

BC No: 221027

SITE DETAILS:

5 PRICE PLACE

KAIAPOI

LEGAL:

LOT 183 DP 576930

Approved Building Consent Documents and Plans (Full set)

On Site Copy

- These plans and specifications must be kept on site during construction, and made available to the building officer on request. Failure to do so will mean an automatic failure of the building inspection and will necessitate re-booking the inspection at the applicant's expense.
- All boundary survey pegs must be located and flagged by the owner before work is commenced.

Inspections

For bookings or building enquiries please phone the **Building Unit** on:

03 311 8906

or

Email inspection bookings to: bcbooking@wmk.govt.nz

- Please refer to your inspection schedule for details of inspections to be carried out.
- At least 2-3 full working days' notice should be given when booking an inspection.
- Please be advised that it may not always be possible to carry out the inspection within the time frame you require.
- Provision is to be made to allow access.
- The Code Compliance Certificate will be issued once the:
 - Final inspection has been carried out and passed.
 - Audit of WDC building consent file has been completed.
 - Payment of any outstanding invoices is received.

WAIMAKARIRI DISTRICT COUNCIL
Plans and specifications APPROVED in accordance
with the Building Act 2004, clause 49 and the Building
Regulations 1992, Clause 3
BC221027 15/09/2022 staceyg



WATSON & LUNDY HOUSE

LOT 183 BEACH GROVE

KAIAPOI



File Number 22008.162

RIBRAFT DRAWINGS

Sheet Register		
Sheet	Rev.	Name
S1		General Notes
S2		Ribraft Layout Foundation Plan
S3		Typical Foundation Sections
S4		Typical Foundation Sections
S5		Typical Foundation Sections
S6		Typical Foundation Sections
S7		Typical Services Penetration Details

Issue Register		
Type	Date	Description
Full Set	04.08.2022	Consent Issue

GENERAL

- These drawings are not to be used for construction until the plan (sheet S2) is signed by the main contractor
- Do not scale. refer any discrepancies to the Architect/Engineer.
- These drawings are to be read in conjunction with the Architects & Engineers drawings.
- The builder shall be responsible for any damage to works during construction.
- The sand blinding layer shall be 20mm min. & 50mm max. to aid levelling & to prevent rocking of pods.
- Vapour barrier to be 0.25mm (250 micron) polythene complying with NZS 4229. / NZS 3604
- Finished ground level adjacent to slab to be protected from wind, water erosion and undermining.

FOUNDATIONS

- For assumed allowable bearing capacity refer to calculations/installer guide. Unless otherwise noted in documentation
- If there is any doubt about the integrity of the material on which the slab is to be founded - Supervising Engineer must be notified immediately.

GEOTECHNICAL REFERENCE:

Refer: Tonkin + Taylor
 "Scala Penetrometer testing"
 Ref. 53246.6001
 Dated: 20th May 2022

Confirm Ultimate Bearing Capacity after site stripping > 180 kPa

CONCRETE

- All workmanship & materials to conform to NZS 3109, NZS 4210 & local authority regulations.
- Minimum covers to reinforcement:
 - Exposed to earth - 75mm.
 - Protected by vapour barrier - 50mm.
 - Not exposed to weather except for a brief period during construction - 25mm.
- No holes or chases other than those specified are to be made in the slab without the approval of the Engineer.
- All concrete shall be 20mm nominal maximum aggregate size & 120mm slump & shall comply with NZS 3109.
- All concrete to be mechanically vibrated & carefully worked around the reinforcement & into the corners of the formwork.
- Ribraft make-up to be

100mm Floor Slab - 220mm pods
 (25 MPa TC2 Dramix 4D 80/60 Fibre mix Concrete)
 G500 E SE62 Ductile mesh on 50mm chairs

The design Fibre mix shall be supplied so that the residual flexural tensile stresses $f_{R,1}$ & $f_{R,4,K}$ shall be 1.5 MPa & 1.0 MPa respectively.

INSPECTIONS

Inform ENGCO consulting 48 hours in advance of any inspections required for code compliance certification.
 Contact ENGCO - Ph. 03 366 7955

INSPECTIONS REQUIRED

- Confirm bearing at excavation - by OTHERS
- Contractor to supply (4) x N.D. Tests at mid-height and finished compacted surface. - only if depth of fill is greater than 400mm
- Pre-pour of slab - by ENGCO

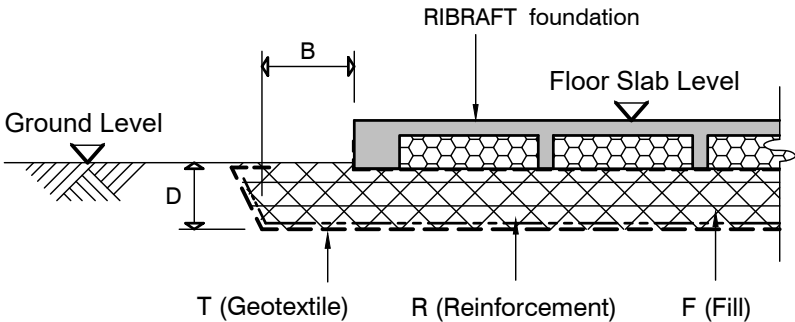
BUILDING PLATFORM TABLE:	
B	500mm
D	Remove all top soil
T	N/A
R	N/A
F	AP40 or AP65 fill. - 95% Dry Density. Compact in 150mm layers (max.)

Refer to architectural drawings for the finished floor level

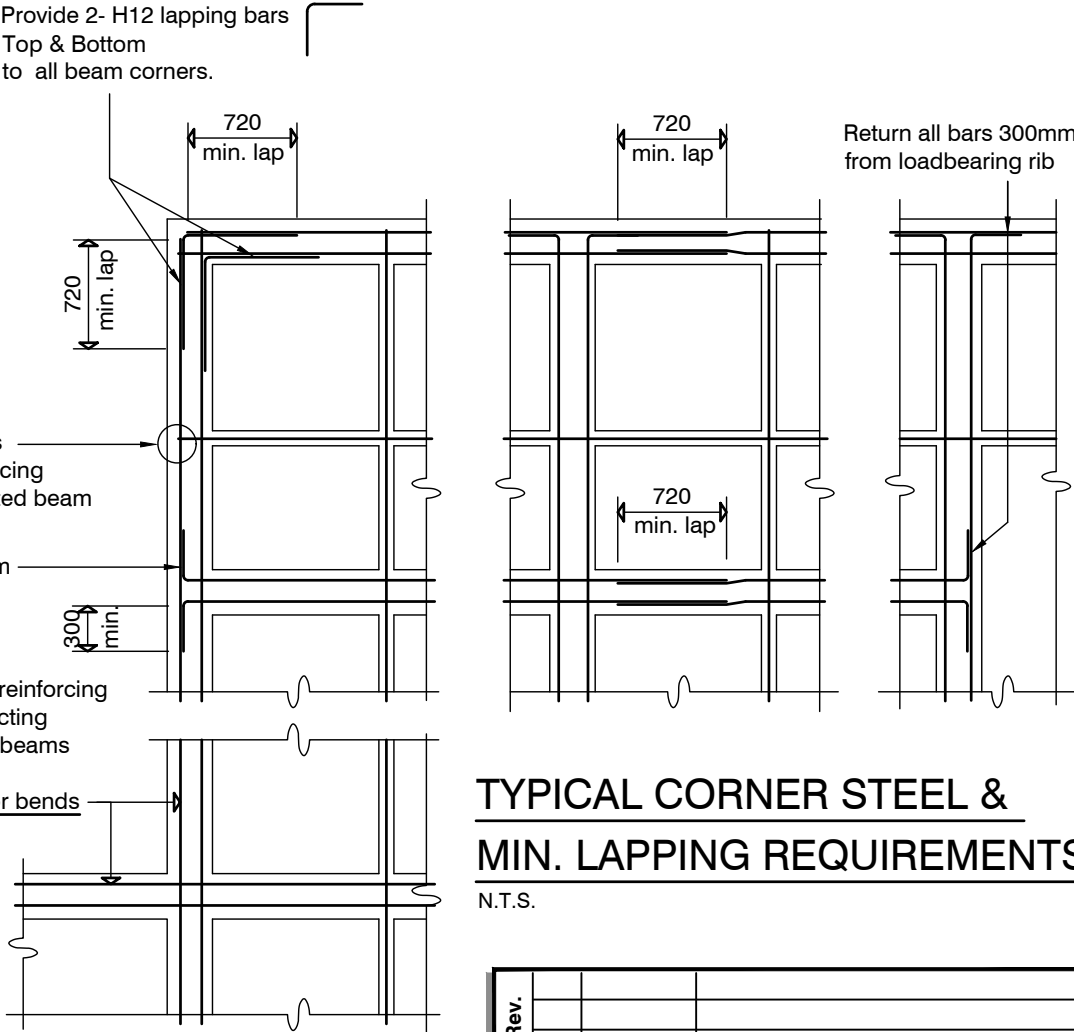
STEEL

- All reinforcing shall be New Zealand sourced and conform to AS/NZS 4671 :2001 in grade 300 or grade 500E.
- All bends to be made cold without fracture.
- All reinforcing shall be deformed type unless otherwise stated.
- Grade 500E deformed bars shall be designated 'H', Grade 300 deformed bars shall be designated 'D' and Grade 300 round bars shall be designated 'R'
- Minimum bar splice 720mm. (or unless otherwise noted)
- All reinforcement to be fixed & tied where necessary in its specified position.
- Welding of steel is not permitted
- Spacers:
 - Edge at 1200mm ctrs (one on edge & two on corners, typically).
 - Internal one on each side of pod (typically).
- All mesh shall comply with AS/NZS 4671 & shall conform with elongation requirements exceeding 10%.
- All Mesh shall lap a minimum of 250mm (end extensions are not included in lap length)

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BUILDING PLATFORM
 N.T.S.



TYPICAL CORNER STEEL &
 MIN. LAPPING REQUIREMENTS
 N.T.S.

ORIGINAL SIZE = A3

Rev.		

design	K.SYMMES	file	22008.162
drawn	S.BLOCKLEY		
appvd	M.CUSIEL	dwg	S1
date	04.08.2022	rev.	

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ENGCO
Consulting Engineers

Signature
HOMES
YOUR HOME. YOUR WAY.

WATSON & LUNDY HOUSE
LOT 183 BEACH GROVE
KAIAPOI

GENERAL NOTES

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GENERAL NOTES:


Locations shown of internal floor beam
 thickenings are indicative only. It shall
 be the responsibility of the Contractor to
 ensure that they are located centrally
 under the load bearing walls to which
 they pertain.


Under no circumstance should pipework
 for services be run longitudinally in
 100mm ribs.
 Similarly they should not be run along
 perimeter foundations nor internal floor
 beam thickenings

Vertical or horizontal penetrations
 through the foundation edge beam or
 floor beam thickenings must be made
 through the middle third of the member.
 Vertical penetrations should not be made
 through 100mm ribs.

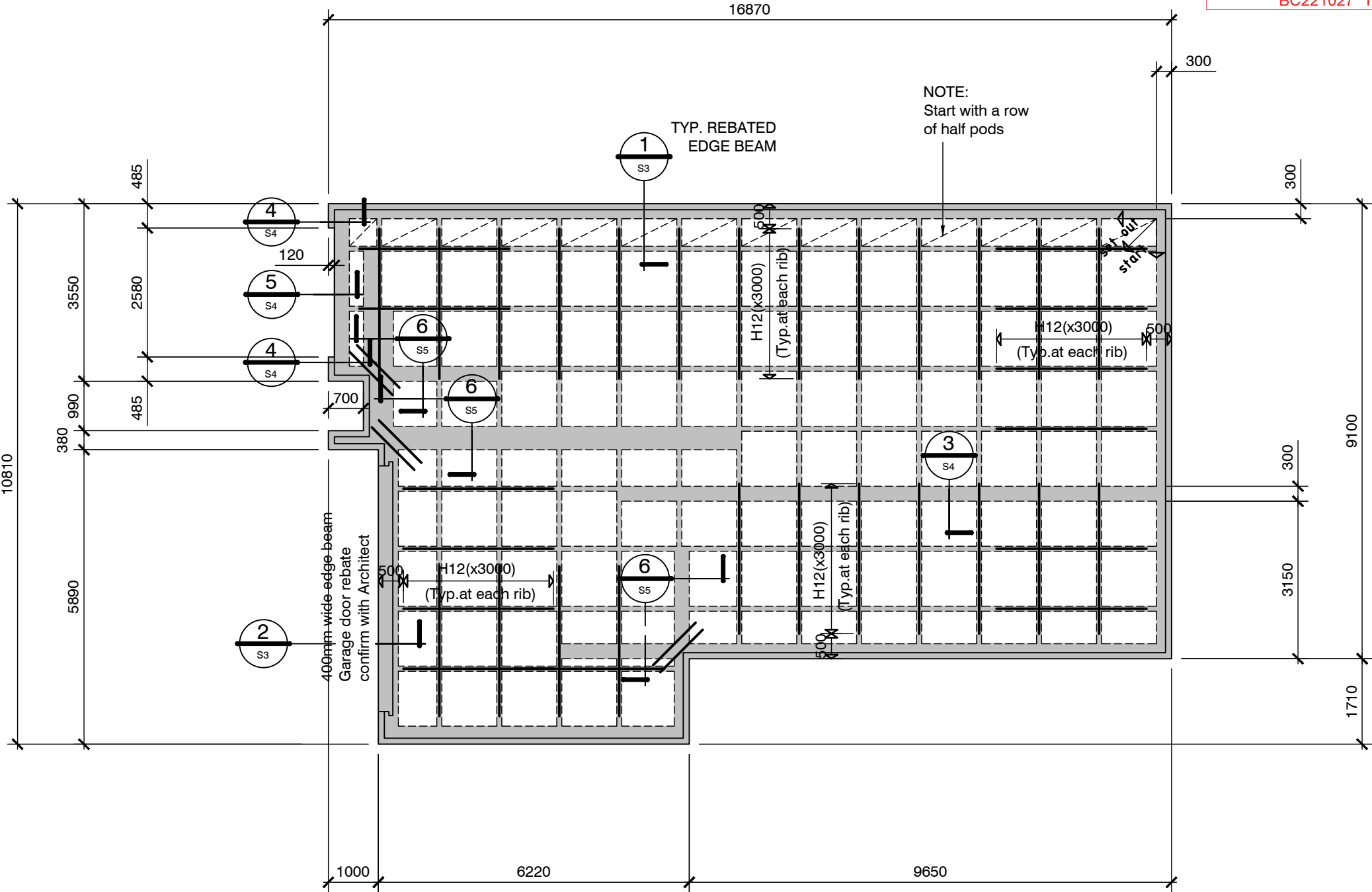
Refer to Architects drawings for floor slab
 set downs, steps, rebates,
 holding down bolts,
 cast in componentry and the like.

KEY:


 (2) H12 (x1200)
at 200 crs.


 1100 x 1100 pod
(typ.)

All Mesh shall lap a
 minimum of 250mm
 (end extensions not included)



RIBRAFT FOUNDATION LAYOUT PLAN

1:100

Confirm all dimensions with Architectural Drawings.

100mm Floor Slab - 220mm pods
 (25 MPa TC2 Dramix 4D 80/60 Fibre mix Concrete)
 G500 E SE62 Ductile mesh on 50mm chairs

The design Fibre mix shall be supplied so that
 the residual flexural tensile stresses $f_{R,1}$ & $f_{R4,K}$
 shall be 1.5 MPa & 1.0 MPa respectively.

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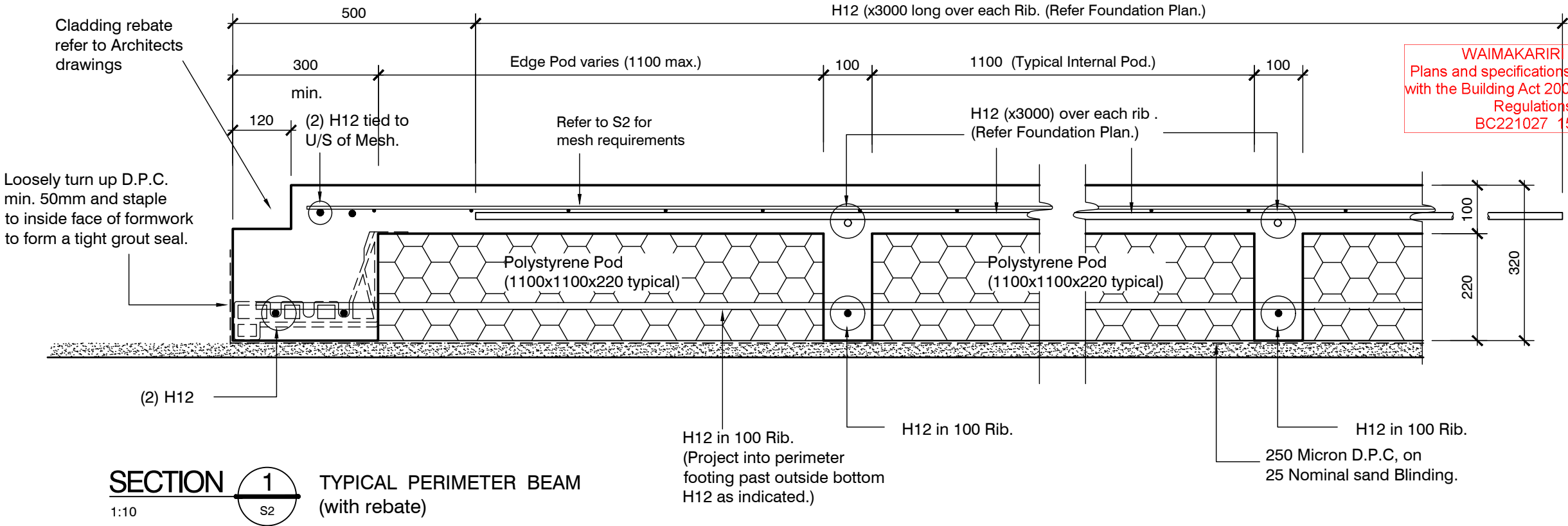
WATSON & LUNDY HOUSE
 LOT 183 BEACH GROVE
 KAIAPOI

RIBRAFT LAYOUT
 FOUNDATION PLAN

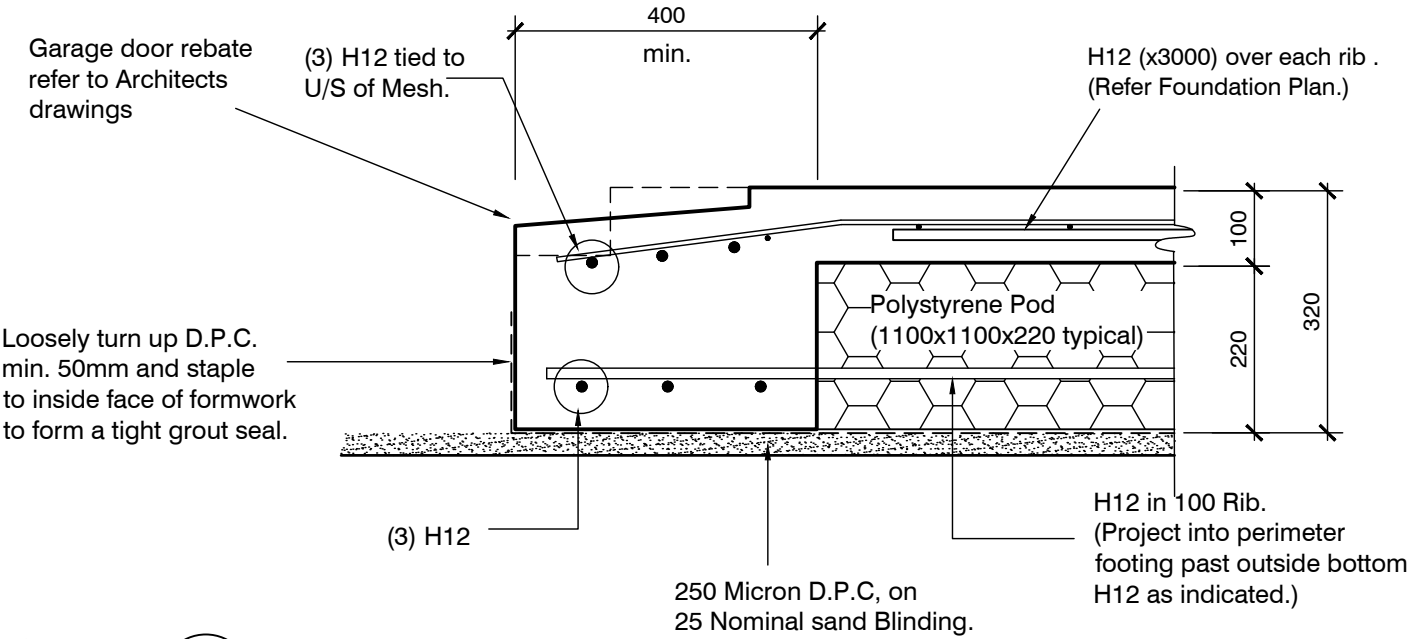
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 drawn S.BLOCKLEY
 appvd M.CUSIEL
 date 04.08.2022

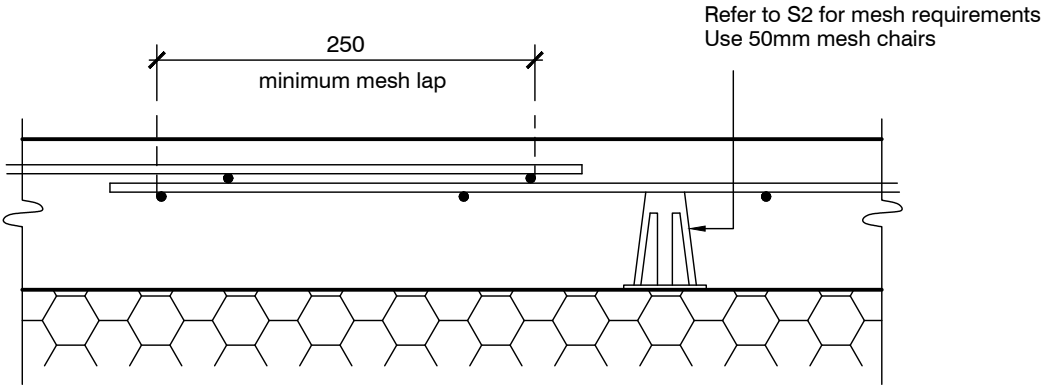
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 dwg S2
 rev.



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SECTION 2
 1:10
 GARAGE DOOR BEAM



TYPICAL MESH LAP & CHAIR REQUIREMENTS
 1:5

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 LOT 183 BEACH GROVE
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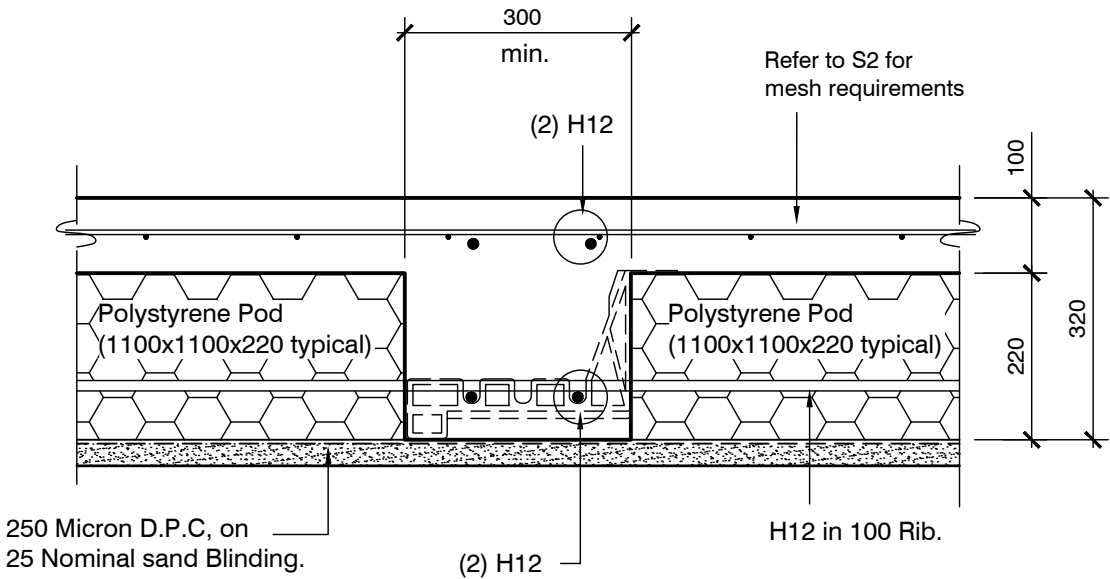
TYPICAL FOUNDATION
 SECTIONS

Rev.		

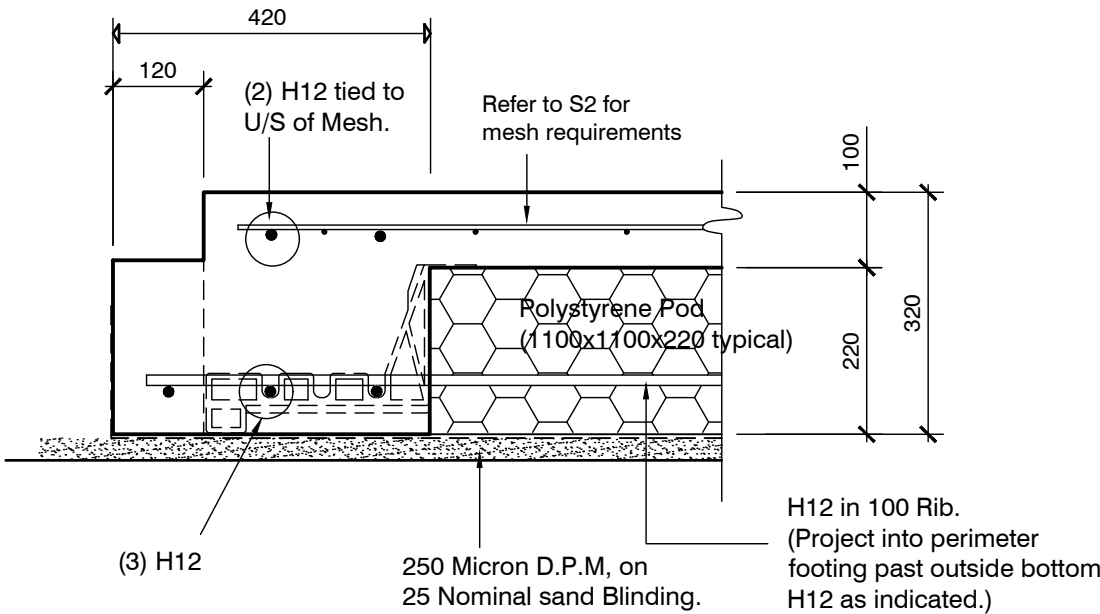
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file	22008.162
dwg	S3
rev.	

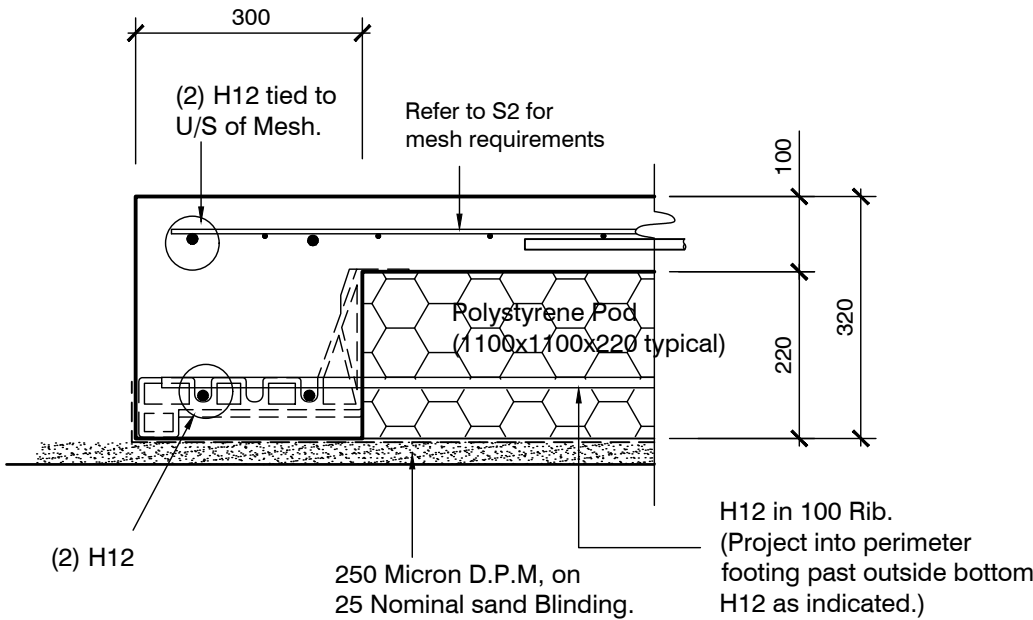
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SECTION 3
 1:10 TYPICAL 300 WIDE INTERNAL RIB.



SECTION 4
 1:10 420 WIDE PERIMETER BEAM (with rebate)



SECTION 5
 1:10 300 WIDE PERIMETER BEAM (no rebate)

ORIGINAL SIZE = A3

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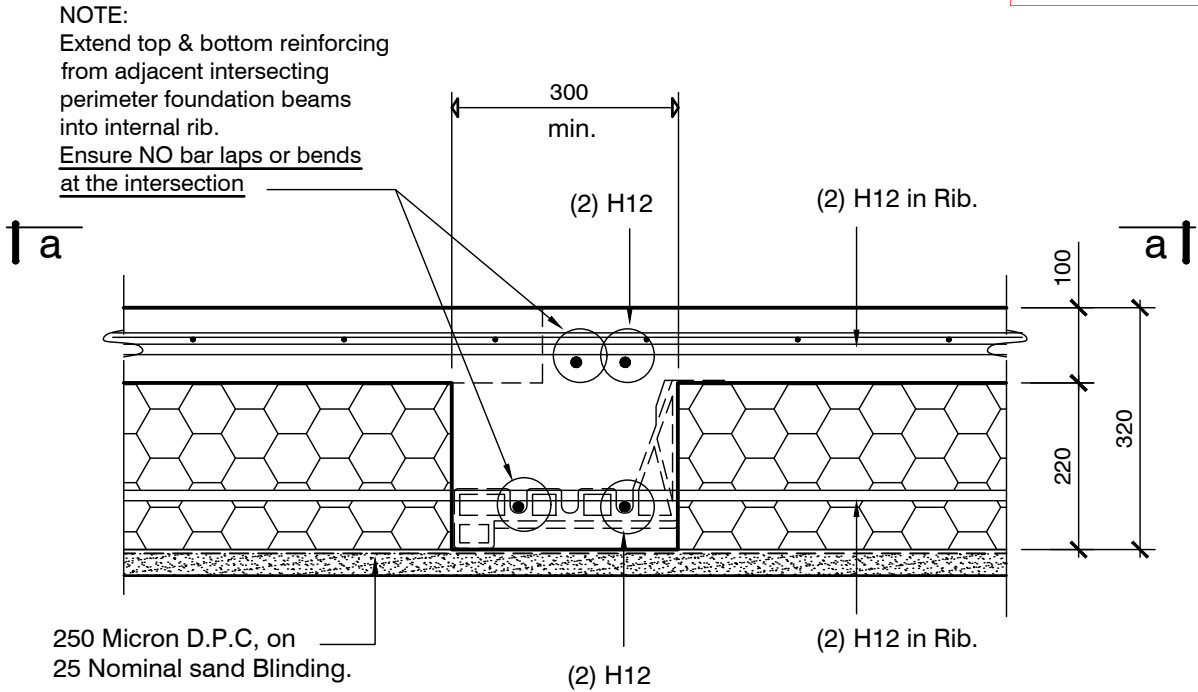
WATSON & LUNDY HOUSE
 LOT 183 BEACH GROVE
 KAIAPOI

TYPICAL FOUNDATION
 SECTIONS

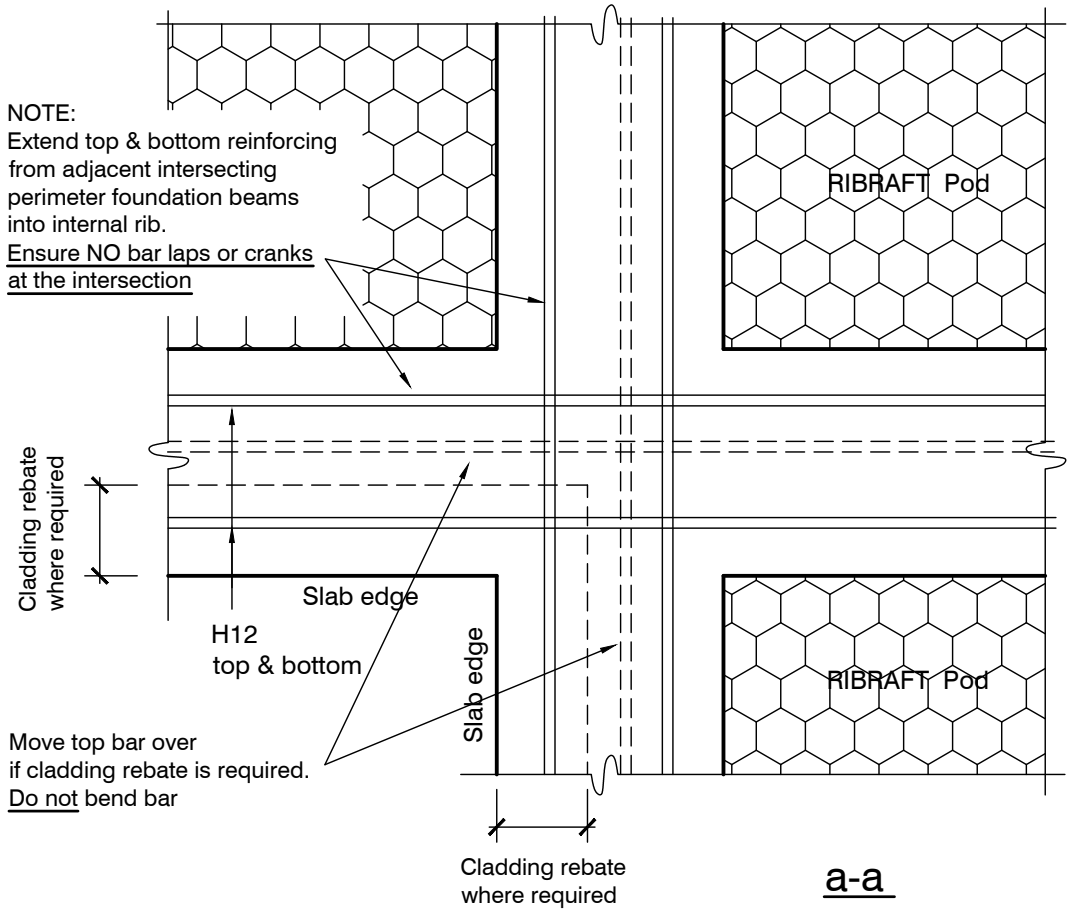
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SECTION 6 INTERNAL CORNER BEAMS
 1:10 S2 - Continuous Bars



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 LOT 183 BEACH GROVE
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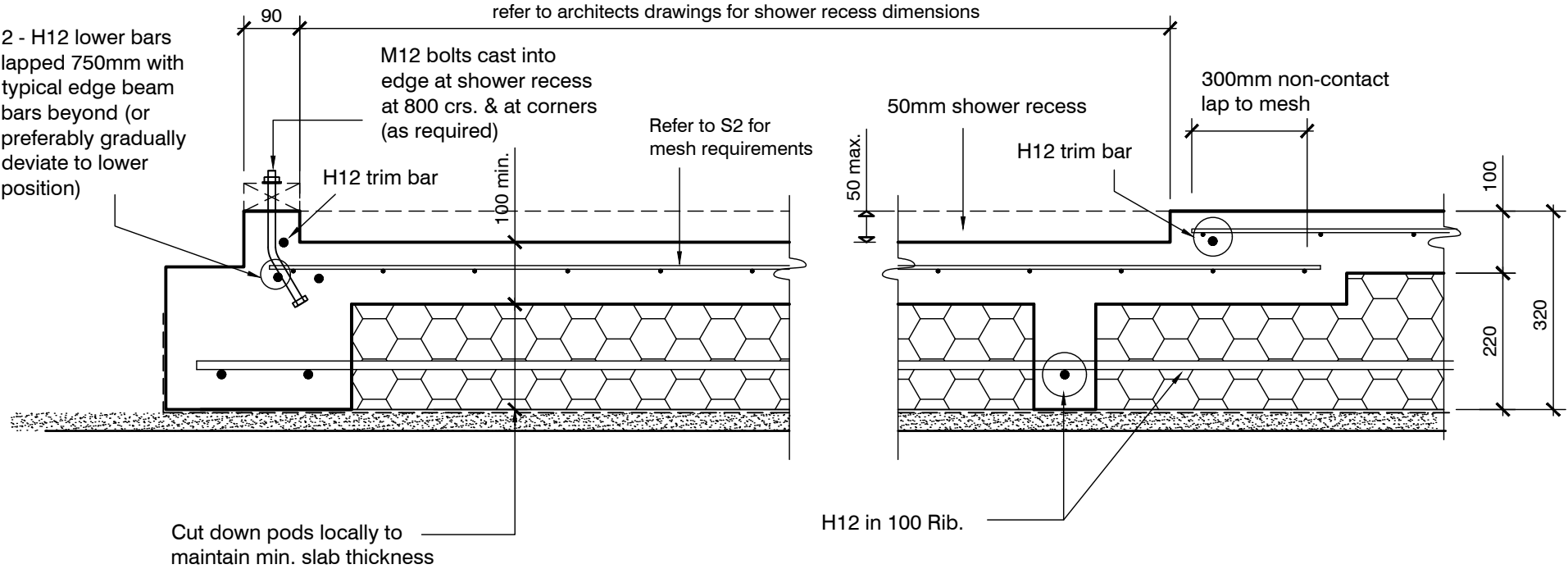
TYPICAL FOUNDATION
 SECTIONS

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TYPICAL SHOWER RECESS - if required (refer to Architects Drawings)

1:10

ORIGINAL SIZE = A3

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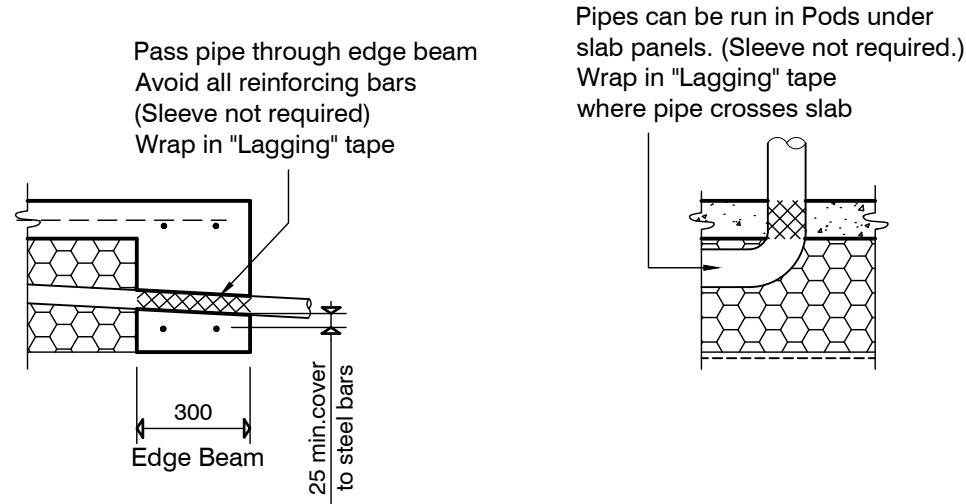


WATSON & LUNDY HOUSE
 LOT 183 BEACH GROVE
 KAIAPOI

TYPICAL FOUNDATION
 SECTIONS

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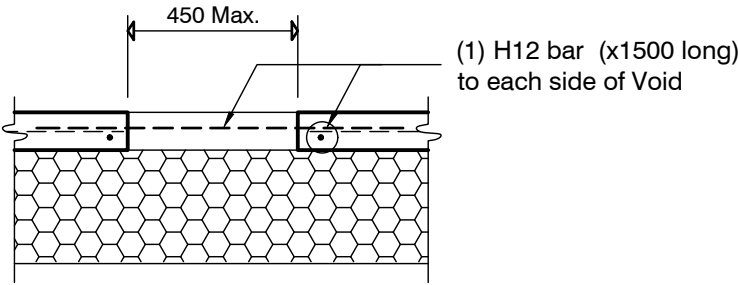
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drawn	S.BLOCKLEY		
appvd	M.CUSIEL	dwg	S6
date	04.08.2022	rev.	



SLAB SERVICES PENETRATION DETAIL

1:20

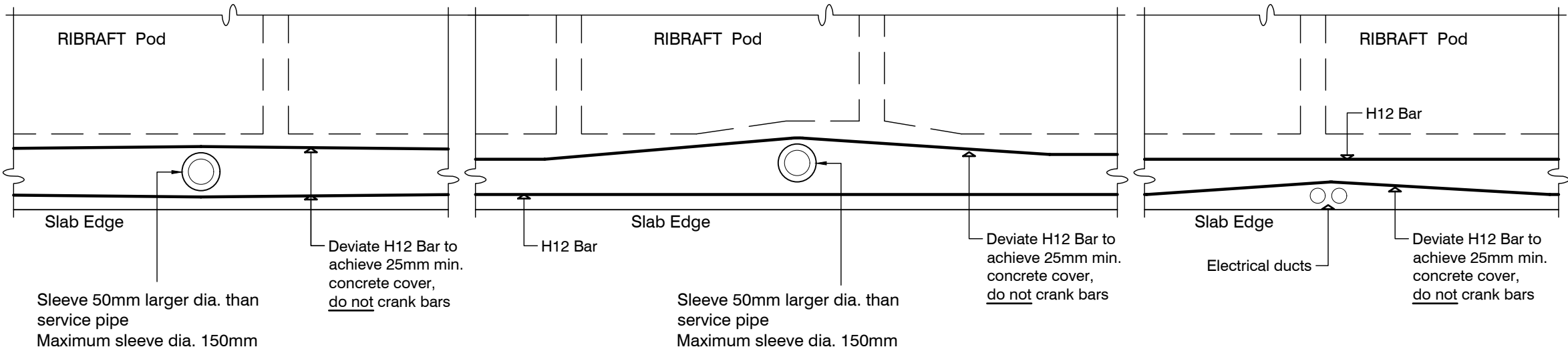
PIPE NOTE:
 No separation required where pipes are fully contained within slab.
 Sleeve all drains that pass through the base of the slab.



LARGE SLAB PENETRATION DETAIL

1:20

PENETRATIONS NOTE:
 Where penetrations through Floor Slab exceed 450mm Square, Crack Control Bars will be required.



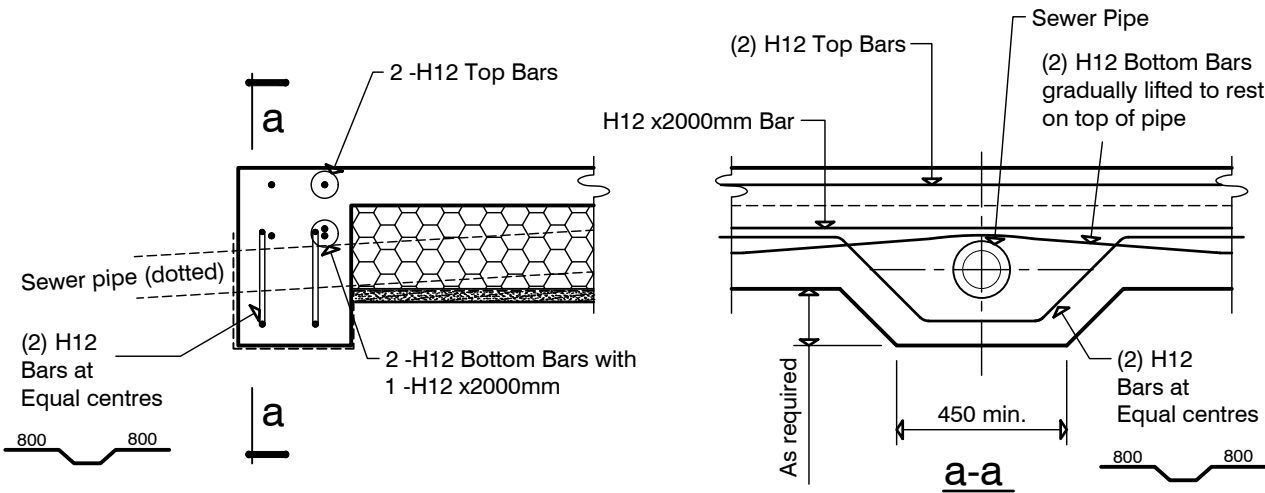
FOUNDATION SERVICES PENETRATION DETAILING

1:20

Services shall not run along ribs or edge beams.

TYPICAL SECTION
 LOCALISED DEEPENING OF FOUNDATION BEAM
 TO ACCOMMODATE TOILET WASTE PIPE

1:20



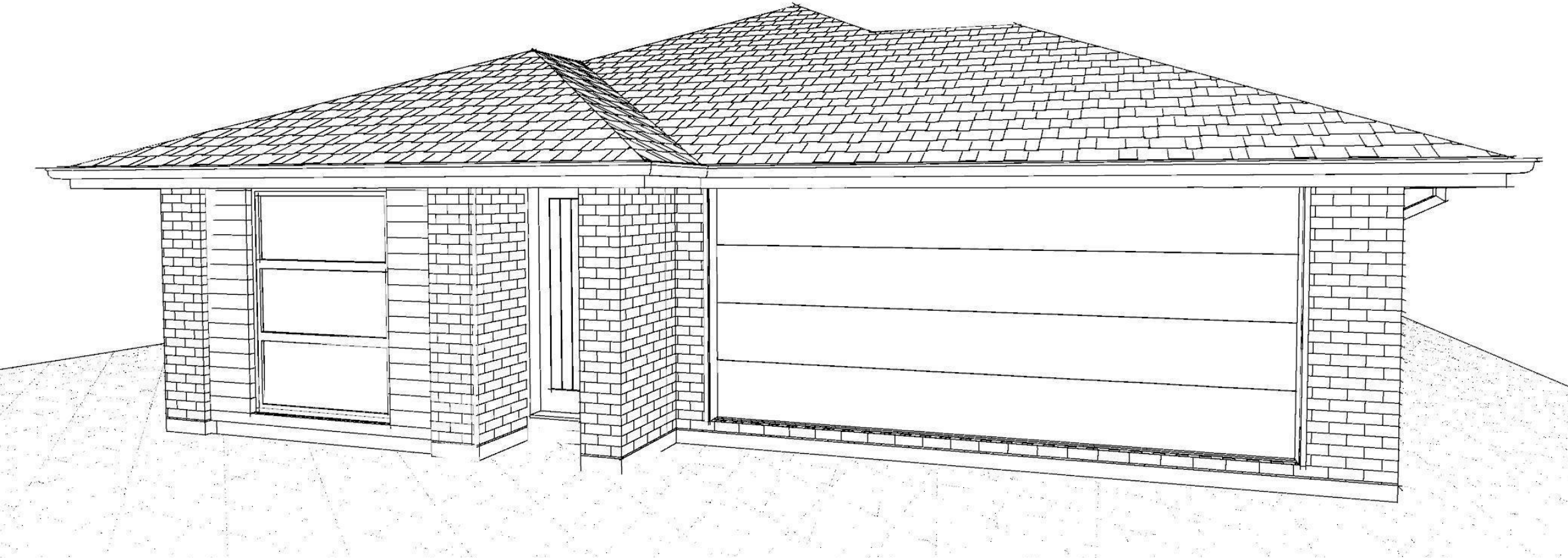
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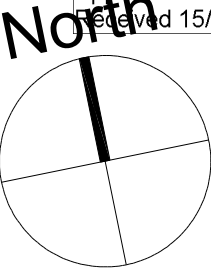
Contents:	
Sheet 1 :	Cover Sheet
Sheet 2 :	Site Plan
Sheet 3 :	Floor Plan
Sheet 4 :	Elevations
Sheet 5 :	Elevations
Sheet 6 :	Cross Sections
Sheet 7 :	Roof Plan
Sheet 8 :	Set Out Dimensions
Sheet 9 :	Foundation Plan
Sheet 10 :	Drainage Plan
Sheet 11 :	Bracing Plan
Sheet 12 :	Lighting Plan
Sheet 13 :	Framing Details
Sheet 14 :	Framing Details
Sheet 15 :	Construction Details
Sheet 16 :	Construction Details
Sheet 17 :	Construction Details
Sheet 18 :	Construction Details
Sheet 19 :	Construction Details
Sheet 20 :	Bathroom Details
Sheet 21 :	Truss Design
Sheet 22 :	Truss Design

All dimensions are to be check and confirmed prior to any construction
 Plans are to be read in conjunction with Specifications and all supporting documentation

 <div>Signature HOMES Est. 1983 YOUR HOME. YOUR WAY.</div>	TKR Homes Ltd. 31 Watts Road, Sockburn PO BOX 11 351 Christchurch 8443 P: +64 3 342 7788	These drawings are limited to and by the extent of the detail covered in the drawings to meet the current New Zealand Building Code (NZBC). Where detail it required for construction and to demonstrate compliance with the current NZBC, a specific request should be made for the required detail to be supplied. No liability will be accepted for any detail or construction not covered in these drawings and/or carried out by persons other than the designer producing these documents.	Jason Watson & Caitlin Lundy Lot 183 Beach Grove, Kaiapoi	Job Number: 133859		Original Plan: Rail		Sheet Name: COVER PAGE		CONSENT PLANS			Sheet No.: 1 of 22 sheets				
				Sales: L Caldwell		Drawn: M Glynn		QS: W Xian		Print Date: 16/09/2022		Scale: @ A3		No. 1	Date: 10-08-2022	Reason: Initial Consent Plans	

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SITE INFORMATION

Site Area : 412m²
 Floor Area (VENEER) : 158.97m²
 Site Coverage : 38.58%

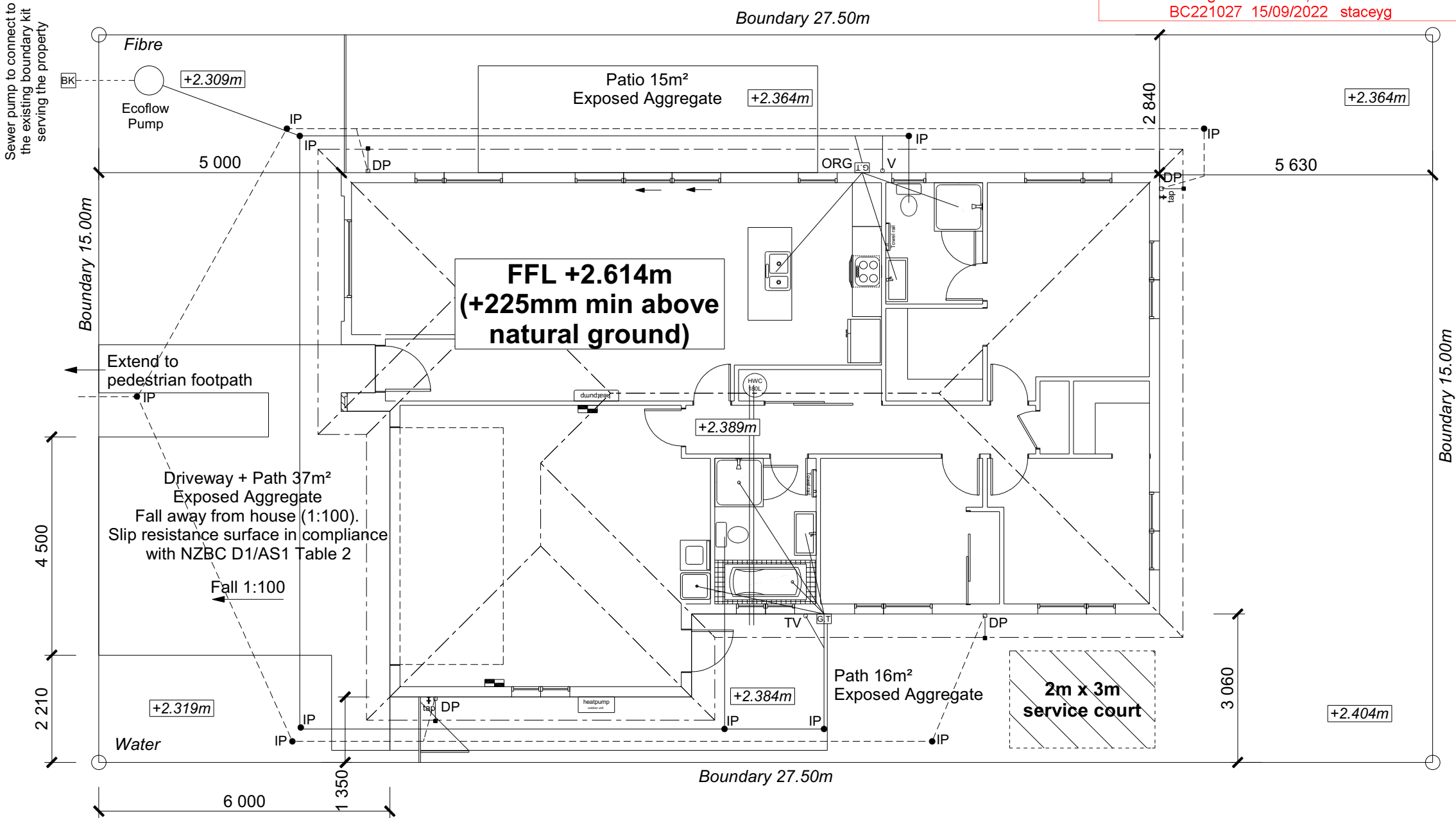
Wind High
 Earthquake 2
 Exposure C
 Snow N 4 at 50m (up to 1kPa)

Note: The dimensions shown are from
 cladding to boundary. Refer to sheet 8
 for foundation to boundary dimensions.

Sediment control and site safety
 requirements are noted in the
 attached Specifications.

DRAINAGE LEGEND

Stormwater DN100mm uPVC
 Sewer Drain DN100mm uPVC
 DP Downpipe
 GT Gully Trap
 ORG Overflow Relief Gully
 TV Terminal Vent
 AAV Air Admittance Valve
 IP Inspection Point



PRICE PLACE

Provide safety fencing to perimeter
 of site - permanent or temporary -
 to comply with NZBC F5/AS1

Note: A BUILDING LOCATION CERTIFICATE (BLC)
 is REQUIRED 2 Working Days BEFORE the PrePour
 Inspection to verify the setout of the Finished Floor Level.
 The builder is required to tie back this FFL to a
 known LINZ Survey Mark (revised in January 2018).
 Please check with your surveyor that referenced
 Benchmark Datum heights are correct.
 Surveyor also to verify the constructed eaves (including
 spouting) has achieved 650mm or more clearance to the

DRAWING NOTES


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 and remain the property of Signature
 Homes Ltd.

Verify all dimensions, sizes and levels on
 site prior to commencing any work. Any
 discrepancies are to be confirmed with
 Signature Homes Ltd.

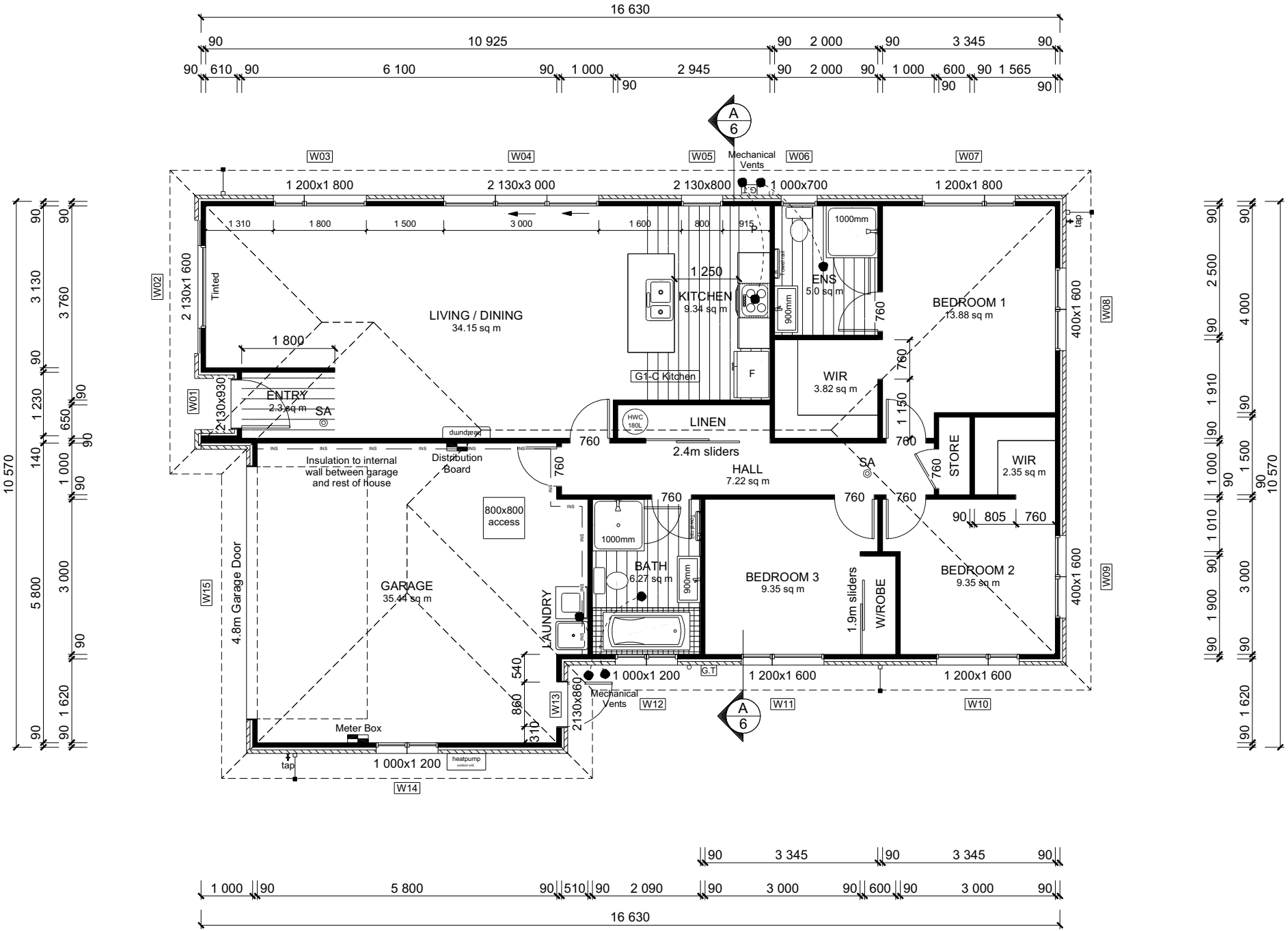
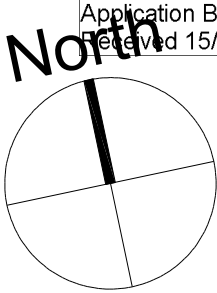
Refer to attached Specifications for further
 information.

All work is to comply with the NZBC
 Acceptable Solutions, NZS 3604:2011 and
 Local Authority bylaws.

All dimensions are to be check and confirmed prior to any construction
 Plans are to be read in conjunction with Specifications and all supporting documentation

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				No.	Date:	Reason:				
				1	10-08-2022	Initial Consent Plans				
Sales: L Caldwell		Drawn: M Glynn	QS: W Xian	Print Date: 16/09/2022	Scale: 1:100 @ A3					

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ROOF & WALL CLADDINGS

Roof : 25° Pressed Metal Tiles
Walls : 70 Series Brick Veneer
with a 50mm cavity
Herman Pacific Cedar Weatherboards
(HP62) with a 20mm cavity

DWELLING AREAS

Framing Area: 152.53m² (Perimeter: 55.80m)
Veneer Area: 158.97m² (Perimeter: 57.00m)
Roof Area: 187.47m² (Perimeter: 59.20m)

SMOKE ALARMS (hush type)

Domestic Smoke Alarms to be fitted within
3.0m of sleeping areas and on Escape routes,
as indicated on plan. To comply with one of
the following standards: UL 217, ULC-S531,
AS 3786, BS 5446 (part 1).

FLOOR PLAN NOTES

Dimensions shown are to the frame,
GIB thickness not shown.
Mechanical ventilation to comply with G4/AS1
Air Seals to have PEF rod & low expansion foam
All windows and doors centered in room unless
shown otherwise
Laundering facilities provided complying
with G2/SA1 1.0
Provide sealant under skirting and paint to
concrete around tub & W/M fixtures

WALL FRAMING

Stud Height: 2400 mm
(2455mm to u/s of bottom chord)

FLOOR FINISHES

Carpet & Vinyl

KITCHEN HOB

Electric Hobs

DOORS

Internal Height: 1980mm (leaves)
Type: Hollow core flush panel
Front Door Type: Latitude Aluminium

INTERNAL TRIMS

Scotia: 55mm GIB Coving (excluding garage)
Skirting: 60x12mm Pine, single bevel edge
Architrave: N/A

SHELVING

Shelf & Rails to all wardrobes
4 shelves to Linen cupboard

DRAWING NOTES


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and remain the property of Signature
Homes Ltd.

Verify all dimensions, sizes and levels on
site prior to commencing any work. Any
discrepancies are to be confirmed with
Signature Homes Ltd.

Refer to attached Specifications for further
information.

All work is to comply with the NZBC
Acceptable Solutions, NZS 3604:2011 and
Local Authority bylaws.

All dimensions are to be check and confirmed prior to any construction
Plans are to be read in conjunction with Specifications and all supporting documentation

 <div>Signature HOMES Est. 1993</div> <div>YOUR HOME. YOUR WAY.</div>	TKR Homes Ltd. 31 Watts Road, Sockburn PO BOX 11 351 Christchurch 8443 P: +64 3 342 7788	These drawings are limited to and by the extent of the detail covered in the drawings to meet the current New Zealand Building Code (NZBC). Where detail it required for construction and to demonstrate compliance with the current NZBC, a specific request should be made for the required detail to be supplied. No liability will be accepted for any detail or construction not covered in these drawings and/or carried out by persons other than the designer producing these documents.	Jason Watson & Caitlin Lundy Lot 183 Beach Grove, Kaiapoi	Job Number: 133859	Original Plan: Rail	Sheet Name: FLOOR PLAN	CONSENT PLANS			Sheet No.: 3 of 22 sheets	
				Sales: L Caldwell	Drawn: M Glynn	QS: W Xian	Print Date: 16/09/2022	Scale: 1:100 @ A3	No. 1	Date: 10-08-2022	Reason: Initial Consent Plans

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 Received 15/09/22

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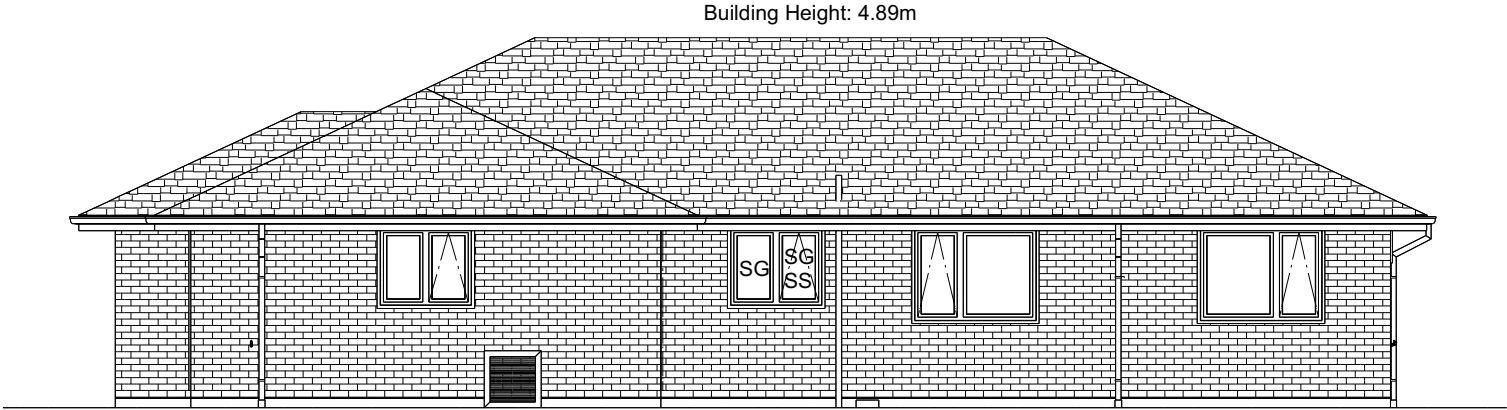
ROOF & WALL CLADDINGS
 Roof : 25° Pressed Metal Tiles
 Walls : 70 Series Brick Veneer (Clay)
 with a 50mm cavity
 Herman Pacific Cedar Weatherbaords
 (HP62) with a 20mm cavity

ELEVATION LEGEND
 SS Safety Stays
 SG Safety Glass
 MB Meter Box
 TV Terminal Vent

ELEVATION NOTES
 Gutter : Coloured Steel Quad Gutter
 Fascia : Coloured Steel185 Fascia
 Downpipes : Colorsteel Rectangular 75x55mm
 Soffits : Hardiflex 4.5mm
 Joinery : Double glazed aluminum

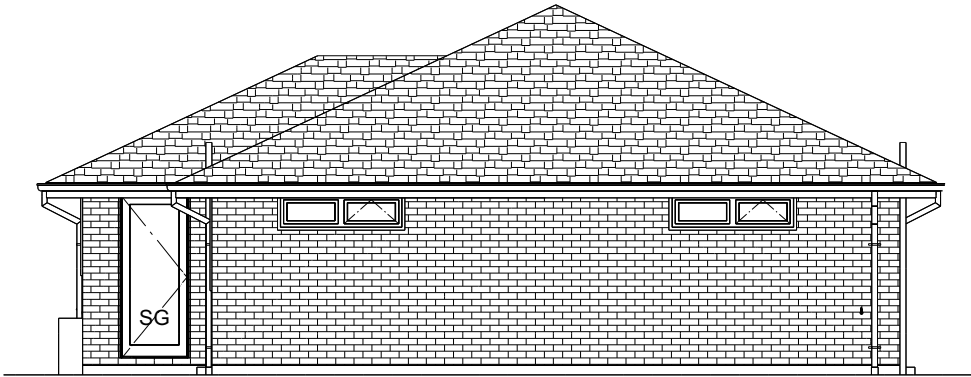
 All egress points to have a maximum step
 down of 190mm.
 Access routs to have slip resistance surface
 in compliance with NZBC D1/AS1 Table 2
 and to have a 1:100 fall away from the building

BUILDING ENVELOPE RISK MATRIX		
ELEVATION A		
RISK CRITERIA	RISK	SCORE
Wind Zone	High	1
Number of Stories	Low	0
Roof Wall Junction	Low	0
Eaves Width	Medium	1
Building Envelope	Low	0
Decks & Balconies	Low	0
Total		2




ELEVATION A

BUILDING ENVELOPE RISK MATRIX		
ELEVATION B		
RISK CRITERIA	RISK	SCORE
Wind Zone	High	1
Number of Stories	Low	0
Roof Wall Junction	Low	0
Eaves Width	Medium	1
Building Envelope	Low	0
Decks & Balconies	Low	0
Total		2



ELEVATION B

All dimensions are to be check and confirmed prior to any construction
 Plans are to be read in conjunction with Specifications and all supporting documentation

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						No.	Date:	Reason:			
						1	10-08-2022	Initial Consent Plans			
Sales: L Caldwell		Drawn: M Glynn	QS: W Xian	Print Date: 16/09/2022	Scale: 1:100 @ A3						

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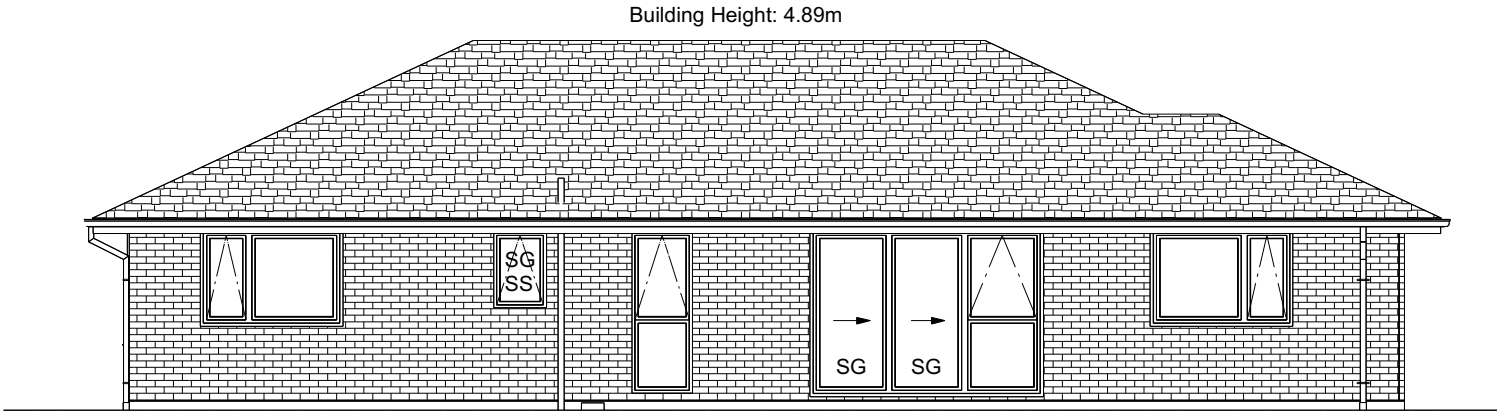
ROOF & WALL CLADDINGS
 Roof : 25° Pressed Metal Tiles
 Walls : 70 Series Brick Veneer (Clay)
 with a 50mm cavity
 Herman Pacific Cedar Weatherbaords
 (HP62) with a 20mm cavity

ELEVATION LEGEND
 SS Safety Stays
 SG Safety Glass
 MB Meter Box
 TV Terminal Vent

ELEVATION NOTES
 Gutter : Coloured Steel Quad Gutter
 Fascia : Coloured Steel185 Fascia
 Downpipes : Colorsteel Rectangular 75x55mm
 Soffits : Hardiflex 4.5mm
 Joinery : Double glazed aluminum

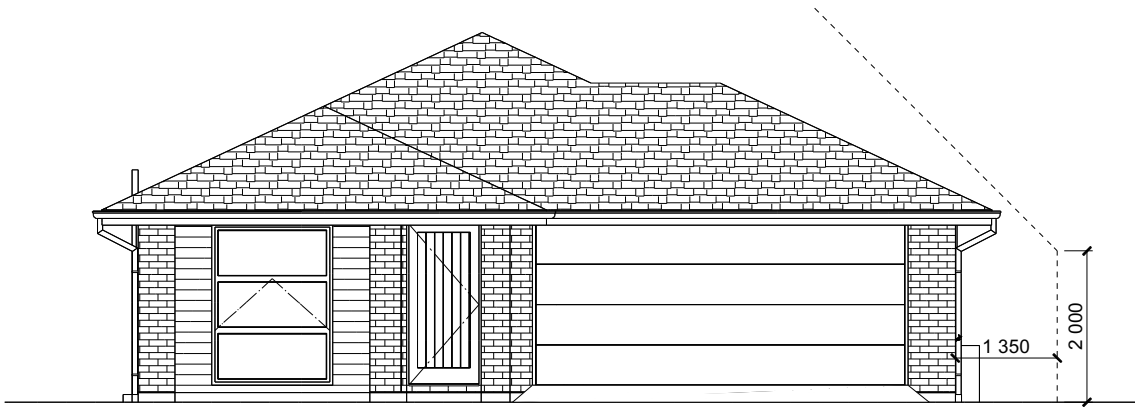
 All egress points to have a maximum step
 down of 190mm.
 Access routs to have slip resistance surface
 in compliance with NZBC D1/AS1 Table 2
 and to have a 1:100 fall away from the building

BUILDING ENVELOPE RISK MATRIX		
ELEVATION C		
RISK CRITERIA	RISK	SCORE
Wind Zone	High	1
Number of Stories	Low	0
Roof Wall Junction	Low	0
Eaves Width	Medium	1
Building Envelope	Low	0
Decks & Balconies	Low	0
Total		2




ELEVATION C

BUILDING ENVELOPE RISK MATRIX		
ELEVATION D		
RISK CRITERIA	RISK	SCORE
Wind Zone	High	1
Number of Stories	Low	0
Roof Wall Junction	Low	0
Eaves Width	Medium	1
Building Envelope	Medium	1
Decks & Balconies	Low	0
Total		3



ELEVATION D

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							No.	Date:	Reason:	
							1	10-08-2022	Initial Consent Plans	
Sales: L Caldwell		Drawn: M Glynn	QS: W Xian	Print Date: 16/09/2022	Scale: 1:100 @ A3					

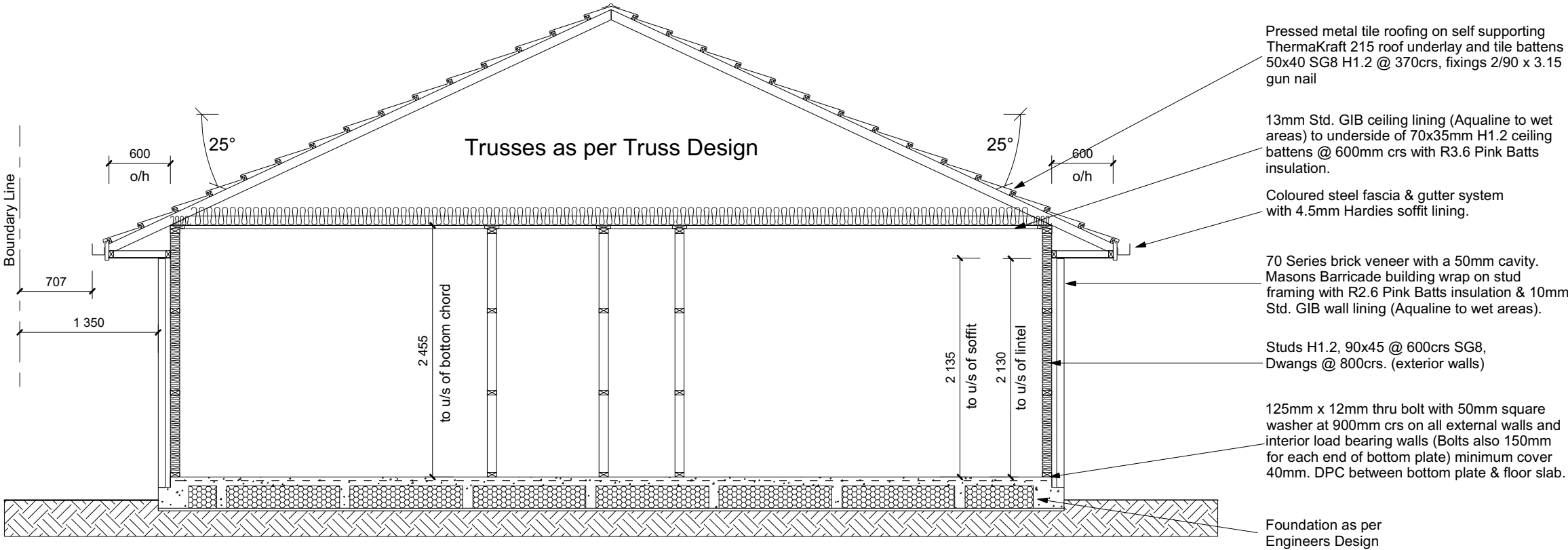
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ROOF & WALL CLADDINGS
 Roof : 25° Pressed Metal Tiles
 Walls : 70 Series Brick Veneer
 with a 50mm cavity
 Herman Pacific Cedar Weatherboards
 (HP62) with a 20mm cavity

CROSS SECTION NOTES
 Building wrap is to comply with E2/AS1 &
 NZS 3604:2011.
 Flashing materials must be selected based on
 environmental exposure. Refer to NZS
 3604:2011 & table 20 of E2/AS1.
 Flashing tape must have proven compatibility
 with the selected wrap & other materials with
 which it comes into contract as per table 21
 of E2/AS1.
 Fixings shall comply with NZS 3604:2011
 Section 4 Durability Tables 4.1-4.3
 Unless stated otherwise, timber members on
 drawings are to be a minimum of SG8
 strength graded as per NZS3604:2011.


INSULATION
 Ceiling: Pink Batts R3.6 Ceiling Batts
 Wall: Pink Batts R 2.6 Wall Batts

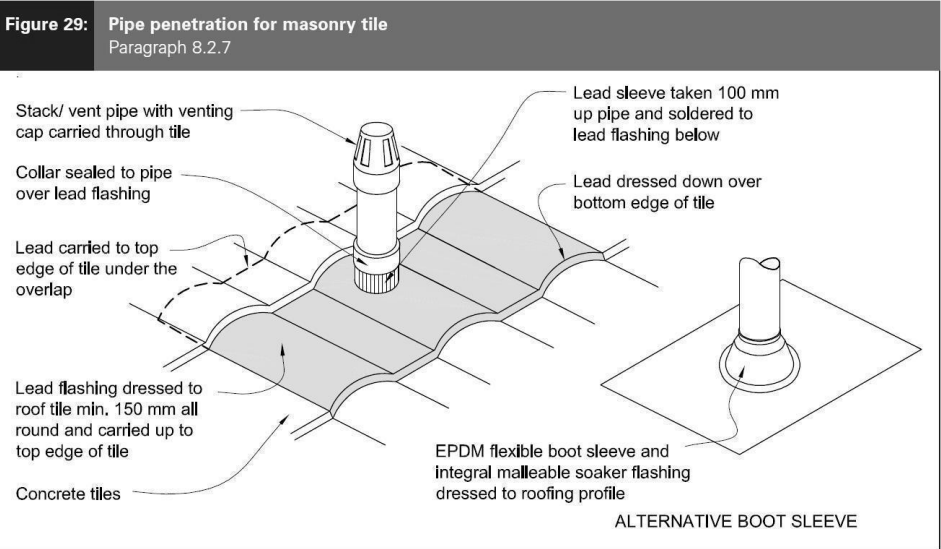


CROSS SECTION A-A

DRAWING NOTES
 These drawings are subject to copyright
 and remain the property of Signature
 Homes Ltd.
 Verify all dimensions, sizes and levels on
 site prior to commencing any work. Any
 discrepancies are to be confirmed with
 Signature Homes Ltd.
 Refer to attached Specifications for further
 information.
 All work is to comply with the NZBC
 Acceptable Solutions, NZS 3604:2011 and
 Local Authority bylaws.

All dimensions are to be check and confirmed prior to any construction
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				<table><tr><td>No.</td><td>Date:</td><td>Reason:</td></tr><tr><td>1</td><td>10-08-2022</td><td>Initial Consent Plans</td></tr><tr><td> </td><td> </td><td> </td></tr><tr><td> </td><td> </td><td> </td></tr><tr><td> </td><td> </td><td> </td></tr><tr><td> </td><td> </td><td> </td></tr></table>			No.	Date:	Reason:	1	10-08-2022	Initial Consent Plans												
				No.	Date:	Reason:																		
				1	10-08-2022	Initial Consent Plans																		
Sales: L Caldwell		Drawn: M Glynn	QS: W Xian	Print Date: 16/09/2022	Scale: 1:50 @ A3																			



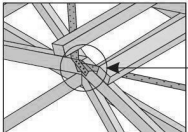
Metal Tile Penetration Detail
Scale NTS

8.3.10 Roof penetrations

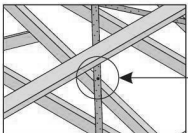
Pipe penetrations shall be flashed using *EPDM flashings* similar to that shown for masonry tiles, Figure 29.

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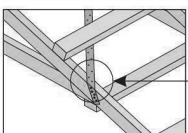
A pair of tensioned and crossed LUMBERLOK Strip Brace running continuously from ridge to top plate installed as detailed below.



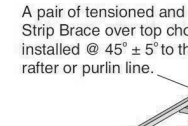
5 x 30mm x 3.15 dia. nails each end



1 x 30mm x 3.15 dia. nail at crossing (after tensioning)



5 x 30mm x 3.15 dia. nails each end



A pair of tensioned and crossed LUMBERLOK Strip Brace over top chords/rafters installed @ 45° ± 5° to the rafter or purlin line.

When purlin depth above truss chord is 50mm or less, Strip Brace can be installed over top of purlins. Fix with 1 x 30mm x 3.15 dia. nail at the purlin closest to the rafter/truss crossing.

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ROOF CLADDING

Roofing : 25° Pressed Metal Tiles
Tile Battens : 50x40 SG8 H1.2 @ 370crs, fixings 2/90 x 3.15 gun nail

ROOF PLAN NOTES

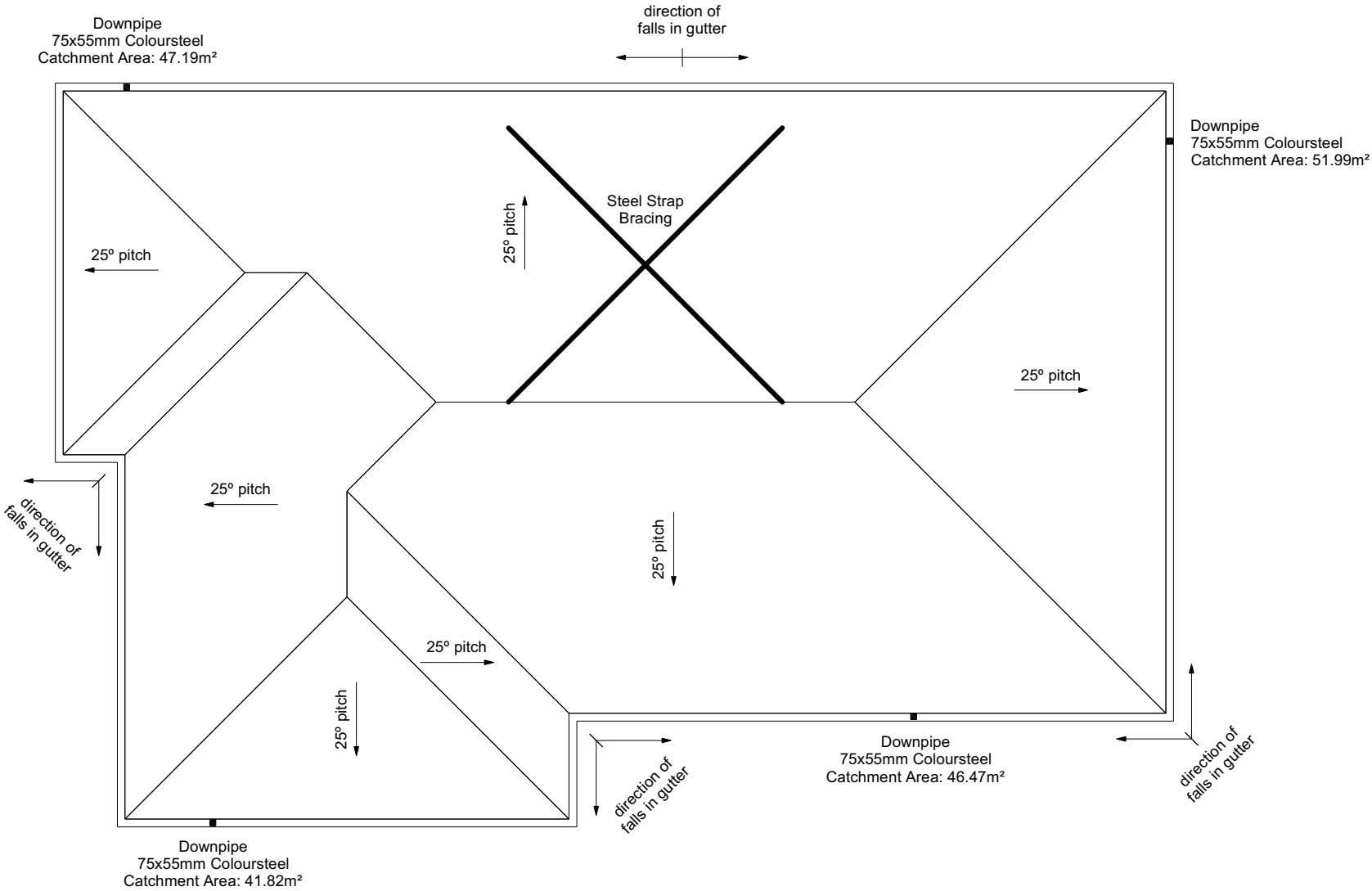
Gutter: Coloured Steel Quad Gutter
Fascia: Coloured Steel 185 Fascia
Downpipes: Colorsteel Rectangular 75x55mm
Soffits: Hardiflex 4.5mm

Underlay: Thermakraft 215 roof underlay


Downpipes: 75x55 Rectangle Colorsteel
As per NZBC E1/AS1 Table 5 75x55 down pipes can collect up to 60m² of 0-25° roof plan area.

Use Coloured steel Quad Gutter
As per NZ Metal Roof and Wall Cladding Code of Practice Version 2 section 8 the above gutter with a cross sectional area of 5550mm² can collect up to 60m² of 0-25° roof plan area. Refer to the specifications for exact calculations.

Use Lumberlock top plate fixing chart attached to the main specifications to determine top plate fixings.



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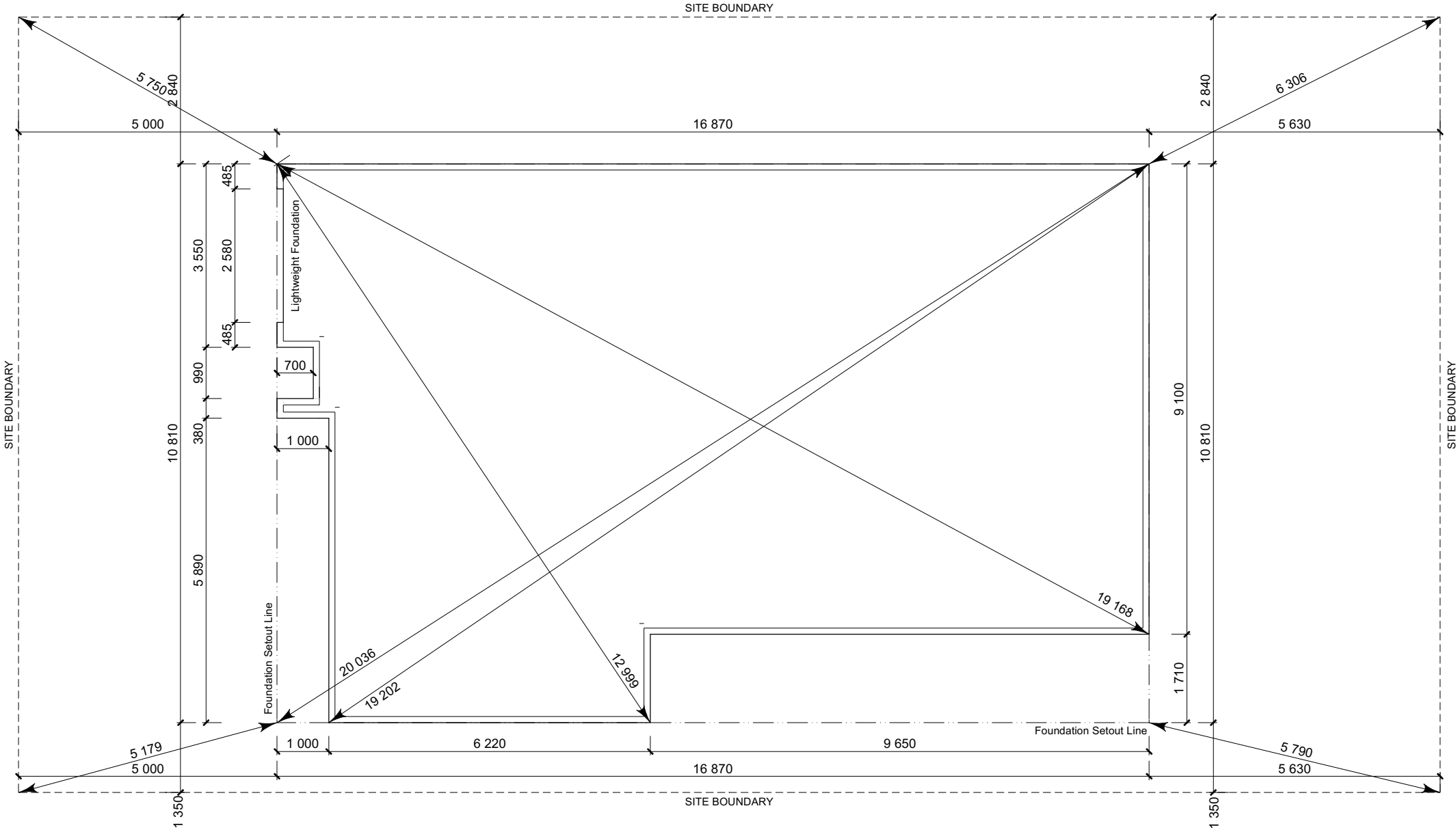
	TKR Homes Ltd. 31 Watts Road, Sockburn PO BOX 11 351 Christchurch 8443 P: +64 3 342 7788	These drawings are limited to and by the extent of the detail covered in the drawings to meet the current New Zealand Building Code (NZBC). Where detail it required for construction and to demonstrate compliance with the current NZBC, a specific request should be made for the required detail to be supplied. No liability will be accepted for any detail or construction not covered in these drawings and/or carried out by persons other than the designer producing these documents.	Jason Watson & Caitlin Lundy Lot 183 Beach Grove, Kaiapoi	Job Number: 133859 Sales: L Caldwell Drawn: M Glynn QS: W Xian	Original Plan: Rail	Sheet Name: ROOF PLAN Print Date: 16/09/2022 Scale: 1:100 @ A3	CONSENT PLANS			Sheet No.: 7 of 22 sheets
							No.	Date:	Reason:	
							1	10-08-2022	Initial Consent Plans	

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SET OUT PLAN NOTES
 All dimensions over foundation face. Allow
 (120mm rebate) 70mm veneer & 50mm
 cavity, Brick to overhang foundation face by
 0-20mm max as per NZBC E2/AS1.
 All reinforcing is to be Ductility Class E, in
 accordance with NZS 4671.
 All concrete to comply with NZS3604:2011
 Section 4 Durability Clause 4.5.2.
 These foundations are design to the findings
 and recommendations in the site specific
 Geotech report.

PROPOSED ROAD



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						No.	Date:	Reason:			
						1	10-08-2022	Initial Consent Plans			
Sales: L Caldwell		Drawn: M Glynn	QS: W Xian	Print Date: 16/09/2022	Scale: 1:100 @ A3						

Application BC221027
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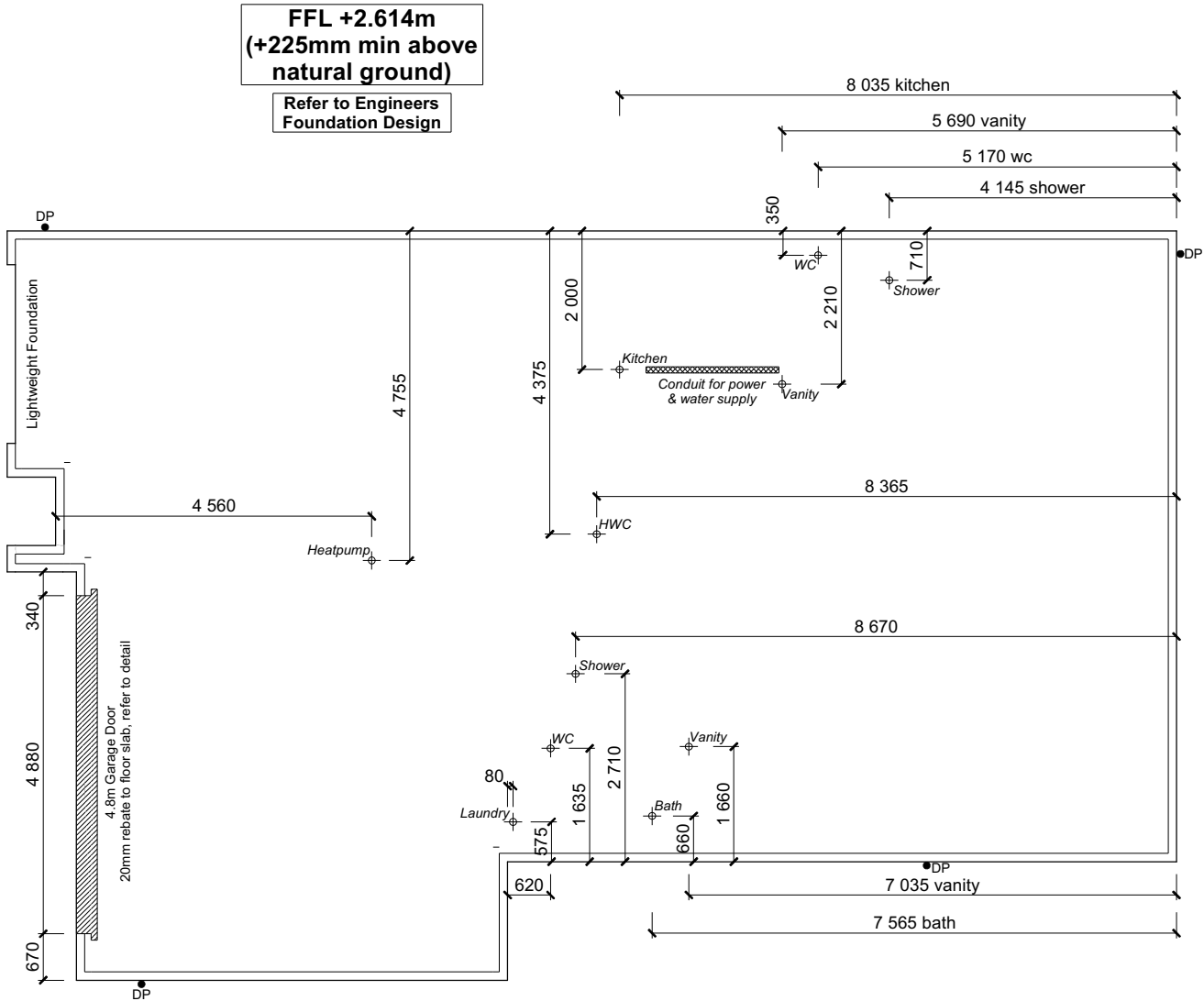
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 Regulations 1992, Clause 3
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FOUNDATION PLAN NOTES


All dimensions over foundation face. Allow (120mm rebate) 70mm veneer & 50mm cavity, Brick to overhang foundation face by 0-20mm max as per NZBC E2/AS1. W/C location indicated on plan has assumed a 140mm offset from internal frame line, please consult manufacturer's documentation to confirm offset. Contractor to consult manufacturer's documentation to determine the correct location for all wastes positioned through floor slabs. Earth bar to be bonded to the reinforcing mesh Refer to Truss design for exact location of slab thickenings

All reinforcing is to be Ductility Class E, in accordance with NZS 4671. All concrete to comply with NZS3604:2011 Section 4 Durability Clause 4.5.2.

These foundations are design to the findings and recommendations in the site specific Geotech report.



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							No.	Date:	Reason:			
							1	10-08-2022	Initial Consent Plans			
Sales: L Caldwell		Drawn: M Glynn	QS: W Xian	Print Date: 16/09/2022	Scale: 1:100 @ A3							

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Plumbing Schedule	NZBC G13	
Kitchen Sink:	Ø50mm @1:40	(3 discharge units)
Bathrooms Vanity:	Ø40mm @ 1:40	(1 discharge units per basin)
Shower:	Ø40mm @1:40	(2 discharge units)
Bath:	Ø40mm @1:40	(4 discharge units)
WC:	Ø100mm @1:40	(4 discharge units)
Laundry Sink:	Ø40mm @1:30	(5 discharge units)
Drainage Schedule	NZBC G13	
Main Foulwater Vented Drain	Ø100mm @1:60	Application BC221027 Received 15/09/22
Stormwater Drain	Ø100mm @1:60 (1:120min)	
Terminal Vent	Ø80mm	
Vent	Ø50mm	
Heatpump	Drain over GT	
ORG	Overflow Relief Gully	

Notes:

All plumbing and drainage to comply with NZBC G13.

ORG to be positioned so the top of gully dish is no less than 150mm below overflow level of lowest fixture

Sewer & Stormwater to connect to existing connections.

All drains passing through concrete, provide sleeve or wrap in durable and flexible to allow for expansion and contraction. (as per G13/AS2 5.8.1)

HWC: Safe tray to HWC with 50mm overflow drain to exterior to comply with G12/AS1.

DRAINAGE LEGEND	
-----	Stormwater DN100mm uPVC
-----	Sewer Drain DN100mm uPVC
DP	Downpipe
GT	Gully Trap
ORG	Overflow Relief Gully
TV	Terminal Vent
AAV	Air Admittance Valve
IP	Inspection Point

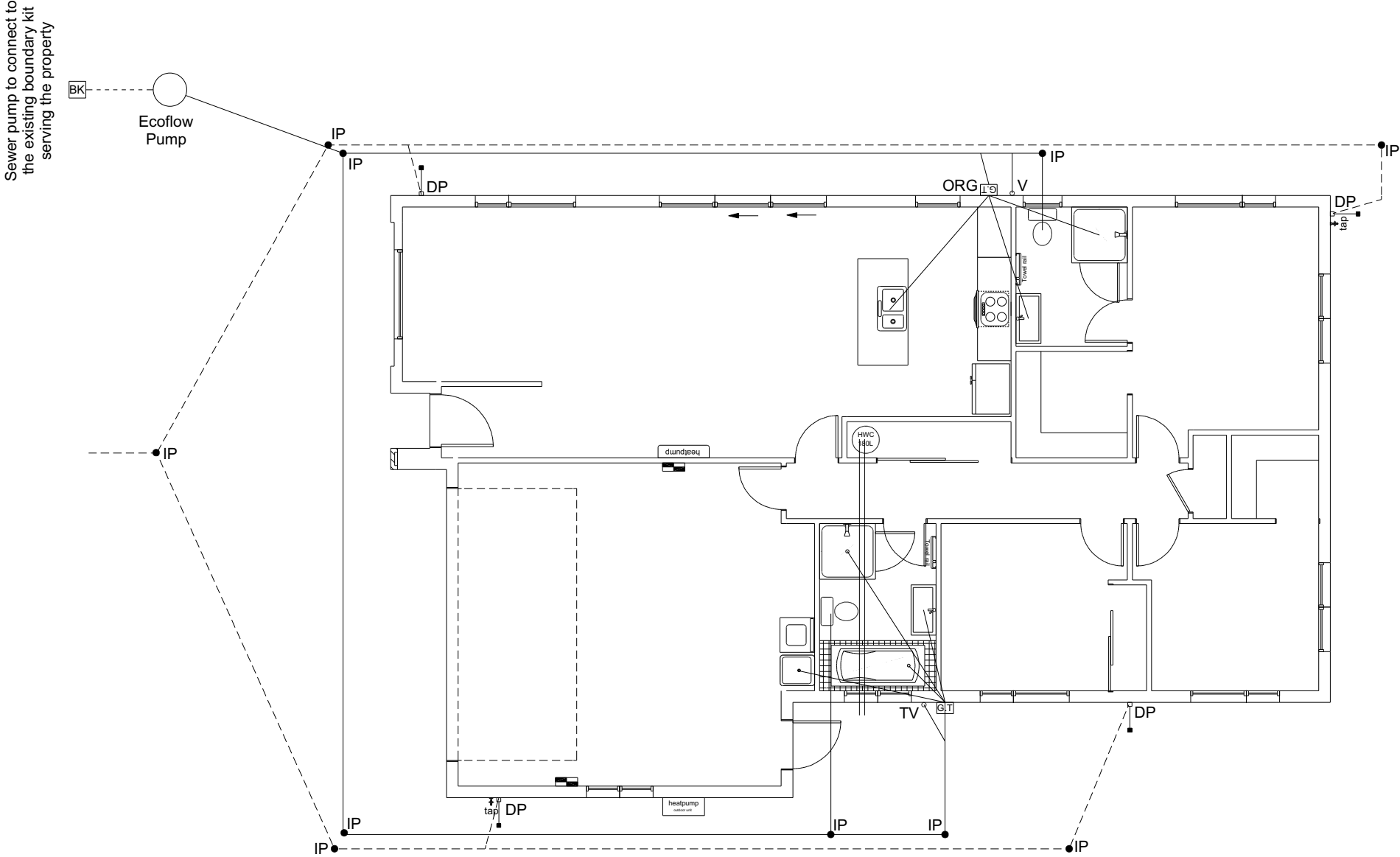
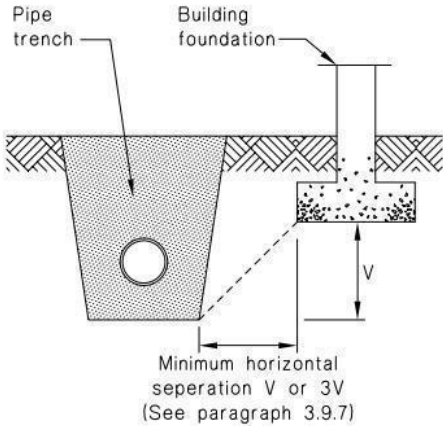



Figure 14: Relationship of Pipe Trench to Building Foundation
 Paragraph 3.9.7



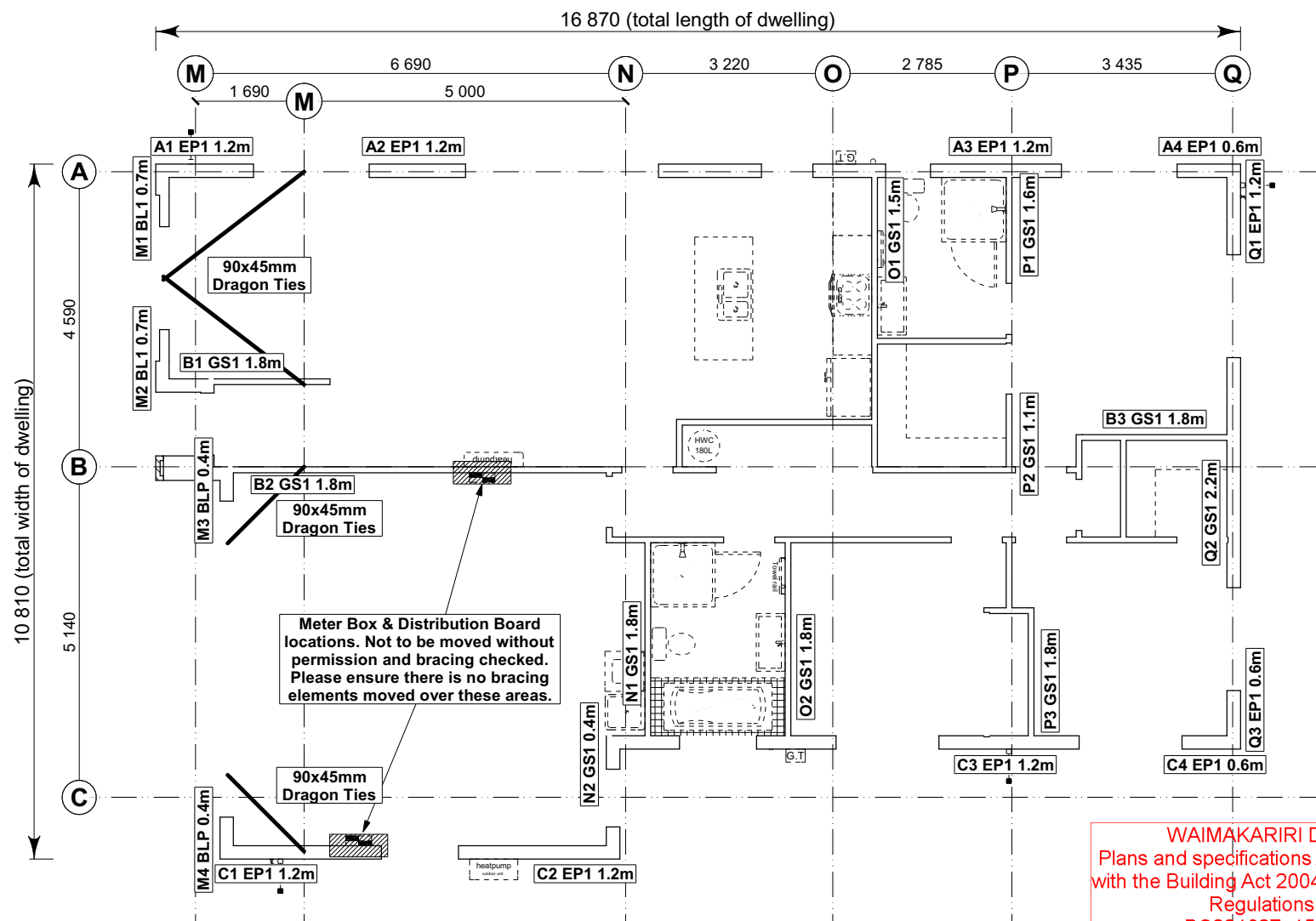
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				Sales: L Caldwell	Drawn: M Glynn	QS: W Xian	Print Date: 16/09/2022	Scale: 1:100 @ A3	No. 1	Date: 10-08-2022	Reason: Initial Consent Plans	

Bracing Designed to:	Application BC221027
Wind: High	Received 15/09/22
Earthquake: 2	

A vertical brace is shown with four labels pointing to its components:

- A** ← Brace Line Label
- 1.1m** ← Brace Length
- GS** ← Brace Type
- 1** ← Brace Number



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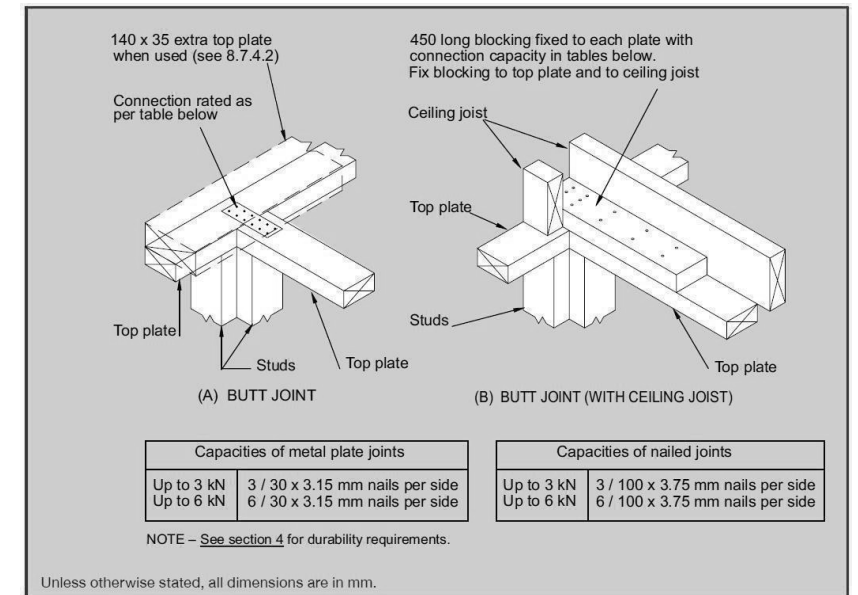
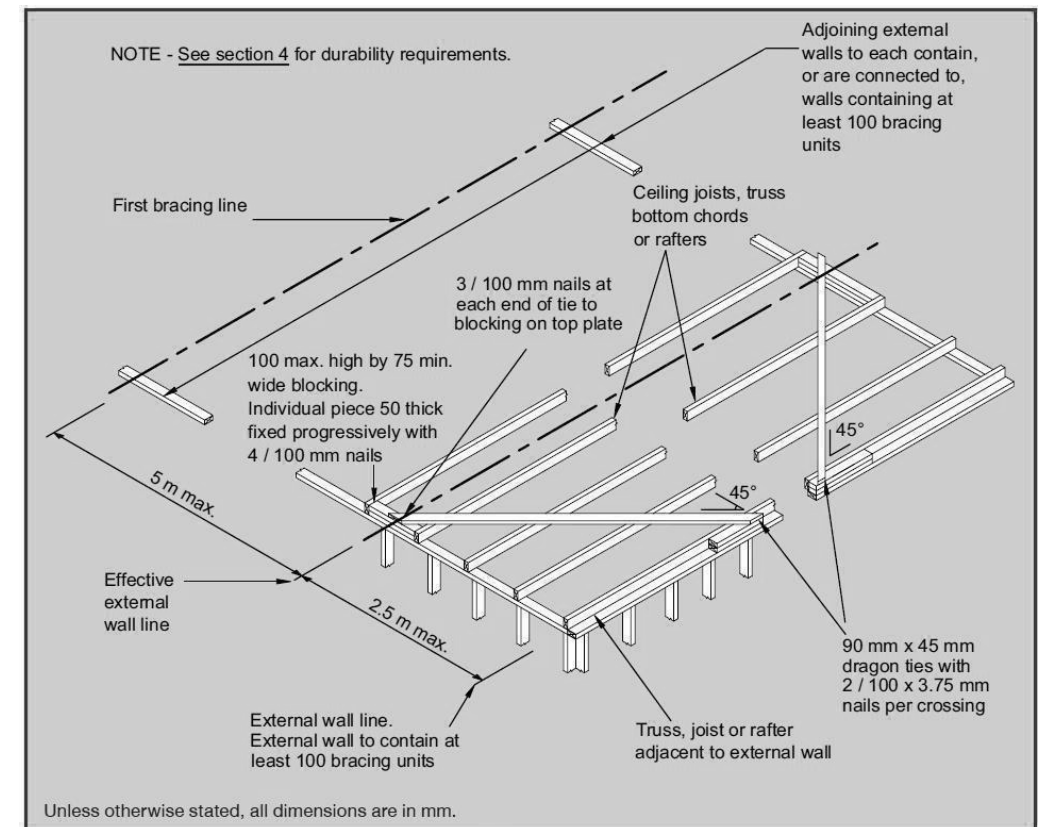



Figure 8.16 – Connecting top plates to external walls at right angles – Walls containing bracing (see 8.7.3.4)

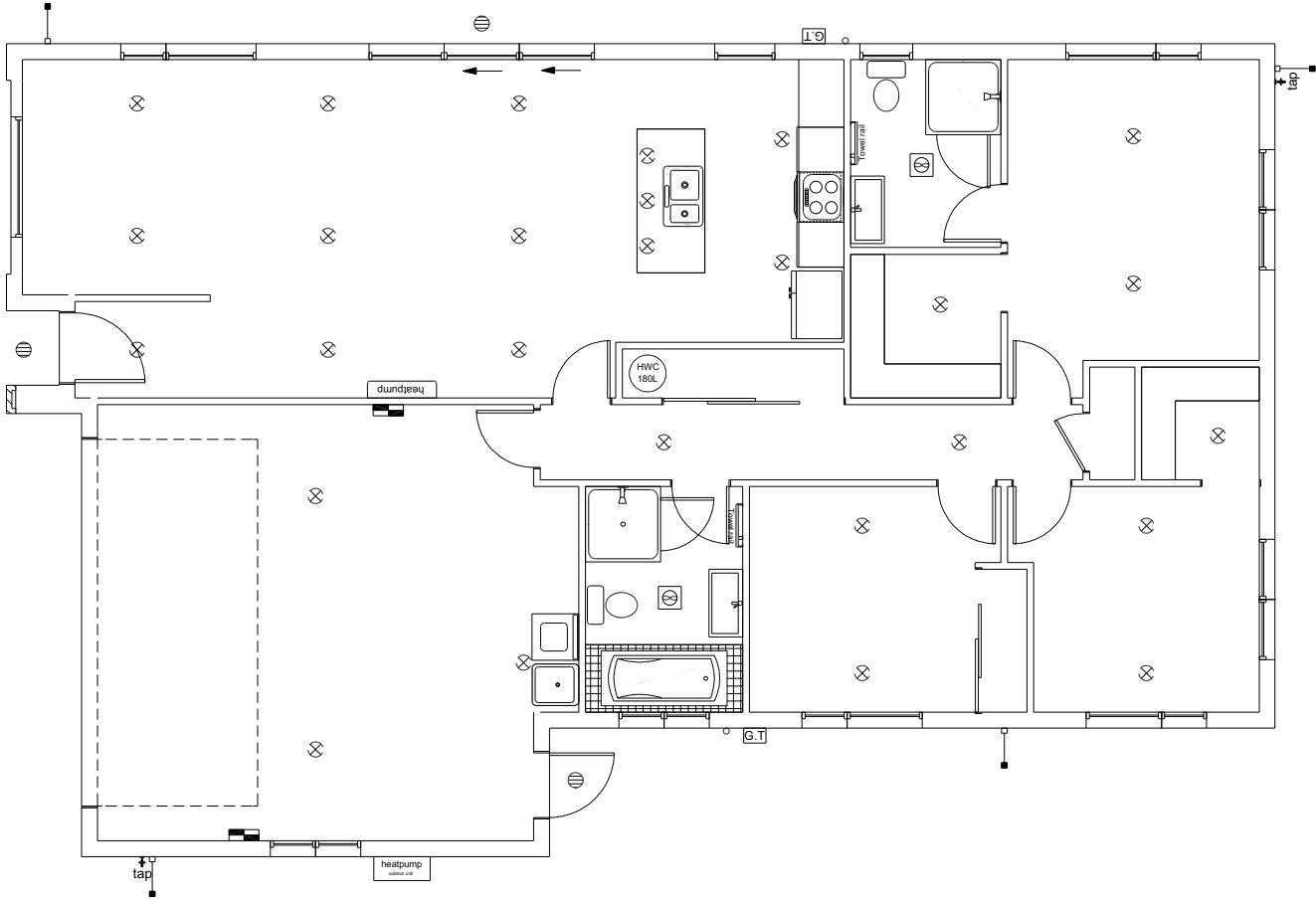
Job Name: Watson & Lundy									Wind		EQ							
									Demand				566				955	
													Achieved				1351	
													239%				149%	
Line	Element	Length (m)	Angle (degrees)	Stud Ht. (m)	Type	Supplier	Wind (BUs)	EQ (BUs)										
A	1	1.20		2.4	EP1 1.2	Ecoply®	144	162										
	2	1.20		2.4	EP1 1.2	Ecoply®	144	162										
	3	1.20		2.4	EP1 1.2	Ecoply®	144	162										
	4	0.60	2.4	EP1 0.6	Ecoply®	57	63											
										489 OK		549 OK						
B	1	1.80		2.4	GS1-N	GIB®	124	108										
	2	1.80		2.4	GS1-N	GIB®	124	108										
	3	1.80		2.4	GS1-N	GIB®	124	108										
									373 OK		324 OK							
C	1	1.20		2.4	EP1 1.2	Ecoply®	144	162										
	2	1.20		2.4	EP1 1.2	Ecoply®	144	162										
	3	1.20		2.4	EP1 1.2	Ecoply®	144	162										
	4	0.60	2.4	EP1 0.6	Ecoply®	57	63											
										489 OK		549 OK						

Job Name: Watson & Lundy									Wind		EQ	
									Demand			
									893		955	
									Achieved			
Line	Element	Length (m)	Angle (degrees)	Stud HL (m)	Type	Supplier	Wind (BUs)	EQ (BUs)	1276 143%	1206 126%		
M	1	0.70		2.4	BL1-H	GIB®	73	71				
	2	0.70		2.4	BL1-H	GIB®	73	71				
	3	0.40		2.4	BLP-H	GIB®	48	54				
	4	0.40		2.4	BLP-H	GIB®	48	54				
N	1	1.80		2.4	GS1-N	GIB®	124	108	242 OK	250 OK		
	2	0.40		2.4	GS1-N	GIB®	21	23	145 OK			
O	1	1.50		2.4	GS1-N	GIB®	104	90	228 OK			
	2	1.80		2.4	GS1-N	GIB®	124	108				
P	1	1.60		2.4	GS1-N	GIB®	110	96	308 OK			
	2	1.10		2.4	GS1-N	GIB®	74	66				
	3	1.80		2.4	GS1-N	GIB®	124	108				
Q	1	1.20		2.4	EP1 1.2	Ecopoly®	144	162	353 OK			
	2	2.20		2.4	GS1-N	GIB®	152	132				
	3	0.60		2.4	EP1 0.6	Ecopoly®	57	63				
									357 OK	357 OK		



 <p>Signature HOMES EST. 1983</p> <p>YOUR HOME. YOUR WAY.</p>	<p>TKR Homes Ltd. 31 Watts Road, Sockburn PO BOX 11 351 Christchurch 8443</p> <p>P: +64 3 342 7788</p>	<p>These drawings are limited to and by the extent of the detail covered in the drawings to meet the current New Zealand Building Code (NZBC). Where detail is required for construction and to demonstrate compliance with the current NZBC, a specific request should be made for the required detail to be supplied. No liability will be accepted for any detail or construction not covered in these drawings and/or carried out by persons other than the designer producing these documents.</p>	<p>Jason Watson & Caitlin Lundy</p> <p>Lot 183 Beach Grove, Kaiapoi</p>	<p>Job Number: 133859</p>	<p>Original Plan: Rail</p>	<p>Sheet Name: BRACING PLAN</p>	<p>CONSENT PLANS</p> <table border="1"> <tr> <th>No.</th> <th>Date:</th> <th>Reason:</th> </tr> <tr> <td>1</td> <td>10-08-2022</td> <td>Initial Consent Plans</td> </tr> <tr><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td></tr> </table>			No.	Date:	Reason:	1	10-08-2022	Initial Consent Plans																<p>Sheet No.: 11 of 22 sheets</p>
	No.	Date:	Reason:																												
	1	10-08-2022	Initial Consent Plans																												
<p>Sales: L Caldwell</p>	<p>Drawn: M Glynn</p>	<p>QS: W Xian</p>	<p>Print Date: 16/09/2022</p>	<p>Scale: 1:100 @ A3</p>																											

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LEGEND

Refer to Electrical Section in Specification for further details

Ceiling Pan

CA Approved Down Light

Exterior Bulkhead Light

Exterior Wall Light

Fluorescent Double

Light Switch

Two Way Light Switch

Single Power Socket

Double Power Socket

Outside Waterproof Plug

Telephone/Data Outlet

TV Jack


Sky Connection

Bathroom Heater

Bathroom Extractor/Light

Electrical Plan in indicative only and is to be confirmed onsite with electrician and client

All dimensions are to be check and confirmed prior to any construction
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				133859	Rail	LIGHTING PLAN	No.	Date:	Reason:		
							1	10-08-2022	Initial Consent Plans		
Sales:	Drawn:	QS:	Print Date:	Scale:				of 22 sheets			
L Caldwell	M Glynn	W Xian	16/09/2022	1:100 @ A3							

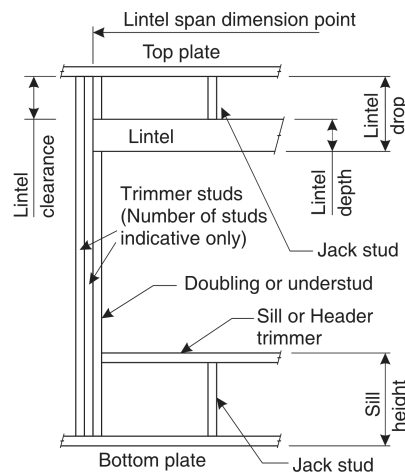


LINTEL FIXING SCHEDULE ALTERNATIVE TO TABLE 8.14 & FIGURE 8.12 NZS 3604:2011

NOTE:

- ★ All fixings are designed for vertical loads only. Dead loads include the roof weight and standard ceiling weight of 0.20kPa.
- ★ Refer to Table 8.19 NZS 3604:2011 for nailing schedule to resist horizontal loads.
- ★ These fixings assume the correct choice of rafter/truss to top plate connections have been made.
- ★ All fixings assume bottom plate thickness of 45mm maximum. Note: TYLOK options on timber species.
- ★ Wall framing arrangements under girder trusses are not covered in this schedule.
- ★ All timber selections are as per NZS 3604:2011.

DEFINITIONS



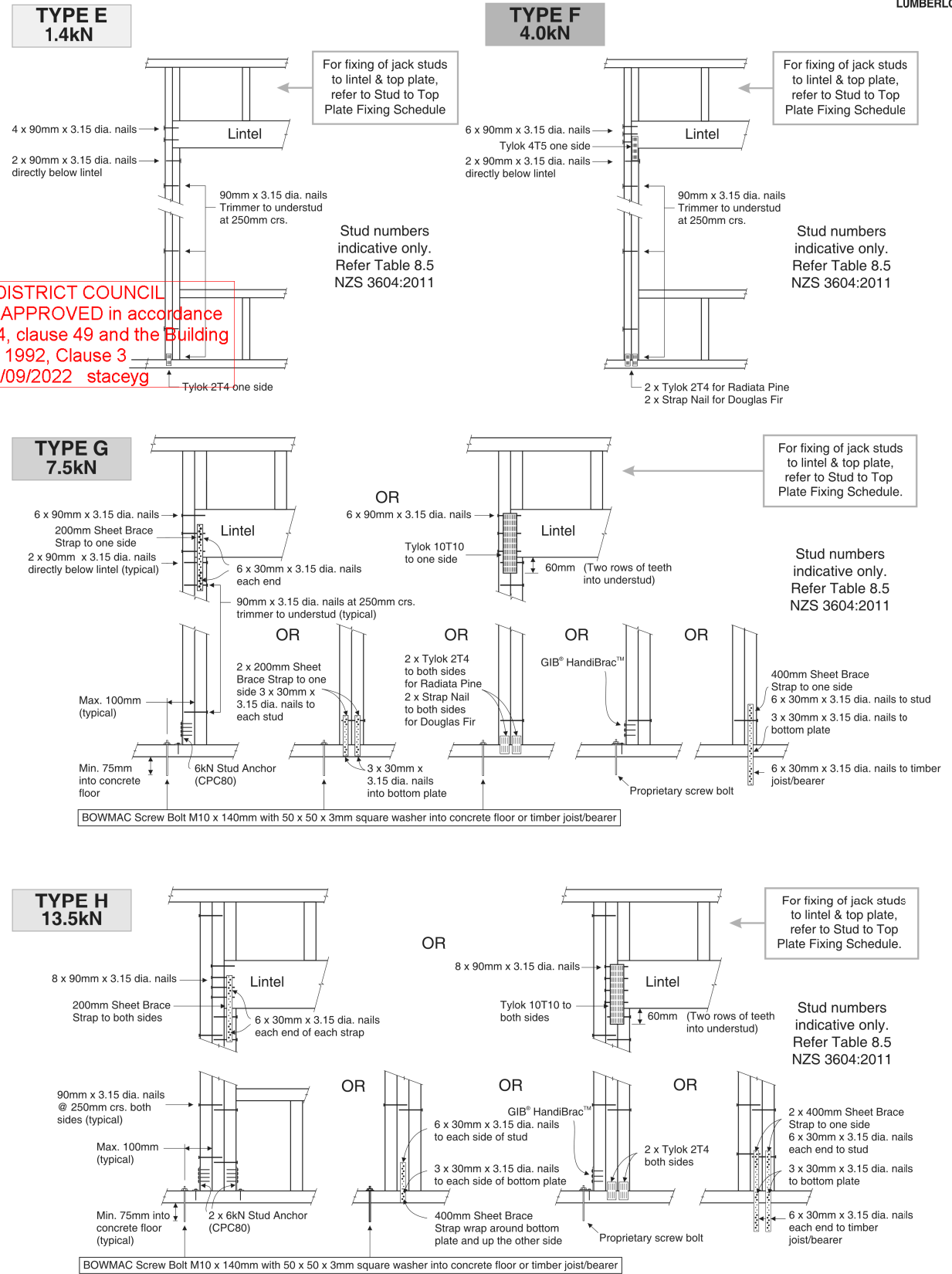
Lintel Supporting Girder Trusses						
Roof Tributary Area	Light Roof			Heavy Roof		
	Wind Zone			Wind Zone		
	L, M, H	VH	EH	L, M, H	VH	EH
8.6m ²	G	G	H	G	G	H
11.6m ²	G	H	H	G	G	H
12.1m ²	G	H	H	G	H	H
15.3m ²	H	H	-	G	H	H
19.1m ²	H	-	-	G	H	-
20.9m ²	H	-	-	H	H	-
21.8m ²	H	-	-	H	-	-
34.3m ²	-	-	-	H	-	-

NOTES:


1. Roof Tributary Area = approx. 1/2 x (Total roof area on girder and rafter trusses supported by lintel)
2. Assumed girder truss is at mid-span or middle third span of lintel
3. Use similar fixings for both ends of lintel
4. All other cases require specific engineering design

Lintel Span (m)	Loaded Dimension (m) (See Fig. 1.3 NZS 3604:2011)	Light Roof Wind Zone					Heavy Roof Wind Zone				
		L	M	H	VH	EH	L	M	H	VH	EH
1.0	2.0	E	E	E	F	F	E	E	E	F	F
	3.0	E	E	F	F	F	E	E	F	F	F
	4.0	E	F	F	F	G	E	E	F	F	F
	5.0	E	F	F	G	G	E	E	F	F	G
	6.0	E	F	F	G	G	E	E	F	F	G
1.2	2.0	E	E	F	F	F	E	E	F	F	F
	3.0	E	E	F	F	F	E	E	F	F	F
	4.0	E	F	F	G	G	E	E	F	F	G
	5.0	E	F	F	G	G	E	E	F	F	G
	6.0	F	F	G	G	H	E	E	F	F	G
1.5	2.0	E	E	F	F	F	E	E	F	F	F
	3.0	E	F	F	G	G	E	E	F	F	G
	4.0	E	F	F	G	G	E	E	F	F	G
	5.0	F	F	G	G	H	E	E	F	G	H
	6.0	F	F	G	H	H	E	E	F	G	H
2.0	2.0	E	F	F	F	G	E	E	F	F	F
	3.0	E	F	F	G	G	E	E	F	F	G
	4.0	F	F	G	G	H	E	E	F	G	G
	5.0	F	F	G	H	H	E	E	F	G	H
	6.0	F	G	G	H	H	E	F	G	H	H
2.4	2.0	E	F	F	G	G	E	E	F	G	H
	3.0	F	F	G	G	H	E	E	F	G	H
	4.0	F	F	G	G	H	E	E	F	G	H
	5.0	F	G	G	H	H	E	F	G	H	H
	6.0	F	G	H	H	-	E	F	G	H	H
3.0	2.0	E	F	F	G	G	E	E	F	G	H
	3.0	F	F	G	H	H	E	E	F	G	H
	4.0	F	G	G	H	H	E	F	G	H	H
	5.0	F	G	H	H	-	E	F	G	H	H
	6.0	F	G	H	-	-	E	F	G	H	-
3.6	2.0	F	F	G	G	H	E	E	F	G	G
	3.0	F	G	H	H	-	E	F	G	G	H
	4.0	F	G	H	H	-	E	F	G	H	H
	5.0	F	G	H	-	-	E	F	G	H	-
	6.0	G	H	H	-	-	E	F	H	-	-
4.2	2.0	F	F	G	G	H	E	E	F	G	G
	3.0	F	G	H	H	-	E	F	G	H	H
	4.0	F	G	H	-	-	E	F	G	H	-
	5.0	G	H	H	-	-	E	F	H	-	-
	6.0	G	H	-	-	-	E	F	H	-	-
4.5	2.0	F	F	G	H	H	E	E	F	G	H
	3.0	F	G	H	H	-	E	F	G	H	H
	3.4	F	G	H	H	-	E	F	G	H	H
	4.0	F	G	H	-	-	E	F	G	H	-
	5.0	G	H	-	-	-	E	F	H	-	-
4.8	2.0	F	F	G	H	H	E	E	F	G	H
	3.0	F	G	H	H	-	E	F	G	H	H
	3.2	F	G	H	H	-	E	F	G	H	H
	4.0	F	G	H	-	-	E	F	H	H	-
	5.0	G	H	-	-	-	E	F	H	-	-
5.1	2.0	F	F	G	H	H	E	E	F	G	H
	3.0	F	G	H	H	-	E	F	G	H	H
	3.5	F	G	H	-	-	E	F	G	H	-
	4.0	G	G	H	-	-	E	F	H	H	-
	5.0	G	H	-	-	-	E	F	H	-	-
5.4	2.0	F	F	G	H	H	E	E	F	G	H
	2.8	F	G	H	H	-	E	F	G	H	H
	3.0	F	G	H	-	-	E	F	G	H	-
	4.0	G	H	H	-	-	E	F	H	-	-
	5.0	G	H	-	-	-	E	F	H	-	-
	6.0	G	H	-	-	-	E	G	H	-	-

LINTEL FIXING OPTIONS



All dimensions are to be check and confirmed prior to any construction
 Plans are to be read in conjunction with Specifications and all supporting documentation

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				133859	Rail	FRAMING DETAILS	No.	Date:	Reason:		
							1	10-08-2022	Initial Consent Plans		
Sales:	Drawn:	QS:	Print Date:	Scale:				13			
L Caldwell	M Glynn	W Xian	16/09/2022	NTS @ A3							
of 22 sheets											

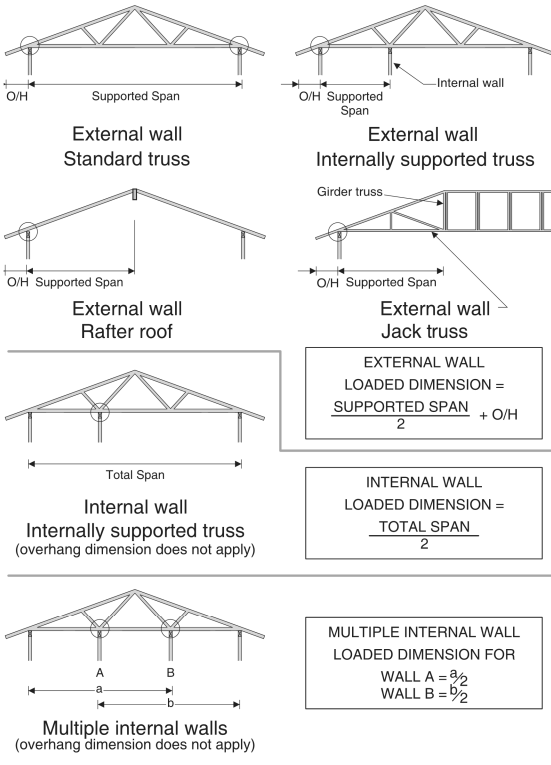


STUD TO TOP PLATE FIXING SCHEDULE ALTERNATIVE TO TABLE 8.18 NZS 3604:2011

NOTE:

- ★ All fixings are designed to resist vertical loads only. Dead loads include the roof weight and standard ceiling weight of 0.20kPa.
- ★ Refer to Table 8.19 NZS 3604:2011 for nailing schedule to resist lateral loads.
- ★ These fixings assume the correct choice of rafter/truss to top plate connections have been made.
- ★ For gable end walls where the adjacent rafter/truss is located within 1200mm and with a maximum verge overhang of 750mm, select stud to top plate fixing using a loaded dimension of 1.5m.
- ★ All fixings assume top plate thickness of 45mm maximum.
- ★ Wall framing arrangements under girder trusses are not covered in this schedule.
- ★ All timber selections are as per NZS 3604:2011.

LOADED DIMENSION DEFINITION



FIXING SELECTION CHART

(Suitable for walls supporting roof members at 600, 900 or 1200mm crs.)
 Wind Zones L, M, H, VH, EH, as per NZS 3604:2011

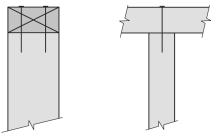
Loaded Dimension (m) Stud Centres			Light Roof Wind Zone					Heavy Roof Wind Zone				
300mm	400mm	600mm	L	M	H	VH	EH	L	M	H	VH	EH
3.0	2.3	1.5	A	A	B	B	B	A	A	B	B	B
4.0	3.0	2.0	A	A	B	B	B	A	A	B	B	B
5.0	3.8	2.5	A	B	B	B	B	A	A	B	B	B
6.0	4.5	3.0	A	B	B	B	B	A	A	B	B	B
7.0	5.3	3.5	A	B	B	B	B	A	A	B	B	B
8.0	6.0	4.0	A	B	B	B	B	A	A	B	B	B
9.0	6.8	4.5	B	B	B	B	B	A	A	B	B	B
10.0	7.5	5.0	B	B	B	B	B	A	A	B	B	B
11.0	8.3	5.5	B	B	B	B	B	A	A	B	B	B
12.0	9.0	6.0	B	B	B	B	B	A	A	B	B	B

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FIXING OPTIONS

FIXING TYPE A 0.7kN

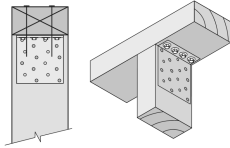
2 x 90mm x 3.15 dia. plain steel
 wire nails driven vertically into stud.



FIXING TYPE B 4.7kN

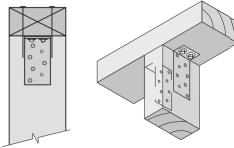
CHOOSE ANY OF THE 3 OPTIONS BELOW

2 x 90mm x 3.15 dia. plain steel
 wire nails driven vertically into stud.



Plus
 LUMBERLOK
 6kN Stud Anchor
 (CPC80)

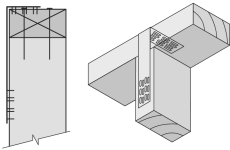
2 x 90mm x 3.15 dia. plain steel
 wire nails driven vertically into stud.



Plus
 2 x LUMBERLOK
 CPC40

Recommended for internal wall options to avoid lining issues

2 x 90mm x 3.15 dia. plain steel
 wire nails driven vertically into stud.



Plus
 LUMBERLOK
 Stud Strap
 (one face only)

NOTE:

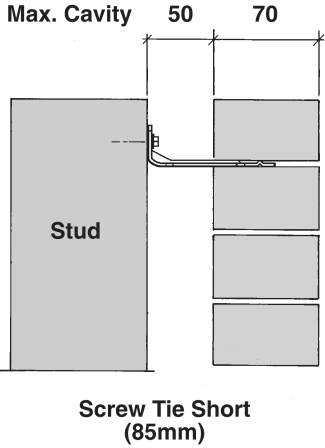
To calculate the number of B type fixings required, divide the wall length by the stud centres, add 1 to this figure and locate this number of fixings as evenly as possible along the wall length. This figure includes the start and end studs in each wall length.



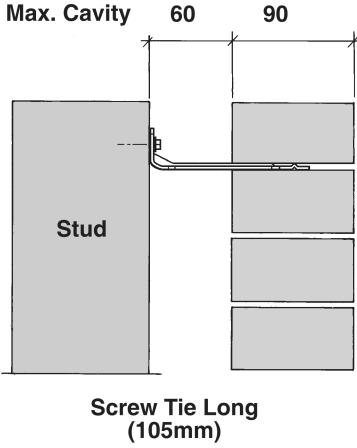
SCAN FOR
 INSTALLATION
 VIDEO

<https://vimeo.com/117353604>

70 SERIES BRICK



90 SERIES BRICK



- ★ All brick work must be constructed in accordance with NZS 4210:2001 Masonry Construction:Materials and Workmanship. Screw Ties must be applied accordingly and are not to be hammered into timber framing.
- ★ Water shedding shoulder prevents transfer of the moisture from tie to building.
- ★ Nail hole for Oamaru Stone.
- ★ Angled neck encourages increased tie embedment in mortar.

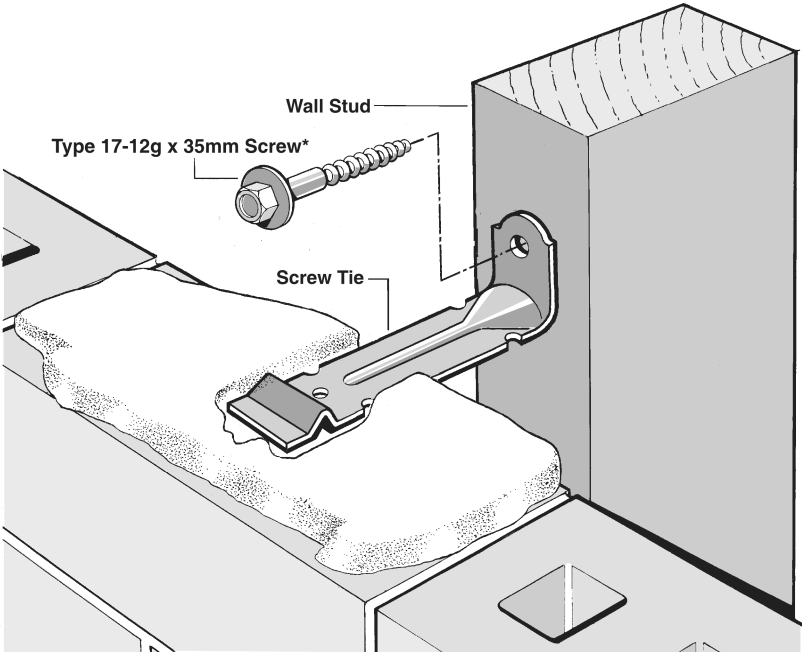
Material: 1.2mm NZCC-SD Hot Dip Galvanised Steel
Screws: Type 17-12g x 35mm Hex Head Hot Dip Galvanised Screws
Packed: 250 ties per box including screws

Also available in Stainless Steel Grade 316 for Zone D.

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 Regulations 1992, Clause 3
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SCREW TIES FOR BRICK VENEER FIXING

- ★ Medium duty (EM) classification
- ★ Tested by BRANZ in accordance with AS/NZS 2699.1:2000
- ★ BRANZ test report No. ST0725 November 2007
- ★ Suitable for both 'dry bedding' and encapsulated mortar
- ★ Hot Dip Galvanised ties for Zones B & C, and Stainless Steel Grade 316 ties for Zone D meet NZS 3604:2011 Sect. 4 Durability
- ★ Available in 85mm and 105mm sizes



***NOTE:**
 Use longer screws for fixing through Rigid Air Barrier (RAB). Maintain 35mm embedment in studs.


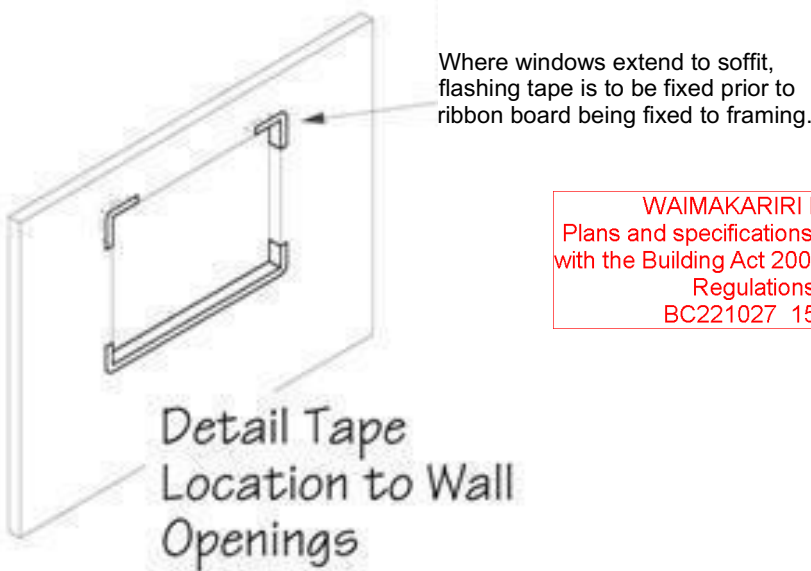
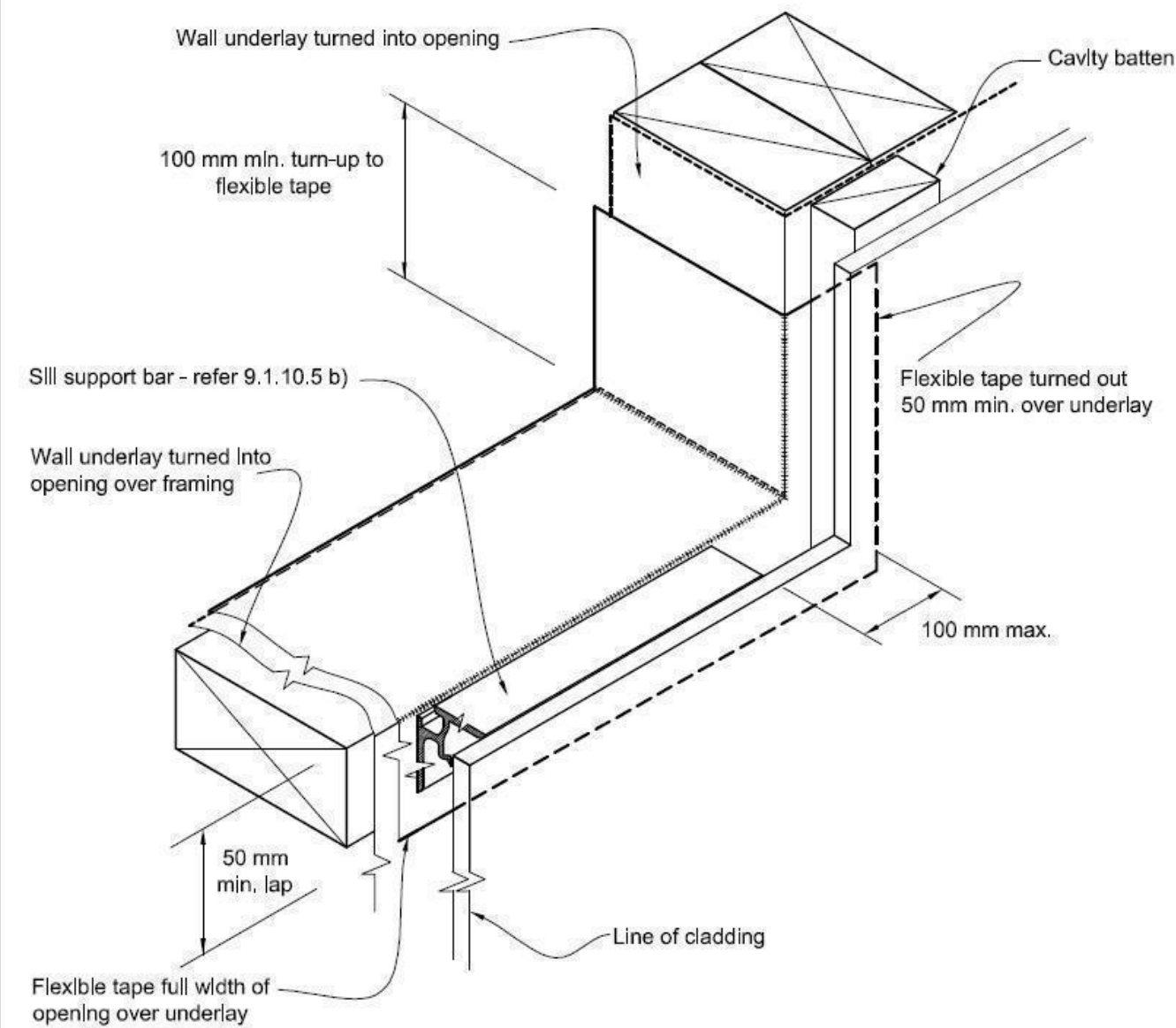
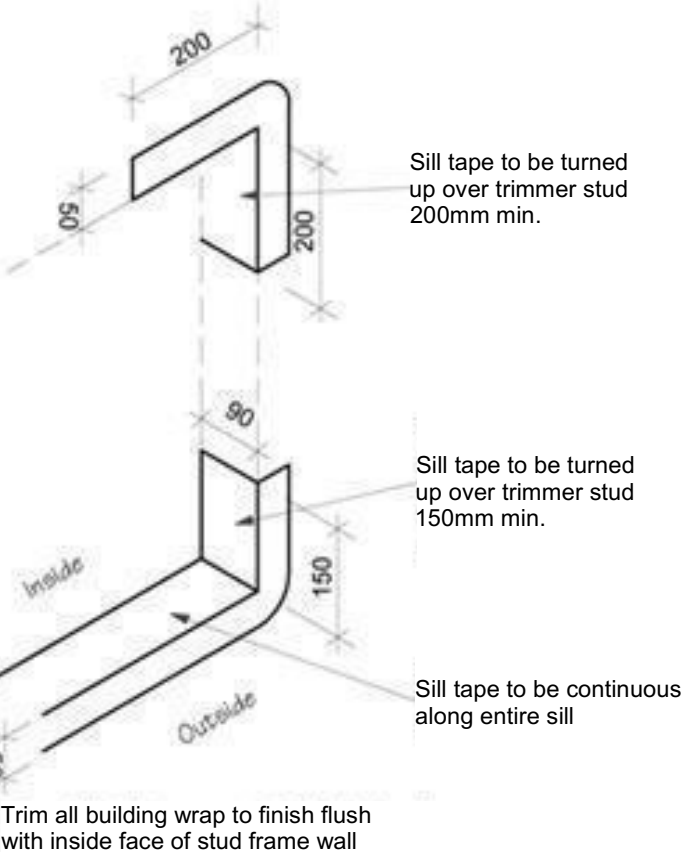
 <div>Signature HOMES Est. 1993</div> <div>YOUR HOME. YOUR WAY.</div>	<div>TKR Homes Ltd.</div> <div>31 Watts Road, Sockburn</div> <div>PO BOX 11 351</div> <div>Christchurch 8443</div> <div>P: +64 3 342 7788</div>	<div>These drawings are limited to and by the extent of the detail covered in the drawings to meet the current New Zealand Building Code (NZBC). Where detail is required for construction and to demonstrate compliance with the current NZBC, a specific request should be made for the required detail to be supplied. No liability will be accepted for any detail or construction not covered in these drawings and/or carried out by persons other than the designer producing these documents.</div>	<div>Jason Watson & Caitlin Lundy</div> <div>Lot 183</div> <div>Beach Grove, Kaiapoi</div>	Job Number:		Original Plan:		Sheet Name:		CONSENT PLANS			Sheet No.:				
				133859		Rail		FRAMING DETAILS		Print Date: 16/09/2022		Scale: NTS @ A3		No.	Date:	Reason:	14
														1	10-08-2022	Initial Consent Plans	
				Sales:		Drawn:		QS:								of 22 sheets	
				L Caldwell		M Glynn		W Xian									

Figure 72B: General window and door opening with drainage cavity
 Paragraphs 9.1.5, 9.1.9.3, 9.1.10.2, Figures 73C, 76, 85, 86, 91, 99, 116 and 128

NOTE:
 (1) Detailed *cladding* omitted for clarity, refer to specific *claddings*.
 (2) Head to be treated similarly with continuous *wall underlay* and *flexible tape* at corners.
 (3) Refer individual cladding details for jamb flashings.




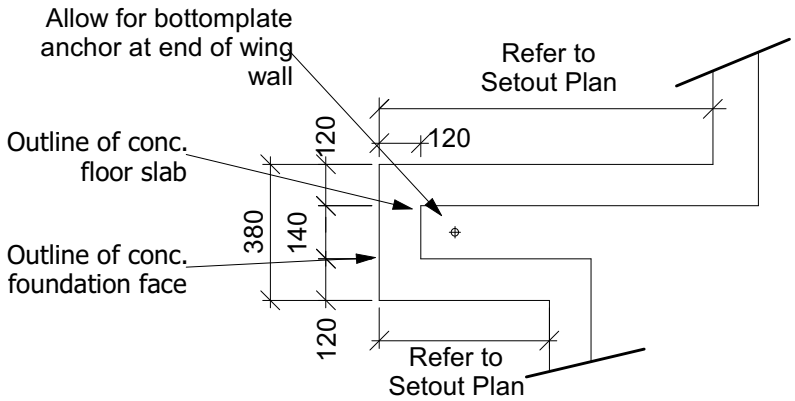
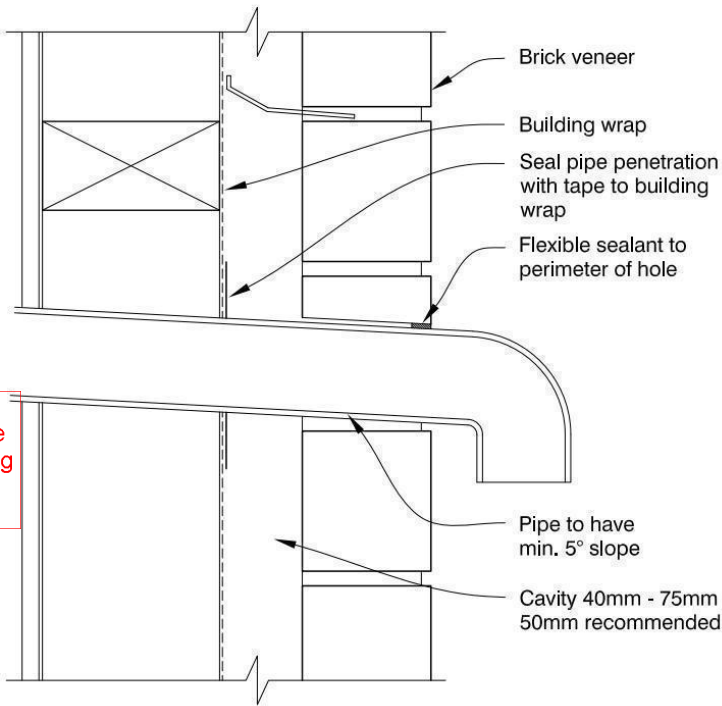
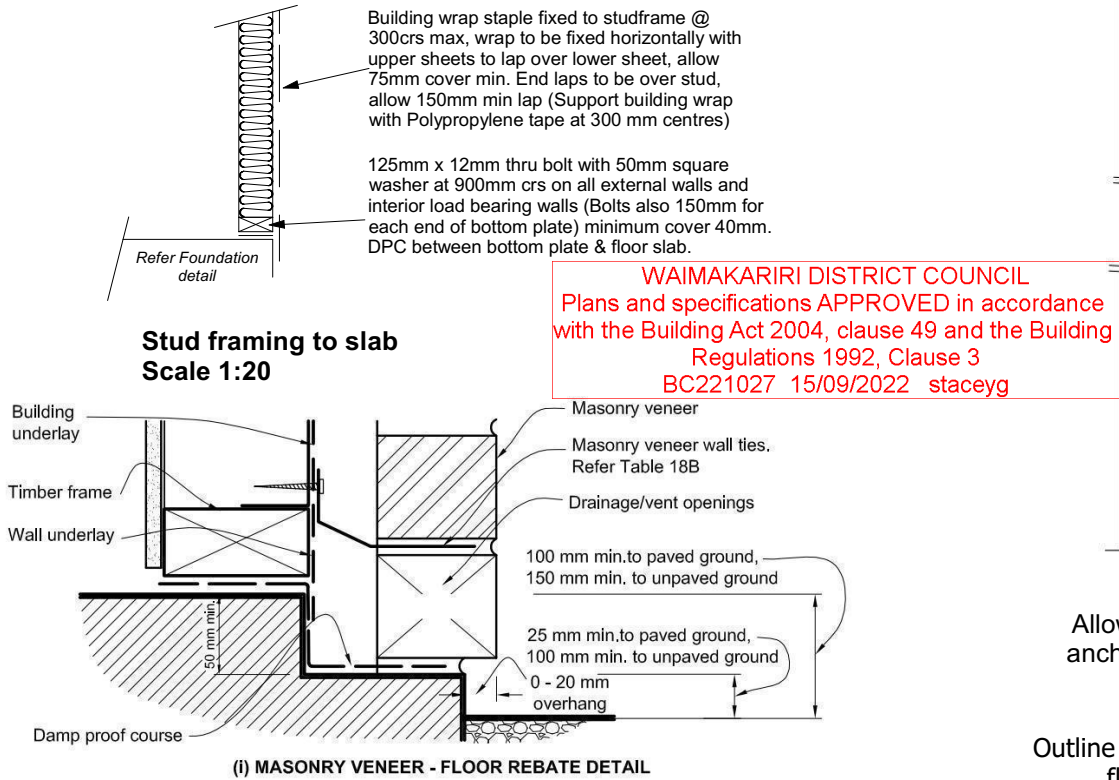
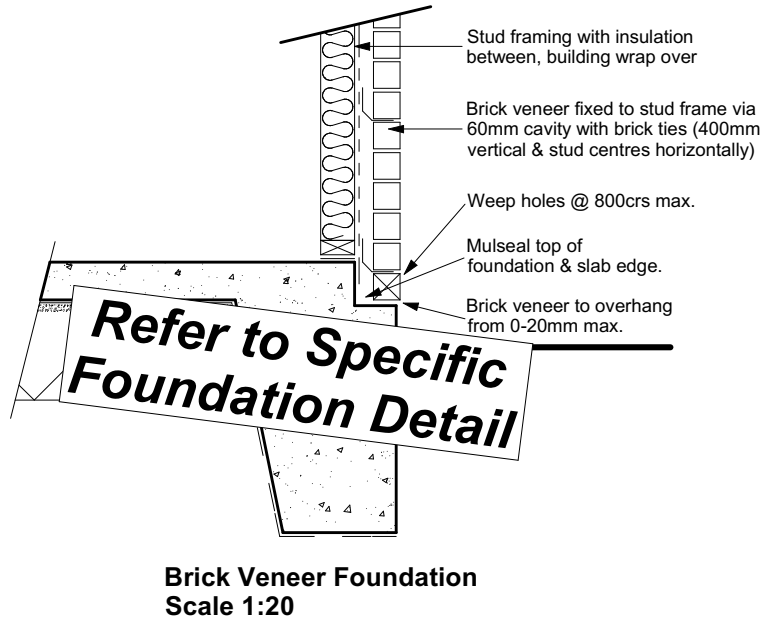
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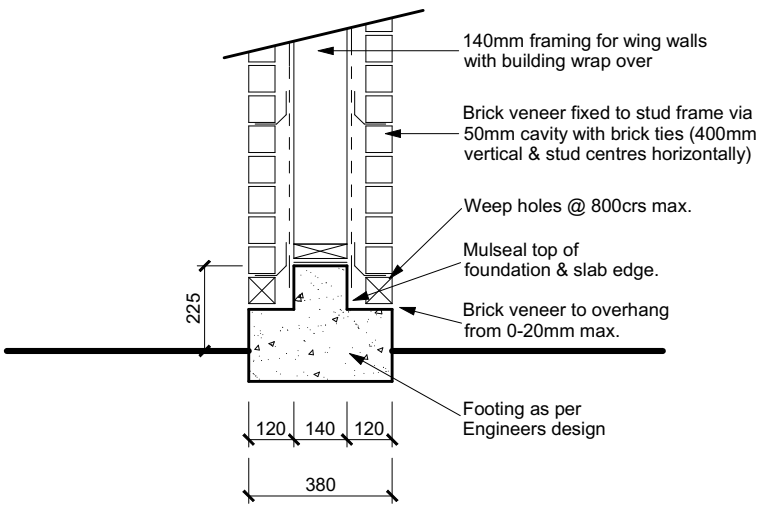
Sill Tape Flashing
 Detail

All dimensions are to be check and confirmed prior to any construction
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							No.	Date:	Reason:			
							1	10-08-2022	Initial Consent Plans			
Sales: L Caldwell		Drawn: M Glynn	QS: W Xian	Print Date: 16/09/2022	Scale: As Shown @ A3							



Wing Wall Foundation Detail
 scale 1:20



Wing Wall Foundation
 Scale 1:20

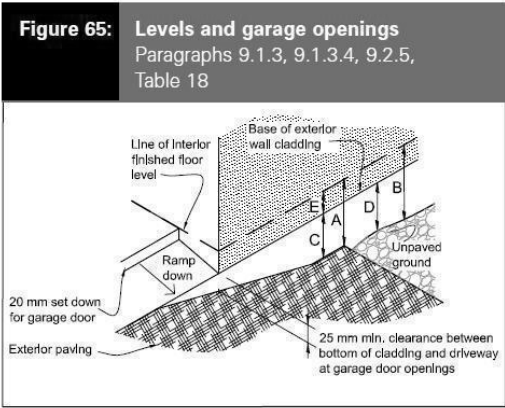
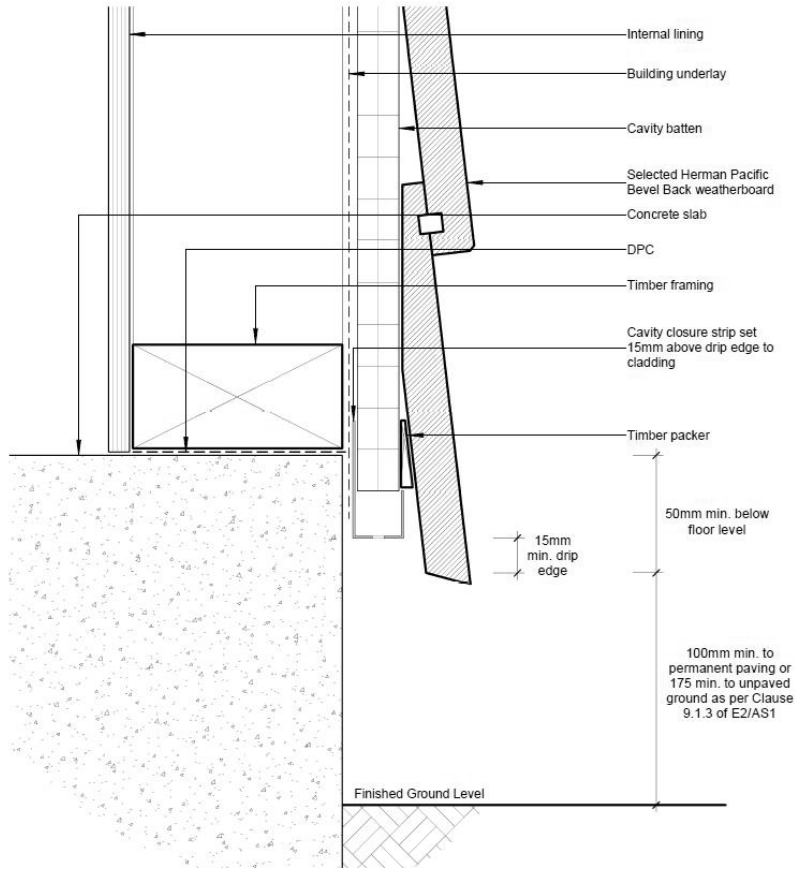



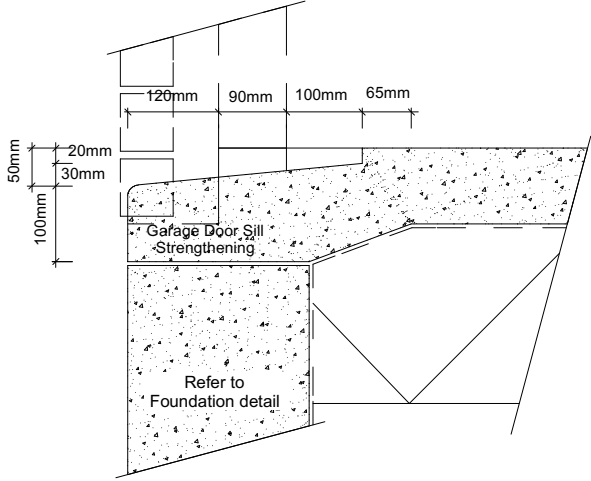
Table 18: Minimum clearances
 Paragraphs 9.1.3, 9.1.3.1, 9.1.3.2, 9.1.3.3, 9.1.3.4, 9.1.3.5 and 9.2.7

Minimum clearances (mm)	Masonry veneer		Other claddings				
	A	B	A	B	C	D	E
Concrete slab	100	150	150	225	100	175	50
Timber floor	Refer Note 1)				100	175	502)

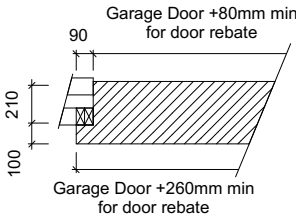
NOTE: 1) Refer to NZS 3604 for requirements.
 2) Cladding to extend minimum 50 mm below bearer or lowest part of timber floor framing.

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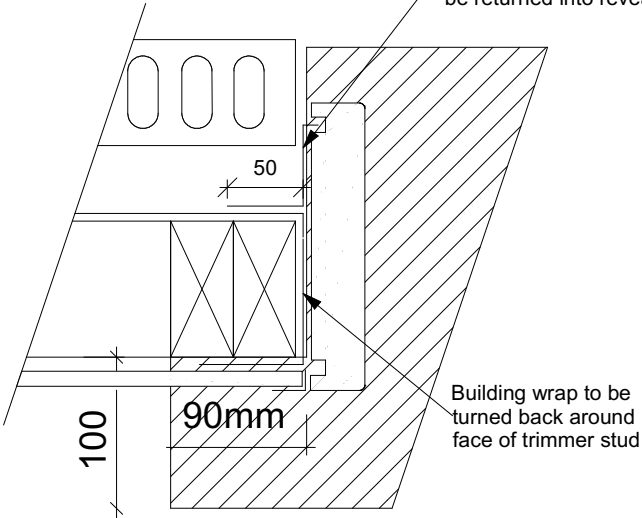
	TKR Homes Ltd. 31 Watts Road, Sockburn PO BOX 11 351 Christchurch 8443 P: +64 3 342 7788	These drawings are limited to and by the extent of the detail covered in the drawings to meet the current New Zealand Building Code (NZBC). Where detail is required for construction and to demonstrate compliance with the current NZBC, a specific request should be made for the required detail to be supplied. No liability will be accepted for any detail or construction not covered in these drawings and/or carried out by persons other than the designer producing these documents.	Jason Watson & Caitlin Lundy Lot 183 Beach Grove, Kaiapoi	Job Number: 133859 Sales: L Caldwell	Original Plan: Rail Drawn: M Glynn	Sheet Name: CONSTRUCTION DETAILS Print Date: 16/09/2022	CONSENT PLANS			Sheet No.: 16 of 22 sheets



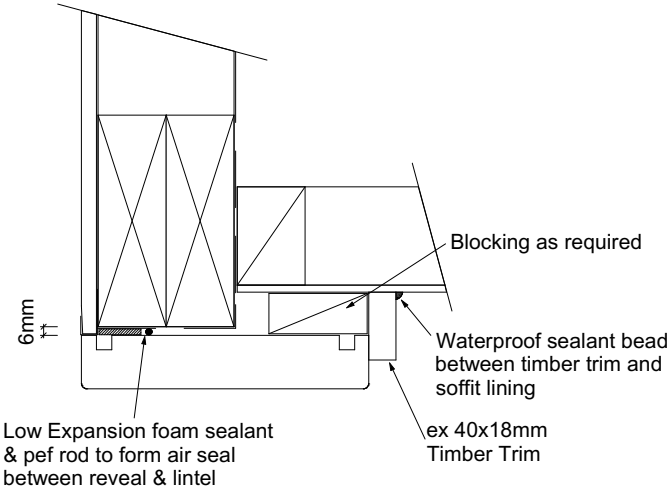
Garage Door Rebate Details
 Scale 1:10



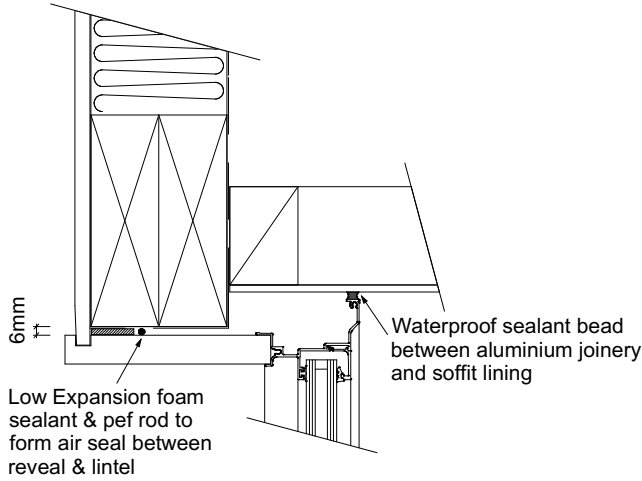
Thermakraft AluBand Window sealing Tape to tape flashing to garage door reveal/brick veneer junction, Detail tape flashing to be returned into reveal rebate.



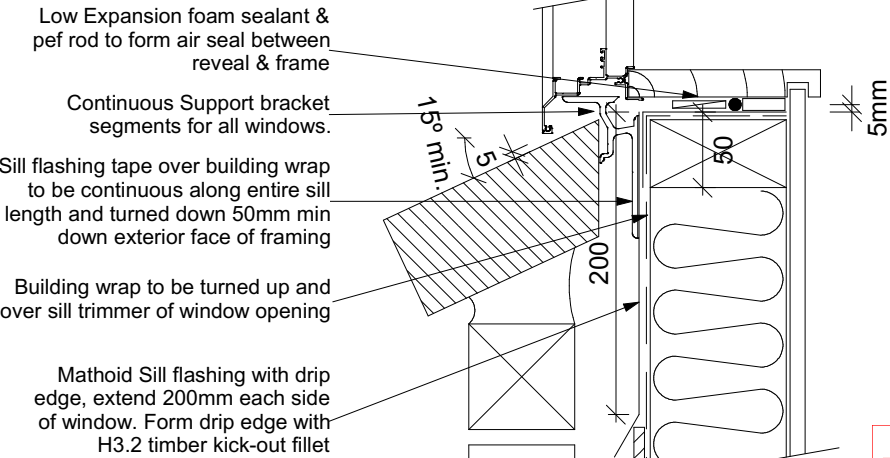
Garage Door Jamb Detail
 Scale 1:5



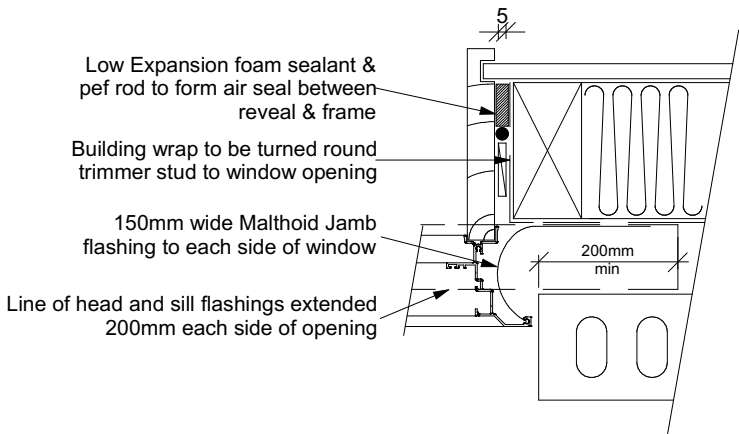
Garage Door Head to Soffit
 Scale 1:5



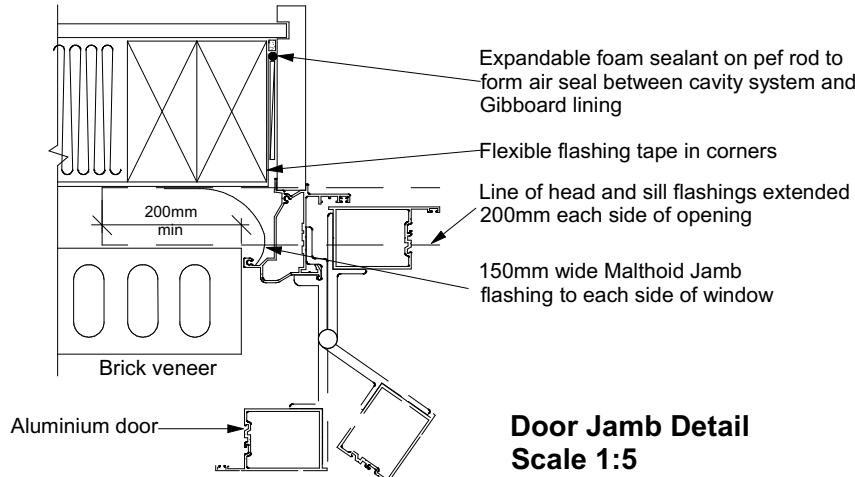
Window Head to Soffit Detail
 Scale 1:5



Window Sill Detail
 Scale 1:5



Window Jamb Detail
 Scale 1:5



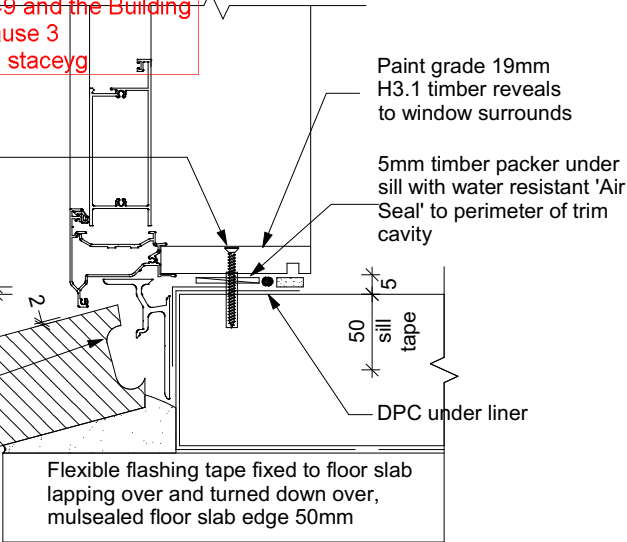
Door Jamb Detail
 Scale 1:5

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50mm screw fixing to window sill, no more than 150mm from all corners and then 450crs spacings, allow for extra fixings at mullions, transoms & door strikers, all screws driven below sill surface and filled and sanded prior to painting

Continuous ventilated support bar fixed to sill plate with 50mm screws, top face of bar to be fitted level & 5mm min above sill plate

Coat bricks, if flat, with waterproofing agent



Door Sill to Slab Detail
 Scale 1:20


9.1.10.8 Attachments for windows and doors

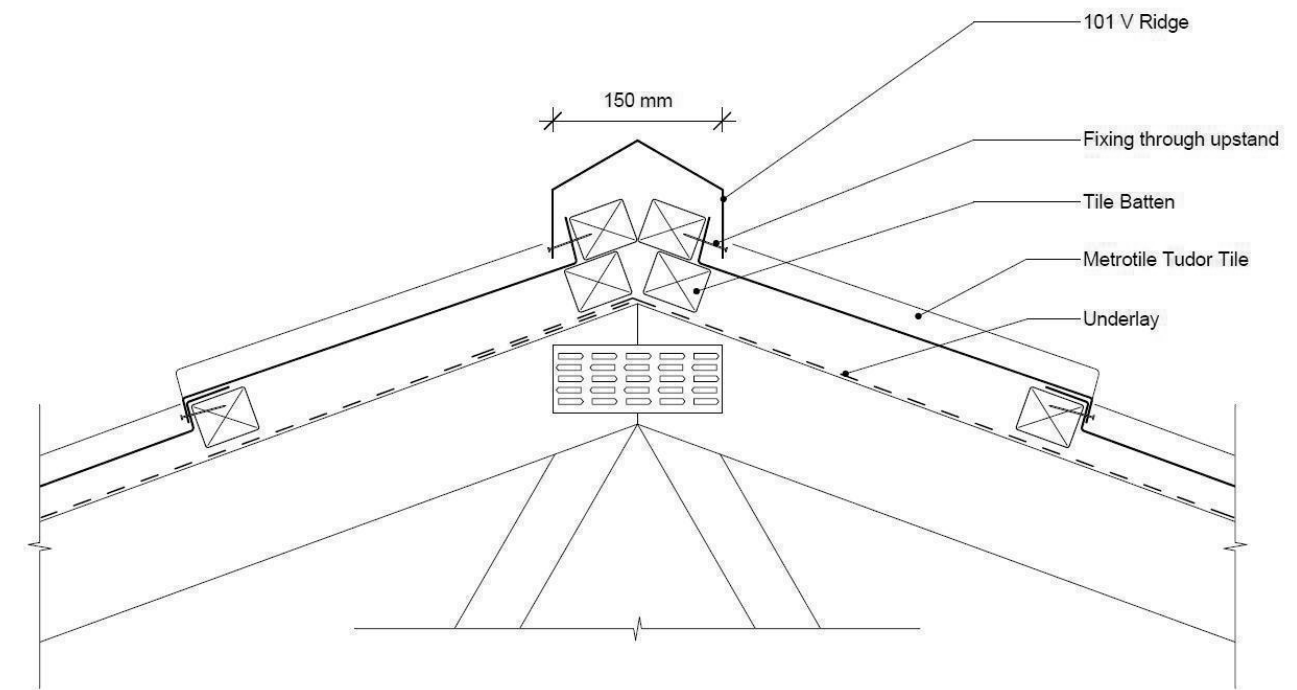
Install windows and doors using pairs of minimum 75 x 3.15 galvanised jolt head nails or 8 gauge x 65 mm stainless steel screws, through reveals into surrounding *framing* at:

- a) Maximum 450 mm centres along sills, jambs and heads, and
- b) Maximum 150 mm from reveal ends.

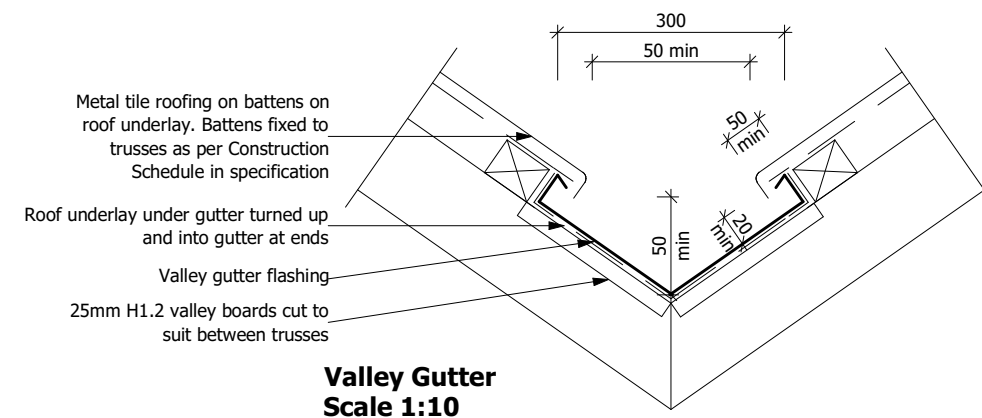
Install packers between reveals and *framing* at all fixing points, except between head reveals and lintels.

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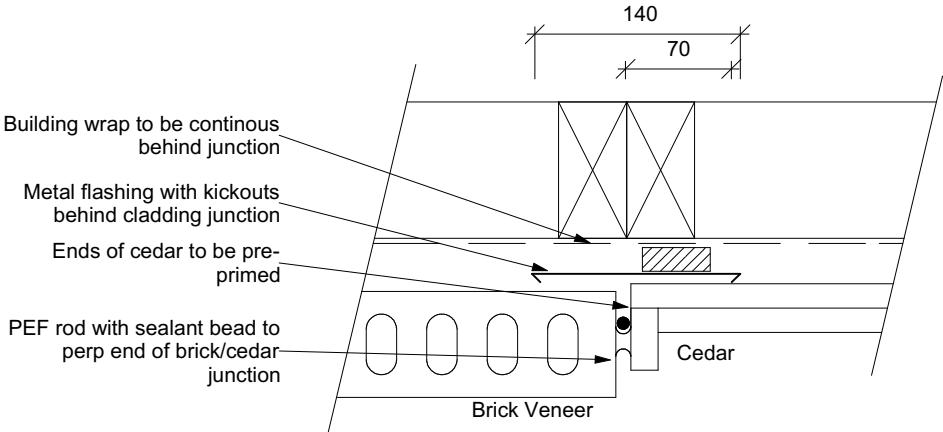
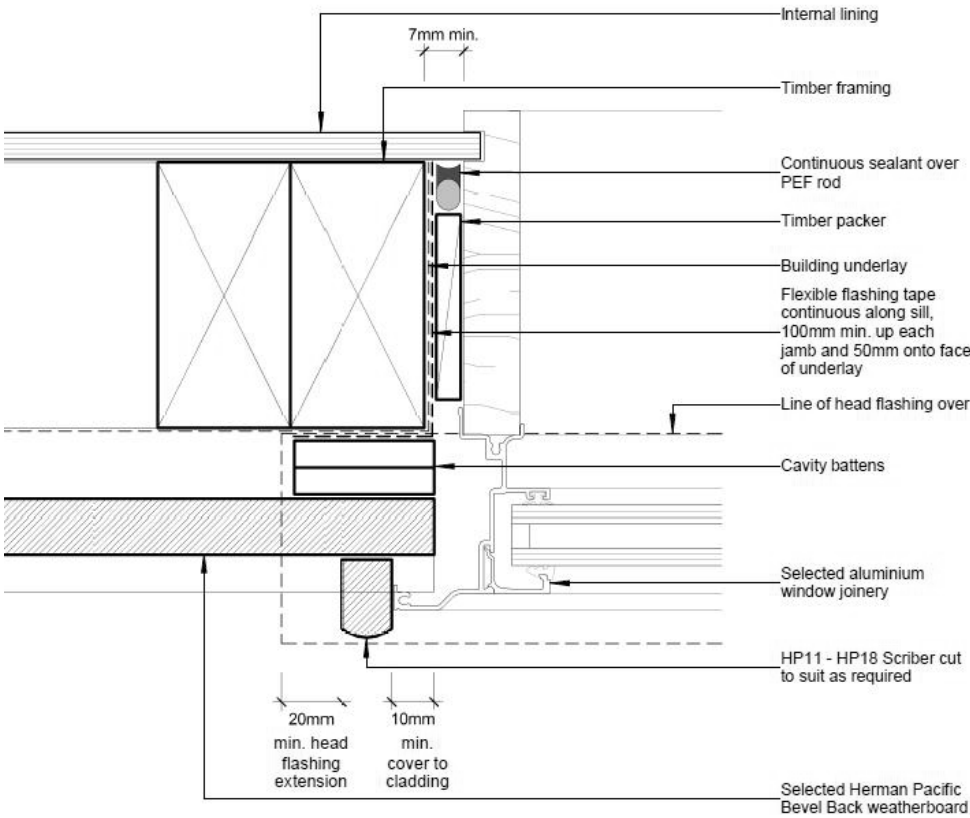
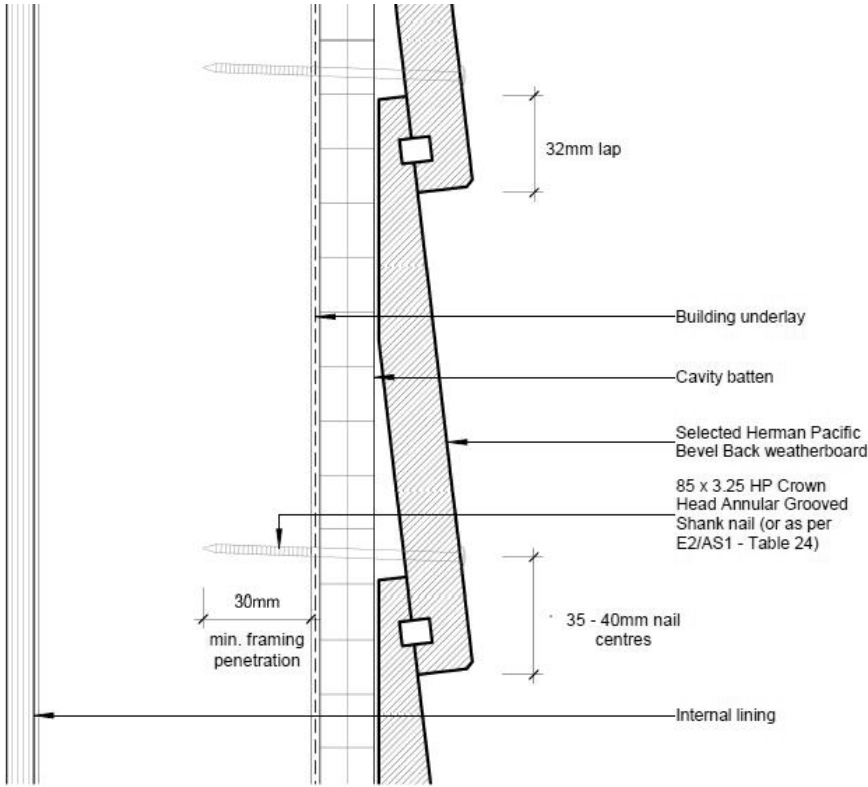


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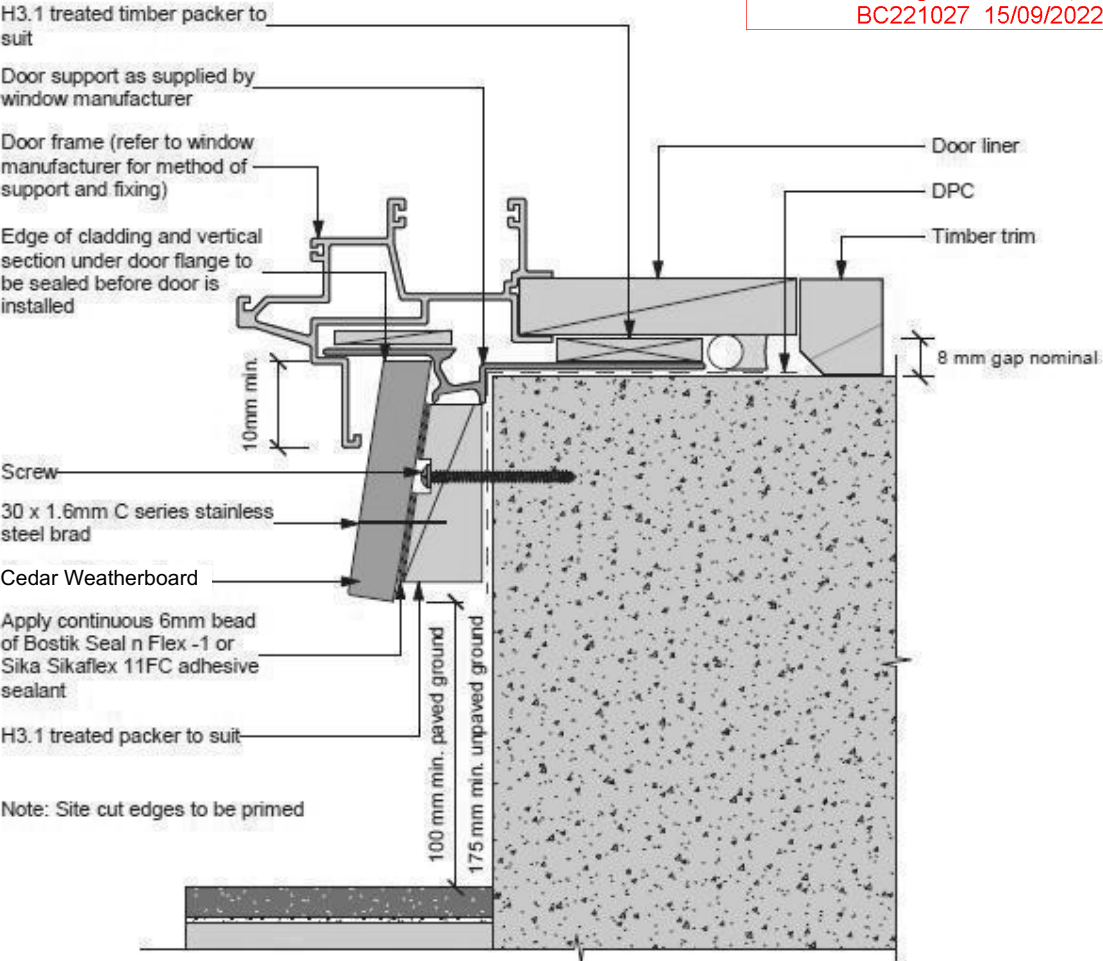
Valley Gutter Scale 1:10

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	No.	Date:	Reason:																												
	1	10-08-2022	Initial Consent Plans																												
<p>Sales: L Caldwell</p>	<p>Drawn: M Glynn</p>	<p>QS: W Xian</p>	<p>Print Date: 16/09/2022</p>	<p>Scale: As Shown @ A3</p>																											




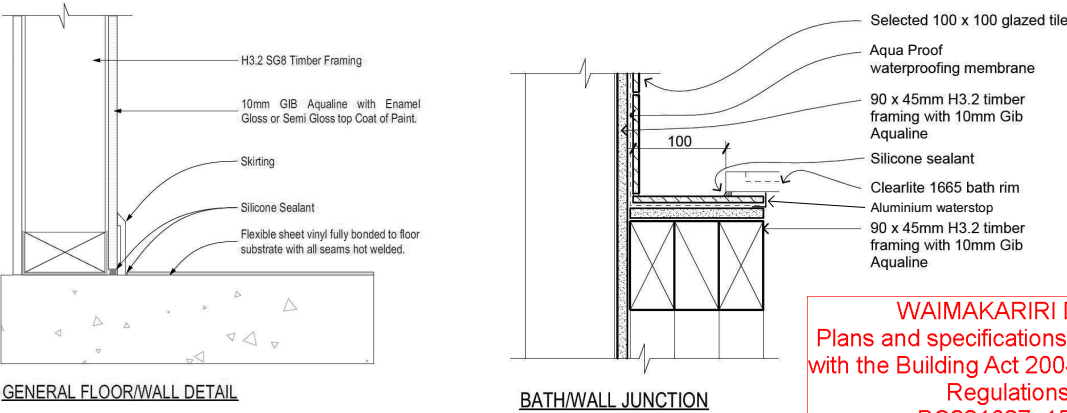
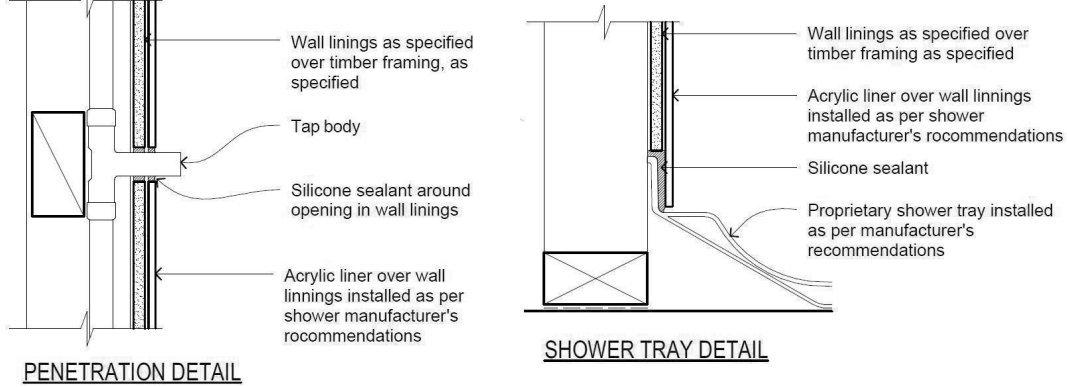
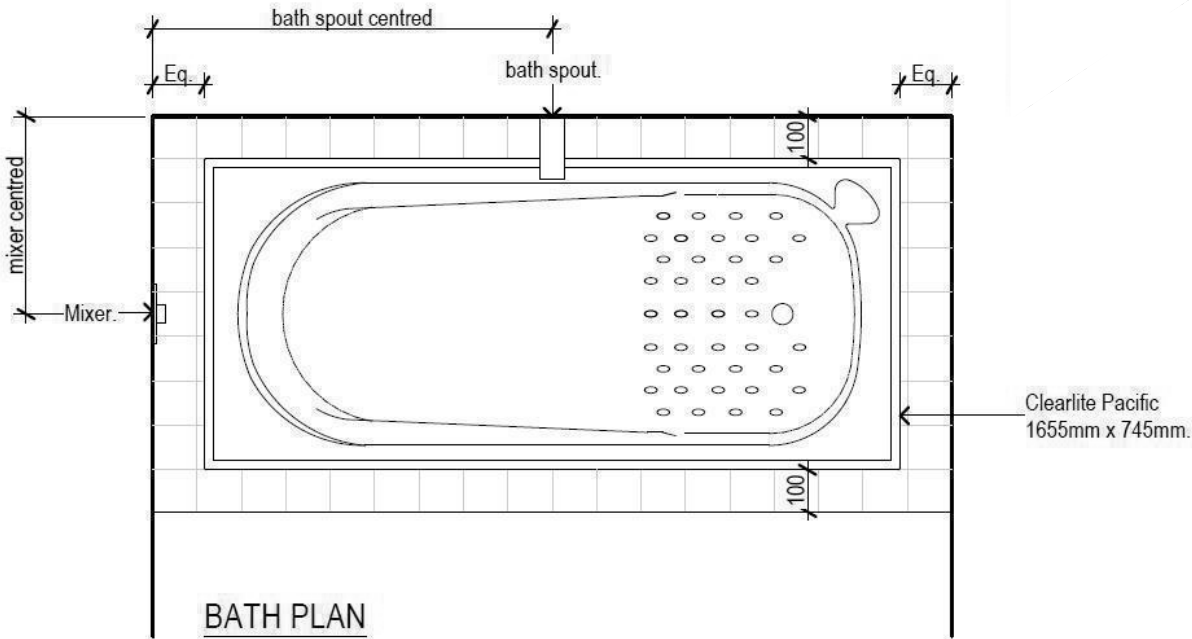
Cedar/Brick Vertical Junction
 Scale 1:5

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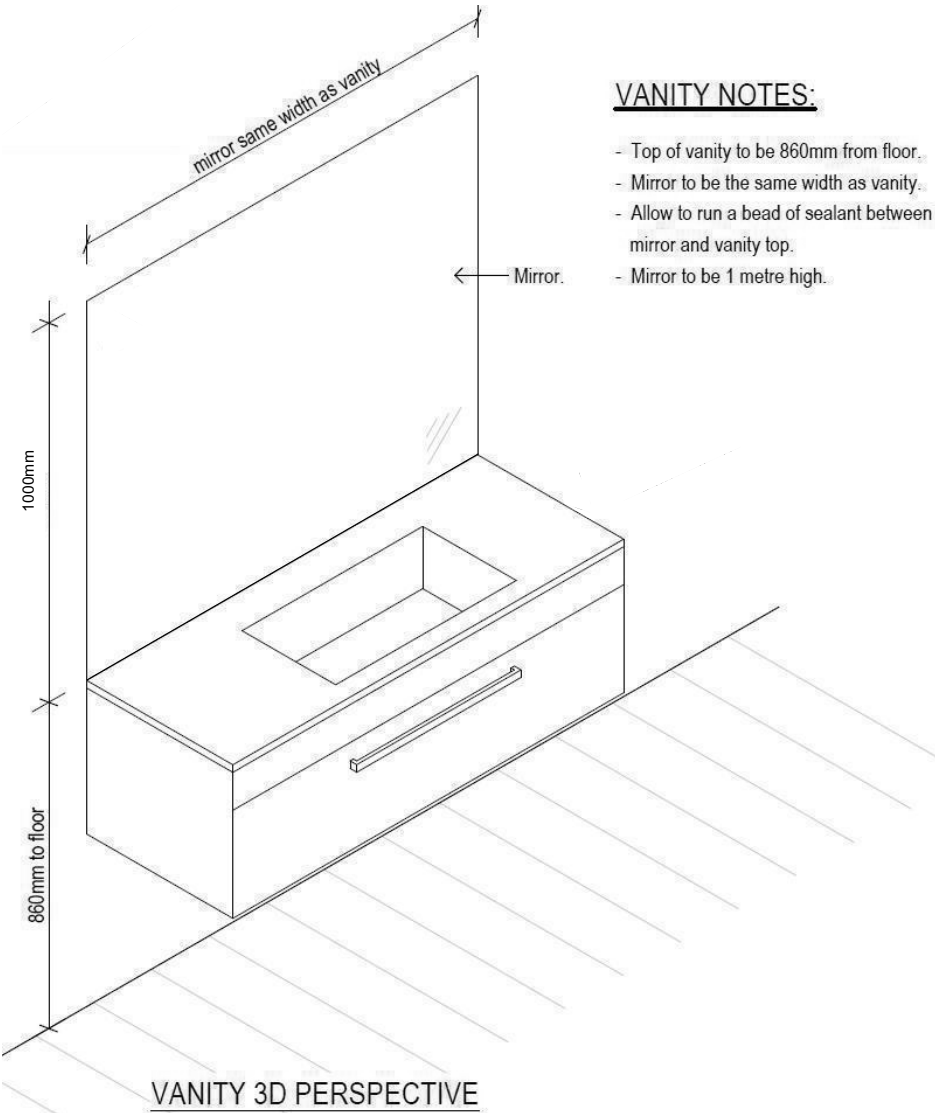


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				133859		Rail		CONSTRUCTION DETAILS		No.	Date:	Reason:		
										1	10-08-2022	Initial Consent Plans		
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L Caldwell		M Glynn	W Xian	16/09/2022		As Shown @ A3								

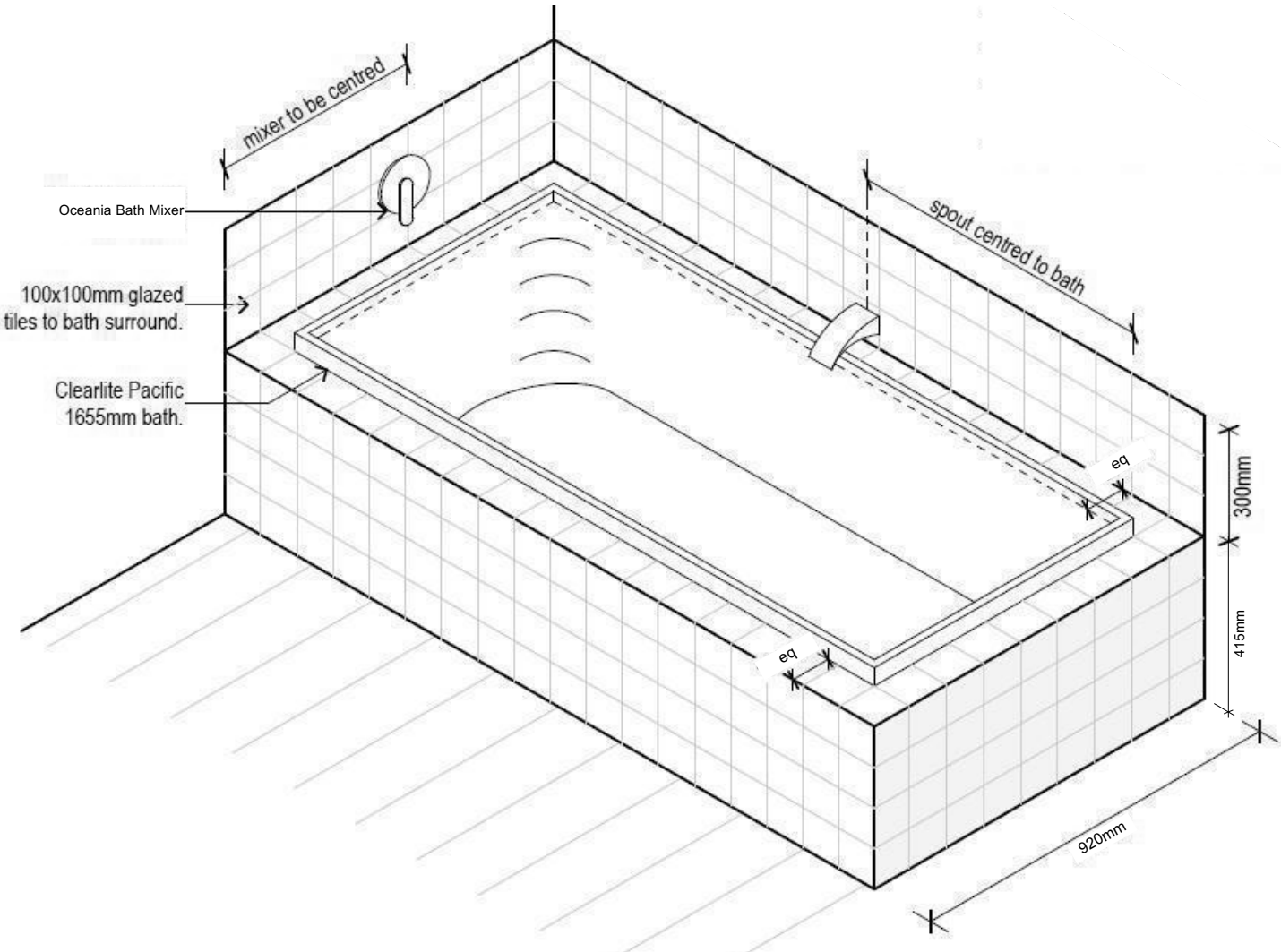


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VANITY NOTES:

- Top of vanity to be 860mm from floor.
- Mirror to be the same width as vanity.
- Allow to run a bead of sealant between mirror and vanity top.
- Mirror to be 1 metre high.



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				No. 1	Date: 10-08-2022	Reason: Initial Consent Plans				
Sales: L Caldwell		Drawn: M Glynn	QS: W Xian	Print Date: 16/09/2022	Scale: NTS @ A3					

Buildable Consent Layout



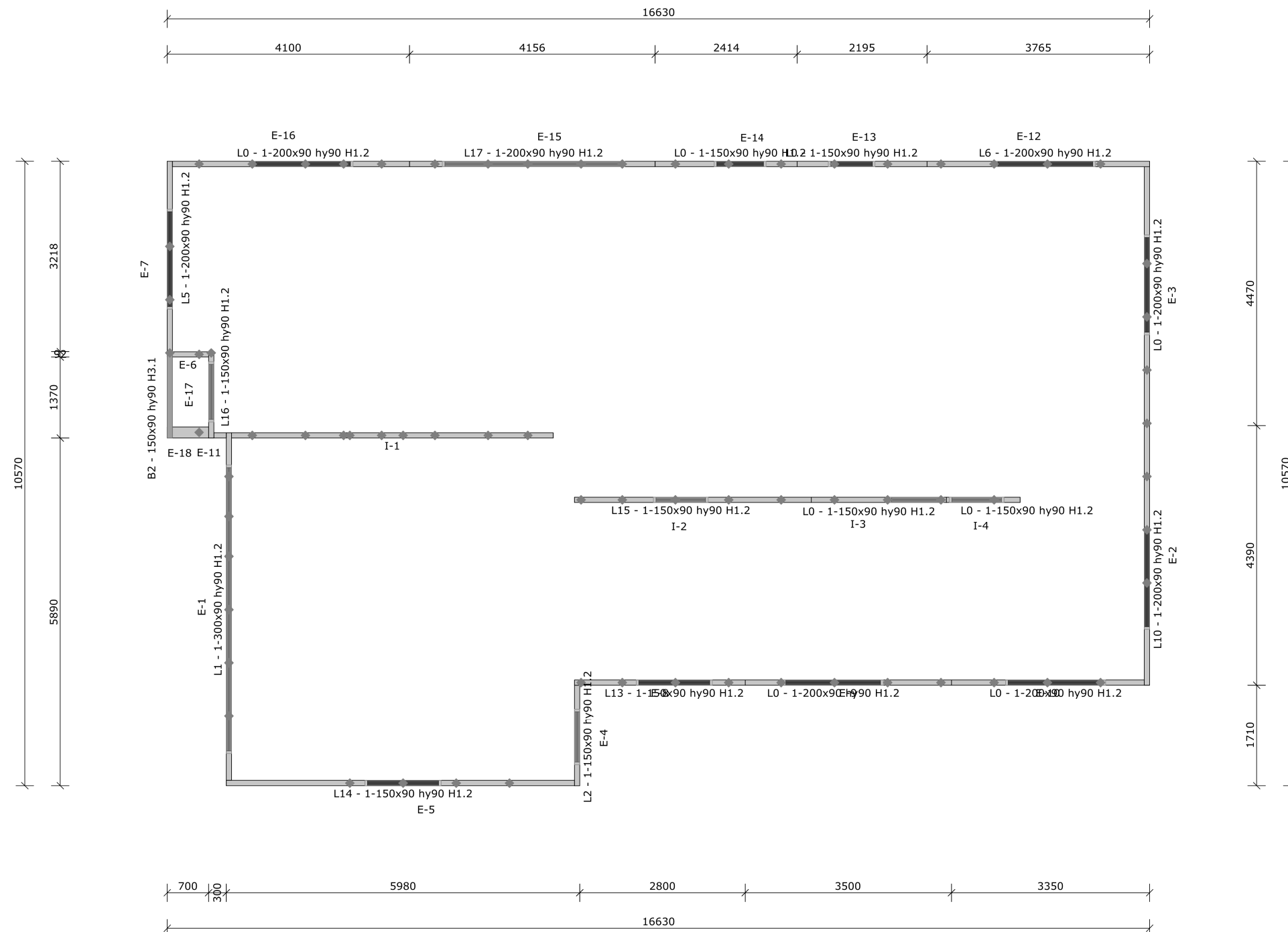
All internal walls shown on this layout are considered to be loadbearing
Lintel fixing specification remains the responsibility of the architect / draughtsperson

CARTERS

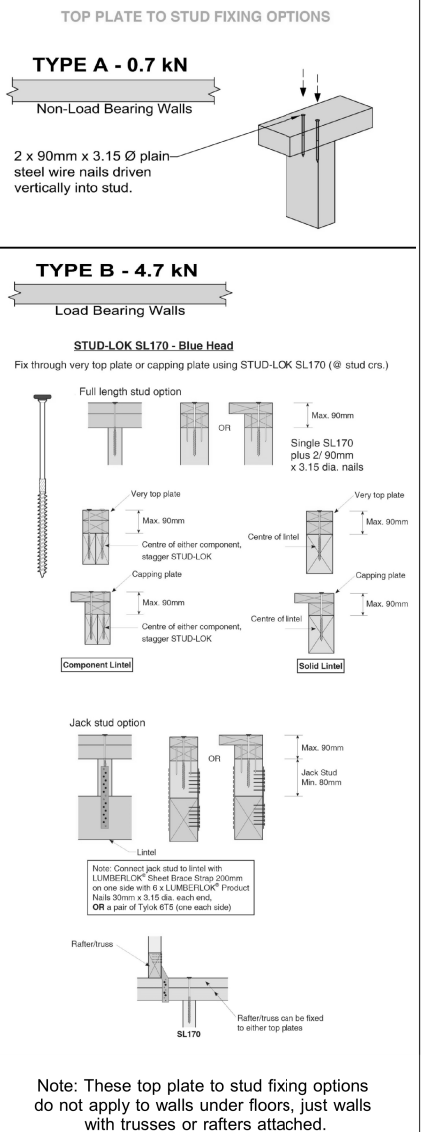
Your Building Partner


Application BC221027
Received 15/09/22

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Lintel Fixings are as per
the included reports.



<div><div>Every Facet an Advantage.</div></div>		Job No: RG1366624C1	<div>Notification of point loaded lintels or point loads on internal walls where the downward load is higher than 8kN (85mm raft type slab) or 10kN (100mm standard slab), or the upward load is greater than 10kN. These loads are Ultimate Limit State Loads</div> <div>If no loads are shown, no thickening is required.</div>	The lintels have been sized using one of the following:	
		Customer: TKR Homes Limited T/A Signature Homes Canterbury		The MiTek SAPHIRE Component Design Software.	
		Job Name: Watson Lundy Lot 183 Beach Grove Kaiapoi		hy90, hyONE and hySPAN lintels have been sized using the designIT for houses - New Zealand series 6 software.	
		Address: Lot 183 Beach Grove Kaiapoi		GANGLAM and FLITCH BEAMS have been sized using the MiTek Beam Program V1.10 June 2011.	
		Lot 183 Beach Grove Kaiapoi, Christchurch		Unless otherwise stated the timber grade for all lintels is SG8. Lintels not shown are to be selected as per NZS3604: 2011 or designed by an engineer as required.	
Drawn:	Bruce Barrow				
Date:	27/04/2022				

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						No.	Date:	Reason:			
						1	10-08-2022	Initial Consent Plans			
Sales: L Caldwell		Drawn: M Glynn		QS: W Xian		Print Date: 16/09/2022		Scale: NTS @ A3			