

Land Information Memorandum



LIM Summary

This information has been compiled from Tasman District Council records and is made available in good faith, but its accuracy or completeness is not guaranteed.

Applicant Details

Prepared for	Email
Arizto Limited	vaheana@arizto.co.nz

LIM Details

LIM number	Valuation Number	Certificate of Title	Requested on	Issued on
L250441	1870005504	2A/1365	22/05/2025	26/05/2025

Contents

This Land Information Memorandum contains the following information:

1. **Property Information**
 - Property and owner information, rates, services, and classifications
 - Consents for building and resource management
 - Environmental information.
2. **Maps**
 - Aerial
 - Areas and Zones in the Tasman Resource Management Plan
 - Pipes
 - Bores
 - Fire Ban areas
3. **Additional Information**
 - Brochures and other relevant information
4. **Glossary**
5. **Site Plans**
 - Floor plan
 - Site plan
 - Drainage plan

Notes

- This Land Information Memorandum has prepared for the purposes of Section 44A of the Local Government Act 1987 and contains all the information known to the Tasman District Council to be relevant to the land as described in Subsection (2).
- Information provided is based on a search of council records only, and there may be other information relating to the land, which is not currently recorded in the Councils record system. Every care will be taken to ensure that the information is correct, however, Council cannot guarantee that the information is accurate and does not accept any liability for these records.
- A valuation assessment can consist of multiple land parcels. The information in this LIM covers the entire valuation assessment. If you are only interested in part of the land, you must wait until the subdivision of the land is complete before we can provide information that applies only to the newly subdivided valuation assessment.
- The Council has not undertaken any inspection of the land or any building on it for the purpose of preparing this LIM.
- Council records may not show illegal or unauthorised building works on the property.
- Conditions of any authorised uses of the land are contained in the Council's District and Regional Plans.
- A Development Contribution may be payable in accordance with the DC Policy set out in the Council's Long Term Plan and created under the Local Government Act 2002 in relation to subdivision and new development. You will need to refer to the DC Policy to see what DC's are payable for any particular building development and whether any limitations apply. The DC is required to fund District roads and infrastructural services other than reserves and community facilities.
- A Financial Contribution for Reserves and Community Services may be payable in accordance with the Tasman Resource Management Plan on all building other than first dwelling on a title. You will need to refer to the Tasman Resource Management Plan for full details of the FC's that are payable and whether any limitations or exceptions apply.
- The applicant is solely responsible for ensuring that the land is suitable for a particular use.
- This LIM has been produced at the issued date and is valid only as a statement of Council's information at that date.

1. Property Information

This section of the LIM provides information about the rates and services on the property, including:

- Property and owner information, rates, services, and classifications
- Consents for building and resource management
- Environmental information.

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Property Location

Valuation	Legal Description	Address	Suburb	Area (ha)
1870005504	LOT 6 DP 6203 BLK V WAITAPU SD	204 Rangihaeata Road	Takaka	0.0809

Rates Information

Rates are charged in four instalments for the period commencing 1 July and ending 30 June each year. Please note that if this property is a contiguous property, its rates will change if sold separately. Also note that this rating information relates to all parcels, i.e., Lot and DP numbers, under this valuation assessment.

Annual Rates	Current Instalment	Balance Owing	Arrears
\$3449.16	\$862.29	\$0.00	\$0.00

Rates Breakdown

The Annual Rates above are broken down as follows:

Description	Rate	Units	Amount
General Rate	0.2043c/\$CV	1,140,000	\$2,329.02
Uniform Annual General Charge	\$394.00/propert	1	\$394.00
WaimeaComDam-Env&ComBen-Distri	\$107.09/propert	1	\$107.09
Refuse/Recycling Rate	\$152.54/propert	1	\$152.54
Shared Facilities Rate	\$65.86/property	1	\$65.86
Mapua Rehabilitation Rate	\$4.53/property	1	\$4.53
Museums Facilities Rate	\$79.35/property	1	\$79.35
District Facilities Rate	\$139.34/propert	1	\$139.34
Golden Bay Community Board	\$15.63/property	1	\$15.63
TakakaFirefighting CapitalWard	\$10.06/property	1	\$10.06
Regional River Works - Area Z	0.0141c/\$LV	680,000	\$95.88
Stormwater: General Drainage	0.0049c/\$CV	1,140,000	\$55.86

Warm Tasman Rate

Warm Tasman Home Insulation Rate does not apply for this property.

Rating Valuation

Tasman District Council uses a capital value rating system. Please note that this rating information relates to all parcels, i.e., Lot and DP numbers, under this valuation assessment.

Capital Value	Land Value	Improvements	Valuation Date
\$1,140,000.00	\$680,000.00	\$460,000.00	01/09/2023

New Rating Valuation

Property Information

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Rating values are reviewed triennially. If the valuation of this property is going to change in the next rating year, it will show below as the New Capital Value. Please note that this rating information relates to all parcels, i.e., Lot and DP numbers, under this valuation assessment.

New Capital Value	New Land Value	New Improvements Value	New Valuation Date
\$1,140,000.00	\$680,000.00	\$460,000.00	01/09/2023

Water Meter Information

No Water Meter information is available for this property.

Services

No Services are available for this property.

Wheelie Bins

This property has had the following wheelie bin(s) delivered.

Bin Size	Serial Number	Delivered on	Delivered to
Single 240	2419668	23/04/2021	204 Rangihaeata Road RD2 Takaka
Single 240	2403181	08/06/2015	204 Rangihaeata Road, Rangihaeata

Services Notes

This property has the following Services notes on file. The Health Drinking Water Amendment Act (Section 69ZH of the Health Act 1956) requires councils to provide information relating to whether the land is supplied with drinking water and, if so, if the supplier is the owner of the land or a networked drinking water supplier. Note: Tasman District Council may not be aware of other drinking water systems connected to properties. There may also be private drinking water supply systems such as rainwater tanks or private bore/wells. Prospective purchasers are advised to clarify the drinking water supply and water quality with the landowner.

Notes

The property is not connected to any Council reticulated services. There are no public drains crossing the property. Onsite Disposal - Council reticulated services are not available. Private Water Supply - Council reticulated services are not available.

Protected Trees

No protected trees have been found for this property.

Heritage Buildings

There are no heritage buildings on this property.

Planning Zones

The following Planning Zones pertain to this property. Please refer to the [Tasman Resource Management Plan](#) or contact a Duty Planner for detailed information about what activities can take place in a zone.

Property Information

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Zone	Zone Description
Rural Residential Closed	The Rural Residential Zone provides for rural lifestyle living opportunities. Rural Residential Closed is a subset of this zone and applies to specified areas where further subdivision is prevented due to the presence of hazards or to protect special values.

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Building Consents

Please note that if a Code Compliance Certificate has not been issued, then the work has not been certified by the Council as complying with the Building Code.

Application Date	BC Number	Proposal	Status	CCC Issue Date
29/07/2002	021274	Garage/workshop	Code Compliance Certificate Issued	13/12/2002
07/03/1996	960181	Extension to dwelling	Code Compliance Certificate Issued	26/06/1997

Compliance Schedule

No Compliance Schedule records are available for this property.

Building Permits

The NZ Building Act came in to force on 1 July 1992. From that date, the issue of building permits ceased and they were replaced with building consents. Under the old permit system there was no requirement for Council to keep or provide records of building work. Not all records under the old permit system have survived and where records have survived they may be incomplete. Council does not accept responsibility for any omission in the records. You may wish to engage an independent qualified person to evaluate the building.

Date	Permit Number	Notes
11/09/1978	I064493	Extension to dwelling: Hard Copy Destroyed
28/02/1974	F050472	Dwelling

Building Notes

No additional building notes have been found for this property.

Swimming Pools

No Swimming Pool records have been found for this property.

Resource Consents

The following Resource Consents are noted against the property. Consents for water, discharges or coastal permits must be transferred to the person undertaking the activity. A fee will apply.

Application Date	RC Number	Proposal	Status	Decision	Decision Date
29/07/2002	020434	Garage/workshop	Consent Effective	Granted under Delegated Authority	29/08/2002
15/02/1996	960033	Extension to dwelling	Consent Effective	Granted under Delegated Authority	07/03/1996

Planning Permits

No historical planning permits have been found for this property.

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Planning Notes

TASMAN RESOURCE MANAGEMENT PLAN (TRMP) CHANGES: From time to time, changes are proposed to the planning provisions in the TRMP. Any such changes are publicly notified so that people can make submissions. Plan Changes may propose to alter zonings, policies or rules, and may affect this property or sites in the surrounding area.

Council-initiated Plan Changes can have some effect from the first day of notification as 'proposed changes'. From time to time Council receives a request for a Private Plan Change. These are processed by Council and have no effect until operative.

A list of all the current Plan Changes can be viewed on the Tasman District Council policy pages at www.tasman.govt.nz/link/trmp.

Notes

Tasman Resource Management Plan planning maps identify the property is within the Rural Residential Closed Zone (Rangihaeata), Land Disturbance Area 1, Coastal Environment Area and Rangihaeata, Eastern Golden Bay (future) Settlement Policies Area. The property is adjoining the Rangihaeata Esplanade Reserve. Further information on these Zones and Areas can be found in the Section 2 Maps; Section 4 Glossary and/or on the Tasman Resource Management Plan pages on the Tasman District Council website at www.tasman.govt.nz/link/trmp.

While there are no identified archaeological sites registered on the property and the site is not within a Cultural Heritage Precinct, the area is archaeologically sensitive and may be of interest to local iwi or known to have archaeological significance with pre-European occupation. Contact Heritage NZ (www.heritage.org.nz) for more information. The New Zealand Archaeological Association's Archaeological Site Recording Scheme website (<https://nzaa-archsite.hub.arcgis.com/>) may have further records relating to the property. You can contact the ArchSite Coordinator at PO Box 6337, Dunedin or email admin@archsite.org.nz.

The aerial photographs of this site indicate that some buildings may be located outside the property boundary.

Compliance Notes

No notes regarding compliance with permits or consent conditions have been recorded against this property.

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Environmental Health and Licences

No Environmental Health or Licence information has been found for this property.

Licencing Notes

No notes regarding licences have been recorded against this property.

Air Shed

This property does not sit within a controlled Air Shed.

Hazardous Activities and Industries List (HAIL)

No verified HAIL site has been found for this property. However, if the site or any adjacent site has been used for industrial, horticultural or agricultural purposes, we suggest you make further enquiries.

Potential Lead Paint Contamination of Dwellings, Buildings & Land

Any specific information in relation to contamination will be contained in the HAIL part of the LIM, otherwise the Council has no specific information in relation to this property.

Lead is a highly toxic substance that was a key ingredient in household paint. Any building or dwelling built before or during the 1960's is likely to have used lead-based paint at some time. Soil surrounding these buildings has potential to be contaminated by heavy metals contained in the paint. Landowners are responsible for ensuring the safe management of lead paint removal for protecting human health and the environment.

Wetlands

Council holds no records of a wetland being on this property. However please note that the Resource Management (National Environmental Standards for Freshwater) Regulations 2020 creates conditions relating to works carried out around natural inland wetlands regardless of whether they have been mapped by Council or not.

Pest Inspection History

The Tasman-Nelson region has a Regional Pest Management Strategy for the control of declared pest plants, animals and organisms. The responsibility for the control of pests lies with the land occupier or owner. No pests have been recorded on this property.

Biodiversity Reports

Council has been compiling biodiversity reports (also called Native Habitat Tasman reports or Ecological Assessment reports) for individual property owners. This survey of natural areas on private land aims to support proactive land management while also help Council meet its RMA responsibilities. However, no report has been lodged on this property.

Rules in the Tasman Resource Management Plan relating to clearance of indigenous vegetation and forests apply. These include 17.5.5, 17.6.5, 17.7.5, 17.8.5, 18.2.4, 18.5.2, 18.5.3, 28.2.2, and 31.1.6. These are available on the Council website. For further information, please contact Council's Biodiversity team at biodiversity@tasman.govt.nz.

Hazard Notes

These notes include hazard information relevant to this LIM.

SEA LEVEL RISE AND COASTAL HAZARDS MAPPING

We have developed a coastal hazards map viewer which maps the extent of low-lying coastal land in Tasman and Golden Bays that may be affected by sea level rise. The viewer shows a range of sea level rise scenarios, including the effects of higher tides caused by storms. Areas of historical coastal erosion (sediment loss) and accretion (sediment gain), as well as the presence of coastal structures such as stopbanks, walls and rock revetments, have also been mapped.

You can view the coastal hazards map viewer on our website at tasman.govt.nz/link/coastal-management. On our website you will also find more information about the project.

Notes

The property is located at the base of an old sea cliff, immediately inland of, and adjacent to, an approximately 10 to 15 metre wide strip of Council reserve land on the shoreline of the Takaka River delta south of Rangihaeata headland. This reserve land provides access to this and the adjacent properties to the northwest along the base of the old sea cliff. A ramp to access the foreshore is present on the reserve land adjacent to the property. The access road to this and the adjacent properties descends from Rangihaeata Road immediately behind this and the adjacent two properties to the northwest. The coastal margin here is protected from low level erosion by an informal, reasonably functional, rock revetment. There are no records that confirm the revetment as being a Council-owned or built structure and it has no formal maintenance program. Ground levels at the property are relatively low in places, approximately 3.4 metres elevation (NZVD2016 vertical datum) along part of the eastern boundary of the property. The ground levels rise towards the west reaching as high as approximately 6.6 metres elevation (NZVD2016) in the western corner of the property. Mean high water springs in this locality is currently 1.73 metres elevation ... cont

cont ... Council have no specific records of the reserve and adjacent properties being affected by seawater inundation. Elevated sea levels can occur when high tides coincide with strong onshore winds, waves and/or storm surge, particularly if also coinciding with flood flows discharging from the Takaka River. Coastal erosion and inundation hazards will increase over time as a result of projected climate change and associated sea level rise. Additional information on coastal hazards can be found on the Council's website (<https://www.tasman.govt.nz/link/coastal-management>). The sea cliff at the rear of the property rises steeply to an elevation of approximately 20 metres (NZVD2016). Council has records of slope failure occurring on the access road in December 2011 following a period of extreme and prolonged rainfall. Council has no information on the current stability or otherwise of these slopes. Council have no records of this property being affected by specific earthquake hazard.

2. Maps

Several maps are included in your LIM:

- An aerial overview
- A map of the water and sewer pipes around the property
- A map showing any bores on the property
- A map of the fire ban areas that may apply
- Maps of the Zones and Areas defined in the Tasman Resource Management Plan (TRMP) and their associated legends.

Please note that other rules defined in the TRMP may also apply to this property. The TRMP is available online at www.tasman.govt.nz.



— State Highway Roads
— Road Boundaries

Valuation Boundaries
 Parcel



Aerial Photo Map

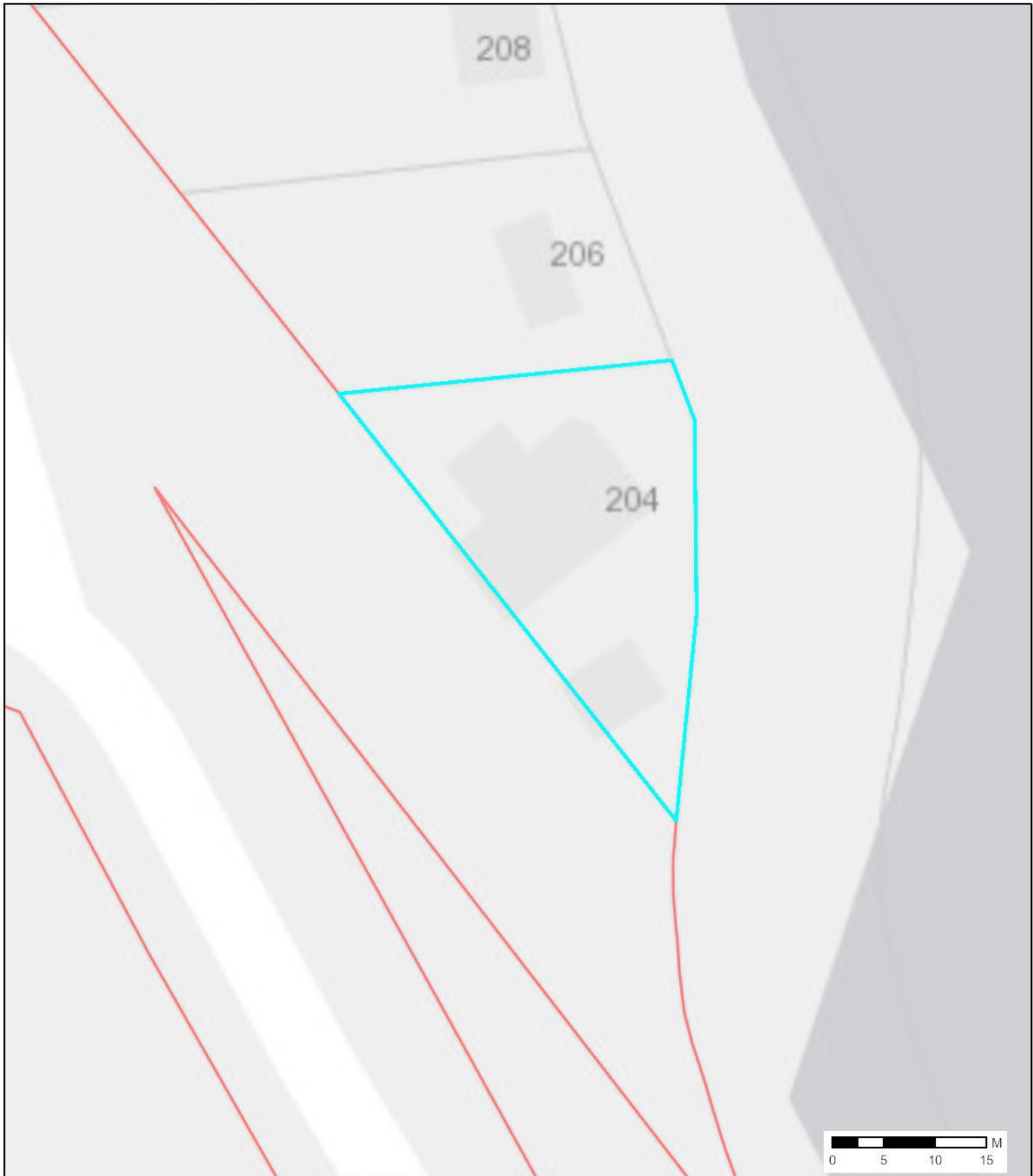
The information displayed is a schematic only and serves as a guide. It has been compiled from Tasman District Council records and is made available in good faith but its accuracy or completeness is not guaranteed.

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Scale: 1:500
Monday, 26 May 2025

Original Sheet Size 210x297mm



- Bores
- Road Boundaries
- Parcel
- State Highway Roads
- Valuation Boundaries



Bores Map

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- | | | |
|---|---|--|
|  Water Pipes |  Stormwater Drains |  Valuation Boundaries |
|  Wastewater Pipes |  State Highway Roads |  Parcel |
|  Stormwater Pipes |  Road Boundaries | |



Pipe Network Map

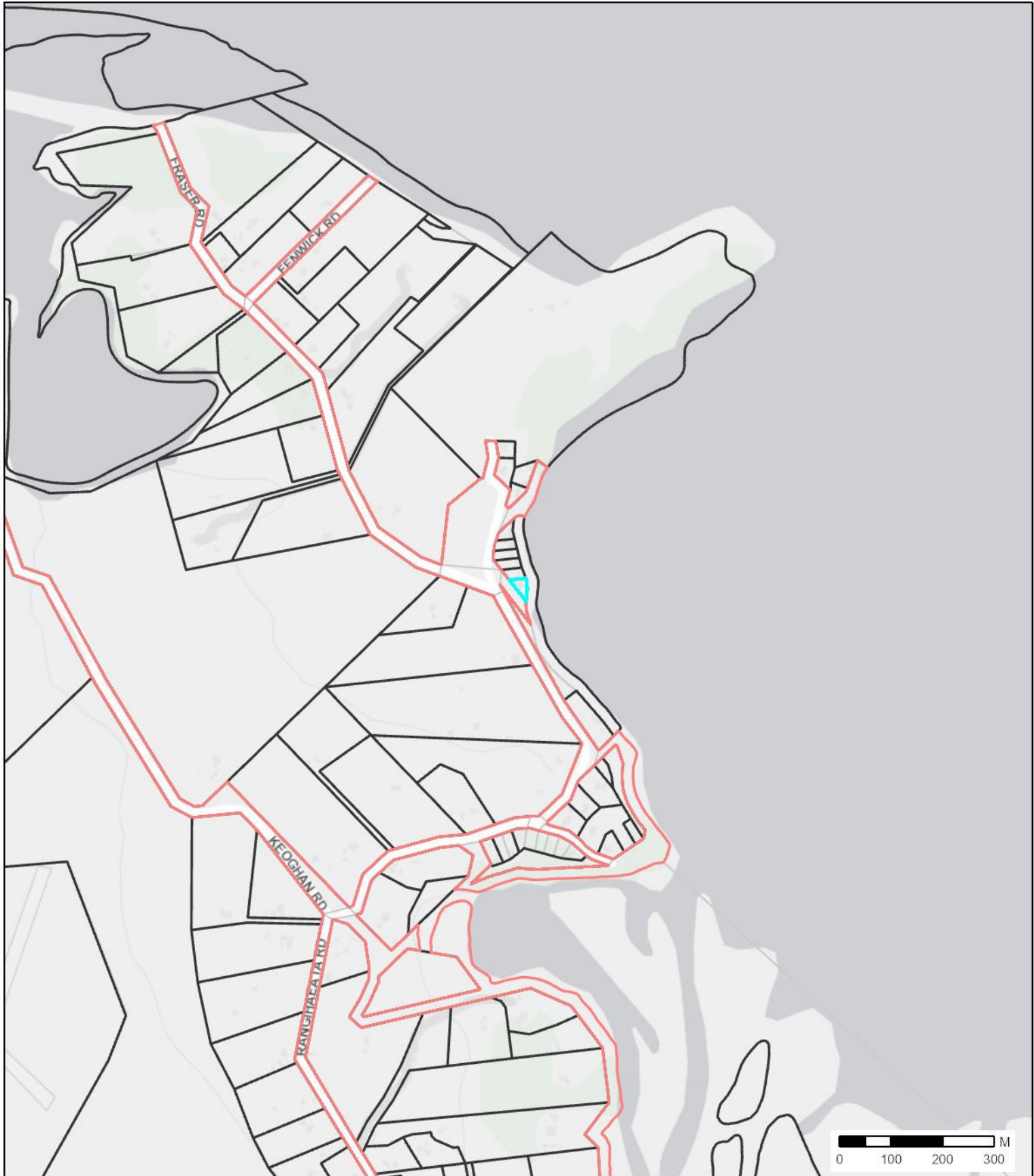
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-  Obstacle Limitation Surface
-  Deferred Fire Sensitive Area
-  Fire Sensitive Areas
-  Parcel
-  Deferred Fire Ban Area
-  Fire Ban Areas
-  Valuation Boundaries



Fire Ban Areas Map

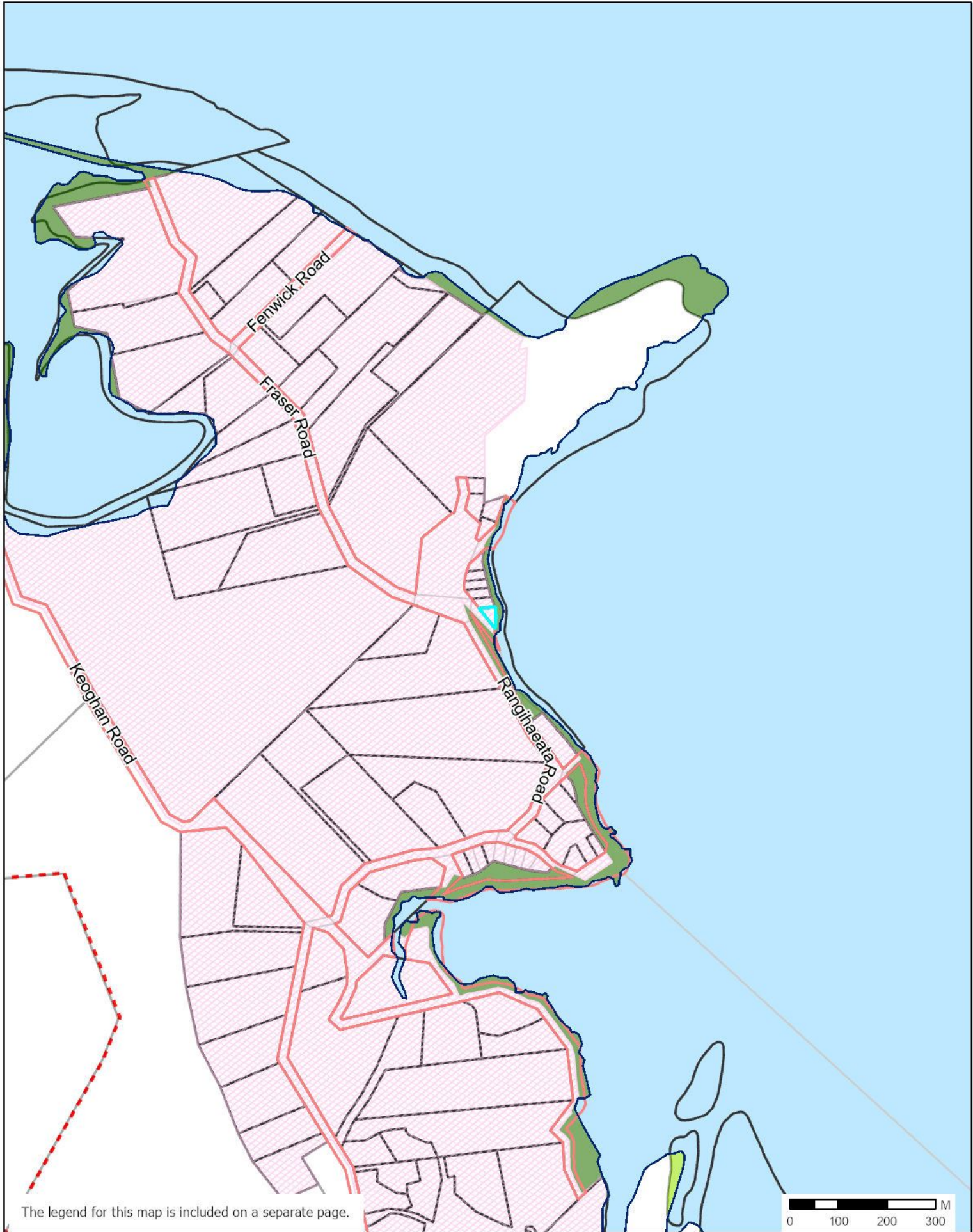
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The legend for this map is included on a separate page.



TRMP Zones Map

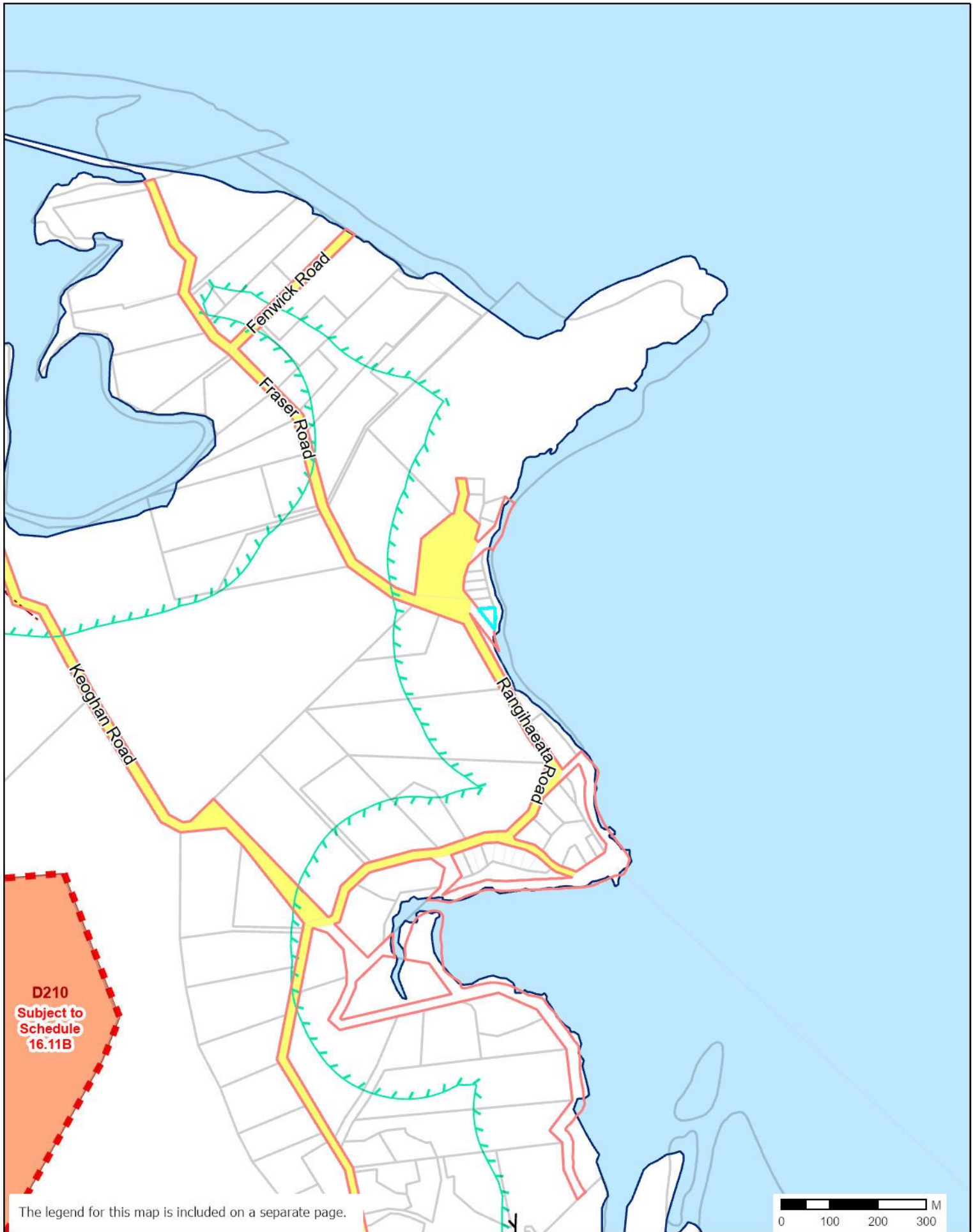
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The legend for this map is included on a separate page.



TRMP Areas Map

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TRMP Community Recreation Areas



Eagle Technology, Land Information New Zealand, GEBCO, Community maps contributors, Morphum Environmental

May 26, 2025

- Council Reserve
- Road Boundaries
- Road Name Label
- Address
- Valuation Boundaries

Land Information Memorandum Issued on 26/05/2025



1:564 @A4

0 0.01 0.01 0.03 km






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


The information on this map is prepared for indicative use only and is not intended for definitive legal, location or formal reference. This map was produced council's internal Localmaps viewer.



ZONE MAPS

	Rural 1		Compact Density Residential Area		Rural 2 deferred Residential
	Rural 1 Closed		Rural Residential		Rural 2 deferred Rural Residential
	Rural 1 Coastal		Rural Residential Serviced		Rural 2 deferred Rural Residential Serviced
	Rural 2		Rural Residential Closed		Rural 2 deferred Mixed Business
	Rural 3		Open Space		Rural 2 deferred Light Industrial
	Central Business		Recreation		Rural Residential deferred Residential
	Commercial		Conservation		Rural Residential Serviced deferred Residential
	Mixed Business		Tourist Services		Recreation deferred Mixed Business
	Light Industrial		Papakainga		Recreation deferred Residential
	Heavy Industrial		Rural 1 deferred Residential		Tourist Services deferred Residential
	Rural Industrial		Rural 1 deferred Tourist Services		Rural 1 deferred Papakainga
	Residential		Rural 1 deferred Mixed Business		Residential deferred Light Industrial
	Residential Closed		Rural 1 deferred Light Industrial		Development Area
	Residential Coastal		Rural 1 deferred Heavy Industrial		Notation
			Rural 1 deferred Rural Residential Serviced		Direction of development

AREA MAPS

	Protected Tree		Indicative Vehicle Access/ Crossing Point		Wastewater Management Area
	Heritage Building : NZ Historic Places Trust Register		Fault Rupture Risk Area		Services Contribution Area
	Heritage Building : Tasman District Council Register		Slope Instability Risk Area		Coastal Environment Area
	View Point		Ridgeline		Coastal Risk Area
	Designation Site		Working Quarry Site		Mooring Area
	Designation Area		Quarry Area		Chemical Hazard Area
	Indicative Development Area		Aquifer Protection Area		Landscape Priority Area
	Indicative Reserve		Significant Natural Area		Electricity Transmission Line
	Indicative Stormwater Retention Area		Recharge Protection Area		Shopping Frontage
	Indicative Road		Land Disturbance Area 2		Retail Frontage
	Indicative Walkway		Residential Activity Restriction Area		Service Lane
	Indicative Waterway		Special Domestic Wastewater Disposal Area		Road Area
					Car Park

3. Additional Information

This section of the LIM includes general information of interest to potential buyers in the area.

- **Civil Defence/Emergency Management**

The Council jointly provides civil defence arrangements with Nelson City Council. Details of alerts and other information can be found on the website at

www.nelsontasmancivildefence.co.nz.

4. Glossary

Term	Explanation/Note
Coastal Environment Area	The Coastal Environment Area is a Tasman Resource Management Plan overlay. Its purpose is to guide the management of Tasman District's coastline. The seaward boundary of the Coastal Environment Area is mean high water springs and the overlay extends approximately 200 metres inland from this boundary. Any building work within the Coastal Environment Area may require resource consent. Rules relating to this area can be found in Section 18.11 of the Tasman Resource Management Plan.
Coastal Risk Area	The Coastal Risk Area is a Tasman Resource Management Plan overlay that extends over parts of Ruby Bay and recognises the extent of coastal erosion and inundation in this area. Any building work within the Coastal Risk Area will need to comply with Tasman Resource Management Plan Rule 18.9.2.1 or a resource consent will be required.
Consent Notice	A consent notice is a form of covenant between the Council and a landowner. A consent notice will be registered on the title alerting current and future property owners of certain obligations that must be complied with on a continuing basis by the property owner. The process to change or cancel a consent notice requires a resource consent application to Council.
Deferred Fire Ban Area	The land is subject to deferred Fire Ban Area provisions which will take effect once the deferrals applying to the land use zones are uplifted. The fire ban provisions mean that outdoor burning will be prohibited except in particular circumstances relating to lot size. Until then the land is subject to Fire Sensitive provisions which limit outdoor burning during winter months.
Electricity Transmission Lines and Towers	Any property identified as having high-voltage electricity lines over or adjacent to the property or there are transmission towers/pylons on or adjacent to the property, the applicant/landowner must ensure that the proposed building or structure complies with the clearances prescribed in the New Zealand Electrical Code of Practice for Electrical Safety Distances (NZECP34:2001).
Fault Rupture Risk Area	This area encompasses active fault systems in the Tasman District. Rules in Section 18.13 apply to activities in this area.
Fire Ban Area	Rules 36.3.2.3, 36.3.3.3 and 36.3.7.3 apply to this property. The Rules are located in the Discharge Section of the Tasman Resource Management Plan. The rules mean outdoor fires (to burn waste paper and vegetation) are prohibited on properties less than 5,000m ² . Where properties are larger than 5,000m ² , resource consent is required to have an outdoor fire (the rules do not apply to barbecues or braziers).

Term	Explanation/Note
Fire Sensitive Area	<p>Rules 36.3.2.3, 36.3.3.3 and 36.3.5.3 apply to this property. The Rules are located in the Discharge Section of the Tasman Resource Management Plan. The rules mean that outdoor fires (to burn waste paper and vegetation) are not permitted during the months of June – August (inclusive) unless where there is disease on a horticultural crop (the rules do not apply to barbecues or braziers). Resource consent to burn other horticultural vegetation can also be sought for fires during June – August.</p>
Land Disturbance Area 1	<p>This covers most of the District and is characterised by generally stable landscapes. Many land disturbance activities are permitted in this area subject to performance standards to maintain appropriate soil and surface water quality values. Consents may be required for some activities on the naturally higher risk terrains within the area such as steep hill country and the karst terrain.</p> <p>The full set of regulatory requirements are found in Section 18.5 “Land Disturbance Areas” of the Tasman Resource Management Plan (TRMP).</p>
Land Disturbance Area 2	<p>This covers the terrain known as Separation Point Granite, where land disturbance activities are known to pose special risks from erosion which may have detrimental effect both on site and off site. Few land disturbance activities are permitted in this area and generally consent is required for activities where mechanical land clearance is carried out on land exceeding 15 degrees and where track and road formation produce cuts greater than 0.5 metres.</p> <p>The full set of regulatory requirements are found in Section 18.5 “Land Disturbance Areas” of the Tasman Resource Management Plan (TRMP).</p>
Landscape Priority Area	<p>The Landscape Priority Area is a Tasman Resource Management Plan overlay that covers parts of St Arnaud and the Takaka Hill. Its purpose is to guide development in a way that protects the unique landscape and natural values of these areas. Any building work within the Landscape Priority Area may require resource consent. Rules relating to this area can be found in Section 18.2 of the Tasman Resource Management Plan.</p>
Obstacle Limitation Surface	<p>The Rule 36.3.3.1(g) relates to the safety of aircraft approaching Nelson Airport. Within the limitation surface area the efflux velocity of any discharge to air does not exceed 4.3 metres per second at a height greater than 60 metres.</p>
Recharge Protection Area	<p>This is an area where establishment of new plantation forest is regulated. Up to 20% new forest can be planted as a permitted activity in these areas - provided council is notified first. Otherwise resource consent is required. The objective for these provisions is to protect surface water yields and groundwater recharge from being reduced because of the rainwater interception effects of tall forest vegetation.</p>

Term	Explanation/Note
Services Contribution Area	Council has made an interim decision for properties in the Services Contribution Area that Council will not provide a reticulated wastewater system. All discharge of domestic wastewater will require a Resource Consent.
Slope Instability Risk Area	This area has particular rules relating to information requirements in relation to ground stability. Rules in Section 18.12 apply to activities in this Area.
Special Domestic Wastewater Disposal Area	<p>Any new discharge of wastewater to land must meet the conditions of Rule 36.1.2.5 of the Tasman Resource Management Plan (including the installation of a treatment system that will treat the wastewater to the standards specified in the Rule).</p> <p>Any developments that increase the potential number of inhabitants, such as additional bedrooms, additional rooms that could be used as bedrooms, second dwellings or sleep-outs will require an upgrade of the wastewater treatment and disposal system so that it meets the conditions of Rule 36.1.2.5 of the Tasman Resource Management Plan (this may include the installation of a system that will treat the wastewater to the standards specified in the Rule), or alternatively a resource consent must be obtained.</p>
Wastewater Management Area	<p>Any new discharge of wastewater to land will require resource consent. The wastewater treatment and disposal system should also meet the conditions of Rule 36.1.3.2 or Rule 36.1.4.2 of the Tasman Resource Management Plan (including the installation of a treatment system that will treat the wastewater to the standards specified in the Rule).</p> <p>Any developments that increase the potential number of inhabitants such as additional bedrooms, additional rooms that could be used as bedrooms, second dwellings or sleep-outs will require resource consent and will require and upgrade of the wastewater treatment and disposal system so that it meets the conditions of Rule 36.1.3.2 or Rule 36.1.4.2 of the Tasman Resource Management plan (including the installation of a treatment system that will treat the wastewater to the standards specified in the Rule).</p>

5. Site Plans & Consent Information

This section of the document contains plans that are on file regarding the site. This may include:

- Resource Consent information
- Floor plans for any buildings on the site
- Drainage plans
- Overall site plans.

Council may hold additional plan information, such as technical specifications for items used in the construction of any buildings. If you would like a full copy of all the documents on file, please contact Customer Services. Note that this can be quite extensive in some cases, and a fee applies.

IN THE MATTER of the Resource Management Act
1991

AND

IN THE MATTER of the application lodged by **PJ & JA
BINNS**

for a Resource Consent for a
Discretionary Activity under the
provisions of Sections 104 and 105 of
the aforesaid Act.

PROPOSAL:

To erect a garage/workshop at Rangihaeata, on land described as Lot 6 DP 6203, Block V Waitapu Survey District, being land zoned Rural Residential in the Coastal Environment Area where the building is closer than 50 metres to the coast.

DECISION:

That pursuant to the provisions of Section 105 of the Resource Management Act 1991, acting under authority delegated by the Council, the Golden Bay Consents Planner, (Land) grants consent to erect a garage/workshop at Rangihaeata, on land described as Lot 6 DP 6203, Block V Waitapu Survey District, being land zoned Rural Residential in the Coastal Environment Area where the building is closer than 50 metres to the coast, in general accord with Plan No 020434, dated 29 August 2002 and subject to the following conditions:

CONDITIONS:

1. The location of the garage shall be in accordance with the plan submitted with the application and no closer than 5 metres to the boundary of the esplanade reserve.
2. The building shall not exceed 3.6 metres in height, measured above natural ground level.
2. The building shall be finished in non-reflective colours that blend with the natural environment.
3. The site shall be landscaped using vegetation that is appropriate to the coastal environment to soften the impact of the proposed development.
4. Stormwater from the building shall be disposed of to an approved outfall, in a manner that ensures there is no scouring or erosion created.
5. Prior to proceeding with this project and before any earthworks taking place on the site, the applicant shall contact Manawhenua Ki Mohua and advise them of the proposed project. In the event any archaeological site is discovered during the excavations

associated with any form of land disturbance, all works shall cease and the applicant shall contact the Tasman District Council, Manawhenua Ki Mohua and the New Zealand Historic Places Trust.

Note: Council is aware of existing archaeological sites in this area and there is a strong possibility of further sites existing. It is appropriate that an assessment of the site takes place before any site works commence. The discovery of an archaeological site is subject to the provisions of the Historic Places Act and an application must be made to the Historic Places Trust for an authority to modify or destroy the site.

REASONS FOR THE DECISION:

The applicant's land at Rangihaeata is a small parcel of land some 809m² in area that is zoned Rural Residential, located in the Coastal Environment Area. The site is characterised by a steep bank to the west that limits the area available for buildings to be erected. As such, buildings cannot be erected on this site to comply with the normal setback for the Coastal Environment Area.

The erection of a building in the Coastal Environment Area is a Controlled Activity and the matters of control are generally the height of the building, the exterior finish and landscaping of the site. These have been included as conditions of consent.

There is good reason to grant consent for a garage in a non-complying position in this case as there are very limited areas available for such a building to be erected on the site.

Council is aware parts of Rangihaeata contain archaeological sites and a condition has been included to require monitoring during any of the activities that involve land disturbance. The provisions of the Historic Places Act will apply should any evidence of pre-European occupation be discovered.

The application has not been notified in accordance with Section 94 of the Resource Management Act as the Council is satisfied that, provided the recommended conditions are adhered to, the adverse effects on the environment will be no more than minor. There are no other landowners that Council considers are directly affected by this particular proposal.

Overall, Council is satisfied the proposal is unlikely to produce any adverse effects beyond the area of development and the actual and potential affects are likely to be minor.

Accordingly, consent is granted to the application, as lodged.

NOTATIONS:

1. This consent is issued pursuant to the Resource Management Act 1991, the Transitional District Plan (Golden Bay Section) and the Proposed Tasman Resource Management Plan. It does not constitute building consent and if the project involves any form of building, consent should be sought pursuant to the Building Act 1991.
2. Monitoring of the consent is required under Section 35 of the Resource Management Act 1991 and a deposit fee is payable at this time. Should the monitoring costs exceed the initial fee, Council will recover this additional amount from the resource consent holder. Costs can be minimised by consistently complying with conditions and thereby reducing the frequency of Council visits.

Dated at Takaka this 29th day of August 2002

Laurie Davidson
CONSENTS PLANNER (LAND)
GOLDEN BAY
RM020434.1

DOCUMENT 3

In the matter of the Resource Management Act 1991

and

In the matter of the application lodged by

PJ & JA Binns

for a Resource Consent for a Non-notified Non-complying Activity under the provisions of Sections 104 and 105 of the aforesaid Act.

PROPOSAL: To alter and extend the existing dwelling by adding decking and a lounge extension at Rangihaeata Road on land described as Lot 6 DP 6203, Block V Waitapu Survey District and part of Part 1 of Section 58, District of Takaka, being a position within 50 metres of the coast.

DECISION: That pursuant to the provisions of Section 105 of the Resource Management Act 1991, acting under authority delegated by the Council, the Golden Bay Environmental Health and Planning Officer grants consent to the alteration and extension of the existing dwelling by adding decking and a lounge extension at Rangihaeata Road on land described as Lot 6 DP 6203, Block V Waitapu Survey District and part of Part 1 of Section 58, District of Takaka, being a position within 50 metres of the coast, in general accordance with Plan No RM960033 and subject to the following conditions:

1. The decking shall not exceed 2.4 metres in width on the northern face of the dining room/lounge that faces the coastal environment.
2. The alterations to the existing dwelling shall be undertaken to retain the character and integrity of the existing building.
3. The proposed deck shall be finished in recessive colours that blend with the natural environment.
4. The area of development shall be landscaped to soften the impact of the proposed development using coastal vegetation that is appropriate to that environment.

5. The structures shall be kept clear of all drainage services on the site.

REASONS FOR THE DECISION:

1. The site is part of a subdivision that is situated within 50 metres of the coast and is developed for residential use.
2. The proposed works are unlikely to create any adverse effect and will not produce any significant change to the existing situation.
3. In the context of the total site, the actual alterations are a minor activity.
4. The conditions imposed will result in an improvement to the visual aspect of the property and a closer relationship to the requirements for coastal development.

NOTATION: This consent is issued pursuant to the Resource Management Act 1991 and the Tasman District Council Transitional District Plan (Golden Bay Section).

It does not constitute a Building Consent and if your project involves any form of building, a consent should be sought pursuant to the Building Act 1991.



L Davidson
**ENVIRONMENTAL HEALTH & PLANNING OFFICER
GOLDEN BAY**

DATED:..... 7 March 1996

Pursuant to authority delegated by the Tasman District Council

960033.1

File Ref: RM960033.1

7 March 1996

PJ & JA Binns
Rangihaeata
RD 2
TAKAKA 7172

Dear Sir/Madam

RE: RESOURCE CONSENT APPLICATION RM960033.1

In accordance with Section 114 of the Resource Management Act 1991, I enclose a copy of the Council's decision on the above application.

Your attention is drawn to your rights of objection to the conditions of this consent pursuant to Section 357 of the Resource Management Act 1991 and in particular to Section 357(5) which requires objections to be in writing to the Tasman District Council within fifteen working days of notification of consent and shall set out the reasons for the objection.

In terms of Section 125 of the Resource Management Act 1991, this consent shall expire two years after the date of consent (by this Council or, if relevant, the Planning Tribunal) unless:

- (a) The person to whom it was granted has within that period given effect to the consent; or
- (b) The Council has, on an application made within three months after the expiry of that period, satisfied itself that the circumstances in Section 125(b) apply.

The cost of processing this application was \$161.00; as you have already paid \$250.00 a refund of \$89.00 will be sent to you shortly.

Yours faithfully,



Laurie Davidson
ENVIRONMENTAL HEALTH/PLANNING OFFICER
GOLDEN BAY

letter.sev

Main Office

189 Queen Street
Private Bag 4,
Richmond 7031 N.Z.
Tel (03) 544-8336
Fax (03) 544-7249

**Murchison
Service Centre**

92 Fairfax Street
P.O. Box 53, Murchison
Tel (03) 523-9005
Fax (03) 523-9004

**Motueka
Service Centre**

7 Hickmott Place
P.O. Box 123, Motueka
Tel (03) 528-7700
Fax (03) 528-9751

**Golden Bay
Service Centre**

78 Commercial Street
P.O. Box 74, Takaka
Tel (03) 525-9139
Fax (03) 525-9972

Code Compliance Certificate

Section 43, Building Act 1991

Application

P J & J A Binns c/-Foxy Lady 253 Trafalgar Street Nelson 7001	No. Issue date Overseer	021274 13/12/2002 NLR Danny Beattie
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Project

Description	Domestic only - garages Being Stage 1 of an intended 1 Stage Garage/workshop
Intended Life	Indefinite, but not less than 50 years
Intended Use	Storage/workshop
Estimated Value	\$8,000
Location	RANGIHAEATA RD, TAKAKA
Legal Description	LOT 6 DP6203 BLK V WAITAPU SD
Valuation No.	1870005504

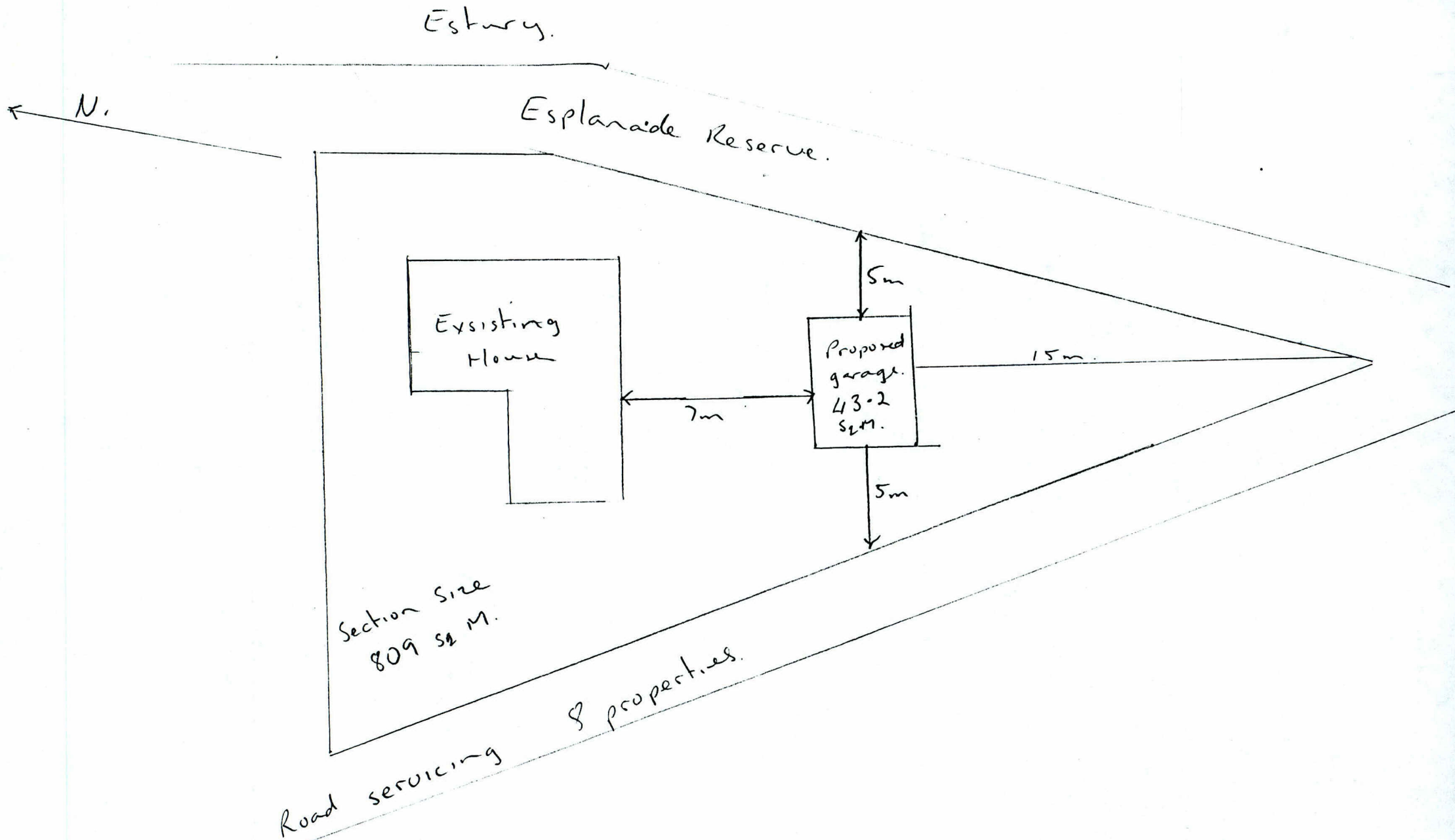
This is a final Code Compliance Certificate issued in respect of all the building work under the above building consent.

Signature

On behalf of: Tasman District Council

Position

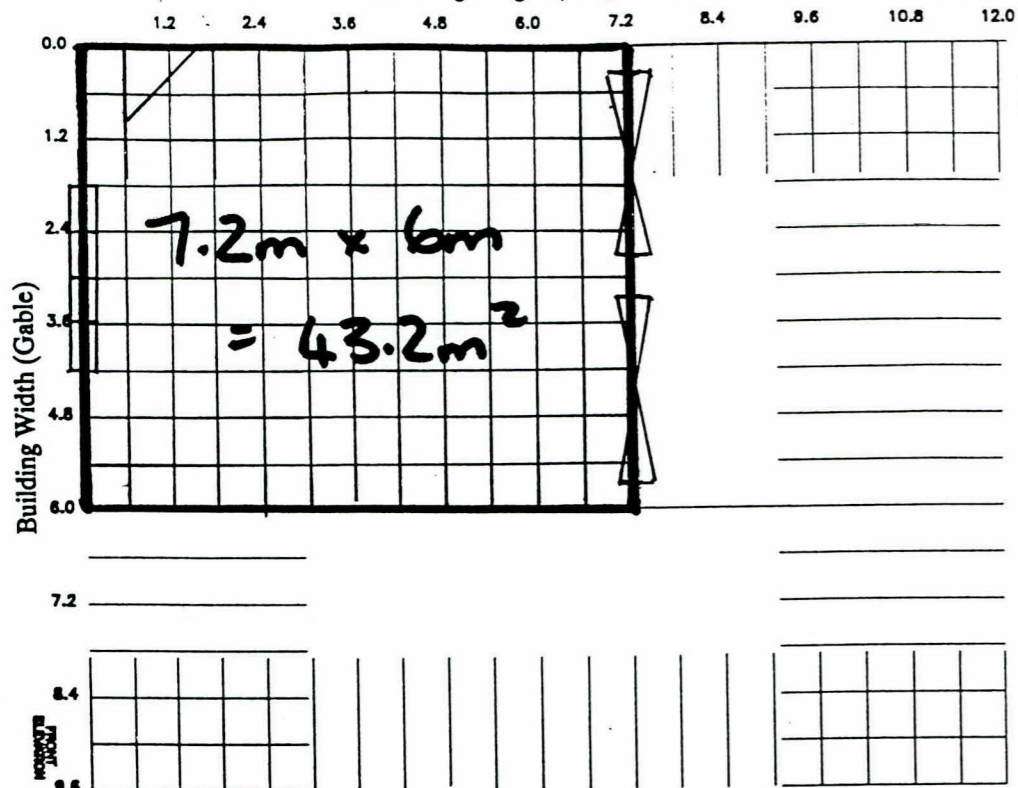
Date:



CONTRACTOR TO VERIFY ALL DIMENSIONS PRIOR TO STARTING • ALL DIMENSIONS IN MM UNLESS STATED

FLOOR PLAN

Building Length (Ridge Line)

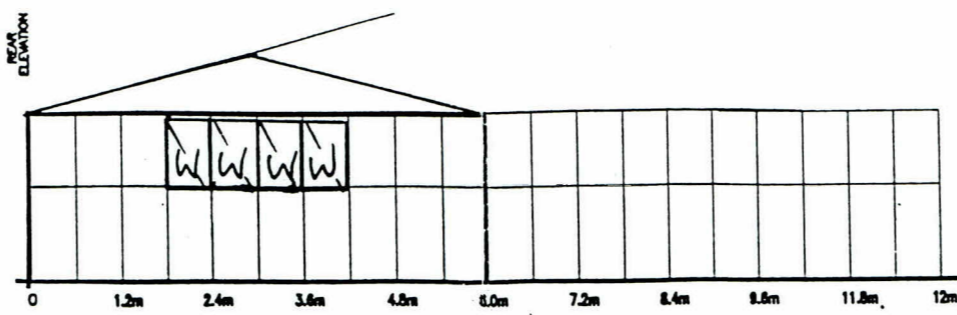


LEGEND Plan

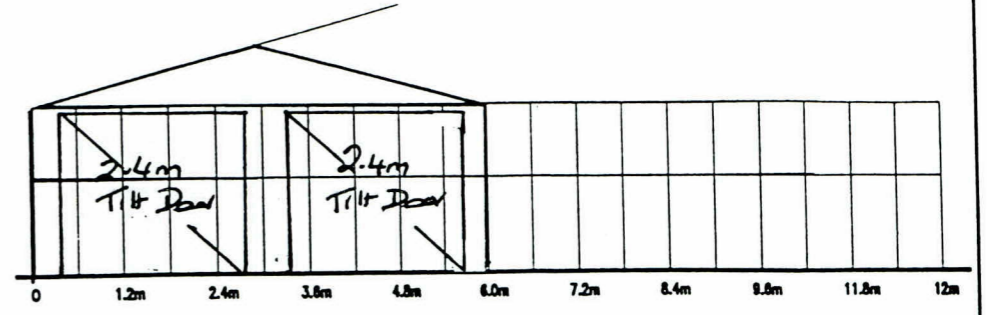
TILT DOOR FIXED WINDOWS SIDE DOOR ROOF BRACING

LEGEND Elevation

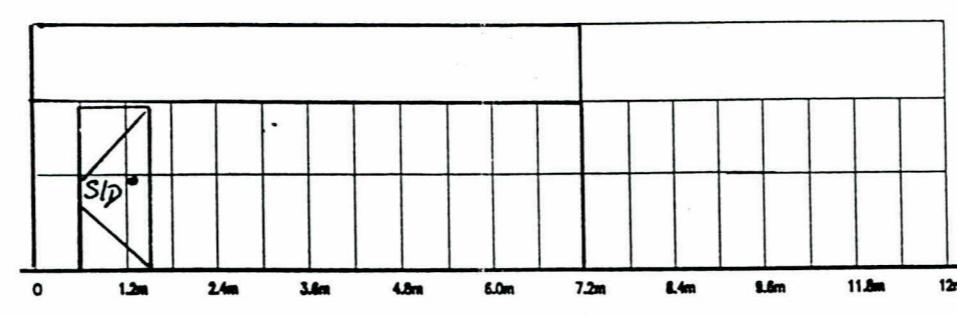
4.5m TLT TILT DOOR FIXED WINDOWS SIDE DOOR



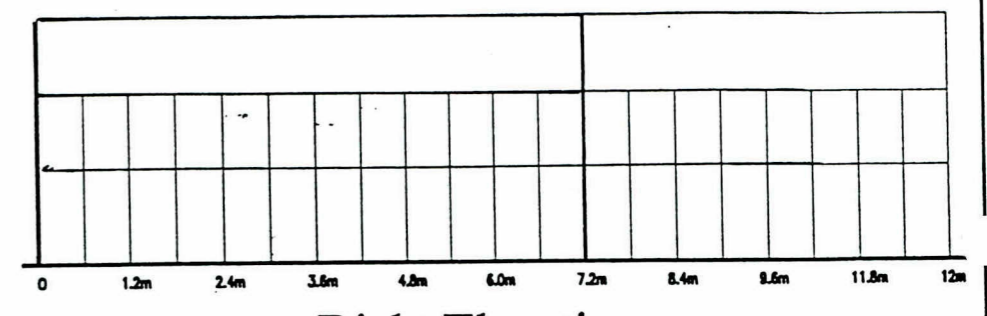
REAR Front Elevation



FRONT Rear Elevation



RIGHT Left Elevation



LEFT Right Elevation

BUILDING DATA

LENGTH 7.2m WIDTH 6m AREA 43.2m²
 STUD HEIGHT 2.4m
 CLADDING Versaclad Superclad Other
 WIND ZONE Low Medium High V High
 FLOOR Concrete Timber
 ROOF PITCH 15o 20o 25o other

Construction to comply with NZS3604-1999 and the NZ Building Code Refer to Producer Statement VB 2000

SPECIFICATIONS

GENERAL
 All work to comply with the NZ Building Code. This specification and drawings shall be read in conjunction with Versatile Buildings Ltd/Gang-Nail Producer Statement for Design VB2000 Series. Durability requirements for wall cladding detailed in Producer Statement-Durability, Producer Statement VB2000, Sheet 2

FOUNDATIONS
 Concrete floor shall be 17.5 MPa, 100mm thick. Footing as detailed.

WALL FRAMING
 All timber shall be machine graded and treated to T.P.A. specification H1 or Chemical Free Dry Frame. Studs shall be 90x35 dry frame at 600ctrs and banded into plates with drawings housed into studs. Lay 'supersaver' d.p.c. under all plates. Refer Producer Statement VB2000 Sheet 4 for timber grade options and specification. Fix battens in accordance with Producer Statement VB2000 Sheets 4 & 5.

ROOF FRAMING
 Purlins shall be 90mm x 45mm on edge at 1500 max. ctrs fixed to Gang-Nail trusses at 1800mm centres. Fix purlins and edge batten as detailed in Producer Statement VB 2000, Sheet 13. Gang-nail Truss specifications detailed in Producer Statement VB2000, Sheets 14 & 15. For raking ceiling (rafters roof) refer VB2000 page 13.

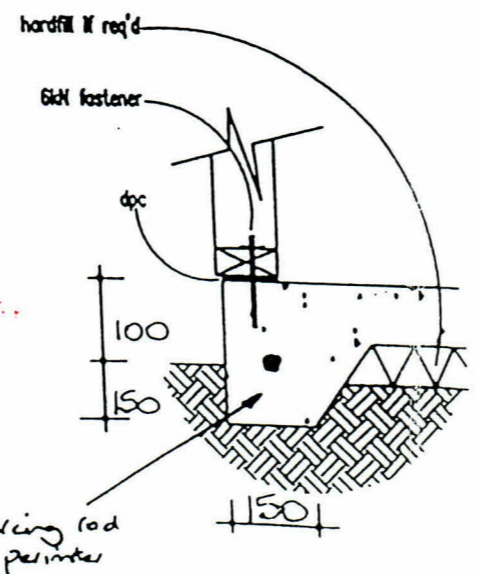
SIDE ENTRY OPENING LINTELS
 LVL Batten size/open as per Producer Statement VB2000 Sheet 4, Fixing details VB2000 Sheet 9

ROOFING
 Shall be Steel longrun rib roofing, fixed with 65/75mm weatherwood spiral shank nails, over building paper on ultraviolet flat lathing

WALL CLADDING
 Fix in accordance with Producer Statement Design VB2000, Sheet 7

ROOF BRACING
 For all buildings fix Lamberlok roof plate strap bracing in accordance VB2000 Producer Statement, Sheet 16. For 2.7 & 3.8 stud, refer VB2000 Sheet 8

WALL BRACING
 For Bracing per VB2000, Sheet 7, Bracing Panel locations and fixing refer attached: 'Wall Bracing 600 Series, Ver 1.1'

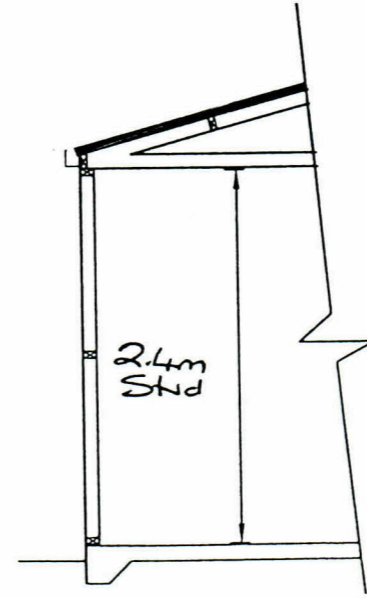


FOUNDATION DETAIL n.t.s. (typical)

longrun rib roofing on building paper on UV treated string on 90x45 purlins @ 1500 ctrs cut between 90x35 gang-nail approved trusses @1800 ctrs

steel cladding over 90x35 dryframe studs at 600mm centers

100mm concrete slab 17.5mPa at 28 days



TYPICAL SECTION



COPYRIGHT: THESE DRAWINGS MUST NOT BE REPRODUCED WITHOUT EXPRESS PERMISSION OF VERSATILE BUILDINGS LTD.

PROJECT TITLE Proposed Garage For:
 P.J + J.A. Binns
 Rangihaeata, RD2 Takaka

DRAWING TITLE Construction Details, 600 Series
 VERSATILE BUILDING

SCALE 1:100 DATE July '02 SHEET 1
 DRAWN B.O'Connor FILE VG-136A

Code Compliance Certificate

Section 43, Building Act 1991

Application

PJ & JA BINNS RANGIHAEATA RD 2 TAKAKA	No. Issue date Overseer	960181 26/06/1997 NLR Ian Butler
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Project

Description	Dwellings - Alterations & additions Being Stage 1 of an intended 1 Stage Extension to dwelling
Intended Life	Specified as 50 years
Intended Use	LOUNGE DECK NEW ENSUITE
Estimated Value	\$17,000
Location	RANGIHAEATA RD, TAKAKA
Legal Description	LOT 6 DP6203 BLK V WAITAPU SD
Valuation No.	1870005504

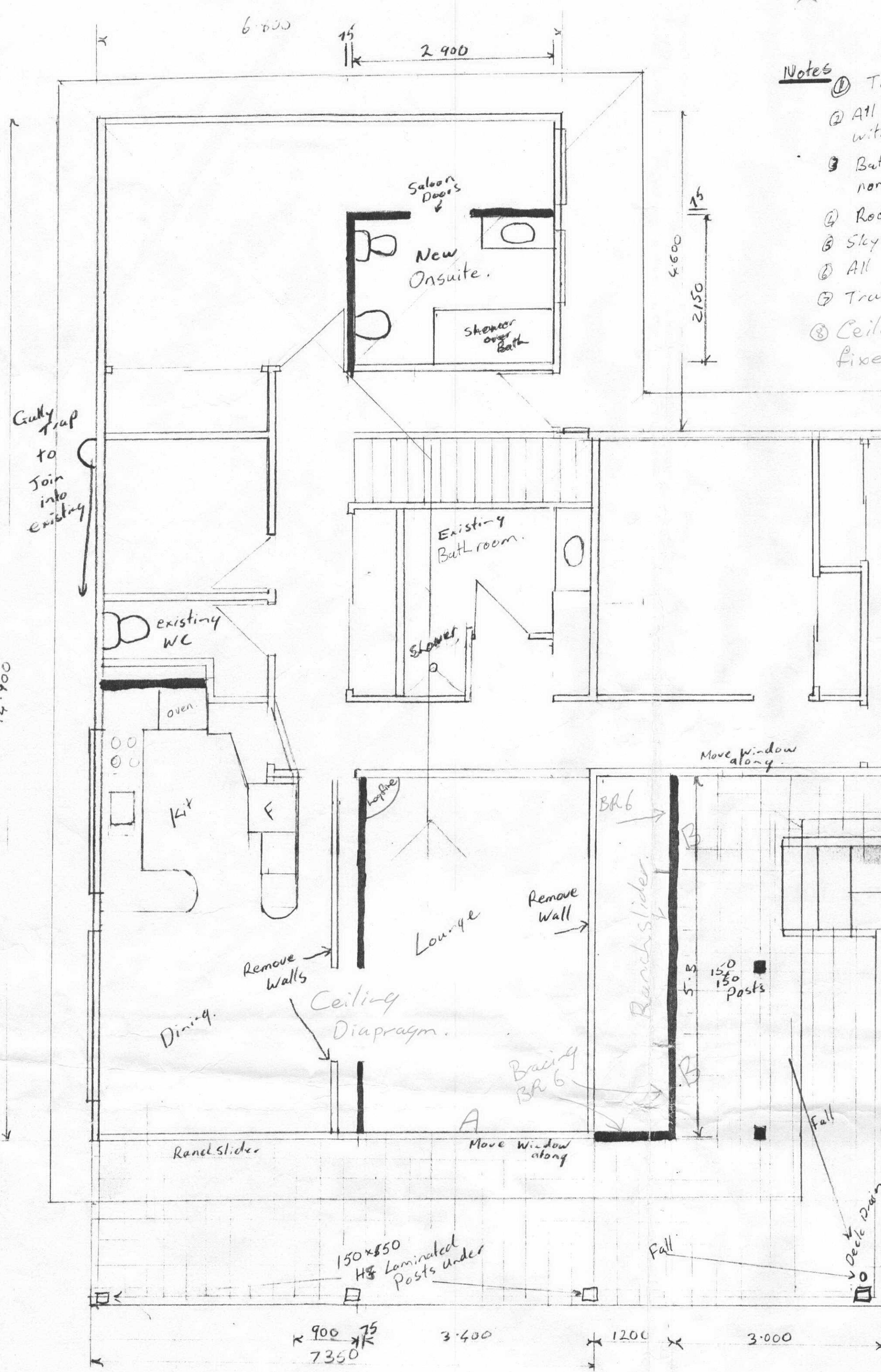
This is a final Code Compliance Certificate issued in respect of all the building work under the above building consent.

Signature

On behalf of: Tasman District Council

Position

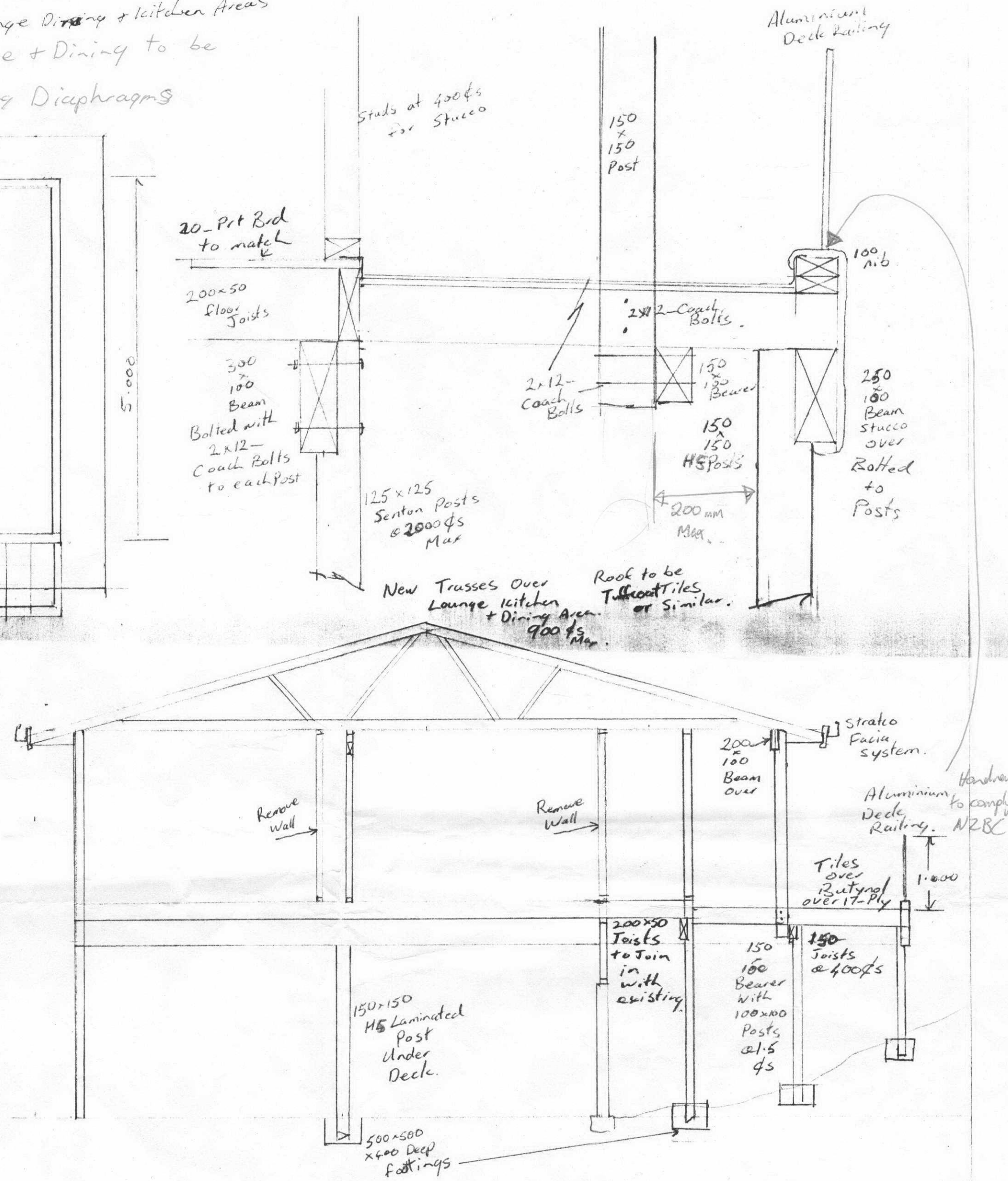
Date:



- Notes**
- To be read with original Plan
 - All room Ceilings to be relined with Grib Bnd.
 - Bathroom to have Heavy Duty non slip vinyl to floor
 - Roof to be reclad, also Gables to be replaced with hips
 - Skylight + Fan over Bathroom.
 - All walls existing except through Shaded.
 - Trusses over Lounge Dining + kitchen Areas
 - Ceiling in Lounge + Dining to be fixed for ceiling Diaphragms

Renovations to House at Rangihaeata Talcaea
For P+J Binns

Wall	Min. Brs	Bracing Type	Bus A
Wall A	21-6	BR6	110
Wall B		BR6 x 2	220



GOLDEN BAY COUNTY COUNCIL
BUILDING PERMIT APPLICATION FORM

Permit No: F50472
Date: 28-2-74
Receipt No: 2179
Date: 28-2-74

To: The Building Inspector
Golden Bay County Council
TAKAKA

NOTE: The Council has up to 7 days and more depending on the size and extent of the work to check this application before a permit is issued.

Dear Sir:

I hereby make application for a permit to Erect/Alter/Convert/Demolish/Transfer a building as specified hereunder, in accordance with the plans and specifications submitted in DUPLICATE herewith.

- Description of Property: Valuation Roll No: 1870/55/4
Lot: 6 D.P. 6203 Section: _____ Block: V
Area: acres - rods - perches 32.
- Site of Building:
S.D. WAITAPU _____ Street
_____ Township _____ Riding
- OWNER: Name RICHARD LAWRENCE WILSON
Address RANGIHAETA RD 2 TAKAKA
- BUILDER: Name R. C. Belland
Address 89 King Edward St Matukaka
- DESCRIPTION OF PROPOSED WORK: (Residence, Haybarn, Garage, Woolshed, etc.)
RESIDENCE Floor area 1200 sq. ft.
- ESTIMATED VALUE OF PROPOSED WORK \$ 12,500 (VALUE not COST)
- FEE DEPOSITED HEREWITH (As per reverse side) \$ 44 = 00 6.50 Bldg Permit Bldg Res Levy

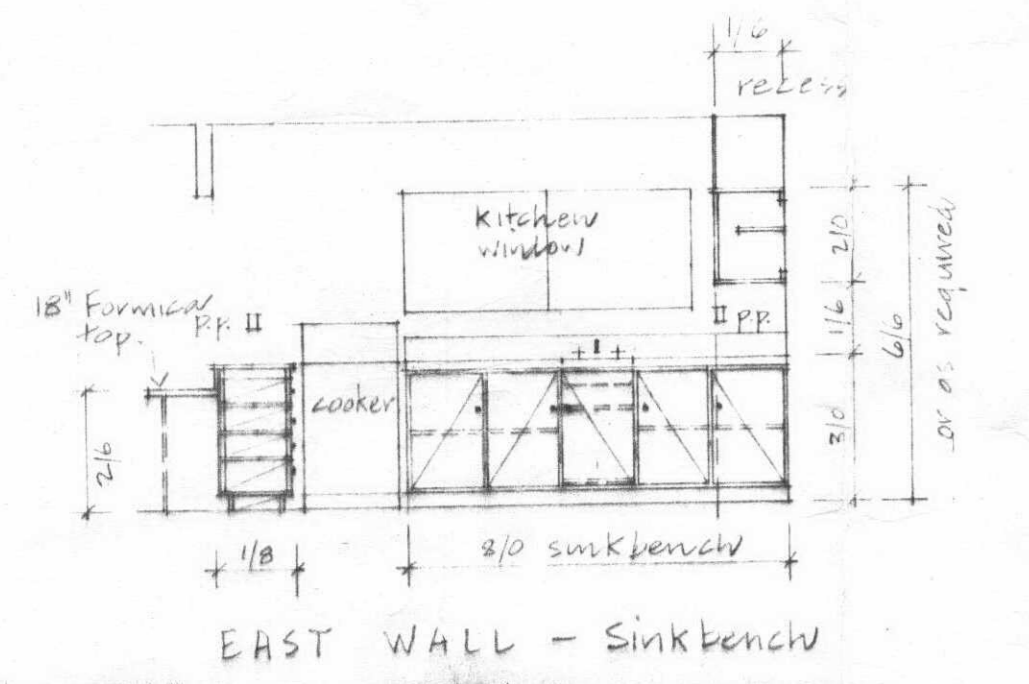
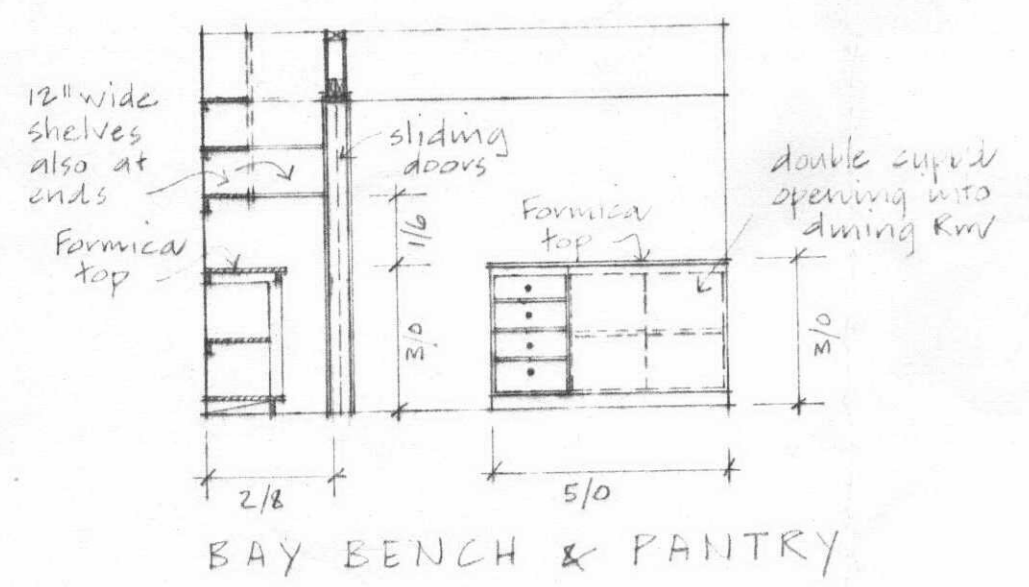
NOTE: Where Plumbing & Drainage is involved in the building, a separate application must be made on a Plumbing & Drainage Permit Application Form & included with this application.

Yours faithfully
Signature of Applicant [Signature]
Address RANGIHAETA RD 2 TAKAKA
Date 18-2-74

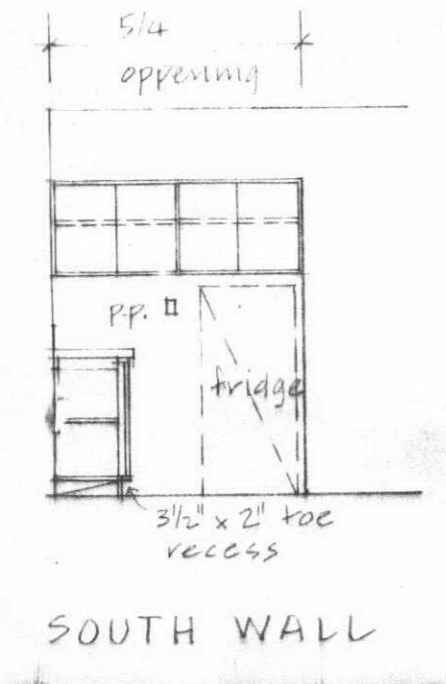
- NOTE:
- ALL Details MUST be completed before permit will be issued.
 - All applications must be accompanied by:
 - DETAILED PLANS & SPECIFICATIONS IN DUPLICATE. Plans to be prints, tracings or originals on good quality paper, to a scale of $\frac{1}{8}$ " to $\frac{1}{4}$ " to foot showing ground plan and such elevations as are required to furnish complete details of the proposed work.
 - APPLICATION for permit for plumbing and drainage work, where applicable.
 - SITE PLAN.
 - APPROPRIATE FEES for Building and Plumbing & Drainage.
 - All plans and specifications must be signed by the person who prepared them.
 - FOR SCALE OF FEES SEE REVERSE.

FOR OFFICE USE ONLY
BUILDING: Plans & Specifications checked and approved subject to the following:

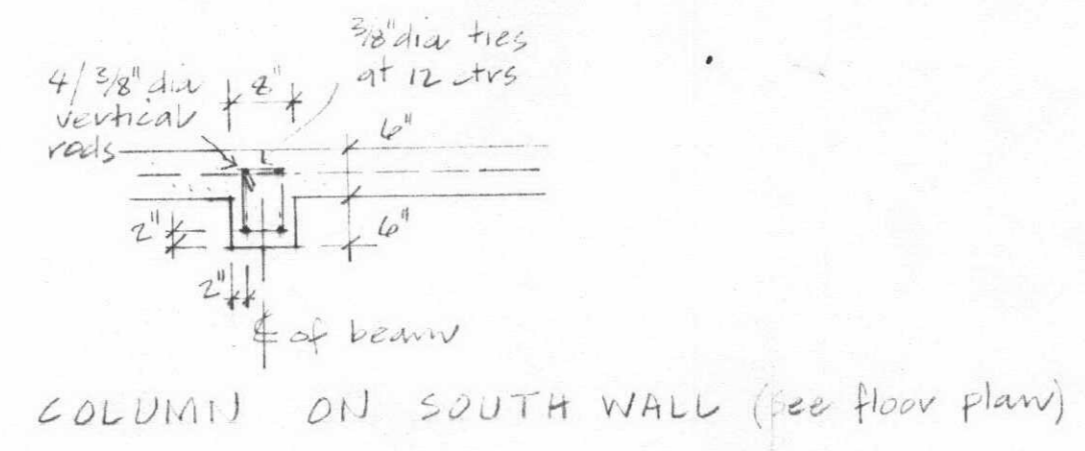
Date: 27/2/74
[Signature]
Building Inspector



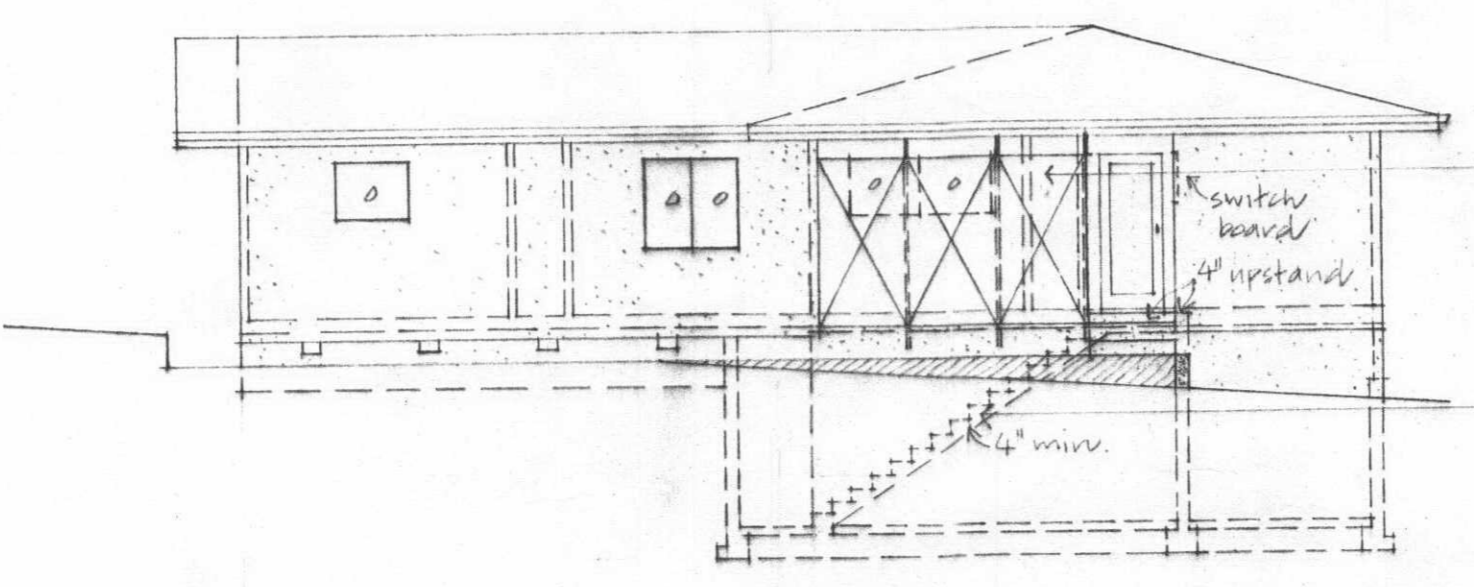
KITCHEN FITTINGS Scale 1/4" = 1'-0"



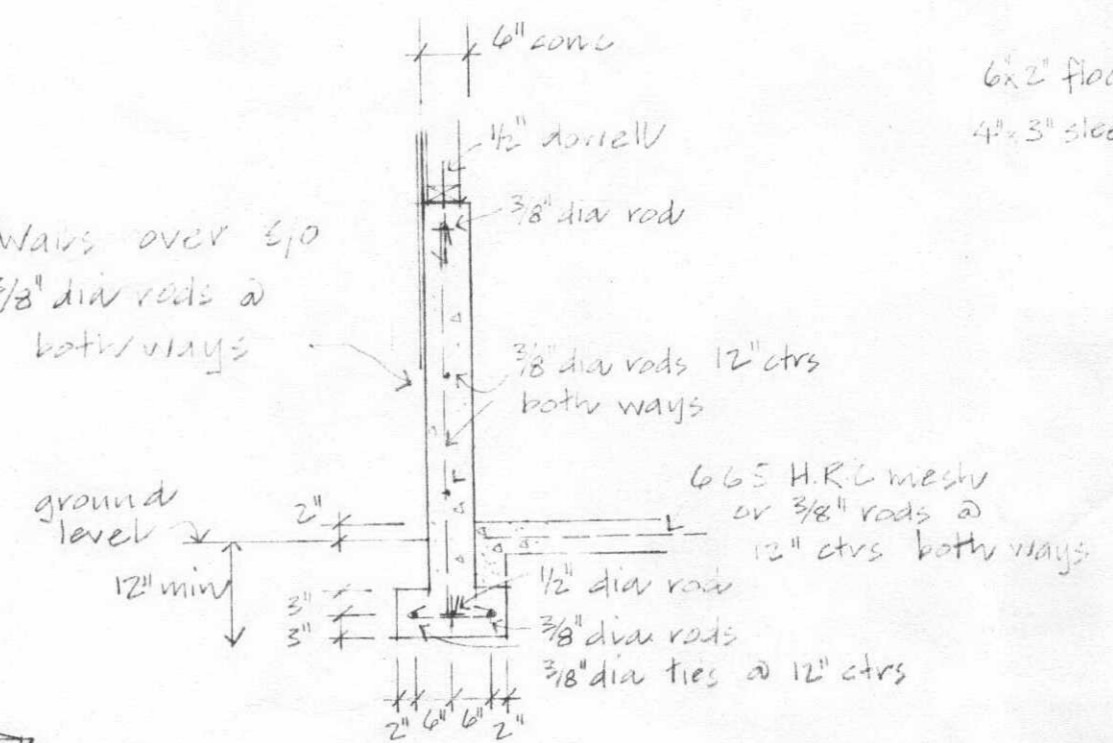
SOUTH WALL



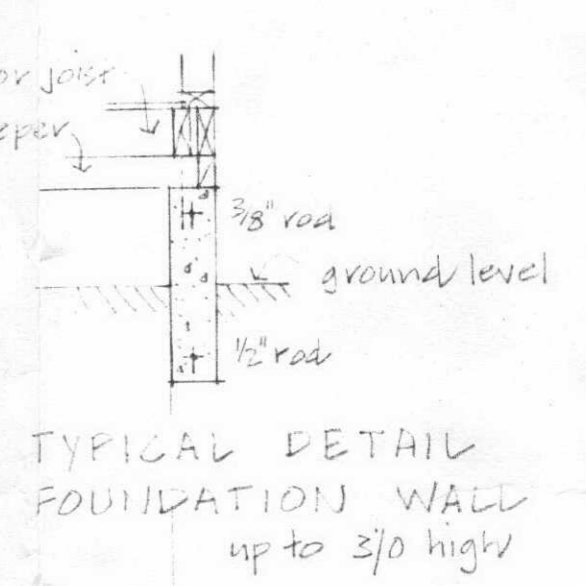
COLUMN ON SOUTH WALL (see floor plan)



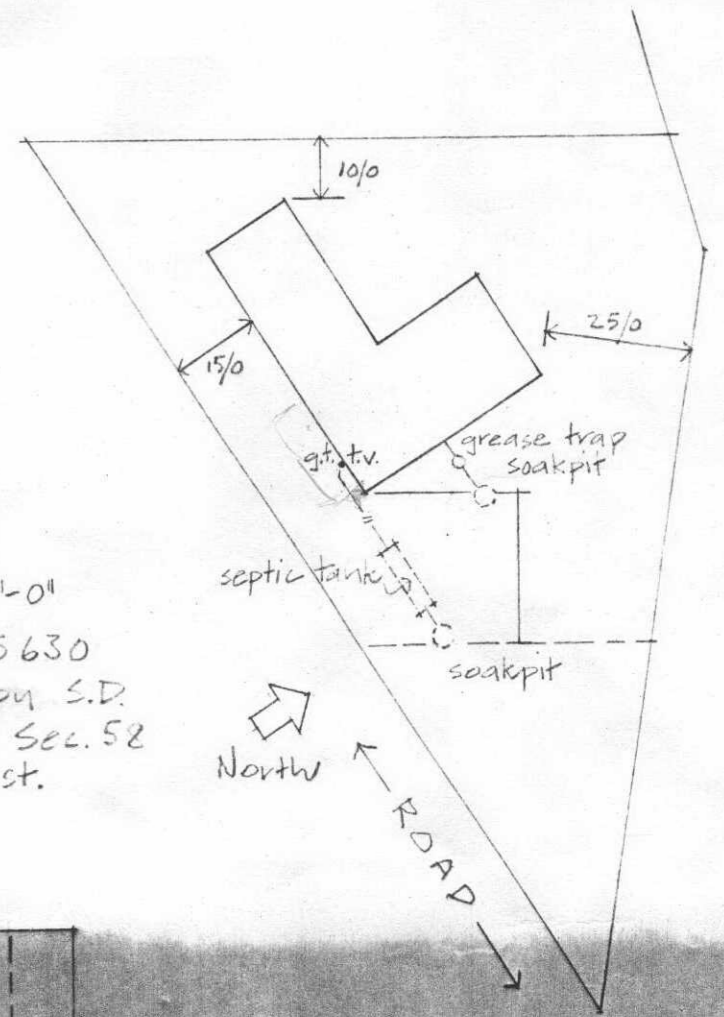
SOUTH ELEVATION Scale 1/8" = 1'-0"



TYPICAL DETAIL CONC. FOUNDATION WALL (Over 6/0 high above ground level) Scale 1/2" = 1'-0"

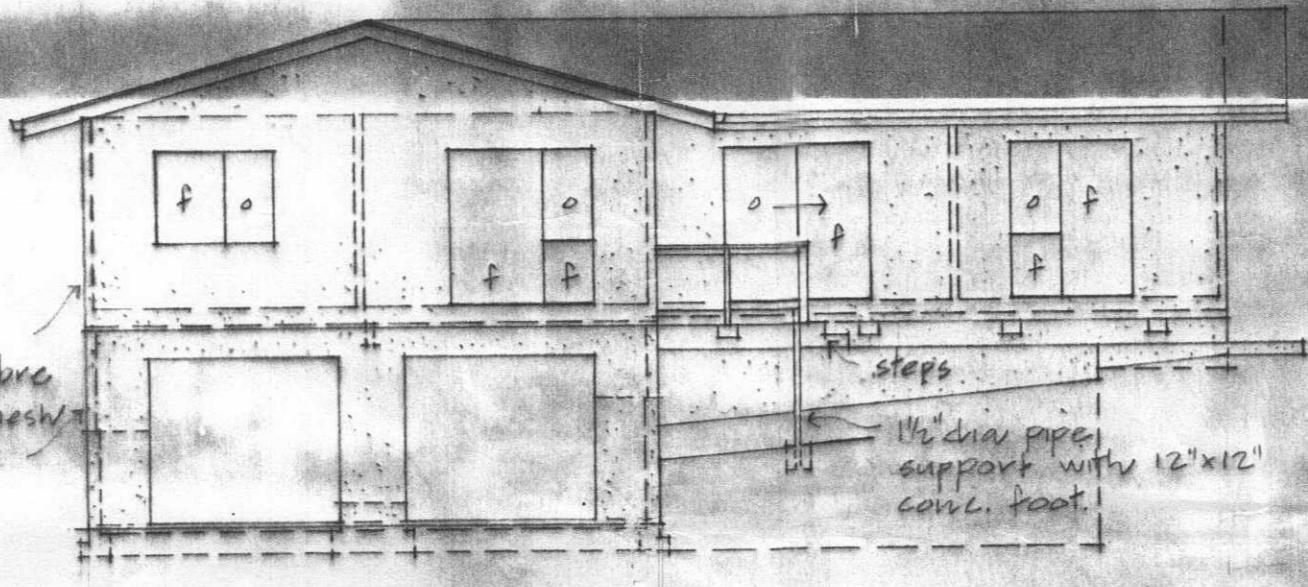


TYPICAL DETAIL FOUNDATION WALL up to 3/0 high

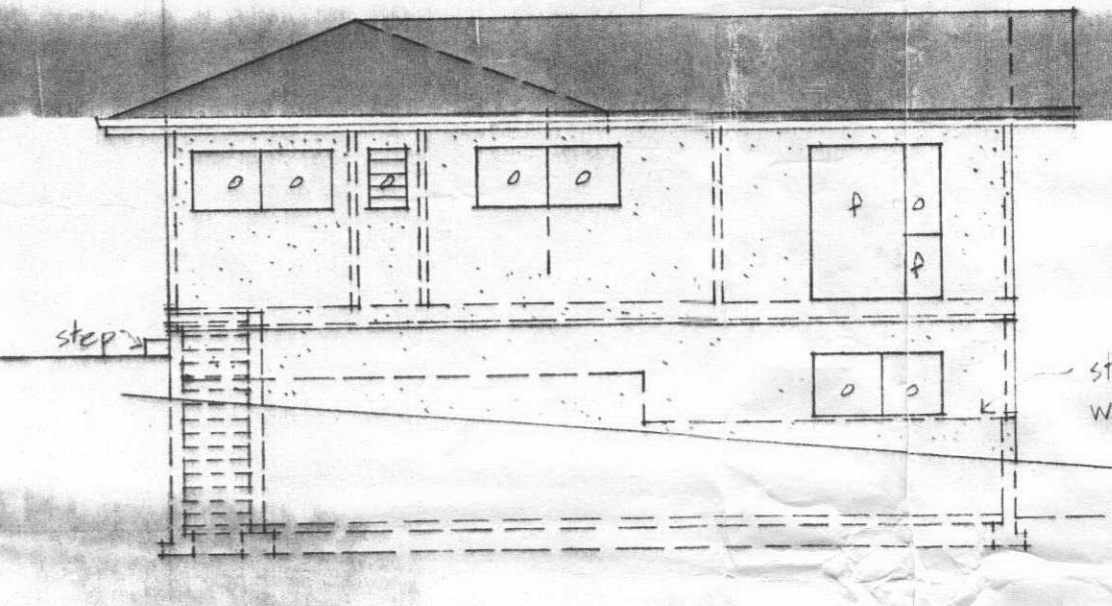


SITE PLAN Scale 1/32" = 1'-0"
Lot 6 P.P. 5630
Blk V Vaitapu S.D.
Prof P41 of Sec. 52
TAKAKA Dist.

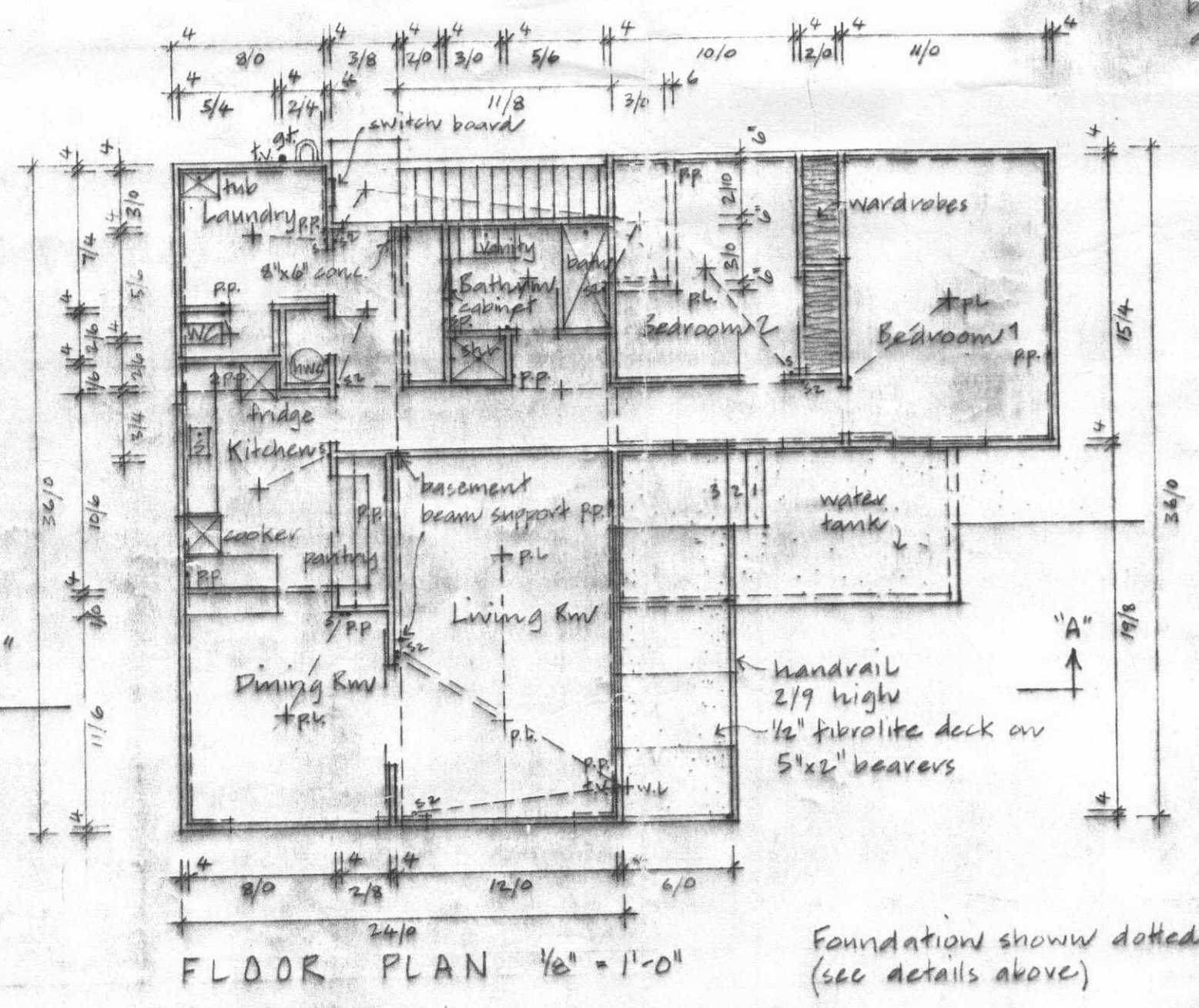
North (for reading of plan only)



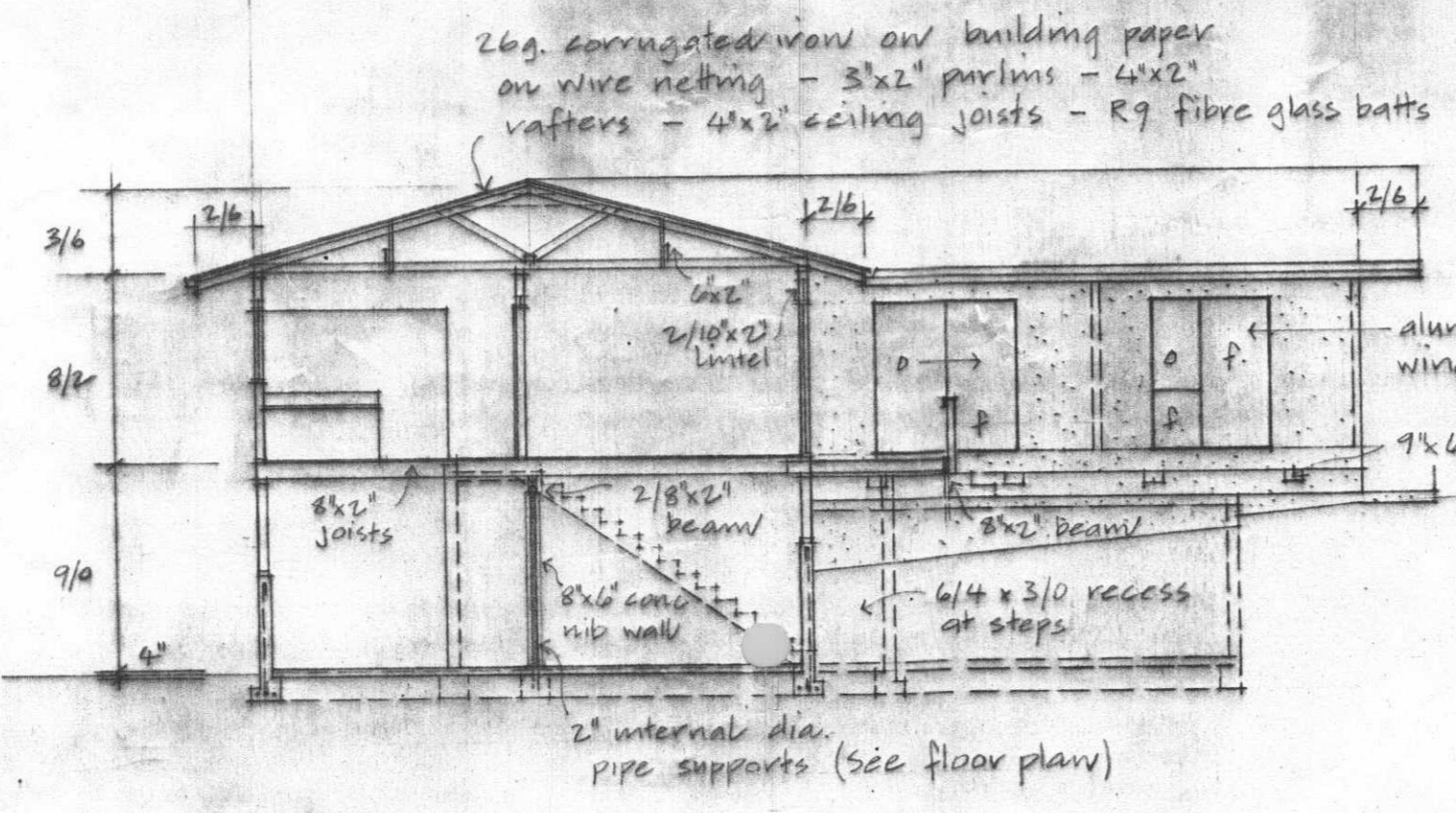
NORTH ELEVATION



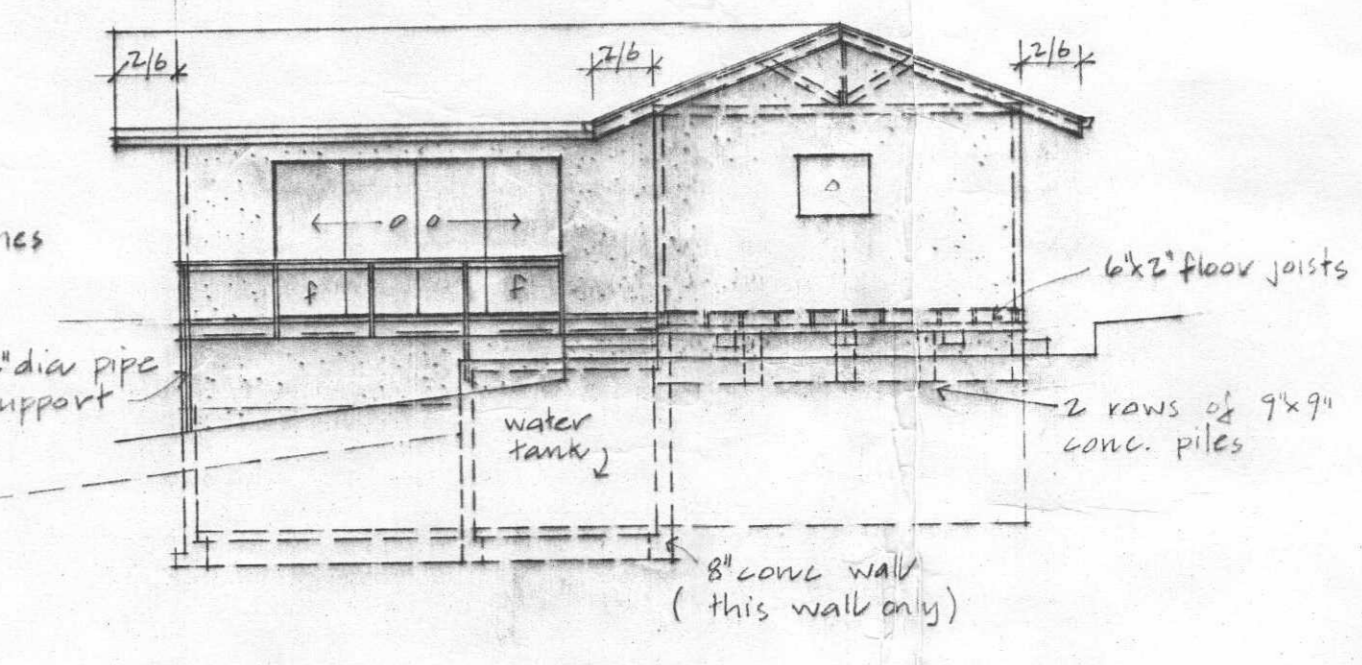
EAST ELEVATION



FLOOR PLAN 1/2" = 1'-0"



CROSS SECTION "A" - "A"



WEST ELEVATION

RESIDENCE FOR MR & MRS R. L. WILSON of TAKAKA

DRAWN - B. LANE Aug. 73

Arizto Limited
5 Gilgit Road
Epsom
Auckland 1023

Tax Invoice/ Credit Note

GST Reg No: 51076806
Invoice Date: 22/05/2025
ACCOUNT NUMBER: 36069
Tax Invoice Number: 214773

Qty	Description	Rate	GST	Amount
	L250441 : Arizto Limited : Auckland 1870005504 : 204 Rangihaeata Road, Takaka Land Information Memorandum Residential		45.65	350.00

Subtotal	304.35
GST	45.65
Total Amount	\$350.00

Invoices are due 20th of month following invoice date

PAID

Please help the environment.

Send your email address to debtors@tasman.govt.nz to receive your invoices by email.

Tasman District Council

Email debtors@tasman.govt.nz

Website www.tasman.govt.nz

Richmond
Murchison
Motueka
Takaka

189 Queen Street, Private Bag 4, Richmond, Nelson 7050 New Zealand
92 Fairfax Street, Murchison 7007, New Zealand
7 Hickmott Place, PO Box 123, Motueka 7143, New Zealand
78 Commercial Street, PO Box 74, Takaka 7142, New Zealand

Phone 03 543 8400 **Fax** 03 543 9524
Phone 03 523 1013 **Fax** 03 523 1012
Phone 03 528 2022 **Fax** 03 528 9751
Phone 03 525 0020 **Fax** 03 525 9972

Account Name:	Arizto Limited	Account Number:	36069
Tax Invoice:	214773	Total Due (Inc GST):	\$350.00
Invoice Date:	22/05/2025	Amount Paid:	\$ PAID

Telephone/Internet Banking payments can be made to bank account 12-3193-0002048-03.

Please quote **36069** as reference.