctly rated
☒ contains fittings which are safe to connect to a power supply
☒ is safe to connect to a power supply

ELECTRICAL WORKER DETAILS

Name Tim FieldRegistration No. E16880Company Wiretech LtdContact Ph No. 0272357358Signature thDate 14-5-13

INSPECTION DETAILS

Electrical work requiring inspection by a registered electrical inspector

☒ Mains work (mains, MEN switchboards closest to the point of supply, or main earthing systems)☐ Attached other☐ Work carried out in accordance with Part 1 of AS/NZS 3000:2007

I certify that the items identified above are electrically safe and that the inspection has been carried out in accordance with the Electricity (Safety) Regulations 2010.

Name Richard RobinsonRegistration No. 1258020Signature R RobinsonDate 17-5-13Contact Ph No. 0272216487

CUSTOMER COPY - THIS IS AN IMPORTANT DOCUMENT AND SHOULD BE RETAINED

1024343

UNITED STATES OF AMERICA

OFFICE OF THE ATTORNEY GENERAL

DEPARTMENT OF JUSTICE

WASHINGTON, D. C. 20530

MEMORANDUM FOR THE ATTORNEY GENERAL

SUBJECT: [Illegible]

DATE: [Illegible]

TO: [Illegible]

FROM: [Illegible]

[Illegible]

[Illegible]

[Illegible]

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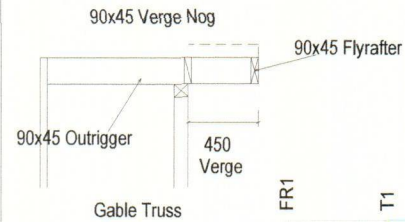
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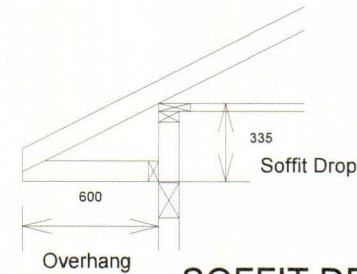
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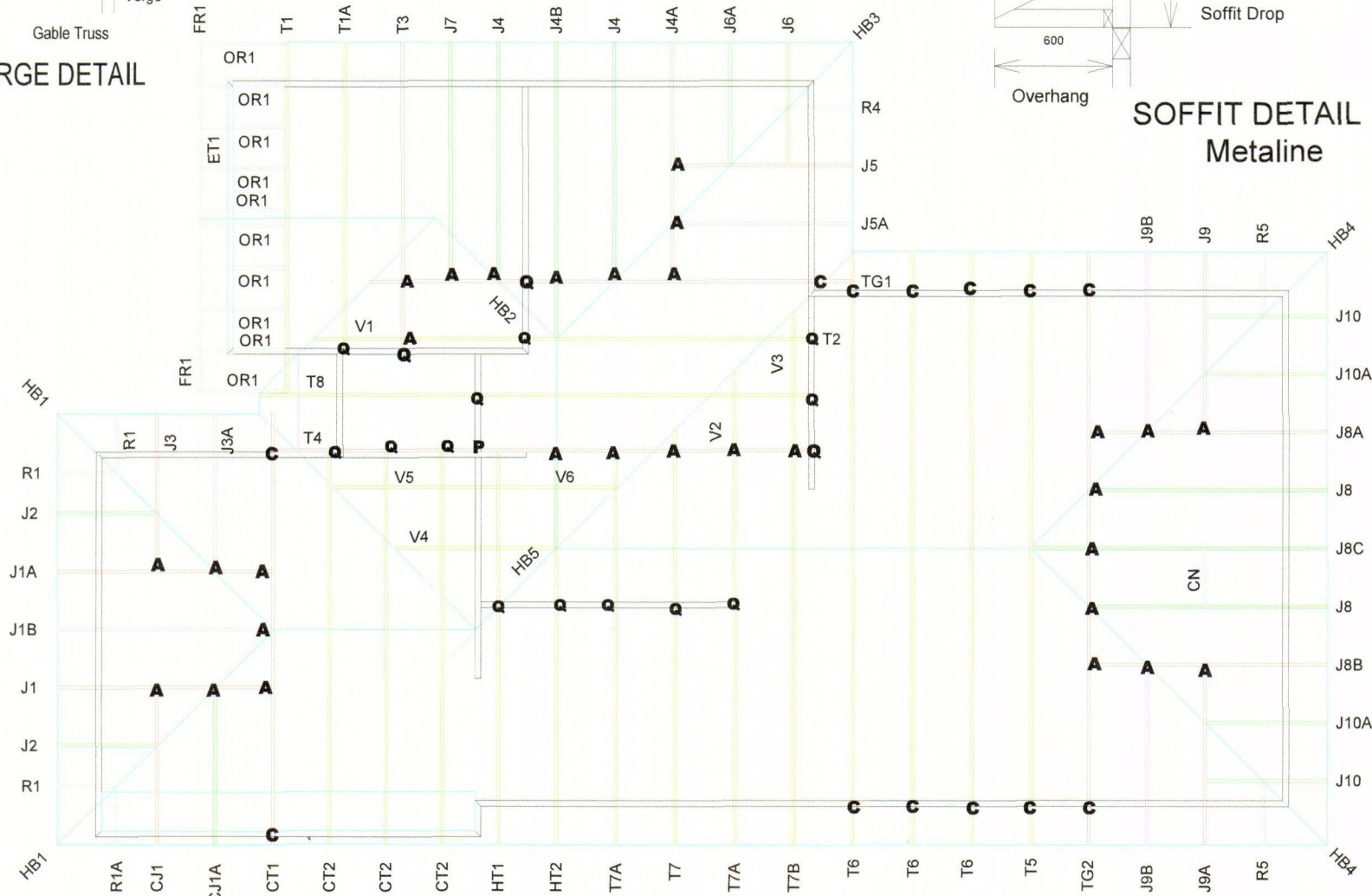
FINAL LAYOUT



VERGE DETAIL



SOFFIT DETAIL
Metaline



**25kg per m2 light storage space between garage trusses,
2.4 mtr long, no loads to be applied to the CT1 Grider truss.**

NOTE: If metal ceiling battens on clips are used, bottom chord bracing is required at 1800mm centres.

FIXINGS

A= 47x90 JH

B= 47x120 JH

D= 47x190 JH

E= 95x165 JH



Joist Hanger



CT 200

C= CT200 (pair)

M= Multigrips (pair)

N= Nailon Plate

Q= 9kN Pack

P= 16kN Pack



Multi Grips



Nailon plate

All other truss fixings
must have two wire dogs
unless indicated as above



CPC

NOTE

Please contact your local CARTERS
Manufacturing Branch for any queries
regarding this layout or if any on site remedial
work is required.

No modifications to Roof Trusses or Wall Frames
are to be undertaken without first obtaining
written authority from CARTERS Manufacturing.

Truss Layout





NOTIFICATION OF POINT LOADED LINTELS AND POINT LOADS ON INTERNAL OR EXTERNAL WALLS WHERE THE DOWNLOAD IS HIGHER THAN 10kN.
Note: If no point loads indicated, loading does not exceed 10kN.

FINAL LAYOUT

CARTERS
Your Building Partner

Christchurch Manufacturing
19-21 Broughs Road, Christchurch
03 359 2731

JOB No **CD93580**

Client: Horncastle Homes
Job Name: J3634
Address: Lot 54 Goldney Close
Rosemeryn
Lincoln

Pitch: 26.0deg
Roof Material: Galv Iron .5mm
Soffit Overhang: 600mm
Wind Area: High
Snow Load(factored): 0.428kPa

Trusses and rafters at 900mm max centres unless stated otherwise.

This layout is to be read in conjunction with the Architectural plans.

DRAWN BY Nhan Tran

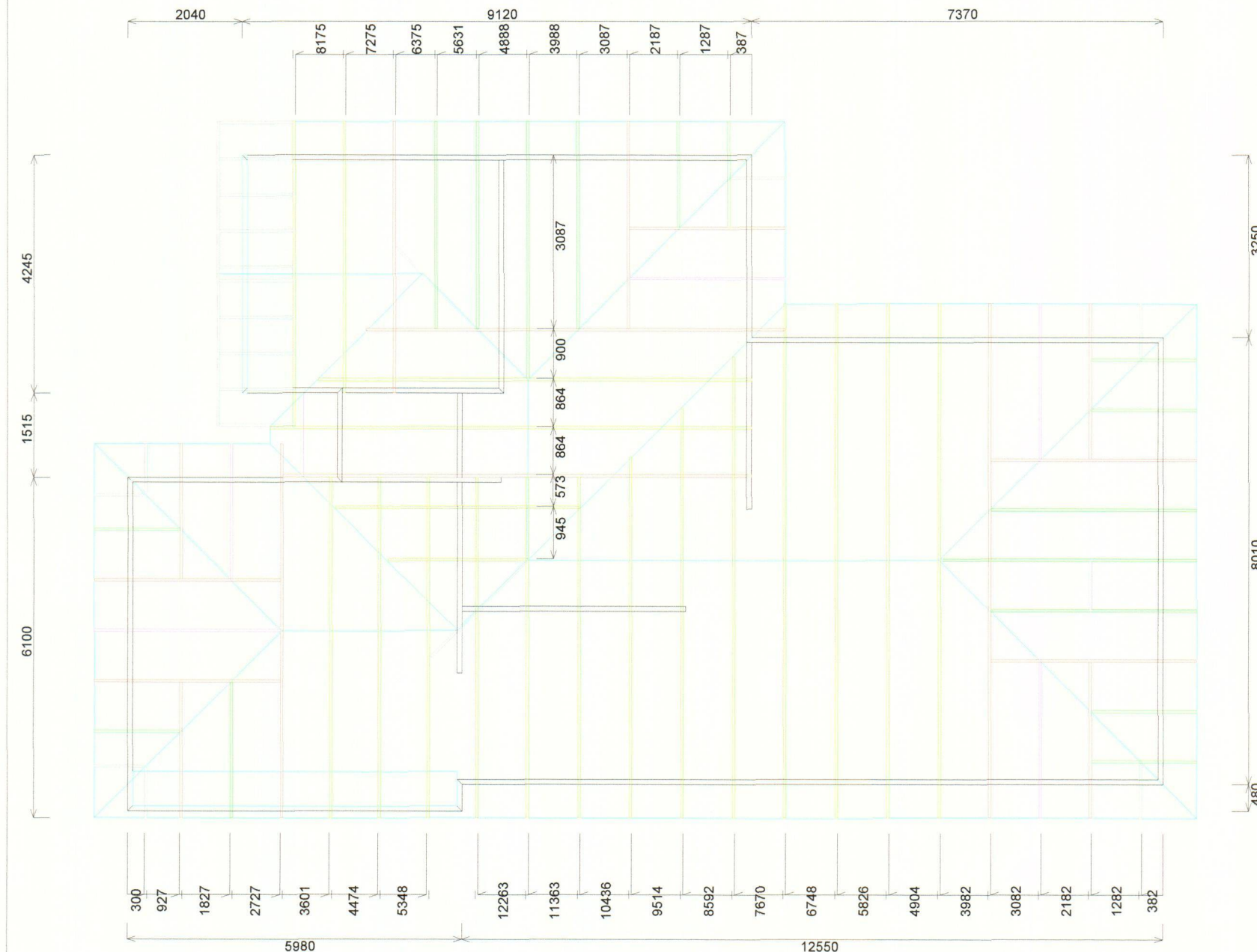
DATE 19 Dec,2012 PAGE 2 of 4

NOTE

Please contact your local CARTERS Manufacturing Branch for any queries regarding this layout or if any on site remedial work is required.

No modifications to Roof Trusses or Wall Frames are to be undertaken without first obtaining written authority from CARTERS Manufacturing.

Truss Dimensions



FINAL LAYOUT

Christchurch Manufacturing
19-21 Broughs Road, Christchurch
03 359 2731

JOB No **CD93580**

Client: Horncastle Homes
Job Name: J3634
Address: Lot 54 Goldney Close
Rosemerry
Lincoln

Pitch: 26.0deg
Roof Material: Galv Iron .5mm
Soffit Overhang: 600mm
Wind Area: High
Snow Load(factored): 0.428kPa

This layout is to be read in conjunction
with the Architectural plans.

DRAWN BY Nhan Tran

DATE 19 Dec,2012 PAGE 3 of 4

These lintels have been sized using
one of the following :

The GANGLAM 04/2008 and
FLITCH BEAM 12/2007
selection manuals from MiTek NZ Ltd.

hy90 and hyONE lintels have been sized
using designIT v5 NZ software
(incl. sub versions) or selection manuals,
hy90 Edition 1, and hyONE April 2008,
as provided by CHH Woodproducts.

Unless otherwise stated the timber grade
for all lintels is MSG8. Lintels not shown
are to be selected as per NZS3604: 2011.

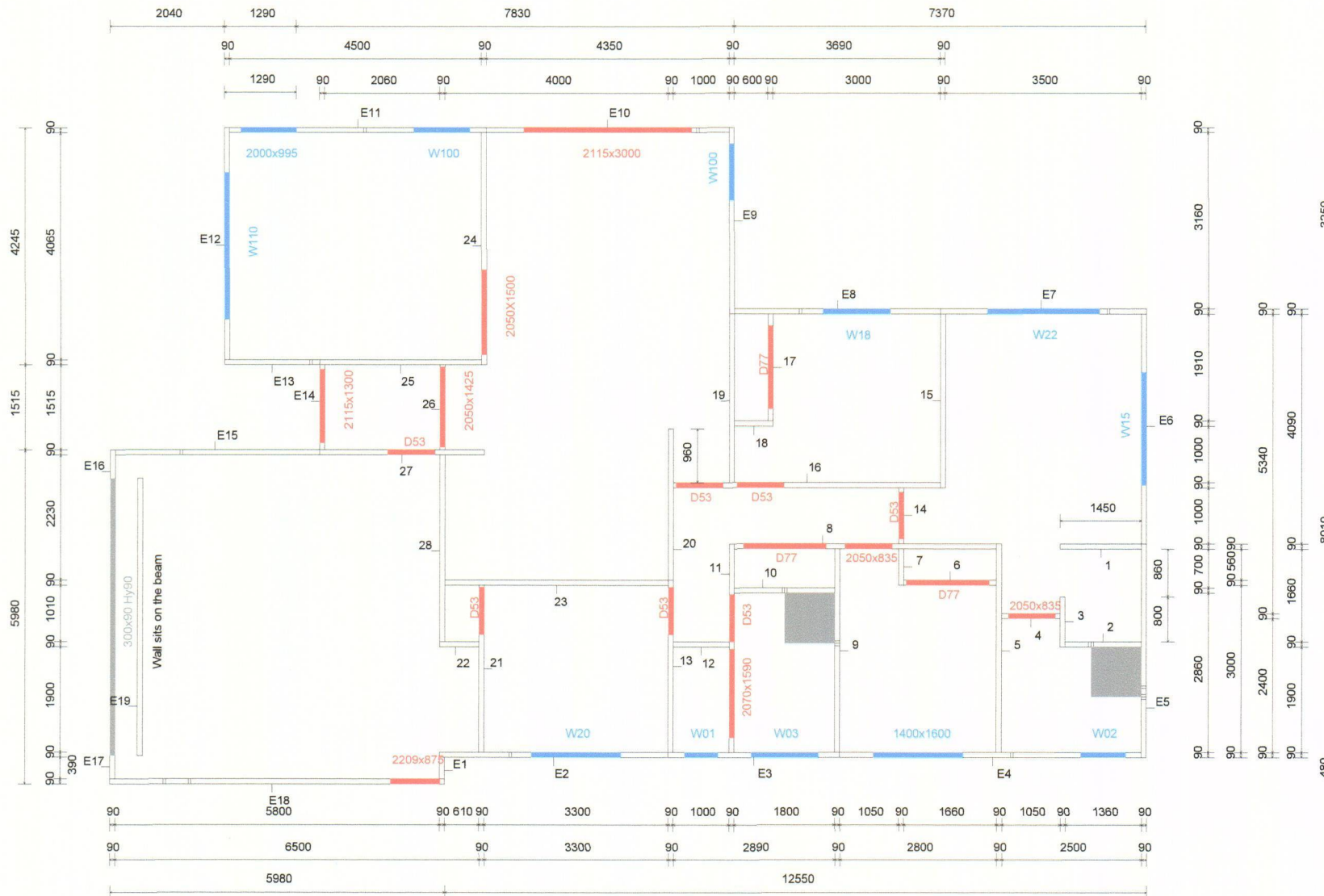
All walls shown on this layout are
considered to be load bearing.

NOTE

Please contact your local CARTERS
Manufacturing Branch for any queries
regarding this layout or if any on site remedial
work is required.

No modifications to Roof Trusses or Wall Frames
are to be undertaken without first obtaining
written authority from CARTERS Manufacturing.

Level 1 Frames



FINAL LAYOUT

Refer to the Details Page
for the lintel and stud to top
plate fixing guide



Christchurch Manufacturing
19-21 Broughs Road, Christchurch
03 359 2731

JOB No **CD93580**

Client: Horncastle Homes
Job Name: J3634
Address: Lot 54 Goldney Close
Rosemerry
Lincoln

This layout is to be read in conjunction
with the Architectural plans.

DRAWN BY Nhan Tran

DATE 19 Dec, 2012 PAGE 4 of 4

These lintels have been sized using
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The GANGLAM 04/2008 and
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selection manuals from MiTek NZ Ltd.

hy90 and hyONE lintels have been sized
using designIT v5 NZ software
(Incl. sub versions) or selection manuals,
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as provided by CHH Woodproducts.

Unless otherwise stated the timber grade
for all lintels is MSG8. Lintels not shown
are to be selected as per NZS3604: 2011.

All walls shown on this layout are
considered to be load bearing.

Lintel Fixings

Type E - 1.4 kN

Type F - 4.0 kN

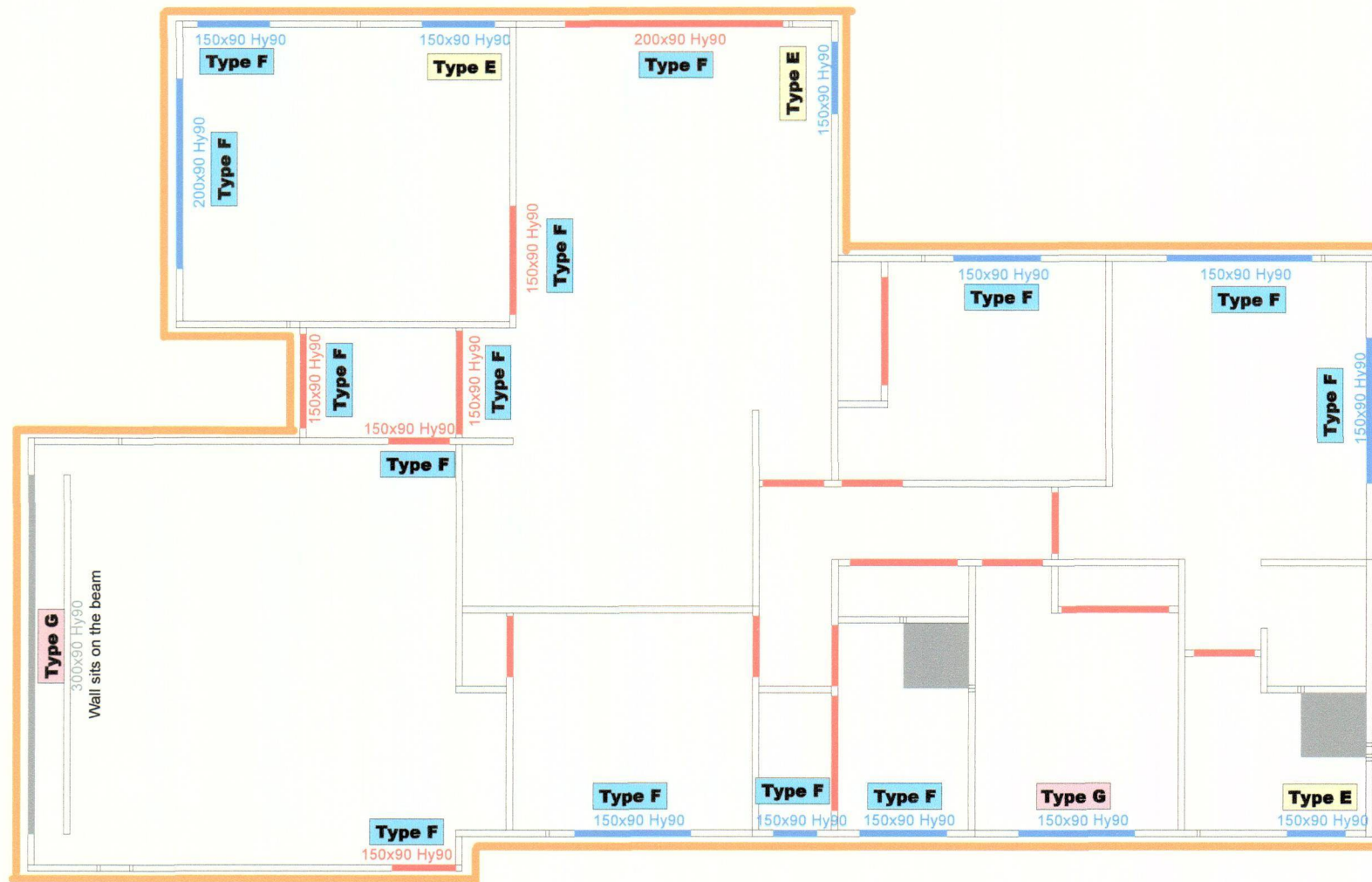
Type G - 7.5 kN

Type H - 13.5 kN

Stud to Top Plate Fixings

Fixing Type B

Level 1 Fixings

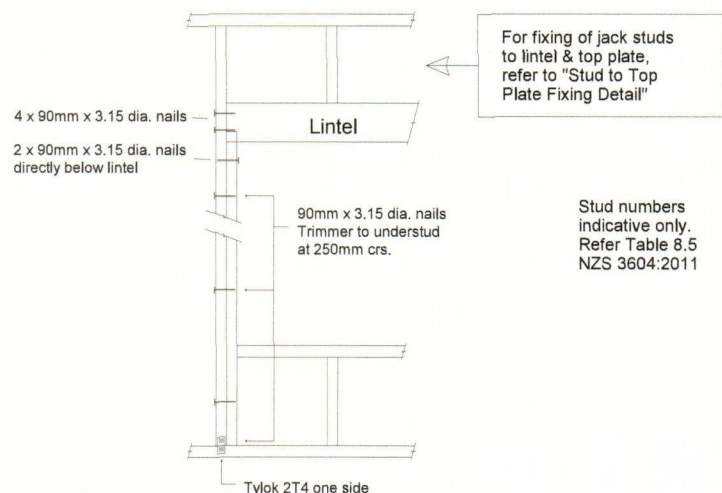


FINAL LAYOUT

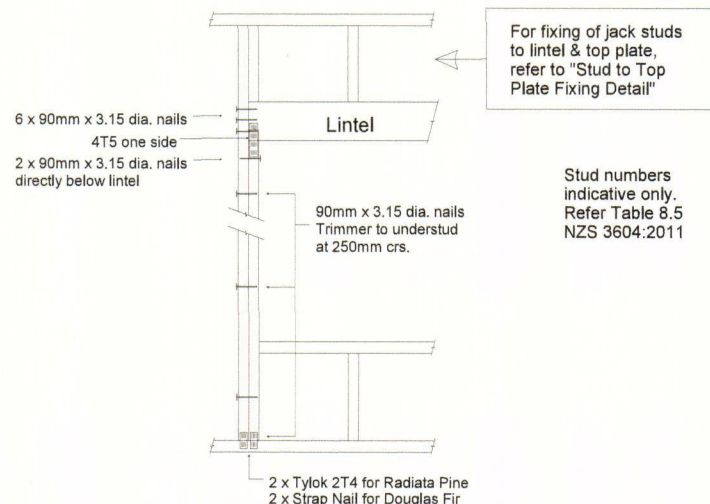
Details Page

Lintel Fixings

Type E - 1.4 kN



Type F - 4.0 kN



Stud to Top Plate Fixings

All Fixings are Type A (2x90mm x 3.15 dia. plain steel wire nails driven vertically into stud) unless shown as Fixing Type B

Fixing Type B

2 x 90mm x 3.15 dia. plain steel wire nails driven vertically into stud.

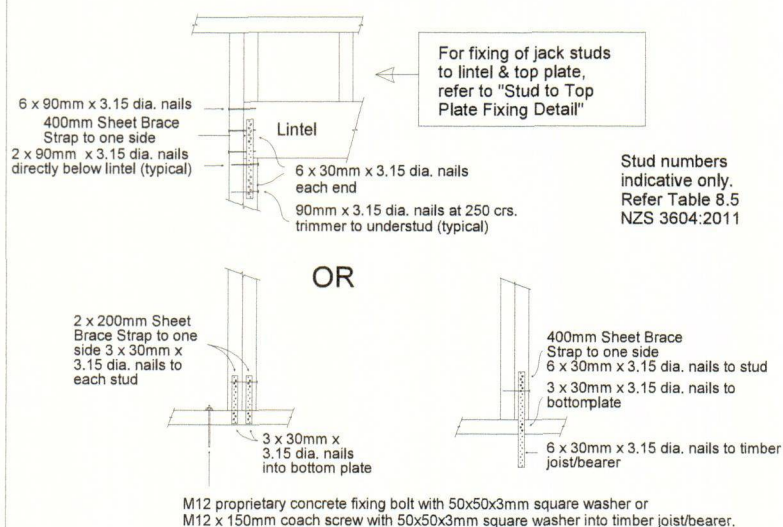
AND

Plus LUMBERLOK Stud Strap (One face only)

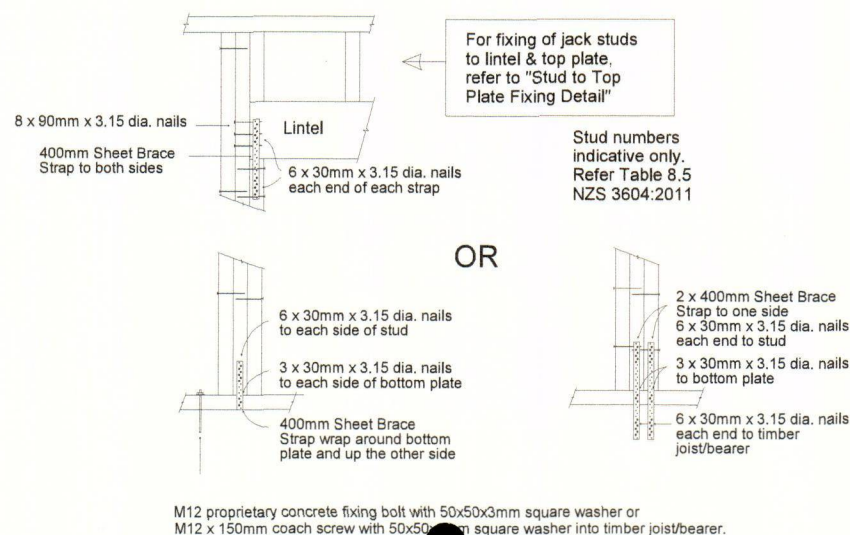


To apply the correct number of B type fixings, divide the wall length by the stud centres and add 1 to this figure. Attach this number of fixings to the studs as evenly as possible along the wall length (include first and last stud).

Type G - 7.5 kN



Type H - 13.5 kN



Note:

These fixings are suggested fixings only. Alternative fixings may be used provided the indicated hold-down is achieved. For alternative fixings, refer to the "MiTek Structural Fixings On-Site Guide 2012 Edition" or "NZStandards3604-2011".





MiTek New Zealand Limited

Correspondence from : **AUCKLAND**
40 Neales Road, East Tamaki 2013
PO Box 58-014, Botany 2163
Phone: 09 274 7109
Fax: 09 274 7100

CHRISTCHURCH
14 Pilkington Way, Wigram 8042
PO Box 8387, Riccarton 8440
Phone: 03 348 8691
Fax: 03 348 0314

www.mitek.nz.co.nz

Printed: 08:40:58 01 Jul 2013

MiTek 20/20 Engineering 4.6.6.160

PRODUCER STATEMENT for MiTek 20/20[®] TRUSS DESIGN - Version 4.6

ISSUED BY: **MiTek New Zealand Limited**

TO: **Christchurch Manufacturing**

IN RESPECT OF: **MiTek[®] Truss Designs**

This producer statement covers the MiTek 20/20[®] truss design and the structural performance of the GANG-NAIL[®] connector plate for the job reference **CD93580** and may be used by a Building Consent Authority to assist in determining compliance with the New Zealand Building Code.

The MiTek 20/20[®] truss design program has been developed by MiTek New Zealand Limited for the design of MiTek[®] timber roof, floor and attic trusses in New Zealand. The truss designs computed by MiTek 20/20[®] are prepared using sound and widely accepted engineering principles, and in accordance with compliance documents of the New Zealand Building Code and Verification Method B1/VM1; and internationally accepted standard ANSI/TPI 1 - 2002 as an alternative solution to satisfy the requirements of Clause B1 of the New Zealand Building Code.

On behalf of MiTek New Zealand Limited, and subject to:

- i) All proprietary products meeting their performance specification requirements
- ii) The provision of adequate roof bracing and overall building stability
- iii) Correct selection and placement of GANG-NAIL connector plates
- iv) Correct input of Truss Design Data as shown in the Fabricator Design Statement for this job
- v) The design being undertaken by the accredited fabricator under the terms of the software licence

I believe on reasonable grounds that the trusses, if constructed in accordance with the MiTek 20/20[®] truss design and shop drawings, will comply with the relevant provisions of the New Zealand Building Code.

MiTek New Zealand Limited holds a current policy of Professional Indemnity Insurance no less than \$500,000.

On behalf of MiTek New Zealand Limited,

Date: Monday, 1 July 2013

In Ling Ng, BE (Hons), CPEng, IntPE, MIPENZ (ID: 146585)
TECHNICAL SERVICES MANAGER, MiTek New Zealand Limited

Job: CD93580

Client: Horncastle Homes
Phone:Site: J3634
Lot 54 Goldney Close
Rosemeryn
Lincoln

Phone:

Description:
Building Consent No.:
MiTek 20/20 Engineering 4.6.6.160

MiTek New Zealand Limited.

Printed: 08:40:58 01 Jul 2013

MITEK FABRICATOR DESIGN STATEMENT

This statement is issued by MiTek accredited fabricator **Christchurch Manufacturing**, being licensed to use the MiTek 20/20® software, to the client listed above and may be used by the Building Consent Authority to assist in determining compliance with the New Zealand Building Code.

MiTek 20/20® TRUSS DESIGN DATA

The MiTek 20/20® computer design for this job is based on the following design parameters entered into the program. The Fabricator shall ensure that these job details are current and relevant to the project for the design of the MiTek® trusses.

Job Details**Roof Truss**

Timber Group: MSG8 DDP H1.2
Material: Galv Iron .5mm
Dead Load: 0.210 kPa
Restraints: 900 mm centres
Live Load: Q_{ur} = 0.250 kPa
Q_c = 1.100 kN

Attic Floor

Material: 20mm Particle Board
Dead Load: 0.200 kPa
Restraints: Continuous

Importance Level : 2

Pitch: 26.000 deg

Ceiling

Material: Standard
Dead Load: 0.200 kPa
Restraints: 600 mm centres
Live Load: Q_c = 1.400 kN

Occupancy Live Load

Distributed: Q_{uf} = 1.500 kPa
Concentrated: Q_{cf} = 1.800 kN

Attic Room Ceiling

Material: Gib Board 12mm
Dead Load: 0.200 kPa
Restraints: 600 mm centres

Design Working Life : 50 years

Nominal Overhang: 600 mm

Wind

Area: High (44.0 m/s)
Pressure Coeff: C_{pe} = varies; C_{pi} = -0.30, 0.20

Snow

Location: Christchurch (N4) at 100 m
Open Ground Load: 0.900 kPa
Basic Roof Load: 0.428 kPa

Attic Wall

Material: Gib Board
Dead Load: 0.300 kPa
Restraints: Continuous

The timber for these MiTek® trusses shall be treated to the requirements of NZS 3602:2003 and shall be graded to the requirements of NZS 3603:1993. Unless otherwise noted, this design assumes that the steel fixings and timber connectors proposed are located in a "closed environment", as defined by NZS3604:2011 Section 4.

MiTek® Truss List

Legend: * = detail only, ? = input only, Txx = failed design, Ø = non certified, Unmarked trusses = designed successfully, LB = lateral bracing required
GB = gable brace required

Truss	Qty	Span (mm)	Pitch (deg)	Spacing (mm)	Truss	Qty	Span (mm)	Pitch (deg)	Spacing (mm)	Truss	Qty	Span (mm)	Pitch (deg)	Spacing (mm)
CJ1	1	2307	26.000	900	J4A	1	3087	26.000	900	T1	1	4245	26.000	900
CJ1A	1	2307	26.000	900	J4B	1	3087	26.000	900	T1A	1	4245	26.000	900
*CN	35	855	0.000	900	J5	1	2187	26.000	900	T2	1	6375	26.000	900
CT1	1	5980	26.000	900	J5A	1	2187	26.000	900	T3	1	4245	26.000	900
CT2	3	5980	26.000	874	J6	1	1287	26.000	900	T4	1	8020	26.000	900
*ET1	1	4245	26.000	900	J6A	1	1287	26.000	900	T5	1	8010	26.000	900
*FR1	2	2723	26.000	900	J7	1	3087	26.000	744	T6	3	8010	26.000	922
*HB1	2	4683	19.028	900	J8	2	3082	26.000	900	T7	1	5500	26.000	922
*HB2	1	3313	19.028	900	J8A	1	3082	26.000	900	T7A	2	5500	26.000	922
*HB3	1	6465	19.028	900	J8B	1	3082	26.000	900	T7B	1	5500	26.000	922
*HB4	2	6458	19.028	900	J8C	1	3082	26.000	900	T8	1	8020	26.000	864
*HB5	1	2419	19.028	900	J9	1	2182	26.000	900	TG1	1	6375	26.000	900
HT1	1	5500	-26.000	900	J9A	1	2182	26.000	900	TG2	1	8010	26.000	900
HT2	1	5500	-26.000	900	J9B	2	2182	26.000	900	V1	1	1388	26.000	900
J1	1	2727	26.000	900	J10	2	1282	26.000	900	V2	1	1243	26.000	900
J1A	1	2727	26.000	900	J10A	2	1282	26.000	900	V3	1	2165	26.000	900
J1B	1	2727	26.000	900	*OR1	10	1305	0.000	644	V4	1	1565	26.000	900
J2	2	927	26.000	900	*R1	3	891	26.000	900	V5	1	2510	26.000	900
J3	1	1827	26.000	900	*R1A	1	891	26.000	900	V6	1	910	26.000	900
J3A	1	1827	26.000	900	*R4	1	978	26.000	900					
J4	2	3087	26.000	900	*R5	2	973	26.000	900					

Total quantity : 121

The computer design input has been carried out by:

Name of Computer Operator: Brent Yellowlees

Qualifications and Title: Truss Detailer

Signed:

CARTERS

A Division of Carter Holt Harvey

Dated: Monday, 1 July 2013

FLOOR AREA OVER FOUNDATION

180.08 sq m	inc Garage
STUD HEIGHT	2570mm
PERIMETER =	64.66 m
SLAB AREA =	346.47 sq m
ROOF AREA OVER EAVES =	208.90 sqm
INT WALL LENGTH (90)=	70.32 m
GARAGE AREA =	38.51 sq m

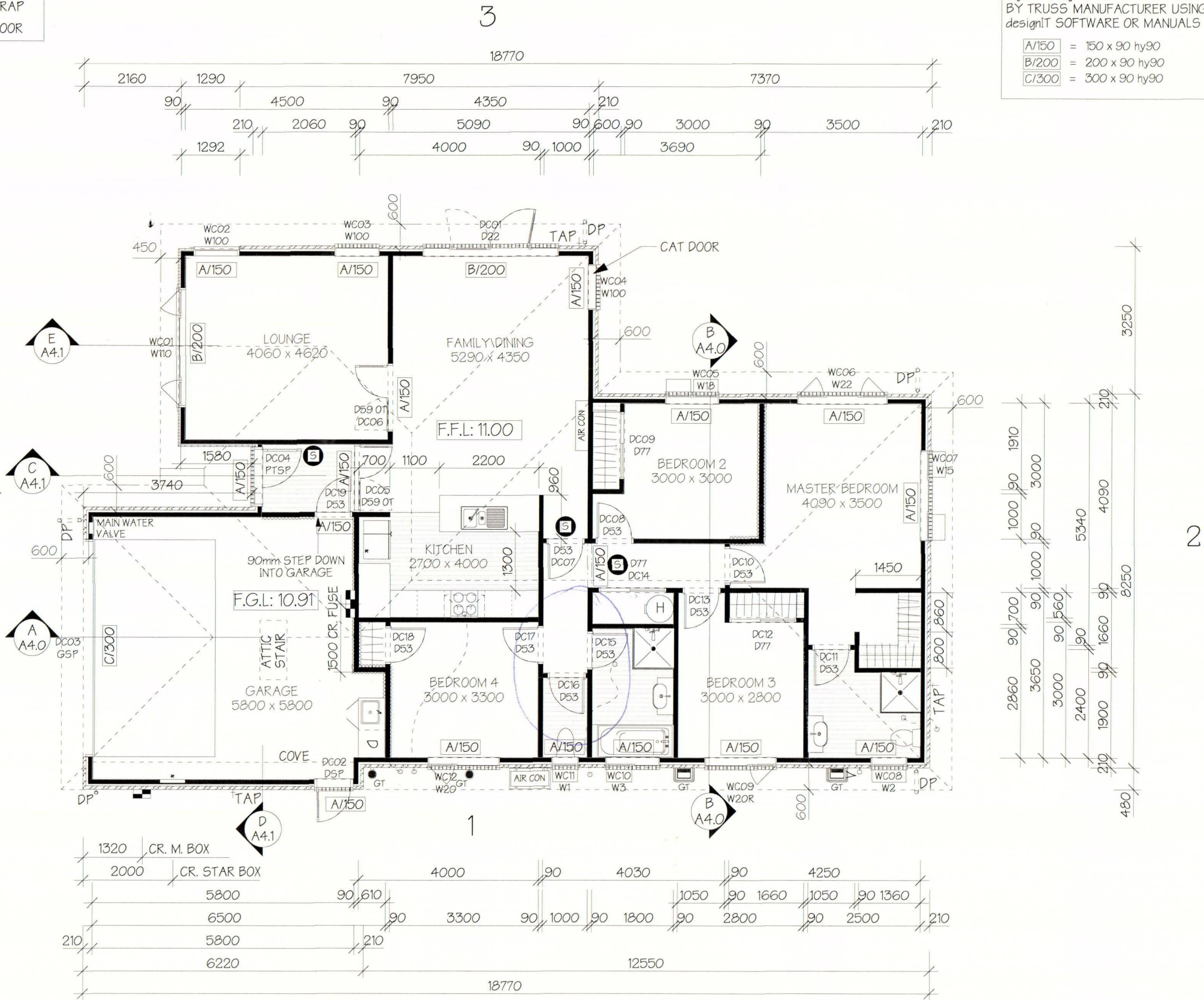
PLAN KEY:

- METER BOX
- FUSE BOARD
- SMOKE ALARM
- DOWN PIPE
- TERMINAL VENT
- GULLY TRAP
- VINYL FLOOR

NOTES:

- ALL DIMENSIONS TO TIMBER FRAMING; NOT TO FINISHED ROOM SIZES
- SEE FOUNDATION PLAN FOR LOAD BEARING WALLS
- BATT INSULATION BETWEEN HABITABLE & NON-HABITABLE SPACES
- PROTECTION FOR STEEL FIXINGS & FASTENINGS: FIXINGS & FASTENINGS EXCLUDING NAILS SHALL HAVE ADDITIONAL CORROSION PROTECTION IN ACCORDANCE WITH NZS3604:2011 TABLE 4.1 (F)(a)
- MECHANICAL VENTILATION IN HOUSING REMOVING MOISTURE SHALL BE VENTED OUTSIDE (INCLUDES BATHS & COOKER HOODS. REFER TO NZBC (AS113.3.c.ii.) MECHANICAL VENTILATION TO BE 150 DIA 230 CU M/H INLINE FAN DUCTED TO SOFFIT.
- SMOKE ALARMS TO BE INSTALLED TO AS1670.6 REQUIREMENTS. EQUIPMENT TO COMPLY WITH AS3786.
- JOINTS BETWEEN FIXTURES & WALL LININGS; WHERE BATHS, BASINS, TUBS, OR SINKS ABUT IMPERVIOUS LININGS, THE JOINT BETWEEN FIXTURE & LINING SHALL BE SEALED TO PREVENT WATER PENETRATION TO CONCEALED SPACES OR BEHIND LININGS
- SHOWERS ARE PRE-FORMED FIBREGLASS CUBICLES. SHOWERS FITTED WITH 6mm MILLENIUM REVERSIBLE FRAMELESS PIVOT DOOR WITH TOUGHENED SAFTEY GLASS
- HWC TO HAVE COPPER RELIEF VALVE & DRAIN TO OUTSIDE
- HOT WATER PIPE TO KITCHEN;
- DEVELOPED LENGTH > 12m
- NOMINAL PIPE SIZE 15mm
- ALL PIPING POLYBUTYLENE.
- INSULATE TO NZBC G12/AS1
- 65 DIA. ROUND DOWNPIPE, 88 x 137mm GUTTERS
- MULTILINE QUAD GUTTER BY STEEL AND TUBE HAS A CROSS SECTIONAL AREA OF 6850mm2
- CABIN HOOKS TO FRENCH DOORS
- 10mm POLY BEHIND ALL RECESSED BOXES
- 25mm REBATE IN SLAB FOR GARAGE DOOR SPONGE FINISH
- ALL CAVITY SLIDERS TO RECESS FULLY WITH PULL RINGS
- IT IS THE BUILDERS RESPONSIBILITY TO CHECK THE GARAGE DOOR REBATE SIZES BEFORE POURING.
- MAN HOLE TO BE ATTIC STAIR WITH ROUGH OPENING OF 1300x600. POSITION BETWEEN TRUSSES ONLY. MODEL LWS2800
- CABIN HOOK TO BE FITTED TO GARAGE BACK DOOR IF LAUNDRY IS IN GARAGE WITH NO OPENING WINDOW

FRIDGE REQUIRES PLUMBED WATER POINT



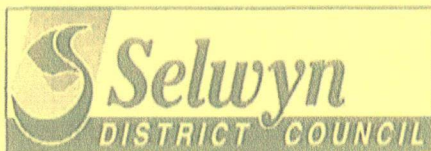
STUD SIZES

- STUDS HAVE BEEN SIZED USING 3604 : 2011 TABLE 8.2 & 8.4
- EXT = 90x45 SGB @ 400crs
- INT LB = 90x45 SGB @ 600crs
- INT NONLB = 90x45 SGB @ 600crs

LINTEL SIZES

- ALL LINTELS HAVE BEEN SIZED BY TRUSS & FRAME MANUFACTURER UNLESS STATED ON PLAN.
- SGB LINTELS HAVE BEEN SIZED USING 3604:2011
- hyONE & hy90 LINTELS ARE SIZED BY TRUSS MANUFACTURER USING designIT SOFTWARE OR MANUALS

A/150	= 150 x 90 hy90
B/200	= 200 x 90 hy90
C/300	= 300 x 90 hy90



INSPECTION NOTICE

Inspections are to be booked by the owner or builder

Name: **Horncastle Homes**

Consent No: **121562**

Site Address/Rapid No

Officer ID: AOFHARRIB

16 Goldney Close, Lincoln

Name: Bruce Harris

Type of building work:

Intended Use: : 4 Bedroom Domestic Dwelling with attached Double Garage - 180sqm Domestic Dwelling

Stats Code: HOUSING - Detached Dwelling (New Dwellings Only)

On 1/07/2013 at 11:44 a.m. this site was inspected pursuant to the Building Act 2004 (section 222/230) and the Local Government Act 2004 (Section 174). The purpose of the inspection was:

INSPECTION TYPE: PRACT COMPLETION (HABITABLE)

INSPECTION RESULT: BUILDING WORK MAY PROCEED

The Following Items are yet to be completed:

Notes Summary: All of the items required to be completed have now been completed.

Note: A Code Compliance Certificate is required for 2004 Building Act Consents

INSTRUCTIONS: When the application for Code Compliance Certificate is provided on reasonable grounds this project can be considered for a Code Compliance Certificate.

Notice To:	Contractor <input type="checkbox"/>	Owner <input type="checkbox"/>	Agent <input type="checkbox"/>	Occupier	Signed:
By:	Telephone <input type="checkbox"/>	Fax <input type="checkbox"/>	Posting <input type="checkbox"/>	Left on Site	

ENTERED



INSPECTION NOTICE

Inspections are to be booked by the owner or builder

Name: **Horncastle Homes**

Consent No: **121562**

Site Address/Rapid No

Officer ID: AOFSTEVEG

16 Goldney Close, Lincoln

Name: Geoff Stevenson

Type of building work:

Intended Use: : 4 Bedroom Domestic Dwelling with attached Double Garage - 180sqm Domestic Dwelling

Stats Code: HOUSING - Detached Dwelling (New Dwellings Only)

On 20/06/2013 at 9:29 a.m. this site was inspected pursuant to the Building Act 2004 (section 222/230) and the Local Government Act 2004 (Section 174). The purpose of the inspection was:

INSPECTION TYPE: PRACT COMPLETION (HABITABLE)

INSPECTION RESULT: BUILDING WORK MAY NOT PROCEED/REINSPECTION REQUIRED

The Following Items are yet to be completed:

1/ seal laundry bench to walls.

2/ complete all skirting in kitchen. ✓

3/ Turn power on to hot water cylinder, tempature to be checked. ✓

4/ Tidy all insulation around down light penetrations. ✓

5/ Supply amended plan detailing as built door set out for bathroom & W/C. ✓

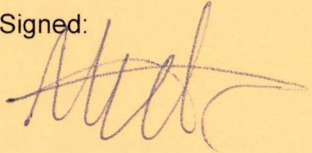
6 supply documentation for roof storage a houses or remove. ✓

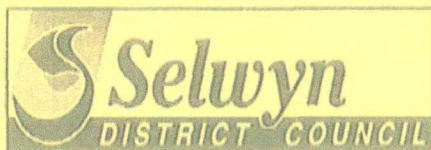
Notes Summary:

Smoke alarms installed. Safty glass to code. Hot water cylinder restraints, valveing & drain to code. Mechanical venting completed. Ceiling space inspected. Drain & wast venting installed. Sealing of exterior completed. Drive, paths & decks completed. Ground levels as inspected, compliant.

Note: A Code Compliance Certificate is required for 2004 Building Act Consents

INSTRUCTIONS: Complete all failed items & have inspected.

Notice To:	Contractor <input type="checkbox"/>	Owner <input type="checkbox"/>	Agent <input type="checkbox"/>	Occupier	Signed: 
By:	Telephone <input type="checkbox"/>	Fax <input type="checkbox"/>	Posting <input type="checkbox"/>	Left on Site	



INSPECTION NOTICE

Inspections are to be booked by the owner or builder

Name: **Horncastle Homes**

Consent No: **121562**

Site Address/Rapid No

Officer ID: AOFFORTUD

16 Goldney Close, Lincoln

Name: Daryl Fortuin

Type of building work:

Intended Use: : 4 Bedroom Domestic Dwelling with attached Double Garage - 180sqm Domestic Dwelling

Stats Code: HOUSING - Detached Dwelling (New Dwellings Only)

On 8/04/2013 at 12:58 p.m. this site was inspected pursuant to the Building Act 2004 (section 222/230) and the Local Government Act 2004 (Section 174). The purpose of the inspection was:

INSPECTION TYPE: POSTLINE

INSPECTION RESULT: BUILDING WORK MAY PROCEED

The Following Items are yet to be completed:

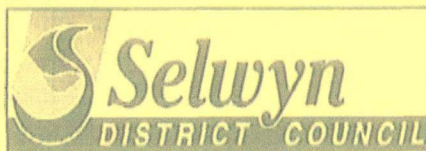
Notes Summary:

All bracing panels fixed off as required. Aqualine to bathrooms. No fixings in place to take tiles.

Note: A Code Compliance Certificate is required for 2004 Building Act Consents

INSTRUCTIONS:

Notice To:	Contractor <input type="checkbox"/>	Owner <input type="checkbox"/>	Agent <input type="checkbox"/>	Occupier	Signed:
By:	Telephone <input type="checkbox"/>	Fax <input type="checkbox"/>	Posting <input type="checkbox"/>	Left on Site	



INSPECTION NOTICE

Inspections are to be booked by the owner or builder

Name: **Horncastle Homes**

Consent No: **121562**

Site Address/Rapid No

Officer ID: AOFFORTUD

16 Goldney Close, Lincoln

Name: Daryl Fortuin

Type of building work:

Intended Use: : 4 Bedroom Domestic Dwelling with attached Double Garage - 180sqm Domestic Dwelling

Stats Code: HOUSING - Detached Dwelling (New Dwellings Only)

On 3/04/2013 at 2:08 p.m. this site was inspected pursuant to the Building Act 2004 (section 222/230) and the Local Government Act 2004 (Section 174). The purpose of the inspection was:

INSPECTION TYPE: PRELINE

INSPECTION RESULT: BUILDING WORK MAY PROCEED

The Following Items are yet to be completed:

1. Close off garage with a temporary door.

8/4/13

- **Notes Summary:**

- 90x45 wall framing with the moisture content under 18%.R2.6 batts to walls and R3.6 to ceilings.70x35 ceiling battens at 400c/c and double nailed.All bracing marked out on floor.Hold down fixings completed to bracing elements.Polybutelene water supply and within the thermal barrier.Air seals completed to exterior joinery.Please ensure to sleeve and seal the heatpump penetration from outside as discussed with Matt.No areas prepared to take tiles.

Note: A Code Compliance Certificate is required for 2004 Building Act Consents

INSTRUCTIONS: Please have a red stamp copy of the consented plans on site by the next inspection, copy can be certified by a solicitor

Notice To:

Contractor ☒

Owner ☐

Agent ☐

Occupier

Signed:

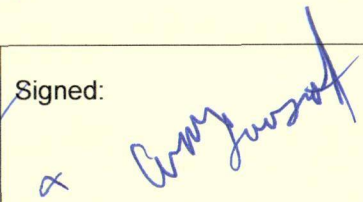

By:	Telephone <input type="checkbox"/>	Fax <input type="checkbox"/>	Posting <input type="checkbox"/>	Left on Site
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INSPECTION NOTICE

Inspections are to be booked by the owner or builder

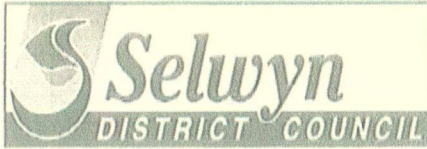
Name: Horncastle Homes		Consent No: 121562
Site Address/Rapid No		Officer ID: AOFwestwc
16 Goldney Close, Lincoln		Name: Chris Westwood
Type of building work: Intended Use: : 4 Bedroom Domestic Dwelling with attached Double Garage - 180sqm Domestic Dwelling Stats Code: HOUSING - Detached Dwelling (New Dwellings Only)		
On 22/03/2013 at 10:08 a.m. this site was inspected pursuant to the Building Act 2004 (section 222/230) and the Local Government Act 2004 (Section 174). The purpose of the inspection was: INSPECTION TYPE: HALF HIGH BRICK		
INSPECTION RESULT: BUILDING WORK MAY PROCEED		

The Following Items are yet to be completed:

Notes Summary: 70 series brick with brick ties on 1st course then every 4th & every 2nd course up openings. weep holes every 3rd brick. Cavity 40 to 60mm.					
Note: A Code Compliance Certificate is required for 2004 Building Act Consents					
INSTRUCTIONS: Ensure all loose morta is removed from brick ties & cavity.					
Notice To:	Contractor <input checked="" type="checkbox"/>	Owner <input type="checkbox"/>	Agent <input type="checkbox"/>	Occupier	Signed: 
By:	Telephone <input type="checkbox"/>	Fax <input type="checkbox"/>	Posting <input type="checkbox"/>	Left on Site <input checked="" type="checkbox"/>	

*previous issues still to do.
Cb 22/3/13.*

*now done 02
3/4/13*



INSPECTION NOTICE

Inspections are to be booked by the owner or builder

Name: **Horncastle Homes**

Consent No: **121562**

Site Address/Rapid No

Officer ID: AOFwestwc

16 Goldney Close, Lincoln

Name: Chris Westwood

Type of building work:

Intended Use: : 4 Bedroom Domestic Dwelling with attached Double Garage - 180sqm Domestic Dwelling

Stats Code: HOUSING - Detached Dwelling (New Dwellings Only)

On 13/03/2013 at 10:59 a.m. this site was inspected pursuant to the Building Act 2004 (section 222/230) and the Local Government Act 2004 (Section 174). The purpose of the inspection was:

INSPECTION TYPE: PRE-CLADDING

INSPECTION RESULT: BUILDING WORK MAY PROCEED

The Following Items are yet to be completed:

Notes Summary:

Issues from previous inspection still to complete.

It is assumed these issues resolved as some inspection completed next inspection & not noted as uncompleted

Coverup building wrap with band tape & aluband to sills & all corners windows & doors then covered with malthoid jam, sill & head flashings. support bars in place. 20 x 40mm H3 cavity battens with pvc vermin strip at base. penetrations sealed with aluband.

Note: A Code Compliance Certificate is required for 2004 Building Act Consents

INSTRUCTIONS:

Notice To:

Contractor ☒

Owner ☐

Agent ☐

Occupier

Signed:

By:

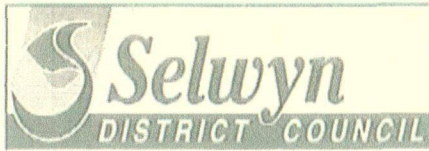
Telephone ☐

Fax ☐

Posting ☐

Left on Site ☒

X [Signature]



INSPECTION NOTICE

Inspections are to be booked by the owner or builder

Name: **Horncastle Homes**

Consent No: **121562**

Site Address/Rapid No

Officer ID: AOFwestwc

16 Goldney Close, Lincoln

Name: Chris Westwood

Type of building work:

Intended Use: : 4 Bedroom Domestic Dwelling with attached Double Garage - 180sqm Domestic Dwelling

Stats Code: HOUSING - Detached Dwelling (New Dwellings Only)

On 15/02/2013 at 10:14 a.m. this site was inspected pursuant to the Building Act 2004 (section 222/230) and the Local Government Act 2004 (Section 174). The purpose of the inspection was:

INSPECTION TYPE: PREWRAP

INSPECTION RESULT: BUILDING WORK MAY PROCEED


The Following Items are yet to be completed:

Notes Summary:

90 x 45mm laser frame with purlins fixed for high wind. Ecoply & roof strap bracing in place. Ply substrate fixed with s/s screws & fillets in place. All connections as per carters asbuilt job number CD93580 except internal lintels check at post wrap.

Note: A Code Compliance Certificate is required for 2004 Building Act Consents

INSTRUCTIONS:

Notice To:	Contractor <input checked="" type="checkbox"/>	Owner <input type="checkbox"/>	Agent <input type="checkbox"/>	Occupier	Signed: 
By:	Telephone <input type="checkbox"/>	Fax <input type="checkbox"/>	Posting <input type="checkbox"/>	Left on Site <input checked="" type="checkbox"/>	

CARTERS

Manufacturing Statement

This statement, supplied to the Carters customer listed below, has been provided to assist a Building Consent Authority in determining compliance with the NZ Building Code and is issued subject to Carters standard terms and conditions of sale.

10-January-2013

HORNCastle HOMES

LOT 54 ROSEMERRY, LINCOLN

CD93580

Roof Trusses

Roof trusses supplied by Carters to the above project have been manufactured as per any Producer Statement Design issued by Carters for consent purposes on the above project using verified timber grades that meet the requirements of NZS3603 and NZS3622. Carters is a licensed MiTek fabricator.

Pre Nailed Wall Frames

Pre-nailed Wall frames supplied by Carters to the above project have been manufactured as per the plans, specifications and information provided by the customer using verified timber grades, where required, that meet the requirements of NZS3603 and NZS3622. Laminated veneer lumber (LVL) lintels that have been supplied as part of a pre-nailed wall frame meet the requirements of AS/NZS4357 and NZS3603.

Timber Treatment

All treated timber products used in any items manufactured by Carters in the above project, are not less than the minimum levels specified in the plans, specifications and information supplied by the customer.

NZ Standards

NZ Standards listed in this statement are cited as acceptable solutions in the approved documents NZBC B1/AS1 Structure or B2/AS1 Durability as a means of complying with the NZ Building Code.

Simon Bruce

CHRISTCHURCH MANUFACTURING

Carters, a division of Carter Holt Harvey.

Inspection File



MiTek New Zealand Limited

Correspondence from : **AUCKLAND**
40 Neales Road, East Tamaki 2013
PO Box 58-014, Botany 2163
Phone: 09 274 7109
Fax: 09 274 7100

CHRISTCHURCH
14 Pilkington Way, Wigram 8042
PO Box 8387, Riccarton 8440
Phone: 03 348 8691
Fax: 03 348 0314

MiTek 20/20 Engineering 4.6.6.160

www.mitek.nz.co.nz

Printed: 07:31:50 08 Jan 2013

PRODUCER STATEMENT for MiTek 20/20[®] TRUSS DESIGN - Version 4.6

ISSUED BY: **MiTek New Zealand Limited**

BC121562

Date Received 10/01/2013

TO: **Christchurch Manufacturing**

IN RESPECT OF: **MiTek[®] Truss Designs**

This producer statement covers the MiTek 20/20[®] truss design and the structural performance of the GANG-NAIL[®] connector plate for the job reference **CD93580** and may be used by a Building Consent Authority to assist in determining compliance with the New Zealand Building Code.

The MiTek 20/20[®] truss design program has been developed by MiTek New Zealand Limited for the design of MiTek[®] timber roof, floor and attic trusses in New Zealand. The truss designs computed by MiTek 20/20[®] are prepared using sound and widely accepted engineering principles, and in accordance with compliance documents of the New Zealand Building Code and Verification Method B1/VM1; and internationally accepted standard ANSI/TPI 1 - 2002 as an alternative solution to satisfy the requirements of Clause B1 of the New Zealand Building Code.

On behalf of MiTek New Zealand Limited, and subject to:

- i) All proprietary products meeting their performance specification requirements
- ii) The provision of adequate roof bracing and overall building stability
- iii) Correct selection and placement of GANG-NAIL connector plates
- iv) Correct input of Truss Design Data as shown in the Fabricator Design Statement for this job
- v) The design being undertaken by the accredited fabricator under the terms of the software licence

I believe on reasonable grounds that the trusses, if constructed in accordance with the MiTek 20/20[®] truss design and shop drawings, will comply with the relevant provisions of the New Zealand Building Code.

MiTek New Zealand Limited holds a current policy of Professional Indemnity Insurance no less than \$500,000.

On behalf of MiTek New Zealand Limited,

Date: Tuesday, 8 January 2013

In Ling Ng, BE (Hons), CPEng, IntPE, MIPENZ (ID: 146585)
TECHNICAL SERVICES MANAGER, MiTek New Zealand Limited

Inspection File

Christchurch Manufacturing

Fabricator Design Statement : Page 1

Job: CD93580

Client: Horncastle Homes
Phone:Site: J3634
Lot 54 Goldney Close
Rosemeryn
LincolnDescription:
Building Consent No.:
MiTek 20/20 Engineering 4.6.5.180

MiTek New Zealand Limited

Phone:
Printed: 07:31:50 06 Jan 2013**MITEK FABRICATOR DESIGN STATEMENT**

BC121562

Date Received 10/01/2013

This statement is issued by MiTek accredited fabricator **Christchurch Manufacturing**, being licensed to use the MiTek 20/20® software, to the client listed above and may be used by the Building Consent Authority to assist in determining compliance with the New Zealand Building Code.

MITEK 20/20® TRUSS DESIGN DATA

The MiTek 20/20® computer design for this job is based on the following design parameters entered into the program. The Fabricator shall ensure that these job details are current and relevant to the project for the design of the MiTek® trusses.

Job Details

Importance Level : 2

Design Working Life : 50 years

Roof Truss

Timber Group: MSG8 DDP H1.2

Pitch: 26.000 deg

Nominal Overhang: 600 mm

Roof**Ceiling****Wind**

Material: Galv Iron .5mm

Material: Standard

Area: High (44.0 m/s)

Dead Load: 0.210 kPa

Dead Load: 0.200 kPa

Pressure Coeff: Cpe = varies; Cpi = -0.30, 0.20

Restraints: 900 mm centres

Restraints: 600 mm centres

Snow

Live Load: Qur = 0.250 kPa

Live Load: Qc = 1.400 kN

Location: Christchurch (N4) at 100 m

Qc = 1.100 kN

Open Ground Load: 0.900 kPa

Basic Roof Load: 0.428 kPa

The timber for these MiTek® trusses shall be treated to the requirements of NZS 3602:2003 and shall be graded to the requirements of NZS 3603:1993. Unless otherwise noted, this design assumes that the steel fixings and timber connectors proposed are located in a "closed environment", as defined by NZS3604:2011 Section 4.

MiTek® Truss List

Legend: * = detail only, ? = input only, ✕ = failed design, Ø = non certified, Unmarked trusses = designed successfully, LB = lateral bracing required
GB = gable brace required

Truss	Qty	Span (mm)	Pitch (deg)	Spacing (mm)	Truss	Qty	Span (mm)	Pitch (deg)	Spacing (mm)	Truss	Qty	Span (mm)	Pitch (deg)	Spacing (mm)
CJ1	1	2307	26.000	900	J4A	1	3087	26.000	900	T1	1	4245	26.000	900
CJ1A	1	2307	26.000	900	J4B	1	3087	26.000	900	T1A	1	4245	26.000	900
*CN	35	855	0.000	900	J5	1	2187	26.000	900	T2	1	6375	26.000	900
CT1	1	5980	26.000	900	J5A	1	2187	26.000	900	T3	1	4245	26.000	900
CT2	3	5980	26.000	874	J6	1	1287	26.000	900	T4	1	8020	26.000	900
*ET1	1	4245	26.000	900	J6A	1	1287	26.000	900	T5	1	8010	26.000	900
*FR1	2	2723	26.000	900	J7	1	3087	26.000	744	T6	3	8010	26.000	922
*HB1	2	4683	19.028	900	J8	2	3082	26.000	900	T7	1	5500	26.000	922
*HB2	1	3313	19.028	900	J8A	1	3082	26.000	900	T7A	2	5500	26.000	922
*HB3	1	6465	19.028	900	J8B	1	3082	26.000	900	T7B	1	5500	26.000	922
*HB4	2	6458	19.028	900	J8C	1	3082	26.000	900	T8	1	8020	26.000	864
*HB5	1	2419	19.028	900	J9	1	2182	26.000	900	TG1	1	6375	26.000	900
HT1	1	5500	-26.000	900	J9A	1	2182	26.000	900	TG2	1	8010	26.000	900
HT2	1	5500	-26.000	900	J9B	2	2182	26.000	900	V1	1	1388	26.000	900
J1	1	2727	26.000	900	J10	2	1282	26.000	900	V2	1	1243	26.000	900
J1A	1	2727	26.000	900	J10A	2	1282	26.000	900	V3	1	2165	26.000	900
J1B	1	2727	26.000	900	*OR1	10	1305	0.000	644	V4	1	1565	26.000	900
J2	2	927	26.000	900	*R1	3	891	26.000	900	V5	1	2510	26.000	900
J3	1	1827	26.000	900	*R1A	1	891	26.000	900	V6	1	910	26.000	900
J3A	1	1827	26.000	900	*R4	1	978	26.000	900					
J4	2	3087	26.000	900	*R5	2	973	26.000	900					

Total quantity : 121

The computer design input has been carried out by:

Name of Computer Operator: Brent Yellowlees

Qualifications and Title: Truss Detailer

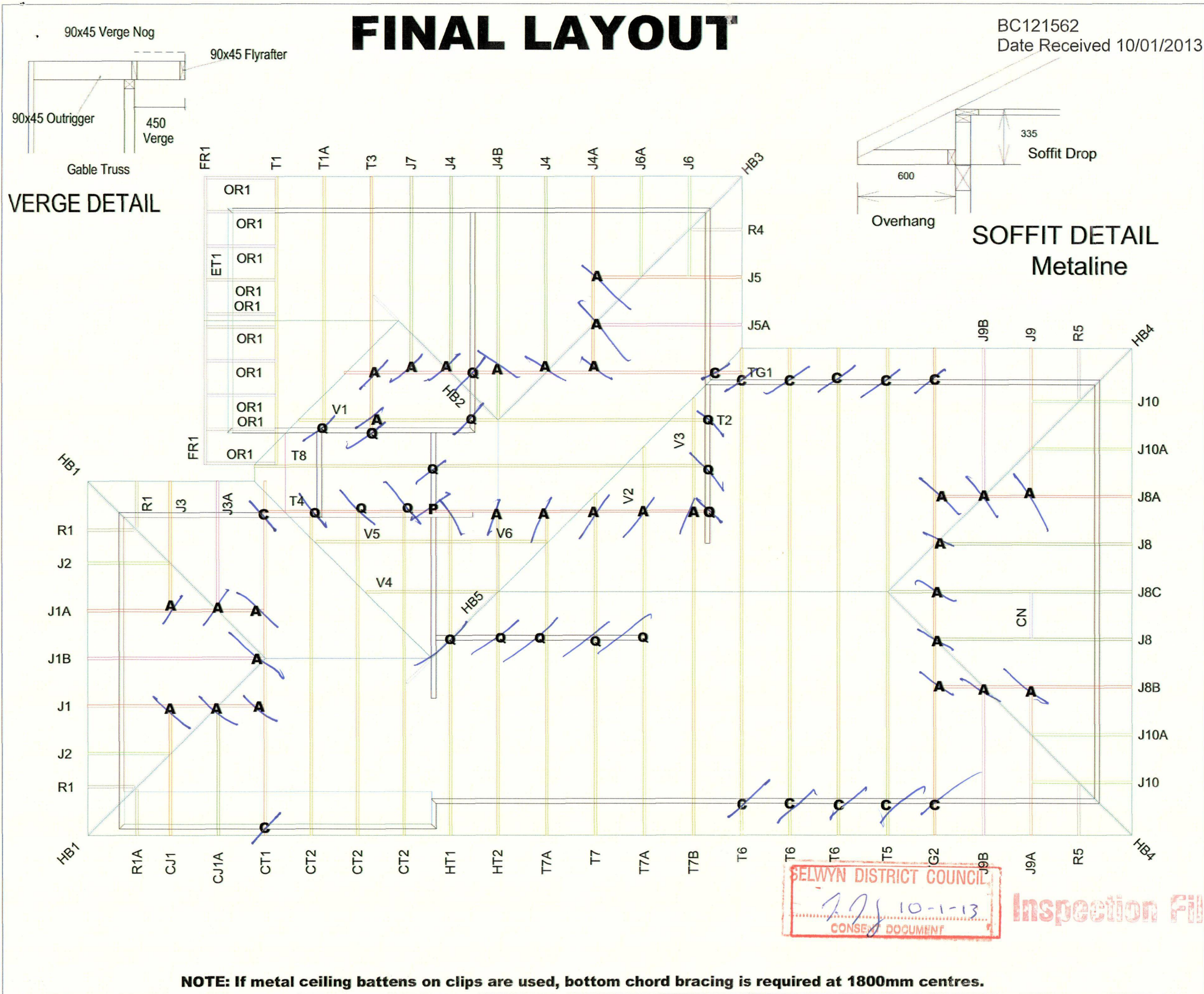
Signed:

CARTERS

A Division of Carter Holt Harvey

Dated: Tuesday, 8 January 2013

Inspection File



CARTERS
Your Building Partner

Christchurch Manufacturing
19-21 Broughs Road, Christchurch
03 359 2731

JOB No CD93580

Client: Horncastle Homes
Job Name: J3634
Address: Lot 54 Goldney Close
Rosemerryn
Lincoln

Pitch: 26.0deg
Roof Material: Galv Iron .5mm
Soffit Overhang: 600mm
Wind Area: High
Snow Load(factored): 0.428kPa

Trusses and rafters at 900mm max centres unless stated otherwise.

This layout is to be read in conjunction with the Architectural plans.

DRAWN BY Nhan Tran

DATE 19 Dec,2012 PAGE 1 of 4

FIXINGS

A= 47x90 JH

B= 47x120 JH

D= 47x190 JH

E= 95x165 JH

C= CT200 (pair)

M= Multigrips (pair)

N= Nailon Plate

Q= 9kN Pack

P= 16kN Pack

Joist Hanger
 CT 200
 Multi Grips
 Nailon plate
 CPC

All other truss fixings must have two wire dogs unless indicated as above

NOTE
Please contact your local CARTERS Manufacturing Branch for any queries regarding this layout or if any on site remedial work is required.

No modifications to Roof Trusses or Wall Frames are to be undertaken without first obtaining written authority from CARTERS Manufacturing.

Truss Layout



NOTIFICATION OF POINT LOADED LINTELS AND POINT LOADS ON INTERNAL OR EXTERNAL WALLS WHERE THE DOWNLOAD IS HIGHER THAN 10kN.
Note: If no point loads indicated, loading does not exceed 10kN.

FINAL LAYOUT

BC121562

Date Received 10/01/2013

CARTERS
Your Building Partner

Christchurch Manufacturing
19-21 Broughs Road, Christchurch
03 359 2731

JOB No **CD93580**

Client: Horncastle Homes
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DRAWN BY Nhan Tran

DATE 19 Dec,2012 PAGE 2 of 4

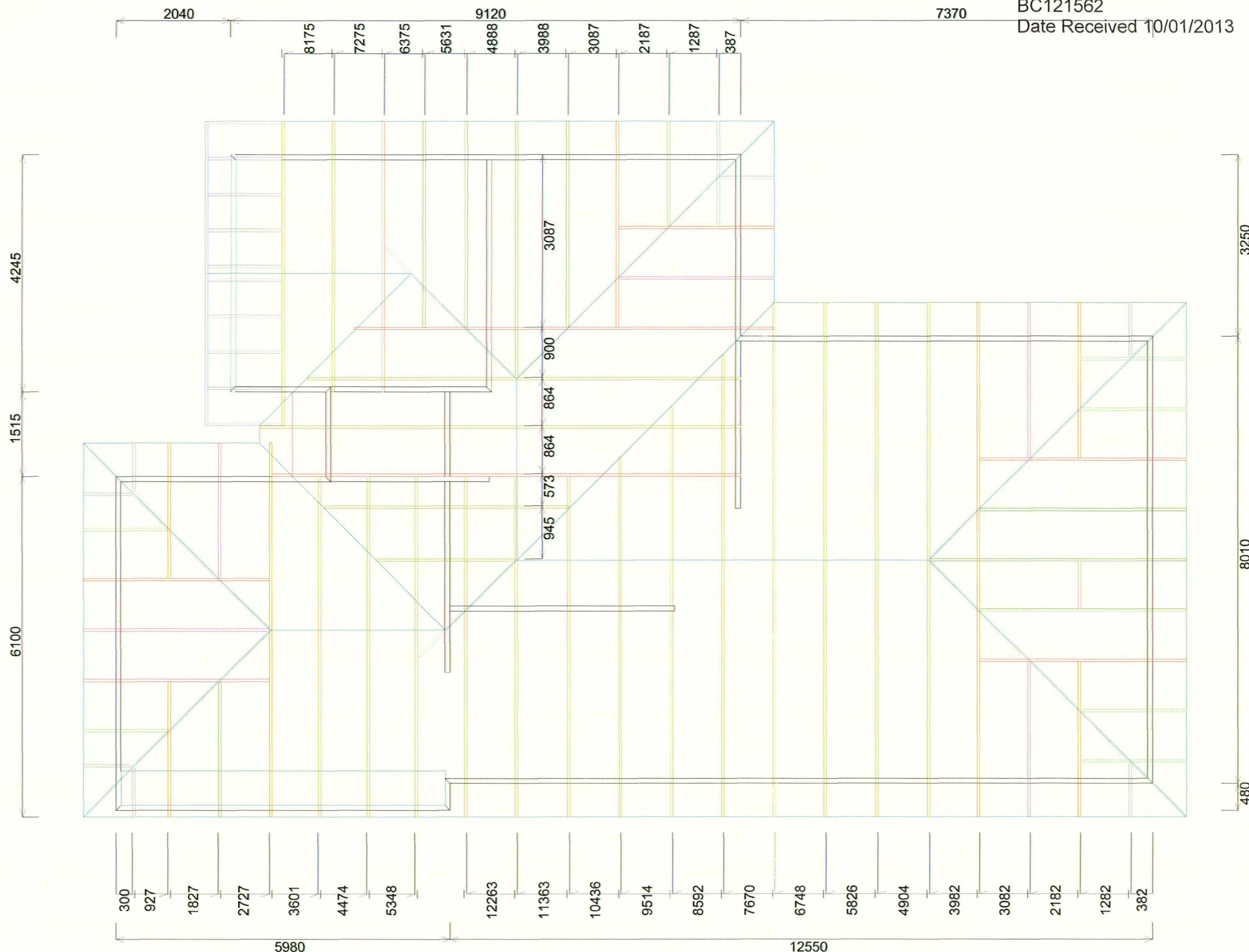
Inspection File

NOTE

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Truss Dimensions



FINAL LAYOUT

BC121562
Date Received 10/01/2013

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Christchurch Manufacturing
19-21 Broughs Road, Christchurch
03 359 2731

JOB No **CD93580**

Client: Horncastle Homes
Job Name: J3634
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Rosemerry
Lincoln

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Soffit Overhang: 600mm
Wind Area: High
Snow Load(factored): 0.428kPa

This layout is to be read in conjunction
with the Architectural plans.

DRAWN BY Nhan Tran

DATE 19 Dec,2012 PAGE 3 of 4

These lintels have been sized using
one of the following :

The GANGLAM 04/2008 and
FLITCH BEAM 12/2007
selection manuals from MiTek NZ Ltd.

hy90 and hyONE lintels have been sized
using designIT v5 NZ software
(Incl. sub versions) or selection manuals,
hy90 Edition 1, and hyONE April 2008,
as provided by CHH Woodproducts.

Unless otherwise stated the timber grade
for all lintels is MSG8. Lintels not shown
are to be selected as per NZS3604: 2011.

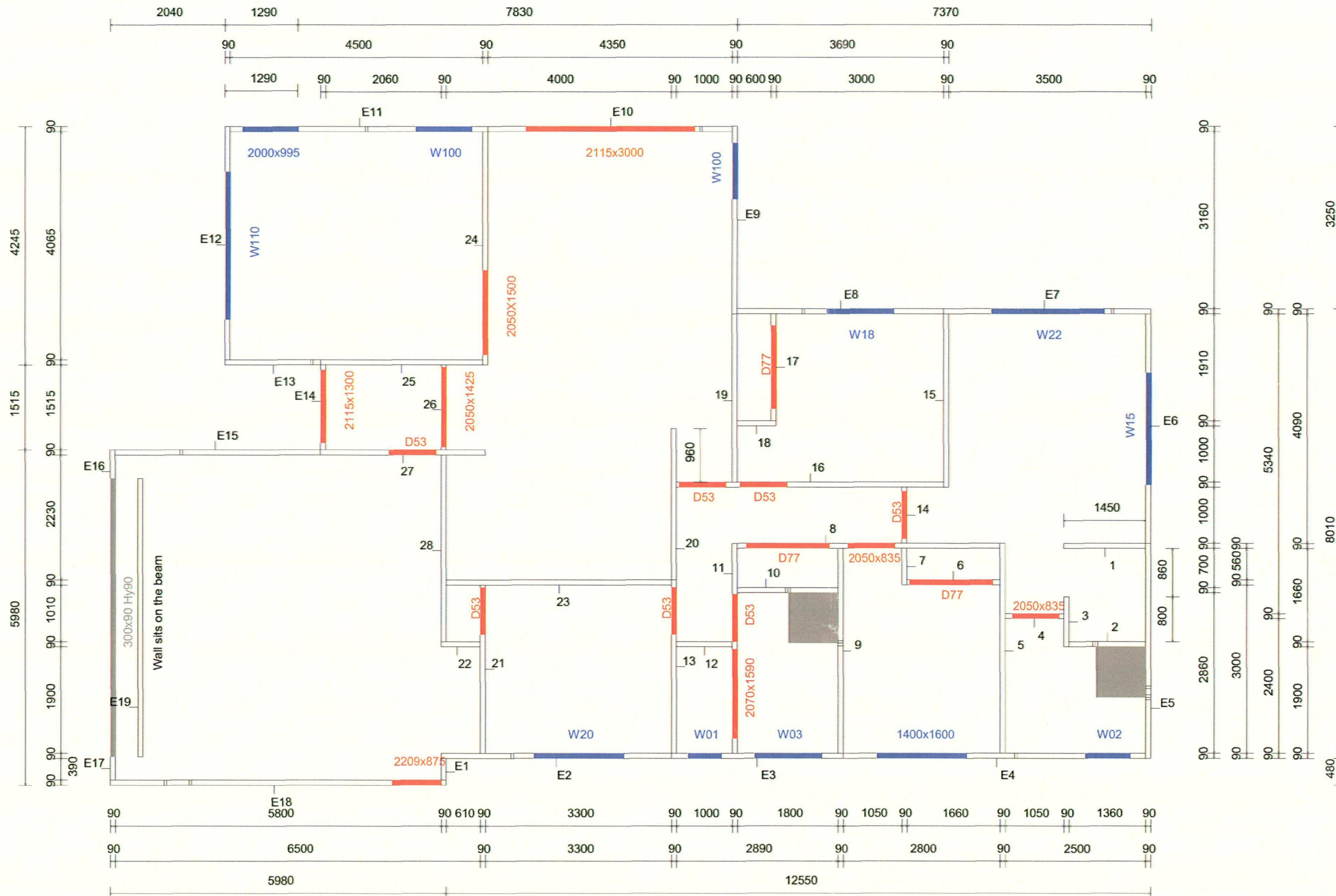
All walls shown on this layout are
considered to be load bearing.

NOTE

Please contact your local CARTERS
Manufacturing Branch for any queries
regarding this layout or if any on site remedial
work is required.

No modifications to Roof Trusses or Wall Frames
are to be undertaken without first obtaining
written authority from CARTERS Manufacturing.

Level 1 Frames



FINAL LAYOUT

Refer to the Details Page
for the lintel and stud to top
plate fixing guide

BC121562
Date Received 10/01/2013

CARTERS
Your Building Partner

Christchurch Manufacturing
19-21 Broughs Road, Christchurch
03 359 2731

JOB No **CD93580**

Client: Horncastle Homes
Job Name: J3634
Address: Lot 54 Goldney Close
Rosemerry
Lincoln

This layout is to be read in conjunction
with the Architectural plans.

DRAWN BY Nhan Tran

DATE 19 Dec, 2012 PAGE 4 of 4

These lintels have been sized using
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All walls shown on this layout are
considered to be load bearing.

Lintel Fixings

Type E - 1.4 kN

Type F - 4.0 kN

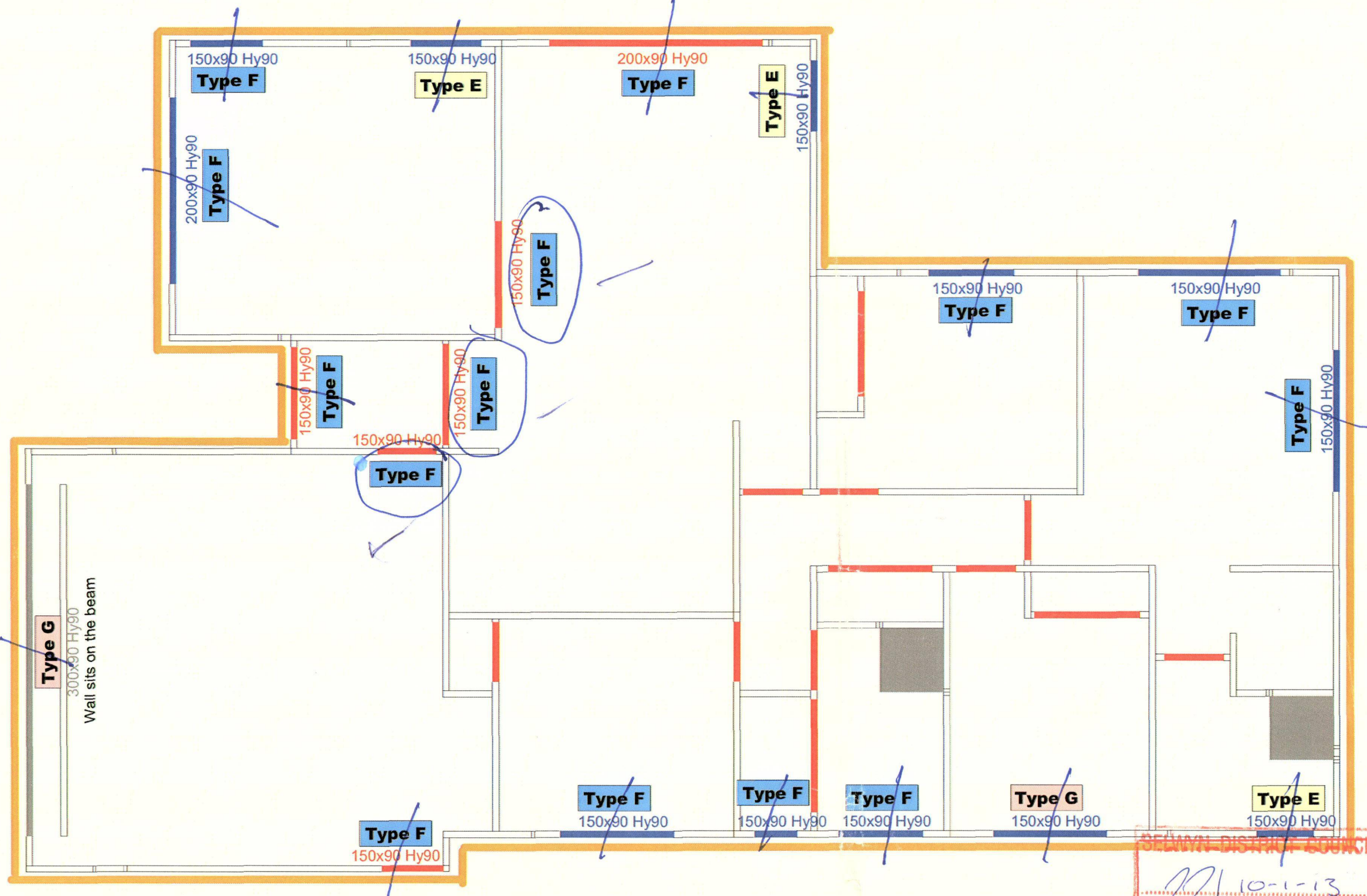
Type G - 7.5 kN

Type H - 13.5 kN

Stud to Top Plate Fixings

Fixing Type B

Level 1 Fixings



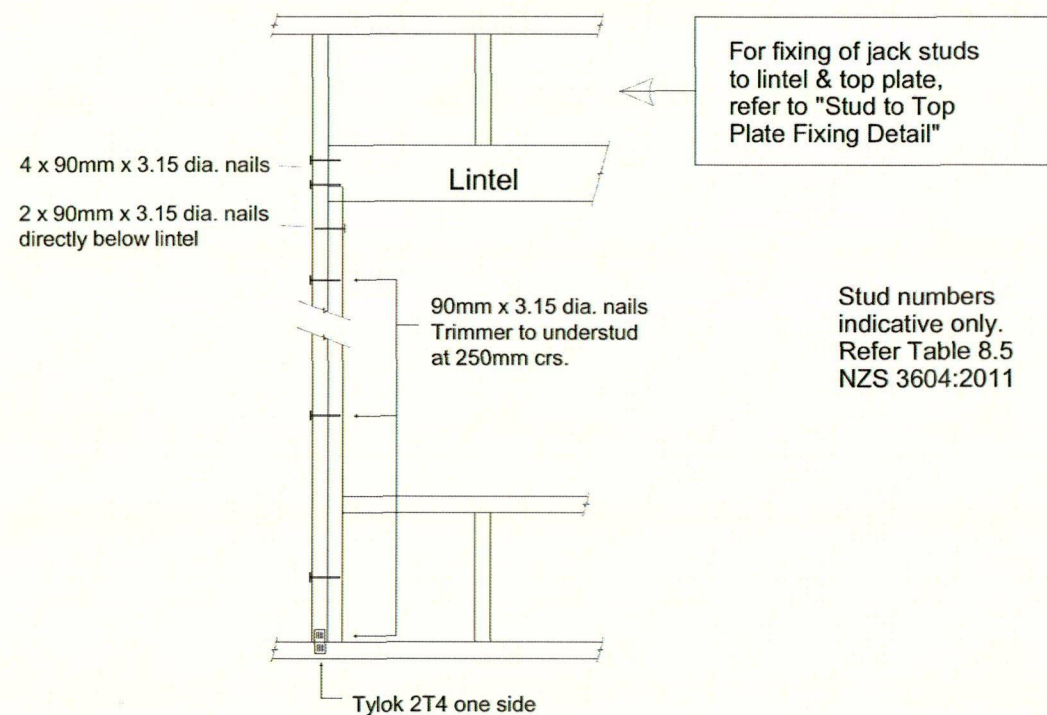
Inspection File

FINAL LAYOUT

Details Page

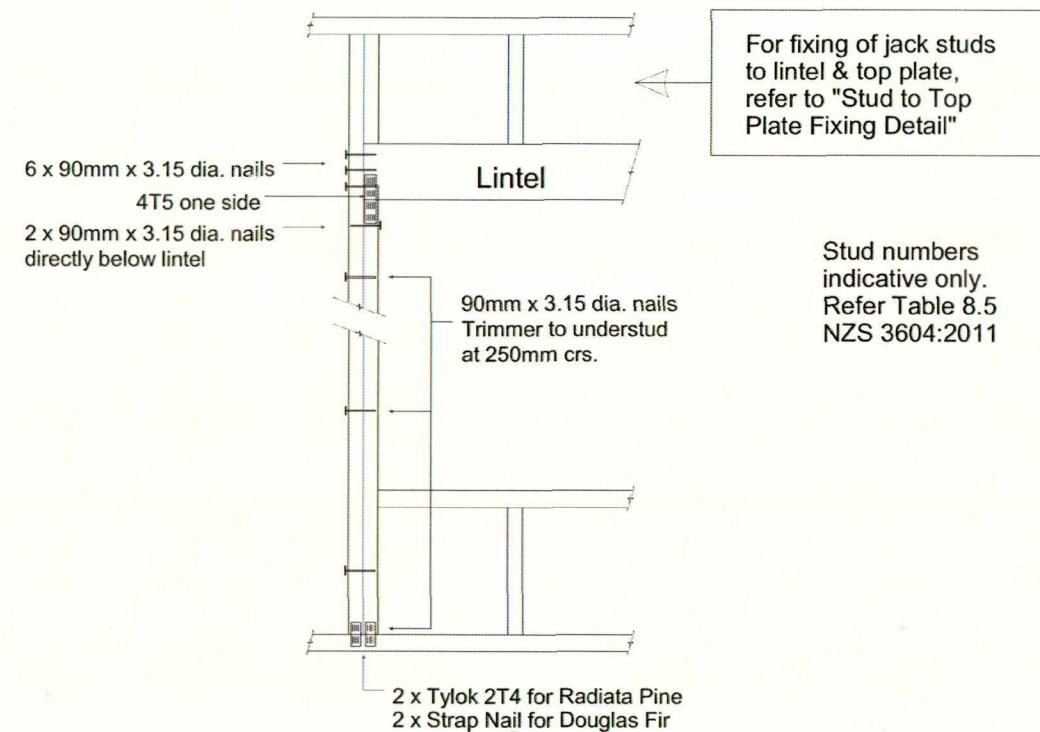
Lintel Fixings

Type E - 1.4 kN



Type F - 4.0 kN

BC121562
Date Received 10/01/2013



Stud to Top Plate Fixings

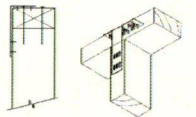
All Fixings are Type A (2x90mm x 3.15 dia. plain steel wire nails driven vertically into stud) unless shown as Fixing Type B

Fixing Type B

2 x 90mm x 3.15 dia. plain steel wire nails driven vertically into stud.

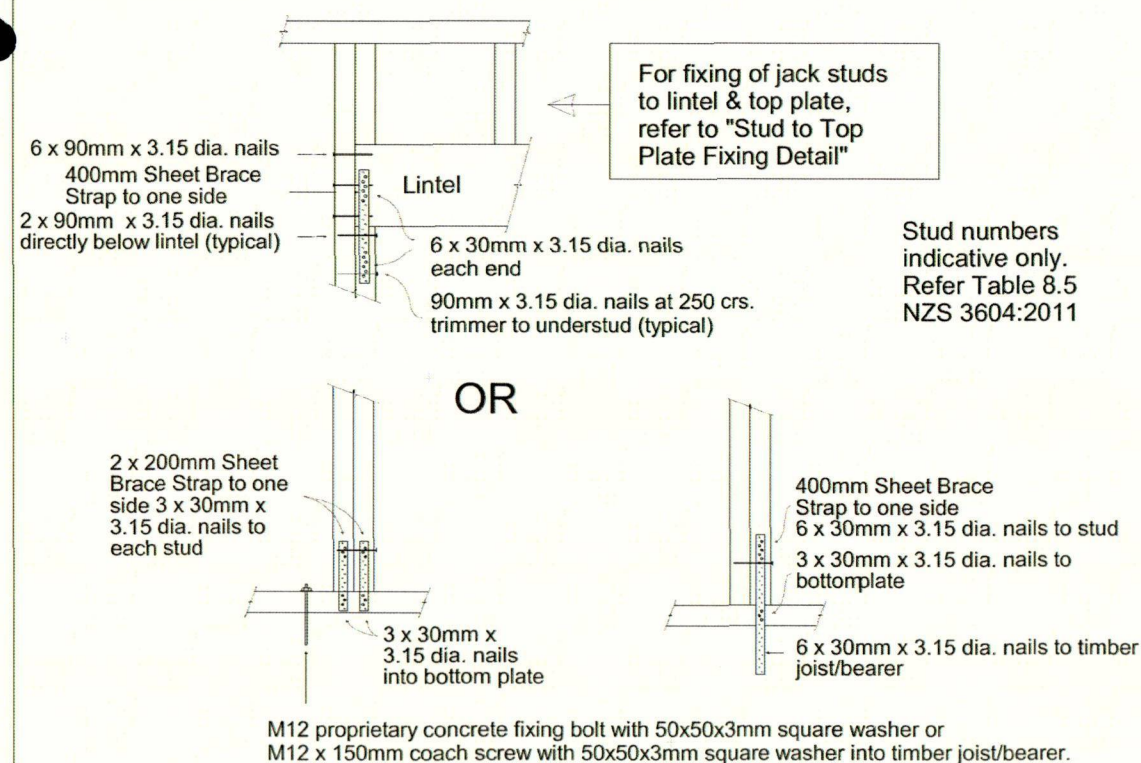
AND

Plus LUMBERLOK Stud Strap (One face only)

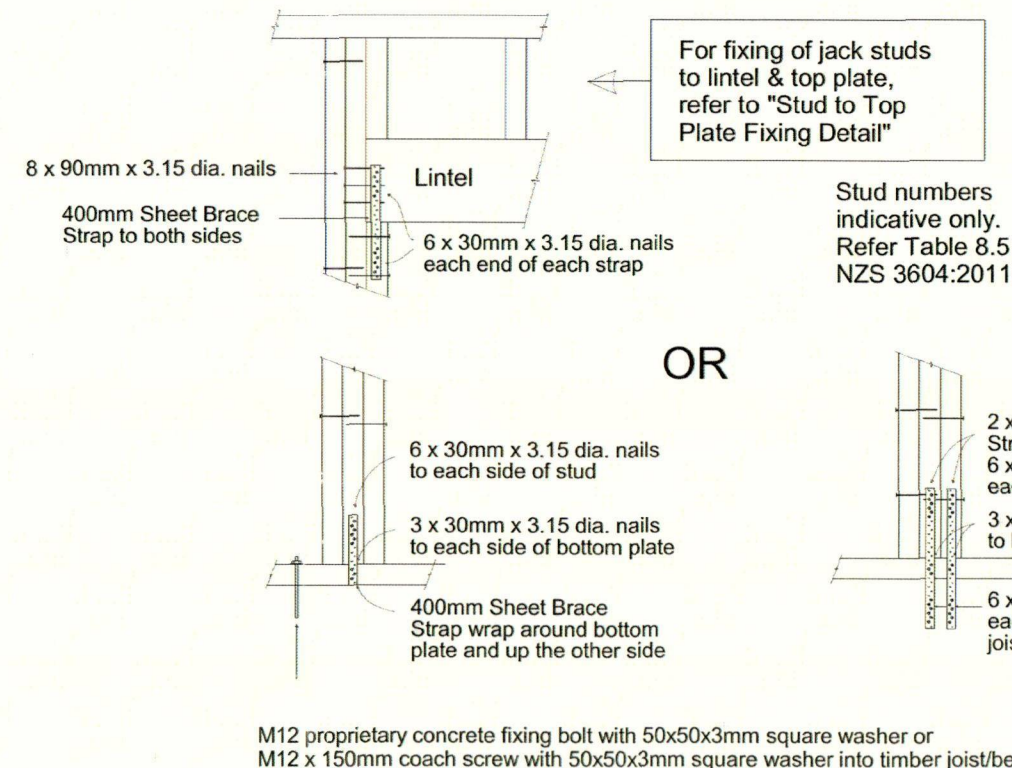


To apply the correct number of B type fixings, divide the wall length by the stud centres and add 1 to this figure. Attach this number of fixings to the studs as evenly as possible along the wall length (include first and last stud).

Type G - 7.5 kN



Type H - 13.5 kN

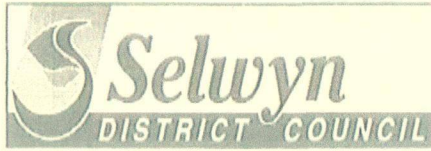


Note:

These fixings are suggested fixings only. Alternative fixings may be used provided the indicated hold-down is achieved. For alternative fixings, refer to the "MiTek Structural Fixings On-Site Guide 2012 Edition" or "NZStandards3604-2011".

Inspection File





INSPECTION NOTICE

Inspections are to be booked by the owner or builder

Name: **Horncastle Homes**

Consent No: **121562**

Site Address/Rapid No

Officer ID: AOFSTEVEG

16 Goldney Close, Lincoln

Name: Geoff Stevenson

Type of building work:

Intended Use: : 4 Bedroom Domestic Dwelling with attached Double Garage - 180sqm Domestic Dwelling

Stats Code: HOUSING - Detached Dwelling (New Dwellings Only)

On 25/01/2013 at 12:39 p.m. this site was inspected pursuant to the Building Act 2004 (section 222/230) and the Local Government Act 2004 (Section 174). The purpose of the inspection was:

INSPECTION TYPE: DRAINAGE

INSPECTION RESULT: BUILDING WORK MAY PROCEED

The Following Items are yet to be completed:

Notes Summary:

Drains completed as indicated on supplied as built plan. Consent plans sited. Drains laid in AP40 to laterals. Grade 1;60, venting, TV. Drain test completed.

Note: A Code Compliance Certificate is required for 2004 Building Act Consents

INSTRUCTIONS: Plans have been allowed to get wet. Most unreadable. PLEASE REPLACE. Drains may be back filled.

Notice To:

Contractor ☐

Owner ☐

Agent ☐

Occupier

Signed:

By:

Telephone ☐

Fax ☐

Posting ☐

Left on Site

Site Inspection Report



Project: Horncliffe - Lot 54 Goldney Close

Job No: 12-196

Description of Work: Ribcraft Slab

Detail / Drwg Ref: S1-S5

	Check	Comment
Ground Condition	<u>N.A</u>	
Formwork	<u>✓</u>	
Dimension	<u>✓</u>	<u>beams - width & depth ok</u>
Reinforcing	<u>✓</u>	<u>all steel in place - laps & corner bars ok</u>
Mesh	<u>✓</u>	<u>SE61.5 ✓ lapped correctly, 50mm chairs</u>
Starters	<u>✓</u>	
Cover	<u>✓</u>	
Cleanliness	<u>✓</u>	
Clean-out Ports		
Framing		
Bracing		
Bolting		
<u>drainage</u>	<u>✓</u>	<u>all drains avoid ribs & edge steel</u>
<u>Slab thickness</u>	<u>✓</u>	<u>verified by laser → -8 to 0mm - ok</u>

General Comments:

- ok to pour
- 2019 EA fibre mix

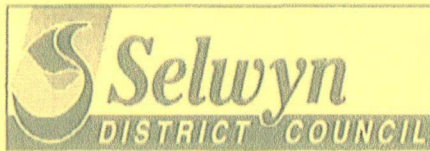
☒ Proceed with work

☐ Rectify & Proceed

☐ Rectify & Re-inspect

Consultant Representative: 

Date: 20/12/12



INSPECTION NOTICE

Inspections are to be booked by the owner or builder

Name: **Horncastle Homes**

Consent No: **121562**

Site Address/Rapid No

Officer ID: AOFCUTHBG

16 Goldney Close, Lincoln

Name: George Cuthbert

Type of building work:

Intended Use: : 4 Bedroom Domestic Dwelling with attached Double Garage - 180sqm Domestic Dwelling

Stats Code: HOUSING - Detached Dwelling (New Dwellings Only)

On 20/12/2012 at 12:09 p.m. this site was inspected pursuant to the Building Act 2004 (section 222/230) and the Local Government Act 2004 (Section 174). The purpose of the inspection was:

INSPECTION TYPE: FOUNDATIONS

INSPECTION RESULT: BUILDING WORK MAY PROCEED

The Following Items are yet to be completed:

Notes Summary:

All works as per consenred details and plans, Engineer has inpected and provided his report ready to pour concrete. All pipes placed as per plans and wraped in slab.

Note: A Code Compliance Certificate is required for 2004 Building Act Consents

INSTRUCTIONS: Ready to place concrete.

Notice To:

Contractor ☒

Owner ☐

Agent ☐

Occupier

Signed:

By:

Telephone ☐

Fax ☐

Posting ☐

Left on Site ☒

Building Consent**121562****Section 51, Building Act 2004**

Street address of building:	16 Goldney Close, Lincoln
Legal description:	Lot 54 DP 451072
Valuation number:	2404169054
Rapid number:	
Building name:	
Building location on site:	
Level/unit number:	

Name of Owner:	Horncastle Homes
----------------	------------------

Applicant/Agent:	Horncastle Homes
Contact person:	Nathan Veevers
Mailing address:	PO Box 8255, Riccarton, Christchurch 8440
Street address/registered office:	38 Lower Street, Riccarton, Christchurch
Phone number:	
Landline:	(03) 348 8905
Mobile:	
Daytime:	
After hours:	
Facsimile number:	(03) 348 8906
Email address:	nathan@horncastle.co.nz
Website:	

The following building work is authorised by this building consent:

Description:	Domestic Dwelling
Intended Use:	4 Bedroom Domestic Dwelling with attached Double Garage - 180sqm
Estimated Value:	\$216,096

Building Consent 121562

This building consent is issued under section 51 of the Building Act 2004. This building consent does not relieve the owner of the building (or proposed building) of any duty or responsibility under any other Act relating to or affecting the building (or proposed building).

This building consent also does not permit the construction, alteration, demolition, or removal of the building (or proposed building) if that construction, alteration, demolition, or removal would be in breach of any other Act.

This Building consent is invalid unless work has commenced within 12 months from the date of issue (section 52 of Building Act 2004).

A Code Compliance Certificate must be applied for as soon as building work is completed (section 92 of Building Act 2004).

Note:- Where conflict may occur between plan/specification information and/or any other specific instruction in application documentation, the applicant and/or designer is to note that the Schedule confirming the method of compliance with the NZ Building Code **will always be the prime default control for Council.**

Any amendment to this Approved Building Consent will require approval prior to the work being carried out. This will require an Amended Building Consent application to be made.

Booking Inspections

1. The Building Consent Authority, is to be advised that the work is ready for inspection at least 1 clear working day before that inspection is required. Please note this may not guarantee an inspection at the desired time if an inspector is not available at that time.
2. All inspections are to be booked by phoning 03 347 2839 between the hours of 8:30am and 5:00pm.
3. The complete set of Approved Building Consent documents (including stamped plans and specifications) **MUST** be available on site for the Officer carrying out the inspection. No inspection will be undertaken if the approved documentation is not available.

This building consent is subject to the following:-

Engineers Inspection

The Engineer will carry out inspections as follows as confirmed on 21 August 2012
Contact The Engineering Company Ltd directly to arrange these inspections. When these inspections have been carried out, a copy of the engineers site reports must be left on site with the Approved Documents for subsequent inspections.

- Foundation excavation to check ground bearing ✓
- Waffle slab pre pour to check reinforcing and pod placement ✓

*El supplied
BY engineer
20/12/12*

Selwyn District Council Building Consent Authority Officers will carry out the following inspections:

Waste Pipes/Waffle Slab

Single pour waffle slab to check DPC, waste pipes before concrete is poured.

✓ El 20/12/12

Pre Wrap

An 'as built' truss layout, showing truss and top plate connectors, along with design verification data and lintel sizes outside the scope of NZS 3604 must be submitted to the Selwyn District Council Building Consent Authority for approval prior to the pre-wrap inspection being booked.

Structural framing and fixings prior to building wrap, soffit, and roofing installation.

Control joints and saw cuts to floor slab have been completed.

Valley and secret gutter flashings prior to roofing installation.

Pre Clad

Inspection of building wrap, DPM, and flashings prior to veneer construction.

Cavity battens and flashings in place, prior to cladding being fixed.

Roofing substrate prior to membrane roof being applied (front entrance).

Half High

Veneer mid height inspection for cavity width, tie fixing, and check for mortar droppings.

Pre Line

NOTE: A weathertight exterior is required before a preline inspection occurs.

Plumbing pipe work prior to fixing of internal linings.

Preline moisture test and structural framing check including confirmation of treated timber where required.

Bracing elements prior to fixing of internal linings.

Completeness of insulation prior to fixing of internal linings.

Window installation to check ventilation, air seals, and glazing.

Drainage *CNS 25-1-13.*

NOTE:- All drainage work must be inspected prior to backfilling and a fully dimensioned 'as-built' drainage plan for Council records must be available when the Inspector visits the site.

Inspection and testing of sanitary sewer. ✓

Connection to sewer lateral.

Stormwater disposal connection to street lateral.

Spouting including rain water heads, overflows and downpipes.

Post Line

Check nailing off of bracing panels before stopping work is carried out. ✓

Practical Completion

Smoke alarm installation. ✓

Slip resistant surfaces. ✓

Safety glass where appropriate. ✓

Sealed driveway/surfaces including associated drainage. ✓

Domestic mechanical ventilation. ✓

Hot water reticulation valving. ✓

Check temperature of hot water. ✓

Seismic restraints to hot water cylinder and storage tanks. ✓

Upon completion of the building work Energy Work Certificates for the following items shall be provided to the owner to submit with their documentation for Code Compliance Certificate application, for the following:-

- ☐ Electrical work

Upon completion of the building work the Plumber shall provide a Pressure Test Certificate to the owner to submit with their documentation for Code Compliance Certificate application.

When the final inspection has been carried out and all building work approved, the Code Compliance Certificate can be applied for (The Code Compliance Certificate is invoiced separately with any additional costs if applicable).

Compliance schedule

A compliance schedule is not required for this project.

Attachments

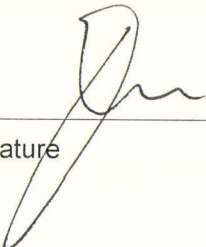
Copies of the following documents are attached to this building consent:

NIL

Other Approvals Required

The following other approvals/authorisations are required:

None Known



Signature

120984
21/9/12

Date of Issue/Granting

Carl Petersen

Building Control Officer

On behalf of: Selwyn District Council