



CERTIFICATE ATTACHED TO PROJECT INFORMATION MEMORANDUM OR BUILDING CONSENT

Section 37, Building Act 2004

Restrictions on commencing building work under the Resource Management Act 1991

PIM No:	BCon24/0591
----------------	--------------------

Valuation or Property No:	12450
----------------------------------	--------------

Building Consent No:	BCon24/0591
-----------------------------	--------------------

Restrictions on commencing building work under the Resource Management Act 1991

The building work referred to in the attached project information memorandum or building consent is also required to have a resource consent under the Resource Management Act 1991:

Resource Consent required

As this resource consent will or may materially affect the building work to which the attached project information memorandum or building consent relates, until it has been granted:-

- 1. No building work may proceed until the Resource Consent has been issued.**

Failure to comply with the requirements of this notice may result in legal action being taken against you under the Resource Management Act 1991.

<i>On behalf of Whanganui District Council</i>	<i>Signature of Council Officer</i>
Dated 04/12/24	 Bill Leslie Team Leader Assessments



**WHANGANUI
DISTRICT COUNCIL**
Te Kaunihera a Rohe o Whanganui

IMPORTANT NOTE

These documents are required to be onsite for all inspections and must be a complete and full copy of the WDC stamped “Approved” documents.

Failure to have a full and legible set of documents may result in a terminated inspection. A terminated inspection will incur additional charges.



INSPECTION RECORD

This record, together with the Building Consent and approved plans, is to remain on the construction site at all times.

Project Location	TO BOOK AN INSPECTION PLEASE PHONE WDC BUILDING CONTROL ON 349 0001 AND QUOTE THE FOLLOWING APPLICATION NUMBER:	BCon24/0591
38 Duncan St WHANGANUI		
Description of Work	To build a skyline garage in the same location as the old existing garage. Garage will be same size style etc as existing garage Can we be exempt from resource consent as its replacement like for like?	
Applicant	Skyline Buildings PO Box 584, Whanganui Mail Centre, Whanganui 4540	

SUMMARY OF CONDITIONS

Building Consent Number BCon24/0591

PIM Conditions

Code	Condition
	All work on the project must comply with the requirements of the NZ Building Code.
	A PIM only document is not an approval to build. A Building Consent is required before building work commences.
	W.D.C will follow up on building work not completed within two years of building consent issue.
	A Building Consent lapses and is of no effect if the building work has not been started within 12 months of the date of issue.
	If the building is public premises it may not be occupied until either a code compliance certificate or certificate for public use has been issued.
	Please note [Electrical, and Gasfitting subtrades do not form part of the building consent inspection process. However, Council is required to receive 'Energy Certificates' from both of these trades before issue of a Code Compliance Certificate].
PimLqftn	This property is noted to be in a medium liquefaction area - Foundations for houses built on ground that has the potential for liquefaction or lateral spread are outside the scope of NZ Building Code clause B1/AS1.

Building Consent Information

Code	Information
BCPropBdy	[Informative note: The property boundary must be defined before any construction commences.]

Your project's inspections are listed on the next page...



Please Note: A minimum of 48 hours notice is required for the booking of an inspection. The inspection record sheet and accompanying building consent documentation must be on site for use by the inspector at the time of the inspection.

All inspections are to be carried out by BCA Building Inspectors unless prior arrangements have been made by the BCA to have an approved qualified person inspect specific items (eg. Engineer). Inspections shall be carried out in accordance with the attached schedule of inspection types. It is the owner's responsibility to ensure all necessary inspections are carried out as required. Please contact WDC if you are unsure what requires inspection – do not cover or enclose any building work without inspection.

Note: Further inspections may incur additional cost at time of Code Compliance Certificate issue.

Inspections Record For Building Consent Number BCon24/0591						
<i>Inspection</i>	<i>When to Request</i>	<i>Date</i>	<i>Inspector</i>	<i>Complies with Code</i>	<i>Reinspect</i>	<i>Notes</i>
CONCRETE FOUNDATION INSPECTION	Prior to placing Concrete					
BUILDING PRELINE INSPECTION	Before covering up					To check moisture levels, handy brackets, nogging.
POST LINE INSPECTION	To inspect fixings. Prior to covering up.					
FINAL BUILDING AND PLUMBING COMBINED INSPECTION						<p>To inspect connection to stormwater drain, fire wall gib stopping, framing and exterior.</p> <p>Once the final inspection has been completed please apply for your Code Compliance Certificate and supply the following information:</p> <p>(Please note that the Code Compliance Certificate can be applied for online at www.whanganui.govt.nz</p> <p>As-Built Drainage plan.</p> <p>Energy certificate/s.</p>



BUILDING CONSENT NUMBER BCon24/0591

Section 51, Building Act 2004

The building:

Street address of building:	Legal description of land where building is located:
38 Duncan St WHANGANUI	LOT 6 DP 4336 0.0675 Ha
Building name:	Location of building within site/block number:
Level/unit number:	
0.000000	

The owner:

Name of Owner:	
Mrs KS Langridge	
Mailing address:	Street Address/registered Office:
38 Duncan Street Whanganui East Whanganui 4500	38 Duncan Street Whanganui East Whanganui 4500

Phone numbers:

Landline:	063439698	Mobile:	0277727495
Daytime:		After hours:	
Facsimile number:			
Email address:		Website:	

First point of contact for communications with the building consent authority:

Contact Person:	
Skyline Buildings <ContactPerson>	
Mailing address:	Street Address/registered Office:
PO Box 584, Whanganui Mail Centre, Whanganui 4540	PO Box 584, Whanganui Mail Centre, Whanganui 4540

Phone number:

Landline:		Mobile:	0272777581
Daytime:	063457686	After hours:	
Facsimile number:			
Email address:		Website:	

Building Work

The following building work is authorised by this consent

Project
To build a skyline garage in the same location as the old existing garage. Garage will be same size style etc as existing garage Can we be exempt from resource consent as its replacement like for like?

101 Guyton Street
P O Box 637, Whanganui
Phone: (06) 349 0001
Fax: (06) 349 0000
Email: wdc@whanganui.govt.nz
Web: www.whanganui.govt.nz



**WHANGANUI
DISTRICT COUNCIL**
Te Kaunihera a Rohe o Whanganui

<i>Intended Use</i>	<i>Intended Life</i>
Single Detached Residential	50+ Years
<i>Estimated Value (\$)</i>	
\$35000.00	

This building consent is issued under section 51 of the Building Act 2004. This building consent does not relieve the owner of the building (or proposed building) of any duty of responsibility under any other Act relating to or affecting the building (or proposed building). This building consent also does not permit the construction, alteration, demolition, or removal of the building (or proposed building) if that construction, alteration, demolition or removal would be in breach of any other Act.



CONDITIONS OF BUILDING CONSENT NUMBER BCon24/0591

Section 51, Building Act 2004

This Building Consent is issued Subject to the following conditions:

Building Act 2004, Section 90:

Inspections by Building Consent Authorities

Agents authorised by the building consent authority for the purposes of this section are entitled, at all times during normal working hours or while building work is being done, to inspect

- (a) land on which building work is being or is proposed to be carried out; and
- (b) building work that has been or is being carried out on or off the building site; and
- (c) any building.

Compliance Schedule:

A compliance schedule (CS) is not required for this building.

#Attachments

- ‡Copies of the following documents are attached to this building consent:
- ‡Project information memorandum number BCon24/0591
- ‡Inspection record
- ‡Informative notes
- ‡Section 37 Building Act 2004

Signed for and on behalf of the Whanganui District Council

GJ Hoobin
Building Control Manager

Date: 4 December 2024

101 Guyton Street
P O Box 637, Whanganui
Phone: (06) 349 0001
Fax: (06) 349 0000
Email: wdc@whanganui.govt.nz
Web: www.whanganui.govt.nz



**WHANGANUI
DISTRICT COUNCIL**
Te Kaunihera a Rohe o Whanganui

BUILDING CONSENT NUMBER BCon24/0591

Informative notes:

- The Building Consent, conditions, inspection sheet, and approved plans must be kept on site at all times until completion of the project.
- Failure to request inspections will risk the non-issuing of a code compliance certificate and the structure may be deemed non-complying.
- Any inspection time required over and above that allowed may incur a further charge.
- Under Section 52, a building consent lapses and is of no effect if the building work to which it relates is not commenced within 12 months after the date of issue.
- Under Section 93, if the owner has not made application within 24 months, the BCA (Building Control Authority), must decide whether or not to issue a CCC (Code Compliance Certificate).

101 Guyton Street
 P O Box 637, Whanganui
 Phone: (06) 349 0001
 Fax: (06) 349 0000
 Email: wdc@whanganui.govt.nz
 Web: www.whanganui.govt.nz



PROJECT INFORMATION MEMORANDUM NUMBER BCon24/0591

Section 35, Building Act 2004

Skyline Buildings
PO Box 584
Whanganui Mail Centre
Whanganui 4540

Project Location	Assessment Number/Legal Description
38 Duncan St WHANGANUI	LOT 6 DP 4336 0.0675 Ha
Category	Description of Work
General Building Consents	To build a skyline garage in the same location as the old existing garage. Garage will be same size style etc as existing garage Can we be exempt from resource consent as its replacement like for like?
Intended Life	Estimated Value (\$)
50+ Years	35000.00

This Project Information Memorandum is confirmation that the proposed work may be undertaken, subject to the provisions of the Building Act 2004 and any requirements of the Building Consent (number BCon24/0591), which has been granted.

This Project Information Memorandum is subject to the following conditions:

- This property is noted to be in a medium liquefaction area - Foundations for houses built on ground that has the potential for liquefaction or lateral spread are outside the scope of NZ Building Code clause B1/AS1.
- All work on the project must comply with the requirements of the NZ Building Code.

Building Act 2004, Section 37:

Territorial authority must issue certificate if resource consent required

(1) This section applies if a territorial authority considers that—

- a resource consent under the Resource Management Act 1991 has not yet been obtained; and
- the resource consent will or may materially affect building work to which a project information memorandum or an application for a building consent relates.

101 Guyton Street
P O Box 637, Whanganui
Phone: (06) 349 0001
Fax: (06) 349 0000
Email: wdc@whanganui.govt.nz
Web: www.whanganui.govt.nz



WHANGANUI
DISTRICT COUNCIL
Te Kaunihera a Rohe o Whanganui

(2) The territorial authority must issue a certificate, in the prescribed form, to the effect that until the resource consent has been obtained—

- a. no building work may proceed; or
- b. building work may only proceed to the extent stated in the certificate.

(3) The certificate must be—

- a. attached to the project information memorandum; or
- b. if no project information memorandum has been applied for, provided to the building consent authority.

•

Signed for and on behalf of the Whanganui District Council

GJ Hoobin
Building Control Manager

Date: 4 December 2024



Skyline Wanganui
P O Box 584
Whanganui

06 345 7686
0800 289 759
www.skylinebuildings.co.nz

To: Wanganui District Council

Owner consent to delegate authority to act as an agent.

We/I authorise Skyline Wanganui to act on our / my behalf as agent for the application for a building consent.

Signed: Katie Langridge Date: 17/09/2024
Owners

Name/s: Katie Langridge

Address: 38 Duncan Street

Whanganui East

Whanganui

RECEIVED 25/11/2024



**RECORD OF TITLE
UNDER LAND TRANSFER ACT 2017
FREEHOLD
Search Copy**




R.W. Muir
Registrar-General
of Land

Identifier **WN266/299**

Land Registration District **Wellington**

Date Issued 10 September 1919

Prior References

WN165/7

Estate Fee Simple

Area 675 square metres more or less

Legal Description Lot 6 Deposited Plan 4336

Registered Owners

Katie Sarina Langridge

Interests

12867719.3 Mortgage to Kiwibank Limited - 1.12.2023 at 12:29 pm

RECEIVED 25/11/2024

Duncan St

66.7

5

0 2 5 0 0 2 5 0 0 6 6.7

5

D.P. 1508

D.P. 3222

RECEIVED 25/11/2024



From data.whanganui.govt.nz on Thursday, November 21, 2024

Scale 1: 250





From data.whanganui.govt.nz on Thursday, November 21, 2024

Property No. 12450

Disclaimer: Digital map data sourced from Land Information New Zealand CROWN COPYRIGHT RESERVED.
The information displayed in the GIS has been taken from Whanganui District Council's databases and maps.
It is made available in good faith but its accuracy or completeness is not guaranteed. If the information is relied on in support of a resource consent it should be verified independently.

Property Map

Scale 1:1000



Comprehensive Map Legends can be found at the end of this document.

Address Information

Data sourced from LINZ

Address ID	Address
473839	38 Duncan Street, Whanganui East, Whanganui

Land Information

Data sourced from LINZ and Whanganui District Council

Parcel ID	Appellation	Area	Land No
3767476	Lot 6 DP 4336	675	1808

Title Information

Data sourced from LINZ

Title No	Status	Type	Land District	Issue Date
WN266/299	LIVE	Freehold	Wellington	10/09/1919

Leasehold Title Information

No Leasehold Title Information found

RECEIVED 25/11/2024

association of
consulting and
engineering**PRODUCER STATEMENT – PS1
DESIGN****BUILDING CODE CLAUSE(S):** B1**JOB NUMBER:****ISSUED BY:** NS Chandler Ltd*(Engineering Design Firm)***TO:** Skyline Buildings Ltd on behalf of Katie Langridge*(Owner/Developer)***TO BE SUPPLIED TO:** Wanganui District Council*(Building Consent Authority)***IN RESPECT OF:** 6.0 x 4.2 garage with 2.4 SG8 Studs with 15 degree roof pitch*(Description of Building Work)***AT:** 38 Duncan Street, Whanganui East, Whanganui*(Address, Town/City)***LEGAL DESCRIPTION:** Lot 6 DP 4336**N/A** We have been engaged by the owner/developer referred to above to provide *(Extent of Engagement)*:

Structural Engineering

in respect of the requirements of the Clause(s) of the Building Code specified above for Part only , as specified in the Schedule, of the proposed building work.

The design carried out by us has been prepared in accordance with:

- Compliance documents issued by the Ministry of Business, Innovation & Employment *(Verification method/acceptable solution)* and/or;
- Alternative solution as per the attached Schedule.

The proposed building work covered by this producer statement is described on the drawings specified in the Schedule, together with the specification, and other documents set out in the Schedule.

On behalf of the Engineering Design Firm, and subject to:

- Site verification of the following design assumptions: Good Ground
- All proprietary products meeting their performance specification requirements;

I believe on reasonable grounds that:

- the building, if constructed in accordance with the drawings, specifications, and other documents provided or listed in the Schedule, will comply with the relevant provisions of the Building Code and that;
- the persons who have undertaken the design have the necessary competency to do so.

I recommend the choose one level of **construction monitoring**.I, *(Name of Engineering Design Professional)* N S Chandler

, am:

- CPEng number 51037

and hold the following qualifications BE CPEng FEngNZ CEng MiCE

The Engineering Design Firm holds a current policy of Professional Indemnity Insurance no less than \$200,000
The Engineering Design Firm is not a member of ACE New Zealand.**SIGNED BY** *(Name of Engineering Design Professional)*: N S Chandler*(Signature below):*

Date: 8.11.2024

ON BEHALF OF *(Engineering Design Firm)*: NS Chandler Ltd**Note:** This statement has been prepared solely for the Building Consent Authority named above and shall not be relied upon by any other person or entity. Any liability in relation to this statement accrues to the Engineering Design Firm only. As a condition of reliance on this statement, the Building Consent Authority accepts that the total maximum amount of liability of any kind arising from this statement and all other statements provided to the Building Consent Authority in relation to this building work, whether in tort or otherwise, is limited to the sum of \$200,000.This form is to accompany **Form 2 of the Building (Forms) Regulations 2004** for the application of a Building Consent.

RECEIVED 25/11/2024

SCHEDULE to PS1

Please include an itemised list of all referenced documents, drawings, or other supporting materials in relation to this producer statement below:

Sheets A2.0 - A14.3 of A3 drawings - Langridge

RECEIVED 25/11/2024

N.S. Chandler Ltd

Consulting Civil and Structural Engineer

Principal

Noel S Chandler BE C Eng MICE CP ENG FEngNZ

P O Box 2
Waipu 0545
Phone 09 432 0826
Mobile 0274 927 929
email nsc@clear.net.nz

Building Design Parameters and Loads Summary to support PS1 Producer Statement

Client Katie Langridge

Site Address 38 Duncan Street
Whanganui East

Site Legal Description Lot 6 DP 4336

Building Description 6 x 4.2 Garage

Project Number 12002

Roof

Dead Load

Lightweight roof	=	0.25	kPa
Ceiling	=	N/A	kPa

Live Load

Uniform Load	=	0.25	kPa
Point Load	=	1.30	kN

Snow Load - NZS 3604 Fig 15.1

Zone	=	N1 400m	
Altitude	up to	=	
∴ Sg	=	1	kPa

Wind Load - as per NZS 3604 Wind Zones

NZS 3604 Wind Zone	=	Medium	
Vz	=	37	m/sec
∴ q	=	0.82	kPa

Declaration

I, N.S. Chandler am: CPEng 51037 #
(name of Design Professional) Reg Archi #

I am a member of: IPENZ NZIA

and hold the following qualifications BE CEng MICE CPEng FEngNZ

The Design Firm is a member of ACENZ: YES NO

SIGNED BY N.S. Chandler ON BEHALF OF N.S. Chandler Ltd
(Design Firm)

Date: 7 November 2024 (signature) 

RECEIVED 25/11/2024

Sheet List	
Sheet Number	Sheet Name
00	Title Page
A0.0	Keynote
A2.0	Elevations
A2.1	Elevations
A2.2	Elevations
A2.3	Elevations
A3.0	Floor Plan
A3.1	Floor Foundation Plan
A4.0	Roof Plan
A4.1	Roof Framing Plan
A5.0	Section AA
A5.1	Firewall Section
A6.0	Foundation & Slab Details
A7.0	Framing Details
A8.0	Truss To Top Plate Fixing Details
A9.0	Truss & Freize / Base Board Details

Sheet List	
Sheet Number	Sheet Name
A10.0	Purlin Details
A11.0	Barge Details
A12.0	Frieze board, base board, roof bracing and PA Door lintel Details
A13.0	Standard Joinery Details
A14.0	Bracing Details
A14.1	Bracing Details
A14.2	Bracing Details
A14.3	Bracing Details

REPORT ALL DISCREPANCIES TO SKYLINE
DISTRIBUTOR FOR CLARIFICATION IMMEDIATELY.
DO NOT SCALE OFF THESE DRAWINGS.
FOLLOW THE GIVEN DIMENSIONS OR SIZES AS NOTED
IF IN ANY DOUBT CONTACT THE SKYLINE DISTRIBUTOR

Distributor: Whanganui	Drawn by: SP	Project: Proposed 6.0 x 4.2 garage
Salesperson:		For: Katie Langridge
Revision:	Date: 7/11/2024 10:06:47 a.m.	At: 38 Duncan Street, Whanganui East, Whanganui

COPYRIGHT
SKYLINE BUILDINGS LIMITED
1 RYMER PLACE
MANGERE BRIDGE

PHONE: (09) 636 0200
FAX: (09) 636 0201
www.skylinebuildings.co.nz



SHEET
Number

00

Keynote Legend

Key Value	Keynote Text
301	Skyrib standard roofing with 0.40mm Aluminium-zinc alloy coated steel longrun trapezoidal profile roofing. Ridging is 0.40mm Aluminium-zinc alloy coated steel with Ali edging.
501	Spouting is 0.55mm magnaflow coated steel gutters fixed to two sides of the Building. Downpipe is Marley 65mm PVC.
503	Ridging is 0.40mm Aluminium-zinc alloy coated steel with Ali edging.

Key:

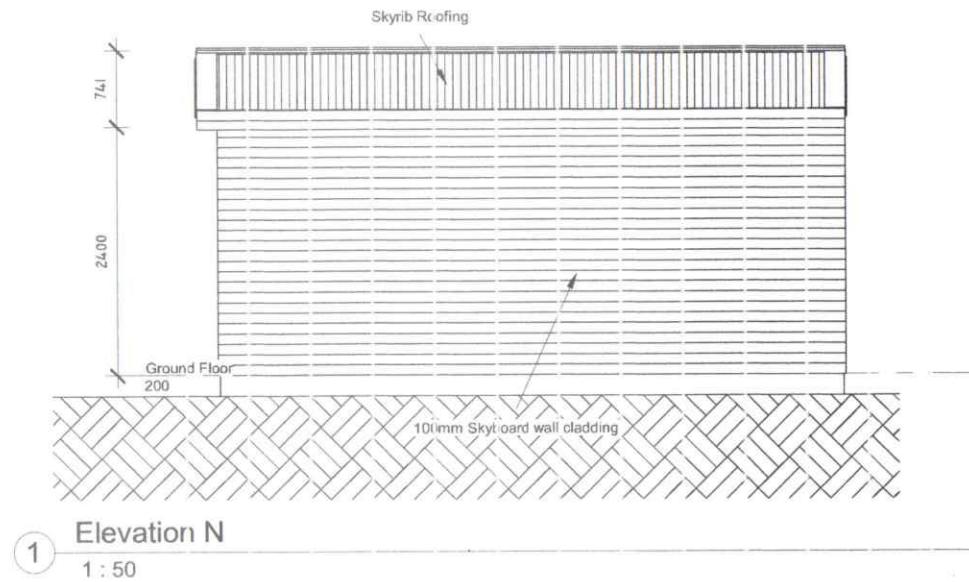
	Wet Area Vinyl Floor Covering
	Ceiling Fan
	Extractor Fan
	Hot Water Cylinder
	Smoke Detectors
	External Continuous Flow Gas Water Heater
	Roof Permaglass

Key:

	Electrical Switchboard
	Electrical Meter
	Spot Elevation

Distributor: Whanganui	Drawn by: SP	Project: Proposed 6.0 x 4.2 garage	COPYRIGHT SKYLINE BUILDINGS LIMITED 1 RYMER PLACE MANGERE BRIDGE	PHONE: (09) 636 0200 FAX: (09) 636 0201 www.skylinebuildings.co.nz	SHEET Number A0.0
Salesperson:	Scale: 1 : 50	For: Katie Langridge			
Revision:	Date: 7/11/2024 10:06:49 a.m.	At: 38 Duncan Street, Whanganui East, Whanganui	Sheet Name: Keynote		



NOTESLEGEND: WINDOW PANELS

S/P	Sliding Panel
F	Fixed Panel
A	Awning Panel
O	Obscure Glazing
SG	Safety Glass
D	Double Glazing
S	Single Glazing
LF	Louvre Fixed Panel

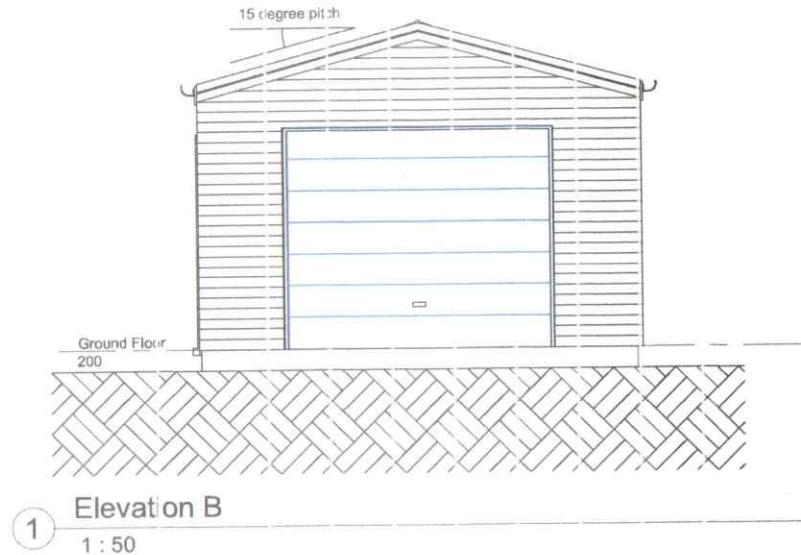
Distributor: Whanganui	Drawn by: SP	Project: Proposed 6.0 x 4.2 garage	COPYRIGHT SKYLINE BUILDINGS LIMITED 1 RYMER PLACE MANGERE BRIDGE	PHONE: (09) 636 0200 FAX: (09) 636 0201 www.skylinebuildings.co.nz
Salesperson:	Scale: As indicated	For: Katie Langridge		
Revision:	Date: 7/11/2024 10:06:55 a.m.	At: 38 Duncan Street, Whanganui East, Whanganui	Sheet Name: Elevations	

**SHEET**

Number

A2.0

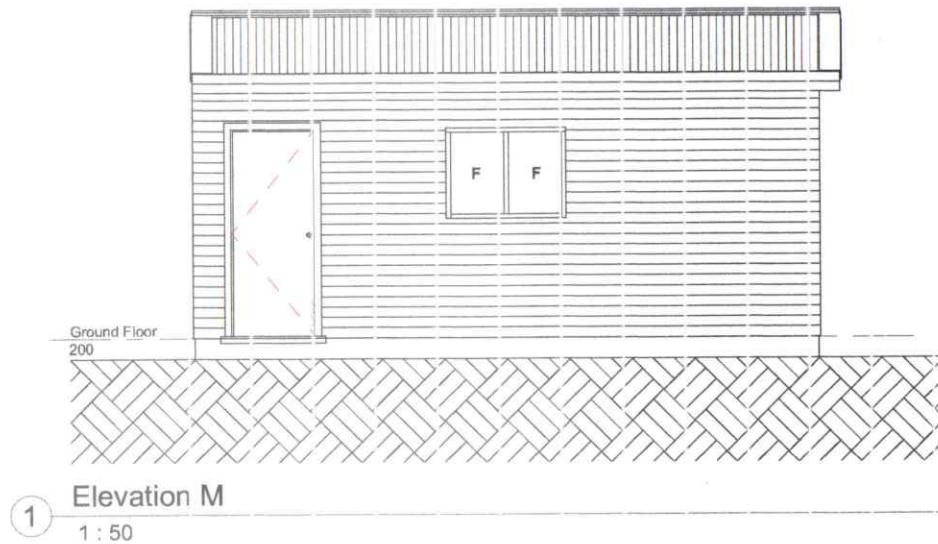
RECEIVED 25/11/2024

NOTESLEGEND: WINDOW PANELS

SP	-	Sliding Panel
F	-	Fixed Panel
A	-	Awning Pane
O	-	Obscure Glazing
SG	-	Safety Glass
D	-	Double Glazing
S	-	Single Glazing
LF	-	Louvre Fixed Panel

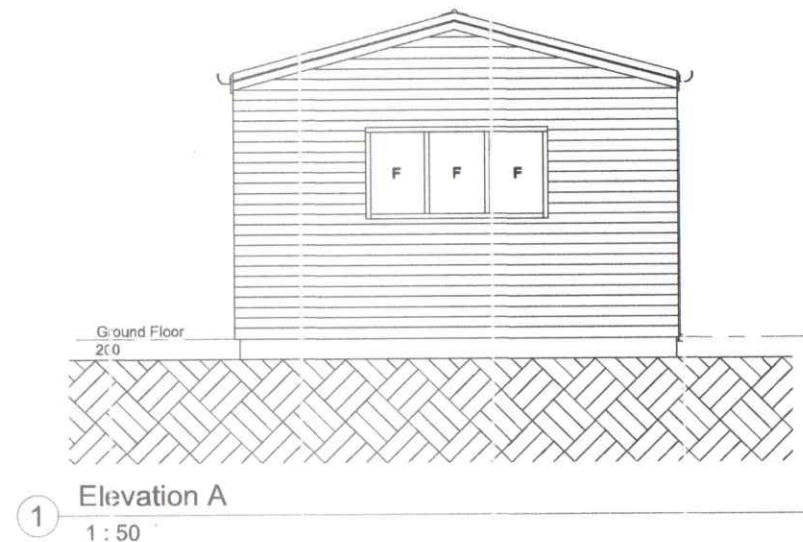
Distributor: Whanganui	Drawn by: SP	Project: Proposed 6.0 x 4.2 garage	COPYRIGHT SKYLINE BUILDINGS LIMITED 1 RYMER PLACE MANGERE BRIDGE	PHONE: (09) 636 0200 FAX: (09) 636 0201 www.skylinebuildings.co.nz	SHEET Number A2.1
Salesperson:	Scale: As Indicated	For: Katie Langridge		Sheet Name: Elevations	
Revision:	Date: 7/11/2024 10:06:55 a.m.	At: 38 Duncan Street, Whanganui East Whanganui			

RECEIVED 25/11/2024

NOTESLEGEND: WINDOW PANELS

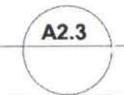
SP	-	Sliding Panel
F	-	Fixed Panel
A	-	Awning Pane
O	-	Obscure Glazing
SG	-	Safety Glass
D	-	Double Glazing
S	-	Single Glazing
LF	-	Louvre Fixed Panel

Distributor: Whanganui	Drawn by: SP	Project: Proposed 6.0 x 4.2 garage	COPYRIGHT SKYLINE BUILDINGS LIMITED 1 RYMER PLACE MANEREA BRIDGE	PHONE: (09) 636 0200 FAX: (09) 636 0201 www.skylinebuildings.co.nz		SHEET Number A2.2
Salesperson:	Scale: As Indicated	For: Katie Langridge		Sheet Name: Elevations		
Revision:	Date: 7/11/2024 10:06 56 a.m.	At: 38 Duncan Street, Whanganui East, Whanganui				

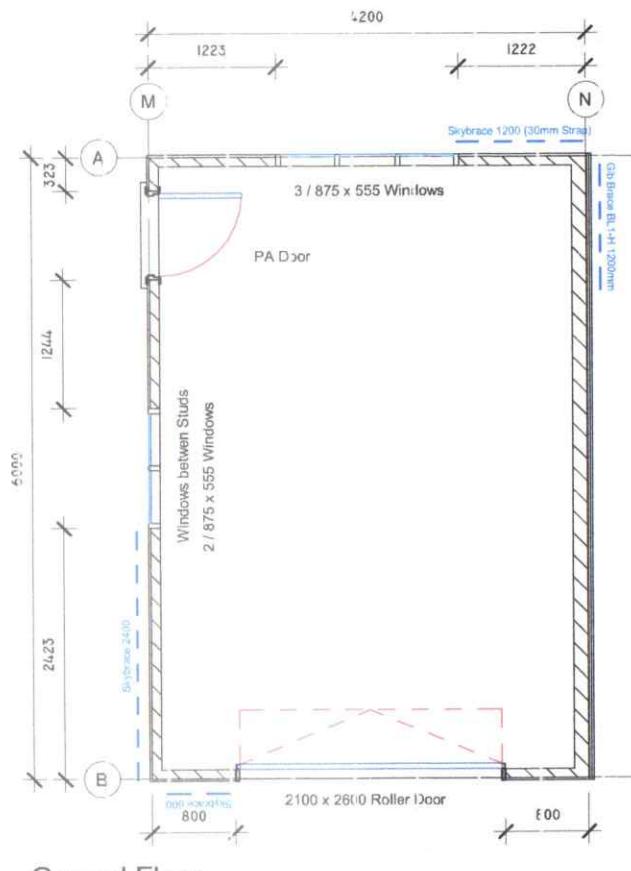
NOTESLEGEND: WINDOW PANELS

SP	-	Sliding Panel
F	-	Fixed Panel
A	-	Awning Pane
O	-	Obscure Glazing
SG	-	Safety Glass
D	-	Double Glazing
S	-	Single Glazing
LF	-	Louvre Fixed Panel

Distributor: Whanganui	Drawn by: SP	Project: Proposed 6.0 x 4.2 garage	COPYRIGHT SKYLINE BUILDINGS LIMITED 1 RYMER PLACE MANGERE BRIDGE	PHONE: (09) 636 0200 FAX: (09) 636 0201 www.skylinebuildings.co.nz	Sheet Name: Elevations		SHEET
Salesperson:	Scale: As indicated	For: Katie Langridge					Nurnber



RECEIVED 25/11/2024

NOTESStructural gable truss:

No lintel required for gable end openings as it's under a structural gable truss.

Fixed Windows: windows between studs. No lintels needed.

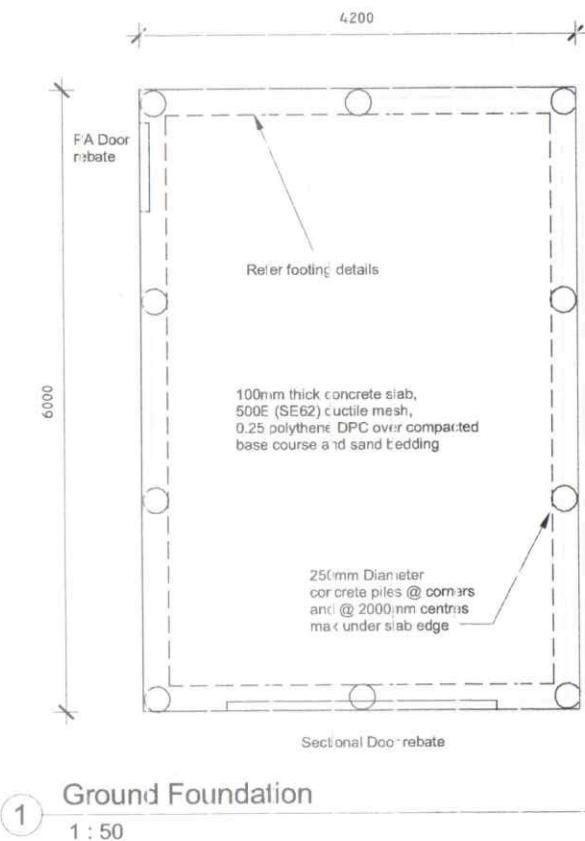
Distributor: Whanganui	Drawn by: SP	Project: Proposed 6.0 x 4.2 garage
Salesperson:	Scale: As Indicated	For: Katie Langridge
Revision:	Date: 7/11/2024 10:06:58 a.m.	At: 38 Duncan Street, Whanganui East, Whanganui

COPYRIGHT
SKYLINE BUILDINGS LIMITED
1 RYMER PLACE
MANGERIE BRIDGE
Sheet Name: Floor Plan

PHONE: (09) 636 0200
FAX: (09) 636 0201
www.skylinebuildings.co.nz



SHEET
Number A3.0

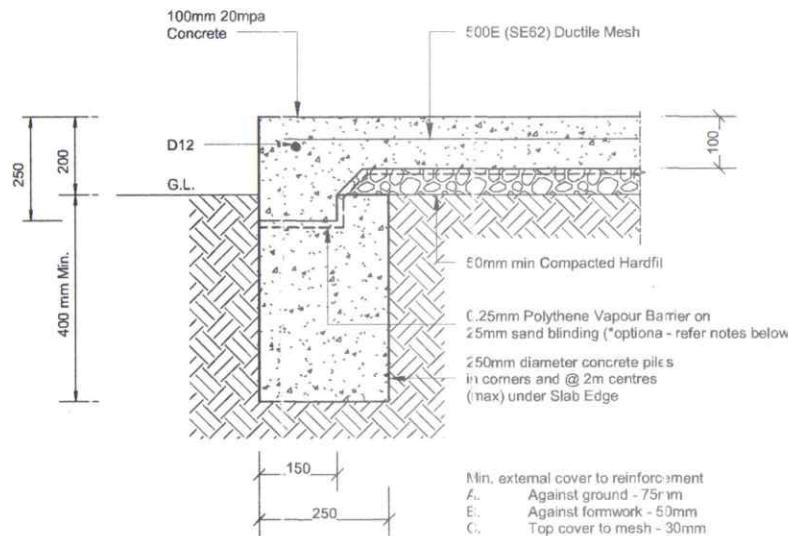


Distributor:	Whanganui	Drawn by:	SP	Project:	Proposed 6.0 x 4.2 garage	RIGHT SKYLINE BUILDINGS LIMITED 1 RYMER PLACE MANGERE BRIDGE	PHONE: (09) 636 0200 FAX: (09) 636 0201 www.skylinebuildings.co.nz	SHEET Number
Salesperson:		Scale:	1 : 50	For:	Katie Langridge			
Revision:		Date:	7/11/2024 10:06:58 a.m.	At:	38 Duncan Street, Whanganui East, Whanganui	Sheet Name: Floor Foundation Plan	 A3.1	

FOUNDATION AND SLAB FOR STANDARD SKYLINE GARAGE

(To be used only for Importance Level 1 / Accessory Buildings)

(Suitable for 150kPa (ULS) ground conditions which equates to 50kPa allowable)



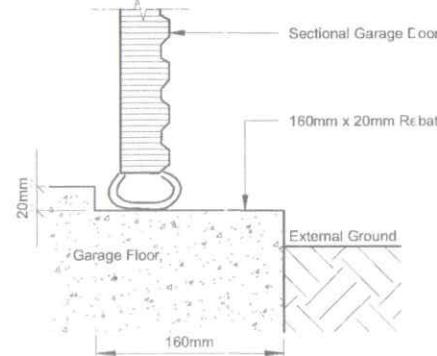
NOTE:
Standard concrete saw cut shrinkage control joints (25mm min depth) panels formed to have min L:W ratio of 2:1 & 1:2 with max plan dimension of 6M between control joints.

All Dimensions in Millimetres

Concrete to be 20MPa or better except Seaspay Zone where 25MPa is required

(*0.25mm Polythene Vapour Barrier is not required for stand alone garages only. Polythene is required if a garage has attached workshop / storage or any rooms not for garage purposes.

For any garages with attached habitable areas (sleepouts/ studios/ games/ rumpus etc.) use the Skyline (Go:tag) Habitable Footing - designed from NZS3604/2011



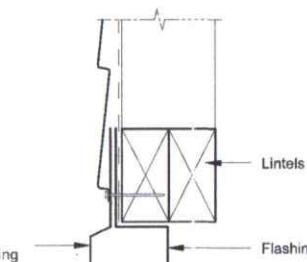
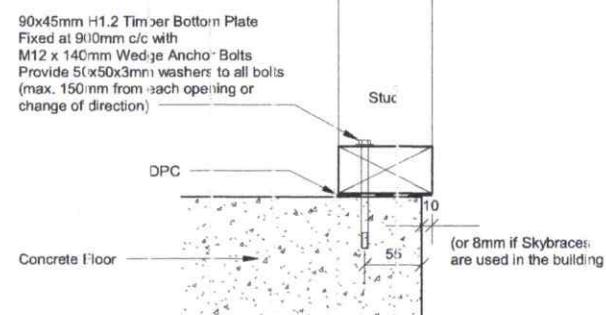
GARAGE FLOOR REBATE

ROLLER DOOR DETAIL

SCALE N.T.S.

SKYLINE ROLLER DOOR REBATE DETAILS

SCALE N.T.S.

PA DOOR LINTEL - LOAD BEARING
SCALE 1:5BOTTOM PLATE FIXING DETAIL
SCALE N.T.S.

SHEET

Number

A6.0

Distributor: Whanganui	Drawn by: SP	Project: Proposed 6.0 x 4.2 garage
Salesperson:	Scale: As indicated	For: Katie Langridge
Revision:	Date: 7/11/2024 10:07:02 a.m.	At: 38 Duncan Street, Whanganui East, Whanganui

COPYRIGHT
SKYLINE BUILDINGS LIMITED
1 RYMER PLACE
MANGERE BRIDGE
PHONE: (09) 636 0200
FAX: (09) 636 0201
www.skylinebuildings.co.nz

Sheet Name: Foundation & Slab Details



Sheet List	
Sheet Number	Sheet Name
00	Title Page
A0.0	Keynote
A2.0	Elevations
A2.1	Elevations
A2.2	Elevations
A2.3	Elevations
A3.0	Floor Plan
A3.1	Floor Foundation Plan
A4.0	Roof Plan
A4.1	Roof Framing Plan
A5.0	Section AA
A5.1	Firewall Section
A6.0	Foundation & Slab Details
A7.0	Framing Details
A8.0	Truss To Top Plate Fixing Details
A9.0	Truss & Freize / Base Board Details

Sheet List	
Sheet Number	Sheet Name
A10.0	Purlin Details
A11.0	Barge Details
A12.0	Frieze board, base board, roof bracing and PA Door lintel Details
A13.0	Standard Joinery Details
A14.0	Bracing Details
A14.1	Bracing Details
A14.2	Bracing Details
A14.3	Bracing Details

REPORT ALL DISCREPANCIES TO SKYLINE
DISTRIBUTOR FOR CLARIFICATION IMMEDIATELY.
DO NOT SCALE OFF THESE DRAWINGS.
FOLLOW THE GIVEN DIMENSIONS OR SIZES AS NOTED
IF IN ANY DOUBT CONTACT THE SKYLINE DISTRIBUTOR

Distributor: Whanganui
Drawn by: SP
Project: Proposed 6.0 x 4.2 garage
Salesperson:
Revision: Date: 7/11/2024 10:06:47 a.m. At: 38 Duncan Street, Whanganui East, Whanganui

COPYRIGHT
SKYLINE BUILDINGS LIMITED
1 RYMER PLACE
MANGERE BRIDGE

PHONE: (09) 636 0200
FAX: (09) 636 0201
www.skylinebuildings.co.nz



SHEET
Number 00

Keynote Legend	
Key Value	Keynote Text
301	Skyrib standard roofing with 0.40mm Aluminium-zinc alloy coated steel longrun trapezoidal profile roofing. Ridging is 0.40mm Aluminium-zinc alloy coated steel with Ali edging.
501	Spouting is 0.55mm magnaflow coated steel gutters fixed to two sides of the Building. Downpipe is Marley 65mm PVC.
503	Ridging is 0.40mm Aluminium-zinc alloy coated steel with Ali edging.

<u>Key:</u>	
	Wet Area Vinyl Floor Covering
	Ceiling Fan
	Extractor Fan
	Hot Water Cylinder
	Smoke Detectors
	External Continuous Flow Gas Water Heater
	Roof Permaglass

<u>Key:</u>	
	Electrical Switchboard
	Electrical Meter
	Spot Elevation

Distributor: Whanganui	Drawn by: SP	Project: Proposed 6.0 x 4.2 garage	COPYRIGHT SKYLINE BUILDINGS LIMITED 1 RYMER PLACE MANGERE BRIDGE	PHONE: (09) 636 0200 FAX: (09) 636 0201 www.skylinebuildings.co.nz	SHEET Number A0.0
Salesperson:	Scale: 1 : 50	For: Katie Langridge			
Revision:	Date: 7/11/2024 10:06:49 a.m.	At: 38 Duncan Street, Whanganui East, Whanganui	Sheet Name: Keynote		



SECTION 4200mm

ROOF PITCH

15

ROOFING

Roofing is 0.40mm Aluminium-zinc alloy coated steel longrun trapezoidal profile roofing.
Ridging is 0.40mm Aluminium-zinc alloy coated steel with All edging

SPOUTING & DP's

Spothing is 0.55mm Aluminium-zinc alloy coated steel gutters fixed to two sides of the Building.
Downpipe is Marley 65mm PVC

EXTERIOR SHEATHING

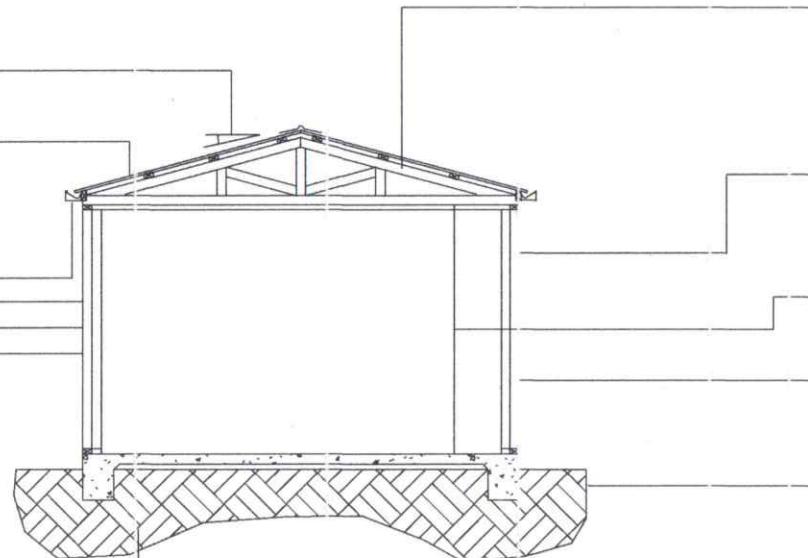
Skylab board Profile 0.40mm Aluminium-zinc alloy coated steel COLORCC TE weatherboards

STRUCTURAL BRACING

refer to appendix A -
"Wall Bracing System: BRANZ ST0723/1/2/3/4"
containing the report from BRANZ Ltd.
or refer to GIB-EzyBrace-Systems-2016-August

BUILDING PAPER

Building paper under roof - Thermakraft Bitumous Heavyweight Building paper
Building paper under cladding - Thermakraft Bitumous Heavyweight Building paper



NOTE

- The Floor Structure of this building is not suited to habitable use
- All Timber Graded SG8

Section is only representation,
please refer to truss manufacturer &
engineering for more information

NOTES

Distributor: Whanganui	Drawn by: SP	Project: Proposed 6.0 x 4.2 garage
Salesperson:	Scale: As indicated	For: Katie Langridge
Revision:	Date: 7/11/2024 10:07:00 a.m.	At: 38 Duncan Street, Whanganui East, Whanganui

COPYRIGHT
SKYLINE BUILDINGS LIMITED
1 RYMER PLACE
MANGERE BRIDGE

Sheet Name: Section AA

PHONE: (09) 636 0200
FAX: (09) 636 0201
www.skylinebuildings.co.nz



SHEET

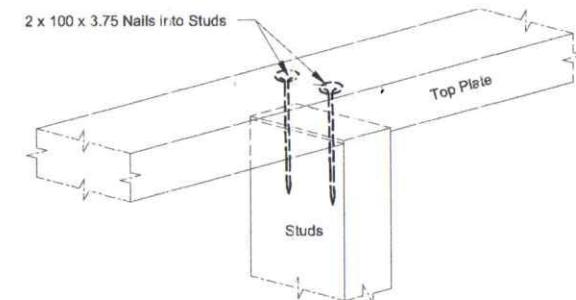
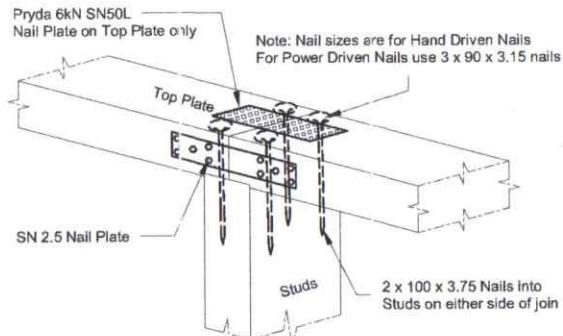
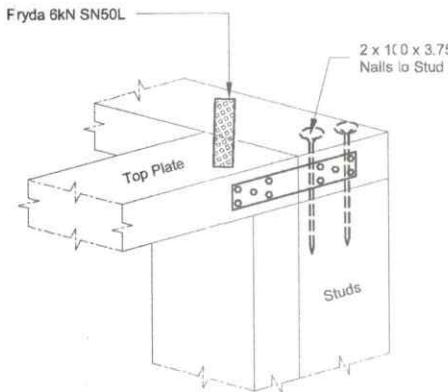
Number

A5.0

SKYLINE STANDARD TOP PLATE TO STUD FIXING DETAILS

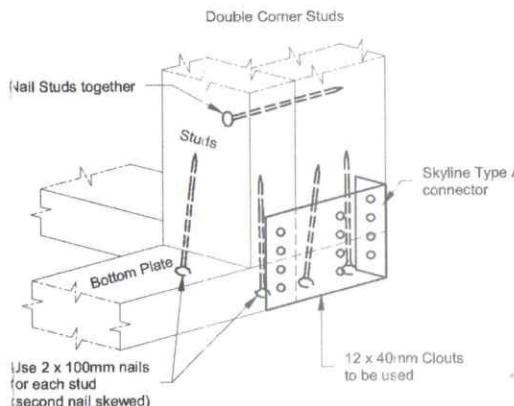
Updated as per Engineering Calculations of N.S. Chandler Ltd. dated 09 June 2019

Note: Nail sizes are for Hand Driven Nails
For Power Driven Nails use 3 x 90 x 3.15 nails



DOUBLE CORNER STUD DETAIL

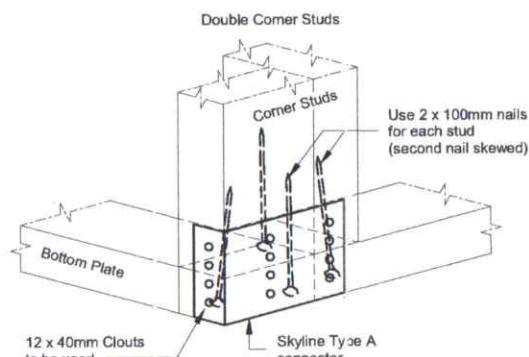
SCALE 1:5

TOP & BOTTOM CONNECTOR DETAIL
AT CORNERS

SCALE 1:5

TOP JOINT CONNECTOR DETAIL

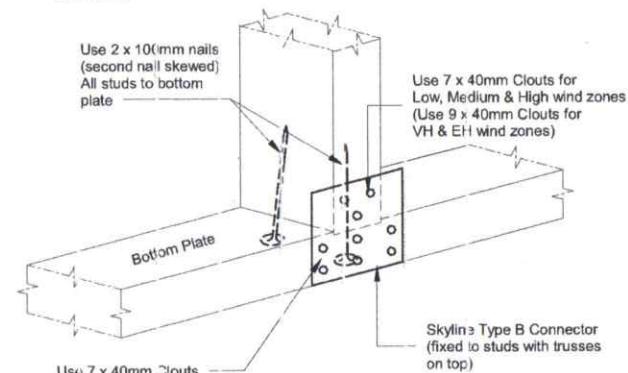
SCALE 1:5

BOTTOM CONNECTOR DETAIL
AT CORNERS

SCALE 1:5

PLATE TO STUD FIXING DETAIL
(TYPICAL - Studs without Trusses over)

SCALE 1:5

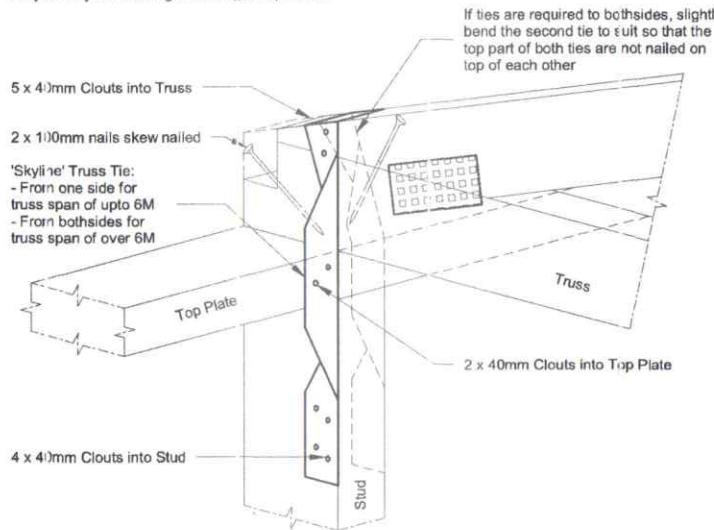
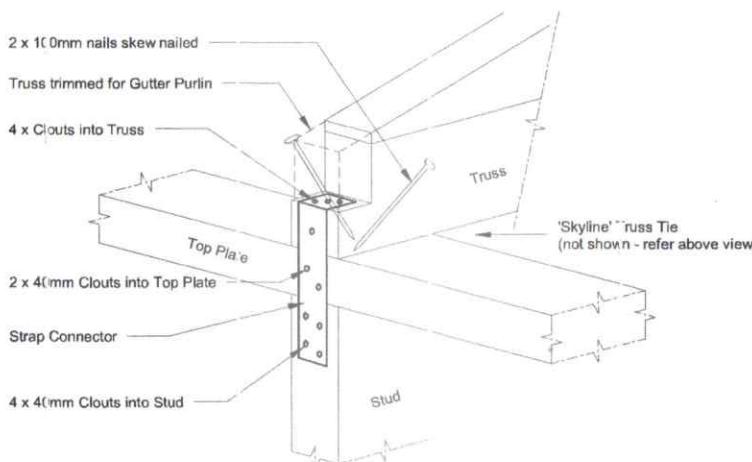
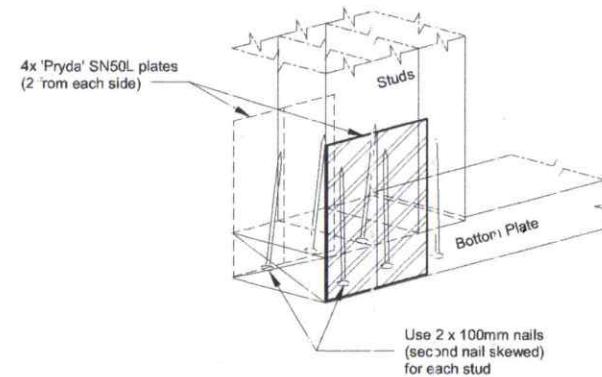
STUD PLATE FIXING DETAIL
UNDER TRUSSES

SCALE 1:5

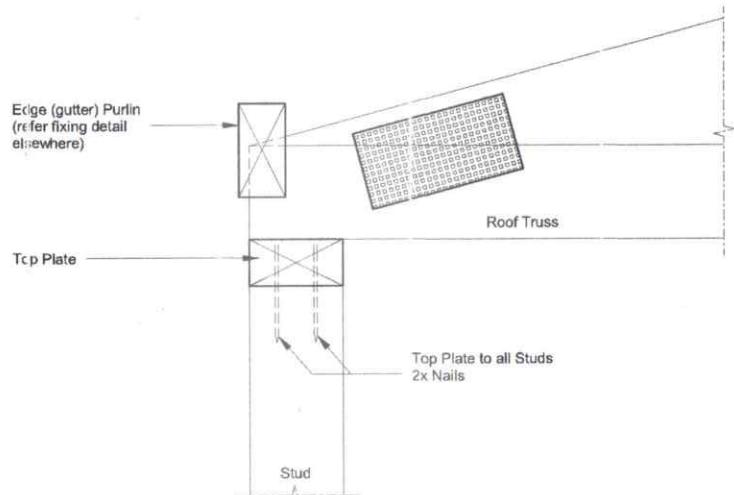
Distributor: Whanganui	Drawn by: SP	Project: Proposed 6.0 x 4.2 garage	COPYRIGHT SKYLINE BUILDINGS LIMITED 1 RYMER PLACE MANGERE BRIDGE	PHONE: (09) 636 0200 FAX: (09) 636 0201 www.skylinebuildings.co.nz	 SHEET Number A7.0
Salesperson:	Scale: 1:5	For: Katie Langridge	Sheet Name: Framing Details		
Revision:	Date: 7/11/2024 10:07:03 a.m.	At: 38 Duncan Street, Whanganui East, Whanganui			

SKYLINE STANDARD TRUSS TO TOP PLATE & STUD FIXING DETAILS

Only for Skyline Buildings with single Top Plates

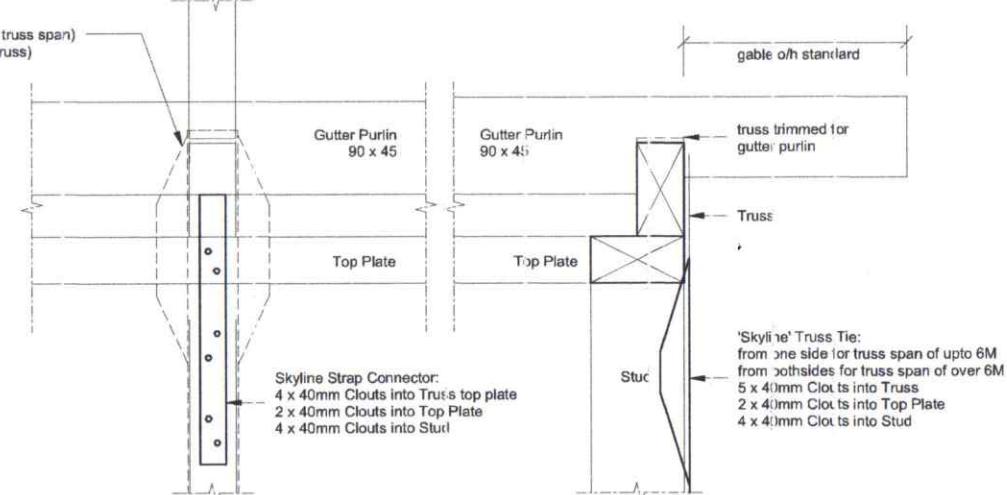
TRUSS TIE DETAIL
SCALE 1:5STRAP CONNECTOR DETAIL
SCALE 1:5TRIPLE STUDS TO PLATE FIXING DETAIL
FOR GARAGE DOORS UP TO 4.8M WIDTH
SCALE 1:5

Distributor: Whanganui	Drawn by: SP	Project: Proposed 6.0 x 4.2 garage	COPYRIGHT SKYLINE BUILDINGS LIMITED 1 RYMER PLACE MANGERE BRIDGE	PHONE: (09) 636 0200 FAX: (09) 636 0201 www.skylinebuildings.co.nz	SHEET Number A8.0
Salesperson:	Scale: 1:5	For: Katie Langridge			
Revision:	Date: 7/11/2024 10:07:03 a.m.	At: 38 Duncan Street, Whanganui East, Whanganui	Sheet Name: Truss To Top Plate Fixing Details		



TOP PLATES TO STUD

SCALE 1:5

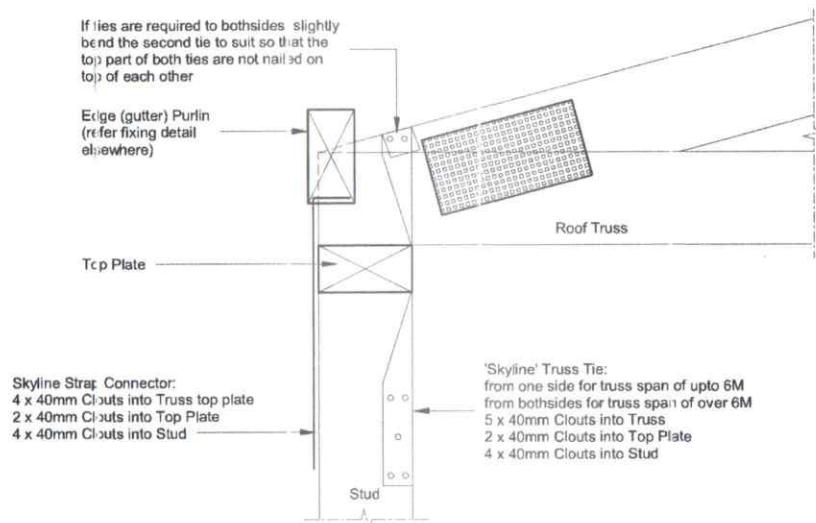


**INTERNAL TRUSS
(looking from outside)**

SCALE 1:5

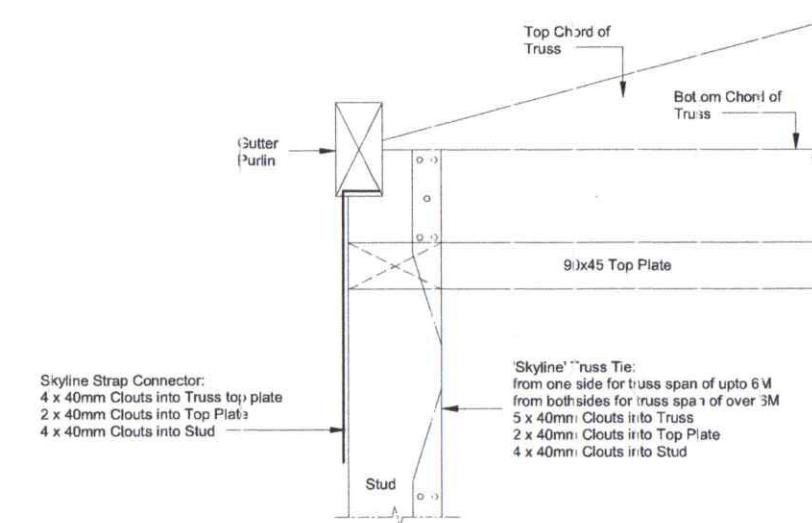
GABLE TRUSS

SCALE 1:5



TRUSS TO TOP PLATE

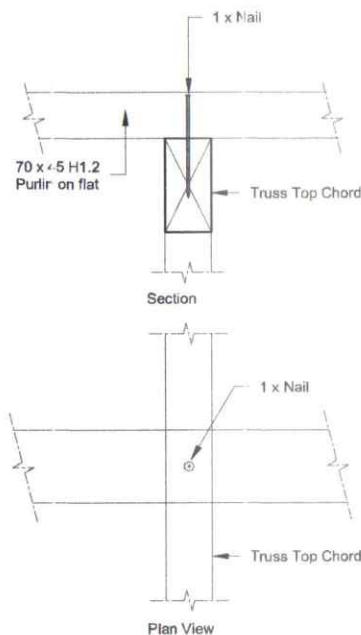
SCALE 1:5



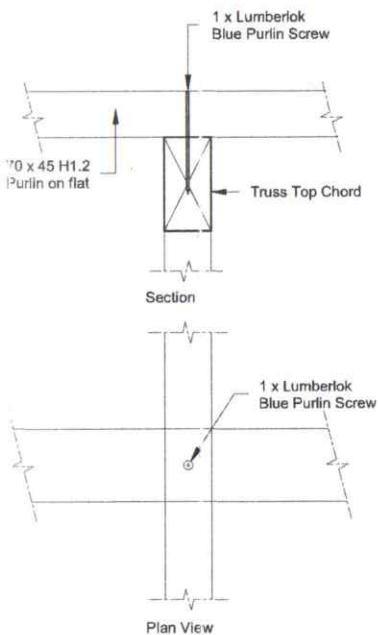
**GABLE TRUSS
(looking from outside)**

SCALE 1:5

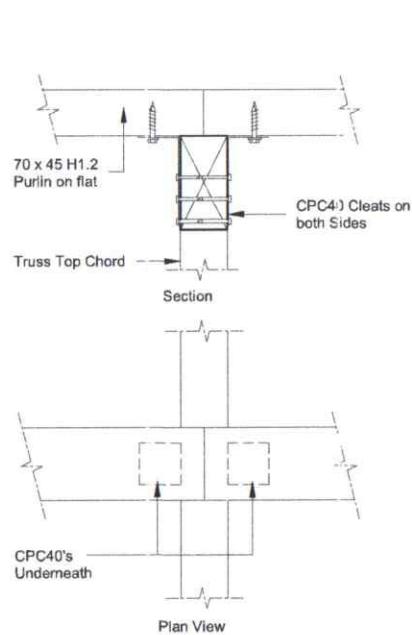
Distributor: Whanganui	Drawn by: SP	Project: Proposed 6.0 x 4.2 garage	COPYRIGHT SKYLINE BUILDINGS LIMITED 1 RYMER PLACE MANGERE BRIDGE	PHONE: (09) 636 0200 FAX: (09) 636 0201 www.skylinebuildings.co.nz	
Salesperson:	Scale: 1:5	For: Katie Langridge			SHEET
Revision:	Date: 7/11/2024 10:07:05 a.m.	At: 38 Duncan Street, Whanganui East, Whanganui	Sheet Name: Truss & Freize / Base Board Details	Number: A9.0	



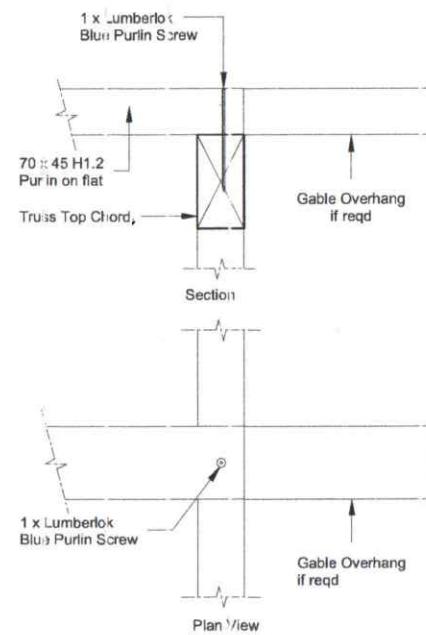
STANDARD PURFLIN FIXING
(non structural)



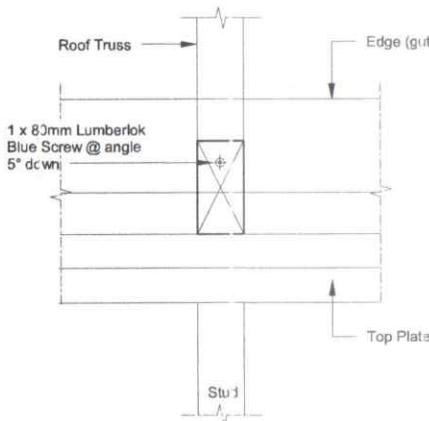
STANDARD PURFLIN FIXING
(structural)



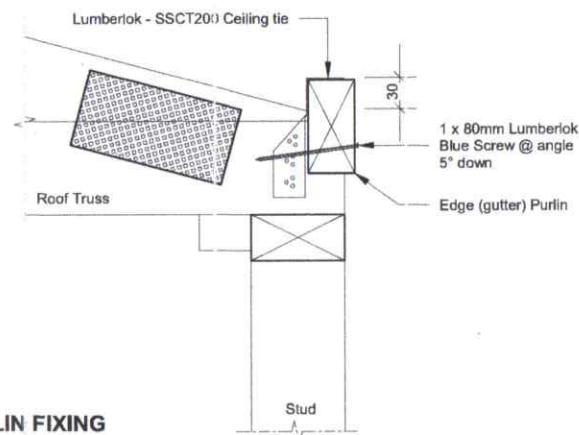
PURFLIN BUTT JOINT FIXING



GABLE END PURFLIN FIXING



EDGE (GUTTER) PURFLIN FIXING



AS PER ENGINEERS CALCULATION & AS PER
MITEK'S STRUCTURAL FIXINGS ON-SITE GUIDE
FOR BUILDING CODE COMPLIANCE.

Distributor: Whanganui	Drawn by: SP	Project: Proposed 6.0 x 4.2 garage
Salesperson:	Scale: 1 : 5	For: Katie Langridge
Revision:	Date: 7/11/2024 10:07:05 a.m.	At: 38 Duncan Street, Whanganui East, Whanganui

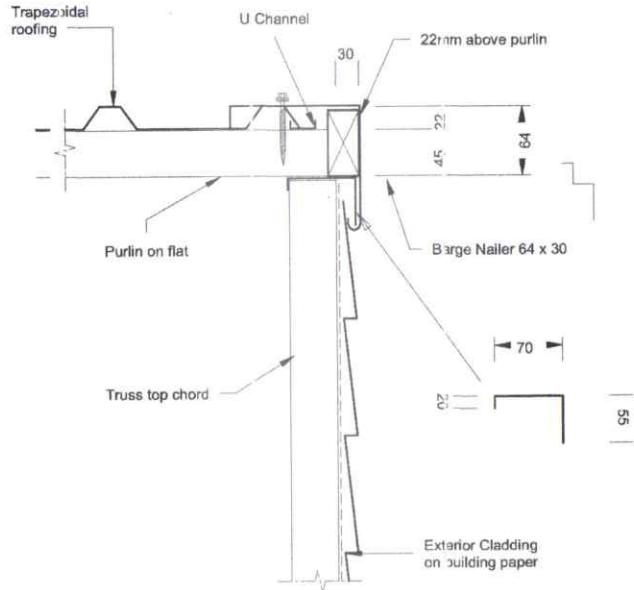
COPYRIGHT
SKYLINE BUILDINGS LIMITED
1 RYMER PLACE
MANGERE BRIDGE
Sheet Name: Purflin Details

PHC/N: (09) 636 0200
FAX: (09) 636 0201
www.skylinebuildings.co.nz

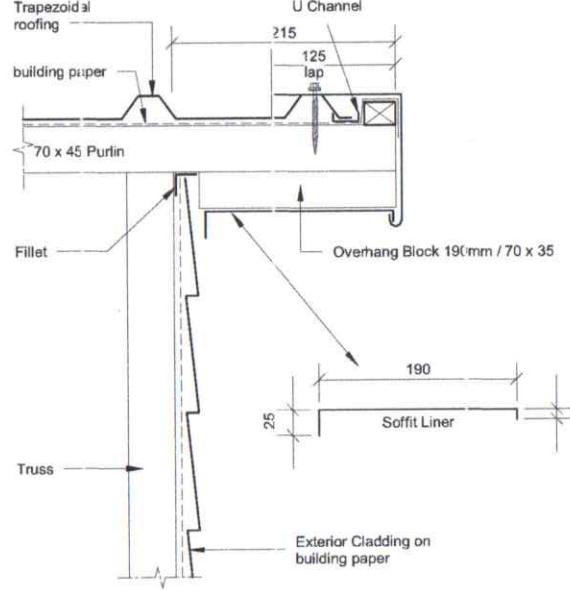


SHEET
Number
A10.0

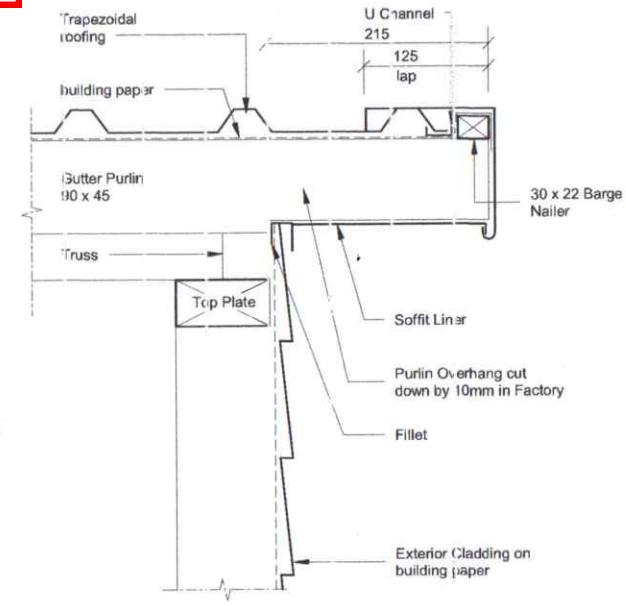
RECEIVED 25/1/2024



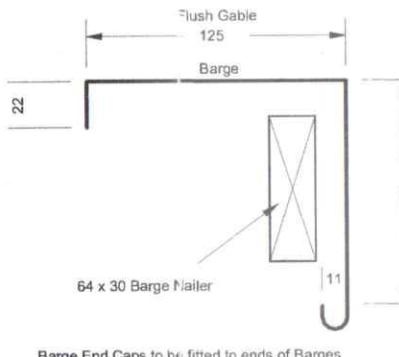
NO GABLE OVERHANG



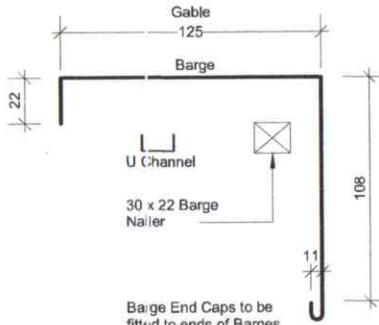
GABLE OVERHANG 215MM



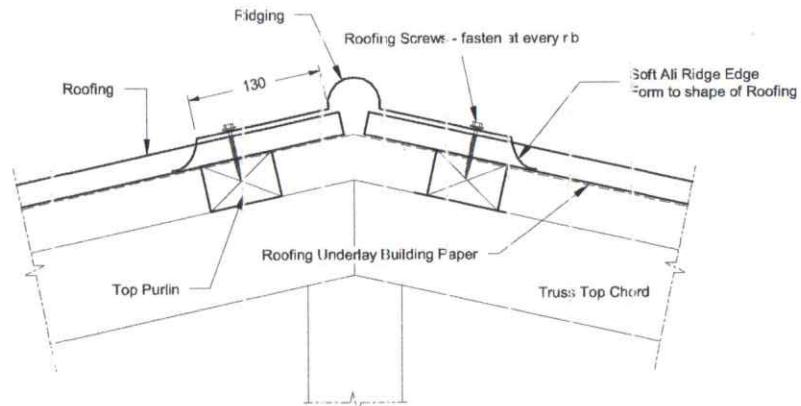
GABLE OVERHANG 215MM



COMPONENTS ONE PIECE BARGE DETAILS



COMPONENTS



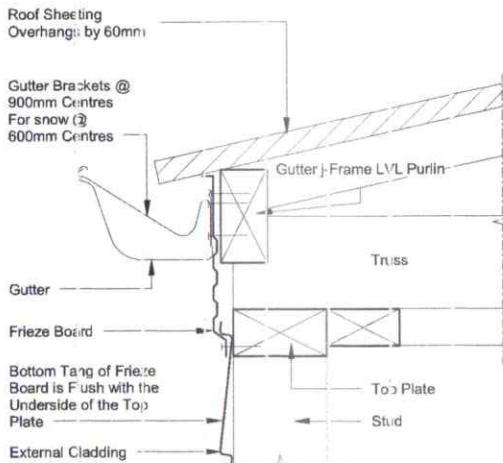
RIDGE FLASHING DETAILS

1

06 - Barges - 215 GO - 90 STP - skyrib - skyboard - DF

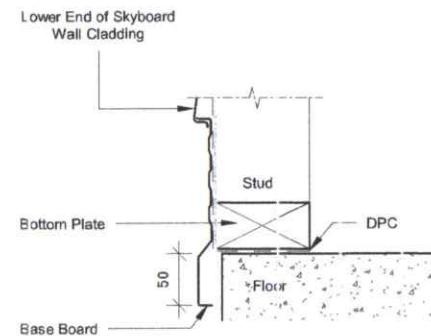
1:5

Distributor:	Whanganui	Drawn by:	SP	Project:	Proposed 6.0 x 4.2 garage	COPYRIGHT SKYLINE BUILDINGS LIMITED 1 RYMER PLACE MANGERE BRIDGE PHONE: (09) 636 0200 FAX: (09) 636 0201 www.skylinebuildings.co.nz	SHEET Number A11.0
Salesperson:		Scale:	1:5	For:	Katie Langridge		
Revision:		Date:	7/11/2024 10:07:06 a.m.	At:	38 Duncan Street, Whanganui East, Whanganui		
Sheet Name: Barge Details							



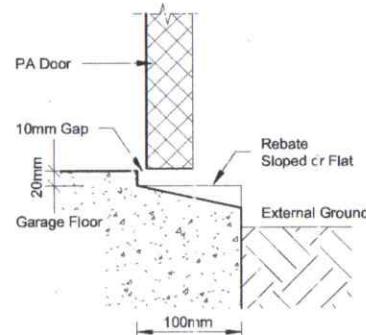
FRIEZE BOARD & GUTTER DETAILS

Section View Scale 1:5



BASE BOARD DETAILS

for 100 & 150mm Skyboard
Plan View Scale 1:5

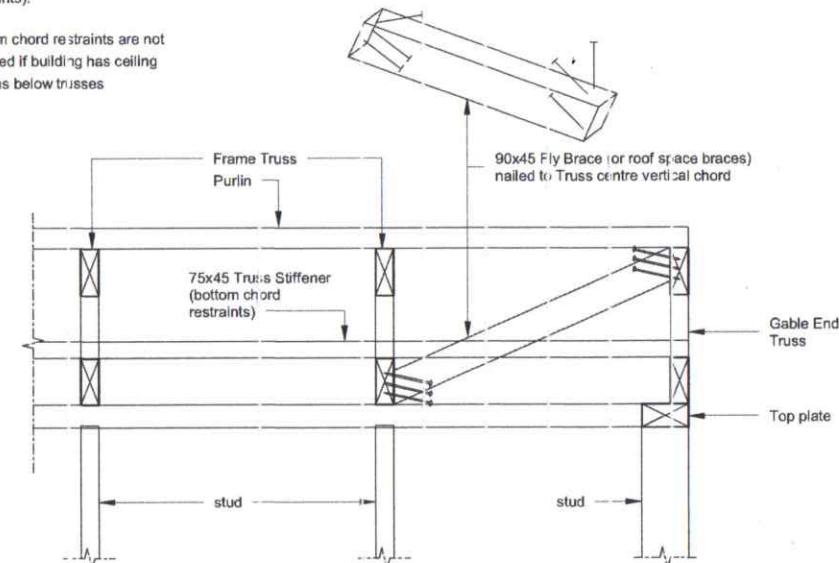


GARAGE FLOOR REBATE PA DOOR DETAIL SCALE N.T.S.

FIXING ROOF SPACE BRACES

Check that end trusses are vertical. Then place the 90x45 roof space braces (or fly braces) on an angle from top chord of one truss to the bottom chord of the next one. Fix with 3x60mm skewed framing nails to either end. If there is no roof strap bracing the RSB's should be fitted in line with the truss stiffeners (or bottom chord restraints).

Bottom chord restraints are not required if building has ceiling battens below trusses



Distributor: Whanganui	Drawn by: SP	Project: Proposed 6.0 x 4.2 garage
Salesperson:	Scale: As indicated	For: Katie Langridge
Revision:	Date: 7/11/2024 10:07:07 a.m.	At: 38 Duncan Street, Whanganui East, Whanganui

COPYRIGHT
SKYLINE BUILDINGS LIMITED
1 RYMER PLACE
MANGERE BRIDGE

PHONE: (09) 636 0200
FAX: (09) 636 0201
www.skylinebuildings.co.nz

Sheet Name: Frieze board, base board, roof bracing and PA Door lintel Details

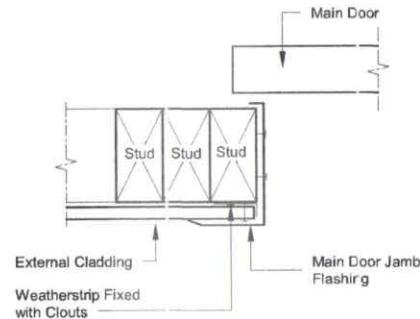


SHEET

Nurnber

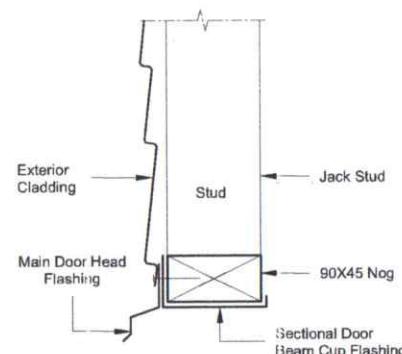
A12.0

Skyline Standard Flashing Details



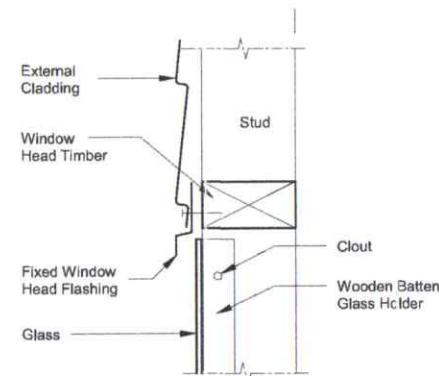
MAIN DOOR JAMB FLASHING DETAILS

Plan View Scale 1:5



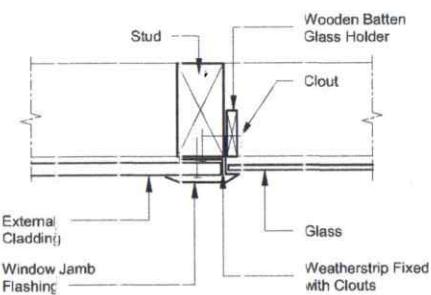
MAIN DOOR HEAD FLASHING

Section View Scale 1:5



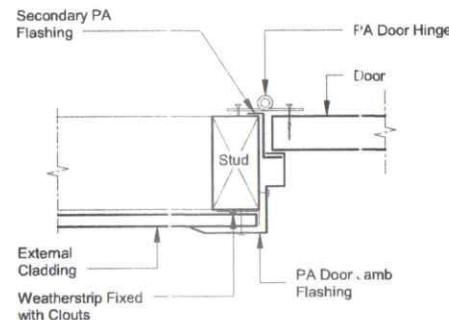
FIXED WINDOW HEAD FLASHING

Section View Scale 1:5



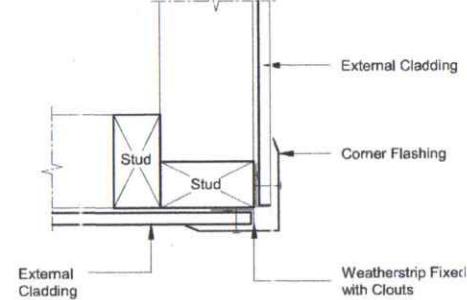
FIXED WINDOW JAMB FLASHING

Plan View Scale 1:5



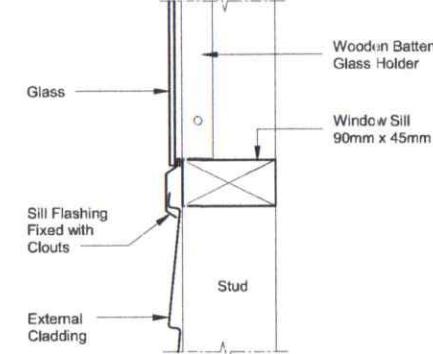
PA DOOR JAMB FLASHING DETAILS

Plan View Scale 1:5



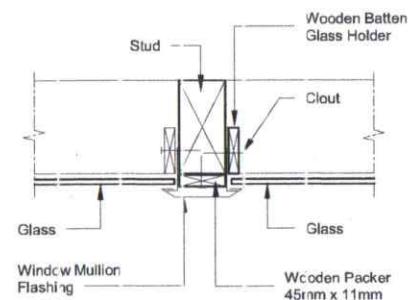
CORNER FLASHING

Plan View Scale 1:5



FIXED WINDOW SILL FLASHING

Section View Scale 1:5



FIXED WINDOW MULLION FLASHING

Plan View Scale 1:5

Distributor: Whanganui	Drawn by: SP	Project: Proposed 6.0 x 4.2 garage
Salesperson:	Scale: 1:5	For: Katie Langridge
Revision:	Date: 7/11/2024 10:07:07 a.m.	At: 38 Duncan Street, Whanganui East, Whanganui

COPYRIGHT
SKYLINE BUILDINGS LIMITED
1 RYMER PLACE
MANGERE BRIDGE

Sheet Name: Standard Joinery Details

PHONE: (09) 636 0200
FAX: (09) 636 0201
www.skylinebuildings.co.nz



SHEET

Number

A13.0



Cladding Details

100mm SKYBOARD

RECEIVED 25/11/2024



“Skyline” Cladding Specification

Exterior Walls

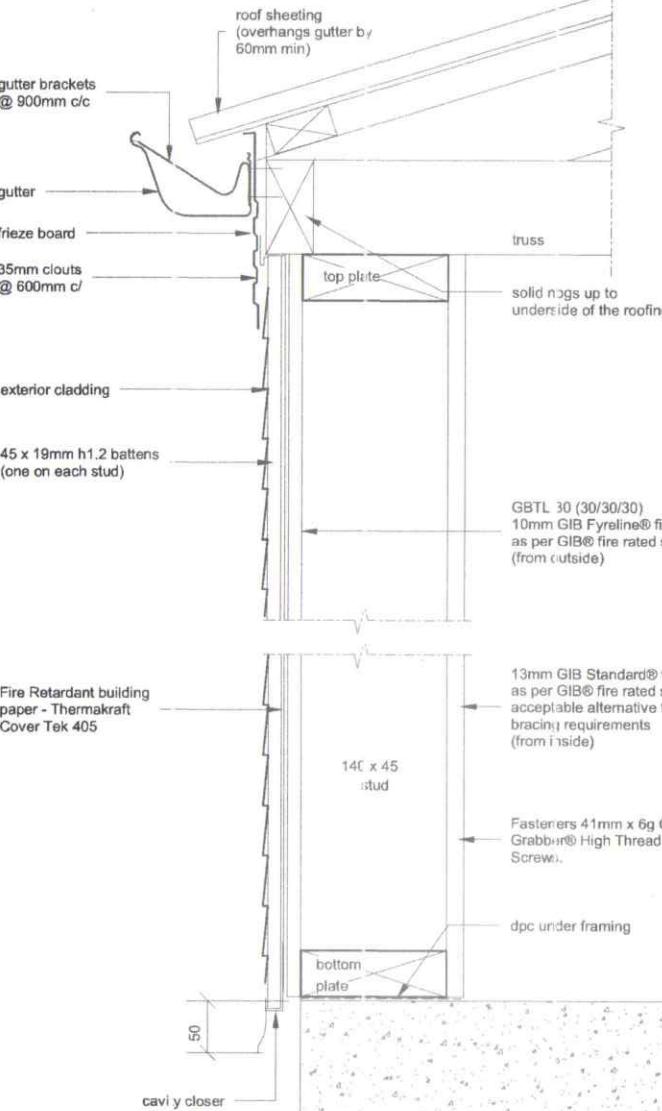
- ◆ Exterior Lining-prepainted .40mm gauge aluminium/zinc alloy steel weatherboard (Colorcote) cold roll-formed profile unless otherwise stated on the plans.
- ◆ Refer to Technical Information brochure from “Colorcote Pre-painted Metal Products” for material and coating specifications.

Roofing

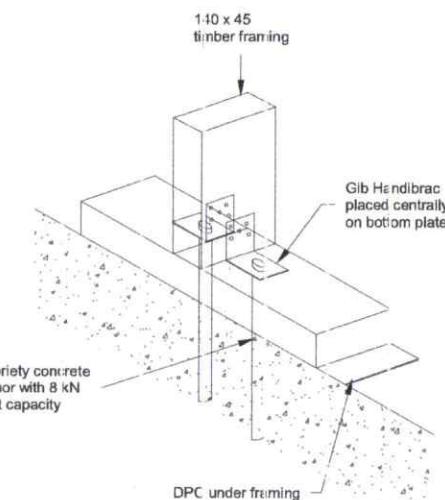
- ◆ Roofing iron is long-run 0.4mm pre-painted zinc-aluminium alloy coated steel 6 rib “Skyrib” cold roll-formed trapezoidal profile unless otherwise stated on the plans.
- ◆ Refer to Technical Information brochure from “Colorcote Pre-painted Metal Products” for material and coating specifications.

Technical Services
Skyline buildings
20 September 2006

RECEIVED 25/11/2024



This Wall to Be Constructed as Per
Gib Fire-Rated Systems 2018
Issued October 2018
Note: Cavity Required under Exterior Wall Cladding



FIRE WALL SECTION

Section View N.T.S

HOLD DOWN DETAIL

Section View N.T.S

Distributor:	Whanganui	Drawn by:	SP
Salesperson:		Scale:	1 : 5
Revision:		Date:	7/11/2024 10:07:01 a.m.

Project:	Proposed 6.0 x 4.2 garage
For:	Katie Langridge
At:	38 Duncan Street, Whanganui East, Whanganui

COPYRIGHT
SKYLINE BUILDINGS LIMITED
1 RYMER PLACE
MANGERE BRIDGE

PHC/N: (09) 636 0200
FAX: (09) 636 0201
www.skylinebuildings.co.nz

Sheet Name: Firewall Section



SHEET

Number

A5.1

GIB EzyBrace® Systems specification BL1-H

Specification code	Minimum length (m)	Lining requirement	Other requirements
BL1-H	0.4	10mm or 13mm GIB BraceLine® to one side only	Hold downs

WALL FRAMING

Wall framing to comply with:

- NZBC B1 — Structure B1/AS1 Clause 3 Timber (NZS 3604:2011)
- NZBC B2 — Durability B2/AS1 Clause 3.2 Timber (NZS 3602)

Framing dimensions and height as determined by NZS 3604:2011 stud and top plate tables for load bearing and non-bearing walls. The use of kiln dried stress graded timber is recommended.

BOTTOM PLATE FIXING

Timber floor

Use panel hold downs at each end of the bracing element. The GIB HandBrac® is recommended. See details in GIB EzyBrace® Systems or GIB® Site Guide.

Pairs of hand driven 100 x 3.75mm nails at 600mm centres; or three power driven 100 x 3.15mm nails at 600mm centres.

Concrete floor

Use panel hold downs at each end of the bracing element. The GIB HandBrac® is recommended. See details in GIB EzyBrace® Systems or GIB® Site Guide. Within the length of the bracing element bottom plates are to be fixed in accordance with the requirements of NZS 3604:2011.

WALL LINING

- A layer of 10mm or 13mm GIB BraceLine®
- Sheets can be fixed vertically or horizontally.
- Sheet joints shall be touch fitted.
- Use full length sheets where possible.

PERMITTED ALTERNATIVES

For permitted GIB® plasterboard alternatives refer to p. 5 in GIB EzyBrace® Systems literature.

FASTENING THE LINING

Fasteners

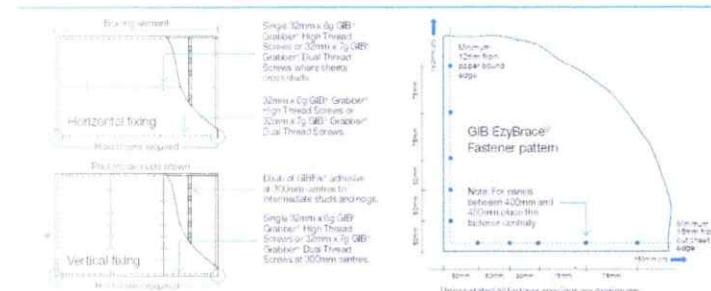
32mm x 6g GIB® Grabber® High Thread Screws or 32mm x 7g GIB® Grabber® Dual Thread Screws. If using the GIBFix® Framing System or fastening through GIBFix® Angles use only 32mm x 7g GIB® Grabber® Dual Thread Screws.

Fastener centres

50,100,150,225,300mm from maximum each corner and 100mm thereafter around the perimeter of the bracing element. For vertically fixed sheets place fasteners at 300mm maximum centres to the sheet joint. For horizontally fixed sheets place single fasteners to the sheet edge where it crosses the stud. Use daubs of GIBFix® adhesive at 300mm maximum centres to intermediate studs. Place fasteners no closer than 12mm from paper bound sheet edges and 18mm from any sheet end or cut edge.

JOINTING

Joint strength is important in delivering bracing system performance. All fastener heads stopped and all sheet joints GIB® Joint Tape reinforced and stopped in accordance with the GIB® Site Guide.



For use in GIB® Systems as per these tested, all components must be installed exactly as prescribed. Substituting components produces an entirely different system and may severely compromise performance. Follow the specifications. This specification sheet is issued in conjunction with the publication GIB EzyBrace® Systems.

Distributor: Whanganui	Drawn by: SP	Project: Proposed 6.0 x 4.2 garage	COPYRIGHT SKYLINE BUILDINGS LIMITED 1 RYMER PLACE MANERE BRIDGE PHONE: (09) 636 0210 FAX: (09) 636 0201 www.skylinebuildings.co.nz	Shee. Name: Bracing Details	SHEET
Salesperson:	Scale: 1:1	For: Katie Langridge			Number
Revision:	Date: 7/11/2024 10:07:08 a.m.	At: 38 Duncan Street, Whanganui East, Whanganui			A14.0



APPENDIX A

6.0 x 4.2 garage



WALL BRACING SYSTEM

100mm SKYBOARD WALL CLADDING

RECEIVED 25/11/2024

APPENDIX A.

Maintenance Instructions

Tilt Door Maintenance - Oil all pivot points, arms & wheels, and lightly oil the tracks every 6 months. Lubricate key holes annually.

Gutter Maintenance - These should be cleaned at least once a year and on a more regular basis where there are trees in close proximity to remove leaves and dirt that can cause corrosion.

Access Door Maintenance - Oil hinges and key holes annually.

Exterior Maintenance

As a guide;

- Inland areas wash every 6 months.
- Coastal & Industrial areas wash every 3 months.
- Aggressive coastal areas wash every 2 months.

N.B Aggressive Environments - Skyline Buildings Ltd and its Distributors shall not be liable for the performance of the Aluminium-Zinc Alloy Coating or pre-painting treatment of the sheet metal used in the construction of buildings built in close proximity of aggressive environments. This includes and building within 500 metres of the coastline. In these areas all pre-painted and Aluminium-Zinc Coated steel wall cladding must be repainted every 5 years.

Copyright: Skyline Buildings Ltd P.O.Box 12-261, Penrose.
Ph: 0800 83 4000



RECEIVED 25/11/2024

Bracing Demand Calculations

Job Number: 12002
Client Name: Katie Langridge
Site Address: 38 Duncan Street, Whanganui East, Whanganui
Skyline Distributor: Skyline Wanganui

Number Of Stories	Single	Along	Across
Floor Loading	2KPa	Wind Demand Single	99 120
Foundation Type	Slab	Earthquake Demand Single	96
Sub Floor Cladding Weight	N/A	Wind Demand Sub Floor	0 0
Single Floor Cladding Weight	Light	Earthquake Demand Sub Floor	0
Roof Weight	Light		
Roof Pitch	15		
Roof Height Above Eaves (m)	0.563		
Building Height to Apex (m)	3.113		
Ground to Lower Floor Level (m)	0.15		
Stud Height (m)	2.4		
Building Length (m)	6		
Building Width (m)	4.2		
Building Area (Sq. m)	25.2		

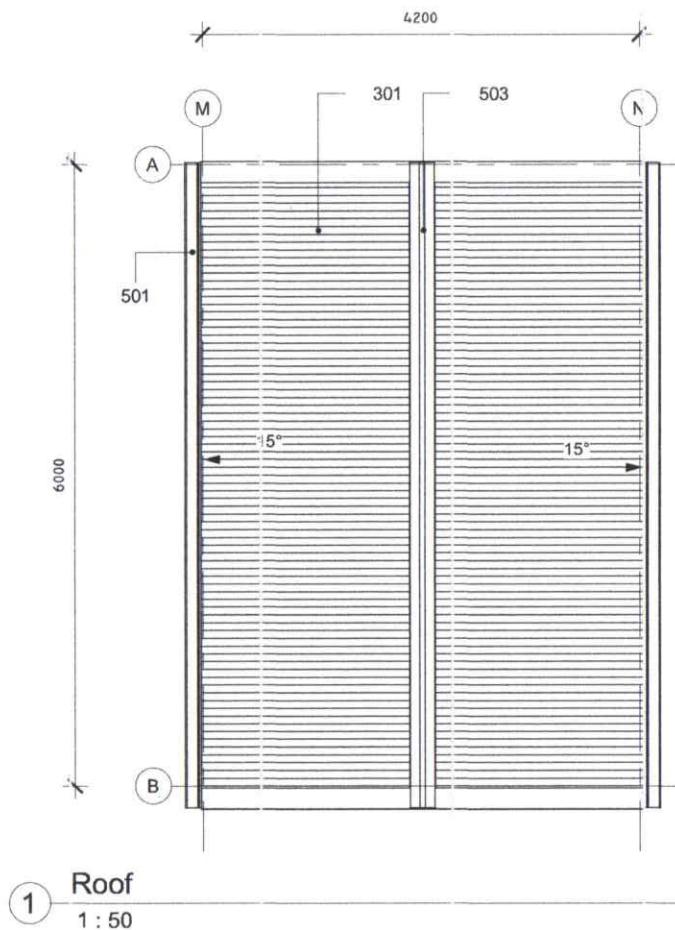
RECEIVED 25/11/2024

Single Story	Site 38 Duncan Street Whanganui East	Snow Zone N1 400m	Wind Zone Medium	Earthquake Zone 2 Soil Class D & E - Deep to
Bracing Element Schedule	Job Number 12002			

Across									
Wall or Bracing Line		Bracing Elements provided			Brace Length		Wind		Earthq.
1	2	3	4	5	6	7	8	9W	10EQ
Line Label	Minimum BUs Req/ ach	Bracing No.	Supplier	Bracing Type	Available Wall Length L(m)	Element Height H (m)	Angle to Bracing Line (degrees)	BUs Achieve	BUs Achieve
A		1	Skyline	Skybrace 1200 (30mm Str)	1.2	2.4	0	86	61
line totals									
W	EQ								
86	61								
B		1	Skyline	Skybrace 600 - 56BU W, 6	0.6	2.4	0	56	62
line totals									
W	EQ								
56	62								
Totals Achieved								Wind	Earthq.
								142	123
								OK	OK
Totals Required from Bracing Requirements Sheet								88	96

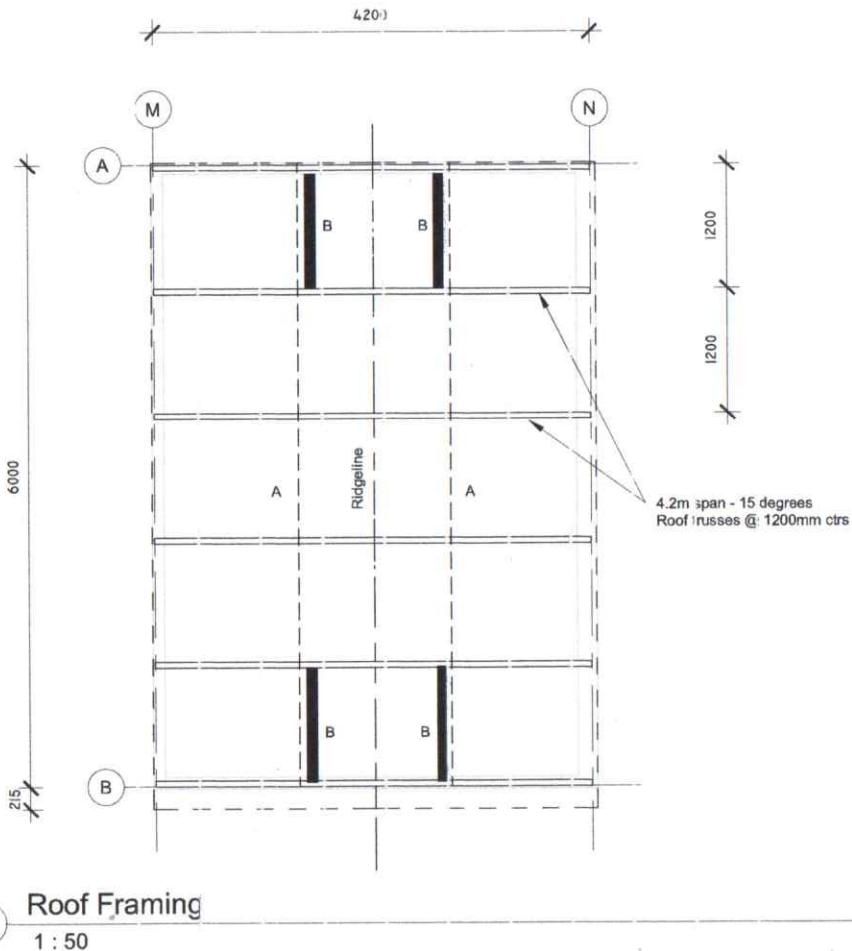
Along									
M		1	Skyline	SkyPanel 2400 - 96BU W,	2.4	2.4	90	96	121
line totals									
W	EQ								
96	121								
N		1	Skyline	GIB Brace BL1-H 1200mm	1.2	2.4	90	154	125
line totals									
W	EQ								
154	125								
Totals Achieved								Wind	Earthq.
								250	246
								OK	OK
Totals Required from Bracing Requirements Sheet								152	96

RECEIVED 25/11/2024



Distributor:	Whanganui	Drawn by:	SP	Project:	Proposed 6.0 x 4.2 garage	COPYRIGHT	PHONE: (09) 636 0200	SHEET
Salesperson:		Scale:	1 : 50	For:	Katie Langridge	SKYLINE BUILDINGS LIMITED 1 RYMER PLACE MANGERE BRIDGE	FAX: (09) 636 0201 www.skylinebuildings.co.nz	Number
Revision:		Date:	7/11/2024 10:06:59 a.m.	At:	38 Duncan Street, Whanganui East, Whanganui	Sheet Name: Roof Plan		
								

RECEIVED 25/11/2024

NOTES

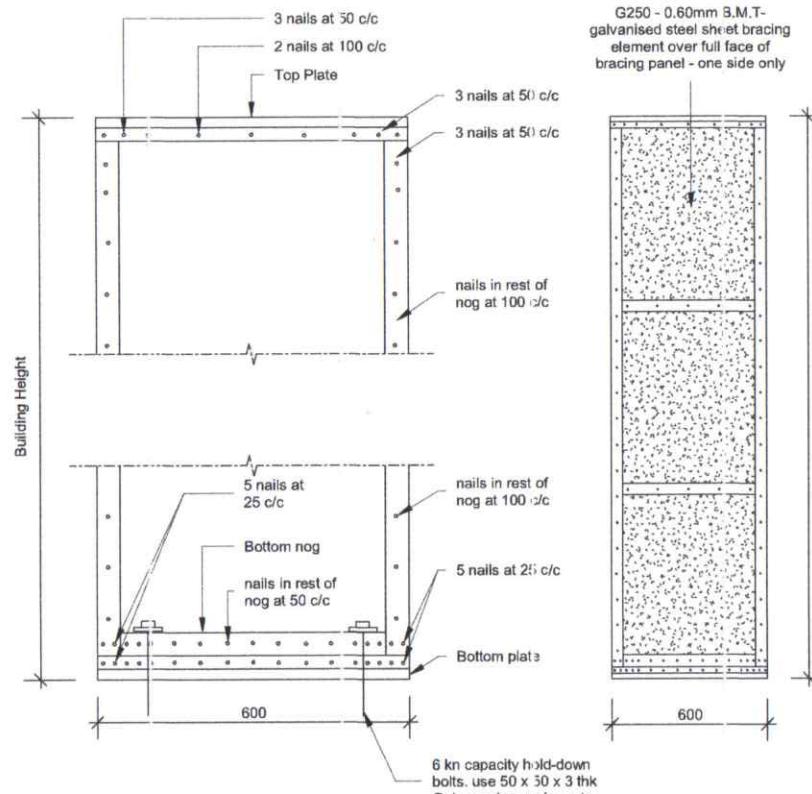
A - Derotes 75 x 45 Lower Chord Ties

B - Derotes 90 x 45 H1.2 Gable End Braces

— Bracing Maxi Strap

Distributor: Whanganui	Drawn by: SP	Project: Proposed 6.0 x 4.2 garage	COPYRIGHT SKYLINE BUILDINGS LIMITED 1 RYMER PLACE MANGERE BRIDGE	PHONE: (09) 636 0200 FAX: (09) 636 0201 www.skylinebuildings.co.nz	<p>SHEET Number</p>
Salesperson:	Scale: 1:50	For: Katie Langridge	Sheet Name: Roof Framing Plan	A4.1	
Revision:	Date: 7/11/2024 10:07:00 a.m.	At: 38 Duncan Street, Whanganui East, Whanganui			

RECEIVED 25/11/2024



SKYBRACE 'SKY600'
SCALE 1:10

Figure 2. Enlargement of Figure 1
showing location of Type D nails
fixing sheet steel to timber frame near
specimen 1 corners.

Nails for sheet fixing to be
40mm long x 2.58 dia F.H
Galvanised Nails

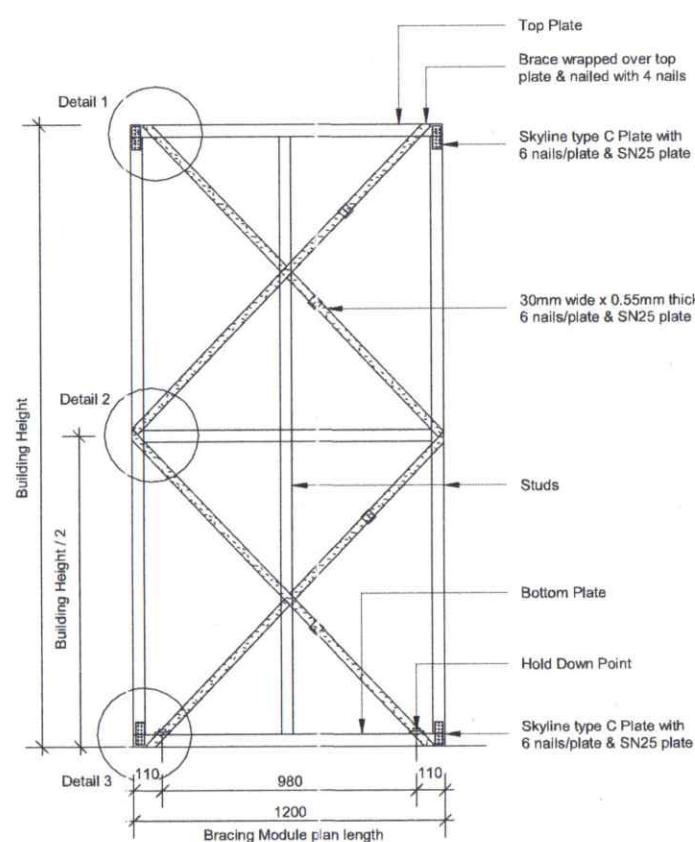
Figure 1. Location of Type D
nails fixing sheet steel to
timber frame

SKYBRACE 'SKY600'
SCALE 1:20

Distributor: Whanganui	Drawn by: SP	Project: Proposed 6.0 x 4.2 garage	COPYRIGHT SKYLINE BUILDINGS LIMITED 1 RYMER PLACE MANGERE BRIDGE	PHONE: (09) 636 0200 FAX: (09) 636 0201 www.skylinebuildings.co.nz	SHEET Number A14.1
Salesperson:	Scale: 1:10	For: Katie Langridge			
Revision:	Date: 7/11/2024 10:07:09 a.m.	At: 38 Duncan Street, Whanganui East, Whanganui	Sheet Name: Bracing Details		



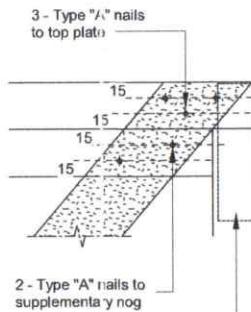
RECEIVED 25/11/2024



"Sky1200-30mm" 1200 Wide Bracing Element
SCALE 1:20

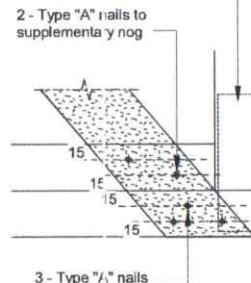
Notes

- 1) Timber framing is 45mm thick
- 2) Steel straps to be fixed with 50mm x 2.8mm dia F.H nails

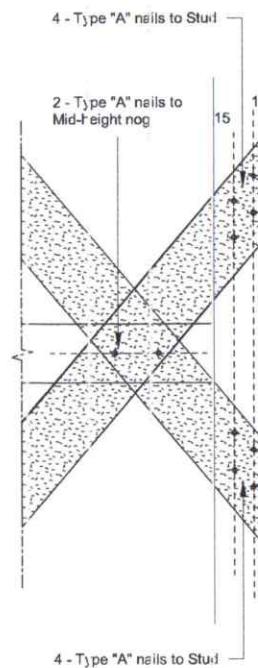


DETAIL 1
SCALE 1:5

100mm x 30mm x 0.55mm wide G300 Strap on opposite side from diagonal bracing straps - fix with 3 Type "B" F.H Nails to plate and stud each connection



DETAIL 3
SCALE 1:5



DETAIL 2
SCALE 1:5

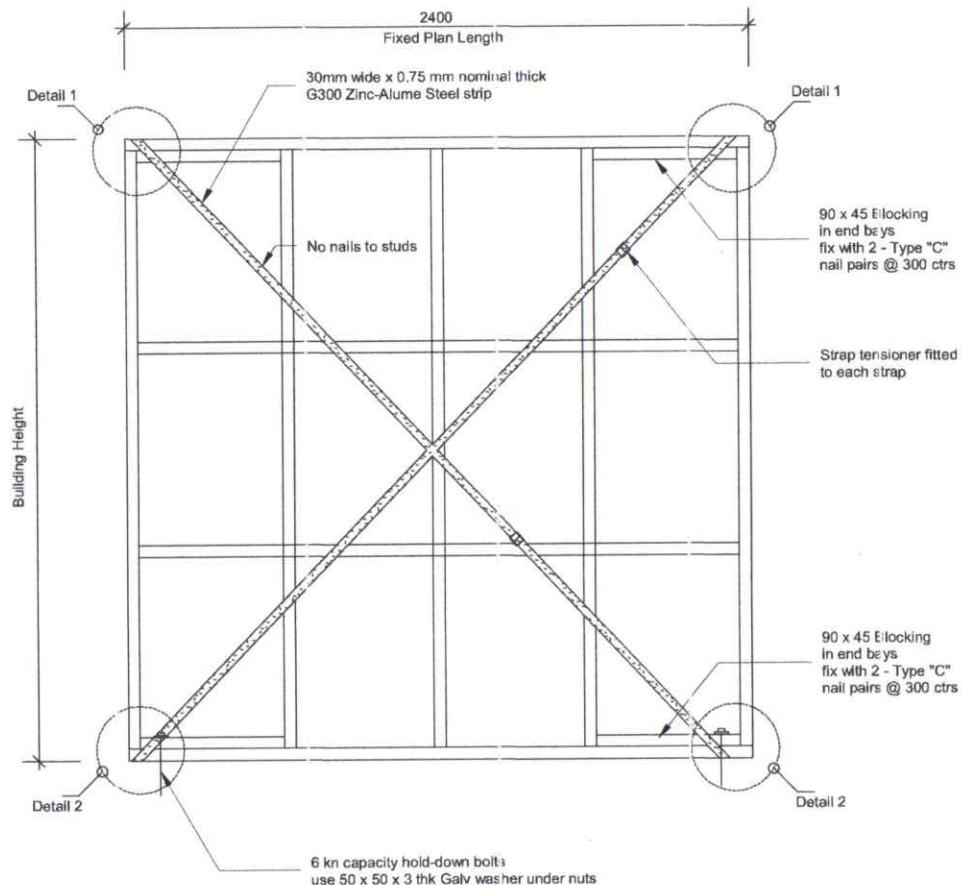
Distributor: Whanganui	Drawn by: SP	Project: Proposed 6.0 x 4.2 garage
Salesperson:	Scale: 1 : 20	For: Katie Langridge
Revision:	Date: 7/11/2024 10:07:10 a.m.	At: 38 Duncan Street, Whanganui East, Whanganui

COPYRIGHT
SKYLINE BUILDINGS LIMITED
1 RYMER PLACE
MANGERE BRIDGE
Sheet Name: Bracing Details

PHONE: (09) 636 0200
FAX: (09) 636 0201
www.skylinebuildings.co.nz



SHEET
Number
A14.2

**"SKY 2400" BRACING ELEMENT**

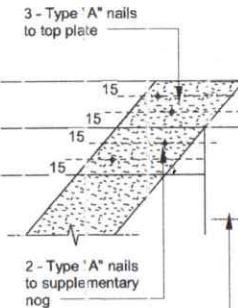
SCALE 1:20 @ A3

Notes All framing is 90 x 45 H1.2 MSG8

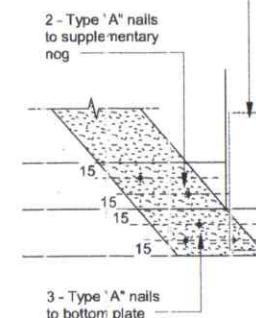
Type "A" nails - 75mm x 3.15 F.H Galv nails

Type "B" nails - 43mm x 3.0 F.H Galv nails

Type "C" nails - 90mm x 3.17 F.H Galv nails - smooth shank

**DETAIL 1**
SCALE 1:5

100mm x 30mm x 0.55mm wide G300 Strap on opposite side from diagonal bracing straps - fix with 3 Type "B" F.H Nails to plate and stud each connection

**DETAIL 2**
SCALE 1:5

Distributor: Whanganui	Drawn by: SP	Project: Proposed 6.0 x 4.2 garage
Salesperson:	Scale: 1 : 20	For: Katie Langridge
Revision:	Date: 7/11/2024 10:07:10 a.m.	At: 38 Duncan Street, Whanganui East, Whanganui

COPYRIGHT
SKYLINE BUILDINGS LIMITED
1 RYMER PLACE
MANGERE BRIDGE
Sheet Name: Bracing Details

PHONE: (09) 636 0200
FAX: (09) 636 0201
www.skylinebuildings.co.nz



SHEET
Number
A14.3



TRUSS DETAILS

RECEIVED 25/11/2024

Fabricator / Designer Statement

Job Ref: 1353

This statement may be used by the Building Consent Authority for compliance purposes and is issued by a licensed truss fabricator using Pryda Build software.

CLIENT Name: *Skyline***SITE Details:**

Address : *Katie Langridge*
38 Duncan Street, Whanganui East

City: *Whanganui*

Post Code:

Nominal Design Criteria:

Design working life: 50 years

Building importance: Residential (importance Level 2)

Roofing: Corrugated iron (8.0 kg/sq.m)

Ceiling: Nil (0.0 kg/sq.m)

Top chord purlins: 900 mm

Design roof snow load: 950 Pa
(incl. probability factor)

Ground snow load: 1500 Pa

Location: Region N3 - Marlborough

Altitude above sea level: 550 m

BC restraints: Lateral tie restraints at 2100 mm c/s

Standard truss spacing: 1200 mm

Standard roof pitch: 15.00 deg.

Ult. design wind speed: 40.09 m/s User edited

Max. eaves height: 3 m

Max. ridge height: 4 m

Int pressure coeff. up: 0.2

Overhang Condition: Full structural fascia

The design criteria inputs used by Pryda Build software is the responsibility of the fabricator.

Note: This Producer Statement shall be read in conjunction with the Roof truss layout and detail sheets.

Note: The Structural Timber products supplied in this building stores approximately '10' kg of carbon.

Truss and connection designs listed in the Producer Statement have been designed using Pryda design software. Additional items such as roof/ceiling plane bracing, special notes, supplementary timber, etc., which may be shown on the plan drawings are the responsibility of others.

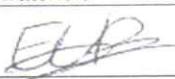
All trusses have been manufactured in accordance with the fabrication specifications provided by Pryda, and shall be installed, connected and braced in accordance with the recommendations given in - : AS 4440-2004 "Installation of nailplated timber roof trusses" and any other supplementary details that may be provided, such as the Pryda Installation Guides.

Timber verification and grading values are in accordance with clause B1 and timber treatment in accordance with clause B2 of the New Zealand Building Code.

I/we confirm that the trusses for this project have been manufactured in accordance with the fabrication specifications provided by Pryda New Zealand.

Name: Ethan Batchelor

Position: Detailer

Signed: 

Date: 11-11-2024

Producer Statement - PS1 - Design

Job Ref: 1353

This producer statement applies to the structural engineering design software "Pryda Build" supplied by Pryda NZ to

Certified Frame and Truss Ltd

These truss designs are in accordance with sound and widely accepted engineering principles. I believe on reasonable grounds that if constructed in accordance with the design, the trusses will comply with relevant requirements of the New Zealand Building Code, Clause B1 and Verification Method B1/VM1. The durability shall comply with the New Zealand Building Code, Clause B2, for building Importance Level 2 and a design working life of 50 years.

In addition to the above, this software also complies in part with:

ANSI / TPI 1 - 2002 National Design Standard for metal plate connected wood truss construction.

AS 1649 - 2001 Timber - Methods of test for mechanical fasteners and connectors - Basic working loads and characteristic strengths.

The truss designs require that the supporting structure is stable in its own right, and that the trusses will be braced in accordance with the New Zealand Building Code Standard NZS 3604:2011, and any supplementary details provided, including but not limited to Pryda Installation Guides.

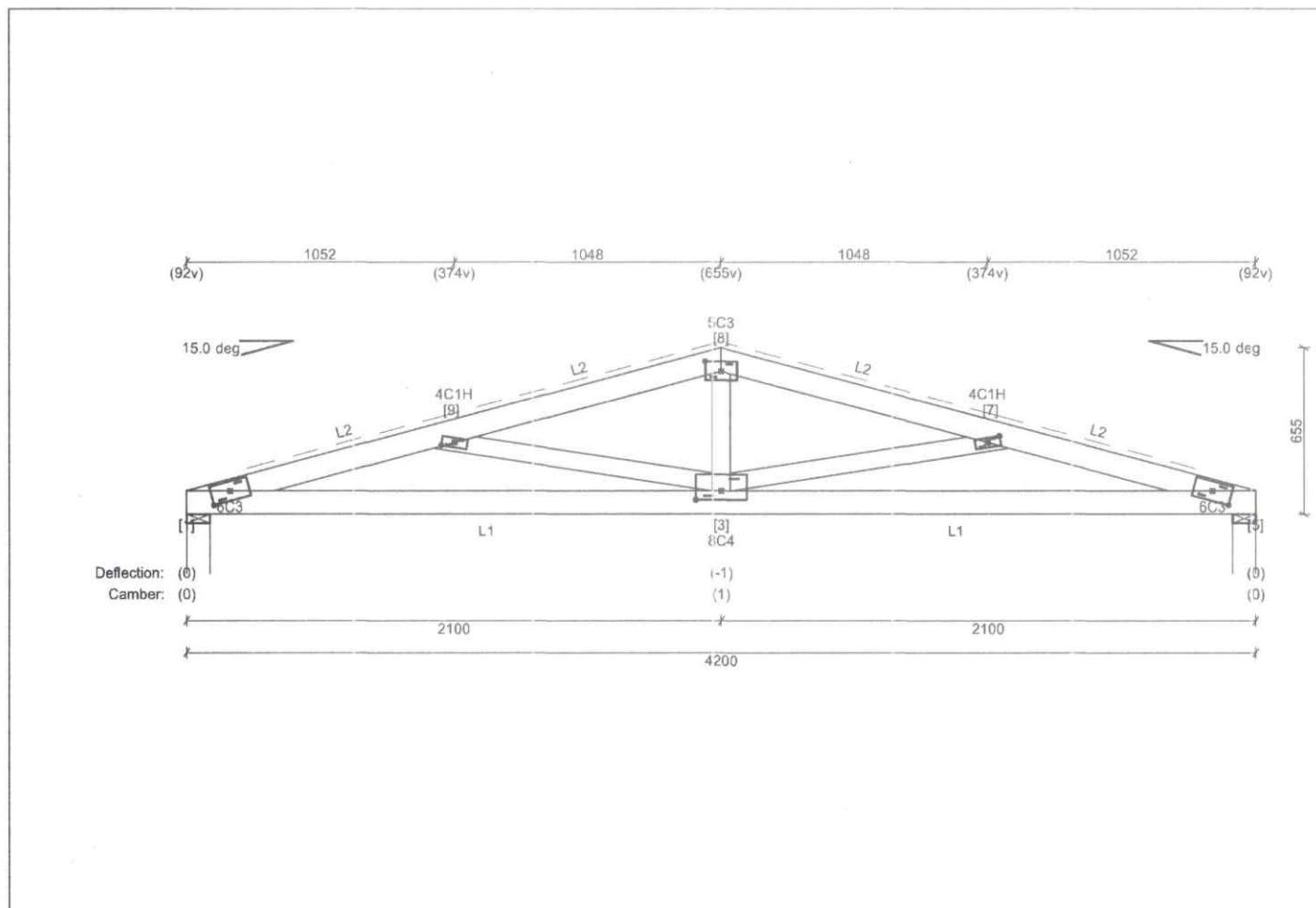
Pryda NZ holds a current policy of Professional Indemnity Insurance with cover no less than NZ\$2 million. The policy includes the engineering design processes used in the software.

On behalf of Pryda NZ (a division of ITW New Zealand)



Dr. Kristopher Orlowski
Structural Engineer
BSc (Eng), MEng, DR-PHILENG, CPEng AUS (4125476), CPEng NZ (2001879)

RECEIVED 25/11/2024



Major supports and factored reactions

Joint	Type	Width	Perm.	Max. down (LC)	Uplift	Tie-down	Connector
1	Wall Ext	90	0.7 kN	4.2 kN (Gc+S1)	-3.1 kN	-	-
5	Wall Ext	90	0.7 kN	4.2 kN (Gc+S1)	-3.1 kN	-	-

Note: Refer to Truss Connections Report / Producer Statement for fixing details.

Linings

L1: Nil (0.0 kg/sq.m).
 Lateral tie restraints @ 2100mm.
 L2: Corrugated iron (8.0 kg/sq.m).
 Battens @ 900mm.

Timber

Top Chords 1 / 90x45 MSG8H1 uno
Bottom Chords 1 / 90x45 MSG10H1 uno
Webs 1 / 70x45 MSG8H1 uno

Notes

1. Deflection = permanent load deflection including creep (negative = downward movement).
2. Overhang condition: Full structural fascia.
3. Safety plank on BC : Required if head height exceeds 1.2m.
4. Refer to Pryda Installation Guide for full bracing details.
5. Refer to layout for overall truss bracing.
6. Truss close to gable end: YES