

# WAIMAKARIRI DISTRICT COUNCIL

215 HIGH ST, RANGIORA  
PRIVATE BAG, RANGIORA

RANGIORA PHONE (0502) 36-136, 38-024  
FAX (0502) 34-432

Service Centres: 176 Williams St, Kaiapoi. Phone (0327)8039, Fax (0327)8752  
34 Main St., Oxford. Phone (0502) 24-014, Fax (0502) 24-833

## BUILDING PERMIT APPLICATION

IMPORTANT: PLEASE READ INSTRUCTIONS ON PAGE 3 AND COMPLETE THE FOLLOWING INFORMATION. PLEASE PRINT IN BLOCK LETTERS.

OWNER	
(Note: Permit will be posted to owner)	
Name	KAIAPOI W.M. CLUB
Mailing Address	P.O. BOX 119 KAIAPOI
Phone No. Pvt	Bus 7884

BUILDER	
Name	E. ATKINSON
Mailing Address	HILTON STREET KAIAPOI
Phone No. Pvt	Bus

SITE INFORMATION	
Street No.	103 RAVEN STREET
Road or Street Name	
Locality	KAIAPOI

LEGAL DESCRIPTION OF SITE	
Valuation Roll No.	21761 765
Lot	1
D.P.	46183
Rural Section	Survey District
Area of Site	Hectares Sq Metres

DESCRIPTION OF PROPOSED WORK AND INTENDED USE	
TO REMOVE OPEN FIREPLACE AND INSTALL KENT LOG BURNER.	

FLOOR AREA OF PROPOSED WORK	
Sq. Metres	
VALUE OF WORK:	Building
CONTRACT PRICE	Plumbing
(AT CURRENT MARKET RATES)	Drainage
TOTAL \$	

NATURE OF PERMIT (TICK BOX)	
<input type="checkbox"/>	NEW BUILDING — exclude domestic garages & domestic outbuildings
<input type="checkbox"/>	FOUNDATIONS ONLY
<input checked="" type="checkbox"/>	ANY BUILDINGS ALTERED, REPAIRED EXTENDED, CONVERTED, RESITED.
<input type="checkbox"/>	NEW CONSTRUCTION OTHER THAN BUILDINGS — include demolitions
<input type="checkbox"/>	NEW DOMESTIC GARAGES & DOMESTIC OUTBUILDINGS.

NATURE OF GROUND AND SUBSOIL ON WHICH BUILDING IS LOCATED	

APPLICANT	
Name	KAIAPOI W.M. CLUB
Address	109 RAVEN STREET, KAIAPOI
Phone	7884
Role of Applicant	TENANT - MANAGER
SIGNATURE	<i>D. J. Kirk</i>

PERMIT FEES		FOR OFFICE USE ONLY			
WORK	FEE	INVOICE No.	RECEIPT No.	PERMIT No.	
BUILDING	35-70				
PLUMBING					
DRAINAGE					
BUILDING RESEARCH LEVY					
VEHICLE CROSSING					
WATER CONNECTION					
OTHER (SPECIFY)					
DEPOSIT					
TOTAL PAYABLE	\$ 35-70				

## **LOCALITY MAP SHOWING LOCATION OF PROPERTY:**

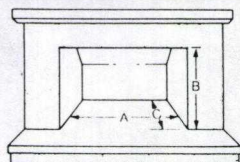
**(ie. DIRECTIONS TO PROPERTY ON WHICH BUILDING WORKS ARE BEING CARRIED OUT)**

**THIS IS NOT ACCEPTED AS A SITE PLAN:**



*To be installed to  
Manufacturers instructions  
Please notify inspector JPS.  
when being installed.*

**STANDARD FRONT.** Vitreous enamel finish available in black, Nordic bronze, two-tone Nordic bronze or grey. Gold plated grilles and glass doors are available as options. Black and Nordic bronze surrounds with gold colour trim and grey surrounds with silver trim available in three sizes to ensure a custom fit. (Unit shown with large backing plate option.)



FIREPLACE DIMENSIONS	A	B	C
Basic Unit (Minimum)	622	559	432
Basic Unit (Maximum)	800	622	—
W/S Small Backing Plate** (Maximum)	984	711	—
Medium Backing Plate** (Maximum)	1118	787	—
Large Backing Plate** (Maximum)	1270	864	—

NOTE: Use the smallest backing plate which satisfies both the height and width requirements.

The backing plate should overlap the masonry by 25mm all around.

\*When choosing the Standard or Contemporary front, if the fireplace depth requirement is between 432mm and 533mm the 100mm spacer frame is required.

\*\*N/A with Traditional Front.

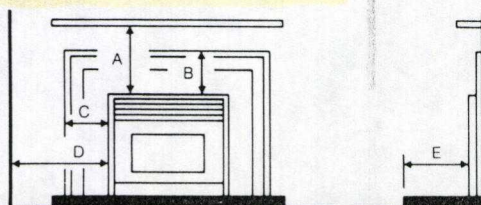
The Standard Front extends 60mm from the face of your fireplace. The Contemporary Front extends 60mm at the top and 170mm at the bottom. The Traditional Front extends 200mm from the face of your fireplace. Spacer frames which can fit between the front fascia and fireplace opening are also available (Standard and Contemporary Fronts *only*) to suit shallow fireplaces. They measure 50mm or 100mm deep.

Backing Plate Surrounds to cover larger fireplace openings are also available for Standard and Contemporary fronts only.

SMALL SURROUND: 1035mm w x 737mm h

MEDIUM SURROUND: 1168mm w x 813mm h

LARGE SURROUND: 1320mm w x 889mm h



Front View

Side View

## STANDARD FASCIA

### MINIMUM CLEARANCES TO COMBUSTIBLE MATERIALS

		NEW ZEALAND	AUSTRALIA
Top of heater to mantle:	A	500	500
Top of heater to top trim:	B	150	150
Side of heater to side trim:	C	50	50
Side of heater to side wall:	D	750	750
Front of heater to front of hearth:	E	285	400

Install and use only in masonry fireplaces.

All three front fascias are designed to sit flush against your fireplace and have the following dimensions:

STANDARD: 857mm w x 648mm h • TRADITIONAL: 1067mm w x 749mm h • CONTEMPORARY: 848mm w x 648mm h

## TRADITIONAL FASCIA

### MINIMUM CLEARANCES TO COMBUSTIBLE MATERIALS

		NEW ZEALAND	AUSTRALIA
Top of heater to mantle:	A	580	580
Top of heater to top trim:	B	150	150
Side of heater to side trim:	C	50	50
Side of heater to side wall:	D	400	400
Front of heater to front of hearth:	E	360	360

Install and use only in masonry fireplaces.

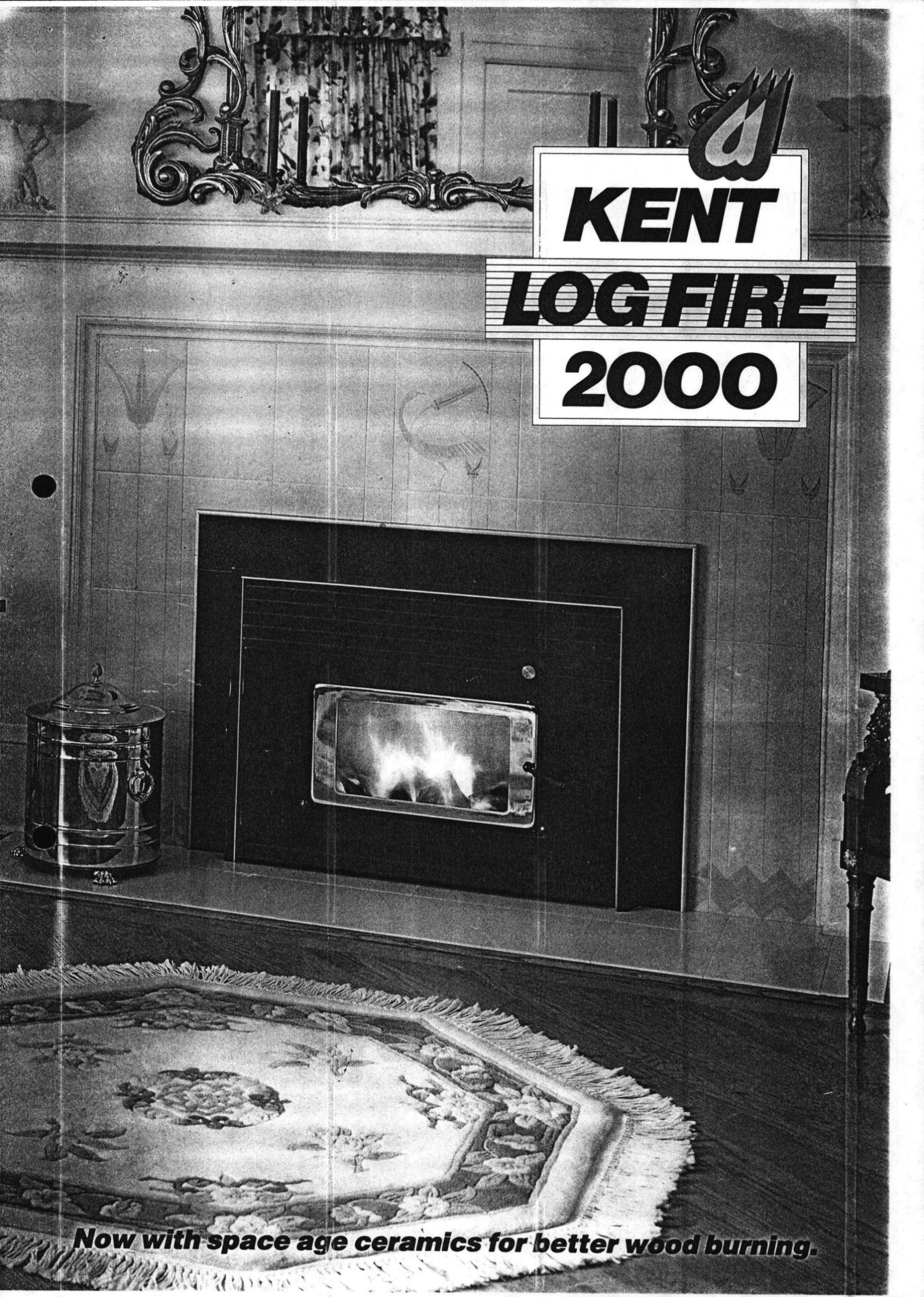
## CONTEMPORARY FASCIA

### MINIMUM CLEARANCES TO COMBUSTIBLE MATERIALS

		NEW ZEALAND	AUSTRALIA
Top of heater to mantle:	A	580	580
Top of heater to top trim:	B	200	200
Side of heater to side trim:	C	100	100
Side of heater to side wall:	D	750	750
Front of heater to front of hearth:	E	170	200

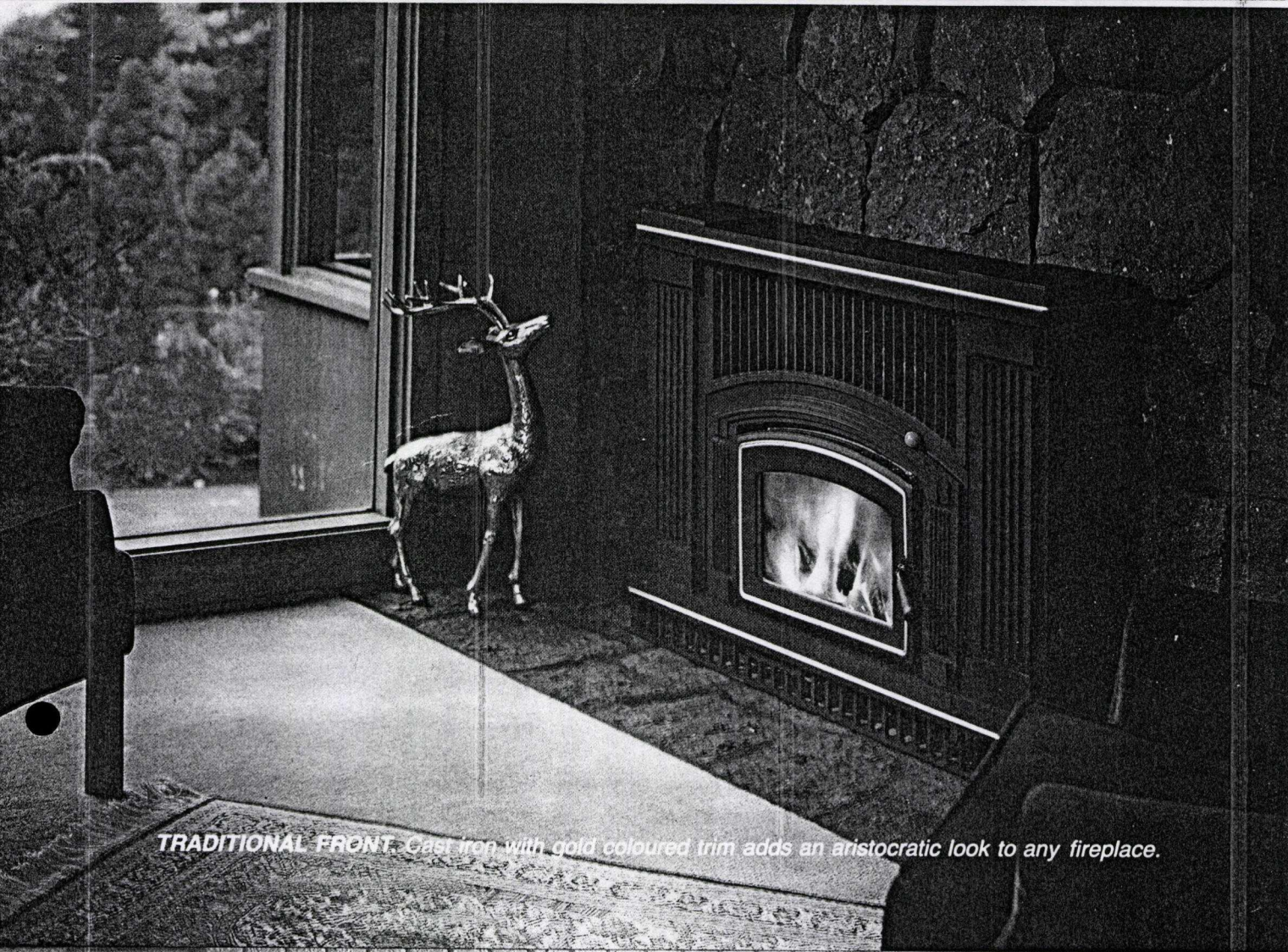
Install and use only in masonry fireplaces.

The Log Fire insert is designed with a sloping-top cabinet which is 560mm high at front, 527mm high at rear and 560mm wide. The Log Fire Series 2000 accommodates logs up to 420mm and produces maximum heat output of 16kW. The Log Fire Standard accommodates logs up to 450mm and produces maximum heat output of 15kW.

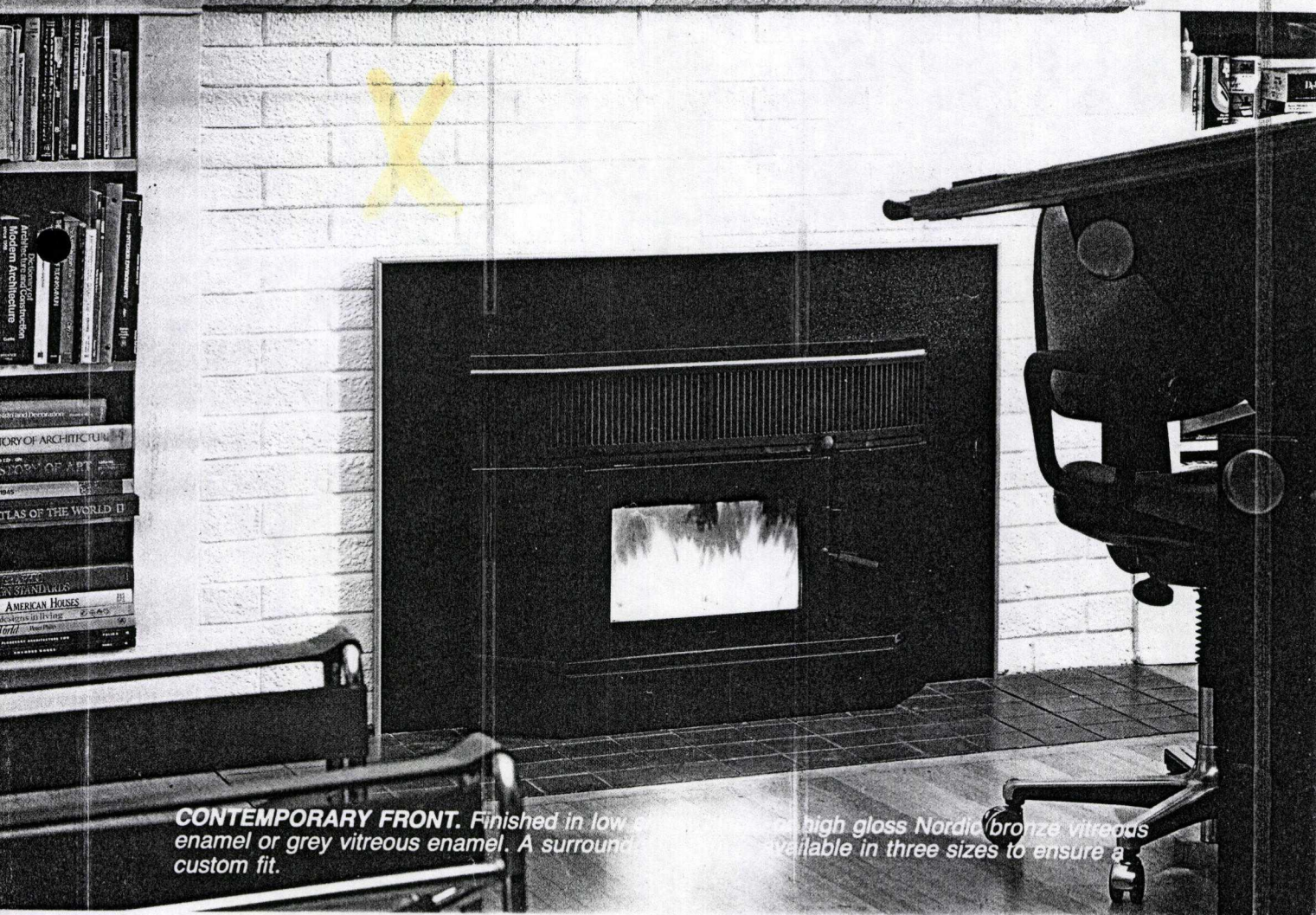
The background of the advertisement is a black and white photograph of a traditional fireplace. The fireplace has a dark, rectangular surround and a glass-fronted firebox. Inside the firebox, a fire is burning. To the left of the fireplace, on the mantelpiece, sits a large, ornate, cylindrical metal container, possibly a log store or a decorative piece. The mantelpiece is decorated with a large, ornate mirror and two tall, thin vases. The wall above the mantelpiece is decorated with a large, ornate mirror and two tall, thin vases. The floor in front of the fireplace is covered with a large, patterned rug with a fringed edge.

  
**KENT**  
**LOG FIRE**  
**2000**

**Now with space age ceramics for better wood burning.**



**TRADITIONAL FRONT.** Cast iron with gold coloured trim adds an aristocratic look to any fireplace.



**CONTEMPORARY FRONT.** Finished in low sheen matt or high gloss Nordic bronze vitreous enamel or grey vitreous enamel. A surround is available in three sizes to ensure a custom fit.

# KENT LOG FIRE 2000

For more than 30 years, Kent has led in the search for the perfect heater. It was Kent that developed "the fires that burn twice".

Now Kent has launched itself into space-age technology with another heating first, the introduction of Kent's unique new Series 2000 ceramic fire range, the only fires with a ceramic-lined firebox.

Ceramics are tough, durable and able to withstand incredibly high temperatures of over 2000 F. The very reasons why Kent began to apply ceramic technology to enhance their already advanced heater designs, some five years ago.

The results? Heaters that are even more efficient at heating. With greater heat

output, and a cleaner burn. Combine this with Kent's many other world-leading heater benefits and features, and you can see why the Kent Series 2000 is one of the most advanced, efficient and cleanest burning stoves in the world.

## INTO THE FUTURE.

Kent's in-built wood heater, designed to fit into an existing fireplace, is a world favourite. Its wide glass door, attractive lines, choice of colours and optional extras are now even further enhanced by the addition of Kent's latest ceramic heating technology.

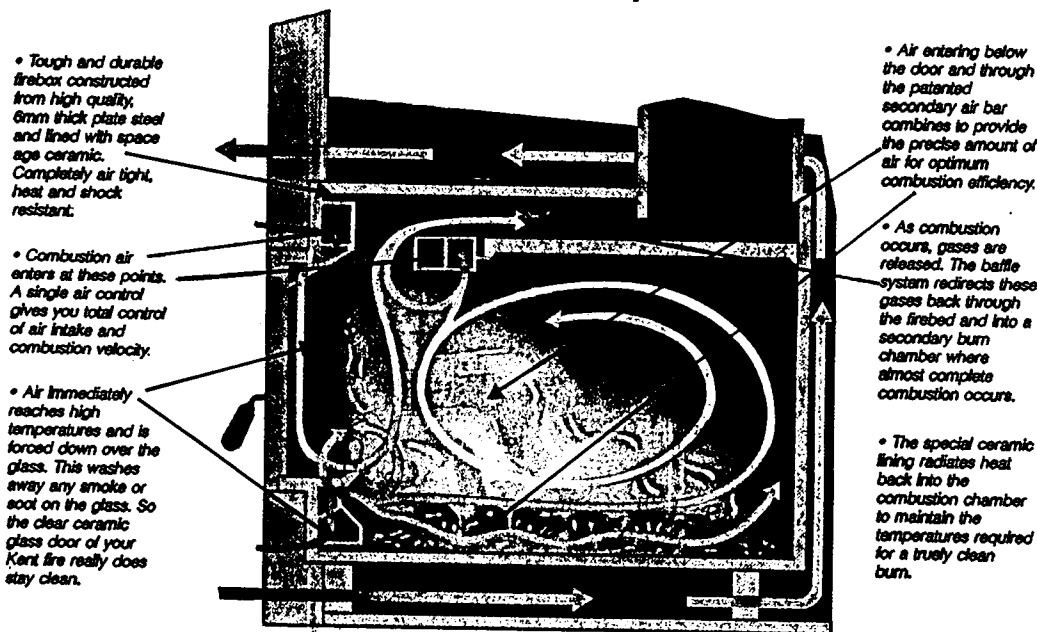
## ONLY KENT OFFERS ALL THESE FEATURES:

- Unique ceramic lined firebox construction for even greater heating efficiency and heat output.
- A single fingertip control giving immediate response.
- "Twice burning" combustion for increased economy and efficiency.
- Scientifically designed baffle chamber – super efficient second burning cycle.
- Removable ceramic baffle for easy maintenance.

- Large rolled steel firebox casing – for top durability and performance.
- Self-cleaning clear ceramic door glass, made extra wide so you can see more of the fire.
- Choice of fronts to suit Standard, Contemporary and Traditional room decor.
- Five year limited warranty on firebox (twelve months on removable components).
- A choice of colours.
- Optional extras – gold grilles and gold doors.
- Certified by USA Environmental Protection Agency as meeting the 1992 Phase II emission standards.
- Overnight burn – no cold mornings.
- Patented triple air entry system.
- A world-wide reputation founded on a proven sales record in the USA, Canada, Australia and New Zealand.
- Fully compatible, factory designed flue kit available.
- The added security of back-up from a large, experienced dependable company.



## 96% Combustion efficiency means a cleaner burn and more heat with less wood consumption.



Available from your Authorised Kent Dealer;



See Kent where you see this sign.



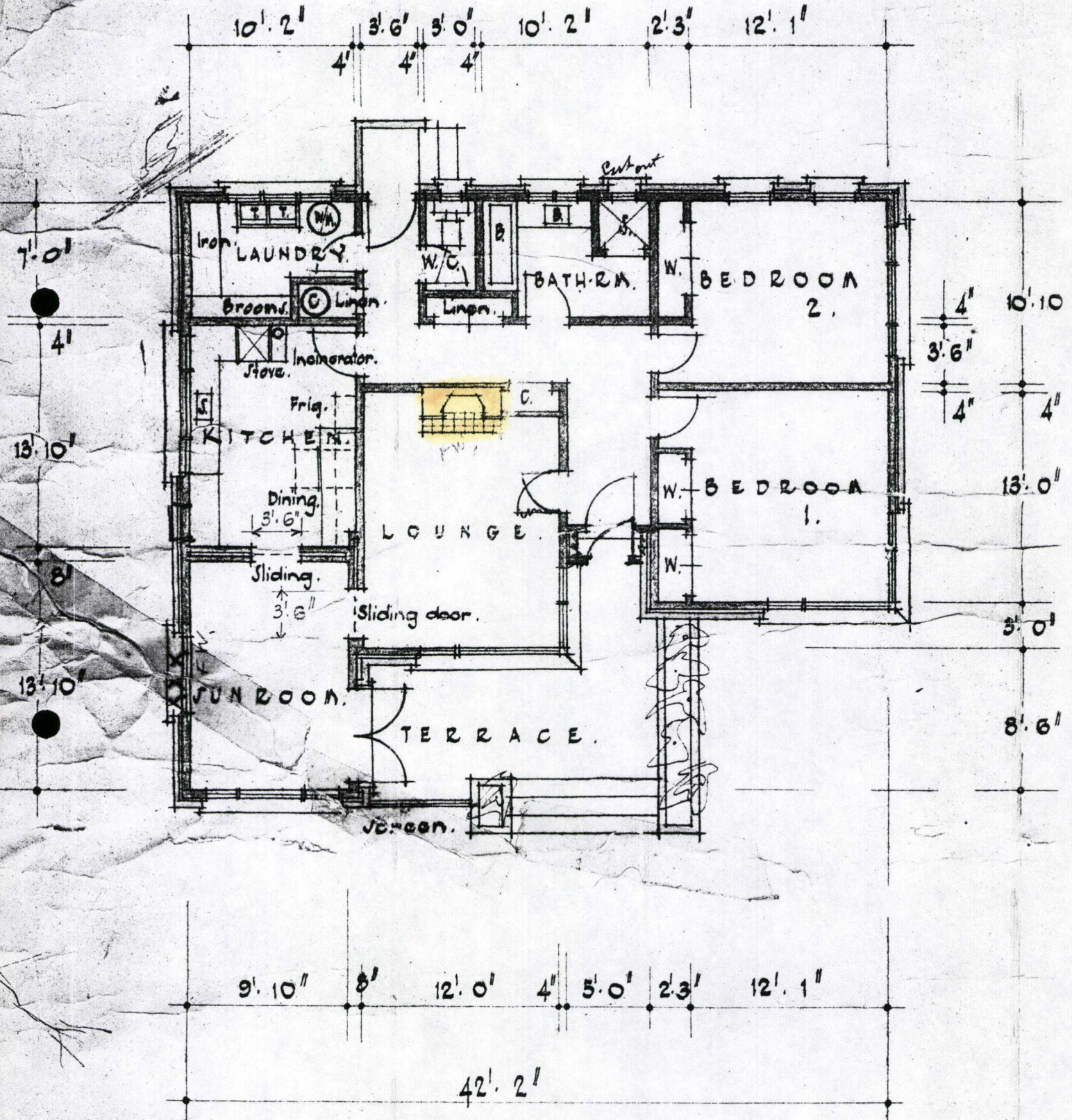
Kent Heating Limited, PO Box 23-340, Papatoetoe, Auckland.

Kent Exports Ltd, PO Box 3062, Parramatta, N.S.W. 2150, Australia

20' 42' 20' 20' 72' 20' 60'

Screen not  
shown above.

# EAST ELEVATION



Approx. Area 1,158 sq. ft. inside plates.

# INSTRUCTIONS FOR OBTAINING A BUILDING PERMIT.

## 1. PLANS TO BE SUPPLIED ARE AS FOLLOWS:

TYPE OF BUILDING	TYPE OF PLANS	INFORMATION
(a) SHEDS—DECKS GARAGES CARPORTS ADDITIONS FARM BUILDINGS, ETC	FLOOR PLAN TWO ELEVATIONS CROSS SECTION SITE PLAN	SHOW EXISTING BUILDINGS, CONSTRUCTION DETAILS AND ALL MATERIALS USED
(b) DWELLINGS INDUSTRIAL BUILDINGS COMMERCIAL BUILDINGS	FLOOR PLAN/S FOUR ELEVATIONS CROSS SECTIONS SITE AND DRAINAGE PLAN FOUNDATION DETAILS	SHOW ALL CONSTRUCTION DETAILS, MATERIALS USED, PROVIDE SPECIFICATIONS, WALL BRACING CALCULATIONS ETC.

(c) ALL PLANS AND SPECIFICATIONS ARE TO BE SUPPLIED IN DUPLICATE

(d) ALL PLANS MUST BE DRAWN TO METRIC SCALES AND SIGNED BY THE DESIGNER

(e) PENCIL SKETCHES WILL NOT BE ACCEPTED

(f) PLUMBING AND DRAINAGE APPLICATIONS SIGNED BY THE REGISTERED TRADESMAN MUST BE SUBMITTED WITH THE PLANS

(g) A CURRENT SEARCH COPY OF THE CERTIFICATE OF TITLE IS TO ACCOMPANY ALL APPLICATIONS FOR NEW BUILDINGS IN (b) ABOVE

**NOTE:** PROPERLY COMPLETED APPLICATIONS CAN BE PROCESSED PROMPTLY BY COUNCIL.

## 2: FEES.

A FEE DEPOSIT WILL BE TAKEN WITH THE SUBMISSION OF THE BUILDING PERMIT APPLICATION. THE BALANCE OF THE FEE IS PAYABLE UPON APPROVAL OF THE APPLICATION. A TAX INVOICE WILL BE SENT WITH DETAILS AT THIS TIME. NO CONSTRUCTION IS TO COMMENCE UNTIL THE BUILDING PERMIT IS UPLIFTED.

## 3. ALL BUILDING SITES.

(a) BOUNDARY PEGS TO BE LOCATED AND FLAGGED.

(b) SITES TO BE MARKED WITH EITHER OWNER'S OR BUILDER'S NAME BEFORE LODGING BUILDING PERMIT APPLICATION.

## 4. LOCATION SKETCH. (TO ENABLE INSPECTOR TO FIND PROPERTY)

PLEASE ILLUSTRATE IN SPACE PROVIDED ON PAGE 2, A BRIEF PLAN SHOWING LOCATION OF THE PROPERTY CONCERNED.

## 5. VEHICLE ENTRANCE WAYS OVER THE ROAD RESERVE.

ALL NEW VEHICLE ENTRANCES IN RESIDENTIAL ZONES MUST BE INSTALLED BY COUNCIL. THE FEE IS TO BE PAID BY THE APPLICANT WITH THE BUILDING PERMIT. AN APPLICATION FORM CAN BE OBTAINED FROM THE COUNCIL OFFICE. VEHICLE ENTRANCES IN ALL OTHER ZONES MUST BE APPROVED BY THE DISTRICT ENGINEER.

## 6. TOWN PLANNING.

THE APPLICANT SHOULD CONFIRM THAT ANY BUILDING PROPOSED IS IN ACCORDANCE WITH THE LAND USE PROVISIONS, AND BULK AND LOCATION CONTROLS CONTAINED IN THE COUNCIL'S OPERATIVE DISTRICT SCHEME.

## 7. ENGINEERING CALCULATIONS.

WHERE SPECIFIC DESIGN IS REQUIRED, COMPLETE DETAILS ARE TO BE SUBMITTED WITH THE BUILDING PERMIT AND THE PLANS SIGNED BY THE ENGINEER. A DESIGN CERTIFICATE IS TO BE SUBMITTED TO COVER ALL AREAS REQUIRING SPECIFIC DESIGN.

## 8. PLUMBING AND DRAINAGE.

(a) PLANS OF PROPOSED DRAINAGE LAYOUT MUST BE SUBMITTED WHEN NEW DRAINAGE IS REQUIRED TO SERVE A BUILDING. (SCALE 1:100)

(b) ALL WORK MUST BE CARRIED OUT BY A REGISTERED TRADESMAN

(c) IF A SEPTIC TANK IS TO BE INSTALLED THE SITE MUST BE INSPECTED BY THE PLUMBING AND DRAINAGE INSPECTOR.

(c) IT IS IMPORTANT THAT BUILDINGS SHOULD NOT BE OCCUPIED BEFORE COMPLETE PLUMBING AND DRAINAGE SYSTEMS HAVE BEEN INSTALLED AND APPROVED

APPLICATION RECEIVED ON:

TOWN PLANNING REQUIREMENTS: YES/NO

- (a) DISPENSATION REQUIRED: YES/NO  
(b) NON-NOTIFIED APPLICATION APPROVED.  
(c) NOTIFIED APPLICATION APPROVED.

DISTRICT SCHEME ZONING: Residential

APPLICATION APPROVED BY:

BUILDING INSPECTOR  
PLUMBING AND DRAINAGE INSPECTOR  
HEALTH INSPECTOR  
DESIGN ENGINEER  
PLANNING MANAGER

ACTIONED BY TECHNICAL CLERK

OFFICER	DATE
<i>[Signature]</i>	25-7-90
<i>[Signature]</i>	
<i>[Signature]</i>	
<i>[Signature]</i>	

<i>[Signature]</i>	1-8-90
<i>[Signature]</i>	
<i>[Signature]</i>	
<i>[Signature]</i>	2/8/90.

PERMIT ISSUED SUBJECT TO FOLLOWING CONDITIONS

*To be*

To comply with the endorsements in red on the plan.

DATE

COMMENTS BY OFFICER

# Building Application Form

TO THE BOROUGH BUILDING INSPECTOR

Date \_\_\_\_\_ 19\_\_

Sir,  
I hereby apply for permission to Erect Garage  
at Raven St for K W M C.  
(House No. and Street) (Owner)  
of above (Address)

according to Locality Plan and detailed Plans, Elevations, Cross Sections and Specifications of Building deposited herewith in duplicate.

Particulars of Land: Lot No. 6/7 394/86 DP.

R.S. No. \_\_\_\_\_

Length of Boundaries: \_\_\_\_\_ Area \_\_\_\_\_

Particulars of Building—

Foundations \_\_\_\_\_

Walls \_\_\_\_\_

Roof \_\_\_\_\_

Area of Ground Floor: \_\_\_\_\_ sq. Metres \_\_\_\_\_

Area of Outbuildings: \_\_\_\_\_ sq. Metres \_\_\_\_\_

\*Estimated Cost—

Building \_\_\_\_\_ \$ 5,000.

Sanitary Plumbing and Drainage \_\_\_\_\_ \$ \_\_\_\_\_  
(See Note).

Proposed purposes for which every part of the building is to be used or occupied (describing separately each part intended for use or occupation for a separate purpose) \_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

Proposed use or occupancy of other part of building \_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

Nature of ground on which building is to be placed and nature of the subjacent strata \_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

K W M C. Owner Yours faithfully, [Signature] Builder.

Postal Address \_\_\_\_\_

PLAN { Not Approved }  
Approved

Permit No. \_\_\_\_\_

[Signature] Inspector

Date 30-11- 1987

NOTE—Two copies of Plans and Specifications are to be lodged with application. One copy will be retained by Council.

Fences on street frontages not to be erected without prior inspection by Borough Inspector.

\*A separate application is required for Sanitary Plumbing and Drainage, although the estimated cost should be shown in the space provided above, this, however, is not included in the amount that the building fee is computed on.

Builders Please Note: Any damage caused to footpaths and culverts will be repaired by council staff and the cost of making such repairs be charged to the builder.

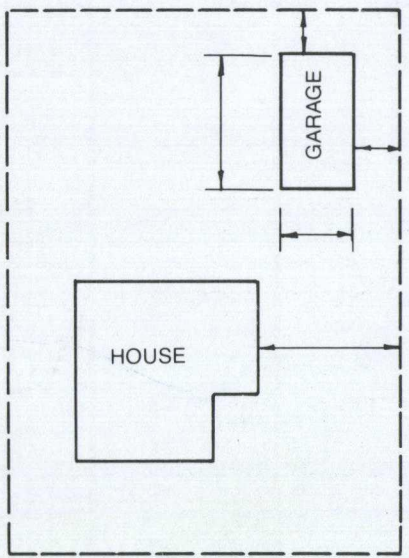
214611

**Kaiapoi Borough Council**

---

**Application for Building Permit**

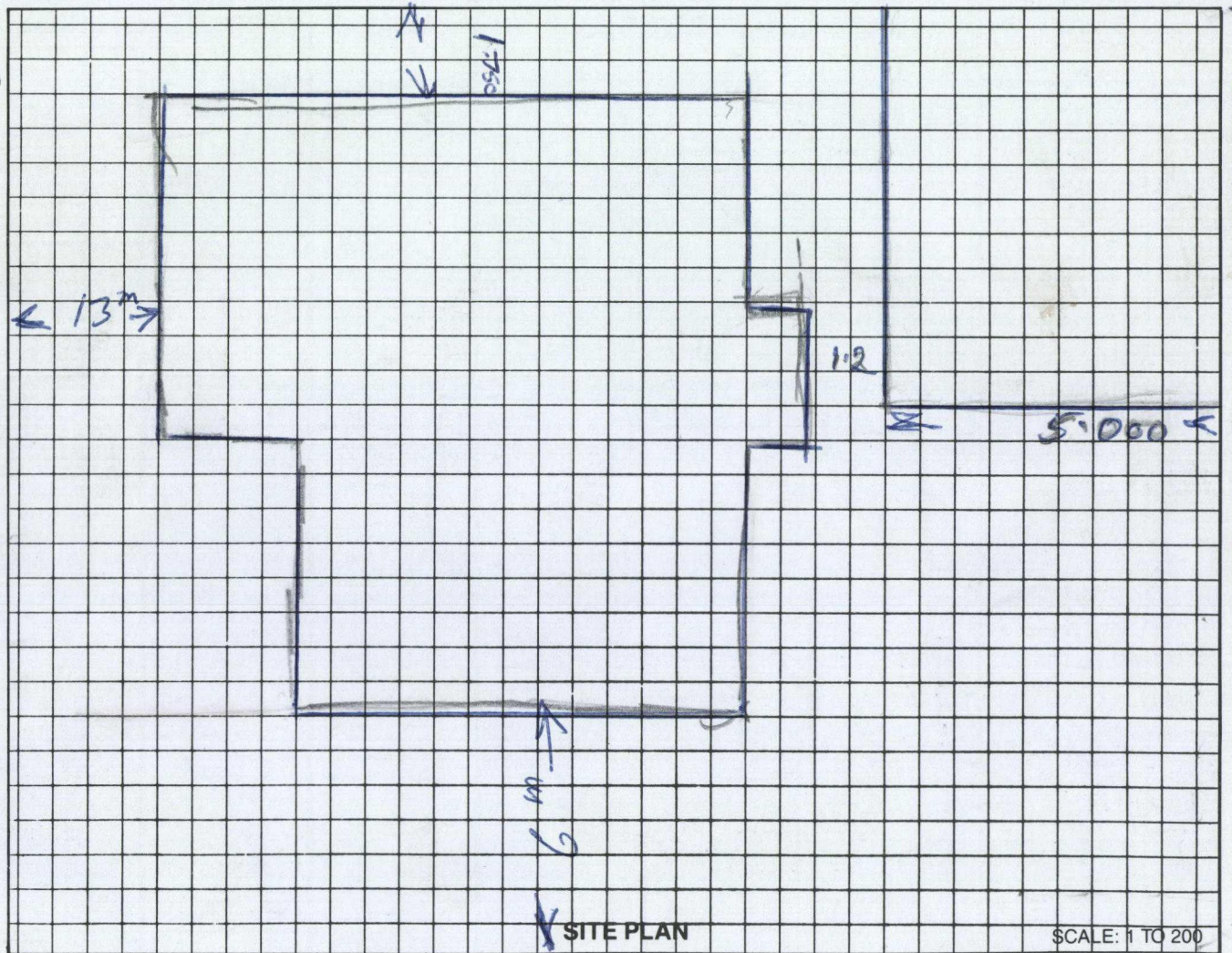
# SITE PLAN



LOCAL BODY BY-LAWS VARY FROM AREA TO AREA. YOU ARE THEREFORE ADVISED TO CONSULT YOUR LOCAL COUNCIL REGARDING THE SITING OF YOUR GARAGE AND STORMWATER DISPOSAL.

THIS TYPICAL SITE PLAN HAS BEEN DRAFTED AS A GUIDE TO THE DIMENSIONS REQUIRED BY MOST LOCAL BODIES.

THE DISTANCE BETWEEN THE PROPOSED GARAGE AND THE NEIGHBOURING DWELLING MUST ALSO BE SHOWN.



## Concrete Masonry Garages

MB 08

963 | F |  
April 1986



**24 HOURS NOTICE MUST BE GIVEN**  
Prior to pouring ANY concrete  
Prior to laying ANY floor  
Prior to fixing ANY wall or ceiling

## MASONRY bulletin

NEW ZEALAND CONCRETE MASONRY ASSOCIATION INC.  
PO Box 28245, Remuera, Auckland

ADDRESS: RAVEN STREET  
KAIAPOI

NAME: KAIAPOI WORKING MENS CLUB.

KAIAPOI BOROUGH COUNCIL  
LOT: COUNCIL  
APPROVED  
DATE 30.11.87

### SPECIFICATION

#### General

The garage shall be located as shown on the site plan and in accordance with local body permit requirements. These details are based on NZS 4229 Appendix F.

#### Foundation/Floor Slab

All vegetation and soft material shall be removed and the site levelled with compacted hard fill. When a separate perimeter foundation beam is used it shall be carried down to solid ground.

A vapour barrier, if required, shall be 0.25mm polythene or a multilayered sheet such as Moistop 747. All joints shall be sealed by overlapping and sealing with 50mm wide self-adhesive plastic tape.

Foundation beams shall be boxed accurately and securely to the dimensions shown on the plans, or shall be formed from concrete masonry on a concrete pad. Reinforcement shall be placed in accordance with the drawings, with laps being not less than 500mm. Starter bars for the masonry walls shall be accurately located and hooked under the lower beam reinforcing of the foundation.

When required by local body by-laws, the main body of the floor shall be reinforced with HRC665 mesh or with D10 bars laid in both directions and spaced at 300mm centres.

Concrete shall be 17.5 MPa strength with 80mm slump, thoroughly compacted, levelled, and suitably finished by floating and trowelling.

The concrete slab shall be kept moist for two days by continuous sprinkling or covering with polythene.

#### Concrete Masonry

Concrete Masonry units shall comply with NZS 3102. Masonry construction shall comply with NZS 4210, and in particular:

- mortar shall consist of one part of portland cement thoroughly mixed with 3-4 parts of building sand.
- grout infill to all cells containing reinforcing shall have a spread of 450-530mm and a strength of 17.5 MPa.
- all joints shall be adequately filled with mortar compacted by tooling after the initial set.

All bolts and anchorages necessary for fixing other materials shall be incorporated in the blockwork as shown on the drawings. Bolts for securing 50mm timber shall be 50mm spaced at approximately 1.0m centres.

#### Roof

The roof framing shall comprise timber trusses of approved manufacture. All timber shall be isolated from concrete or masonry by a bituminous damp proof course. Steel braces shall extend from the four corners of the building to meet the ridge line at the adjacent truss.

It is recommended that building paper be laid over wire netting or plastic tapes on the purlins. The roof shall be clad with suitable single length long-run roofing laid to the manufacturer's instructions.

#### Gable Ends

The gable end to the rear wall shall be framed in 75mm x 50mm timber. An approved timber truss shall be used over the main door opening. Both gable ends shall be clad in a sheet material such as fibre cement board.

#### Doors and Windows

The main door may be either a roller or tilting type. If a window and side door are required, they shall be selected at the design stage so that suitable openings, rebates, and reinforced steel can be incorporated in the blockwork as shown. Only one window and door is permitted in any one wall.

#### Painting

All timber exposed to the weather shall be painted with a primer followed by one undercoat and one top coat, or by two coats of acrylic type paint.

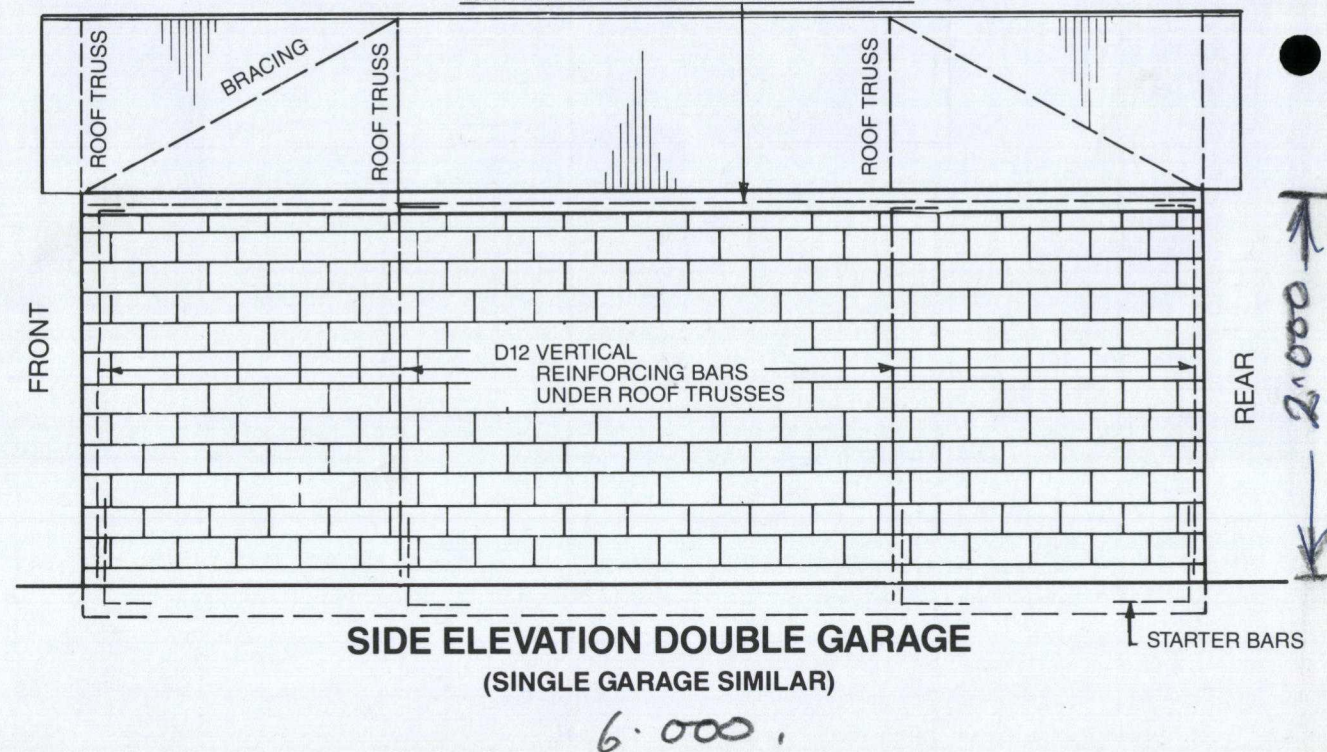
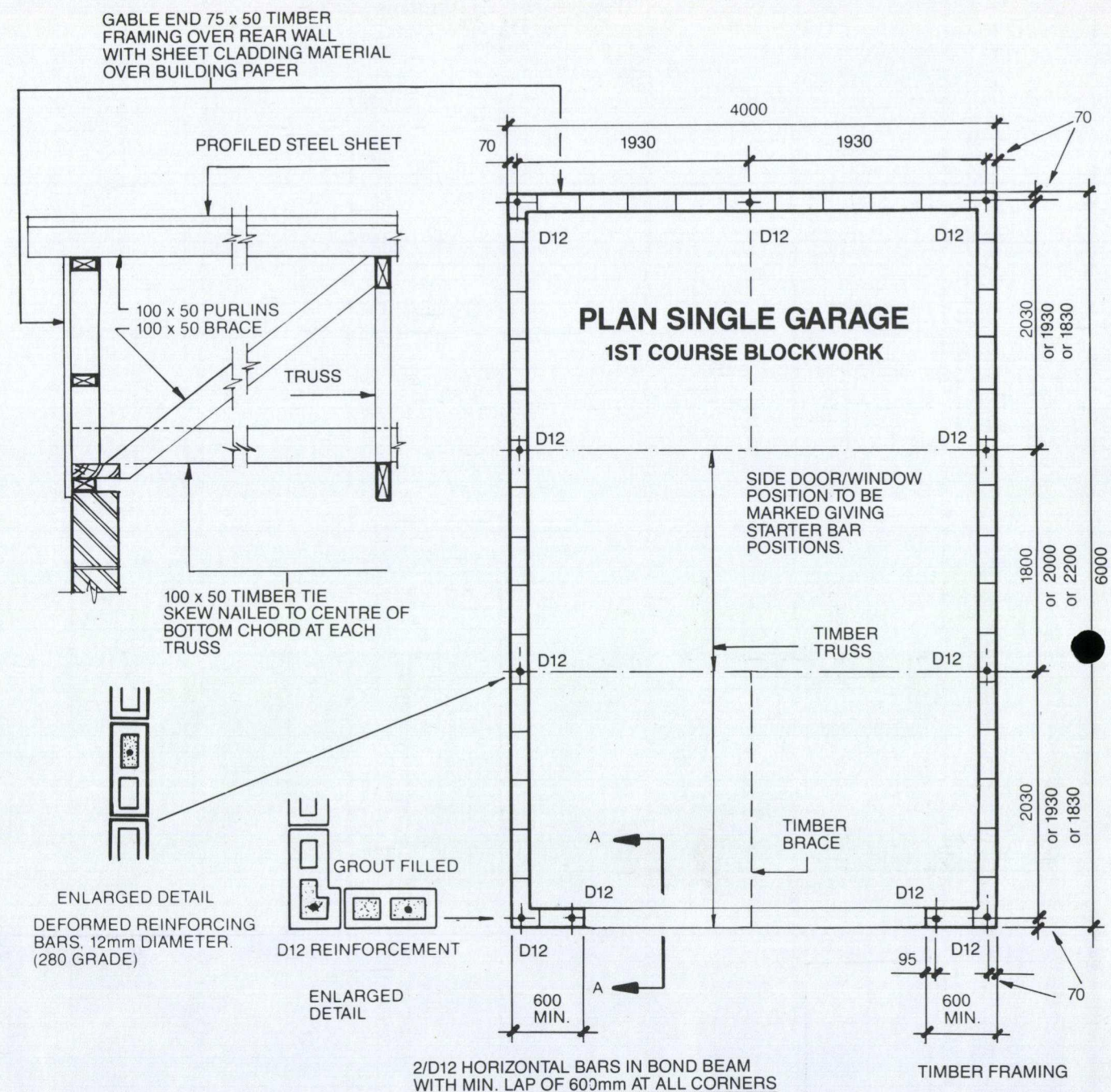
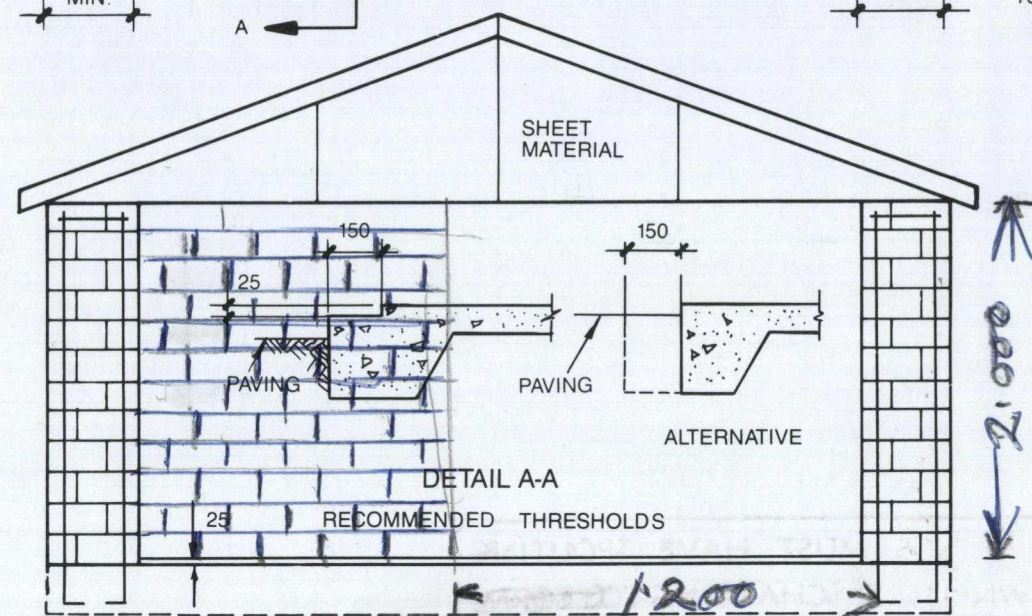
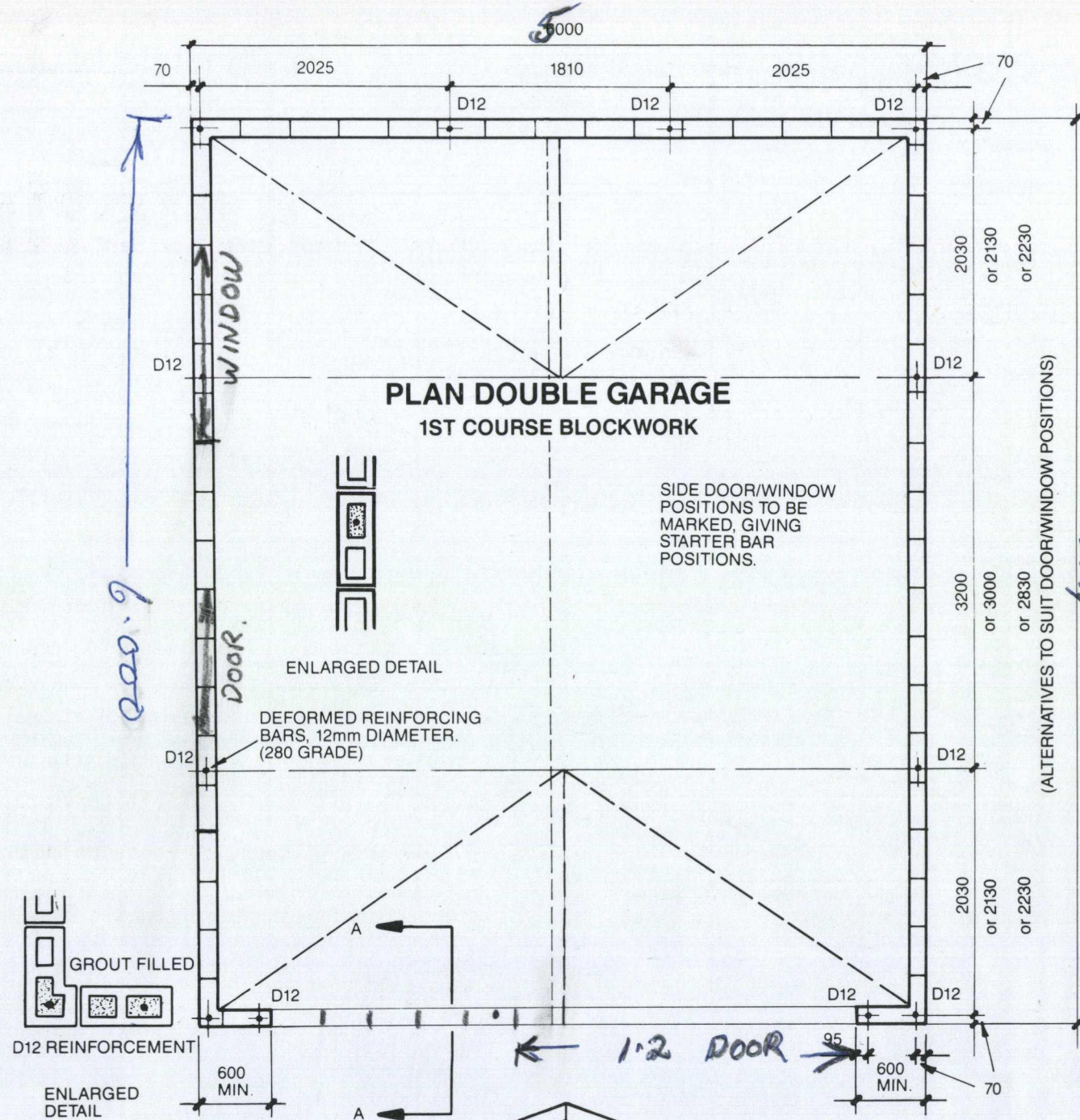
Where paint is to be applied to the masonry, it is recommended a sand-filled acrylic be used.

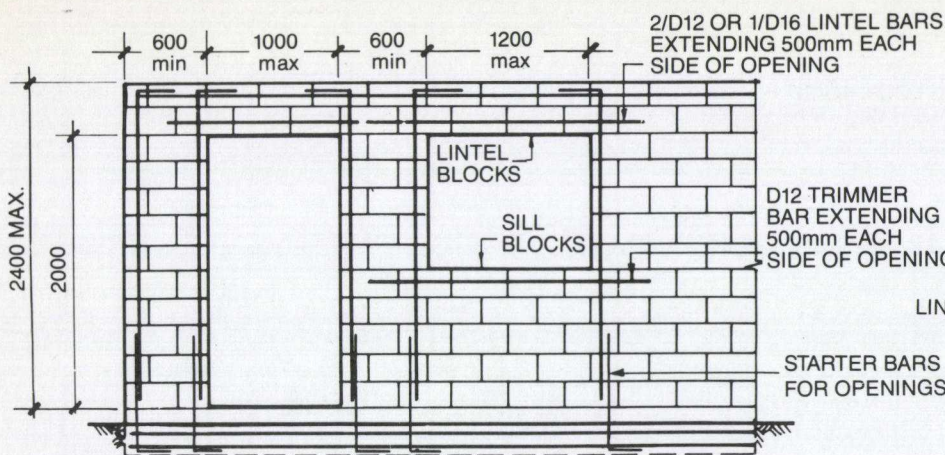
Further information on masonry construction is available from the New Zealand Concrete Research Association, Private Bag, Porirua.

**ALL BUILDINGS MUST HAVE SPOUTING AND DOWNPIPES DISCHARGING TO STORM WATER DRAINS, WHICH MUST DISCHARGE TO THE STREET CHANNEL.**

The information in this bulletin was prepared by the New Zealand Concrete Research Association as part of the concrete masonry technical development programme in conjunction with the New Zealand Concrete Masonry Association.

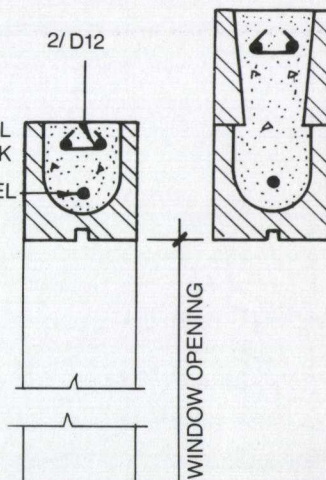
While this information is provided in good faith no legal responsibility of any nature is accepted by either Association for its accuracy or suitability for a particular project.





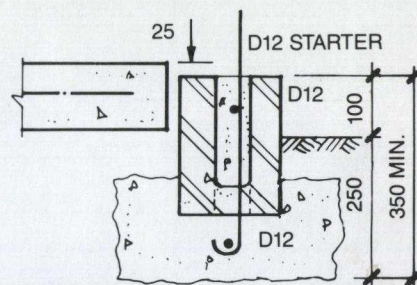
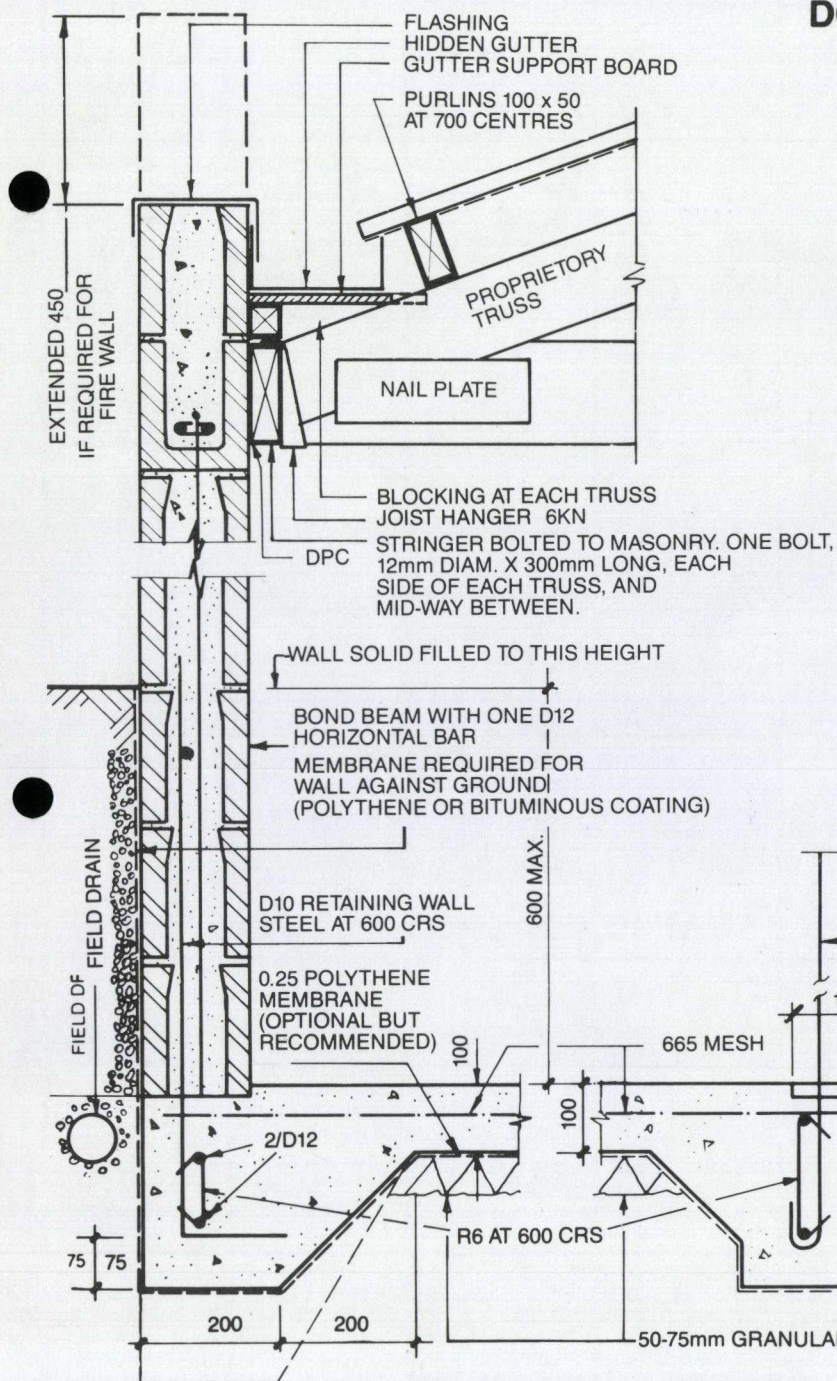
### DOOR/WINDOW REINFORCEMENT AND SETTING OUT

NOTE: OPENINGS SHALL NOT BE LOCATED UNDER TRUSS POSITIONS.



### DOOR OR WINDOW OPENINGS

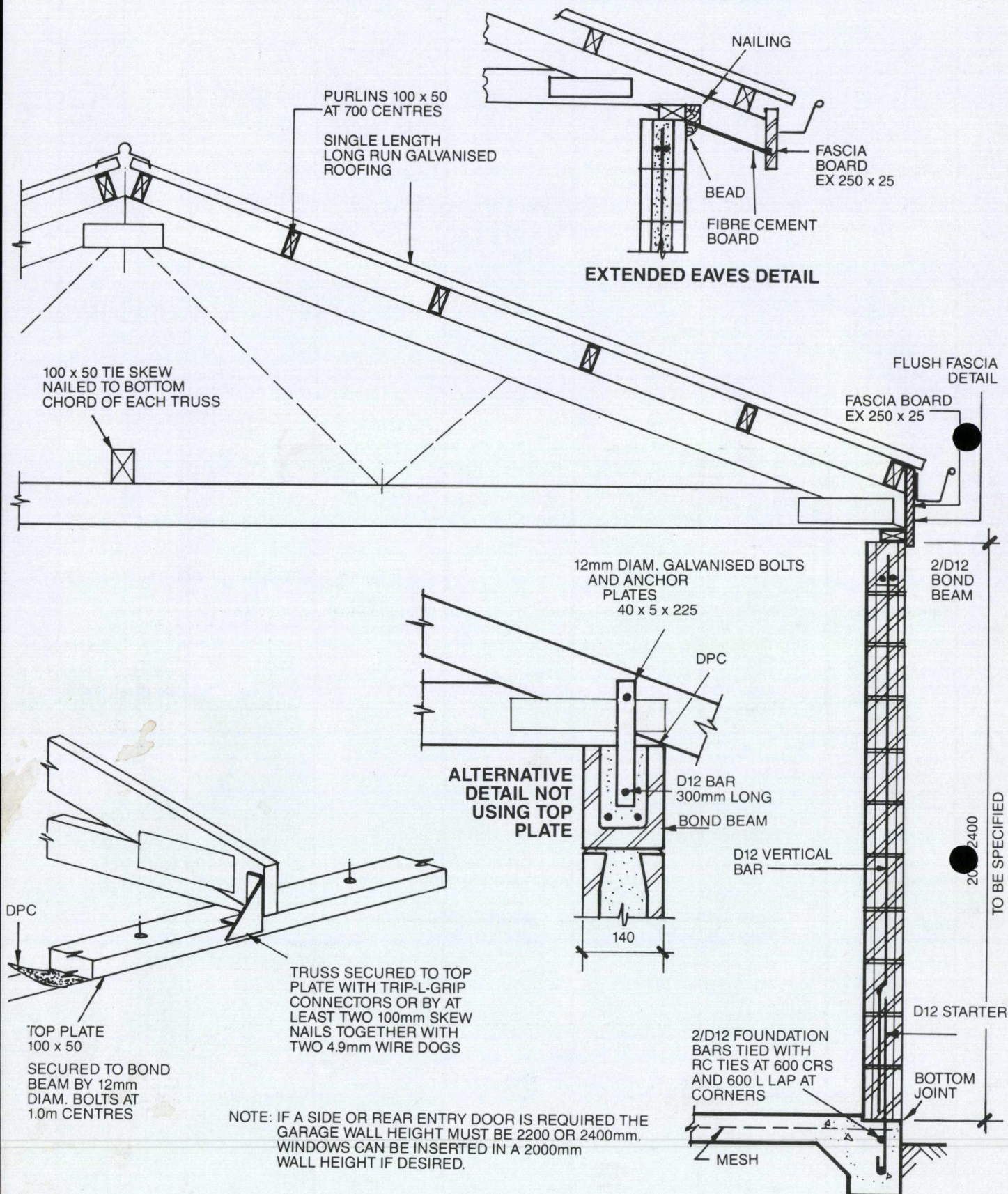
#### CROSS SECTION THROUGH WINDOW



#### ALTERNATIVE FOOTING USING 15.16 BEAM BLOCK

### FOUNDATION DETAILS

**MATERIALS:** YOUR LOCAL MASONRY MANUFACTURER WILL ADVISE YOU ON THE QUANTITIES, BLOCK TYPES, REINFORCING STEEL, AND OTHER MATERIALS.



# Building Application Form

TO THE BOROUGH BUILDING INSPECTOR

Date \_\_\_\_\_ 19\_\_

Sir,  
I hereby apply for permission to Add to Working Plans slab.  
at Riverside for KWRC.  
(House No. and Street) (Owner)  
of above (Address)

according to Locality Plan and detailed Plans, Elevations, Cross Sections and Specifications of Building deposited herewith in duplicate.

Particulars of Land: Lot No. \_\_\_\_\_ D.P. \_\_\_\_\_  
R.S. No. \_\_\_\_\_

Length of Boundaries: \_\_\_\_\_ Area \_\_\_\_\_

**Particulars of Building—**

Foundations \_\_\_\_\_

Walls \_\_\_\_\_

Roof \_\_\_\_\_

Area of Ground Floor: \_\_\_\_\_ sq. Metres \_\_\_\_\_

Area of Outbuildings: \_\_\_\_\_ sq. Metres \_\_\_\_\_

**\*Estimated Cost—**

Building \_\_\_\_\_ \$ 797,000

Sanitary Plumbing and Drainage \_\_\_\_\_ \$ 5,600.  
(See Note).

Proposed purposes for which every part of the building is to be used or occupied (describing separately each part intended for use or occupation for a separate purpose) \_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

Proposed use or occupancy of other part of building \_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

Nature of ground on which building is to be placed and nature of the subjacent strata \_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

Yours faithfully

\_\_\_\_\_  
Owner John A. Scott Builder.

Postal Address \_\_\_\_\_  
66 985.  
694 264.

PLAN { Not Approved } \_\_\_\_\_  
          { Approved } \_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

Permit No. \_\_\_\_\_ Inspector \_\_\_\_\_

Date \_\_\_\_\_ 19\_\_

NOTE—Two copies of Plans and Specifications are to be lodged with application. One copy will be retained by Council.

Fences on street frontages not to be erected without prior inspection by Borough Inspector.

\*A separate application is required for Sanitary Plumbing and Drainage, although the estimated cost should be shown in the space provided above, this, however, is not included in the amount that the building fee is computed on.

Builders Please Note: Any damage caused to footpaths and culverts will be repaired by council staff and the cost of making such repairs be charged to the builder.

212611

**Kaiapoi Borough Council**

---

**Application for Building Permit**

# WAIMAKARIRI DISTRICT COUNCIL

215 HIGH ST, RANGIORA  
PRIVATE BAG, RANGIORA

RANGIORA PHONE (0502) 36-136, 38-024  
FAX (0502) 34-432

Service Centres: 176 Williams St, Kaiapoi. Phone (0327)8039, Fax (0327)8752  
34 Main St, Oxford. Phone (0502) 24-014, Fax (0502) 24-833

## BUILDING PERMIT APPLICATION

IMPORTANT: PLEASE READ INSTRUCTIONS ON PAGE 3 AND COMPLETE THE FOLLOWING INFORMATION. PLEASE PRINT IN BLOCK LETTERS.

### OWNER

(Note: Permit will be posted to owner)

Name KAIAPOI WORKING MEN'S

Mailing Address CLUB  
RAVEN ST.

Phone No. Pvt

Bus

### BUILDER

Name Graeme Lawson

Mailing Address 76 Whitefield St  
Kaiapoi

Phone No. Pvt

Bus Kai 7449

### SITE INFORMATION

Street No.

Road or  
Street Name

Raven St.

Locality

Kaiapoi

### LEGAL DESCRIPTION OF SITE

Valuation Roll No. 21761 765 + 800

Lot

D.P.

Rural

Survey

Section

District

Area of  
Site

Hectares  
Sq Metres

### DESCRIPTION OF PROPOSED WORK AND INTENDED USE

Extension to Billiard Room

### FLOOR AREA OF PROPOSED WORK

Sq. Metres

80

VALUE OF WORK:

Building

8000 00

CONTRACT PRICE

Plumbing

(AT CURRENT MARKET RATES)

Drainage

TOTAL \$ 8000 00

### NATURE OF PERMIT (TICK BOX)

- ☐ NEW BUILDING  
— exclude domestic garages & domestic outbuildings
- ☐ FOUNDATIONS ONLY
- ☐ ANY BUILDINGS ALTERED, REPAIRED  
EXTENDED, CONVERTED, RESITED.
- ☐ NEW CONSTRUCTION  
OTHER THAN BUILDINGS — include demolitions
- ☐ NEW DOMESTIC GARAGES  
& DOMESTIC OUTBUILDINGS.

### NATURE OF GROUND AND SUBSOIL ON WHICH BUILDING IS LOCATED

### APPLICANT

Name

G E Lawson

Address

76 Whitefield St Kaiapoi

Phone

Kai 7449

Role of  
Applicant

Builder

SIGNATURE

G E Lawson

### PERMIT FEES

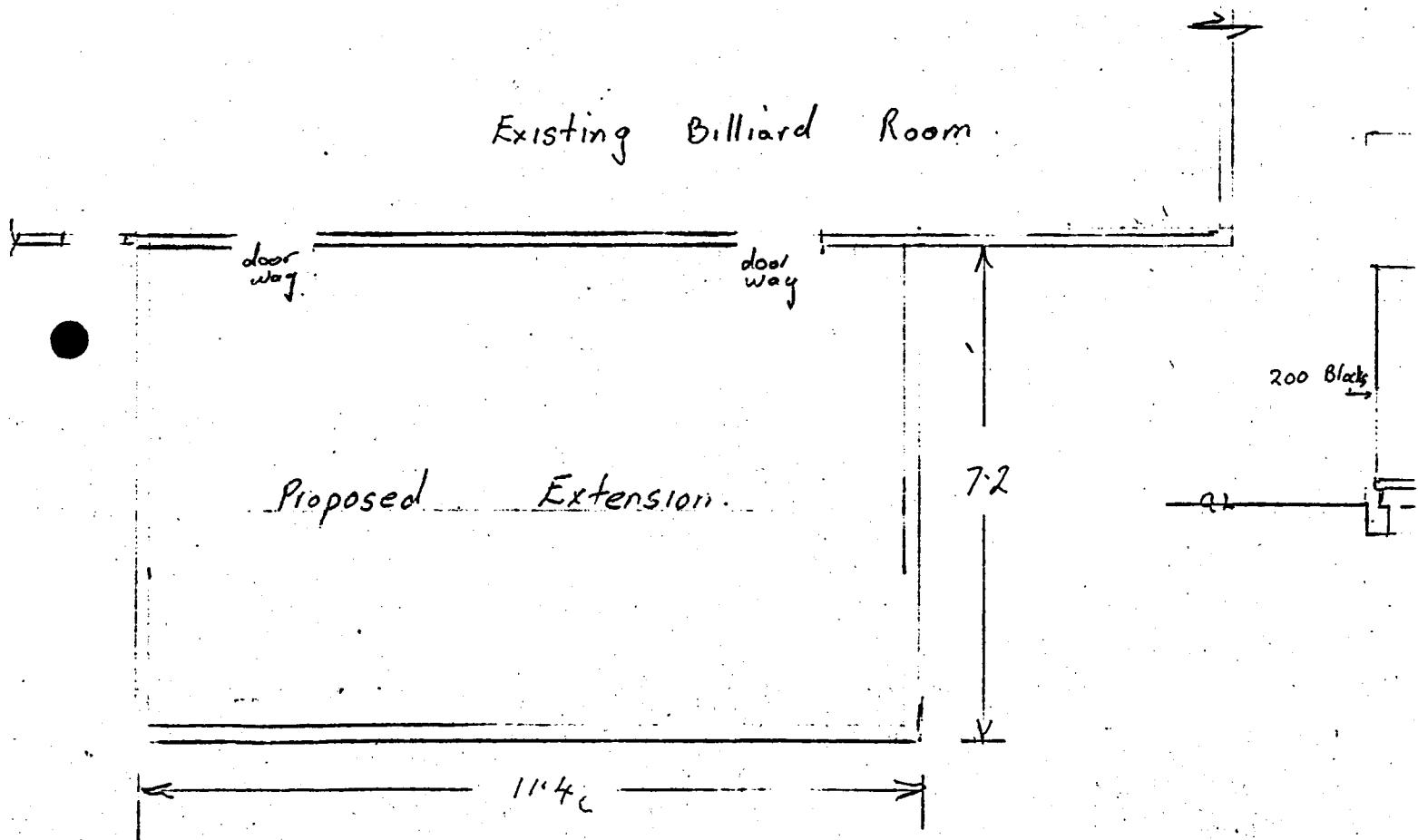
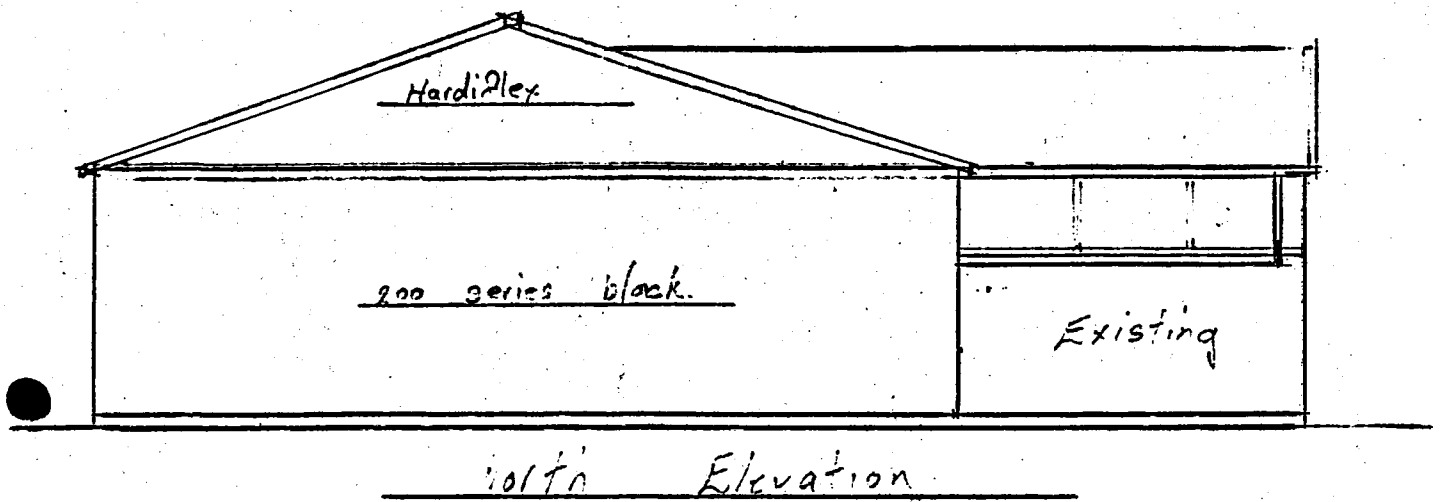
### FOR OFFICE USE ONLY

WORK	FEE	INVOICE No.	RECEIPT No.	PERMIT No.
BUILDING	<u>70-80</u>	<u>586</u>		<u>HO44477</u>
PLUMBING				
DRAINAGE				
BUILDING RESEARCH LEVY				
VEHICLE CROSSING				
WATER CONNECTION				
OTHER (SPECIFY)				
DEPOSIT				
TOTAL PAYABLE	\$ <u>70-80</u>			

## **LOCALITY MAP SHOWING LOCATION OF PROPERTY:**

(ie. DIRECTIONS TO PROPERTY ON WHICH BUILDING WORKS ARE BEING CARRIED OUT)

**THIS IS NOT ACCEPTED AS A SITE PLAN:**



Proposed Extensions Kaiapo Working Mens  
Raven Street.

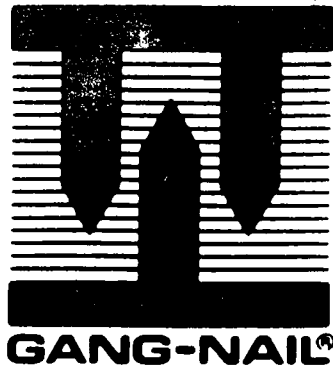
# SUTHERLAND & Co. LTD.

*Sawmillers*

OHOKA ROAD, KAIAPOI, PHONE 8829 & 7828  
P.O. BOX 150, KAIAPOI

JOB REF 245

DES REF DATATRUS  
II



\*\*\* SUTHERLAND TIMBER COMPANY LTD \*\*\*

V2.20

JOB NO. : 245 DATE : 09MAY90

PAGE : 1

CLIENT : XXXXXX

SITE ADDRESS : KAIAPOI WORKING MENS CLUB,  
KAIAPOI

\*\*\*\*\*

# JOB DESIGN PARAMETERS

Pitch .....	18.00 deg.	Truss Centres .....	900 mm
Roof Cladding .....	Light	TC/BC Restraint Crs ...	1200/1200 mm
Dead Load on TC .....	.25 kPa	Dead Load on BC .....	.20 kPa
Snow Load on TC .....	.48 kPa	(Zone 4, Altitude 100 m)	
Wind Area .....	Medium	(q= .54 kPa, Cpe= -.9, Cpi= -.3)	

-----

# TRUSS SCHEDULE

Mark	No. Off	Span	Truss
T1	8 Off	11400	R8
GE1	1 Off	11400	GE
SS1	1 Off	11400	ST

The above trusses are manufactured by SUTHERLAND TIMBER COMPANY LTD - KAIAPOI, a licenced GANG-NAIL truss fabricator, registered plant code J10.

These trusses have been designed under licence using the DATATRUSS II program.



**CONSULTING**  
Civil & Structural  
Engineer

Heywards Rd., Kalapoi R.D.2. Ph. (03) 278062  
P.O.Box 3268 Christchurch.

201

4 MAY 1990

MR. G. LAWSON,  
C/- K.W.M.C.,  
RAVEN STREET,  
KAIAPOI.

DEAR SIR, RE: K.W.M.C. BILLIARD ROOM  
EXTENSION.

FURTHER TO YOUR RECENT REQUEST, I ENCLOSE  
A COPIES OF MY DRAWING 201/01 DETAILING  
MY RECOMMENDED DESIGN FOR CONCRETE BLOCK  
WALLS AND FOUNDATIONS TO ABOVE EXTENSION  
(AS SHOWN ON PLAN PREPARED BY YOU.)

THESE DETAILS SHOULD BE SELF EXPLANATORY  
BUT PLEASE ADVISE IF YOU HAVE ANY QUERIES.

I TRUST THIS IS SATISFACTORY FOR YOUR  
PURPOSE.

YOURS FAITHFULLY,

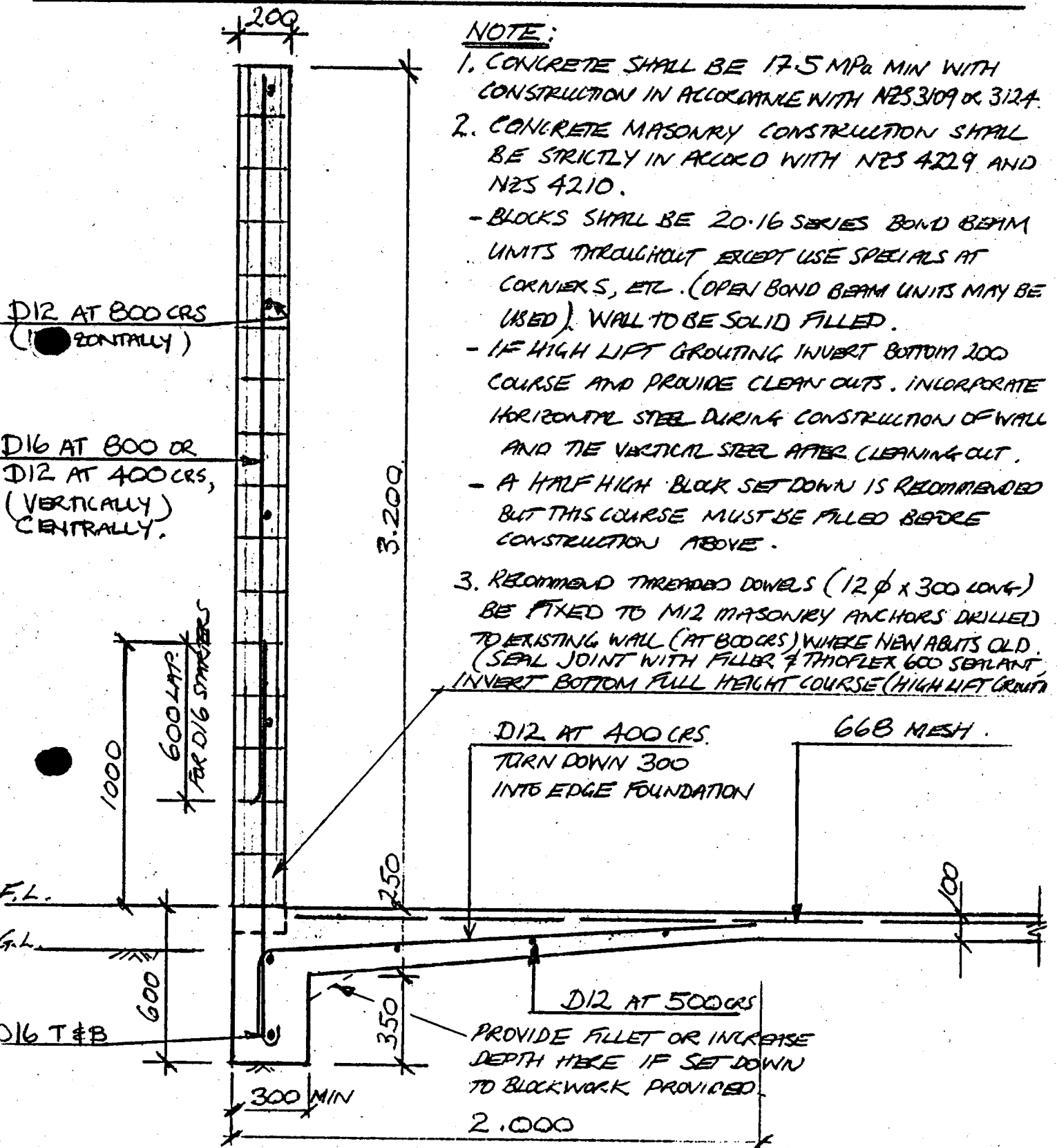
Brian Spence

enclosure: - Drawing 201/01  
- Returned plan provided..



**ELS CONSULTING**  
Civil & Structural  
Engineer

Heywards Rd., Kaiapoi R.D.2. Ph. (03) 278062  
P.O.Box 3268 Christchurch.



1:20

EXTENSIONS TO BILLIARD ROOM  
KAIAPOI WORKING MENS CLUB  
TYPICAL BLOCKWALL & FOUNDATION SECTION

B.L.S  
MAY 1990

201/01

Iron on building paper

5x50 purlins  
750  $\phi$

Truss + 900  $\phi$

150x40  
bolted to  
blocks

2.

Tiles

50x40 battens + 400  $\phi$

AT 800 CRS  
HORIZONTALLY)

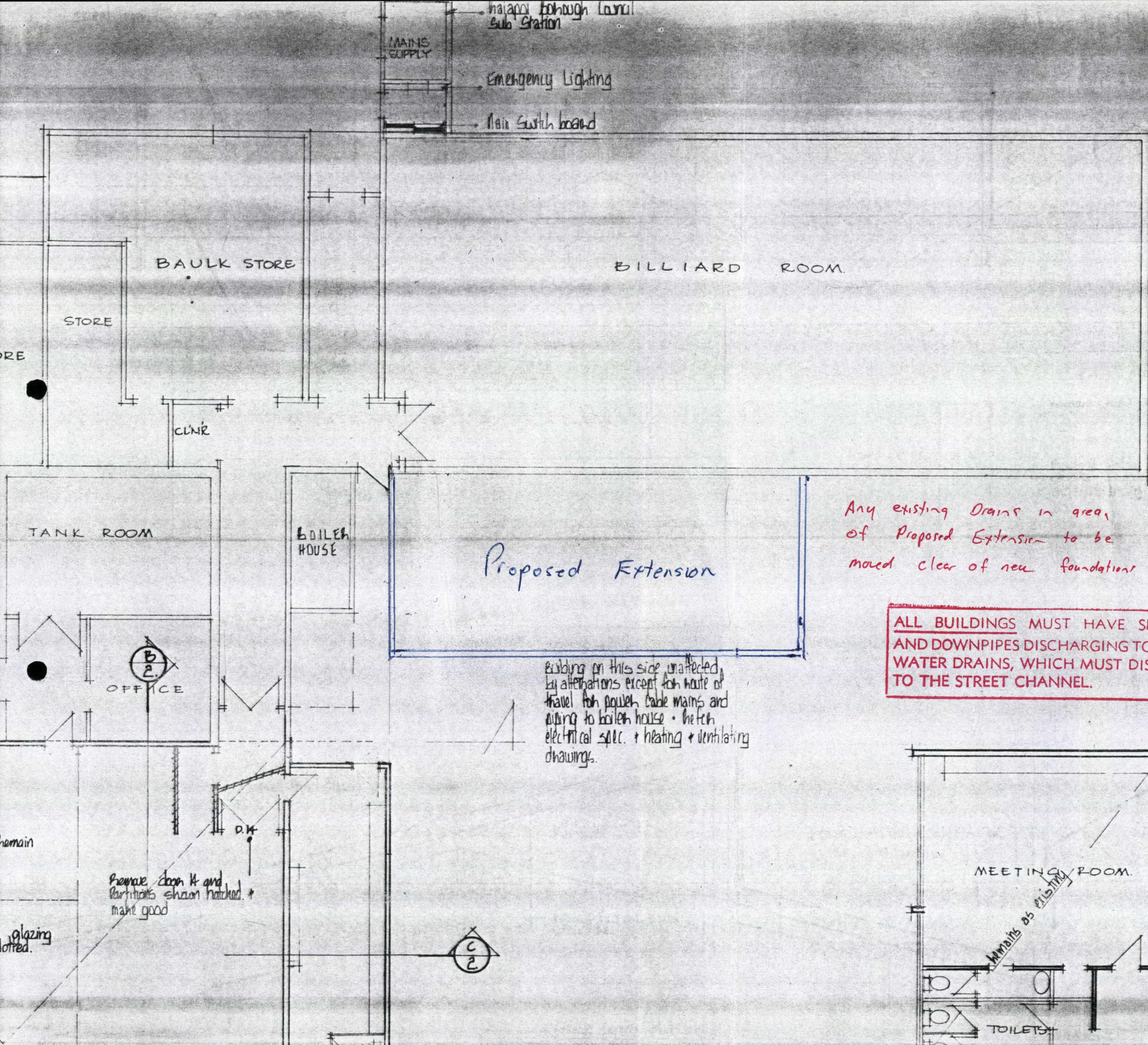
AT 800 OR  
AT 400 CRS,  
VERTICALLY)  
HORIZONTALLY.

3.200

1000

600 LAP  
FOR D/G STUDS

250



**WAIKAKARIRI DISTRICT COUNCIL**

**24 HOURS NOTICE MUST BE GIVEN**

Prior to pouring ANY concrete  
Prior to laying ANY Floor  
Prior to fixing ANY wall or ceiling lining  
On completion of the Building  
provision must be made to allow  
the building Inspector access.

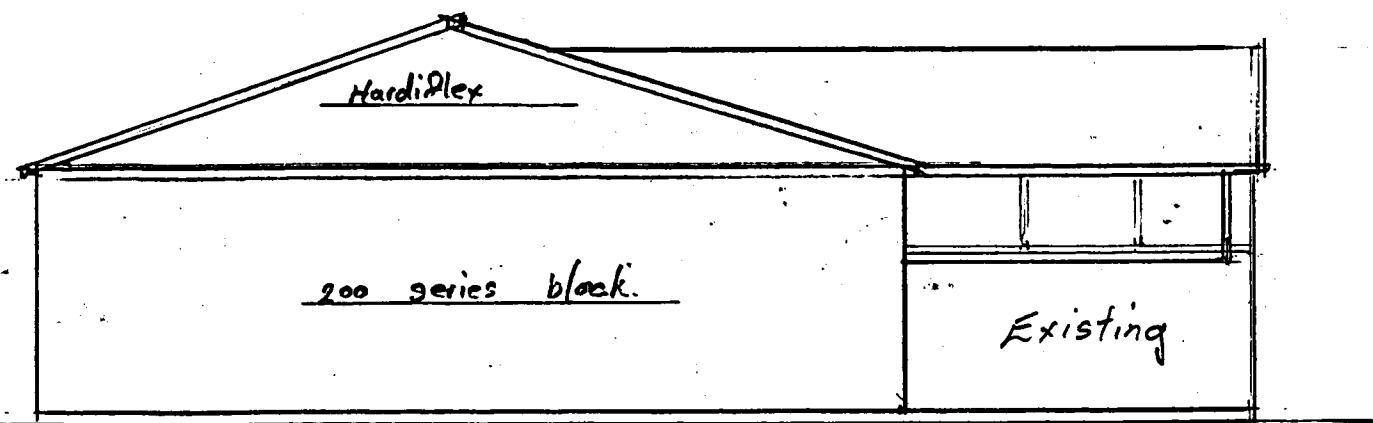
All construction work and materials  
used must comply with the require-  
ments of New Zealand Standard Code  
of Building By-Laws No. 1900.

To comply with the endorsements in red on the plan.

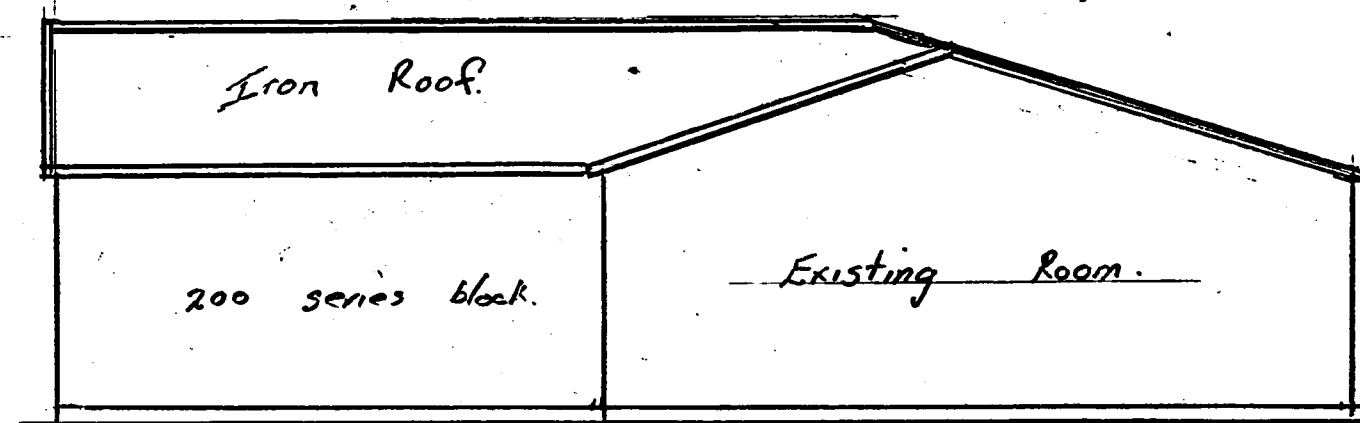
*JS 12-6-90*

Any existing Drains in area,  
of Proposed Extension to be  
moved clear of new foundations

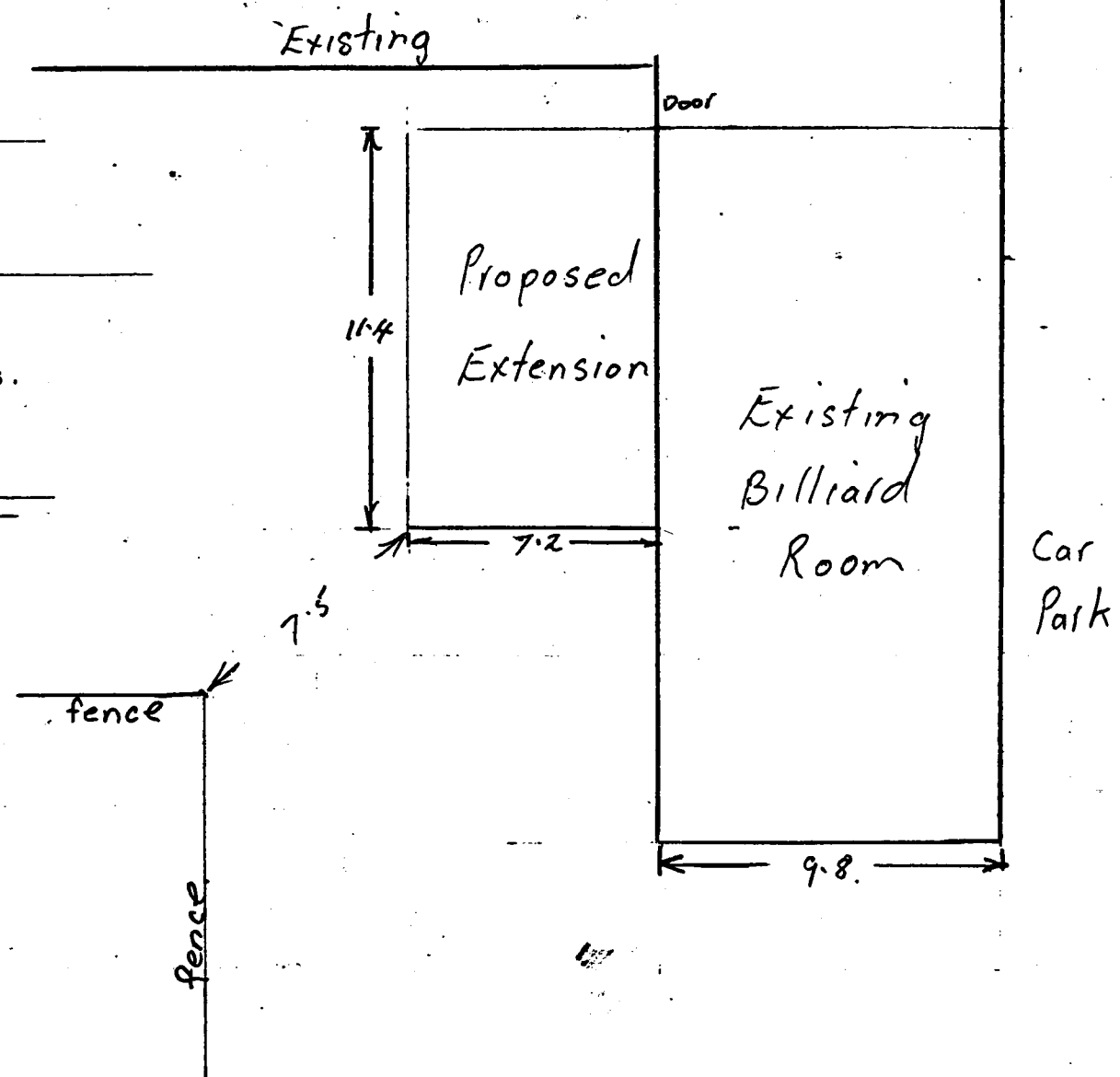
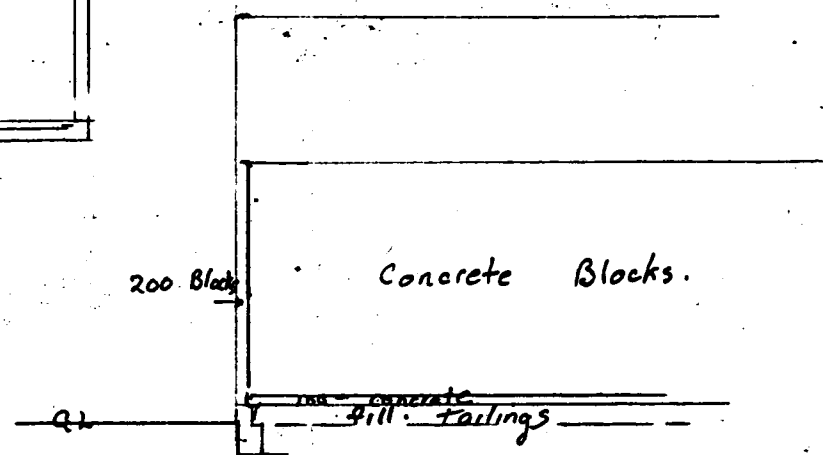
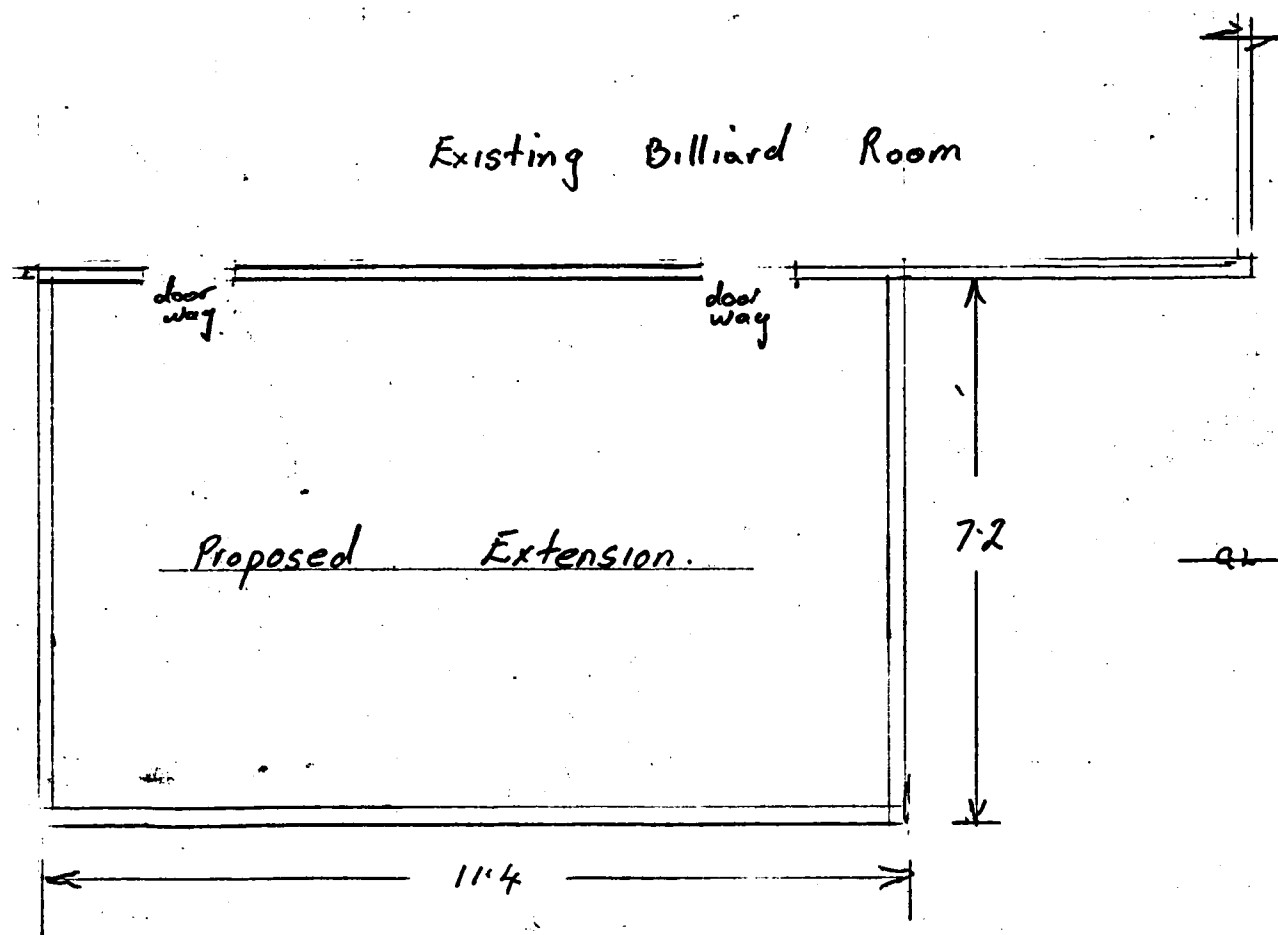
**ALL BUILDINGS MUST HAVE SPOUTING  
AND DOWNPIPES DISCHARGING TO STORM-  
WATER DRAINS, WHICH MUST DISCHARGE  
TO THE STREET CHANNEL.**



North Elevation



West Elevation



Proposed Extensions Kaiapo Working Mens Club.  
Raven Street.

Scale 1-100 and 1-200.

# INSTRUCTIONS FOR OBTAINING A BUILDING PERMIT.

## 1. PLANS TO BE SUPPLIED ARE AS FOLLOWS:

TYPE OF BUILDING	TYPE OF PLANS	INFORMATION
(a) SHEDS—DECKS GARAGES CARPORTS ADDITIONS FARM BUILDINGS, ETC	FLOOR PLAN TWO ELEVATIONS CROSS SECTION SITE PLAN	SHOW EXISTING BUILDINGS, CONSTRUCTION DETAILS AND ALL MATERIALS USED
(b) DWELLINGS INDUSTRIAL BUILDINGS COMMERCIAL BUILDINGS	FLOOR PLAN/S FOUR ELEVATIONS CROSS SECTIONS SITE AND DRAINAGE PLAN FOUNDATION DETAILS	SHOW ALL CONSTRUCTION DETAILS, MATERIALS USED, PROVIDE SPECIFICATIONS, WALL BRACING CALCULATIONS ETC.

(c) ALL PLANS AND SPECIFICATIONS ARE TO BE SUPPLIED IN DUPLICATE

(d) ALL PLANS MUST BE DRAWN TO METRIC SCALES AND SIGNED BY THE DESIGNER

(e) PENCIL SKETCHES WILL NOT BE ACCEPTED

(f) PLUMBING AND DRAINAGE APPLICATIONS SIGNED BY THE REGISTERED TRADESMAN MUST BE SUBMITTED WITH THE PLANS

(g) A CURRENT SEARCH COPY OF THE CERTIFICATE OF TITLE IS TO ACCOMPANY ALL APPLICATIONS FOR NEW BUILDINGS IN (b) ABOVE

**NOTE:** PROPERLY COMPLETED APPLICATIONS CAN BE PROCESSED PROMPTLY BY COUNCIL.

## 2. FEES.

A **FEE DEPOSIT** WILL BE TAKEN WITH THE SUBMISSION OF THE BUILDING PERMIT APPLICATION. THE **BALANCE OF THE FEE** IS PAYABLE UPON APPROVAL OF THE APPLICATION. A TAX INVOICE WILL BE SENT WITH DETAILS AT THIS TIME. **NO CONSTRUCTION IS TO COMMENCE UNTIL THE BUILDING PERMIT IS UPLIFTED.**

## 3. ALL BUILDING SITES.

(a) BOUNDARY PEGS TO BE LOCATED AND FLAGGED.

(b) SITES TO BE MARKED WITH EITHER OWNER'S OR BUILDER'S NAME BEFORE LODGING BUILDING PERMIT APPLICATION.

## 4. LOCATION SKETCH. (TO ENABLE INSPECTOR TO FIND PROPERTY)

PLEASE ILLUSTRATE IN SPACE PROVIDED ON PAGE 2, A BRIEF PLAN SHOWING LOCATION OF THE PROPERTY CONCERNED.

## 5. VEHICLE ENTRANCE WAYS OVER THE ROAD RESERVE.

ALL NEW VEHICLE ENTRANCES IN RESIDENTIAL ZONES MUST BE INSTALLED BY COUNCIL. THE **FEE** IS TO BE PAID BY THE APPLICANT WITH THE BUILDING PERMIT. AN APPLICATION FORM CAN BE OBTAINED FROM THE COUNCIL OFFICE. VEHICLE ENTRANCES IN ALL OTHER ZONES MUST BE APPROVED BY THE DISTRICT ENGINEER.

## 6. TOWN PLANNING.

THE APPLICANT SHOULD CONFIRM THAT ANY BUILDING PROPOSED IS IN ACCORDANCE WITH THE LAND USE PROVISIONS, AND BULK AND LOCATION CONTROLS CONTAINED IN THE COUNCIL'S OPERATIVE DISTRICT SCHEME.

## 7. ENGINEERING CALCULATIONS.

WHERE SPECIFIC DESIGN IS REQUIRED, COMPLETE DETAILS ARE TO BE SUBMITTED WITH THE BUILDING PERMIT AND THE PLANS SIGNED BY THE ENGINEER. A **DESIGN CERTIFICATE** IS TO BE SUBMITTED TO COVER ALL AREAS REQUIRING SPECIFIC DESIGN.

## 8. PLUMBING AND DRAINAGE.

(a) PLANS OF PROPOSED DRAINAGE LAYOUT MUST BE SUBMITTED WHEN NEW DRAINAGE IS REQUIRED TO SERVE A BUILDING. (SCALE 1:100)

(b) ALL WORK MUST BE CARRIED OUT BY A REGISTERED TRADESMAN

(c) IF A SEPTIC TANK IS TO BE INSTALLED THE SITE MUST BE INSPECTED BY THE PLUMBING AND DRAINAGE INSPECTOR.

(c) IT IS IMPORTANT THAT **BUILDINGS SHOULD NOT BE OCCUPIED BEFORE COMPLETE PLUMBING AND DRAINAGE SYSTEMS HAVE BEEN INSTALLED AND APPROVED**

APPLICATION RECEIVED ON:

TOWN PLANNING REQUIREMENTS: YES/NO

(a) DISPENSATION REQUIRED: YES/NO

(b) NON-NOTIFIED APPLICATION APPROVED.

(c) NOTIFIED APPLICATION APPROVED.

DISTRICT SCHEME ZONING: Residential

APPLICATION APPROVED BY:

BUILDING INSPECTOR

PLUMBING AND DRAINAGE INSPECTOR

HEALTH INSPECTOR

DESIGN ENGINEER

PLANNING MANAGER

ACTIONED BY TECHNICAL CLERK

OFFICER

DATE

*Mr. Gade*

10-5-90

*[Signature]*

*[Signature]*  
*[Signature]*

12-6-90

12-6-90

PERMIT ISSUED SUBJECT TO FOLLOWING CONDITIONS

*To comply with the endorsements in red on the plan.*

DATE

COMMENTS BY OFFICER

Assessment No. 907Kaiapoi Borough Council21761/795/08Application for a Permit to Build

~~WE~~ the undersigned O'Connor & Jones  
hereby make application for a PERMIT to erect, add to, or alter, a building as described below, and  
in accordance with plans and specifications forwarded herewith.

NOTE.—Plans (including locality plan) and specifications must be submitted in ink.

## DESCRIPTION OF BUILDING :

Walls Concrete Partitions                       
Roof Iron Foundations Concrete  
No. of Floors One No. of Rooms One  
Purpose for which to be used Coal shed

## DESCRIPTION OF LAND on which the above building is to be erected :

Lot                                      D.P.                                       
R.S.                                      Area                                       
Frontage                                      Street                                     

Distance from Nearest Building                                     

NAME OF OWNER KAIAPOI WORKING MENS CLUB

Address RAVEN ST KAIAPOI

NAME OF BUILDER O'Connor & Jones

Address 11 Akaroa St Kaiapoi

And I solemnly declare that the value of the above building will not be more than £180

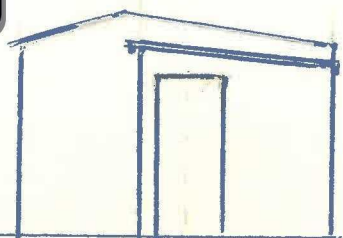
Signature of Applicant O'Connor & Jones for M.H. Jones

Amount of FEE enclosed £ 1 259/10

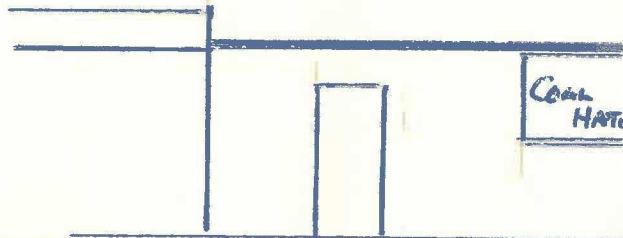
Approved A. E. E. Date 23/4/1957

\_\_\_\_\_  
Town Clerk.

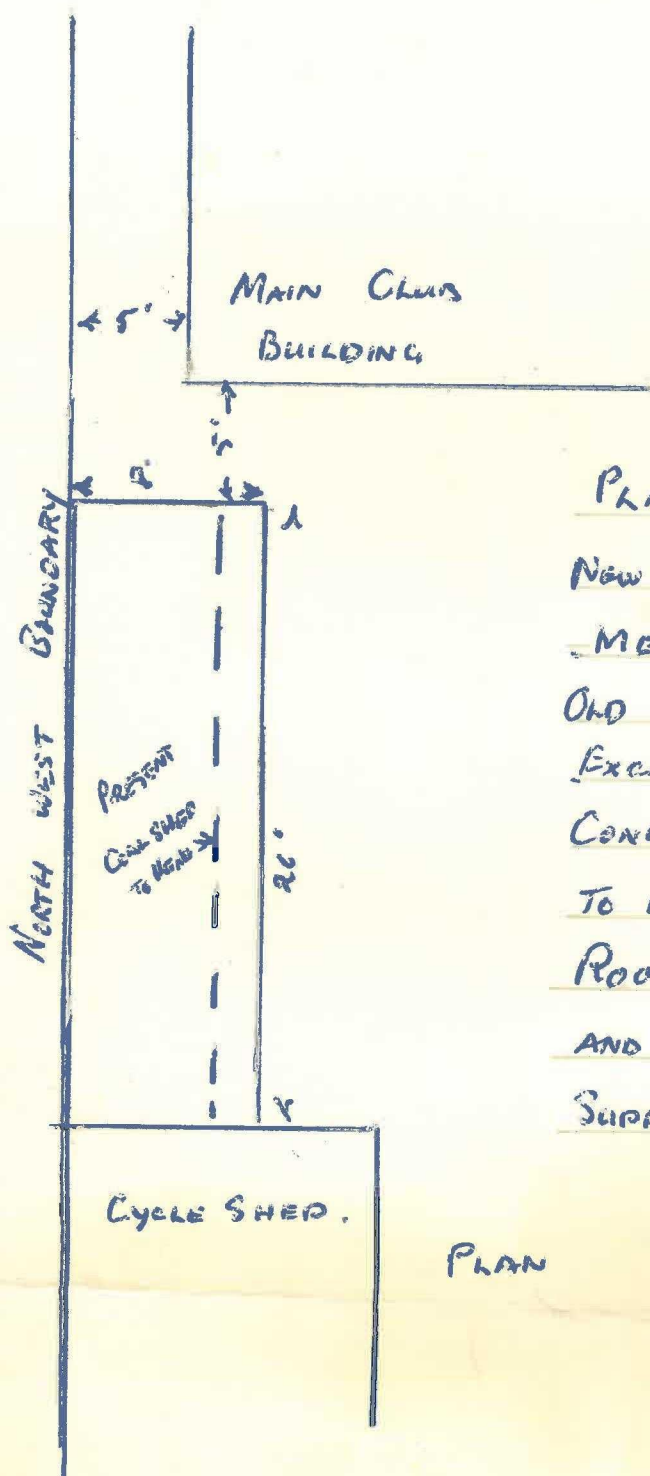
NOTE: Image Quality is due to condition of Original



END ELEVATION



SIDE ELEVATION



PLAN & SPECIFICATION FOR ERECTION OF  
NEW COAL SHED FOR THE KAIAPOI WORKING  
MENS CLUB. RAVEN ST KAIAPOI

OLD SHED TO BE REMOVED

EXCAVATE FOR FOUNDATION AND ERECT 4" REINFORCED  
CONCRETE WALLS, LEAVE ROOS PROTECTING ON TOP  
TO HOLD PLATES.

ROOF TO BE 4x2 RAFTERS WITH 3x1/2 PURLINS  
AND CORRUGATED IRON

SUPPLY AND FIX 2 LEDGED DOORS AND 1 COAL HATCH.

PLAN

Spouting to be fixed  
on boundary wall  
*[Signature]*

KAIAPOI BOROUGH  
COUNCIL  
APPROVED: *[Signature]*  
DATE 23. 4. 57

# Kaiapoi Borough Council

## Application for a Permit to Build

I, the undersigned E. Johnson Ltd  
hereby make application for a PERMIT to erect, add to, or alter, a building as described below, and in accordance with plans and specifications forwarded herewith.

NOTE.—Plans (including locality plan) and specifications must be submitted in ink.

### DESCRIPTION OF BUILDING :

Walls Concrete Block Partitions —  
Roof Iron Foundations Concrete  
No. of Floors 1 No. of Rooms 1  
Purpose for which to be used Flagon Bar.

### DESCRIPTION OF LAND on which the above building is to be erected :

Lot — D.P. —  
R.S. — Area —  
Frontage — Street —

Distance from Nearest Building —

NAME OF OWNER Kaiapoi Workmen's Club

Address Raven St. Kaiapoi

NAME OF BUILDER E. Johnson Ltd

Address 31 Parahi St. Kaiapoi

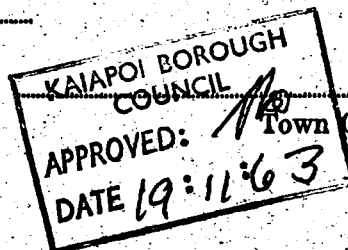
And I solemnly declare that the value of the above building will not be more than £900

p.p. E. JOHNSON LTD.

Signature of Applicant E. Johnson

Amount of FEE enclosed £ 4. 10. 0

Approved Mr Date Nov 11 1963



SPECIFICATION OF WORK TO BE DONE  
AND MATERIALS TO BE USED IN THE  
ERECTION OF A JAR FILLING DEPART-  
MENT AND BOTTLE STORE FOR KAIAPOI  
WORKING MENS CLUB.

Preliminary The work to be done comprises and includes the erecting and finishing the whole works as shown or indicated in this specification and the accompanying plans; each and every part described or implied shall, unless distinctly stated otherwise, mean the providing and fixing of same, with and including all necessary fittings and fixtures. The Contractor is to supply all materials, tools, carting, tackle, scaffolding and implements and everything necessary for the proper carrying out and completing of the works to the full intent and meaning of this specification and accompanying plans. The contract must be carried out in accordance with the Council by-laws and other authorities.

Setting Out The Contractor shall set out the whole of the works and be responsible for same. Any errors that may arise through inaccurate setting out are to be amended by the Contractor free of charge to the Owner. Figured dimensions on plans must be followed in preference to scaled dimensions.

Foreman The Contractor is to have a competent foreman in charge of construction from start to finish of the work.

Prime Costs All costs mentioned in these specifications are retail value and are subject to any commission, discount, or cash discount, and the Contractor shall be entitled to same.

Permits The Builder shall give all notices to the Borough Council, or where necessary obtain all permits and pay the necessary fees for same. ~~Not to be~~

Insurance The Contractor shall insure the works to the full insurable value with an approved office and keep them insured against loss or damage by fire from the date of commencement of the work. The Contractor shall keep all employees insured against accident.

Excavations Break up existing concrete and asphalt on area to be enclosed by new building and cart away. Excavate site to 6" and foundations to 12" below existing ground level. Remove existing trap door and frame.

Carpenter Construct timber platform to support reinforced concrete slab to be placed over opening.

Boxing The boxing for the foundations to be fixed true and level in all respects. Box for outer walls to provide for concrete 8" thick.

Concrete Concrete to be formed of seven parts fine shingle to one of cement thoroughly mixed and to be deposited into boxing and well

Concrete (continued): tamped down into position in one operation.

A fair proportion of rubble may be used but must have at least 2" of concrete around it. No brick bats are to be used. Put a layer of concrete in the bottom of trench before any rubble is used.

Floor Place concrete slab to cover opening reinforced with  $\frac{1}{2}$ " rods at 12" centres both ways and 4" thick.

Foundations Foundations to be 12" high x 8" thick spread to 12" wide at base and to be reinforced with 2,  $\frac{1}{2}$ " rods lapped 40".

Set  $\frac{1}{2}$ " starting rods in foundations to anchor concrete blocks to foundations.

Floor Slab Spread 4" of  $\frac{3}{4}$ " to  $\frac{1}{2}$ " gravel over site. Cover gravel with Coarse Sand and Cement 6 to 1. Place vapor Barrier of Polythene sheeting or Goldfix over site and finish level with top of foundations. Cover this with 3" of concrete reinforced with #6 mesh and finish surface with wood float.

Timber The timber is to be the best of its respective kinds, free from loose knots and shakes and other imperfections. All dressed timber, including timber used for joinery, flooring and inside furnishings, to be of red pine or clean Pinus and thoroughly dry seasoned.

Soffits and Eaves Fix 8" x 1" fascia boards to all eaves.

Priming All external woodwork to be primed before fixing.

Roof Roof to be iron on  $1/2$ " sarking and building paper.

Blocklayer Walls to consist of 8" x 8" x 16" Vibrapac Blocks.

Reinforce each side of door openings by placing 1,  $\frac{1}{2}$ " rod in cavity and filling same with concrete. Continue rods over door opening to form lintel with purpose made blocks.

Reinforce each side of window openings as above and bend rods at top to tie into lintel. Lintel to be reinforced with 2,  $\frac{1}{2}$ " rods and to be continuous around top of blockwork.

Fill lintel blocks with concrete and set 6" x  $\frac{1}{2}$ " bolts in same for top plate.

Set steel windows into purpose made blocks and seal with mastic.

Framing Frame up stud wall as shown on plan and fasten same to brick wall.

Form roof trusses as shown on plan rafters and ceiling joists 4" x 2" place 4" x 1" brace to each side of truss as shown.

Framing (continued):

Place 3" x 3" runner on top as shown and lap 3'.

Place 3" x 3" purlins on roof and <sup>cover</sup> veer with  $\frac{1}{2}$ " diagonal sarking to form brace.

Place Building Paper on sarking before fixing iron.

Cover Roof with 26 gauge corrugated iron.

Linings Line stud wall and ceiling with 3/16" N.Z. Hardboard with joints and place  $\frac{3}{4}$ " x  $\frac{1}{2}$ " round moulding to angles.

Floors Provide false floor to area behind and under counter built up to same level as existing passage floor. Flooring Ex 4" x 1" D.A.B. Rimu. Construct ramp of  $1\frac{1}{2}$ " timber.

Provide and fix lining to existing passage doorframe to cover brick and studwork. Provide Ex 3" x 1" architrave.

Joiner Provide and fix Ex 18" x 1" shelving as shown on plan.

Frame up Counter as shown on plan with 3/16 Vitroglaze panels to front and hardwood strip to finish flush with lino top.

Provide all necessary doors and jambs.

External Door jambs Ex 4" x 3" no sill.

Filling Unit Remove filling unit from existing flagon bar, shorten same and refix in position shown on plan.

Steel Windows Provide purpose made steel window frames as shown on plan. N.B. Fanlights only to open.

Glazing Glaze windows with double rolled cast wired obscure glass.

Lino Cover concrete floor, wood floor, behind counter and ramp with commercial grade lino cemented to floors and counter upstands as shown on plan. Cover counter top with A gauge lino cemented to top and finished flush with hardboard strip.

Plumber Disconnect filling unit and provide necessary plugs etc. to seal off water supply.

Refix filling unit in new store.

Provide and fix all necessary piping etc. to bring hot and cold water supply from existing tank room through wall into new store.

Extend filling unit waste pipe through new wall and into gully trap.

Place 24 gauge galvanized iron  $\frac{1}{2}$ " spouting to eaves.

Supply and fix 1 Downpipe of sufficient internal diameter to take stormwater from new store roof, existing store roof and billiard room roof.

- 4 -

Drainlayer Provide gully trap to take filling unit waste and connect to existing drainage.

Electrician Provide and fix four (4) 4' fluorescent lights p.o. sum.  
Provide and fix three (3) Infra Red Electric Heaters p.o. sum.  
Provide double switched power point near filling unit for Zip Heater and Glaser.  
Provide switches for lights and heaters and place where shown on plan.  
Connect to existing switchboard.

Painter All external woodwork to have three (3) three coats and finished to approved tints.

Paint metal window frames, spoutings, downpipes with suitable materials.

All internal woodwork and hardboard surfaces to be given two (2) coats flat paint and one coat enamel to approved tints.

All internal concrete block surfaces to be given two (2) coats of cement based or other suitable paint to approved tints.

Allow £25 (twenty-five pounds) for contingencies.

Hardware Provide and fix two (2) Briton H door closers

two (2) Yale and Night Latches Chrome.

two (2) 12" Pull Handles Chrome.

two (2) 12" x 4 Push Plates Chrome.

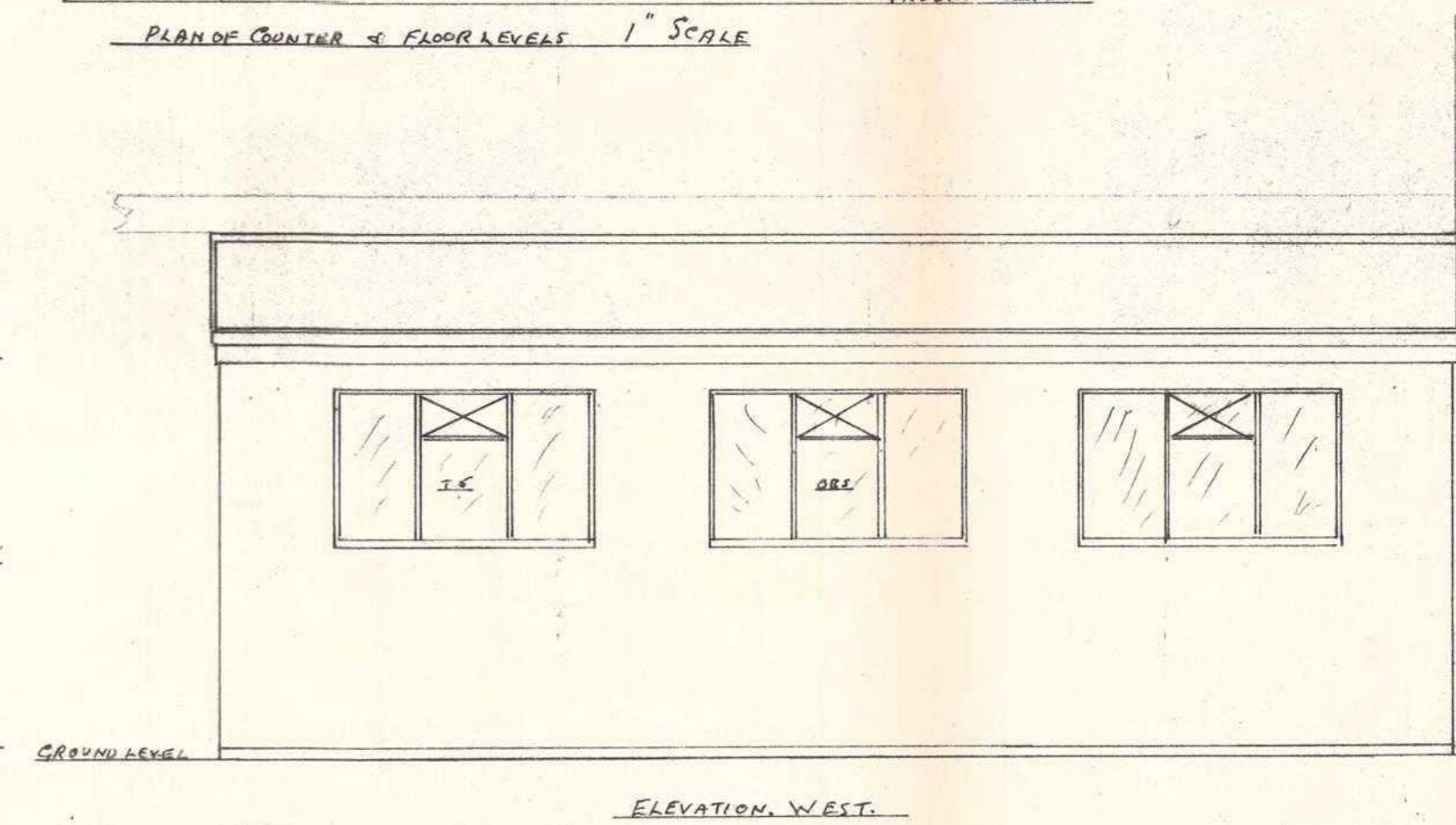
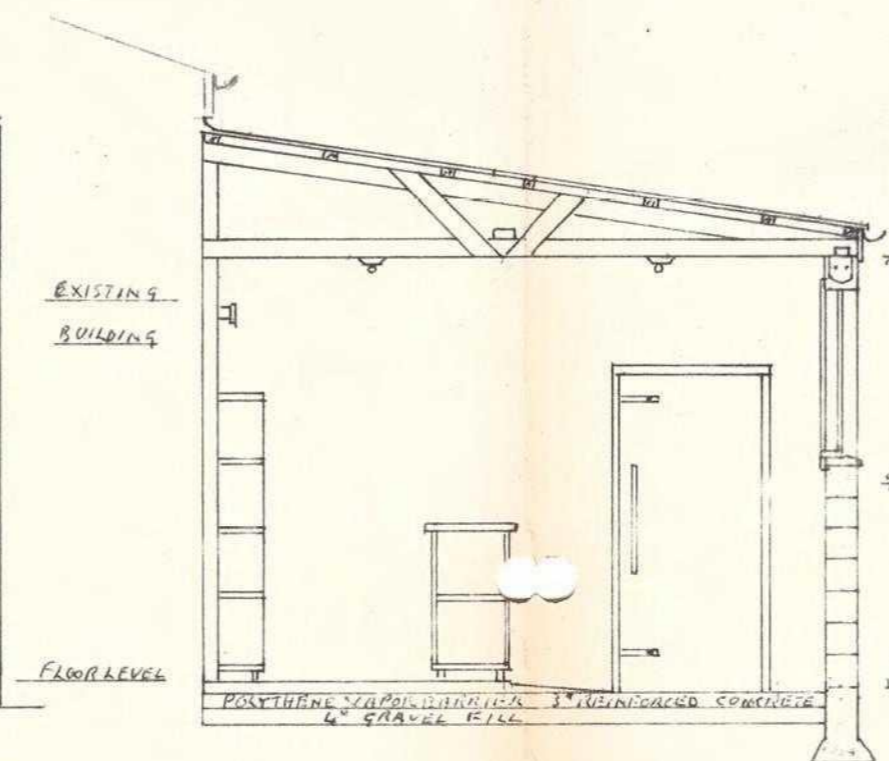
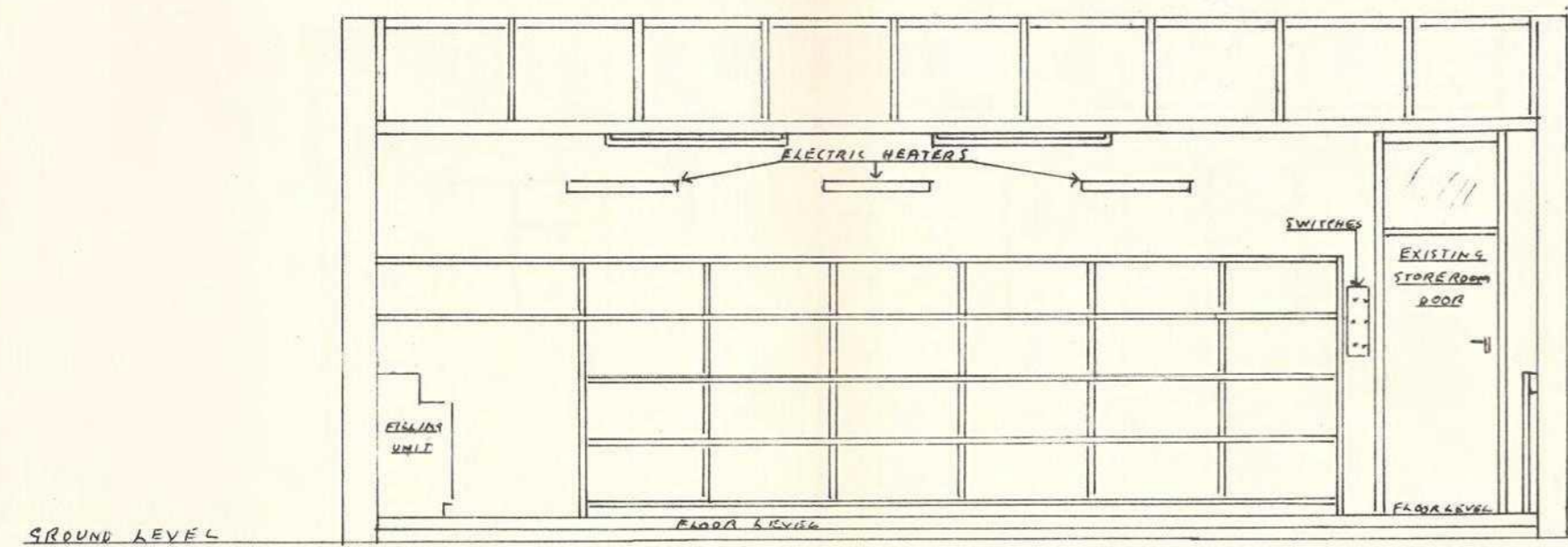
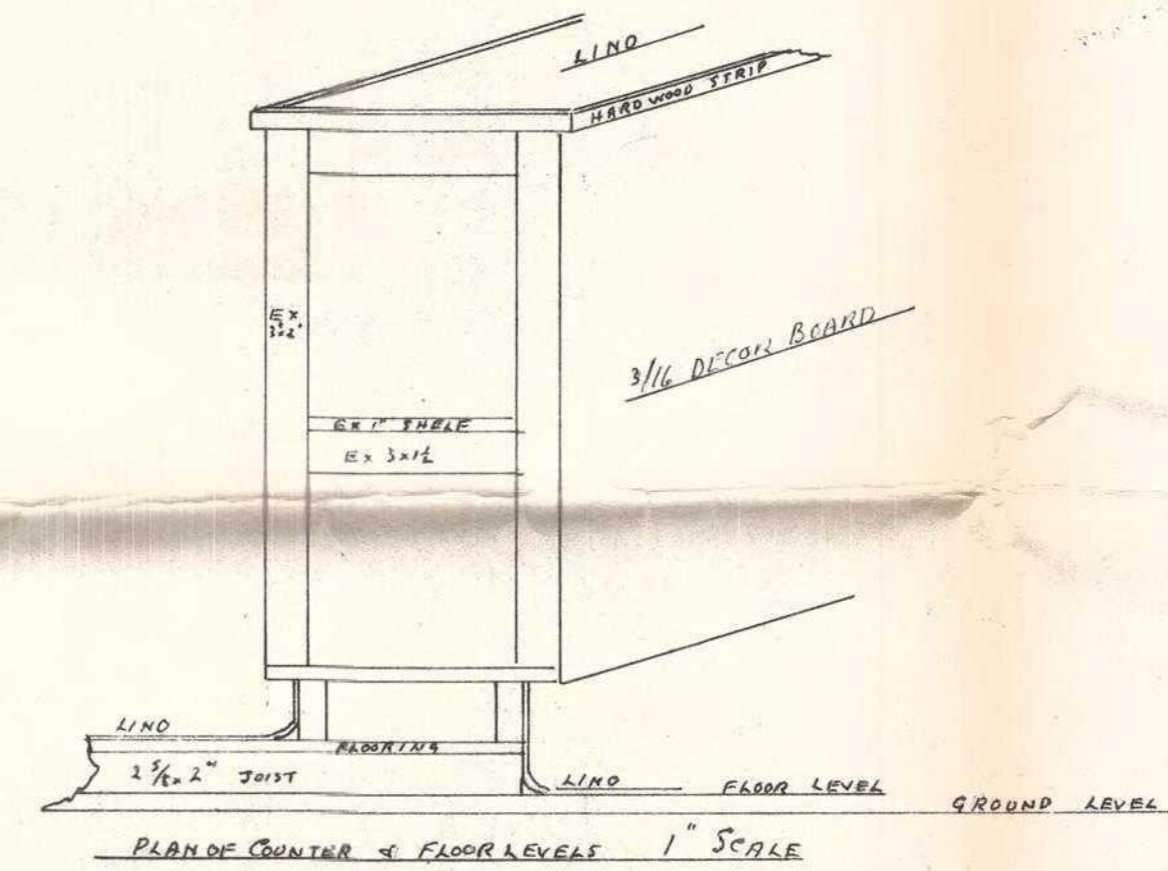
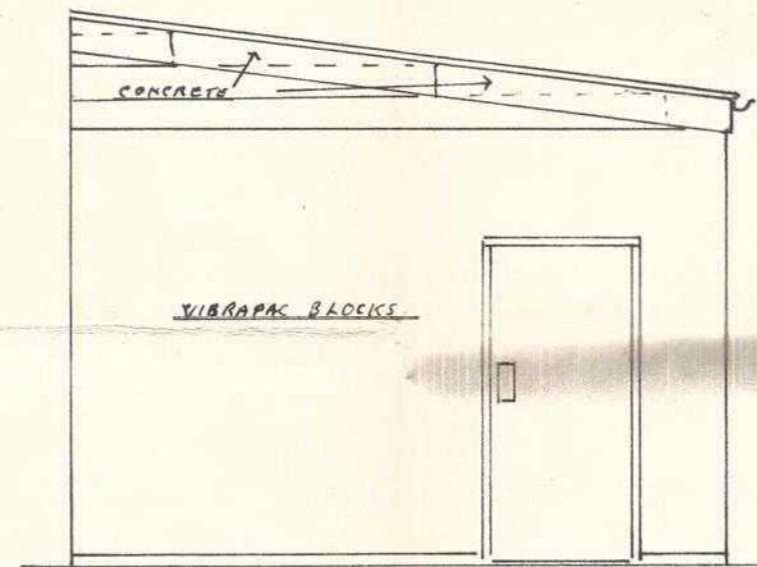
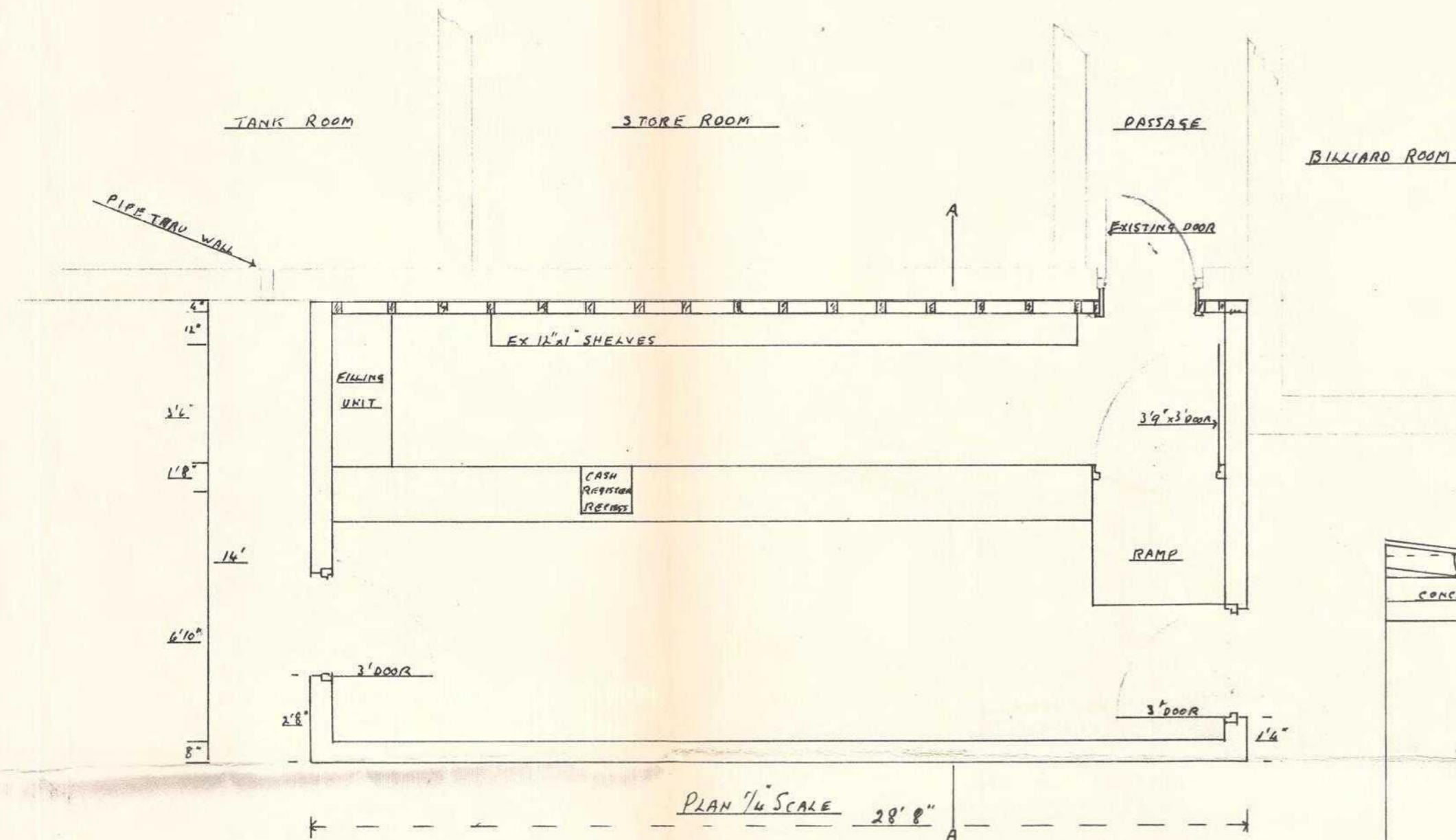
one (1) 6" Chrome Tower Bolt.

two (2) 6" Cabin Hooks Chrome.

one (1) 5" " " "

# PROPOSED JAR FILLING DEPT & BOTTLE STORE FOR KAIAPOI WORKING MENS CLUB

NOTE: Image Quality is due to condition of Original



KAIAPOI BOROUGH COUNCIL  
APPROVED: *AB*  
DATE 19.11.63

SPECIFICATIONS for Additions to the  
KAIAPOI WORKING MENS' CLUB, Raven Street, Kaiapoi.

GENERAL.

The work consists of removal of back-porch, concrete coal-shed, and cycle-shed and the erection of a single-story addition with concrete floors and concrete block walls. The contractor to provide all labour and materials, obtain all necessary permits, pay all dues and generally complete the building in best trade manner in accordance with the true intent and meaning of the accompanying drawings and this specification taken separately or collectively.

BY-LAWS: The contractor shall conform in all respects to the by-laws of all or any local authorities having jurisdiction over the work and be responsible for all damages to public or private property occasioned by the work.

PUBLIC-RISK INSURANCE: The contractor shall, prior to the commencement of work, take out a Public Risk policy with an approved Insurance Company against claims in respect of death or bodily injury or damage to property arising out of the operations of the contractor. The policy shall be for £50,000. (One hundred thousand dollars.)

FIRE INSURANCE: The contractor shall insure the works and all unfixed materials and goods on the site against loss or damage by fire and / or earthquake with an approved Insurance Company for the full value of the said works.

LIENS ACT: This contract is subject to the "Wages Protection Contractors Liens Act, 1939 and its amendments."

SUB-CONTRACTORS: This specification is divided into trade sections for the convenience of reference only, and it shall not be construed that each trade section is an entire and separate contract, hence no claims will be admitted for sub-contractors for work not specifically mentioned in a trade section, but which is provided for, expressed, or implied elsewhere in the specification. Every trade, jointly and severally shall collaborate, wait-on, assist and render all necessary assistance to complementary trades.

-----

EXCAVATOR

1. CLEAR SITE for building and excavate over the building area to the depth shown giving a minimum of 6" of hardfill under the concrete floor.
2. EXCAVATOR: Excavator as required for foundations, footings pads, water-pipes and drains as shown and as required to give a solid bearing to the depths level and grades. Surplus spoil shall be removed from the site.
3. FILLING IN: Back fill and ram carefully around footings, consolidating as the work proceeds.
4. HARDFILL filling shall be screen tailings, not more than 1½" diam. compacted with vibrating roller.

CONCRETOR

1. CONCRETE shall be certified concrete or similar and shall be 3,000 lb p.s.i. crushing strength.
2. REINFORCING MATERIAL shall be used in the size and proportion shown in the drawing.  
Foundations 4 - ½" rods and 1" stirrups at 18" centres. Lintle blocks 2 - ½" rods and 1" stirrups at 15" centres. Reinforcing to blocks 1 - ½" rod at 4' centres filled with concrete - 3/8 bolts as shown in detail through portal leg and into lintle

Concretor-(continued)  
block under sill.

3. On Compacted Hardfill place 2" layer of site concrete.  
On this flood a dampcourse of hot bitumen continueing over foundations. (Two coats.)

4. FLOORS: Pour 4" concrete floor, reinforced with 665 mesh over the whole area in sections not more than approx. 10 ft. square, pouring alternate panels. Screed concrete floor with steel screed and bring finished floor to a smooth and even surface by steel trowelling. Contractor to allow for 9" x 9" ducting where shown to take heating pipes.

NOTE:- Finished floor level must line up with finished level of bottle-store floor.

Pour concrete sills to all windows where necessary using 2 ½" rods. Pour lintle block as shown half-way up, all partitions running to ceiling. On top of these partitions pour lintle block to rake of roof using 2 ½" rods and ½" rods to take raking plate.

#### STRUCTURAL STEEL

1. MATERIALS AND LABOUR: All steel shall conform to N.Z.S.S. 309 and the contractor shall adhere to the relevant Clauses of N.Z.S.S. 1900 Chapter 94 "Steelwork" and N.Z.S.S. 1646 "Metal Arc Welding" in the supply of materials and workmanship both on and off the site.

2. SCOPE OF WORK: This includes the steelwork shown in the drawings; five portal frames shopwelded and erected on site complete with purlin cleats holding down bolts and bolts to all purlins.

3. PAINTING: All steelwork shall be thoroughly wire brushed and cleaned of millscale, rust and grease. Give all steelwork, except where bedded in concrete, one coat of H.D. 441 primer, applied before erection.

#### DRAINLAYER

1. Provide and fix all materials which must be of the best of their several kinds in accordance with the best trade practice and to the specification of the local authority and health department. On completion, the whole of the drainage to be tested and handed over in thorough working order according to health department requirements.

2. SCOPE OF WORK: This work consists of extending present drain to a position on the south side of the bottle-store. The present sump will be shifted along with the T.V. This means the present drain will be under the new concrete floor and will have to be excavated and surrounded with reinforced concrete leaving inspections through concrete floor -these will be covered with steel plates.

#### CARPENTER AND JOINER

1. TIMBER GENERALLY: All timber to be the best of its class, free from knots, suitable for its purpose and in as long lengths as possible.

2. SEASONING: All timber must be as well seasoned as procurable.

**Plasterer (Continued)**

1. **SAND:** Shall be approved quality sand, hard, sharp and free from salt, loam and other deleterious matter.
2. **EXTERNAL RENDERING:** The whole of the exposed surfaces of the concrete sills shall be rendered in two coats consisting of two parts sand and one of cement and finished, trowelled to a smooth finish.

**PLUMBER**

1. **MATERIALS:** All materials used by the plumber must be the best of their kinds and fully conform to all or any health department regulations or by-laws.
2. **SPOUTING:** Fit to all eaves, 26 gauge galv. iron,  $\frac{1}{4}$  round eaves gutters with stopends, outlets, etc., on 1" galv. shaped brackets at not more than 3' centres and secured with galv. screws.
3. **GUTTERS:** Between junction of roof of new building and old brick wall of existing building fit 8 x 4 26 gauge copper box gutter and flash into brickwork.
4. **FLASHINGS:** Flash on east end of new building from window onto existing roof with 26 gauge galv. iron flashing. Where two cowls protude through roof, neatly flash and make watertight with 4lb lead.
5. **DOWNPIPES:** Provide and fix 4 x 3 downpipes of 24 gauge galv. iron where shown.
6. **WASTEPIPES:** Carry new wastepipe from bottle-store under concrete floor to discharge into new sump on south wall. Relocate T.V. to new position.

**ELECTRICIAN**

1. **GENERAL:** The whole of the installations shall be carried out as set out in the specifications and shall be in accordance with the Local Electricity Departments and Fire Underwriters' Regulations, notwithstanding any omission herein, and to the entire satisfaction of their Inspectors.

The number of light and plug points are given in a schedule herewith but the exact location must be ascertained from the plan.

The whole of the wiring shall be concealed and none but firstclass workmanship and materials will be allowed. Any work or material which may be necessary for the completion of the contract is to be supplied without extra charge notwithstanding that the mention of it may have been omitted from this specification or schedule.

2. **CONNECT TO MAINS:** Allow to connect switchboard to sub-mains in existing bottle-store using conduits.
4. **SCHEDULE:**  
Switchboard in storeroom.  
Billiard room: Four banks of six lights over each billiard table at the dimensions given on the lighting plan with each bank to switch seperately in positions shown. These lights will hang on pendants from the ceiling to approximately five feet above floor level. Shades will be provided by owners for three tables but contractor to allow for six new similar shades. Allow p.c. sum of one hundred and twenty-five dollars. Two wall-bracket lights to each end of billiard room. Allow p.c. sum of thirty-two dollars.

Allow to wire two exhaust fans in apex of roof switched from position shown on plan.

Passage- Two lights.  
One heat point.

Bottle-store- Two lights.

P.C. SUM: Allow the p.c. sum of two hundred and twenty-five dollars for two electric fans fitted to cowls.

### PAINTER AND GLAZIER

1. MATERIALS: All materials used in this trade must be in the best of their respective kinds and of approved manufacture.

2. WORKMANSHIP: Must be of the highest standard, carried out by skilled tradesmen. No painting must be done on wet surfaces or unseasoned timbers and no exterior painting must be done in damp, frosty or unsuitable weather.

3. HARDWARE: All locks and fastenings must be removed while painting work is in progress and re-fixed on completion.

4. PROTECTION OF WORK: The contractor must take adequate precaution during and after painting operations, to protect his work from dust, dirt, or any other disfiguration whatsoever, and provision must be made also against paints or other stains marking floors or other work.

5. EXTERIOR FINISHING: To a thoroughly clean, dry surface, apply one coat of ready mixed red-lead priming; one coat of approved undercoat and two coats of approved finishing paint. Should any exterior woodwork have been primed for longer than one month before the painter commences to undercoat, this work will be regarded as new timber and must be primed again. The maximum time allowed between any two coats is one month and the minimum time two days. Rub down between all coats.

6. GLASS: Shall be flat-drawn ordinary glazing quality.

Louvres- louvre blades shall have fine  
arrised edges.

Doors-  $\frac{1}{4}$ " drawn plate.

7. COLOURS FOR PAINTER:

All exterior- one coat Taubmans undercoat.  
woodwork--- two coats Taubmans finishing. (white)

Interior- Billiard room - Acoustic tiles to ceiling-  
two coats acrylic paint- pastel blue.  
Paint all woodwork to ceiling.

Interior Blockwork- All blockwork-two coats acrylic paint. (white)

Varnish- All woodwork to windows and dado - one coat of sanding sealer and two coats of clear full-gloss hard quality varnish.  
Varnish all doors, windows, ply and woodwork one coat sealer, two coats of clear full-gloss hard quality varnish.

Portal Frames-

Two coats high-gloss enamel. (Royal blue)

Passage- Paint all hardboard ceilings one coat sealer, one of undercoat and one enamel. (white)  
Paint all walls with two coats acrylic paint (white).

Bottle-store- Hardboard ceiling one coat sealer, one undercoat and one enamel. (white)  
All woodwork to be painted white.

FLOOR COVERINGS

1. PASSAGE:

Lino-

Allow to cover the whole of the passage with 3.2 mm. A grade lino on 16oz. paper.

2. BILLIARD ROOM:

Carpet -

Allow to cover the whole of the billiard room including upstand and false floor with A.O. or 9 shot carpet laid on Dunlop (airborne) rubber underlay, using smoothedge fixing at all walls.

Use notloc bars at finishes to coverings in doorways.

This subcontract to be allowed for in a p.c. sum. Two thousand, seven hundred and seventy dollars (\$2,770) as supplied by Reese Bros. Ltd.

Main contractor to allow for clearing site and replacing fences on finish of contract.

CONTINGENCY FUND: Allow the sum of \$200.  
(Two hundred dollars.)

SPECIFICATIONS for Additions to the  
KAIAPOI WORKING MENS' CLUB, Raven Street, Kaiapoi.

GENERAL.

The work consists of removal of back-porch, concrete coal-shed, and cycle-shed and the erection of a single-story addition with concrete floors and concrete block walls. The contractor to provide all labour and materials, obtain all necessary permits, pay all dues and generally complete the building in best trade manner in accordance with the true intent and meaning of the accompanying drawings and this specification taken separately or collectively.

**BY-LAWS:** The contractor shall conform in all respects to the by-laws of all or any local authorities having jurisdiction over the work and be responsible for all damages to public or private property occasioned by the work.

**PUBLIC-RISK INSURANCE:** The contractor shall, prior to the commencement of work, take out a Public Risk policy with an approved Insurance Company against claims in respect of death or bodily injury or damage to property arising out of the operations of the contractor. The policy shall be for £50,000. (One hundred thousand dollars.)

**FIRE INSURANCE:** The contractor shall insure the works and all unfixed materials and goods on the site against loss or damage by fire and / or earthquake with an approved Insurance Company for the full value of the said works.

**LIENS ACT:** This contract is subject to the "Wages Protection Contractors Liens Act, 1939 and its amendments."

**SUB-CONTRACTORS:** This specification is divided into trade sections for the convenience of reference only, and it shall not be construed that each trade section is an entire and separate contract, hence no claims will be admitted for sub-contractors for work not specifically mentioned in a trade section., but which is provided for, expressed, or implied elsewhere in the specification. Every trade, jointly and severally shall collaborate, wait-on, assist and render all necessary assistance to complementary trades.

-----

EXCAVATOR

1. **CLEAR SITE** for building and excavate over the building area to the depth shown giving a minimum of 6" of hardfill under the concrete floor.
2. **EXCAVATOR:** Excavate as required for foundations, footings, pads, water-pipes and drains as shown and as required to give a solid bearing to the depths level and grades. Surplus spoil shall be removed from the site.
3. **FILLING IN:** Back fill and ram carefully around footings, consolidating as the work proceeds.
4. **HARDFILL** filling shall be screen tailings, not more than  $1\frac{1}{2}$ " diam. compacted with vibrating roller.

CONCRETOR

1. **CONCRETE** shall be certified concrete or similar and shall be 8,000 lb p.s.i. crushing strength.
2. **REINFORCING MATERIAL** shall be used in the size and proportion shown in the drawing.  
Foundations 4 -  $\frac{1}{2}$ " rods and  $\frac{1}{4}$ " stirrups at 18" centres. Lintle blocks 2 -  $\frac{1}{2}$ " rods and  $\frac{1}{4}$ " stirrups at 15" centres. Reinforcing to blocks 1 -  $\frac{1}{2}$ " rod at 4' centres filled with concrete - 3/8 bolts as shown in detail through portal leg and into lintle

Concretor- (continued)

block under sill.

3. ON COMPACTED HARDFILL place 2" layer of site concrete. On this flood a dampcourse of hot bitumen continueing over foundations. (Two coats.)

4. FLOORS: Pour 4" concrete floor, reinforced with 665 mesh over the whole area in sections not more than approx. 10 ft. square, pouring alternate panels. Screed concrete floor with steel screed and bring finished floor to a smooth and even surface by steel trowelling. Contractor to allow for 9" x 9" ducting where shown to take heating pipes.

NOTE:- Finished floor level must line up with finished level of bottle-store floor.

Pour concrete sills to all windows where necessary using 2  $\frac{1}{2}$ " rods. Pour lintle block as shown half-way up, all partitions running to ceiling. On top of these partitions pour lintle block to rake of roof using 2  $\frac{1}{2}$ " rods and  $\frac{1}{2}$ " rods to take raking plate.

S T R U C T U R A L S T E E L

1. MATERIALS AND LABOUR: All steel shall conform to N.Z.S.S. 309 and the contractor shall adhere to the relevant Clauses of N.Z.S.S. 1900 Chapter 94 "Steelwork" and N.Z.S.S. 1646 "Metal Arc Welding" in the supply of materials and workmanship both on and off the site.
2. SCOPE OF WORK: This includes the steel work shown in the drawings; five portal frames shopwelded and erected on site complete with purlin cleats holding down bolts and bolts to all purlins.
3. PAINTING: All steelwork shall be thoroughly wire brushed and cleaned of millscale, rust and grease. Give all steelwork, except where bedded in concrete, one coat of H.D. 441 primer, applied before erection.

D R A I N L A Y E R

1. Provide and fix all materials which must be of the best of their several kinds in accordance with the best trade practice and to the specification of the local authority and health department. On completion, the whole of the drainage to be tested and handed over in thorough working order according to health department requirements.
2. SCOPE OF WORK: This work consists of extending present drain to a position on the woth side of the bottle-store. The present sump will be shkfted along with the T.V. This means the present drain will be under the new concrete floor and will have to be excavated and surrounded with reinforced concrete leaving inspections through concrete floor - these will be covered with steel plates.

C A R P E N T E R A N D J O I N E R

1. TIMBER GENERALLY: All timber to be the best of its class, free from knots, suitable for its purpose and in as long lengths as possible.
2. SEASONING: All timber must be as well seasoned as procurable.

Plasterer (Continued)

1. SAND: Shall be approved quality sand, hard, sharp and free from salt, loam and other deleterious matter.
2. EXTERNAL RENDERING: The whole of the exposed surfaces of the concrete sills shall be rendered in two coats, consisting of two parts and one of cement and finished, trowelled to a smooth finish.

P L U M B E R

1. MATERIALS: All materials used by the plumber must be the best of their kinds and fully conform to all or any health department regulations or by-laws.
2. SPOUTING: Fit to all eaves, 26 gauge galv. iron,  $\frac{1}{4}$  round eaves gutters with stopends, outlets, etc., on 1" galv. shaped brackets at not more than 3' centres and secured with galv. screws.
3. GUTTERS: Between junction of roof of new building and old brick wall of existing building fit 8 x 4 26 gauge copper box gutter and flash into brickwork.
4. FLASHINGS: Flash on east end of new building from window onto existing roof with 26 gauge galv. iron flashing. Where two cowls protrude through roof, neatly flash and make watertight with 4 lb lead.
5. DOWNPIPES: Provide and fix 4 x 3 downpipes of 24 gauge galv. iron where shown.
6. WASTEPIPES: Carry new wastepipe from bottle-store under concrete floor to discharge into new sump on south wall. Relocate T.V. to new position.

E L E C T R I C I A N

1. GENERAL: The whole of the installations shall be carried out as set out in the specifications and shall be in accordance with the Local Electricity Departments and Fire Underwriters' Regulations, notwithstanding any omission herein, and to the entire satisfaction of their Inspectors.

The number of light and plug points are given in a schedule herewith but the exact location must be ascertained from the plan.

The whole of the wiring shall be concealed and none but first class workmanship and materials will be allowed. Any work or material which may be necessary for the completion of the contract is to be supplied without extra charge notwithstanding that the mention of it may have been omitted from this specification or schedule.

2. CONNECT TO MAINS: Allow to connect switchboard to submains in existing bottle-store using conduits.
3. SCHEDULE:  
Switchboard in storeroom.  
Billiard room;  
Four banks of six lights over each billiard table at the dimensions given on the lighting plan with each bank to switch separately in positions shown.  
These lights will hang on pendants from the ceiling to approx. five feet above floor level. Shades will be provided by owners for three tables but contractor to allow for six new similar shades.  
Allow p.c. sum of one hundred and twenty-five dollars.  
Two wall-bracket lights to each end of billiard room.  
Allow p.c. sum of thirty-two dollars.

Electrician (Continued)

Allow to wire two exhaust fans in apex of roof switched from position shown on plan.

Passage- Two lights.  
One heat point.

Bottle- Two lights.  
store-

P.C. SUM: Allow the p.c. sum of two hundred and twenty-five dollars for two electric fans fitted to cowls.

P A I N T E R   A N D   G L A Z I E R

1. MATERIALS: All materials used in this trade must be in the best of their respective kinds and of approved manufacture.
2. WORKMANSHIP: Must be of the highest standard, carried out by skilled tradesmen. No painting must be done on wet surfaces or unseasoned timbers and no exterior painting must be done in damp, frosty or unsuitable weather.
3. HARDWARE: All locks and fastenings must be removed while painting work is in progress and re-fixed on completion.
4. PROTECTION OF WORK: The contractor must take adequate precaution during and after painting operations, to protect his work from dust, dirt, or any other disfiguration whatsoever, and provision must be made also against paints or other stains marking floors or other work.
5. EXTERIOR FINISHING: To a thoroughly clean, dry surface, apply one coat of ready mixed red lead priming, one coat of approved undercoat and two coats of approved finishing paint. Should any exterior woodwork have been primed for longer than one month before the painter commences to undercoat, this work will be regarded as new timber and must be primed again. The maximum time allowed between any two coats is one month and the minimum time two days. Rub down between all coats.
6. GLASS: Shall be flat-drawn ordinary glazing quality.  
  
Louvres - louvre blades shall have fine arised edges.  
Doors-  $\frac{1}{4}$ " drawn plate.
7. COLOURS FOR PAINTER:  
  
All exterior: one coat Taubmans undercoat.  
woodwork--- two coats Taubmans finishing. (white)  
Interior - Billiard room - Acoustic tiles to ceiling-  
two coats acrylic paint - pastel blue.  
Paint all woodwork to ceiling.  
Interior Blockwork- All blockwork- two coats acrylic paint. (white)  
  
Varnish- All woodwork to windows and dado - one coat of sanding sealer and two coats of clear full-gloss hard quality varnish.  
Varnish all doors, windows, ply and woodwork one coat sealer, two coats of clear full-gloss hard quality varnish.  
  
Portal Frames-  
Two coats high-gloss enamel. (Royal blue)  
Passage- Paint all hardboard ceilings one coat sealer, one of undercoat and one enamel. (white)  
Paint all walls with two coats acrylic paint. (white)  
Bottle- Hardboard ceiling one coat sealer, one undercoat  
store- and one enamel. (white)  
All woodwork to be painted white.

F L O O R C O V E R I N G S

1. PASSAGE:

Lino-

Allow to cover the whole of the passage with 3.2 mm. A grade lino on 16 oz. paper.

2. BILLIARD ROOM:

Carpet-

Allow to cover the whole of the billiard room including upstand and false floor with A.O. or 9 shot carpet laid on Dunlop (airborne) rubber underlay, using smoothedge fixing at all walls.

Use notloc bars at finishes to coverings in doorways.

This subcontract to be allowed for in a p.c. sum. Two thousand, seven hundred and seventy dollars (\$2,770) as supplied by Reese Bros. Ltd.

Main contractor to allow for clearing site and replacing fences on finish of contract.

CONTINGENCY FUND: Allow the sum of \$200.  
(Two hundred dollars.)

Electrician (Continued)

- Allow to wire two exhaust fans) in apex of roof switched from position shown on plan.
- Passage- Two lights.  
One heat point.
- Bottle- Two lights.  
store- *Wiring for electric Clock*
- Billiard Room Wiring for Loud Speaker system 1 speaker*
- P.C. SUM: Allow the p.c. sum of two hundred and twenty-five dollars for two electric fans fitted to cowls.

*on separate switches one at each end of billiard room*

PAINTER AND GLAZIER

- MATERIALS: All materials used in this trade must be in the best of their respective kinds and of approved manufacture.
- WORKMANSHIP: Must be of the highest standard, carried out by skilled tradesmen. No painting must be done on wet surfaces or unseasoned timbers and no exterior painting must be done in damp, frosty or unsuitable weather.
- HARDWARE: All locks and fastenings must be removed while painting work is in progress and re-fixed on completion.
- PROTECTION OF WORK: The contractor must take adequate precaution during and after painting operations, to protect his work from dust, dirt, or any other disfiguration whatsoever, and provision must be made also against paints or other stains marking floors or other work.
- EXTERIOR FINISHING: To a thoroughly clean, dry surface, apply one coat of ready mixed red lead priming, one coat of approved undercoat and two coats of approved finishing paint. Should any exterior woodwork have been primed for longer than one month before the painter commences to undercoat, this work will be regarded as new timber and must be primed again. The maximum time allowed between any two coats is one month and the minimum time two days. Rub down between all coats.
- GLASS: Shall be flat-drawn ordinary glazing quality.

Louvres- louvre blades shall have fine arrised edges.  
Doors- 1/4" drawn plate.

7. COLOURS FOR PAINTER:

*colours to be decided on after carpet contract becomes known*

*finishing* All exterior- one coat Taubmans undercoat.  
woodwork--- two coats Taubmans finishing. (white)  
Interior- Billiard room - Acoustic tiles to ceiling-  
two coats acrylic paint- pastel blue.  
Paint all woodwork to ceiling.

Interior Blockwork- All blockwork-two coats acrylic paint. (white)

Varnish- All woodwork to windows and dado - one coat of sanding sealer and two coats of clear full-gloss hard quality varnish.  
Varnish all doors, windows, ply and woodwork one coat sealer, two coats of clear full-gloss hard quality varnish.

Portal Frames-

Two coats high-gloss enamel. (Royal blue)

Passage- Paint all hardboard ceilings one coat sealer, one of undercoat and one enamel. (white)

Paint all walls with two coats acrylic paint (white).

Bottle- Hardboard ceiling one coat sealer, one undercoat  
store- and one enamel. (white)

All woodwork to be painted white.

FLOOR COVERINGS

1. PASSAGE:

Lino-

Allow to cover the whole of the passage with 3.2 mm. A grade lino on 16oz. paper.

2. BILLIARD ROOM:

Carpet -

Allow to cover the whole of the billiard room including upstand and false floor with A.O. or 9 shot carpet laid on Dunlop (airborne) rubber underlay, using smoothedge fixing at all walls.

Use notloc bars at finishes to coverings in doorways.

This subcontract to be allowed for in a p.c. sum. Two thousand, seven hundred and seventy dollars (\$2,770) as supplied by Reese Bros. Ltd.

Main contractor to allow for clearing site and replacing fences on finish of contract.

*New 3' galvanized iron gate to be installed in fence line adjacent to NE corner of Billiard Room*  
*Fence on south side of new billiard room to be shifted to new site ft South of Building checks for*  
CONTINGENCY FUND: Allow the sum of \$ 200. *worth removing on new fence*  
(Two hundred dollars.)

~~Contractor to install billiard markers from old billiard room to new room on south wall as near to center of table as possible on top shelf~~  
~~Contractor to provide 1 new billiard marker and install same~~

~~Extend cue racks to be installed in new billiard room~~

~~Billiard room notice boards to be installed in new room~~

~~Contractor to provide electric clock and install in new Billiard Room on East wall~~

~~1914/1918 war calendar to be installed on west wall~~  
~~Sound speaker system be removed from old room to new billiard room~~

*Fit & slot marker, provided.*  
*4 corners, as close as possible*  
*to light switches for red table*