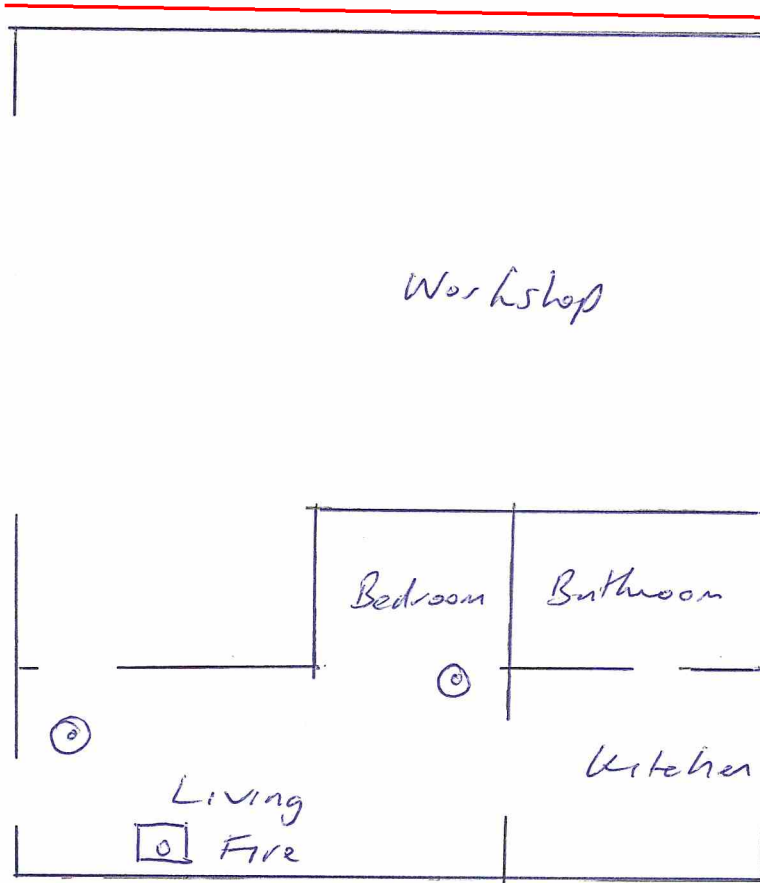


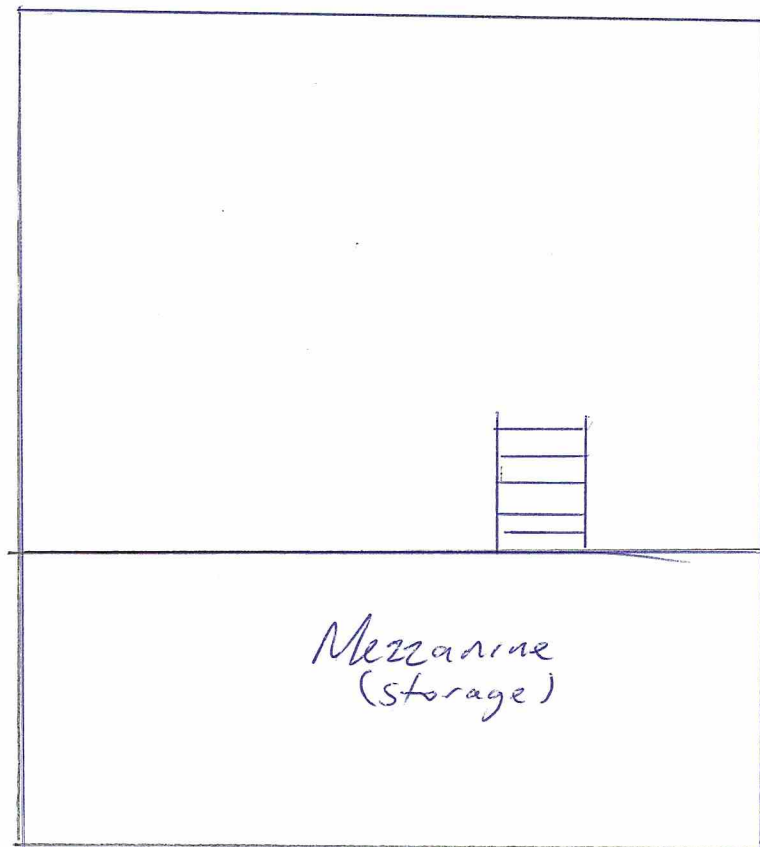
15.5m



12.5m

Ground Floor

⊙ Smoke Alarm

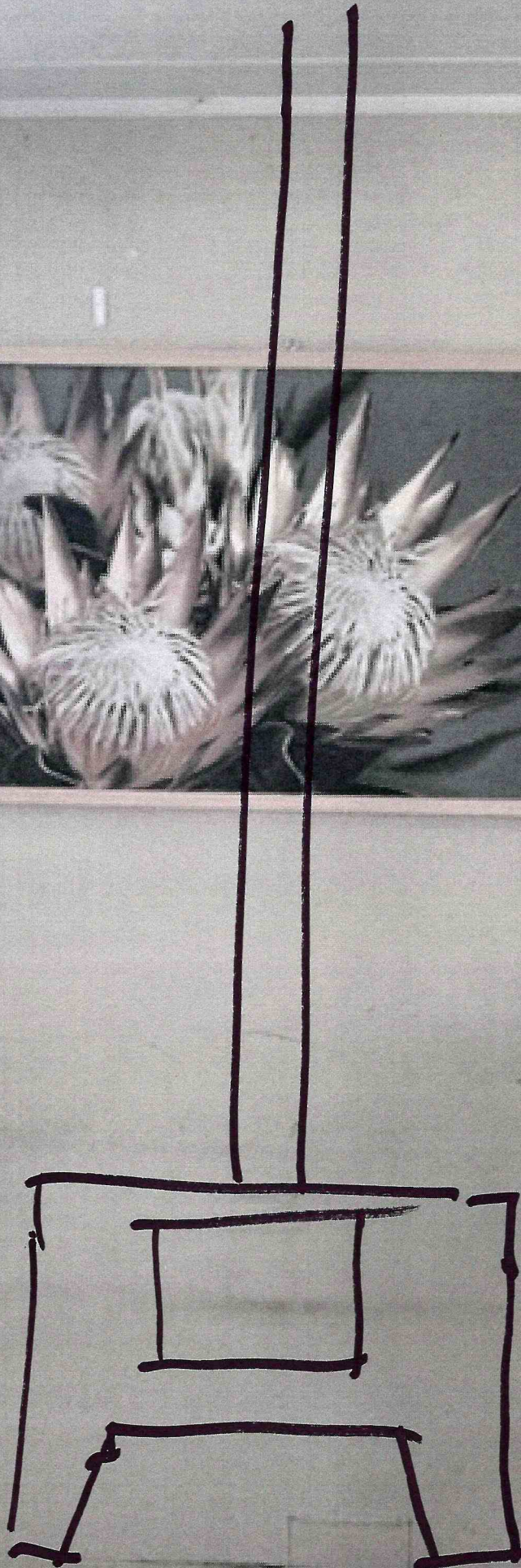
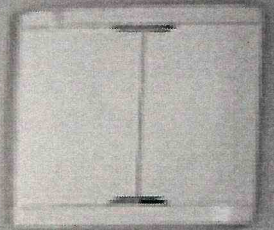


Mezzanine floor

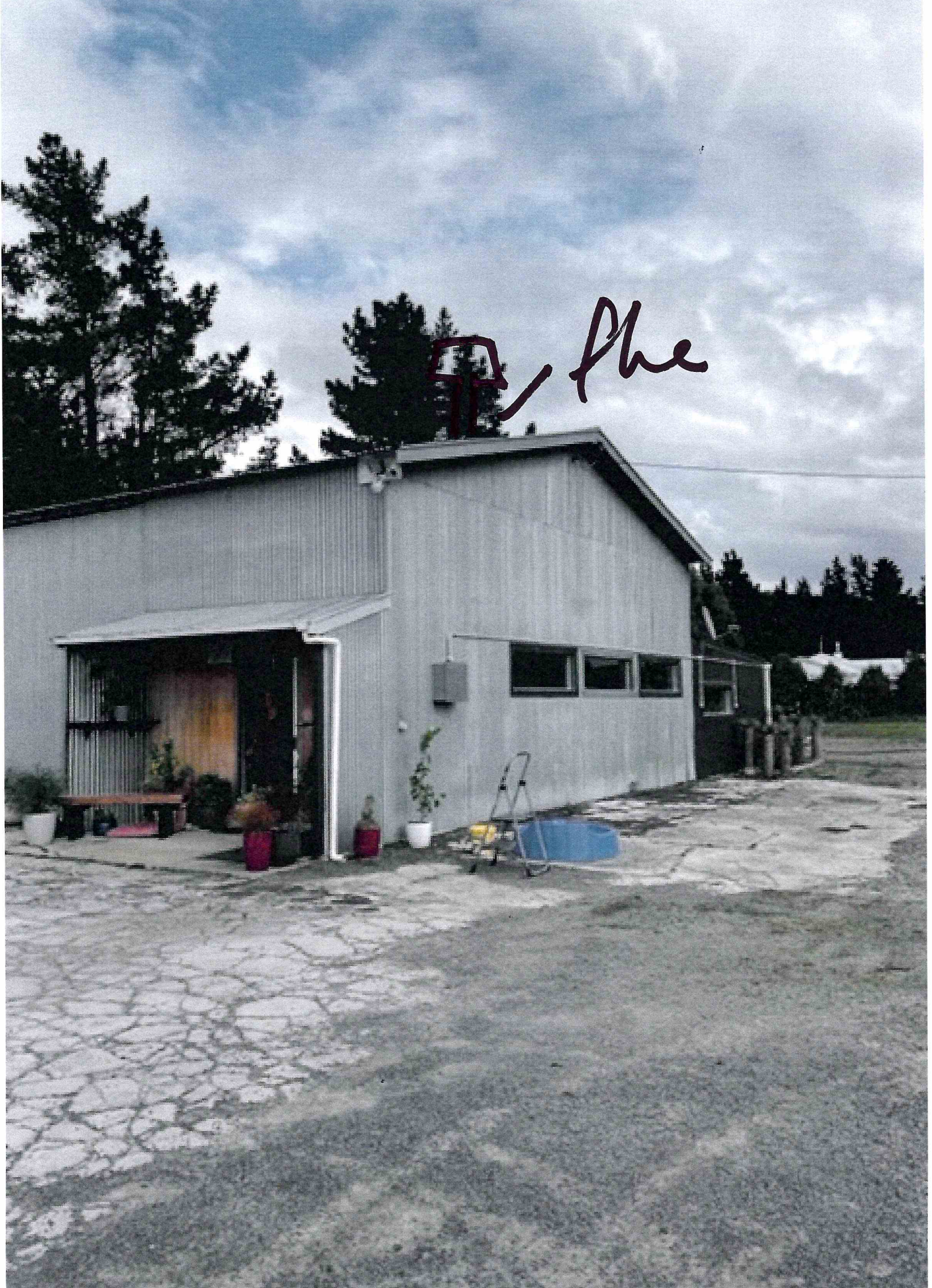
Mezzanine  
(storage)

- New fire must be installed in accordance with ALL manufactures instructions and tested clearances
- Hearth must comply with manufactures instructions
- Smoke detectors with hush button must be installed within 3 metres from bedroom doors













## 150 mm FLOOR PENETRATION UNIT INSTALLATION INSTRUCTIONS – TESTED HEATER

**WARNING: THIS FLUE KIT HAS BEEN MANUFACTURED IN ACCORDANCE WITH AS/NZS 2918:2001 AND TESTED TO APPENDIX F. TO ENSURE SAFETY THIS FLUE KIT MUST BE INSTALLED AS OUTLINED IN THESE INSTRUCTIONS AND THE APPROPRIATE REQUIREMENTS OF THE RELEVANT BUILDING CODE OR CODES. WOOD FIRE AND FLUE CLEARANCES FROM COMBUSTIBLE WALLS MUST BE IN ACCORDANCE WITH WOOD FIRE MANUFACTURER'S SPECIFICATIONS AND AS/NZS 2918:2001. THESE INSTALLATION INSTRUCTIONS ARE FOR TESTED APPLIANCES ONLY.**

**CAUTION: MIXING FLUE SYSTEM COMPONENTS FROM DIFFERENT SOURCES OR MODIFYING THE DIMENSIONAL SPECIFICATION OF COMPONENTS MAY RESULT IN HAZARDOUS CONDITIONS. WHERE SUCH ACTION IS CONSIDERED, THE MANUFACTURER SHOULD BE CONSULTED IN THE FIRST INSTANCE.**

**CAUTION: IT IS THE RESPONSIBILITY OF THE INSTALLER TO ENSURE THAT THE INSTALLATION OF THIS FLUE KIT COMPLIES WITH AS/NZS 2918:2001, THE APPLIANCE MANUFACTURERS SPECIFICATIONS FOR FLUE PIPE SHIELD AND CEILING PLATE AND THAT THE RELEVANT BUILDING CODES ARE ADHERED TO.**

***Bends and extensions to the length of a flue system are permitted  
(AS/NZS 2918 2001 4.1)***

## 150mm Tested Heater Installations Method

For heaters tested in accordance with AS/NZS 2918:2001 using a SFP type flue kit install as follows:

- 1) With heater located in its proposed position mark a point on the first floor/ceiling that is directly above the centre of heater flue outlet. Check that the heater's location allows the FLOOR PENETRATION UNIT (F.P.U.) to clear all structural floor timbers.
- 2) Cut a 255mm square hole in floor.
- 3) Measure length from surface of floor to ceiling below. Remove OUTER CASING EXTENSION on FLOOR PENETRATION UNIT and adjust length of INNER CASING EXTENSION so that overall length (measured from flange on unit) is 12mm shorter. Secure INNER CASING EXTENSION with 3 Monel rivets.
- 4) Adjust length of OUTER CASING EXTENSION to equal floor penetration thickness and secure with rivets or self-tapping screws.

Note For unprotected flue pipe installations or where MESH SCREENS will be fitted the CASINGS must extend a minimum of 300mm ABOVE floor level. (Order separately from SFP to suit installation type)

- 5) Fit FLOOR PENETRATION UNIT into hole and secure with screws or nails through flange on unit into floor.
- 6) Drill (not necessary on pre-punched FLOOR TRIM PLATES) and fasten FLOOR TRIM PLATE to floor using

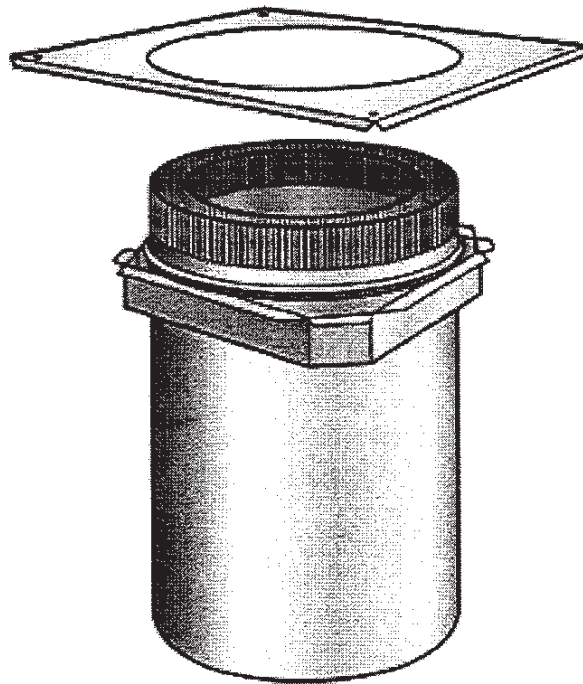


self-tapping screws and spacers. Ensure an even air gap around OUTER CASING of FLOOR PENETRATION UNIT. N.B. 12mm air gap between floor trim plate and floor must be maintained.

7) Remove protective plastic from FLOOR TRIM PLATE (stainless steel plates only)

The FLOOR PENETRATION UNIT is now ready for the fitting of MESH SCREENS or OUTER CASING and the completion of installation of the FLUE KIT.

8) FLOOR PENETRATION EXTENSIONS must be used when fitting MESH SCREENS (AS/NZS 2918:2001 4.6.30



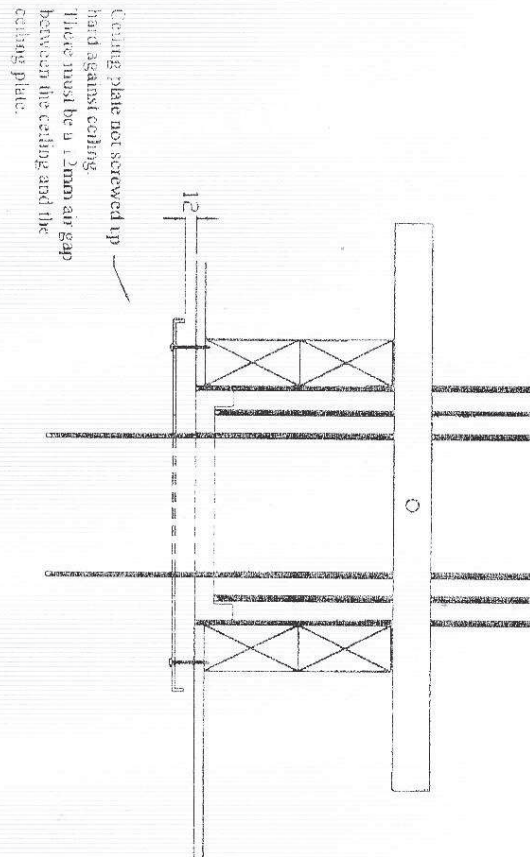


Report 03/927R2

November 18th, 2003

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## NOTE 3: POSITIONING LINERS AND CEILING PLATE





## Safety Opinion Report for #2074 Flue Kit

 **APPLIED  
RESEARCH**  
SERVICES LIMITED  
(SUBJECT TO DEED OF COMPANY ARRANGEMENT)

P.O. Box 687, NELSON,  
NEW ZEALAND

PHONE (03) 547 7347  
FAX (03) 547 2909  
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WEB: [www.appliedresearch.co.nz](http://www.appliedresearch.co.nz)

### Variations in the Double Shielded Flue Kit #2023- Flue Kit #2074 Safety Opinion

**Customer:** Davin Industries Limited  
PO Box 24-015  
Bromley  
CHRISTCHURCH 8642

Report 04/969R1

February 2004



**DAVIN**

Flue Component Catalogue



P.O. Box 687, NELSON,  
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EMAIL: [info@appliedresearch.co.nz](mailto:info@appliedresearch.co.nz)  
WEB: [www.appliedresearch.co.nz](http://www.appliedresearch.co.nz)

Report 04/969R1

February 12<sup>th</sup>, 2004

Page 1/2

Customer: Davin Industries Ltd  
P.O. Box 24-015  
Bromley  
CHRISTCHURCH 8642

P808/1

Attention: Andrew Smith

### Variations in the Double Shielded Flue Kit #2023 - Flue Kit #2074 Safety Opinion

#### 1.0 Revision Details

This report replaces report 04/969. The manufacturer's information has been updated to include the correct standard (AS/NZS2918:2001) and some minor re-formatting of the manufacturer's information has been completed. Re-formatting of this report was completed.

#### 2.0 Opinion

The manufacturer has asked for our opinion on the likely safety performance of the Davin Industries Double Shielded Flue Kit #2074.

Flue Kit #2023 has been fully tested by us and reported in 03/927. Construction details for flue kit #2074 are identical to flue kit #2023 in the ceiling and roof penetration areas. There is a slight difference in the construction of the flue kit above the roof line - it is our opinion that the Davin Flue Kit #2074 will have similar operating characteristics to flue kit #2023, and report 03/927 will apply to both flue kits.

This report relates only to the product sample tested. Any modifications to the product may invalidate the compliance results.


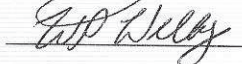
The original report was prepared by C.J.Mildon and Approved by C.J.Mildon and released on 12 December 2004.

#### This revision:

Prepared by: R. Kay

Approved by: W.S. Webley

Release Date:

  
  
20-5-10

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Report 04/969R1

February 12<sup>th</sup>, 2004

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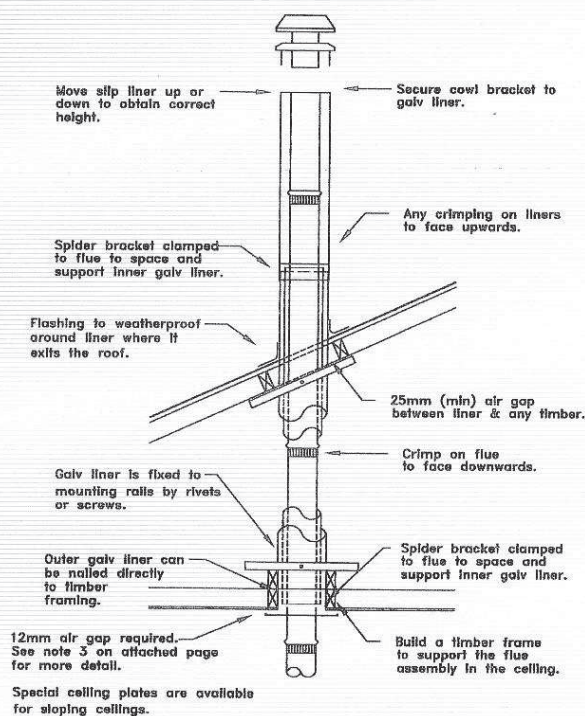
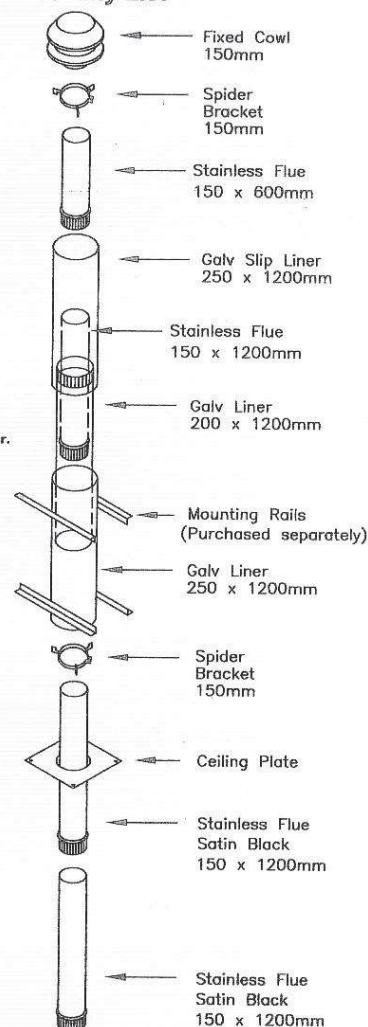
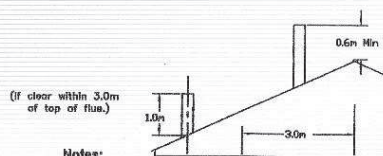
**Appendix 1 Information Supplied by the Manufacturer**

## 150mm Free Standing Flue Kit Satin Black, 4.2 Metres

(Kit Code 2074)

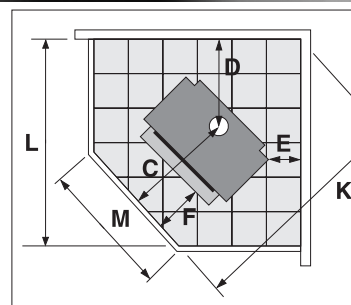
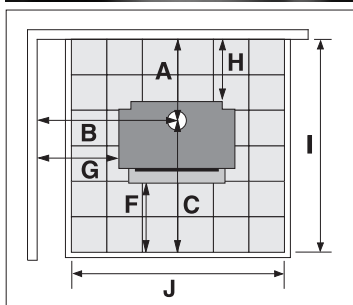
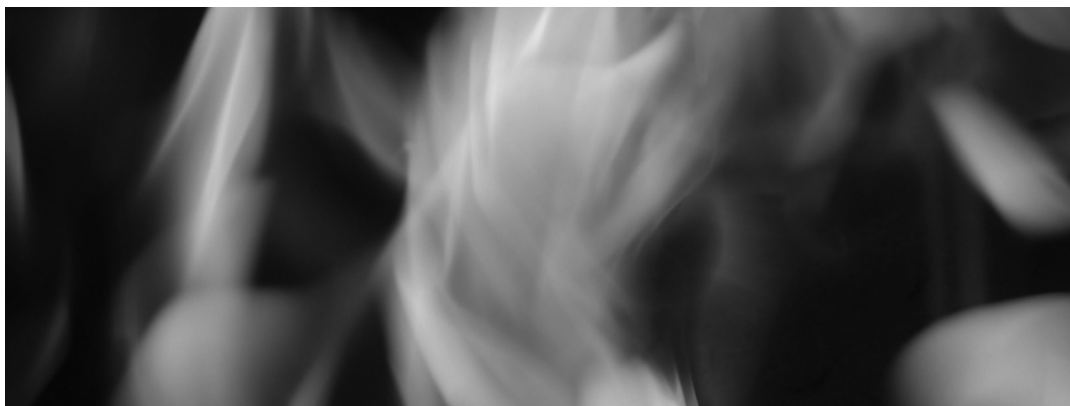
Manufactured by Davin Industries Limited.

This flue kit must be installed by a suitably qualified tradesperson or solid fuel heater installer and complies with AS/NZS 2918:2001. This kit may require additional components to complete the installation.

**Roof & Ceiling Installation****Assembly List****Minimum Height of Flue System Exit (excluding cowl)****Notes:**

- ① Refer to your heater manufacturers recommendations for flue heights.
- ② Depending on local circumstances, taller chimneys may be required for satisfactory performance. Check with your local building authority.

## Wood Fire Installation & Owner's Operation Manual



# metrofires

## Freestanding Wood Fires

Important information.....	2	Optional wetbacks.....	9
Assembling your Metro fire.....	2	Getting to know your Metro fire.....	10
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Flue installation.....	5	Cleaning and maintenance .....	11
Wetback installation .....	6	Troubleshooting .....	12
Clearances and specifications .....	7	Metro Fires warranty .....	13
Important operation information .....	8	Replacement parts .....	14-15
Where to install a Metro fire in your home.....	9	Heating accessories.....	16



## **⚠ WARNING! Important Information**

- **WE HIGHLY RECOMMEND YOU READ THIS ENTIRE MANUAL AS INCORRECT OPERATION, MISUSE AND/OR LACK OF MAINTENANCE WILL VOID THE WARRANTY**
- The appliance and flue-system shall be installed in accordance with AS/NZS2918 and the appropriate requirements of the relevant building code or codes
- Any modification of the appliance that has not been approved in writing by the testing authority is considered to be in breach of the approval granted for compliance with AS/NZS4013 and will void the warranty
- The appliance must be installed correctly. We recommend a competent and suitably qualified NZHHA installer

## **⚠ CAUTION! Important Information**

- Mixing of appliance or flue-system components from different sources or modifying the dimensional specification or components may result in hazardous conditions. Where such action is considered, the manufacturer should be consulted in the first instance
- Do not install a Metro fire if there is any sign of visible damage to the product
- This appliance must be regularly maintained.
- Use authorised Metro replacement parts only. The use of unauthorised parts may void the warranty
- This manual MUST be left with the home owner

All Metro wood fires comply with AS/NZS 2918 when installed in accordance with this manual. Please ensure you are fully conversant with the relevant standard and the contents of this manual. Correct installation is critical to the safe operation and performance of this wood fire.

### **Please take particular note of the following:**

- It is recommended that Metro fires be installed with a Metro ECO flue system which has been developed to enhance the performance of Metro wood fires. Any alternative flue system must have a minimum flue pipe length of 4.2 metres of 150mm diameter flue pipe and have been tested to AS/NZS 2918 with a 12mm spaced ceiling plate of no less than 345mm square
- The 150mm active flue pipe must be fully encased from the ceiling to the underside of the flashing cone at the top of the flue system, (i.e. there must not be any 150mm flue pipe exposed)

- All flue pipe joints must be sealed and riveted. The bottom of the flue pipe in particular MUST be fully sealed into the flue outlet of the Metro fire
- In New Zealand, the Metro fire must be bolted through the floor protector into the floor to comply with the seismic restraint provisions of AS/NZS 2918.
- All Metro's are extremely heavy, varying in weight from 75kgs up to 185kgs. During the installation process do not lift the appliance by yourself, and take care not to damage the panel coating
- Please take care when lifting the Metro fire into place onto the hearth or floor protector as point loading may break tiles and/or scratch surfaces.

## **Assembling your Metro wood fire**

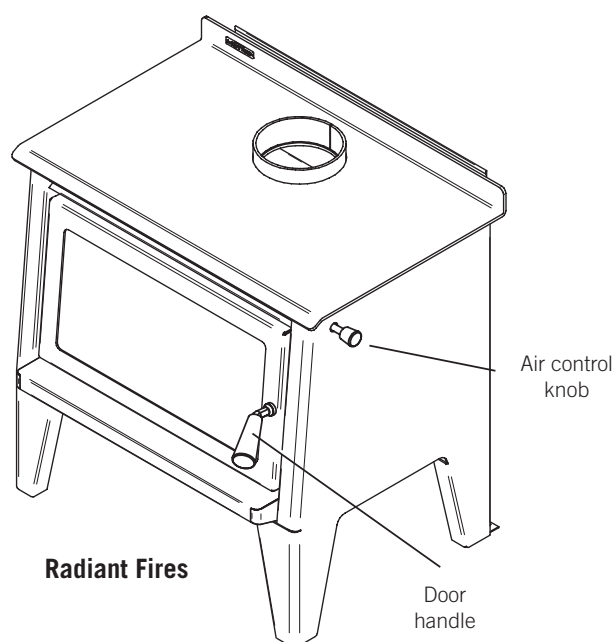
*Please note: You should only assemble this wood fire if you are suitably experienced in wood fire assembly and installation. The Metro carton shows the model Metro you are about to install, enabling you to select the appropriate model's assembly instructions.*

All Metro wood fires are packed in a single heavy-duty carton, and tek screwed to a wooden pallet. Having removed the packaging and located this manual, familiarise yourself with the illustrations on pages 2 & 3, and proceed as follows.

### **Metro radiant fires**

These Metro's are supplied virtually fully assembled. Packed inside the firebox you will find bricks in a cardboard wrapper, a door handle and air control knob.

- Remove the two tek screws located at the base of each rear leg which secure the Metro to the wooden pallet, and carefully 'walk' the Metro off the pallet
- Open the door fully and fit the side bricks to each side of the firebox. Location lugs are fitted to the base and rear wall of the firebox to retain the side bricks in position. Refer to Diagram 2
- Attach the door handle to the door latch assembly by screwing it on clockwise
- Attach the air control knob by screwing it on clockwise.



# Assembling your Metro wood fire

*Please note: You should only assemble this wood fire if you are suitably experienced in wood fire assembly and installation.*

## Metro pedestal and base model fires

To eliminate freight damage, the pedestal base has been packaged inside the firebox. To safely assemble your Metro, please proceed as follows:

- Lift off the top grill (convection models only) and place somewhere safe. Be careful not to chip the enamel coating or damage paint
- Open the door 45 degrees and lift the door off the hinge and place somewhere safe. Be careful not to damage the finish
- Remove the pedestal packed in a cardboard wrap
- Remove, rotate and re-fix the mount plate to the pedestal.

*Note: The pedestal mount plate is fixed to the back of the pedestal base with 4x screws. This mounting plate must be removed, rotated and re-fixed to the pedestal as detailed on page 4 in diagrams 3 and 3A. The return fold must face back the opposite way to create the mount plate and fixing points for seismic restraint of the wood fire.*

- Remove the pedestal heat shield

*Note: For some models the pedestal heat shield may be taped to the rear heat shield. The ECO Tiny Ped's pedestal heat shield is pre-fitted.*

- Remove the side bricks, door handle and the bolt bag
- Remove the 2 tek screws at the base of the inside of the firebox that fix the wood fire to the pallet.

It is recommended that 2 people work together with the next step:

- Grab the underneath top of the firebox door opening with one hand, holding the flue spigot with the other, slowly lift the front of the wood fire all the way back and rest the wood fire on its rear heat shield on the floor. Remove the packaging pallet.
- Fit the pedestal heat shield over the 4 bolts as shown in Diagram 1, with the open edge facing the front of the Metro (up)
- Position the pedestal with its front facing over the 4 bolts and fit the washers and nuts supplied, check to ensure the pedestal is correctly aligned and securely tighten the nuts.

It is recommended that 2 people work together with the next step:

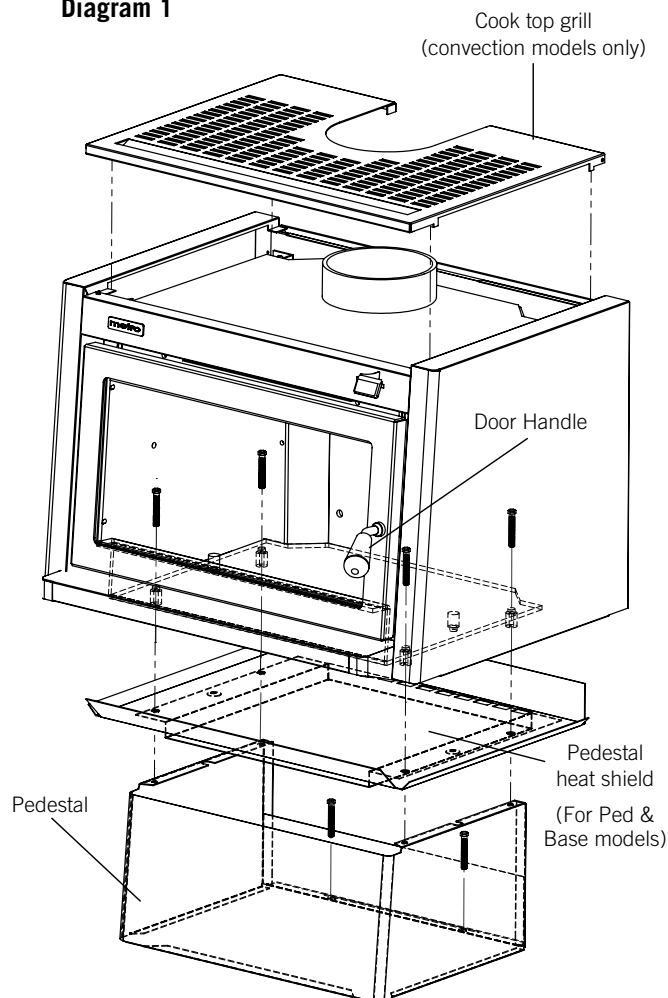
- Grab the flue spigot with one hand and the other hand underneath the top of the firebox door opening, lift upwards standing the wood fire onto its pedestal
- Fit the side bricks to each side of the fire box. Location lugs are fitted to the base and rear wall of the firebox to retain the side bricks in position. Refer to Diagram 2. (Classic Rad also features two side rear bricks).
- Re-fit the door and top grill (Convection models only)

## All Metro models

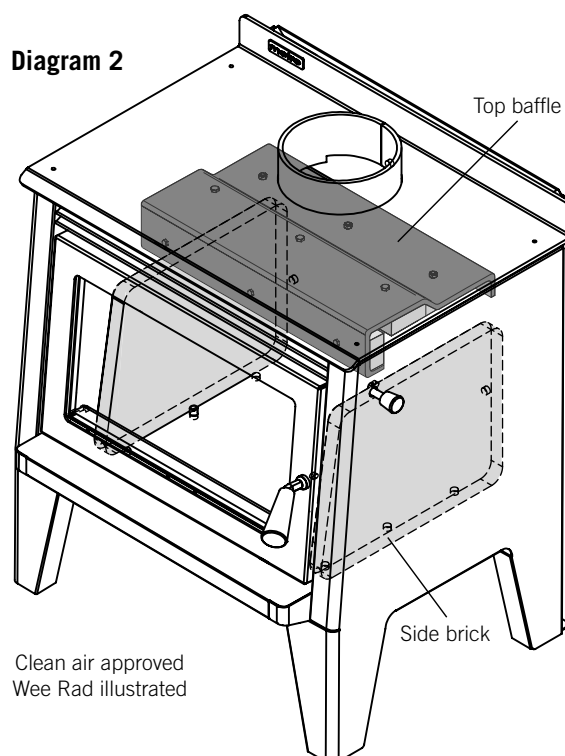
Check to ensure the top baffle is in its correct position in the top chamber of the firebox. It should be resting on four support lugs (two on each side of the firebox). The baffle must be hard back against the rear of the firebox with the "promet extension" (white board) or return front steel edge of the baffle facing forward as illustrated in Diagram 2.

*Note: Some models feature a two-piece top baffle.*

**Diagram 1**



**Diagram 2**





## Floor protector size, construction and fitting

Pioneer manufacture an extensive range of Pioneer 'Ash Floor Protectors' which comply with the minimum floor protector requirements of AS/NZS 2918, and can be installed with any freestanding Metro wood fire. Metro freestanding wood fires do not require an insulated floor protector as they comply with the minimum floor protector requirements of AS/NZS 2918. These minimum floor protector requirements are;

- They must be of adequate size to give appropriate wall, rear and front clearances/projections as detailed below and in the chart illustrated on page 7. Note;
- The floor protector must extend 200mm horizontally to the rear and each side directly below the door opening, and 300mm forward of the door opening
- The upper surface of the floor protector must be made of non-combustible material.

A suitable floor protector for a Metro freestanding wood fire is therefore any non-combustible material which could include;

- Ceramic tiles with grouted joints fixed directly to a hard base over timber flooring
- A sheet of toughened glass, panel steel etc. laid directly onto a wooden or other combustible floor.

### Metro radiant fires

Lift the Metro fire onto the floor protector and using a suitable measuring device, ensure that the minimum wall clearances and front floor protector projections as detailed in the chart on page 7 are met or exceeded. Once the Metro's location on the floor protector is established and if the installation is within New Zealand, seismic restraint to comply with AS/NZS 2918, 3.8 is required.

*Note: The anchors must pass through the floor protector and securely anchor the Metro to the floor.*

### Metro pedestal and base model fires

Prior to lifting the Metro fire onto the floor protector, ensure you have removed, rotated and re-assembled the mount plate from the back of the pedestal base as detailed in diagrams 3 & 3A above. This rear panel must be rotated with the return fold facing back the opposite way to create the mount plate and fixing points for seismic restraint of the wood fire.

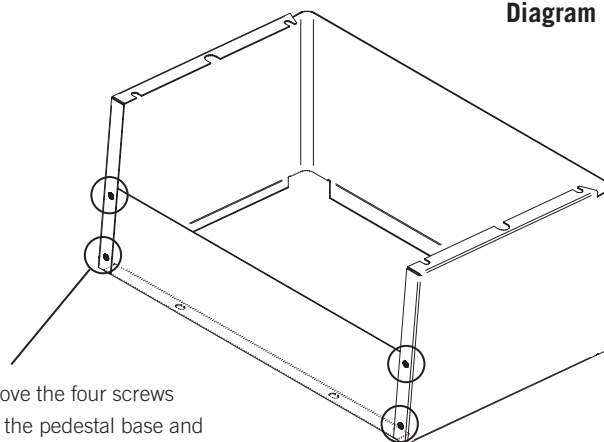
Lift the Metro fire onto the floor protector and using a suitable measuring device, ensure that the minimum wall clearances and front floor protector projections as detailed in the chart on page 7 are met or exceeded.

Once the location of the fire is established, you can then secure the Metro through the floor protector into the floor using the two seismic restraint holes in the rear edge of the mount plate.

*Note: The anchors must pass through the floor protector and securely anchor the Metro to the floor.*

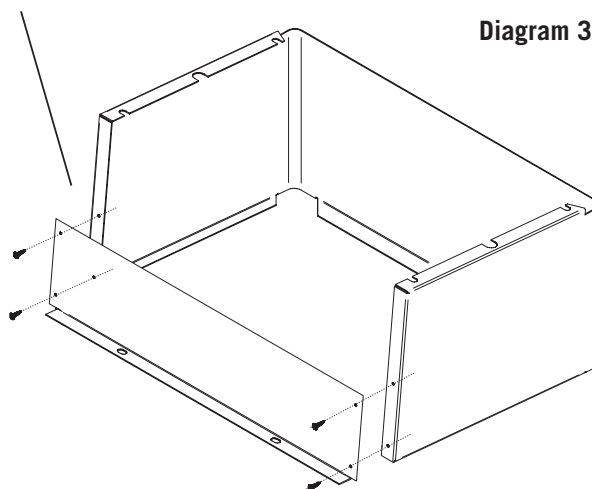
### Preparing the mount plate

Diagram 3

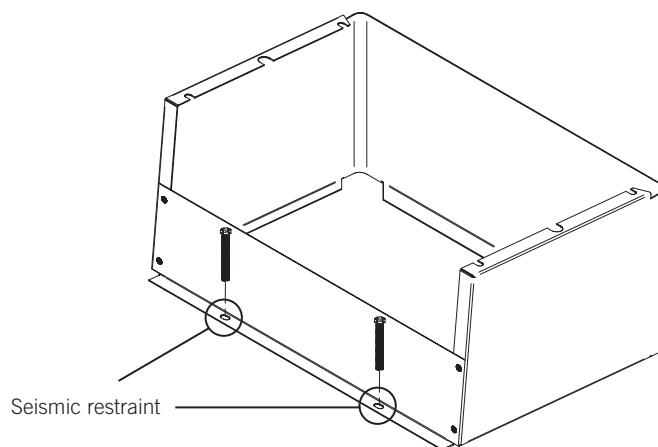


Remove the four screws from the pedestal base and rotate the mount plate so the return fold faces back the other way. Refix in place.

Diagram 3A



### Correct mount plate position



Seismic restraint

## Flue installation

It is recommended that all Metro freestanding wood fires be installed with the energy efficient ECO Flue System which comes complete with a detailed installation manual. This installation manual must be presented with your application to gain consent with your local council.

A copy of the ECO Flue System installation manual can be downloaded from [metrofires.co.nz](http://metrofires.co.nz), or a copy can be obtained from your Metro retailer. Any alternative flue system must comply with and be installed as detailed in AS/NZS 2918, and a copy of the installation manual must also be presented with your application to gain consent with your local council.

All Metro fires require a 150mm diameter flue. Please note:

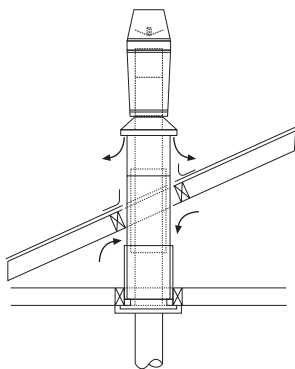
- Metro ECO flue systems must be installed to allow unrestricted air supply from either the ceiling cavity for an ECO Flue Kit, or above the roof line if the ECO Flue Kit and ECO Option Kits are both installed
- The ECO Flue system must be installed into a 'vented' flat ceiling cavity, or have an ECO Option Kit added to the flue system to provide an external air supply

- ECO Flue systems shall be installed in accordance with AS/NZS 2918 and the appropriate requirements of the relevant building codes
- Any modification to this flue system that has not been approved in writing by the testing authority is considered to be in breach of all approvals granted
- The flue systems 150mm diameter flue pipe must terminate a minimum of 4.6 metres above the top surface of the floor protector
- All joints in the flue pipe must be sealed with Pioneer fire cement (or similar) and riveted. The base of the flue pipe must also be sealed into the Metro fires flue outlet. This is critical for optimum operation.

All Metro fires have been tested with a Pioneer double flue shield. For the Metro fire to be installed with minimal clearances as the clearance table on page 7 states, only the Pioneer double flue shield can be used. All other flue shields will invalidate the installation.

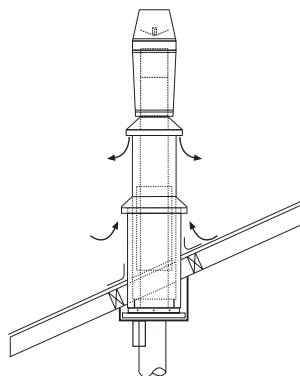
Detailed below are the more common installation methods for installing Metro ECO Flue Systems. To ensure a safe and efficient installation, this flue system must be installed as detailed below by either a registered installer, or someone competent in installing solid fuel appliances.

### Single Storey Installations



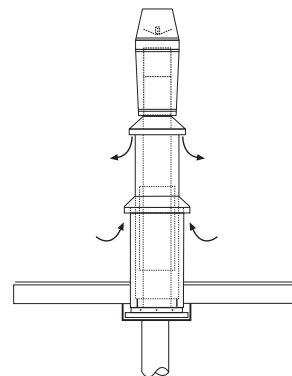
#### Flat Cavity Ceiling

ECO Flue Kit only required as air is drawn into the flue system direct from the ceiling cavity.



#### Sloping Ceiling

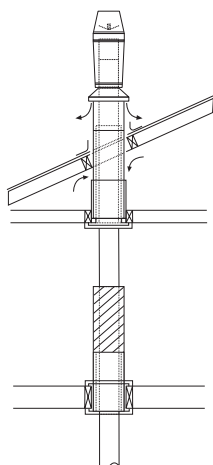
Both the ECO Flue Kit and ECO Option Kit are required to enable air to be drawn from outside the home.



#### Flat Ceiling/Roof

Requires both ECO Flue Kit and ECO Option Kit as per sloping ceiling unless a vented ceiling cavity exists.

### Two Storey Installations



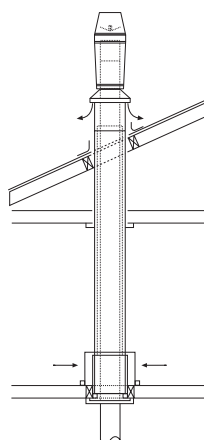
#### 2nd Floor - Exposed Flue pipe

Requires an ECO Flue Kit only with additional lengths of flue pipe.

Additional components below are not supplied by Metrofires but are also required for this installation\*

- A floor penetration kit
- 1x 1200mm long mesh/screen

\*In accordance with AS/NZS 2918



#### 2nd Floor - Enclosed Flue pipe

Requires an ECO Flue Kit only with additional lengths of flue pipe.

Additional components below are not supplied by Metrofires but are also required for this installation\*

- 200mm & 250mm inner/outer combination liners.
- 2nd floor vent cover and an additional ceiling plate with a 250mm diameter hole

\*In accordance with AS/NZS 2918



## Wetback installation

### **WARNING!** Important Information

- **DO NOT** connect to an unvented hot water system
- Install in accordance with AS 3500.4.1 or NZS 4603 and the appropriate requirements of the relevant building code or codes.

### **CAUTION!** Important Information

- Wetbacks must be connected with water before operating the fire and available to the wetback while the fire is in operation
- Wetback systems are not suitable for use in locations where the water supply has lime content. Lime build up inside the coil will eventually block the coil causing the wetback to fail
- Rainwater collection tanks installed lower than the wetback that use a water pump to supply the home, can cause problems if the pump is not operational. In these situations either the type of wetback or a roof header tank should be considered

Wetback	Suitable for models:
2kW Wetback 	<ul style="list-style-type: none"> <li>• ECO Tiny Rad</li> <li>• ECO Tiny Ped</li> </ul>
Side Wetback 	<ul style="list-style-type: none"> <li>• Tiny Rad Woody</li> <li>• Wee Rad Leg &amp; Wee Rad Base</li> <li>• Wee Rad Woody</li> <li>• Wee Ped</li> <li>• Classic Rad</li> </ul>
3kW Wetback 	<ul style="list-style-type: none"> <li>• Xtreme Rad Leg &amp; Xtreme Rad Base</li> <li>• Xtreme Rad Woody</li> <li>• Xtreme Ped</li> <li>• Mega Rad</li> <li>• All LTD rural models</li> </ul>
4kW Wetback 	<ul style="list-style-type: none"> <li>• All LTD rural models</li> </ul>

Water heating is another key feature of your Metro wood fire; nearly all Metro models can be fitted with a wetback, which are designed to give maximum output with minimal effect on the operation of the fire. Only the Pioneer cast jacket wetback system should be fitted to your Metro; alternative wetbacks will void the Metro's emission approvals and may seriously affect the performance of the appliance and void its warranty.

Wetback connections are as follows, taken facing the Metro/wall; the return pipe connection is directly above the inlet connection. Heights for all models are illustrated and detailed opposite on page 7.

- ECO Tiny Ped and ECO Tiny Rad models are 92mm left of the flue centre
- The Tiny Rad Woody model is 184mm left of the flue centre
- Wee Series models are 226mm left of the flue centre
- The Classic Rad model is 184mm left of the flue centre
- All other models are 140mm left of the flue centre

All wetbacks are fitted to the inside rear wall of the firebox, with the exception of the Tiny Rad Woody, clean air Wee Series models and the Classic Rad model. Side wetback position for these models is to the outside left hand firebox wall. Please see the specific installation instructions in the 'Side Wetback' box for installation of a wetback into these appliances.

It is recommended the return pipe has a minimum rise of 1 in 12; performance will reduce as the distance to the storage cylinder increases.

### To fit the wetback proceed as follows

1. Remove the rear panel of the Metro by removing the four pozi drive screws. Remove the two pre-punched knockouts from this panel.
  2. Two further knockouts will be visible on the inner rear heatshield, remove these also. Once these are removed 6mm nuts will be visible through the knockout holes.
  3. Open the Metro's door and locate two bolts securing the pressed washers which are visible on the left hand side of the firebox for both inlet and outlet connection points.
  4. A further three bolt heads will also be visible on the inside rear wall of the firebox; these are threaded into the 6mm thick firebox. Remove all three.
  5. Using the tube of sealant supplied with the wetback, apply a liberal bead of sealant around both the two connection pipes and also the outer circumference of the wetback which will face and press against the inside rear wall of the firebox. This will completely seal the wetback to the inside rear wall of the fire on installation.
- Ensure there is no gap between pipe and rear wall access holes. This cement must fully cure before appliance use.
6. Fit the wetback into the firebox and carefully pass the connection pipes through the holes in the rear of the firebox. Securely attach the wetback using the three bolts previously removed from the rear face of the firebox, fitting them through the slots provided in the wetback's jacket.
  7. The wetback is now ready for connection to the storage cylinder by a registered plumber.

# Metro clearances and specifications (Minimum clearances shown are in mm, with a Pioneer double flue shield fitted)

## Minimum clearances

All Metro wood fires comply with AS/NZS 2918. Minimum clearances shown below are detailed in millimetres, with a Pioneer double flue shield fitted to the appliance. Measurements are taken from the following reference points as illustrated:

- From the nearest combustible wall or surface (A, B, D, E, G, H)
- From the Metro's flue centre (A, B, C, D)
- From the Metro's cabinet/heatshield outermost point (E, F, G, H)
- To the edge of the ash floor protectors non-combustible surface (C, F, I, J, K, L, M)

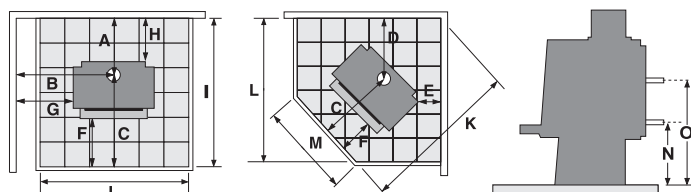
AS/NZS 2918 allows for a reduction in minimum clearances as detailed in Section 3, tables 3.1 and 3.2 of the standard.

Some Metro models have undergone additional testing which allows for reduced clearances. Please see the footnotes below the clearance table for the applicable models.

## Wetback connections (taken facing the Metro/wall)

- ECO Tiny Ped and ECO Tiny Rad models are 92mm left of the flue centre
- The Tiny Rad Woody model is 184mm left of the flue centre
- Wee Series models are 226mm left of the flue centre
- The Classic Rad model is 184mm left of the flue centre
- All other models are 140mm left of the flue centre

Specifications were correct at the time of printing, but may alter and those detailed within should be used only as a guide. If in doubt, please consult your Metro retailer or metrofires.co.nz.



	Minimum installation clearances with a Pioneer double flueshield fitted (mm)													Wetback		Dimensions		
Clean air models	A	B	C	D	E	F	G	H	I	J	K	L	M	N	O	Width	Depth	Height
ECO Tiny Ped	211	433	580	290	25	235	185	60	791	650	990	780	250	280	470	496	492	659
ECO Tiny Rad	230	553	585	419	150	232	300	75	815	650	1180	910	250	280	470	505	508	667
Tiny Rad Woody	251	568	580	382	110	232	310	100	831	650	1120	870	250	365	555	515	498	758
Wee Rad - Leg <sup>1</sup>	251	568	580	456	150	232	260	100	831	825	1225	1016	425	295	485	615	501	688
Wee Rad - Base	271	678	580	486	180	232	370	120	851	825	1270	1048	425	295	485	615	501	691
Wee Rad - Woody	271	708	580	506	200	232	400	120	851	825	1295	1066	425	365	555	615	501	758
Wee Ped <sup>2</sup>	263	651	580	473	170	230	350	110	843	825	1250	1034	425	295	485	602	503	665
Classic Rad <sup>3</sup>	257	695	780	500	220	229	430	100	1037	728	1490	1170	328	393	583	530	708	680
Xtreme Ped	251	624	630	442	110	226	280	100	881	907	1260	1070	507	312	502	688	554	707
Xtreme Rad - Leg	251	650	630	458	100	227	280	100	881	907	1280	1084	507	312	502	740	554	743
Xtreme Rad - Base	251	650	630	458	100	227	280	100	881	907	1280	1084	507	312	502	740	554	743
Xtreme Rad - Woody	251	680	630	478	120	227	310	100	881	907	1306	1103	507	382	572	740	554	813
Mega Rad	285	720	728	497	100	224	300	130	1013	1006	1435	1229	606	300	490	840	659	744
LTD rural models	A	B	C	D	E	F	G	H	I	J	K	L	M	N	O	Width	Depth	Height
LTD Wee Rad - Leg	251	548	580	426	120	232	240	100	831	825	1185	989	425	295	485	615	501	688
LTD Wee Rad - Base	251	658	580	486	180	232	350	100	831	825	1270	1048	425	300	490	615	501	691
LTD Wee Rad - Woody	271	708	580	506	200	232	400	120	851	825	1295	1066	425	365	555	615	501	758
LTD Xtreme Rad - Leg	251	650	630	458	100	227	280	100	881	907	1280	1084	507	350	540	740	554	743
LTD Xtreme Rad - Base	251	650	630	458	100	227	280	100	881	907	1280	1084	507	350	540	740	554	743
LTD Xtreme Rad - Woody	251	680	630	478	120	227	310	100	881	907	1306	1103	507	420	610	740	554	813
LTD Mega Rad	285	720	728	497	100	224	300	130	1013	1006	1435	1229	606	300	490	840	659	744

*The Wee Rad installed with a Pioneer double flue shield with the Wee Rad corner wing shields fitted allows for reduced clearances as follows:*

<sup>1</sup> Wee Rad - Leg corner clearance (E) can be reduced to 120mm. This in turn also reduces clearances (D) to 426mm, (K) to 1185mm and (L) to 987mm. When fitting the corner wing shields, the Wee Rad - Leg itself must be installed to a corner clearance (E) of 120mm. The corner wing shields are then fitted which gives a wall to shield corner clearance of 100mm.

*The following models installed with a Pioneer double flue shield with the side extensions fitted allows for reduced clearances as follows:*

<sup>2</sup> Wee Ped corner clearance (E) can be reduced to 115mm. This in turn also reduces clearances (D) to 418mm, (K) to 1170mm and (L) to 978mm.

<sup>3</sup> Classic Rad corner clearance (E) can be reduced to 180mm. This in turn also reduces clearances (D) to 460mm, (K) to 1435mm and (L) to 1131mm.



## **WARNING!** Important Information

### • **WE HIGHLY RECOMMEND YOU READ THIS ENTIRE MANUAL AS INCORRECT OPERATION, MISUSE AND/OR LACK OF MAINTENANCE WILL VOID THE WARRANTY**

- Any modification of the appliance that has not been approved in writing by the testing authority is considered as breaching AS/NZS 4013 and will void the warranty
- Do not use flammable liquids or aerosols in the vicinity of this appliance when it is operating
- Never operate your Metro with the top grill removed
- Do not dry clothes on or near this appliance
- Do not use flammable liquids or aerosols to start or rekindle the fire OR store fuel within the Metro's specified installation clearances
- Never operate your Metro with the door ajar, except on initial start up
- Open the air control fully before opening the Metro's door.

## **CAUTION!** Important Information

- This appliance should be maintained & operated at all times in accordance with this instruction manual
- This appliance should not be operated with cracked door glass, over worn, faulty or missing door seals
- Do not use driftwood, treated or unseasoned (wet) fuel, the use of most types of preservative treated wood as fuel can be hazardous and will damage your appliance
- Burning unseasoned (wet) fuel or incorrect operation on extended low burn cycles will cause excessive creosote to form. Creosote is very corrosive and excessive buildups will result in the flue pipe, flue spigot and upper burn chamber failing. Failure of the appliance and/or flue system due to creosote damage is not covered under warranty. The formation of such is not an appliance issue it is a fuel and operational issue
- This appliance must be regularly maintained and replacement parts must be authorised Metro parts only
- Do not empty ash into a combustible container.

## Congratulations on the purchase of your Metro wood fire

This slow combustion appliance is designed to give you many years of warmth and service, subject to the following key factors. These key factors, if not adhered to are the major causes of unsafe installation, poor performance and flue blockages and potential product failure.

1. Your Metro wood fire must be installed correctly. Metro recommend a competent and suitably qualified NZHHA installer.
2. The only fuel to be used in this appliance shall be wood that meets the following criteria.
  - Less than 25% moisture content
  - Has not been treated with preservatives or impregnated with chemicals or glue,
  - Is not chipboard, particle board, or laminated board,
  - Is not painted, stained or oiled
  - Is not driftwood or other salt impregnated wood
3. The appliance shall be operated at all times in accordance with the "Installation and Operating Instructions" supplied with each appliance.
4. It is preferable that Metro wood fires should be installed with a Metro ECO Flue System.
5. Coal must not be used as a fuel.

Please also note the following important points:

- In New Zealand a building consent is required from your local building authority. The homeowner is responsible for obtaining this consent
- As correct installation is critical to the performance and safe operation of your Metro, it is recommended your Metro be installed by a NZHHA registered installer or a person suitably qualified in the installation of wood fires. Your Metro retailer will be able to arrange professional installation for you
- During the very first fire your Metro will give off an odour and fumes as the firebox paint cures. Do not be alarmed; open all windows and externally opening doors in that room and close any internally opening doors. This curing process will last for approximately one hour and is likely to happen this one time. The fresh paint finish on your wood

fire needs to be cured to preserve its quality. Burn only small fires at a medium burn rate for the first few hours of operation.

- Properly seasoned (dry) timber is necessary for the Metro to operate efficiently; firewood that contains a high moisture content will result in flue pipe blockages, reduce heat output and create other issues.

*Note: Once split, Softwood usually takes 12 months to season - Hardwood can take up to 24 months to season - Wood must be stored in a location that enables air circulation. Unseasoned wood stored in a closed woodshed without air circulation will still be unseasoned 12 months later.*

- It is critical that the fire not be operated with over worn, faulty or missing door seals. Door seals will harden over time and become over-worn (3-4 year's) this will cause air to leak into the fire, causing the appliance to 'over fire'
- It is critical that the fire not be operated with over worn, faulty or missing bricks, baffle plate, promet extension (white board on the baffle plate)
- It is critical that the fire not be operated with cracked or broken door glass.

Please note, the above 3 points require regular inspection/maintenance (every time the ash bed is cleaned out, generally 3-5 times a season) and if not maintained will void the firebox warranty. A glowing firebox or lower fluepipe is just one sign you are over firing your appliance. Please ensure you keep your proof of purchase/receipt on any parts you purchase.

- For optimum performance fuel must be loaded so the logs lay "front to rear" in preference to laying across the width of the firebox. Spaces should be left between the logs to enable oxygen to get to as much of the surface of the fuel as possible
- A small hot fire loaded frequently is more efficient than a large fire burning on a low setting
- Your Metro is covered by a full unconditional 12 month warranty on replacement parts, and a 10 year firebox warranty.

## Where to install a Metro wood fire in your home

Wood fires are usually installed in the main living area, which is the section of the home that is usually kept the warmest, being the area in the home most frequently occupied. However, before deciding on the best location for your Metro wood fire you may wish to consider:

- Water heating. If you are intending to have a wetback it is important that the wood fire is as close as practically possible to the water storage cylinder
- Split level homes are best heated when the wood fire is installed on the lower level, as the heated air will rise to the higher levels
- Building construction is another consideration. Specified clearances from walls, curtains etc must be maintained and you need to ensure no structural beams or internal gutters etc are directly above your preferred site. If you have a two storey dwelling you need to consider the second storey to ensure you don't have the flue directly outside a second storey window.

Generally, you can install your Metro in your home anywhere that suits you; Pioneer offer various fan systems to transfer heat to other sections of the home that are not heated sufficiently. It is necessary if using a fan system that the Metro you have purchased has sufficient output to heat the total area you wish to heat. Your Metro retailer or installer will be able to advise if you are uncertain.

## Optional wetbacks

Water heating is another key feature of your Metro wood fire; nearly all Metro models can be fitted with a wetback, which are designed to give maximum output with minimal effect on the operation of the fire. Only the Pioneer cast jacket wetback system should be fitted to your Metro; alternative wetbacks will void the Metro's emission approvals and may seriously affect the performance of the appliance and void its warranty.

Other considerations are:

- Distance from your Metro to the storage cylinder will affect the amount of hot water produced
- Your climate & the manner in which you will 'fire' your Metro will determine the amount of hot water produced.

*Note: Wetbacks are not suitable for use in locations where the water supply has lime content. Lime build up inside the coil will eventually block the coil causing the wetback to fail.*

### Cost Savings

Wetbacks can enable substantial power savings, dependent on the climate in the area in which you live. If you live in a cold climate you are likely to use your Metro for many months of the year, in which case a Pioneer wetback will reduce or even eliminate your water heating costs over those months. If however you live in a warmer climate and use your Metro for only a few hours a day over the colder months, electricity savings will be considerably less.

### Water Pressure

A common misconception is that you must have a low-pressure system to have a wetback; this is not true. You must have a 'vented' system and high-pressure cylinders are usually not vented. However you can install an 'indirect' cylinder which contains a secondary coil inside the storage cylinder, enabling you to have a wetback while retaining a high-pressure system.

Wetback	Suitable for models:
<b>2kW Wetback</b> 	<ul style="list-style-type: none"> <li>• ECO Tiny Rad</li> <li>• ECO Tiny Ped</li> </ul>
<b>Side Wetback</b> 	<ul style="list-style-type: none"> <li>• Tiny Rad Woody</li> <li>• Wee Rad Leg &amp; Wee Rad Base</li> <li>• Wee Rad Woody</li> <li>• Wee Ped</li> <li>• Classic Rad</li> </ul>
<b>3kW Wetback</b> 	<ul style="list-style-type: none"> <li>• Xtreme Rad Leg &amp; Xtreme Rad Base</li> <li>• Xtreme Rad Woody</li> <li>• Xtreme Ped</li> <li>• Mega Rad</li> <li>• All LTD rural models</li> </ul>
<b>4kW Wetback</b> 	<ul style="list-style-type: none"> <li>• All LTD rural models</li> </ul>

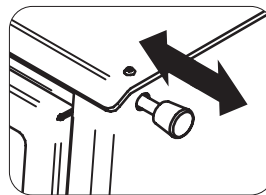


## Getting to know your Metro wood fire

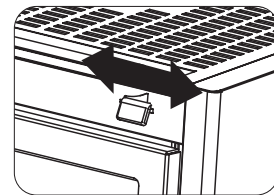
Operating your Metro fire is simple and you will quickly learn how to get the best from it. First take a minute to familiarise yourself with your new Metro.

- Raise the door handle anti-clockwise until the latch releases, and then slowly pull the door open. You will note that if you let the door go before it is at 90° to the appliance, it will fall closed. This is a safety feature that ensures the door cannot fall open if it is not latched securely. For the door to remain open, you must open it fully
- There is a single air control making your Metro fire easy to adjust. This control moves from left to right, which is 'low to high'.

All Metro radiant fires have an air control handle located at the upper right hand side of the appliance. Simply pull out to increase burn rate or push in to reduce burn rate.



Radiant fires air control



All other fires air control

All other Metro fires have an air control knob located on the upper front panel of the appliance.

Slide this control knob gently from right to left until you reach a stop. This is a pre-set 'low' position. Your Metro fire must not be operated at a lower burn rate than this pre-set low allows.

## Operating your Metro wood fire

If your Metro has only been installed within the past few days, the fire cement seal at the base of the flue will not be fully cured. To ensure the cement sets without blistering it is recommended you burn 2-3 sheets of loosely crumpled newspaper at a time, approximately once every hour over a 6-8 hour period.

During the very first fire your Metro will give off an odour and fumes as the firebox paint cures. Do not be alarmed; open all windows and externally opening doors in that room and close any internally opening doors. The fresh paint finish on your wood fire needs to be cured to preserve its quality and the curing process will last for approximately one hour and is likely to happen this one time.

**IMPORTANT:** Burning a small fire at a medium burn rate for the first few hours of operation will achieve the optimal curing process. Too hot or too cold could present curing issues.

### Start up

Place a quantity of loosely crumpled newspaper on the base of the firebox until it is approximately half full of paper, or place firelighters on the base of the firebox. Add dry kindling and move the air control knob fully to the right, being the 'full open' position.

Light the paper at two or three locations across the front of the door opening and leave the door slightly ajar resting on the latch pin if necessary for a few minutes while the fire establishes. Once the kindling is burning well, open the door and add 2-3 small logs at a time until you have a well-established fire. Usually this will take approximately 30 minutes, during which time the air control should be set on 'high' and the door should be closed, except for the initial few minutes and when fuel is being added.

### Normal operation

Once the fire is well established, regulate the air control to achieve the desired burn rate and heat output. As you move the air control to the right, burn rate, firebox temperature and heat output will increase, if you move the control to the left they will decrease. Please note:

- Always open the air control fully prior to opening the door, then open the door slowly. Every time you refuel, leave the air control on 'high' for a minimum of 20-25 minutes
- When loading logs, place them end-on, 'front to back'; air spaces should be left between the logs to enable oxygen to get to as much of the surface of the fuel as possible

- Never use the door to force wood into the firebox, as this is likely to break the glass.

### Extended burning (rural models only)

It is most important if your Metro is to be refuelled and turned down for an extended period, such as an overnight burn that you operate it correctly:

- The wood used as fuel for extended burning **MUST BE FULLY SEASONED (DRY)**. Once the fuel is loaded, the appliance must be operated on high for a period of at least 20 minutes to drive out residual moisture from the fuel (dry wood is usually 20% water content) and ensure surface area combustion.
- Do not turn the air control down lower than you need to, if you want the Metro to burn overnight, endeavour to obtain an 8 hour burn time, not 12 hours. It will take a few burns to find the correct location of your Metro's air control setting to achieve the length of burn cycle you desire as this setting is affected by several variables including fuel density, flue length and outside wind velocity.
- A smouldering fire over a long time frame is likely to deposit corrosive elements into your system which could be detrimental to your Metro.

### **CAUTION!** Important Information

- If not operated correctly on extended burn cycles, your Metro is likely to incur flue blockages, corrosion of the upper baffle, lower flue pipe and firebox flue spigot. As these are not covered under warranty if they fail through improper use, it is important you operate your Metro correctly.

### Cooking

All Metro's are designed to enable cooking of soups, stews and casseroles etc, and your Metro will easily boil a flat bottom stainless steel kettle. The Radiant Series have a dedicated cooking top enabling large pots to be placed on the cook top, while all other models have a lift-off grill.

*Note: Metro's supplied with a lift-off top grill have this feature to enable the grill to be removed for cleaning if you have a spill. The lift-off top grill must be left on when cooking, because if removed the wall temperatures next to the appliance may become excessive and the top of the firebox is generally too hot to cook on directly.*

## Cleaning and maintenance for your Metro wood fire

Your Metro fire will give you many years of efficient service with minimal maintenance if operated correctly using seasoned fuel. Your Metro fire must be regularly maintained and replacement parts must be authorised Metro fires parts only.

The Metro radiant fires are painted wood fires and coated with 'Pioneer Metallic Black' high temperature paint and will require periodic repainting to keep them looking their best.

All other Metro fires are coated with vitreous enamel. Vitreous enamel is extremely durable and designed to last the life of the appliance. As vitreous enamel is glass, a solid or heavy object dropped or banged against a panel could chip the enamel surface.

All model Metro fires can be cleaned with a soft cloth when the appliance is not in operation.

### Door glass

Providing your fuel is properly seasoned, under normal operating conditions the air-wash design of the Metro's firebox will keep the door glass clear. If the glass requires cleaning you may use either a razor blade scraper or crumpled wetted newspaper dipped in wood ash rubbed over the glass. DO NOT USE SOLVENTS.

If your door glass breaks it must be replaced with 5mm thick ceramic glass which is available from your local Metro retailer.

### Door seals

Over time, usually 3-4 years, the door and glass seals will become hard and cause air to leak into the firebox, causing the appliance to 'over fire'. Your Metro retailer stocks replacement woven fibreglass door and glass seals, which need replacing when they become hard and over worn.

The door of your Metro is easily removed. Hold it in both hands and lift the hinge end of the door up and over the top hinge pin, then lower the door from the bottom hinge pin.

### Side bricks

Hair-line cracks are not uncommon and are a result of the intense heat within the Metro's firebox, coupled with mechanical damage caused by accidental impact when fuel is being loaded. However if the side bricks become cracked to the extent that they start to break up, they must be replaced.

### Door adjustment

Provision is available on both sides of the door for adjustment.

To adjust the hinge end of the door, open the door fully, loosen the top hinge nut and slightly lift the latch end of the door; you will see the hinge assembly move back 1-2mm which will usually be sufficient. Retighten, then repeat by loosening the lower hinge nut, this time applying a slight downwards pressure onto the door to move the lower hinge assembly back a similar distance, then retighten.

The door latch is also adjustable, as the latch pin on the right side of the firebox is fitted through a slot which enables the latch pin to be loosened, moved back and re-tightened.

### Ash removal

Over a period of time ash will build up in the base of the Metro's firebox and require removal. The time this build-up takes depends on the density and cleanliness of your fuel.

To remove the excess ash your Metro should not be operating.

- Open the door, and using a hearth shovel or similar, empty the excess ash directly into a steel or non-combustible container.
- If the ash is not disposed of immediately, be careful where you store it, as the ash can retain heat for many days and become a fire hazard.
- You must leave a bed of ash in the base of the firebox approximately 10mm deep; this insulates the base of the firebox and improves combustion.

### Top baffle

This is a 'sacrificial' wear part of the firebox and should be checked monthly. Usually only the promet (white board) front/underneath section needs to be replaced when it starts to disintegrate.

*Note: Cracks in the promet are not uncommon and have no adverse effect on the operation of your Metro. These cracks are the result of intense heat coupled with expansion and contraction. Burning wood which is not properly seasoned, i.e. 25% moisture content or more, will over time cause the promet to disintegrate and require replacement.*

### Flue systems

Should be checked annually, particularly the bottom end of the lower flue section at its rear lock formed joint. If deterioration is noticed contact your Metro retailer or installer.

The flue pipe should also be swept a minimum of once a year, or as required during the winter season. If smoke enters the room when you open the Metro's door this usually indicates the flue pipe is becoming restricted and needs cleaning. The frequency of flue pipe cleans depends on many factors, with the main variables being:

- The seasoning of the wood. If not properly seasoned you will require frequent flue pipe cleans.
- The density of the wood. Softwoods generally result in more deposits building up in the flue pipe.

To clean the flue pipe of your Metro, proceed as follows:-

- Open the Metro's door fully, reach inside with the palm of your hand face-up and extended, lift the top baffle approximately 20mm, then lift it forward out through the door opening, placing it on a sheet of newspaper you have placed on the front of the floor protector. To prevent jamming, removal and replacement of the top baffle is best performed using both hands.

*Note: Some appliances have a two piece top baffle.*

- Close the door and slide the air control to the left.
- Once on the roof, remove the cowl from the top of flue system and sweep the flue pipe using a 150mm-diameter flue pipe brush as detailed in the instructions provided with the fluebrush.
- Once the flue pipe is clear, clean and refit the cowl. Remove the excess soot which has fallen into the firebox, leaving a layer of ash 10mm deep on the base of the firebox, then refit the top baffle.

*Note: The baffle must be fitted so its rear is touching the back of the firebox; if uncertain refer to page 3 in the installation section at the front of this manual, which shows illustrations of the baffle location.*



## Troubleshooting your Metro wood fire

If your Metro is installed correctly, your fuel is dry and you operate your fire correctly, you will find it to be a pleasure to use. Metro's many years of experience within the wood heating industry has shown that dissatisfaction is mainly due to:

- unseasoned fuel
- faulty installation
- operational error
- or a combination of the above 3 points.

### Correct operation

Modern day wood fires need to be operated hard and fast, more so than low and lazy to ensure the firebox and flue pipe runs hot and efficiently. If the fire and flue pipe is up to temperature it will perform extremely well, the smoke will draw up the flue pipe with ease, and the fire will produce good amounts of heat.

If the fire is operated on low a lot of the time, the door glass will run black, the flue pipe will tend to block up more frequently and the fire will end up smoking into the room when reloading. It's better to have a small fire running hard and fast, rather than a big fire running low and lazy.

The following may be of assistance if you are experiencing any problems with the operation of your Metro Fire.

### Smoke enters the room when the Metro's door is ajar

(possible reasons and solutions)

#### Check flue pipe joins

If the flue pipe joins are not sealed correctly, the flue pipe will not draw as well as it should. The flue pipe join connecting into the flue spigot on top of the Metro is most critical, if this is not sealed correctly, smoke will enter the room when the door is ajar. To check this join is sealed correctly, run a match or lighter flame around the join. If the flame is sucked into the spigot then it is not sealed correctly. This check needs to be done when the fire is not going. Ensure you check the rear of the flue pipe/spigot join, as due to the seam in the flue pipe, this is the most common area for not being sealed correctly.

### Ensure the fuel you are using is correctly seasoned

If you are burning unseasoned fuel (wet), the fire will cause nothing but problems. The Metro won't deliver much heat, it will be lazy, smoke will enter the room when the door is ajar, and the door glass will run black. Unseasoned fuel is the main contributor to excessive creosote deposits which can be corrosive to your appliance and flue system.

### Flue pipe length is too short

Add more flue pipe as the longer the flue system, the better the draw of the flue pipe. Please note, if you did not purchase the Metro ECO Flue System, you will not have the ECO Cowl which increases draw. We highly recommend the Metro ECO Cowl is fitted as this will increase the draw. If you already have an ECO Cowl and smoke is still entering the room, please add another 600mm length of flue pipe.

### Downdraft/Turbulence blockage

If you have checked all of the previous factors and the fire is still smoking into the room, it's possible there may be a down draft issue. Down draft is environmental and can be caused by many variables, and it is purely trial and error to ascertain the cause.

Air turbulence and/or negative air pressure influences around the flue termination can be caused by too close or overhanging trees or natural/artificial ridges etc. Address these where possible or look to extend the flue above the roofline.

Other options may be:

- 'H' Cowl, designed purely for downdraft issues, but if you have an ECO Cowl fitted as standard, you will also need to add another 600mm of flue pipe to compensate as the H Cowl is shorter in length
- The Metro Directional Cowl Top. Converts your ECO Cowl into a Directional ECO Cowl. A simple solution for reducing down draughting and atmospheric issues in troubled areas.

### Air control setting

Ensure the air control setting is on high before opening the door to reload, as this increases the draw up the flue pipe. Open the door slowly.

If your Metro did not smoke, but its starting too and is getting worse:

The flue pipe is in need of a clean. It is recommended that the flue pipe be cleaned every season, however if you are burning the fire on low a lot, or are using unseasoned fuel, flue pipe cleans will be required more frequently.

### Other issues you may experience

#### I can smell smoke in the room after a low burn cycle

The smell is creosote that will be seeping through the flue pipe join or out of the flue spigot onto an external surface, thus creating the smell in your room. The cause will be either unseasoned fuel, fuel mass too large, incorrect operation on low burn cycles or a combination. Creosote is very corrosive and excessive buildups will result in the flue pipe and potentially the flue spigot and upper burn chamber failing. The formation of excessive creosote is not an appliance issue, it is a fuel and operational issue. Failure of flue pipe or firebox due to creosote build up is not covered under warranty as excessive creosote build up is only possible from either unseasoned fuel or incorrect operation.

### The Metro is noisy as it heats up and cools down

There will always be some expansion and contraction noise as the Metro heats and cools. This can usually be reduced by loosening three nuts at the rear of the appliance. To remedy, locate the 25mm deep cavity at the rear of your Metro between the 'rear panel' and the 'inner rear heat shield'. You will see a 6mm nut and two 6mm bolt heads in this cavity. Using a 10mm ring or open ended spanner, loosen all three so they are finger tight only.

On all Metro freestanding fires the air channel that allows the combustion air to enter the fire is fitted to the top underneath of the door opening. It is fitted with two M6 bolts. Slightly loosen both of these bolts.

### The Metro won't turn down as much as it did

The door itself may need readjusting, the hinge and latch is slotted and allows for movement. Loosening the hinge and moving it back a few mm will make the door seal tighter and stop air leaking into the fire. The door and glass seals may be in need of replacing, which is generally required every 3-4 years.

Familiarise yourself with the instructions on page 10 before proceeding with this maintenance.

## Warranty details for your Metro wood fire

Metro wood fires are manufactured in New Zealand, using the highest quality of materials, workmanship and the latest manufacturing techniques, which is why we offer a full 10 year firebox warranty and a 1 year parts warranty for your peace of mind.

### Metro Warranty

(NZ Consumer laws apply to this warranty)

Pioneer Manufacturing Limited (Pioneer) warrants the steel firebox against defective materials and workmanship which would render it unfit for normal domestic use, from the date of purchase by the original consumer, for a period of 10 years.

Components including panel coating, door retainers, door seals, glass, trim, baffle & bricks are warranted for a period of 1 year from the date of original purchase for normal domestic use against defective materials and workmanship.

All associated accessories including, but not limited to, fans, flue systems, flue shields, wetbacks, tool sets, ash pots etc, are covered by a 1 year warranty against defective materials and workmanship.

It is recommended, but not a condition of this warranty, that a full service/inspection of the Metro fire be carried out at the end of each winter season.

### Warranty Conditions

- The Metro fire must be installed, operated and maintained strictly in accordance with the building code and this installation and operation manual
- The Metro fire must be installed and used in a domestic application
- This warranty covers appliance like for like replacement or repair at the manufacturer's discretion but excludes freight, travel, installation, labour and/or any other associated costs
- Pioneer or their agents are not liable for any loss or expense direct or indirect arising from the failure of any part or operation of the appliance
- Operation of this appliance in violation of the warnings in this operation and installation manual will void this warranty
- Your Metro fire must be regularly maintained and we recommended it is also serviced annually. Proof of servicing may be required. If a wood fire is not regularly maintained and serviced, the life span will be reduced. If your Metro wood fire has been neglected, by not being regularly maintained and serviced, warranty may be declined

### **CAUTION!** Important Information

Note: The following 3 points require regular inspection/maintenance (every time the ash bed is cleaned out, generally 3-5 times a season) and if not maintained will void the firebox warranty. Please ensure you keep your proof of purchase/receipt on any parts you buy.

- It is critical the fire not be operated with over worn, faulty or missing door seals. Door seals will harden over time and become over-worn (3-4 year's) and will cause air to leak into the fire, causing the appliance to 'over fire'. Do not operate the fire with cracked, or broken door glass
- It is critical the fire not be operated with over worn, faulty or missing bricks, baffle plate or baffle extension (white board on or under the baffle plate)
- A claim under this warranty should be directed to the retailer who supplied the Metro fire. If this is not possible write directly to the manufacturer stating details of fault, model, serial number of your Metro, dated proof of purchase and name of retailer purchased from.

### Warranty Exclusions

(This manufacturer's warranty does not cover)

- Service calls which are not related to any defect in the product (i.e. operational, installation or fuel issues). The cost of a service call will be charged if the problem is not found to be a product fault
- Defects caused by factors other than normal domestic use or use in accordance with the product's operation manual
- Defects caused through the product being operated in an 'over-fired' manner resulting in sections of the firebox operating excessively hot to the point that sections glow red. (Note – This will result in distortion of the firebox)
- Defects to the product caused by accident, neglect, misuse or act of God
- The cost of repairs carried out by non-authorised repairers or the cost of correcting such unauthorised repairs
- Required maintenance as set out in this manual.

Service under this manufacturer's warranty must be provided by a repairer authorised by Pioneer Manufacturing Ltd. Such service shall be provided during normal business hours.

## **IMPORTANT!** Complete and retain these details at time of purchase:

Purchase Date

Serial Number

Model

Colour

Retailer





## Parts guide for your Metro – Promet, baffles and wetback options

Your Metro wood fire must be regularly maintained and we recommended it is also serviced annually. If a wood fire is not regularly maintained and serviced, the life span will be reduced.

If your Metro wood fire has been neglected, by not being regularly maintained and serviced, with authorised Metro parts replaced as required, your warranty may be declined.

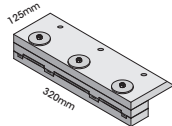
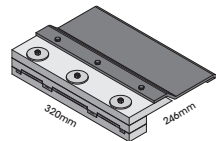

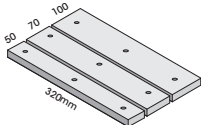
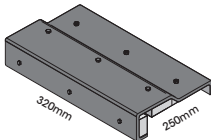

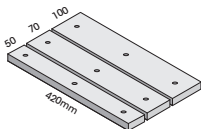
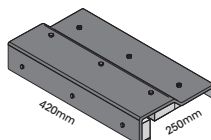

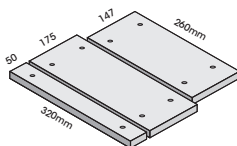
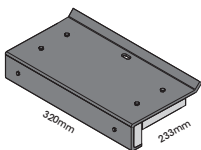
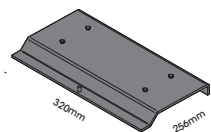

Listed below are the parts and product codes for your Metro wood fire. The promet/baffle should be regularly checked and must always be in place during the operation of your fire.

The baffle should be resting on four support lugs (two on each side of the firebox). It must be hard back against the rear of the firebox with the 'promet extension' (white board) or return front steel edge of the baffle facing forward.

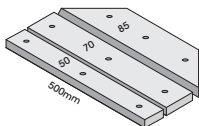
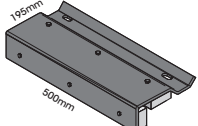
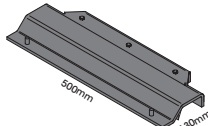

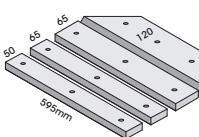
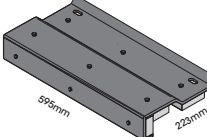
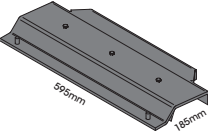

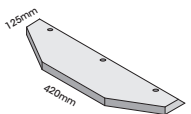
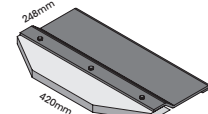

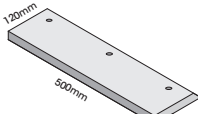
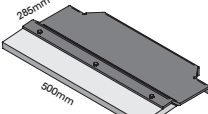

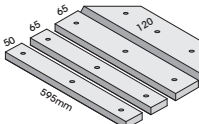
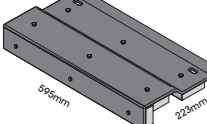
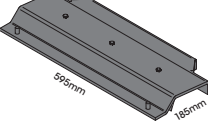

Hairline cracks in the promet extension are not uncommon and will have no adverse effect on the operation and performance of your Metro wood fire. These cracks are the result of intense heat coupled with expansion and contraction and is normal wear and tear.

If the promet extension starts to break up and pieces fall into the firebox it must be replaced.

*Note: Impact damage when loading wood and burning wood which is not properly seasoned, i.e. 25% moisture content or more, will cause the promet to disintegrate and require replacement. Always burn dry well seasoned wood and take care when loading wood into the firebox.*

Model	Type of promet required / Type of steel baffle(s) required			Wetback options
<ul style="list-style-type: none"><li>• Tiny Ped</li><li>• Tiny Rad</li></ul>	<p>Tiny Promet 500-1550</p> 	<p>Tiny Baffle 500-2050</p> 	<p>2kW Wetback 450-0050</p> 	
<ul style="list-style-type: none"><li>• Tiny Rad Woody</li></ul>	<p>Tiny Woody Promet Set 500-2004</p> 	<p>Tiny Woody Baffle 500-2504</p> 	<p>Side Wetback 450-0275</p> 	
<ul style="list-style-type: none"><li>• Wee Rad Base</li><li>• Wee Rad Leg</li><li>• Wee Rad Woody</li><li>• Wee Ped</li></ul>	<p>Wee/R1 Promet Set 500-2005</p> 	<p>Wee/R1 Baffle 500-2505</p> 	<p>Side Wetback 450-0275</p> 	
<ul style="list-style-type: none"><li>• Classic Rad</li></ul>	<p>Classic Rad Promet Set 500-2015</p> 	<p>Classic Rad Front Baffle 500-2520</p> 	<p>Classic Rad Rear Baffle 500-2525</p> 	<p>Side Wetback 450-0275</p> 

## Parts guide for your Metro – Promet, baffles and wetback options

Model	Type of promet required / Type of steel baffle(s) required			Wetback options
<ul style="list-style-type: none"> <li>• Xtreme Rad Base</li> <li>• Xtreme Rad Leg</li> <li>• Xtreme Rad Woody</li> <li>• Xtreme Ped</li> </ul>	Xtreme/R2 Promet Set 500-2010 	Xtreme/R2 Front Baffle 500-2510 	Xtreme/R2 Rear Baffle 500-2515 	3kW Wetback 450-0100 
<ul style="list-style-type: none"> <li>• Mega Rad</li> </ul>	Mega Rad Promet Set 500-2020 	Mega Rad Front Baffle 500-2530 	Mega Rad Rear Baffle 500-2535 	3kW Wetback 450-0100 
<ul style="list-style-type: none"> <li>• LTD Wee Rad Base</li> <li>• LTD Wee Rad Leg</li> <li>• LTD Wee Rad Woody</li> </ul>		LTD Small Promet 500-1700 	LTD Small Baffle 500-2600 	3kW Wetback 450-0100 or 4kW Wetback 450-0150 
<ul style="list-style-type: none"> <li>• LTD Xtreme Rad Base</li> <li>• LTD Xtreme Rad Leg</li> <li>• LTD Xtreme Rad Woody</li> </ul>		LTD Large Promet 500-1850 	LTD Large Baffle 500-2650 	3kW Wetback 450-0100 or 4kW Wetback 450-0150 
<ul style="list-style-type: none"> <li>• LTD Mega Rad</li> </ul>	Mega Rad Promet Set 500-2020 	Mega Rad Front Baffle 500-2530 	Mega Rad Rear Baffle 500-2535 	3kW Wetback 450-0100 or 4kW Wetback 450-0150 

## Metro - Visit us online today [www.metrofires.co.nz](http://www.metrofires.co.nz)

### Metro wood fire specifications

Metro have a Specifications Brochure available which details relevant compliance data for every model. This brochure is updated annually and details the minimum clearances and specifications for all models, which is generally required when applying for a building consent. See your Metro retailer to obtain a copy, or visit [www.metrofires.co.nz](http://www.metrofires.co.nz)

### [metrofires.co.nz](http://metrofires.co.nz)

Visit the Metro website: [metrofires.co.nz](http://metrofires.co.nz) to view Metro's 'video demos' showing the latest in wood fire technology energy saving options. You can view the entire Metro product range, find out where your nearest Metro retailer is located or simply check out the latest specifications, installation requirements and emission and efficiency data for the Metro of your choice.



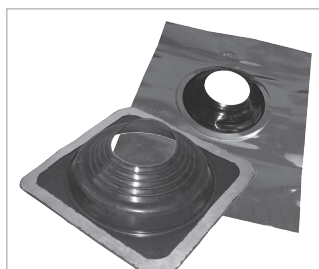
## Pioneer heating accessories

Pioneer/Metro Fires offer a wide range of heating accessories designed to complement your Metro wood fire. The range includes ECO flue systems, floor protectors, wetbacks, heat transfer systems, baffles, bricks and more.

For further details talk to your Metro agency or visit [www.metrofires.co.nz](http://www.metrofires.co.nz)



ECO Flue Systems



Flashrites and Versatiles



Wetbacks



High Temperature Paint



Corner and Wall Floor Protectors



Heat Transfer Systems



Universal Door Seal Kits



Fire Cement And Silicone



Glass Tape



Door Seal Rope



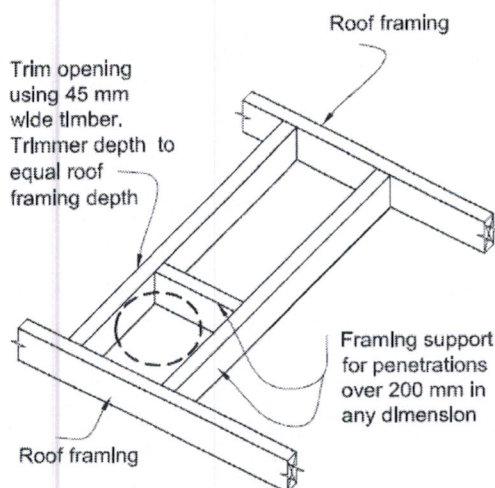
Smoke Detectors



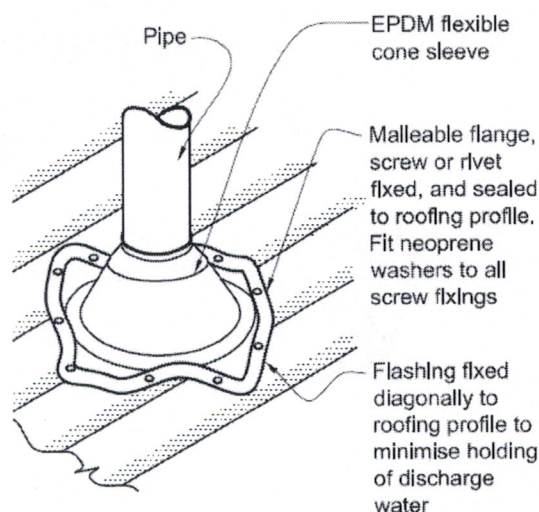
# NZBC E2/AS1

## Roof penetrations through profiled metal

**Figure 21: Penetration support**  
Paragraphs 8.1.7 and 8.4.17



**Figure 53: Flashing for small pipes**  
Paragraphs 8.3.10, 8.4.17, 9.6.8.5 and 9.6.9.6



**NOTE:**

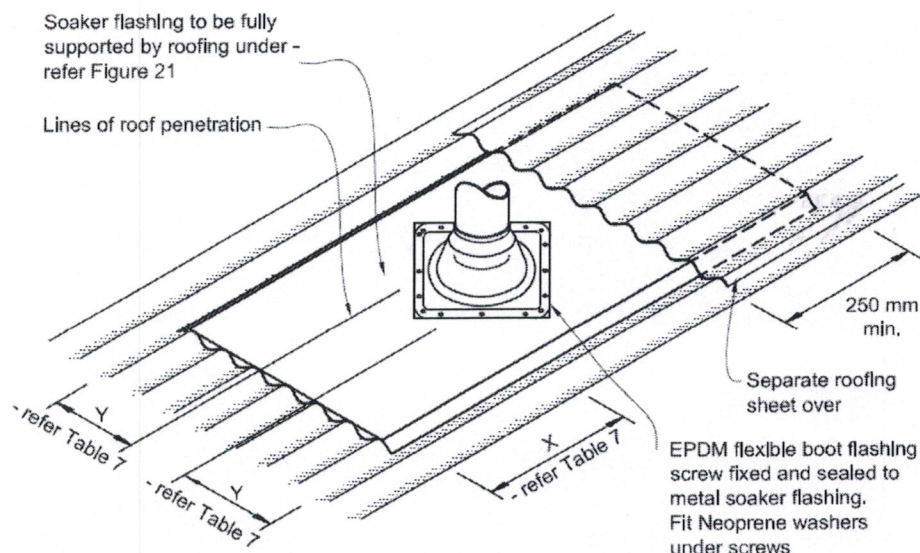
- (1) Max. roof pitch for this flashing 45°, minimum pitch 10° If base of flange covers one or more complete troughs.
- (2) For pipes up to 85 mm diameter.

**Figure 54: Soaker flashing for pipe penetrations**  
Paragraph 8.4.17

- NOTE:** (1) Suitable for pipes from 86 mm to 500 mm diameter.  
(2) Suitable only for roof pitches of 10° or more.

Soaker flashing to be fully supported by roofing under - refer Figure 21

Lines of roof penetration



<b>Table 7: Metal flashings – general dimensions</b> Paragraphs 4.6, 4.6.1.1, 4.6.1.2, 4.6.1.3, 4.6.1.4, 4.6.1.5, 4.6.1.6, 4.6.1.7, 5.1, 6.4, 6.5, 7.1, 7.1.1, 7.1.2, 7.1.3, 9.1.10.2, 9.1.10.4 and 9.4.5.3					
Type	Description	All (1)	Situation 1 (2) minimum mm	Situation 2 (3) minimum mm	Situation 3 (3a) minimum mm
<b>Aprons: general</b>	<i>Transverse flashing over roofing</i>		130 (4)	200 (4)	200 mm
	<i>Parallel flashing over roofing</i>		Two crests, finish in next trough – refer 4.6.1.1b)		

**Situation 1:** Low, Medium, High *wind zones*, where roof pitch  $\geq 10^\circ$  (X or Z values)

**Situation 2:** All roof pitches in Very High *wind zones*,

Low, Medium and High *wind zones* where roof pitch  $\leq 10^\circ$ . (X or Z values)

**Situation 3:** For all roof pitches in Extra High *wind zone*.



# HURUNUI DISTRICT COUNCIL

P.O. Box 13 | Amberley | 7441 | 66 Carters Road | Amberley | 7410  
Phone 03 314-8816 | Fax 03 314-9181 | Email [info@hurunui.govt.nz](mailto:info@hurunui.govt.nz)  
Web [hurunui.govt.nz](http://hurunui.govt.nz) | [facebook.com/HurunuiDistrictCouncil](https://facebook.com/HurunuiDistrictCouncil)  
Skype [hdc\\_customer\\_services](https://www.skype.com/en/customer-services) | [twitter.com/hurunuidc](https://twitter.com/hurunuidc)



## FORM 6 CODE COMPLIANCE CERTIFICATE APPLICATION

Section 92, Building Act 2004

### APPLICATION

Building Consent No : Consent issued by Hurunui District Council

THE OWNER	AGENT – APPLICANT	N/A <input type="checkbox"/> (leave section blank)
Owner's Name :	Agent's Name :	
Contact Person : (if owner is not an individual)	Contact Person :	
Mailing Address :	Mailing or Billing Address	
Postcode :	Postcode :	
Street Address or : Registered Office	Street Address or : Registered Office	
Postcode :	Postcode :	
Mobile Phone :	Mobile Phone :	
Phone :	Phone :	
After Hours Phone :	After Hours Phone :	
Landline number :	Landline number :	
Daytime phone :	Daytime phone :	
Fax number :	Fax number :	
E-mail Address :	E-mail Address :	
Website :	Website :	

Note – The Agent (if appointed) will be the first point of contact for communications with the Council / Building Consent Authority regarding this application / building work and will receive all correspondence including all invoices

The Code Compliance certificate should be sent to : Owner Agent

All building work carried out under the above Building Consent was completed on - Date :

The following evidence of ownership is attached to this application : Certificate of Title  
Sale and Purchase Agreement (only if new purchase)

### SIGNATURE

I request that the Hurunui District Council Building Consent Authority issue a Code Compliance Certificate for this work (under section 95 of the Building Act 2004)

Signature of owner / or agent on behalf of and with the authority of the owner :

Owner Agent Date :

Note : If acting "for and on behalf", please read the following declaration before signing :

**"I hereby declare that I am authorised to act as Agent of the Owner"**



THE PERSONNELWHO CARRIED OUT WORK <u>OTHER THAN</u> RESTRICTED BUILDING WORK	
Name of Builder :	Phone Number :
Postal Address :	
E-mail Address :	
	Registration Number :
Name of Craftsman Plumber :	Phone Number :
Postal Address :	
E-mail Address :	
	Registration Number :
Name of Craftsman Gasfitter :	Phone Number :
Postal Address :	
E-Mail Address :	
	Registration Number :
Name of Registered Drain-layer :	Phone Number :
Postal Address :	
E-mail Address :	
	Registration Number :
Name of Electrician :	Phone Number :
Postal Address :	
E-mail Address :	
	Registration Number :
Name of soild / liquid fuel burner installer :	Phone Number :
Postal Address :	
E-mail Address :	
	Registration Number :
Name of other Contractor / Tradesperson :	Phone Number :
Postal Address :	
E-mail Address :	
	Registration Number :
Add any additional persons on another (separate) sheet.	
ATTACHMENTS	
<p>The following supporting documents are attached to this application :</p> <ul style="list-style-type: none"> <li>Certificates / other documents from the personnel who carried out the work</li> <li>Certificates that relate to the energy work</li> <li>Evidence that Specified Systems are capable of performing to the performance standards set out in the building consent</li> <li>Memoranda from Licensed Building Practitioner(s) stating what Restricted Building Work they carried out or supervised</li> </ul>	

**Notes by applicant:** (Other notes or comments which you as the applicant may wish to add)

RESTRICTED BUILDING WORK			
Did the Building Consent work include any restricted building work      Yes      No If yes, provide the following details of all licensed building practitioners who were involved in the carrying out or supervising the restricted building work			
Licensing Class	Name and address	Licensed building practitioner number (or registration number treated as being licensed under section 291 of the building Act 2004)	Description of particular work carried out or supervised
Foundations			
Carpentry			
Exterior Plasterer			
Brick-layer			
Block-layer			
Roofer			
SPECIFIED SYSTEMS			
Are there specified systems associate with this project?      Yes (as listed below)      No			
The following specified systems are contained on the compliance schedule for the building and, in the opinion of the personnel who installed them, are capable of performing to the performance standards set out in the building consent.			
SS1 Automatic systems for fire suppression SS2 Emergency warning systems SS3/1 Automatic doors SS3/2 Access controlled doors SS3/3 Interfaced fire or smoke doors and / or windows SS4 Emergency lighting systems SS5 Escape route pressurisation systems SS6 Riser Mains SS7 Automatic back flow preventers SS8/1 Passenger carrying lifts SS8/2 Service lifts SS8/3 Escalator and moving walks SS9 Mechanical ventilation or air conditioning systems SS10 Building maintenance units		SS11 Laboratory fume cupboards SS12/1 Audio loops SS12/2 FM radio and infrared beam transmission systems SS13/1 Mechanical smoke control SS13/2 Natural smoke control SS13/3 Smoke curtains SS14/1 Emergency power systems SS14/2 Sign44s for SS1-13 SS15/1 Spoken information intended to facilitate evacuation SS15/2 Final exits SS15/3 Fire separations SS15/4 Signs for facilitating evacuation SS15/5 Smoke separations SS16 Cable cars	

#### Additional Information to Note

1. A final inspection must have been completed prior to this application being sought.
2. The Code Compliance Certificate will be based on the approved building consent documents, so any variations to the original approved plans are required to be documented and approved prior to the work being carried out.
3. A Code Compliance Certificate will not be issued until all of the information required on this form that is relevant to the job is provided to the Council. This includes all names, certificates from personnel who carried out the work, registration numbers, producer statements, or any other required documents



## Required Items for Building Consent No 220205

Proposal: Woodburner - Metro Wee Rad Legs  
Site Address: 8 O'Carrolls Road, Hawarden

Before Council can issue a Code Compliance Certificate, you will need to ensure the following inspections are completed and that you have provided the paperwork requested.

## Inspections Required

- 1 Heating Unit - Solid Fuel
- 1 Total Inspections

## Documentation Required

Application for CCC  
Woodburner installers certificate

Your application for Code Compliance Certificate and all requested documents will be required prior to booking a final inspection.

## How do I book an inspection?

- Please give at least 72 hours notice prior to any inspection
- HDC will make every attempt to book inspections when required. However, this is not always possible - flexibility is often required. Please note that inspections are not available in all areas every day, please check the table below to see when an inspector will be in your area
- When you call to book an inspection, please supply: Your building consent number, site address, type of inspection, contact name and phone number
- To make a booking for inspection, email [building@hurunui.govt.nz](mailto:building@hurunui.govt.nz) or telephone 03 314 8816
- Standard inspections are included in the consent fee.

## Hurunui District Council Building Inspection - days/areas

- |   |                           |
|---|---------------------------|
| - Amberley/Leithfield/Waipara areas:              | Monday - Friday, all days |
| - Hanmer Springs/Waiarau/Culverden/Waikari areas: | Monday, Wednesday, Friday |
| - Omihi/Scargill/Cheviot/Parnassus areas:         | Tuesday & Thursday        |

## What does the inspector require on site?

- The council approved building consent documents must be on site at the time of the inspection
- The work to be inspected must be completed



- Once the inspection is completed, the inspector will email a copy of the site notice to the email address provided

**What happens when the building project is finished?**

On completion of the project, please download and complete the Code Compliance Application (Form 6) and arrange for a final inspection. The Form 6 is an important legal document and indicates that consented building work has been completed in accordance with the consent documents

We look forward to working with you during the construction of your project. Please feel free to contact the Hurunui District Council Building Department to discuss any aspect of your project. Our contact details are Ph: 03 314 8816 or email: [building@hurunui.govt.nz](mailto:building@hurunui.govt.nz).



## 150 mm FLOOR PENETRATION UNIT INSTALLATION INSTRUCTIONS – TESTED HEATER

**WARNING: THIS FLUE KIT HAS BEEN MANUFACTURED IN ACCORDANCE WITH AS/NZS 2918:2001 AND TESTED TO APPENDIX F. TO ENSURE SAFETY THIS FLUE KIT MUST BE INSTALLED AS OUTLINED IN THESE INSTRUCTIONS AND THE APPROPRIATE REQUIREMENTS OF THE RELEVANT BUILDING CODE OR CODES. WOOD FIRE AND FLUE CLEARANCES FROM COMBUSTIBLE WALLS MUST BE IN ACCORDANCE WITH WOOD FIRE MANUFACTURER'S SPECIFICATIONS AND AS/NZS 2918:2001. THESE INSTALLATION INSTRUCTIONS ARE FOR TESTED APPLIANCES ONLY.**

**CAUTION: MIXING FLUE SYSTEM COMPONENTS FROM DIFFERENT SOURCES OR MODIFYING THE DIMENSIONAL SPECIFICATION OF COMPONENTS MAY RESULT IN HAZARDOUS CONDITIONS. WHERE SUCH ACTION IS CONSIDERED, THE MANUFACTURER SHOULD BE CONSULTED IN THE FIRST INSTANCE.**

**CAUTION: IT IS THE RESPONSIBILITY OF THE INSTALLER TO ENSURE THAT THE INSTALLATION OF THIS FLUE KIT COMPLIES WITH AS/NZS 2918:2001, THE APPLIANCE MANUFACTURERS SPECIFICATIONS FOR FLUE PIPE SHIELD AND CEILING PLATE AND THAT THE RELEVANT BUILDING CODES ARE ADHERED TO.**

***Bends and extensions to the length of a flue system are permitted  
(AS/NZS 2918 2001 4.1)***

### 150mm Tested Heater Installations Method

For heaters tested in accordance with AS/NZS 2918:2001 using a SFP type flue kit install as follows:

- 1) With heater located in its proposed position mark a point on the first floor/ceiling that is directly above the centre of heater flue outlet. Check that the heater's location allows the FLOOR PENETRATION UNIT (F.P.U.) to clear all structural floor timbers.
- 2) Cut a 255mm square hole in floor.
- 3) Measure length from surface of floor to ceiling below. Remove OUTER CASING EXTENSION on FLOOR PENETRATION UNIT and adjust length of INNER CASING EXTENSION so that overall length (measured from flange on unit) is 12mm shorter. Secure INNER CASING EXTENSION with 3 Monel rivets.
- 4) Adjust length of OUTER CASING EXTENSION to equal floor penetration thickness and secure with rivets or self-tapping screws.

Note For unprotected flue pipe installations or where MESH SCREENS will be fitted the CASINGS must extend a minimum of 300mm ABOVE floor level. (Order separately from SFP to suit installation type)

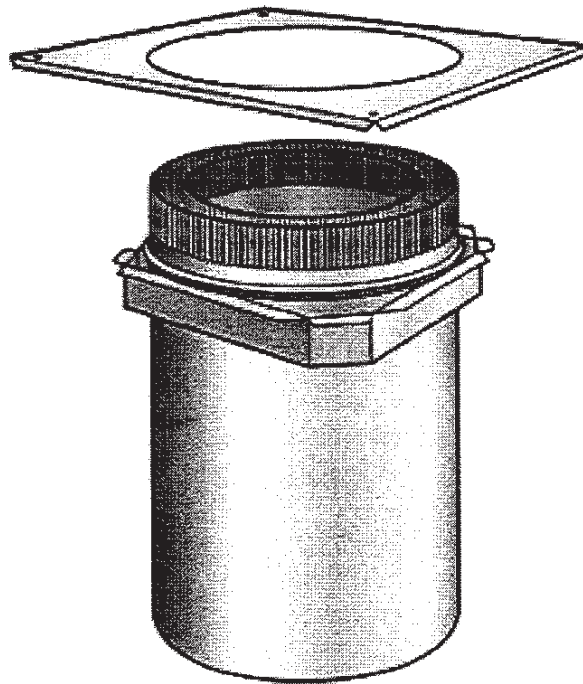
- 5) Fit FLOOR PENETRATION UNIT into hole and secure with screws or nails through flange on unit into floor.
- 6) Drill (not necessary on pre-punched FLOOR TRIM PLATES) and fasten FLOOR TRIM PLATE to floor using

self-tapping screws and spacers. Ensure an even air gap around OUTER CASING of FLOOR PENETRATION UNIT. N.B. 12mm air gap between floor trim plate and floor must be maintained.

7) Remove protective plastic from FLOOR TRIM PLATE (stainless steel plates only)

The FLOOR PENETRATION UNIT is now ready for the fitting of MESH SCREENS or OUTER CASING and the completion of installation of the FLUE KIT.

8) FLOOR PENETRATION EXTENSIONS must be used when fitting MESH SCREENS (AS/NZS 2918:2001 4.6.30



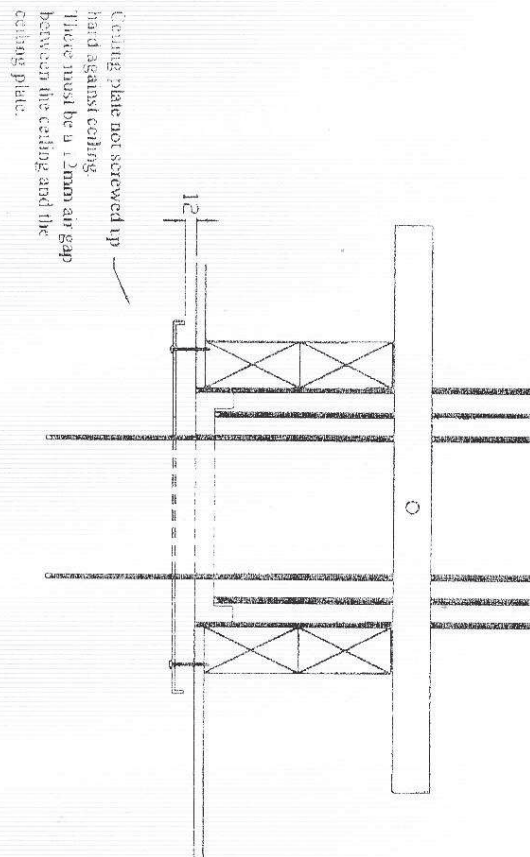


Report 03/927R2

November 18th, 2003

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## NOTE 3: POSITIONING LINERS AND CEILING PLATE





## Safety Opinion Report for #2074 Flue Kit

 **APPLIED  
RESEARCH**  
SERVICES LIMITED  
(SUBJECT TO DEED OF COMPANY ARRANGEMENT)

P.O. Box 687, NELSON,  
NEW ZEALAND

PHONE (03) 547 7347  
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WEB: [www.appliedresearch.co.nz](http://www.appliedresearch.co.nz)

### Variations in the Double Shielded Flue Kit #2023- Flue Kit #2074 Safety Opinion

**Customer:** Davin Industries Limited  
PO Box 24-015  
Bromley  
CHRISTCHURCH 8642

Report 04/969R1

February 2004





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Report 04/969R1

February 12<sup>th</sup>, 2004

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Customer: Davin Industries Ltd  
P.O. Box 24-015  
Bromley  
CHRISTCHURCH 8642

P808/1

Attention: Andrew Smith

## Variations in the Double Shielded Flue Kit #2023 - Flue Kit #2074 Safety Opinion

### 1.0 Revision Details

This report replaces report 04/969. The manufacturer's information has been updated to include the correct standard (AS/NZS2918:2001) and some minor re-formatting of the manufacturer's information has been completed. Re-formatting of this report was completed.

### 2.0 Opinion

The manufacturer has asked for our opinion on the likely safety performance of the Davin Industries Double Shielded Flue Kit #2074.

Flue Kit #2023 has been fully tested by us and reported in 03/927. Construction details for flue kit #2074 are identical to flue kit #2023 in the ceiling and roof penetration areas. There is a slight difference in the construction of the flue kit above the roof line - it is our opinion that the Davin Flue Kit #2074 will have similar operating characteristics to flue kit #2023, and report 03/927 will apply to both flue kits.

This report relates only to the product sample tested. Any modifications to the product may invalidate the compliance results.


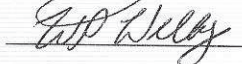
The original report was prepared by C.J.Mildon and Approved by C.J.Mildon and released on 12 December 2004.

### This revision:

Prepared by: R. Kay

Approved by: W.S. Webley

Release Date:

  
  
20-5-10

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Report 04/969R1

February 12<sup>th</sup>, 2004

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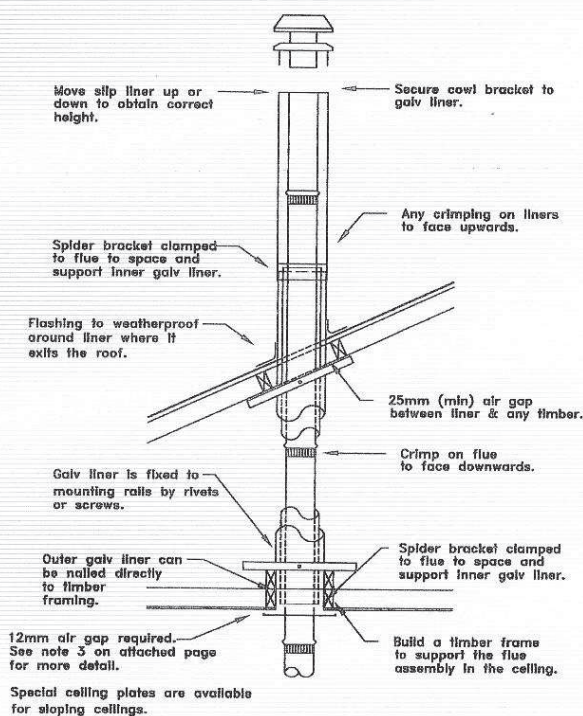
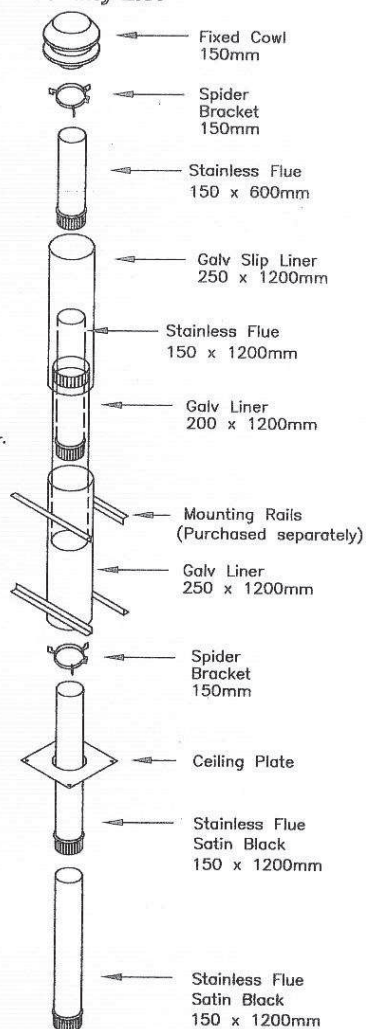
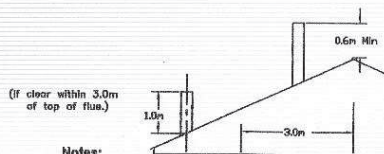
**Appendix 1 Information Supplied by the Manufacturer**

## 150mm Free Standing Flue Kit Satin Black, 4.2 Metres

(Kit Code 2074)

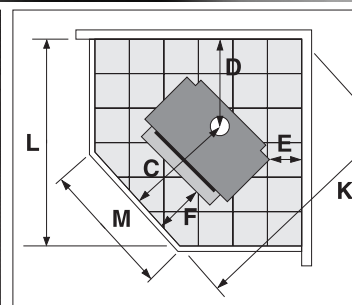
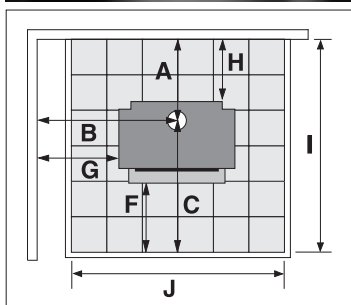
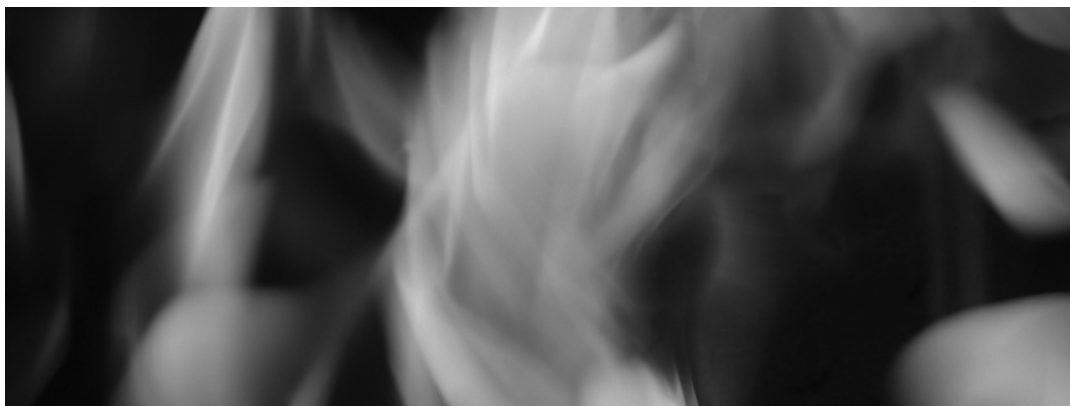
Manufactured by Davin Industries Limited.

This flue kit must be installed by a suitably qualified tradesperson or solid fuel heater installer and complies with AS/NZS 2918:2001. This kit may require additional components to complete the installation.

**Roof & Ceiling Installation****Assembly List****Minimum Height of Flue System Exit (excluding cowl)****Notes:**

- ① Refer to your heater manufacturers recommendations for flue heights.
- ② Depending on local circumstances, taller chimneys may be required for satisfactory performance. Check with your local building authority.

## Wood Fire Installation & Owner's Operation Manual



# metrofires

## Freestanding Wood Fires

Important information.....	2	Optional wetbacks.....	9
Assembling your Metro fire.....	2	Getting to know your Metro fire.....	10
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Flue installation.....	5	Cleaning and maintenance .....	11
Wetback installation .....	6	Troubleshooting .....	12
Clearances and specifications .....	7	Metro Fires warranty .....	13
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Where to install a Metro fire in your home.....	9	Heating accessories.....	16

## **⚠ WARNING! Important Information**

- **WE HIGHLY RECOMMEND YOU READ THIS ENTIRE MANUAL AS INCORRECT OPERATION, MISUSE AND/OR LACK OF MAINTENANCE WILL VOID THE WARRANTY**
- The appliance and flue-system shall be installed in accordance with AS/NZS2918 and the appropriate requirements of the relevant building code or codes
- Any modification of the appliance that has not been approved in writing by the testing authority is considered to be in breach of the approval granted for compliance with AS/NZS4013 and will void the warranty
- The appliance must be installed correctly. We recommend a competent and suitably qualified NZHHA installer

## **⚠ CAUTION! Important Information**

- Mixing of appliance or flue-system components from different sources or modifying the dimensional specification or components may result in hazardous conditions. Where such action is considered, the manufacturer should be consulted in the first instance
- Do not install a Metro fire if there is any sign of visible damage to the product
- This appliance must be regularly maintained.
- Use authorised Metro replacement parts only. The use of unauthorised parts may void the warranty
- This manual MUST be left with the home owner

All Metro wood fires comply with AS/NZS 2918 when installed in accordance with this manual. Please ensure you are fully conversant with the relevant standard and the contents of this manual. Correct installation is critical to the safe operation and performance of this wood fire.

### **Please take particular note of the following:**

- It is recommended that Metro fires be installed with a Metro ECO flue system which has been developed to enhance the performance of Metro wood fires. Any alternative flue system must have a minimum flue pipe length of 4.2 metres of 150mm diameter flue pipe and have been tested to AS/NZS 2918 with a 12mm spaced ceiling plate of no less than 345mm square
- The 150mm active flue pipe must be fully encased from the ceiling to the underside of the flashing cone at the top of the flue system, (i.e. there must not be any 150mm flue pipe exposed)

- All flue pipe joints must be sealed and riveted. The bottom of the flue pipe in particular MUST be fully sealed into the flue outlet of the Metro fire
- In New Zealand, the Metro fire must be bolted through the floor protector into the floor to comply with the seismic restraint provisions of AS/NZS 2918.
- All Metro's are extremely heavy, varying in weight from 75kgs up to 185kgs. During the installation process do not lift the appliance by yourself, and take care not to damage the panel coating
- Please take care when lifting the Metro fire into place onto the hearth or floor protector as point loading may break tiles and/or scratch surfaces.

## **Assembling your Metro wood fire**

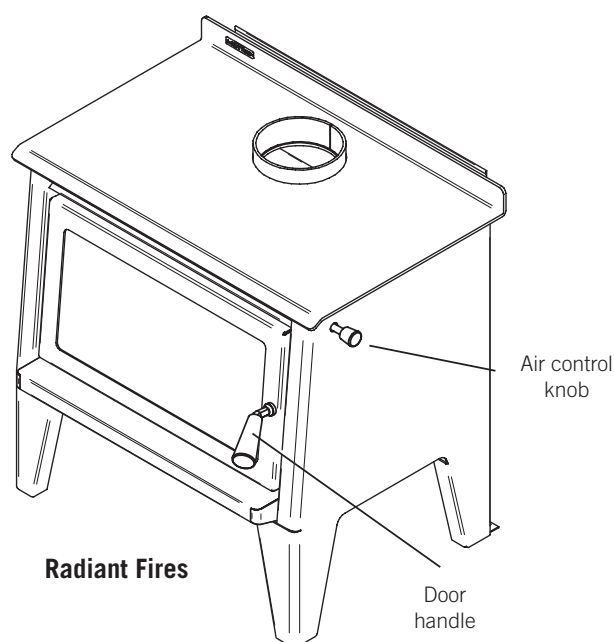
*Please note: You should only assemble this wood fire if you are suitably experienced in wood fire assembly and installation. The Metro carton shows the model Metro you are about to install, enabling you to select the appropriate model's assembly instructions.*

All Metro wood fires are packed in a single heavy-duty carton, and tek screwed to a wooden pallet. Having removed the packaging and located this manual, familiarise yourself with the illustrations on pages 2 & 3, and proceed as follows.

### **Metro radiant fires**

These Metro's are supplied virtually fully assembled. Packed inside the firebox you will find bricks in a cardboard wrapper, a door handle and air control knob.

- Remove the two tek screws located at the base of each rear leg which secure the Metro to the wooden pallet, and carefully 'walk' the Metro off the pallet
- Open the door fully and fit the side bricks to each side of the firebox. Location lugs are fitted to the base and rear wall of the firebox to retain the side bricks in position. Refer to Diagram 2
- Attach the door handle to the door latch assembly by screwing it on clockwise
- Attach the air control knob by screwing it on clockwise.





# Assembling your Metro wood fire

*Please note: You should only assemble this wood fire if you are suitably experienced in wood fire assembly and installation.*

## Metro pedestal and base model fires

To eliminate freight damage, the pedestal base has been packaged inside the firebox. To safely assemble your Metro, please proceed as follows:

- Lift off the top grill (convection models only) and place somewhere safe. Be careful not to chip the enamel coating or damage paint
- Open the door 45 degrees and lift the door off the hinge and place somewhere safe. Be careful not to damage the finish
- Remove the pedestal packed in a cardboard wrap
- Remove, rotate and re-fix the mount plate to the pedestal.

*Note: The pedestal mount plate is fixed to the back of the pedestal base with 4x screws. This mounting plate must be removed, rotated and re-fixed to the pedestal as detailed on page 4 in diagrams 3 and 3A. The return fold must face back the opposite way to create the mount plate and fixing points for seismic restraint of the wood fire.*

- Remove the pedestal heat shield

*Note: For some models the pedestal heat shield may be taped to the rear heat shield. The ECO Tiny Ped's pedestal heat shield is pre-fitted.*

- Remove the side bricks, door handle and the bolt bag
- Remove the 2 tek screws at the base of the inside of the firebox that fix the wood fire to the pallet.

It is recommended that 2 people work together with the next step:

- Grab the underneath top of the firebox door opening with one hand, holding the flue spigot with the other, slowly lift the front of the wood fire all the way back and rest the wood fire on its rear heat shield on the floor. Remove the packaging pallet.
- Fit the pedestal heat shield over the 4 bolts as shown in Diagram 1, with the open edge facing the front of the Metro (up)
- Position the pedestal with its front facing over the 4 bolts and fit the washers and nuts supplied, check to ensure the pedestal is correctly aligned and securely tighten the nuts.

It is recommended that 2 people work together with the next step:

- Grab the flue spigot with one hand and the other hand underneath the top of the firebox door opening, lift upwards standing the wood fire onto its pedestal
- Fit the side bricks to each side of the fire box. Location lugs are fitted to the base and rear wall of the firebox to retain the side bricks in position. Refer to Diagram 2. (Classic Rad also features two side rear bricks).
- Re-fit the door and top grill (Convection models only)

## All Metro models

Check to ensure the top baffle is in its correct position in the top chamber of the firebox. It should be resting on four support lugs (two on each side of the firebox). The baffle must be hard back against the rear of the firebox with the "promet extension" (white board) or return front steel edge of the baffle facing forward as illustrated in Diagram 2.

*Note: Some models feature a two-piece top baffle.*

Diagram 1

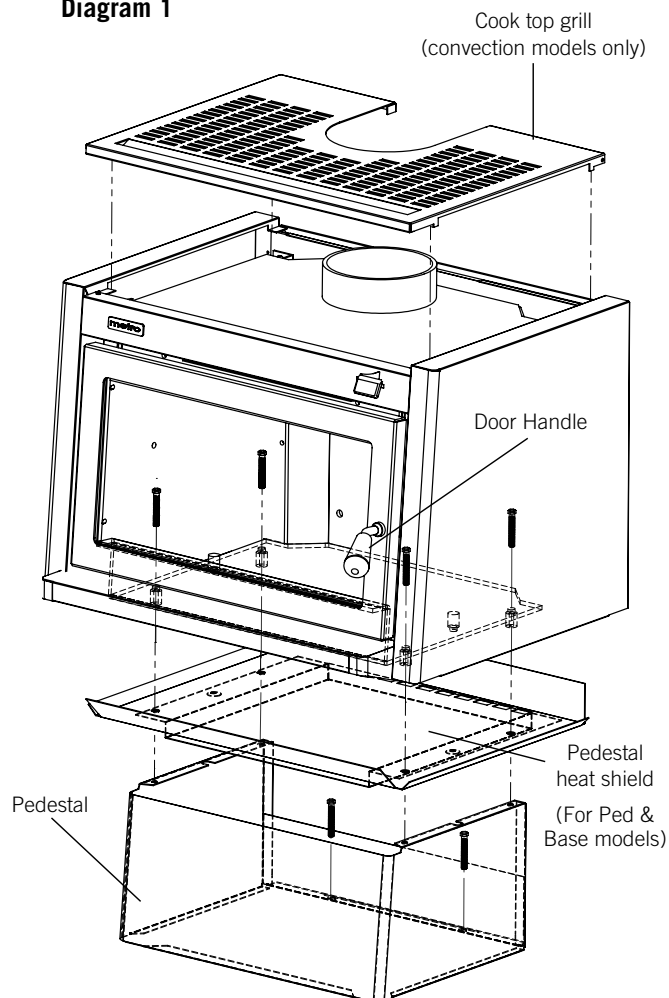
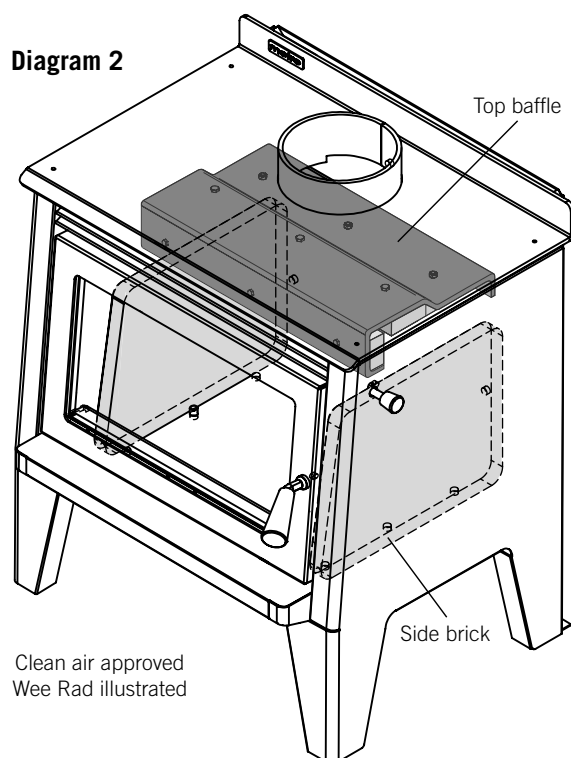


Diagram 2



# Floor protector size, construction and fitting

Pioneer manufacture an extensive range of Pioneer 'Ash Floor Protectors' which comply with the minimum floor protector requirements of AS/NZS 2918, and can be installed with any freestanding Metro wood fire. Metro freestanding wood fires do not require an insulated floor protector as they comply with the minimum floor protector requirements of AS/NZS 2918. These minimum floor protector requirements are;

- They must be of adequate size to give appropriate wall, rear and front clearances/projections as detailed below and in the chart illustrated on page 7. Note;
- The floor protector must extend 200mm horizontally to the rear and each side directly below the door opening, and 300mm forward of the door opening
- The upper surface of the floor protector must be made of non-combustible material.

A suitable floor protector for a Metro freestanding wood fire is therefore any non-combustible material which could include;

- Ceramic tiles with grouted joints fixed directly to a hard base over timber flooring
- A sheet of toughened glass, panel steel etc. laid directly onto a wooden or other combustible floor.

## Metro radiant fires

Lift the Metro fire onto the floor protector and using a suitable measuring device, ensure that the minimum wall clearances and front floor protector projections as detailed in the chart on page 7 are met or exceeded. Once the Metro's location on the floor protector is established and if the installation is within New Zealand, seismic restraint to comply with AS/NZS 2918, 3.8 is required.

*Note: The anchors must pass through the floor protector and securely anchor the Metro to the floor.*

## Metro pedestal and base model fires

Prior to lifting the Metro fire onto the floor protector, ensure you have removed, rotated and re-assembled the mount plate from the back of the pedestal base as detailed in diagrams 3 & 3A above. This rear panel must be rotated with the return fold facing back the opposite way to create the mount plate and fixing points for seismic restraint of the wood fire.

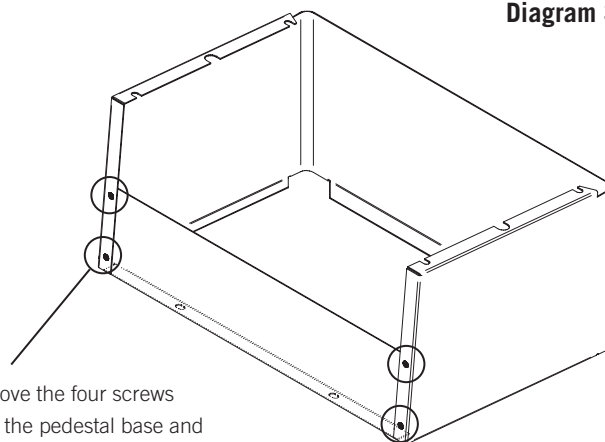
Lift the Metro fire onto the floor protector and using a suitable measuring device, ensure that the minimum wall clearances and front floor protector projections as detailed in the chart on page 7 are met or exceeded.

Once the location of the fire is established, you can then secure the Metro through the floor protector into the floor using the two seismic restraint holes in the rear edge of the mount plate.

*Note: The anchors must pass through the floor protector and securely anchor the Metro to the floor.*

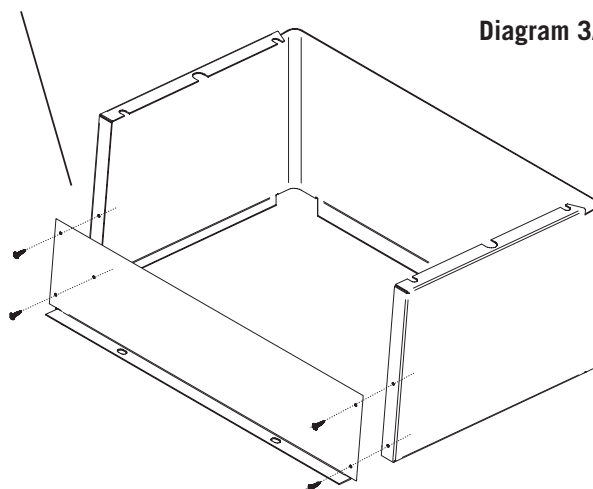
## Preparing the mount plate

Diagram 3

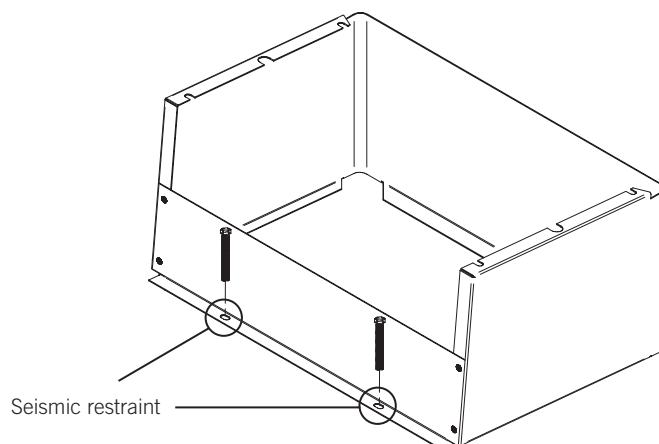


Remove the four screws from the pedestal base and rotate the mount plate so the return fold faces back the other way. Refix in place.

Diagram 3A



## Correct mount plate position



Seismic restraint

# Flue installation

It is recommended that all Metro freestanding wood fires be installed with the energy efficient ECO Flue System which comes complete with a detailed installation manual. This installation manual must be presented with your application to gain consent with your local council.

A copy of the ECO Flue System installation manual can be downloaded from [metrofires.co.nz](http://metrofires.co.nz), or a copy can be obtained from your Metro retailer. Any alternative flue system must comply with and be installed as detailed in AS/NZS 2918, and a copy of the installation manual must also be presented with your application to gain consent with your local council.

All Metro fires require a 150mm diameter flue. Please note:

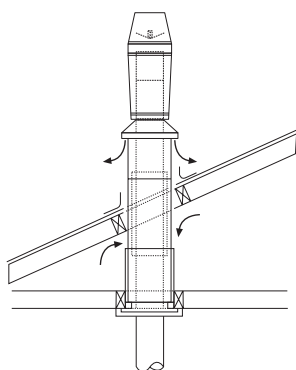
- Metro ECO flue systems must be installed to allow unrestricted air supply from either the ceiling cavity for an ECO Flue Kit, or above the roof line if the ECO Flue Kit and ECO Option Kits are both installed
- The ECO Flue system must be installed into a 'vented' flat ceiling cavity, or have an ECO Option Kit added to the flue system to provide an external air supply

- ECO Flue systems shall be installed in accordance with AS/NZS 2918 and the appropriate requirements of the relevant building codes
- Any modification to this flue system that has not been approved in writing by the testing authority is considered to be in breach of all approvals granted
- The flue systems 150mm diameter flue pipe must terminate a minimum of 4.6 metres above the top surface of the floor protector
- All joints in the flue pipe must be sealed with Pioneer fire cement (or similar) and riveted. The base of the flue pipe must also be sealed into the Metro fires flue outlet. This is critical for optimum operation.

All Metro fires have been tested with a Pioneer double flue shield. For the Metro fire to be installed with minimal clearances as the clearance table on page 7 states, only the Pioneer double flue shield can be used. All other flue shields will invalidate the installation.

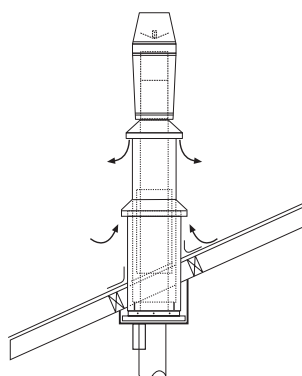
Detailed below are the more common installation methods for installing Metro ECO Flue Systems. To ensure a safe and efficient installation, this flue system must be installed as detailed below by either a registered installer, or someone competent in installing solid fuel appliances.

## Single Storey Installations



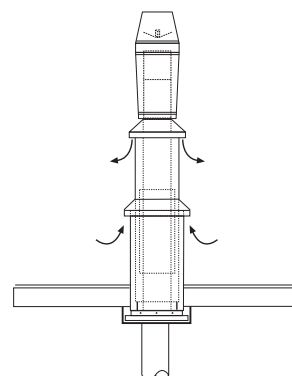
### Flat Cavity Ceiling

ECO Flue Kit only required as air is drawn into the flue system direct from the ceiling cavity.



### Sloping Ceiling

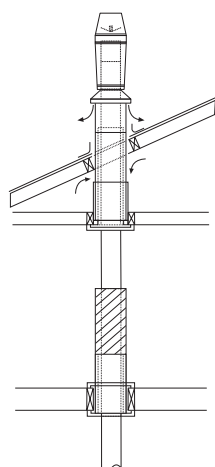
Both the ECO Flue Kit and ECO Option Kit are required to enable air to be drawn from outside the home.



### Flat Ceiling/Roof

Requires both ECO Flue Kit and ECO Option Kit as per sloping ceiling unless a vented ceiling cavity exists.

## Two Storey Installations



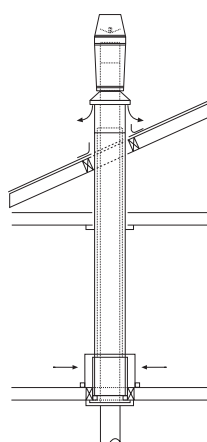
### 2nd Floor - Exposed Flue pipe

Requires an ECO Flue Kit only with additional lengths of flue pipe.

Additional components below are not supplied by Metrofires but are also required for this installation\*

- A floor penetration kit
- 1x 1200mm long mesh/screen

\*In accordance with AS/NZS 2918



### 2nd Floor - Enclosed Flue pipe

Requires an ECO Flue Kit only with additional lengths of flue pipe.

Additional components below are not supplied by Metrofires but are also required for this installation\*

- 200mm & 250mm inner/outer combination liners.
- 2nd floor vent cover and an additional ceiling plate with a 250mm diameter hole

\*In accordance with AS/NZS 2918



# Wetback installation

## **WARNING!** Important Information

- DO NOT connect to an unvented hot water system
- Install in accordance with AS 3500.4.1 or NZS 4603 and the appropriate requirements of the relevant building code or codes.

## **CAUTION!** Important Information

- Wetbacks must be connected with water before operating the fire and available to the wetback while the fire is in operation
- Wetback systems are not suitable for use in locations where the water supply has lime content. Lime build up inside the coil will eventually block the coil causing the wetback to fail
- Rainwater collection tanks installed lower than the wetback that use a water pump to supply the home, can cause problems if the pump is not operational. In these situations either the type of wetback or a roof header tank should be considered

Wetback	Suitable for models:
<b>2kW Wetback</b> 	<ul style="list-style-type: none"> <li>• ECO Tiny Rad</li> <li>• ECO Tiny Ped</li> </ul>
<b>Side Wetback</b> 	<ul style="list-style-type: none"> <li>• Tiny Rad Woody</li> <li>• Wee Rad Leg &amp; Wee Rad Base</li> <li>• Wee Rad Woody</li> <li>• Wee Ped</li> <li>• Classic Rad</li> </ul>
<b>3kW Wetback</b> 	<ul style="list-style-type: none"> <li>• Xtreme Rad Leg &amp; Xtreme Rad Base</li> <li>• Xtreme Rad Woody</li> <li>• Xtreme Ped</li> <li>• Mega Rad</li> <li>• All LTD rural models</li> </ul>
<b>4kW Wetback</b> 	<ul style="list-style-type: none"> <li>• All LTD rural models</li> </ul>

Water heating is another key feature of your Metro wood fire; nearly all Metro models can be fitted with a wetback, which are designed to give maximum output with minimal effect on the operation of the fire. Only the Pioneer cast jacket wetback system should be fitted to your Metro; alternative wetbacks will void the Metro's emission approvals and may seriously affect the performance of the appliance and void its warranty.

Wetback connections are as follows, taken facing the Metro/wall; the return pipe connection is directly above the inlet connection. Heights for all models are illustrated and detailed opposite on page 7.

- ECO Tiny Ped and ECO Tiny Rad models are 92mm left of the flue centre
- The Tiny Rad Woody model is 184mm left of the flue centre
- Wee Series models are 226mm left of the flue centre
- The Classic Rad model is 184mm left of the flue centre
- All other models are 140mm left of the flue centre

All wetbacks are fitted to the inside rear wall of the firebox, with the exception of the Tiny Rad Woody, clean air Wee Series models and the Classic Rad model. Side wetback position for these models is to the outside left hand firebox wall. Please see the specific installation instructions in the 'Side Wetback' box for installation of a wetback into these appliances.

It is recommended the return pipe has a minimum rise of 1 in 12; performance will reduce as the distance to the storage cylinder increases.

### To fit the wetback proceed as follows

1. Remove the rear panel of the Metro by removing the four pozi drive screws. Remove the two pre-punched knockouts from this panel.
  2. Two further knockouts will be visible on the inner rear heatshield, remove these also. Once these are removed 6mm nuts will be visible through the knockout holes.
  3. Open the Metro's door and locate two bolts securing the pressed washers which are visible on the left hand side of the firebox for both inlet and outlet connection points.
  4. A further three bolt heads will also be visible on the inside rear wall of the firebox; these are threaded into the 6mm thick firebox. Remove all three.
  5. Using the tube of sealant supplied with the wetback, apply a liberal bead of sealant around both the two connection pipes and also the outer circumference of the wetback which will face and press against the inside rear wall of the firebox. This will completely seal the wetback to the inside rear wall of the fire on installation.
- Ensure there is no gap between pipe and rear wall access holes. This cement must fully cure before appliance use.
6. Fit the wetback into the firebox and carefully pass the connection pipes through the holes in the rear of the firebox. Securely attach the wetback using the three bolts previously removed from the rear face of the firebox, fitting them through the slots provided in the wetback's jacket.
  7. The wetback is now ready for connection to the storage cylinder by a registered plumber.

# Metro clearances and specifications (Minimum clearances shown are in mm, with a Pioneer double flue shield fitted)

## Minimum clearances

All Metro wood fires comply with AS/NZS 2918. Minimum clearances shown below are detailed in millimetres, with a Pioneer double flue shield fitted to the appliance. Measurements are taken from the following reference points as illustrated:

- From the nearest combustible wall or surface (A, B, D, E, G, H)
- From the Metro's flue centre (A, B, C, D)
- From the Metro's cabinet/heatshield outermost point (E, F, G, H)
- To the edge of the ash floor protectors non-combustible surface (C, F, I, J, K, L, M)

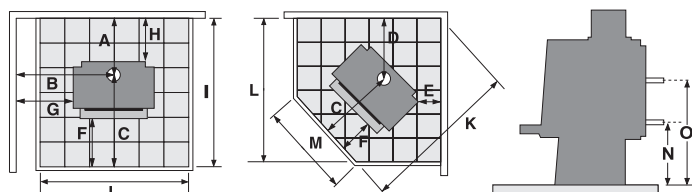
AS/NZS 2918 allows for a reduction in minimum clearances as detailed in Section 3, tables 3.1 and 3.2 of the standard.

Some Metro models have undergone additional testing which allows for reduced clearances. Please see the footnotes below the clearance table for the applicable models.

## Wetback connections (taken facing the Metro/wall)

- ECO Tiny Ped and ECO Tiny Rad models are 92mm left of the flue centre
- The Tiny Rad Woody model is 184mm left of the flue centre
- Wee Series models are 226mm left of the flue centre
- The Classic Rad model is 184mm left of the flue centre
- All other models are 140mm left of the flue centre

Specifications were correct at the time of printing, but may alter and those detailed within should be used only as a guide. If in doubt, please consult your Metro retailer or metrofires.co.nz.



	Minimum installation clearances with a Pioneer double flueshield fitted (mm)													Wetback		Dimensions		
Clean air models	A	B	C	D	E	F	G	H	I	J	K	L	M	N	O	Width	Depth	Height
ECO Tiny Ped	211	433	580	290	25	235	185	60	791	650	990	780	250	280	470	496	492	659
ECO Tiny Rad	230	553	585	419	150	232	300	75	815	650	1180	910	250	280	470	505	508	667
Tiny Rad Woody	251	568	580	382	110	232	310	100	831	650	1120	870	250	365	555	515	498	758
Wee Rad - Leg <sup>1</sup>	251	568	580	456	150	232	260	100	831	825	1225	1016	425	295	485	615	501	688
Wee Rad - Base	271	678	580	486	180	232	370	120	851	825	1270	1048	425	295	485	615	501	691
Wee Rad - Woody	271	708	580	506	200	232	400	120	851	825	1295	1066	425	365	555	615	501	758
Wee Ped <sup>2</sup>	263	651	580	473	170	230	350	110	843	825	1250	1034	425	295	485	602	503	665
Classic Rad <sup>3</sup>	257	695	780	500	220	229	430	100	1037	728	1490	1170	328	393	583	530	708	680
Xtreme Ped	251	624	630	442	110	226	280	100	881	907	1260	1070	507	312	502	688	554	707
Xtreme Rad - Leg	251	650	630	458	100	227	280	100	881	907	1280	1084	507	312	502	740	554	743
Xtreme Rad - Base	251	650	630	458	100	227	280	100	881	907	1280	1084	507	312	502	740	554	743
Xtreme Rad - Woody	251	680	630	478	120	227	310	100	881	907	1306	1103	507	382	572	740	554	813
Mega Rad	285	720	728	497	100	224	300	130	1013	1006	1435	1229	606	300	490	840	659	744
LTD rural models	A	B	C	D	E	F	G	H	I	J	K	L	M	N	O	Width	Depth	Height
LTD Wee Rad - Leg	251	548	580	426	120	232	240	100	831	825	1185	989	425	295	485	615	501	688
LTD Wee Rad - Base	251	658	580	486	180	232	350	100	831	825	1270	1048	425	300	490	615	501	691
LTD Wee Rad - Woody	271	708	580	506	200	232	400	120	851	825	1295	1066	425	365	555	615	501	758
LTD Xtreme Rad - Leg	251	650	630	458	100	227	280	100	881	907	1280	1084	507	350	540	740	554	743
LTD Xtreme Rad - Base	251	650	630	458	100	227	280	100	881	907	1280	1084	507	350	540	740	554	743
LTD Xtreme Rad - Woody	251	680	630	478	120	227	310	100	881	907	1306	1103	507	420	610	740	554	813
LTD Mega Rad	285	720	728	497	100	224	300	130	1013	1006	1435	1229	606	300	490	840	659	744

*The Wee Rad installed with a Pioneer double flue shield with the Wee Rad corner wing shields fitted allows for reduced clearances as follows:*

<sup>1</sup> Wee Rad - Leg corner clearance (E) can be reduced to 120mm. This in turn also reduces clearances (D) to 426mm, (K) to 1185mm and (L) to 987mm. When fitting the corner wing shields, the Wee Rad - Leg itself must be installed to a corner clearance (E) of 120mm. The corner wing shields are then fitted which gives a wall to shield corner clearance of 100mm.

*The following models installed with a Pioneer double flue shield with the side extensions fitted allows for reduced clearances as follows:*

<sup>2</sup> Wee Ped corner clearance (E) can be reduced to 115mm. This in turn also reduces clearances (D) to 418mm, (K) to 1170mm and (L) to 978mm.

<sup>3</sup> Classic Rad corner clearance (E) can be reduced to 180mm. This in turn also reduces clearances (D) to 460mm, (K) to 1435mm and (L) to 1131mm.

## **WARNING!** Important Information

### • **WE HIGHLY RECOMMEND YOU READ THIS ENTIRE MANUAL AS INCORRECT OPERATION, MISUSE AND/OR LACK OF MAINTENANCE WILL VOID THE WARRANTY**

- Any modification of the appliance that has not been approved in writing by the testing authority is considered as breaching AS/NZS 4013 and will void the warranty
- Do not use flammable liquids or aerosols in the vicinity of this appliance when it is operating
- Never operate your Metro with the top grill removed
- Do not dry clothes on or near this appliance
- Do not use flammable liquids or aerosols to start or rekindle the fire OR store fuel within the Metro's specified installation clearances
- Never operate your Metro with the door ajar, except on initial start up
- Open the air control fully before opening the Metro's door.

## **CAUTION!** Important Information

- This appliance should be maintained & operated at all times in accordance with this instruction manual
- This appliance should not be operated with cracked door glass, over worn, faulty or missing door seals
- Do not use driftwood, treated or unseasoned (wet) fuel, the use of most types of preservative treated wood as fuel can be hazardous and will damage your appliance
- Burning unseasoned (wet) fuel or incorrect operation on extended low burn cycles will cause excessive creosote to form. Creosote is very corrosive and excessive buildups will result in the flue pipe, flue spigot and upper burn chamber failing. Failure of the appliance and/or flue system due to creosote damage is not covered under warranty. The formation of such is not an appliance issue it is a fuel and operational issue
- This appliance must be regularly maintained and replacement parts must be authorised Metro parts only
- Do not empty ash into a combustible container.

## Congratulations on the purchase of your Metro wood fire

This slow combustion appliance is designed to give you many years of warmth and service, subject to the following key factors. These key factors, if not adhered to are the major causes of unsafe installation, poor performance and flue blockages and potential product failure.

1. Your Metro wood fire must be installed correctly. Metro recommend a competent and suitably qualified NZHHA installer.
2. The only fuel to be used in this appliance shall be wood that meets the following criteria.
  - Less than 25% moisture content
  - Has not been treated with preservatives or impregnated with chemicals or glue,
  - Is not chipboard, particle board, or laminated board,
  - Is not painted, stained or oiled
  - Is not driftwood or other salt impregnated wood
3. The appliance shall be operated at all times in accordance with the "Installation and Operating Instructions" supplied with each appliance.
4. It is preferable that Metro wood fires should be installed with a Metro ECO Flue System.
5. Coal must not be used as a fuel.

Please also note the following important points:

- In New Zealand a building consent is required from your local building authority. The homeowner is responsible for obtaining this consent
- As correct installation is critical to the performance and safe operation of your Metro, it is recommended your Metro be installed by a NZHHA registered installer or a person suitably qualified in the installation of wood fires. Your Metro retailer will be able to arrange professional installation for you
- During the very first fire your Metro will give off an odour and fumes as the firebox paint cures. Do not be alarmed; open all windows and externally opening doors in that room and close any internally opening doors. This curing process will last for approximately one hour and is likely to happen this one time. The fresh paint finish on your wood

fire needs to be cured to preserve its quality. Burn only small fires at a medium burn rate for the first few hours of operation.

- Properly seasoned (dry) timber is necessary for the Metro to operate efficiently; firewood that contains a high moisture content will result in flue pipe blockages, reduce heat output and create other issues.

*Note: Once split, Softwood usually takes 12 months to season - Hardwood can take up to 24 months to season - Wood must be stored in a location that enables air circulation. Unseasoned wood stored in a closed woodshed without air circulation will still be unseasoned 12 months later.*

- It is critical that the fire not be operated with over worn, faulty or missing door seals. Door seals will harden over time and become over-worn (3-4 year's) this will cause air to leak into the fire, causing the appliance to 'over fire'
- It is critical that the fire not be operated with over worn, faulty or missing bricks, baffle plate, promet extension (white board on the baffle plate)
- It is critical that the fire not be operated with cracked or broken door glass.

Please note, the above 3 points require regular inspection/maintenance (every time the ash bed is cleaned out, generally 3-5 times a season) and if not maintained will void the firebox warranty. A glowing firebox or lower fluepipe is just one sign you are over firing your appliance. Please ensure you keep your proof of purchase/receipt on any parts you purchase.

- For optimum performance fuel must be loaded so the logs lay "front to rear" in preference to laying across the width of the firebox. Spaces should be left between the logs to enable oxygen to get to as much of the surface of the fuel as possible
- A small hot fire loaded frequently is more efficient than a large fire burning on a low setting
- Your Metro is covered by a full unconditional 12 month warranty on replacement parts, and a 10 year firebox warranty.



# Where to install a Metro wood fire in your home

Wood fires are usually installed in the main living area, which is the section of the home that is usually kept the warmest, being the area in the home most frequently occupied. However, before deciding on the best location for your Metro wood fire you may wish to consider:

- Water heating. If you are intending to have a wetback it is important that the wood fire is as close as practically possible to the water storage cylinder
- Split level homes are best heated when the wood fire is installed on the lower level, as the heated air will rise to the higher levels
- Building construction is another consideration. Specified clearances from walls, curtains etc must be maintained and you need to ensure no structural beams or internal gutters etc are directly above your preferred site. If you have a two storey dwelling you need to consider the second storey to ensure you don't have the flue directly outside a second storey window.

Generally, you can install your Metro in your home anywhere that suits you; Pioneer offer various fan systems to transfer heat to other sections of the home that are not heated sufficiently. It is necessary if using a fan system that the Metro you have purchased has sufficient output to heat the total area you wish to heat. Your Metro retailer or installer will be able to advise if you are uncertain.

## Optional wetbacks

Water heating is another key feature of your Metro wood fire; nearly all Metro models can be fitted with a wetback, which are designed to give maximum output with minimal effect on the operation of the fire. Only the Pioneer cast jacket wetback system should be fitted to your Metro; alternative wetbacks will void the Metro's emission approvals and may seriously affect the performance of the appliance and void its warranty.

Other considerations are:

- Distance from your Metro to the storage cylinder will affect the amount of hot water produced
- Your climate & the manner in which you will 'fire' your Metro will determine the amount of hot water produced.

*Note: Wetbacks are not suitable for use in locations where the water supply has lime content. Lime build up inside the coil will eventually block the coil causing the wetback to fail.*

### Cost Savings

Wetbacks can enable substantial power savings, dependent on the climate in the area in which you live. If you live in a cold climate you are likely to use your Metro for many months of the year, in which case a Pioneer wetback will reduce or even eliminate your water heating costs over those months. If however you live in a warmer climate and use your Metro for only a few hours a day over the colder months, electricity savings will be considerably less.

### Water Pressure

A common misconception is that you must have a low-pressure system to have a wetback; this is not true. You must have a 'vented' system and high-pressure cylinders are usually not vented. However you can install an 'indirect' cylinder which contains a secondary coil inside the storage cylinder, enabling you to have a wetback while retaining a high-pressure system.

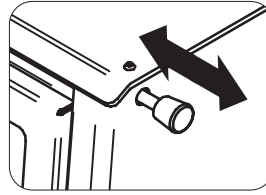
Wetback	Suitable for models:
2kW Wetback 	<ul style="list-style-type: none"><li>• ECO Tiny Rad</li><li>• ECO Tiny Ped</li></ul>
Side Wetback 	<ul style="list-style-type: none"><li>• Tiny Rad Woody</li><li>• Wee Rad Leg &amp; Wee Rad Base</li><li>• Wee Rad Woody</li><li>• Wee Ped</li><li>• Classic Rad</li></ul>
3kW Wetback 	<ul style="list-style-type: none"><li>• Xtreme Rad Leg &amp; Xtreme Rad Base</li><li>• Xtreme Rad Woody</li><li>• Xtreme Ped</li><li>• Mega Rad</li><li>• All LTD rural models</li></ul>
4kW Wetback 	<ul style="list-style-type: none"><li>• All LTD rural models</li></ul>

# Getting to know your Metro wood fire

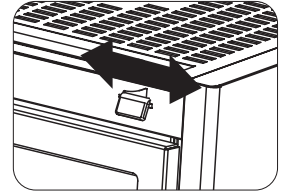
Operating your Metro fire is simple and you will quickly learn how to get the best from it. First take a minute to familiarise yourself with your new Metro.

- Raise the door handle anti-clockwise until the latch releases, and then slowly pull the door open. You will note that if you let the door go before it is at 90° to the appliance, it will fall closed. This is a safety feature that ensures the door cannot fall open if it is not latched securely. For the door to remain open, you must open it fully
- There is a single air control making your Metro fire easy to adjust. This control moves from left to right, which is 'low to high'.

All Metro radiant fires have an air control handle located at the upper right hand side of the appliance. Simply pull out to increase burn rate or push in to reduce burn rate.



Radiant fires air control



All other fires air control

All other Metro fires have an air control knob located on the upper front panel of the appliance.

Slide this control knob gently from right to left until you reach a stop. This is a pre-set 'low' position. Your Metro fire must not be operated at a lower burn rate than this pre-set low allows.

## Operating your Metro wood fire

If your Metro has only been installed within the past few days, the fire cement seal at the base of the flue will not be fully cured. To ensure the cement sets without blistering it is recommended you burn 2-3 sheets of loosely crumpled newspaper at a time, approximately once every hour over a 6-8 hour period.

During the very first fire your Metro will give off an odour and fumes as the firebox paint cures. Do not be alarmed; open all windows and externally opening doors in that room and close any internally opening doors. The fresh paint finish on your wood fire needs to be cured to preserve its quality and the curing process will last for approximately one hour and is likely to happen this one time.

**IMPORTANT:** Burning a small fire at a medium burn rate for the first few hours of operation will achieve the optimal curing process. Too hot or too cold could present curing issues.

### Start up

Place a quantity of loosely crumpled newspaper on the base of the firebox until it is approximately half full of paper, or place firelighters on the base of the firebox. Add dry kindling and move the air control knob fully to the right, being the 'full open' position.

Light the paper at two or three locations across the front of the door opening and leave the door slightly ajar resting on the latch pin if necessary for a few minutes while the fire establishes. Once the kindling is burning well, open the door and add 2-3 small logs at a time until you have a well-established fire. Usually this will take approximately 30 minutes, during which time the air control should be set on 'high' and the door should be closed, except for the initial few minutes and when fuel is being added.

### Normal operation

Once the fire is well established, regulate the air control to achieve the desired burn rate and heat output. As you move the air control to the right, burn rate, firebox temperature and heat output will increase, if you move the control to the left they will decrease. Please note:

- Always open the air control fully prior to opening the door, then open the door slowly. Every time you refuel, leave the air control on 'high' for a minimum of 20-25 minutes
- When loading logs, place them end-on, 'front to back'; air spaces should be left between the logs to enable oxygen to get to as much of the surface of the fuel as possible

- Never use the door to force wood into the firebox, as this is likely to break the glass.

### Extended burning (rural models only)

It is most important if your Metro is to be refuelled and turned down for an extended period, such as an overnight burn that you operate it correctly:

- The wood used as fuel for extended burning **MUST BE FULLY SEASONED (DRY)**. Once the fuel is loaded, the appliance must be operated on high for a period of at least 20 minutes to drive out residual moisture from the fuel (dry wood is usually 20% water content) and ensure surface area combustion.
- Do not turn the air control down lower than you need to, if you want the Metro to burn overnight, endeavour to obtain an 8 hour burn time, not 12 hours. It will take a few burns to find the correct location of your Metro's air control setting to achieve the length of burn cycle you desire as this setting is affected by several variables including fuel density, flue length and outside wind velocity.
- A smouldering fire over a long time frame is likely to deposit corrosive elements into your system which could be detrimental to your Metro.

### CAUTION! Important Information

- If not operated correctly on extended burn cycles, your Metro is likely to incur flue blockages, corrosion of the upper baffle, lower flue pipe and firebox flue spigot. As these are not covered under warranty if they fail through improper use, it is important you operate your Metro correctly.

### Cooking

All Metro's are designed to enable cooking of soups, stews and casseroles etc, and your Metro will easily boil a flat bottom stainless steel kettle. The Radiant Series have a dedicated cooking top enabling large pots to be placed on the cook top, while all other models have a lift-off grill.

*Note: Metro's supplied with a lift-off top grill have this feature to enable the grill to be removed for cleaning if you have a spill. The lift-off top grill must be left on when cooking, because if removed the wall temperatures next to the appliance may become excessive and the top of the firebox is generally too hot to cook on directly.*

# Cleaning and maintenance for your Metro wood fire

Your Metro fire will give you many years of efficient service with minimal maintenance if operated correctly using seasoned fuel. Your Metro fire must be regularly maintained and replacement parts must be authorised Metro fires parts only.

The Metro radiant fires are painted wood fires and coated with 'Pioneer Metallic Black' high temperature paint and will require periodic repainting to keep them looking their best.

All other Metro fires are coated with vitreous enamel. Vitreous enamel is extremely durable and designed to last the life of the appliance. As vitreous enamel is glass, a solid or heavy object dropped or banged against a panel could chip the enamel surface.

All model Metro fires can be cleaned with a soft cloth when the appliance is not in operation.

## Door glass

Providing your fuel is properly seasoned, under normal operating conditions the air-wash design of the Metro's firebox will keep the door glass clear. If the glass requires cleaning you may use either a razor blade scraper or crumpled wetted newspaper dipped in wood ash rubbed over the glass. DO NOT USE SOLVENTS.

If your door glass breaks it must be replaced with 5mm thick ceramic glass which is available from your local Metro retailer.

## Door seals

Over time, usually 3-4 years, the door and glass seals will become hard and cause air to leak into the firebox, causing the appliance to 'over fire'. Your Metro retailer stocks replacement woven fibreglass door and glass seals, which need replacing when they become hard and over worn.

The door of your Metro is easily removed. Hold it in both hands and lift the hinge end of the door up and over the top hinge pin, then lower the door from the bottom hinge pin.

## Side bricks

Hair-line cracks are not uncommon and are a result of the intense heat within the Metro's firebox, coupled with mechanical damage caused by accidental impact when fuel is being loaded. However if the side bricks become cracked to the extent that they start to break up, they must be replaced.

## Door adjustment

Provision is available on both sides of the door for adjustment.

To adjust the hinge end of the door, open the door fully, loosen the top hinge nut and slightly lift the latch end of the door; you will see the hinge assembly move back 1-2mm which will usually be sufficient. Retighten, then repeat by loosening the lower hinge nut, this time applying a slight downwards pressure onto the door to move the lower hinge assembly back a similar distance, then retighten.

The door latch is also adjustable, as the latch pin on the right side of the firebox is fitted through a slot which enables the latch pin to be loosened, moved back and re-tightened.

## Ash removal

Over a period of time ash will build up in the base of the Metro's firebox and require removal. The time this build-up takes depends on the density and cleanliness of your fuel.

To remove the excess ash your Metro should not be operating.

- Open the door, and using a hearth shovel or similar, empty the excess ash directly into a steel or non-combustible container.
- If the ash is not disposed of immediately, be careful where you store it, as the ash can retain heat for many days and become a fire hazard.
- You must leave a bed of ash in the base of the firebox approximately 10mm deep; this insulates the base of the firebox and improves combustion.

## Top baffle

This is a 'sacrificial' wear part of the firebox and should be checked monthly. Usually only the promet (white board) front/underneath section needs to be replaced when it starts to disintegrate.

*Note: Cracks in the promet are not uncommon and have no adverse effect on the operation of your Metro. These cracks are the result of intense heat coupled with expansion and contraction. Burning wood which is not properly seasoned, i.e. 25% moisture content or more, will over time cause the promet to disintegrate and require replacement.*

## Flue systems

Should be checked annually, particularly the bottom end of the lower flue section at its rear lock formed joint. If deterioration is noticed contact your Metro retailer or installer.

The flue pipe should also be swept a minimum of once a year, or as required during the winter season. If smoke enters the room when you open the Metro's door this usually indicates the flue pipe is becoming restricted and needs cleaning. The frequency of flue pipe cleans depends on many factors, with the main variables being:

- The seasoning of the wood. If not properly seasoned you will require frequent flue pipe cleans.
- The density of the wood. Softwoods generally result in more deposits building up in the flue pipe.

To clean the flue pipe of your Metro, proceed as follows:-

- Open the Metro's door fully, reach inside with the palm of your hand face-up and extended, lift the top baffle approximately 20mm, then lift it forward out through the door opening, placing it on a sheet of newspaper you have placed on the front of the floor protector. To prevent jamming, removal and replacement of the top baffle is best performed using both hands.

*Note: Some appliances have a two piece top baffle.*

- Close the door and slide the air control to the left.
- Once on the roof, remove the cowl from the top of flue system and sweep the flue pipe using a 150mm-diameter flue pipe brush as detailed in the instructions provided with the fluebrush.
- Once the flue pipe is clear, clean and refit the cowl. Remove the excess soot which has fallen into the firebox, leaving a layer of ash 10mm deep on the base of the firebox, then refit the top baffle.

*Note: The baffle must be fitted so its rear is touching the back of the firebox; if uncertain refer to page 3 in the installation section at the front of this manual, which shows illustrations of the baffle location.*



# Troubleshooting your Metro wood fire

If your Metro is installed correctly, your fuel is dry and you operate your fire correctly, you will find it to be a pleasure to use. Metro's many years of experience within the wood heating industry has shown that dissatisfaction is mainly due to:

- unseasoned fuel
- faulty installation
- operational error
- or a combination of the above 3 points.

## Correct operation

Modern day wood fires need to be operated hard and fast, more so than low and lazy to ensure the firebox and flue pipe runs hot and efficiently. If the fire and flue pipe is up to temperature it will perform extremely well, the smoke will draw up the flue pipe with ease, and the fire will produce good amounts of heat.

If the fire is operated on low a lot of the time, the door glass will run black, the flue pipe will tend to block up more frequently and the fire will end up smoking into the room when reloading. It's better to have a small fire running hard and fast, rather than a big fire running low and lazy.

The following may be of assistance if you are experiencing any problems with the operation of your Metro Fire.

## Smoke enters the room when the Metro's door is ajar

(possible reasons and solutions)

### Check flue pipe joins

If the flue pipe joins are not sealed correctly, the flue pipe will not draw as well as it should. The flue pipe join connecting into the flue spigot on top of the Metro is most critical, if this is not sealed correctly, smoke will enter the room when the door is ajar. To check this join is sealed correctly, run a match or lighter flame around the join. If the flame is sucked into the spigot then it is not sealed correctly. This check needs to be done when the fire is not going. Ensure you check the rear of the flue pipe/spigot join, as due to the seam in the flue pipe, this is the most common area for not being sealed correctly.

## Ensure the fuel you are using is correctly seasoned

If you are burning unseasoned fuel (wet), the fire will cause nothing but problems. The Metro won't deliver much heat, it will be lazy, smoke will enter the room when the door is ajar, and the door glass will run black. Unseasoned fuel is the main contributor to excessive creosote deposits which can be corrosive to your appliance and flue system.

## Flue pipe length is too short

Add more flue pipe as the longer the flue system, the better the draw of the flue pipe. Please note, if you did not purchase the Metro ECO Flue System, you will not have the ECO Cowl which increases draw. We highly recommend the Metro ECO Cowl is fitted as this will increase the draw. If you already have an ECO Cowl and smoke is still entering the room, please add another 600mm length of flue pipe.

## Downdraft/Turbulence blockage

If you have checked all of the previous factors and the fire is still smoking into the room, it's possible there may be a down draft issue. Down draft is environmental and can be caused by many variables, and it is purely trial and error to ascertain the cause.

Air turbulence and/or negative air pressure influences around the flue termination can be caused by too close or overhanging trees or natural/artificial ridges etc. Address these where possible or look to extend the flue above the roofline.

Other options may be:

- 'H' Cowl, designed purely for downdraft issues, but if you have an ECO Cowl fitted as standard, you will also need to add another 600mm of flue pipe to compensate as the H Cowl is shorter in length
- The Metro Directional Cowl Top. Converts your ECO Cowl into a Directional ECO Cowl. A simple solution for reducing down draughting and atmospheric issues in troubled areas.

## Air control setting

Ensure the air control setting is on high before opening the door to reload, as this increases the draw up the flue pipe. Open the door slowly.

If your Metro did not smoke, but its starting too and is getting worse:

The flue pipe is in need of a clean. It is recommended that the flue pipe be cleaned every season, however if you are burning the fire on low a lot, or are using unseasoned fuel, flue pipe cleans will be required more frequently.

## Other issues you may experience

### I can smell smoke in the room after a low burn cycle

The smell is creosote that will be seeping through the flue pipe join or out of the flue spigot onto an external surface, thus creating the smell in your room. The cause will be either unseasoned fuel, fuel mass too large, incorrect operation on low burn cycles or a combination. Creosote is very corrosive and excessive buildups will result in the flue pipe and potentially the flue spigot and upper burn chamber failing. The formation of excessive creosote is not an appliance issue, it is a fuel and operational issue. Failure of flue pipe or firebox due to creosote build up is not covered under warranty as excessive creosote build up is only possible from either unseasoned fuel or incorrect operation.

## The Metro is noisy as it heats up and cools down

There will always be some expansion and contraction noise as the Metro heats and cools. This can usually be reduced by loosening three nuts at the rear of the appliance. To remedy, locate the 25mm deep cavity at the rear of your Metro between the 'rear panel' and the 'inner rear heat shield'. You will see a 6mm nut and two 6mm bolt heads in this cavity. Using a 10mm ring or open ended spanner, loosen all three so they are finger tight only.

On all Metro freestanding fires the air channel that allows the combustion air to enter the fire is fitted to the top underneath of the door opening. It is fitted with two M6 bolts. Slightly loosen both of these bolts.

## The Metro won't turn down as much as it did

The door itself may need readjusting, the hinge and latch is slotted and allows for movement. Loosening the hinge and moving it back a few mm will make the door seal tighter and stop air leaking into the fire. The door and glass seals may be in need of replacing, which is generally required every 3-4 years.

Familiarise yourself with the instructions on page 10 before proceeding with this maintenance.

## Warranty details for your Metro wood fire

Metro wood fires are manufactured in New Zealand, using the highest quality of materials, workmanship and the latest manufacturing techniques, which is why we offer a full 10 year firebox warranty and a 1 year parts warranty for your peace of mind.

### Metro Warranty

(NZ Consumer laws apply to this warranty)

Pioneer Manufacturing Limited (Pioneer) warrants the steel firebox against defective materials and workmanship which would render it unfit for normal domestic use, from the date of purchase by the original consumer, for a period of 10 years.

Components including panel coating, door retainers, door seals, glass, trim, baffle & bricks are warranted for a period of 1 year from the date of original purchase for normal domestic use against defective materials and workmanship.

All associated accessories including, but not limited to, fans, flue systems, flue shields, wetbacks, tool sets, ash pots etc, are covered by a 1 year warranty against defective materials and workmanship.

It is recommended, but not a condition of this warranty, that a full service/inspection of the Metro fire be carried out at the end of each winter season.

### Warranty Conditions

- The Metro fire must be installed, operated and maintained strictly in accordance with the building code and this installation and operation manual
- The Metro fire must be installed and used in a domestic application
- This warranty covers appliance like for like replacement or repair at the manufacturer's discretion but excludes freight, travel, installation, labour and/or any other associated costs
- Pioneer or their agents are not liable for any loss or expense direct or indirect arising from the failure of any part or operation of the appliance
- Operation of this appliance in violation of the warnings in this operation and installation manual will void this warranty
- Your Metro fire must be regularly maintained and we recommended it is also serviced annually. Proof of servicing may be required. If a wood fire is not regularly maintained and serviced, the life span will be reduced. If your Metro wood fire has been neglected, by not being regularly maintained and serviced, warranty may be declined

### **CAUTION!** Important Information

Note: The following 3 points require regular inspection/maintenance (every time the ash bed is cleaned out, generally 3-5 times a season) and if not maintained will void the firebox warranty. Please ensure you keep your proof of purchase/receipt on any parts you buy.

- It is critical the fire not be operated with over worn, faulty or missing door seals. Door seals will harden over time and become over-worn (3-4 year's) and will cause air to leak into the fire, causing the appliance to 'over fire'. Do not operate the fire with cracked, or broken door glass
- It is critical the fire not be operated with over worn, faulty or missing bricks, baffle plate or baffle extension (white board on or under the baffle plate)
- A claim under this warranty should be directed to the retailer who supplied the Metro fire. If this is not possible write directly to the manufacturer stating details of fault, model, serial number of your Metro, dated proof of purchase and name of retailer purchased from.

### Warranty Exclusions

(This manufacturer's warranty does not cover)

- Service calls which are not related to any defect in the product (i.e. operational, installation or fuel issues). The cost of a service call will be charged if the problem is not found to be a product fault
- Defects caused by factors other than normal domestic use or use in accordance with the product's operation manual
- Defects caused through the product being operated in an 'over-fired' manner resulting in sections of the firebox operating excessively hot to the point that sections glow red. (Note – This will result in distortion of the firebox)
- Defects to the product caused by accident, neglect, misuse or act of God
- The cost of repairs carried out by non-authorised repairers or the cost of correcting such unauthorised repairs
- Required maintenance as set out in this manual.

Service under this manufacturer's warranty must be provided by a repairer authorised by Pioneer Manufacturing Ltd. Such service shall be provided during normal business hours.

## **IMPORTANT!** Complete and retain these details at time of purchase:

Purchase Date

Serial Number

Model

Colour

Retailer



## Parts guide for your Metro – Promet, baffles and wetback options

Your Metro wood fire must be regularly maintained and we recommended it is also serviced annually. If a wood fire is not regularly maintained and serviced, the life span will be reduced.

If your Metro wood fire has been neglected, by not being regularly maintained and serviced, with authorised Metro parts replaced as required, your warranty may be declined.

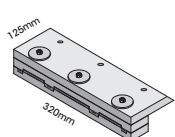
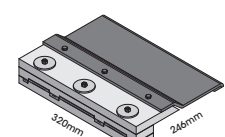

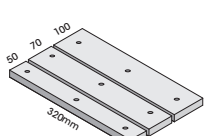
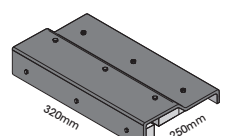

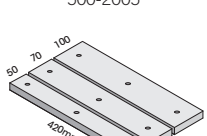
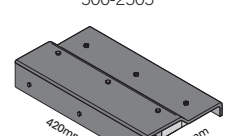

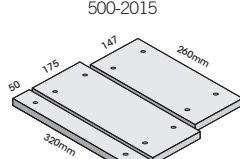
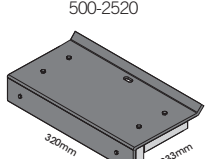
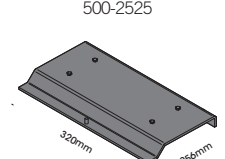

Listed below are the parts and product codes for your Metro wood fire. The promet/baffle should be regularly checked and must always be in place during the operation of your fire.

The baffle should be resting on four support lugs (two on each side of the firebox). It must be hard back against the rear of the firebox with the 'promet extension' (white board) or return front steel edge of the baffle facing forward.

Hairline cracks in the promet extension are not uncommon and will have no adverse effect on the operation and performance of your Metro wood fire. These cracks are the result of intense heat coupled with expansion and contraction and is normal wear and tear.

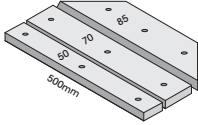
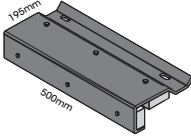
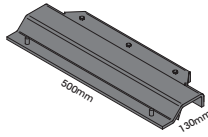

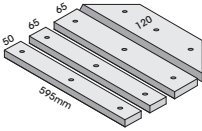
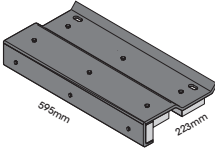
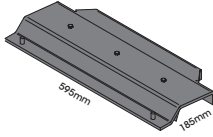

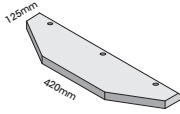
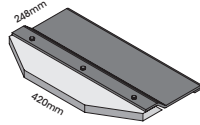

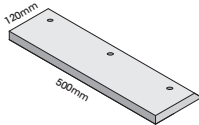
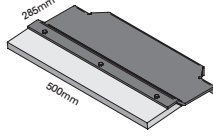

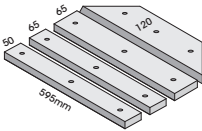
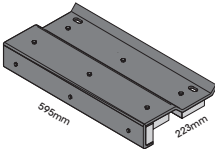
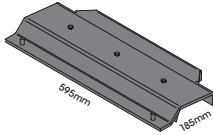

If the promet extension starts to break up and pieces fall into the firebox it must be replaced.

*Note: Impact damage when loading wood and burning wood which is not properly seasoned, i.e. 25% moisture content or more, will cause the promet to disintegrate and require replacement. Always burn dry well seasoned wood and take care when loading wood into the firebox.*

Model	Type of promet required / Type of steel baffle(s) required		Wetback options	
<ul style="list-style-type: none"><li>• Tiny Ped</li><li>• Tiny Rad</li></ul>	<p>Tiny Promet 500-1550</p> 	<p>Tiny Baffle 500-2050</p> 	<p>2kW Wetback 450-0050</p> 	
<ul style="list-style-type: none"><li>• Tiny Rad Woody</li></ul>	<p>Tiny Woody Promet Set 500-2004</p> 	<p>Tiny Woody Baffle 500-2504</p> 	<p>Side Wetback 450-0275</p> 	
<ul style="list-style-type: none"><li>• Wee Rad Base</li><li>• Wee Rad Leg</li><li>• Wee Rad Woody</li><li>• Wee Ped</li></ul>	<p>Wee/R1 Promet Set 500-2005</p> 	<p>Wee/R1 Baffle 500-2505</p> 	<p>Side Wetback 450-0275</p> 	
<ul style="list-style-type: none"><li>• Classic Rad</li></ul>	<p>Classic Rad Promet Set 500-2015</p> 	<p>Classic Rad Front Baffle 500-2520</p> 	<p>Classic Rad Rear Baffle 500-2525</p> 	<p>Side Wetback 450-0275</p> 



# Parts guide for your Metro – Promet, baffles and wetback options

Model	Type of promet required / Type of steel baffle(s) required			Wetback options
<ul style="list-style-type: none"> <li>• Xtreme Rad Base</li> <li>• Xtreme Rad Leg</li> <li>• Xtreme Rad Woody</li> <li>• Xtreme Ped</li> </ul>	<p>Xtreme/R2 Promet Set 500-2010</p> 	<p>Xtreme/R2 Front Baffle 500-2510</p> 	<p>Xtreme/R2 Rear Baffle 500-2515</p> 	<p>3kW Wetback 450-0100</p> 
<ul style="list-style-type: none"> <li>• Mega Rad</li> </ul>	<p>Mega Rad Promet Set 500-2020</p> 	<p>Mega Rad Front Baffle 500-2530</p> 	<p>Mega Rad Rear Baffle 500-2535</p> 	<p>3kW Wetback 450-0100</p> 
<ul style="list-style-type: none"> <li>• LTD Wee Rad Base</li> <li>• LTD Wee Rad Leg</li> <li>• LTD Wee Rad Woody</li> </ul>		<p>LTD Small Promet 500-1700</p> 	<p>LTD Small Baffle 500-2600</p> 	<p>3kW Wetback 450-0100 or 4kW Wetback 450-0150</p> 
<ul style="list-style-type: none"> <li>• LTD Xtreme Rad Base</li> <li>• LTD Xtreme Rad Leg</li> <li>• LTD Xtreme Rad Woody</li> </ul>		<p>LTD Large Promet 500-1850</p> 	<p>LTD Large Baffle 500-2650</p> 	<p>3kW Wetback 450-0100 or 4kW Wetback 450-0150</p> 
<ul style="list-style-type: none"> <li>• LTD Mega Rad</li> </ul>	<p>Mega Rad Promet Set 500-2020</p> 	<p>Mega Rad Front Baffle 500-2530</p> 	<p>Mega Rad Rear Baffle 500-2535</p> 	<p>3kW Wetback 450-0100 or 4kW Wetback 450-0150</p> 

## Metro wood fire specifications

Metro have a Specifications Brochure available which details relevant compliance data for every model. This brochure is updated annually and details the minimum clearances and specifications for all models, which is generally required when applying for a building consent. See your Metro retailer to obtain a copy, or visit [www.metrofires.co.nz](http://www.metrofires.co.nz)

### [metrofires.co.nz](http://www.metrofires.co.nz)

Visit the Metro website: [metrofires.co.nz](http://www.metrofires.co.nz) to view Metro's 'video demos' showing the latest in wood fire technology energy saving options. You can view the entire Metro product range, find out where your nearest Metro retailer is located or simply check out the latest specifications, installation requirements and emission and efficiency data for the Metro of your choice.



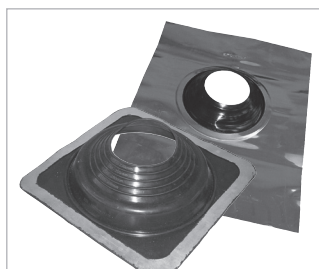
## Pioneer heating accessories

Pioneer/Metro Fires offer a wide range of heating accessories designed to complement your Metro wood fire. The range includes ECO flue systems, floor protectors, wetbacks, heat transfer systems, baffles, bricks and more.

For further details talk to your Metro agency or visit [www.metrofires.co.nz](http://www.metrofires.co.nz)



ECO Flue Systems



Flashrites and Versatiles



Wetbacks



High Temperature Paint



Corner and Wall Floor Protectors



Heat Transfer Systems



Universal Door Seal Kits



Fire Cement And Silicone



Glass Tape



Door Seal Rope

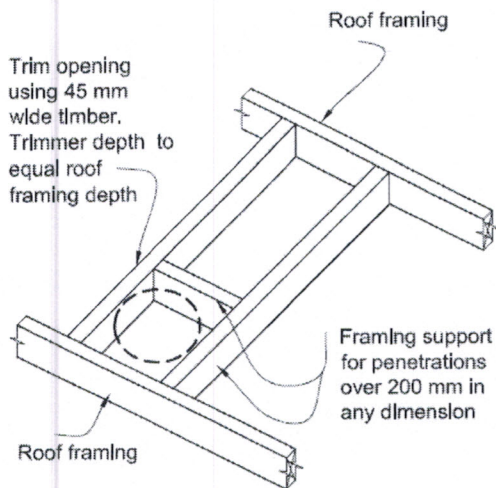


Smoke Detectors

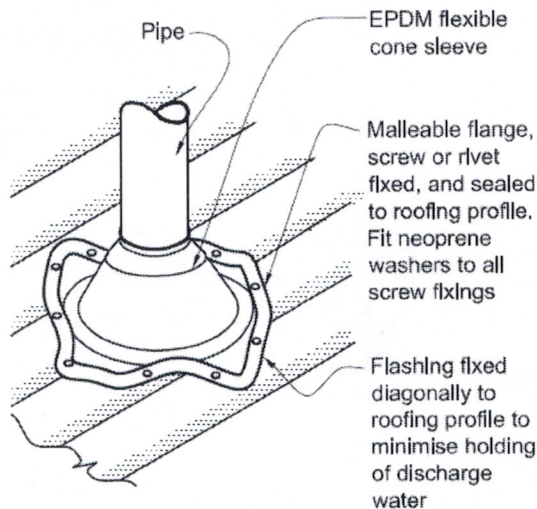
# NZBC E2/AS1

## Roof penetrations through profiled metal

**Figure 21: Penetration support**  
Paragraphs 8.1.7 and 8.4.17



**Figure 53: Flashing for small pipes**  
Paragraphs 8.3.10, 8.4.17, 9.6.8.5 and 9.6.9.6



**NOTE:**

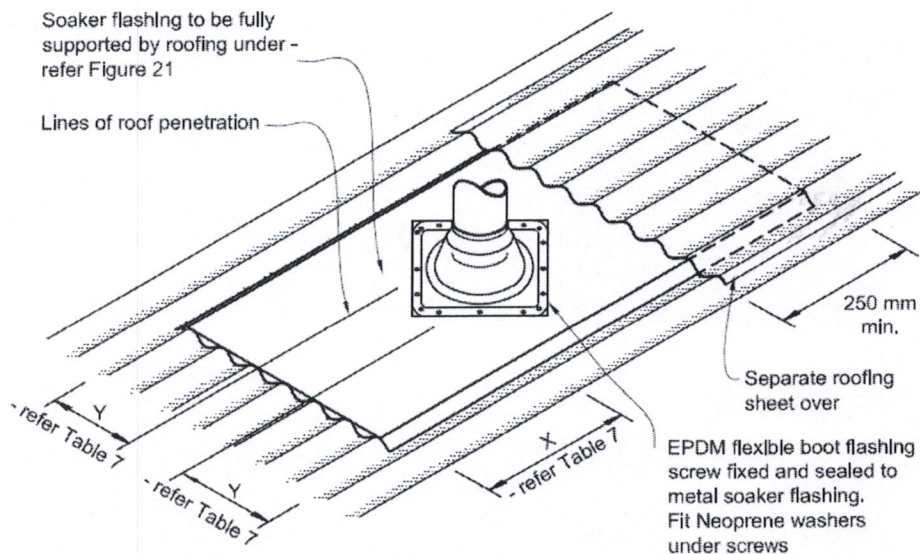
- (1) Max. roof pitch for this flashing 45°, minimum pitch 10°. If base of flange covers one or more complete troughs.
- (2) For pipes up to 85 mm diameter.

**Figure 54: Soaker flashing for pipe penetrations**  
Paragraph 8.4.17

- NOTE:** (1) Suitable for pipes from 86 mm to 500 mm diameter.  
(2) Suitable only for roof pitches of 10° or more.

Soaker flashing to be fully supported by roofing under - refer Figure 21

Lines of roof penetration





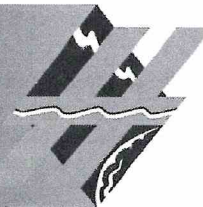
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**Situation 1:** Low, Medium, High *wind zones*, where roof pitch  $\geq 10^\circ$  (X or Z values)  
**Situation 2:** All roof pitches in Very High *wind zones*,  
 Low, Medium and High *wind zones* where roof pitch  $\leq 10^\circ$ . (X or Z values)  
**Situation 3:** For all *roof* pitches in Extra High *wind zone*.



# HURUNUI DISTRICT COUNCIL

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 Web hurunui.govt.nz | facebook.com/HurunuiDistrictCouncil  
 Skype hdc\_customer\_services | twitter.com/hurunuidc



## FORM 2-H

### BUILDING CONSENT APPLICATION AND / OR PROJECT INFORMATION MEMORANDUM FOR A SOLID / LIQUID FUEL HEATING APPLIANCE

Section 33 or Section 45, Building Act 2004

#### APPLICATION

I request that you issue a:

- ☐ Building Consent (including Project Information Memorandum)  
☐ Project Information Memorandum only (PIM)  
☒ Building Consent only  
☐ Amendment to an existing Building Consent

The existing PIM No. (if applicable) is: .....

The existing BC No is: .....

for the building work described in this application:

#### THE BUILDING

Street Address: (or rapid number if applicable) :

(for structures that do not have a street address, state the nearest street intersection and the distance and direction from that intersection)

8 O'Carrolls Rd  
 Hawarden

Legal description of land where building is located :

(state legal description as at the date of application and, if the land is proposed to be subdivided, include details of relevant lot numbers and subdivision consent)

LOT 12 DP 3596

Building Name if applicable :

Number of levels: 2

(include ground level and any levels below ground)

Level/Unit No:

Floor Area (all floors included):

Total / Existing : 100 m<sup>2</sup> est

New / Additional : m<sup>2</sup>

Affected / Altered : m<sup>2</sup>

1980's

Year first constructed :

Refers to the year the dwelling was first constructed. If unknown put approx. decade.

Location of building within site/block number:

(include ground level and any levels below ground)

Current lawfully established use: Residential

(include number of occupants per level and per use if more than 1. If use was changed by the building work this application relates to, state previous use)

#### THE PROJECT – INSTALLATION OF A SOLID/LIQUID FUEL HEATER

Make: Metro

Model: New Rad Legs

☒ New Model ☐ Second Hand Model

Installer: TBC

Address:

If wetback – state Craftsman Plumber's name and address:

Name:

Address:

Will the building work result in a change of use of the building? ☐ Yes ☒ No

If yes, provide details of the new use:

List Building Consents previously issued for this project (if any): (ie, is this project being constructed in stages? Is this acceptance for a relocated or transportable building?)

Fuel: ☒ Wood ☐ Wood Pellets ☐ Diesel / Diesel blend

Clean Air Certification No: 130815

☐ In-built ☒ Free Standing ☐ Wetback

Is this replacing an existing operational fire? ☐ Yes ☒ No

If no, please provide the resource consent number from the Regional Council, if applicable (applies to wood or wood pellet burners only):

Is this replacing an existing wetback? ☐ Yes ☒ No

Intended life of the building:

☒ Indefinite but not less than 50 years

☐ or specified as \_\_\_\_\_ years

Estimated Value of the building work (inc GST)

\$ 5,000  
 on which building levy will be calculated (including GST). State estimated value as defined in section 7 of the Building Act 2004.

If this is an application to amend a building consent, advise the estimated value of amended work (inc GST):

\$

Is this in addition to, or reduction from, what was stated with the original application?

☐ Addition ☐ Reduction ☐ No change

THE OWNER	AGENT – APPLICANT
Owner's Name: <u>Bruce Grindrod</u>	Agent's Name: <u>Kings, Mowers &amp; Hearty</u>
Contact Person: (if owner is not an individual)	Contact Person: <u>Andrew Walker</u>
Mailing Address: <u>8 O'Carrolls Rd</u> <u>Hawarden</u>	Mailing/Billing Address: <u>300 Flaxton Rd</u> <u>Rangiora</u>
Postcode:	Postcode: <u>7402</u>
Street Address/Registered Office:	Street Address/Registered Office:
Postcode:	Postcode:
Mobile Phone: <u>0272018042</u>	Mobile Phone: <u>0211368573</u>
Phone:	Phone: <u>03 3135387</u>
After Hours Phone:	After Hours Phone:
Landline:	Landline:
Daytime:	Daytime:
Fax Number:	Fax Number:
E-mail Address:	E-mail Address: <u>office@kingsmowershearty.co.nz</u>
Website:	Website:
The following evidence of ownership is attached to this application: <input type="checkbox"/> Certificate of Title <input type="checkbox"/> Sale and Purchase Agreement (only if new purchase)	Relationship to owner: <u>Agent</u> (State details of authorisation from the owner to make the application on the owner's behalf)  All consent related invoices/refunds to be addressed to: <input type="checkbox"/> Owner <input checked="" type="checkbox"/> Agent  Note - The Agent will be the first point of contact for communications with the Council/Building Consent Authority regarding this application / Building Work and will receive all correspondence
REQUIRED ATTACHMENTS	
Complete and attach the following checklist and provide all the information, plans and specifications on that checklist: <input checked="" type="checkbox"/> Form T-02-PS-03 <b>Application Fee (Deposit)</b> <u>Please invoice</u> <input type="checkbox"/> Application Fee of \$ _____ (refer to cover sheet for appropriate fees)	
SIGNATURE	
Signature of owner/agent on behalf of and with the authority of the owner <u>AW</u> <input type="checkbox"/> Owner <input checked="" type="checkbox"/> Agent Date: <u>22/4/22</u> Note: If acting "for and on behalf", please read the following declaration before signing: "I hereby declare that I am authorised to act as Agent of the Owner"	

**Notes by applicant:** (Other notes or comments which you as the applicant may wish to add)



### Additional Information to Note

**1. Second hand solid / liquid fuel burners cannot be installed unless:**

- It meets any required "Clean Air" requirements.
- Written evidence is provided to show that the appliance meets Building Code requirements. (An acceptable method is a satisfactory report from the manufacturer or manufacturers agent)
- A new inner flue is required in all cases.

**2. Draw a floor plan showing:**

- Location of the heater
- Location of all walls and doors, with all rooms named (for all floors).
- Location of existing / proposed smoke detectors that comply with the relevant standards must be marked with ●. These will be inspected and tested prior to the issue of a Code Compliance Certificate.

**3. Provide details:**

- Provide a recent photo (within the last 6 months) where the flue will penetrate the roof.
- Intermediate floor penetration.
- Roof flashing details and materials to be used.

**4. Show the location** of the existing water cylinder if a wetback / hot water booster is to be fitted and how the requirements of safe water temperatures will be met (i.e. tempering valve, anti-scald device or an alternative method)

**5. Liquid Fuel Storage.** Show type of fuel (eg: diesel, home blend, kerosene), size and location of the fuel storage tank related to the building and site boundaries. Wall openings (windows or doors) and wall cladding material within one metre of the storage tank vicinity should be shown (including neighbouring properties).

RESTRICTED BUILDING WORK		
Will the building work include any restricted building work <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No If yes, provide the following details of all licensed building practitioners who will be involved in the carrying out or supervising the restricted building work - <i>[if these details are unknown at the time of the application, they must be supplied before the work begins]</i>		
Licensing Class	Name	Licensed practitioner number (or registration number treated as being licensed under section 291 of the building Act 2004)
Foundations		
Carpentry		
Exterior Plasterer		
Bricklayer		
Block-layer		
Roofer		



# BUILDING CODE ASSESSMENT (Not required for PIM only applications)

**Producer Statements:** It is intended that the following Producer Statement(s) will be relied upon to certify or verify compliance of the plans, specifications or completed works with the Building Code. **Note:** Applications including a PS 1 or PS 2 must be supplied with a copy of any design calculations.

☐ PS 1 (Design)
 ☐ PS 2 (Design Review)
 ☒ PS 3 (Construction)
 ☐ PS 4 (Construction Review)

The building work will comply with the building code as follows:

Building Code Clause (Identify which clauses will be involved in the building work)		Means of Compliance (note that a project may include both Acceptable and Alternative solutions)		
		Acceptable Solution / Verification Method (AS1, AS2, VM1, VM2 etc)	Alternative Solution (details verifying compliance required)	Waiver/ Modification (Provide sep. details for justification of acceptance)
B1	Structure	N/A AS1 VM1 AS2 VM2 AS3 VM3 AS4 VM4	YES	YES
B2	Durability	N/A AS1 VM1	YES	YES
C1-6	Protection from fire	N/A AS1 AS2 AS3 AS4 AS5 AS6 AS7 C/VM2	N/A	YES
D1	Access Routes	N/A AS1 VM1	YES	YES
D2	Mechanical Installations for Access	N/A AS1 VM1 AS2 VM2 AS3 VM3	YES	YES
E1	Surface water	N/A AS1 VM1	YES	YES
E2	External moisture	N/A AS1 VM1 AS2 AS3	YES	YES
E3	Internal moisture	N/A AS1 VM1	YES	YES
F1	Hazardous agents on site	N/A VM1	YES	YES
F2	Hazardous building materials	N/A AS1	YES	YES
F3	Hazardous substances and processes	N/A VM1	YES	YES
F4	Safety from falling	N/A AS1 VM1	YES	YES
F5	Construction and demolition hazards	N/A AS1 VM1	YES	YES
F6	Lighting for emergency	N/A AS1 VM1	YES	YES
F7	Warning systems	N/A AS1 VM1	YES	YES
F8	Signs	N/A AS1 VM1	YES	YES
G1	Personal hygiene	N/A AS1 VM1	YES	YES
G2	Laundering	N/A AS1 VM1	✓ YES	✓ YES
G3	Food preparation and prevention of contamination	N/A AS1 VM1	YES	YES
G4	Ventilation	N/A AS1 VM1	YES	YES
G5	Interior environment	N/A AS1 VM1	YES	YES
G6	Airborne and impact sound	N/A AS1 VM1	YES	YES
G7	Natural light	N/A AS1 VM1	YES	YES
G8	Artificial light	N/A AS1 VM1	YES	YES
G9	Electricity	N/A AS1 VM1	YES	YES
G10	Piped services	N/A AS1 VM1	YES	YES
G11	Gas as an energy source	N/A AS1 VM1	YES	YES
G12	Water supplies	N/A AS1 AS2 VM1	YES	YES
G13	Foul water	N/A AS1 VM1 AS2 VM2 AS3 VM4	YES	YES
G14	Industrial liquid waste	N/A AS1 VM1	YES	YES
G15	Solid waste	N/A AS1 VM1	YES	YES
H1	Energy efficiency provisions	N/A AS1 – VM1	YES	YES

COMPLIANCE SCHEDULE (Inspection, Maintenance and Reporting Procedures)														
Do not fill in this section if this application is only for a project information memorandum														
Are there specified systems in the building? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No														
If existing building, please state the Building Warrant of Fitness Number: _____														
Are any specified systems affected by this application? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No														
Hazards Category:				Total Occupancy Numbers:										
Purpose Group (select all relevant)														
CS <input type="checkbox"/>	CL <input type="checkbox"/>	CO <input type="checkbox"/>	CM <input type="checkbox"/>	SC <input type="checkbox"/>	SD <input type="checkbox"/>	SA <input type="checkbox"/>	SR <input type="checkbox"/>	SH <input type="checkbox"/>	WL <input type="checkbox"/>	WM <input type="checkbox"/>	WH <input type="checkbox"/>	WF <input type="checkbox"/>	IA <input type="checkbox"/>	ID <input type="checkbox"/>
The following systems are existing, being altered, added to, or removed in the course of the building work	Existing	New	Altered	Removed	Inspection performance standards	Maintenance performance standards	Reporting frequency							
1: Automatic Systems For Fire Suppression														
2: Automatic Or Manual Emergency Warning Systems														
3/1: Electromagnetic Or Automatic Doors Or Windows														
3/2: Access Control Doors														
3/3: Automatic Fire Doors Or Windows Forming Part Of Firewall														
4: Emergency Lighting Systems														
5: Escape Route Pressurisation Systems														
6: Riser Mains For Use By Fire Services														
7: Automatic Backflow Preventers														
8: Lifts, Escalators														
9: Mechanical Ventilation Or Air Conditioning Systems														
10: Building Maintenance Units														
11: Laboratory Fume Cupboards														
12: Audio Loops Or Other Assistive Listening Systems														
13: Smoke Control Systems														
14/1: Emergency Power Systems														
14/2: Signs Relating To A System Or Feature Specified In Any Clauses Above.														
15/1: Systems For Communicating Spoken Information Intended To Facilitate Evacuation														
15/2: Final Exits And Other Exit Doors														
15/3: Fire Separations Protecting A Means Of Escape														
15/4: Signs For Communicating Information Intended To Facilitate Evacuation														
15/5: Smoke Separations														
16: Cable cars														

Date: 22/4/2022

To whom it may concern

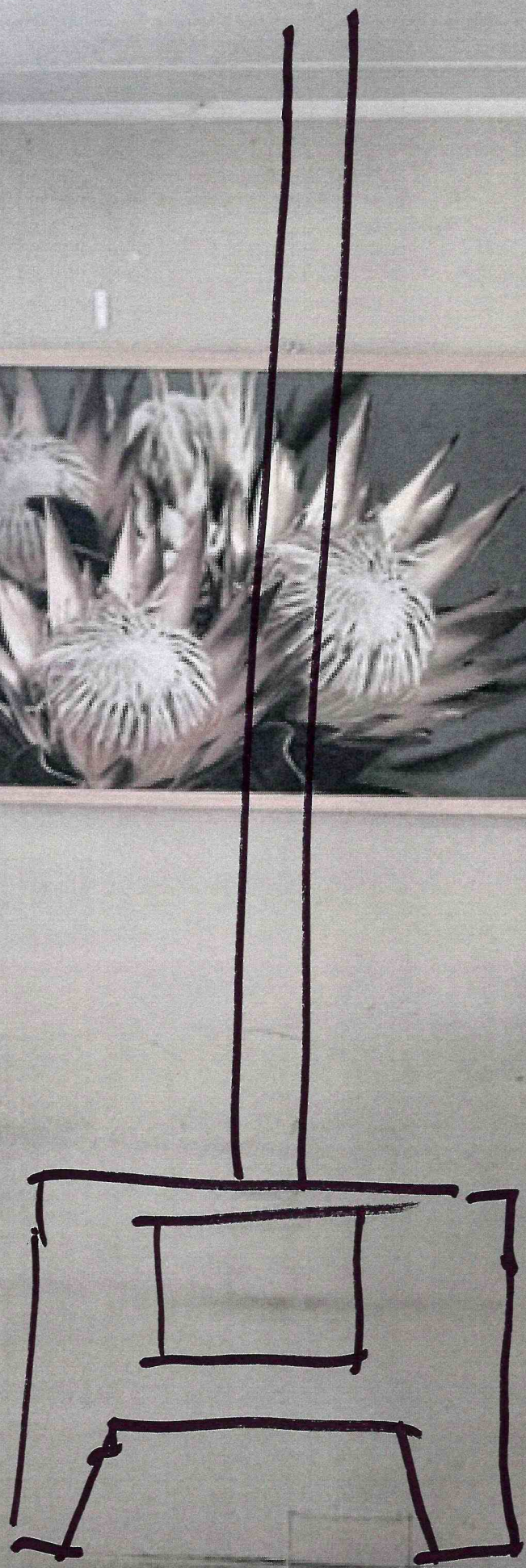
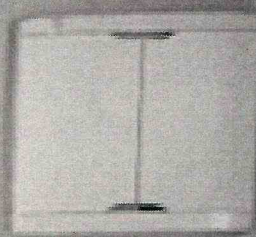
I/ we authorise Kings Mowers and Heating Ltd to act as my / our agent in respect of matters concerning the application and installation of a log fire at my / our property at

8 O'Carrolls Rd, Hawarden

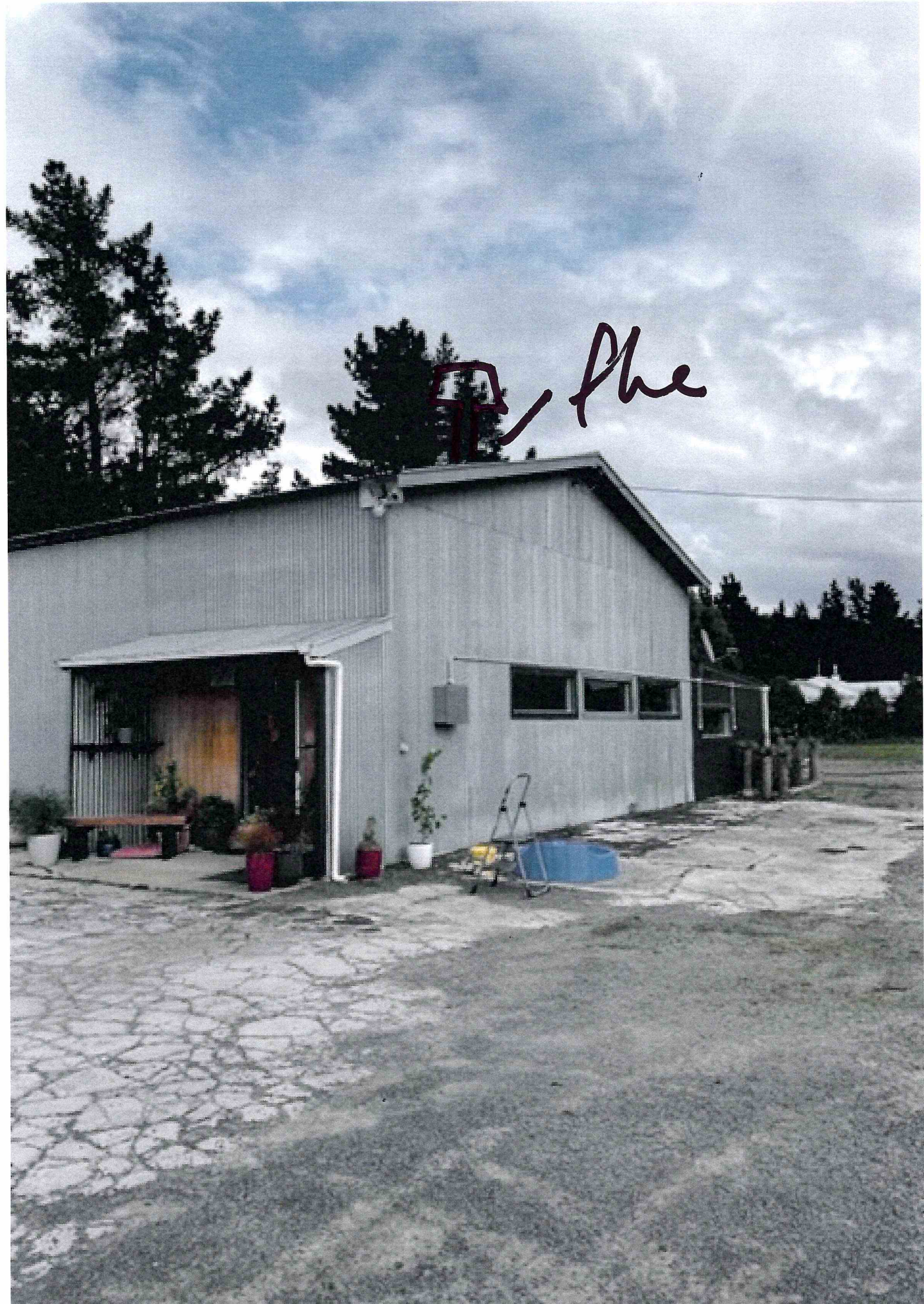
Name: Bruce Grindrod Signature: B. Grindrod

Name: \_\_\_\_\_ Signature: \_\_\_\_\_





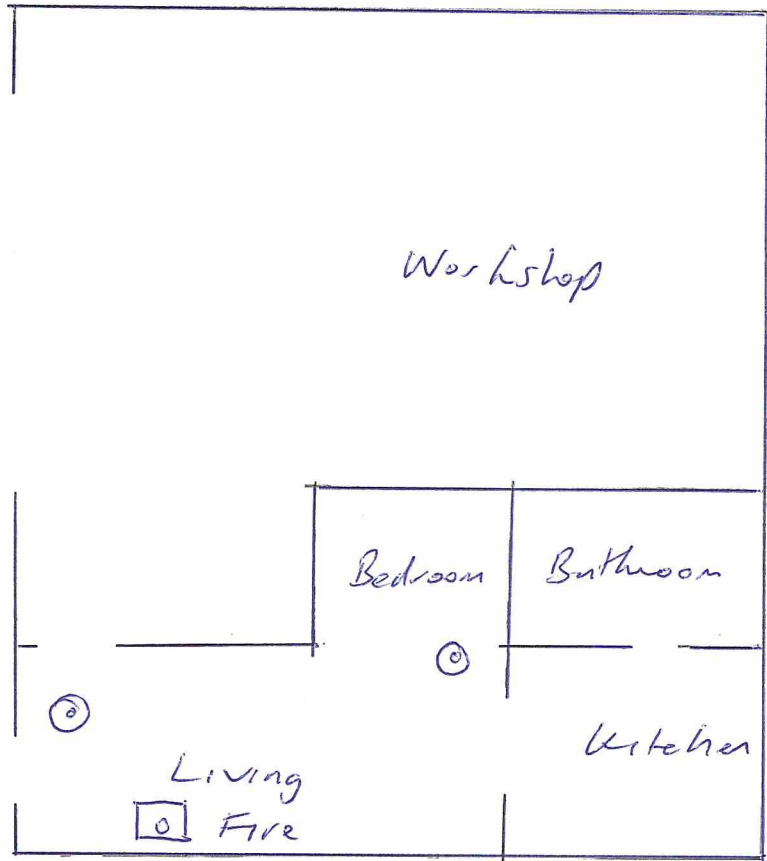




The



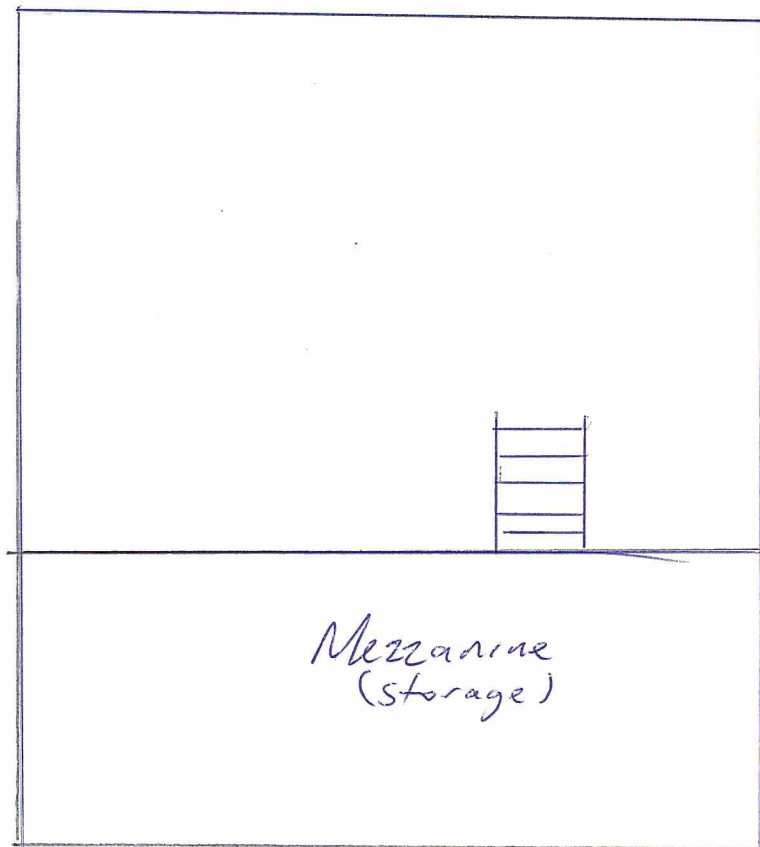
15.5m



12.5m

Ground Floor

⊙ Smoke Alarm



Mezzanine floor





## Solid/Liquid/Fuel Heater Installer's Installation Certificate

Building Consent Number :

Site Address :

Make :

Model :

Clean Air Registration Number :

Solid Fuel Heater

Liquid Fuel Heater

Free Standing

Inbuilt

Yes

No

N/A

The existing chimney has been cleaned prior to installation

Is the fireplace surround/chimney face junction sealed up with heat resistant material

The flue pipe is constructed of austenitic stainless steel

Seismic restraint has been fitted

The flue sections are secured together with stainless steel rivets

The flue is secured to the appliance

The chimney void has been vented at the top

Is the Solid Fuel Burner and Flue as per the building consent

Flue joints sealed in accordance with manufactures instructions

Fire safety valve connected and working correctly (diesel burners)

Flue and appliance clearances have been achieved in terms of the manufacturer's instructions (NZS 7421 or AS/NZS 2918:2001)

The flue height meets the minimum specified in the manufacturer's instructions, NZS7421, and Regional Council rules

The application has been installed and commissioned in accordance with the manufacture's installation and operating instructions (Liquid fuel only)

The liquid fuel storage tank and feed system has been installed in accordance with AS1691, or equivalent, and with the requirements of the Council's Hazardous Substances Officer

Smoke detectors as detailed on the building consent documents are installed

If response to any of the items is 'no' please comment :

Water heater – model and part number :

I **(name)** certify that the above specified installation has been carried out as described and in accordance with the manufacturers installation instructions and the current approved building code requirements

Installers Signature :

(Installer) Date :


### RESOURCE MANAGEMENT ACT MATTERS – LIQUID FUEL HEATER

Yes


No

Does the fuel storage tank have secondary containment in accordance with the District Plan  
(NB: Audit monitoring will be carried out)

If response is 'no' please comment why :

	<h1 style="text-align: center;">Wood burner Consent Check Sheet</h1> <p style="text-align: center;">(T-02-PS-03)</p>	Ref : T-02-PS-03
		Version: 3
		Issued: 6 July 2017

<b>Check Sheet – Documents required before Application can be formally received</b>	<b>Applicant</b>	<b>Council</b>

Fee paid (\$390.00 – add \$20 if you require a Certificate of Title) <i>Please review</i> HDC A/C # for direct online payment : <b>03-0802-0946666-00</b>		
Building Consent Application - Form 2 (signed and correctly / fully completed)	✓	
Certificate of Title (relevant to property & no more than 6 months old)	✓	
Agent Nomination form (required if applicant is not the property owner)	✓	
<b>Project details / drawings required (to scale) :</b>		
Floor plan (showing location of fire(s), smoke detectors and building exit points)	✓	
Elevations and/or photos (showing existing roof lines and inside where fire will be located)	✓	
Burner unit specifications and installation instructions	✓	
Flue specifications and installation instructions	✓	
Flashing details to any building envelope penetrations (e.g. flue and any other pipes)	✓	
ECAN approval (for non-clean-air burner to be installed within site <2 ha in size)		
 <b>Subject to fast processing : (see notes below for conditions)</b>		
<b>( applies ONLY to standard residential and inbuilt installations. 24 hour processing DOES NOT include :</b> <ul style="list-style-type: none"> <li>- free-standing wood burners installed into low height cavities</li> <li>- if wall shields are required to allow reduced clearances to combustible materials</li> <li>- wood-fired ovens</li> <li>- second-hand fires</li> <li>- open fires</li> <li>- exterior fires/fire pits</li> <li>- any fire/flue not tested to NZS 2918</li> </ul> <p>Please ensure your day time contact number is included for the 24hr issue time to be achieved</p>		
Approved consent documentation will be available to download from our website. Printed copies will only be sent upon request and will incur printing and postage charges.		

**For Building Consent Authority Use Only:**

This application is \_\_\_\_\_ as all relevant information \_\_\_\_\_ been supplied

Signed :

Name :

Date :

Notes :

**KEY:**      ✓ = Receive      X = Missing or inaccurate      NA = Not Applicable



Address: PO Box 13, Amberley  
Telephone: (03) 314 8816  
Facsimile: (03) 314 9181

Kings Mowers and Heating Ltd  
360 Flaxton Road  
Rangiora 7400

**Customer No** BC220205  
**Date** 27/04/22  
**GST Reg No** 53-915-477

## Tax Invoice 56944

220205: Woodburner - Metro Wee Rad Legs  
8 O'Carrolls Road, Hawarden  
Set Fee

445.00 \*

(\* Incl GST \$58.04)

**Sub Total** **\$445.00**

**Total incl GST**

**\$445.00**

Council's bank account 03-0802-0946666-00

Kings Mowers and Heating Ltd

**Customer No** BC220205  
**Date** 27/04/22  
**Invoice No** 56944  
**Total Due** \$445.00





VALUATION DEPARTMENT

**NOTICE OF CHANGE OF OWNERSHIP  
OR OCCUPANCY**

PURSUANT TO SECTION 49, RATING ACT 1967

VALUATION REFERENCE

V. 411

VALUATION DEPARTMENT

P.O. BOX 13443  
Christchurch

PLEASE TYPE Hurunui County Council

P.O. Box 13,  
Amberley

VR ALF			INDICATORS		PREVIOUS OWNER/OCCUPIER/LESSEE			
ROLL AMENDED:		FIELD SLIP NOTED:		SALES LIST NOTED:		SURNAME	OTHER NAMES	
PLAN NOTED:		CV		LV		HURUNUI COUNTY COUNCIL		
NEW OWNER/OCCUPIER/LESSEE Enter first the name of the person to exercise Ratepayer Vote.								
SURNAME				OTHER NAMES		OCCUPATION		
MILLER				RAYMOND HENRY		Painter		
POSTAL ADDRESS - STREET								
Seymour Street								
- TOWN								
Hawarden								
AREA (metric)		HA		3035		CERTIFICATE/S OF TITLE		
						89		
LEGAL DESCRIPTION								
Lot 12 DP 3596 part RS 2540								
STREET NO		STREET, ROAD		ADDRESS OF PROPERTY				
		Horsley Down Road		Hawarden				
DETAILS OF TRANSACTION								
NATURE OF TRANSACTION		(State which) Sale, gift, will, exchange, JFH, lease, sub-lease, transfer of lease, surrender of lease, etc.						
Sale								
DATE OFFER ACCEPTED		DATE OF SETTLEMENT		DATE OF POSSESSION				
/ /		3 / 2 / 84		3 / 2 / 84				
GROSS CONSIDERATION		LAND & BUILDINGS		CHATELS		OTHER		
\$ 4,000		\$		\$		\$		
SUBJECT TO TENANCY		VENDOR FINANCE		IF SO, AMOUNT		TERM		
YES/NO		YES/NO		\$				
IF MULTI-UNIT PROPERTY, IS THERE ANY SPECIFIC RATE SHARING AGREEMENT?		YES/NO		IF SO, WHAT IS THE AGREED SHARE FOR THIS FLAT?		BUILDINGS ON THE LAND?		
						YES/NO		
DETAILS OF LEASE - GROUND LEASE/LAND & BUILDINGS LEASE/DEFERRED PAYMENT LICENCE/OTHER								
LEASE No.		RENTAL		TERM		FROM		
RIGHT OF RENEWAL		YES/NO		COMPENSATION FOR IMPROVEMENTS		OTHER DETAILS:		
OWNER OR AGENT NAME:				SIGNATURE:				
RA Young Hunt & Co. HELMORE BOWRON & SCOTT								
ADDRESS:				PHONE No.:				
PO Box 929 P.O. Box 44, Rangiora				743 880				
DATE		TYP		CLASSIFICATION		GROSS PRICE		
CATEGORY		ZONE		USE		UNIT		
CV		LV		VI		X-REFERENCE-1		
GROSS SITE AREA		LEGAL DESCRIPTION				Nat. Ind.		
VALUERS REMARKS				VENDOR/PURCHASER				
CSI		LOT		CTR		LSC		
VEW		SCP		HST		MOD		
EYB		MFL		TFL		PFN		
DEK		L/W		LOI		CAR		
DRV		GMR		GFS		OUT		





VALUATION DEPARTMENT

**NOTICE OF CHANGE OF OWNERSHIP  
OR OCCUPANCY**

PURSUANT TO SECTION 49, RATING ACT 1967

VALUATION REFERENCE

V.411

VALUATION DEPARTMENT

P.O. BOX 13443

Christchurch

PLEASE TYPE

Hurunui County Council

PO Box 13

AMBERLEY

69043B-5,500 pads/8/81 MK

V R A L F			INDICATORS			PREVIOUS OWNER/OCCUPIER/LESSEE	
						SURNAME	OTHER NAMES
ROLL AMENDED:			FIELD SLIP NOTED:			SALES LIST NOTED:	
PLAN NOTED:			CV			LV	
HAWARDEN TENNIS CLUB INCORPORATED							
NEW OWNER/OCCUPIER/LESSEE <i>Enter first the name of the person to exercise Ratepayer Vote.</i>							
SURNAME				OTHER NAMES		OCCUPATION	
✓ HURUNUI COUNTY COUNCIL							
POSTAL ADDRESS - STREET							
PO Box 13							
- TOWN							
AMBERLEY							
AREA (metric)		HA		3035 M <sup>2</sup>		CERTIFICATE/S OF TITLE	
						317 89	
LEGAL DESCRIPTION							
Lot 12 Deposited Plan 3596							
STREET NO		STREET, ROAD		ADDRESS OF PROPERTY			
				Horsley Down Road			
DETAILS OF TRANSACTION							
NATURE OF TRANSACTION		(State which) Sale, gift, will, exchange, JFH, lease, sub-lease, transfer of lease, surrender of lease, etc.					
SALE							
DATE OFFER ACCEPTED		16 / 8 / 82		DATE OF SETTLEMENT		29 / 5 / 83	
DATE OF POSSESSION		29 / 5 / 83					
GROSS CONSIDERATION		\$3,000		LAND & BUILDINGS		\$	
CHATELS		\$		OTHER		\$	
SUBJECT TO TENANCY		YES/NO		VENDOR FINANCE		YES/NO	
IF SO, AMOUNT		\$		TERM			
IS S. 168/3 RATING ACT, 1967 APPOINTMENT REQUIRED?		YES/NO		IF SO, WHAT IS THE AGREED SHARE FOR THIS FLAT?		BUILDINGS ON THE LAND?	
						YES/NO	
DETAILS OF LEASE - GROUND LEASE/LAND & BUILDINGS LEASE/DEFERRED PAYMENT LICENCE/OTHER							
LEASE No.				RENTAL		TERM	
FROM							
RIGHT OF RENEWAL		YES/NO		COMPENSATION FOR IMPROVEMENTS		YES/NO	
						OTHER DETAILS:	
OWNER OR AGENT NAME:		Meares Williams				SIGNATURE:	
ADDRESS:		PO Box 660 Christchurch				PHONE No.: 69179	
DATE		TYPE CLASSIFICATION		GROSS PRICE		NET PRICE	
CHATELS		OTHER		PRODUCTION			
CATEGORY		ZONE		USE		UNIT % SUB	
PARK		AGE		COND		CONS	
SITE COVER		FLOOR					
CV		LV		VI		X - REFERENCE - 1	
X - REFERENCE - 2						X1	
GROSS SITE AREA		LEGAL DESCRIPTION				Nat. Ind.	
VALUERS REMARKS							
CV		LV					



# North Canterbury Building Advisory Service

8 Willowside Place Amberley New Zealand

Phone 03 314 8624 Fax 03 314 8629 Mobile 025 243 9966

16<sup>th</sup> March 2005

To Mr R H Miller  
1 Seymour Street  
Hawarden

17/18/8



Re Report on Construction of Lean-too shed attached to rear wall of existing shed  
8 O'Carrolls Road  
Hawarden

## Disclaimer

This report is my opinion and my opinion only.

It is based upon a site visit, and what can physically be seen on the site visit, and not what may lie unseen beyond the surface.

No local authority records have been searched to make this report.

This report has been prepared by John Arthur who has 32 years experience in the building industry and is a member of B.O.I.N.Z (Building Officials Institute of New Zealand).

My report is based upon a site visit to the shed at 8 O'Carrolls Road, Hawarden on Wednesday, 16<sup>th</sup> March, 2005.

## Lean-too Shed Construction

Approx 12m wide x 6m deep (3 bays)

One end closed in

150 x 150 GT posts

200 x 50 end rafters spanning 3m

Double 200 x 50 rafter to centre bays spanning no greater than 3.6m

150 x 50 end wall girts

200 x 50 purlins x 900 c/s max and spanning 3.8m

Galvanized corrugated iron to end wall and roof

Fixings and bracing is good

This Lean-too shed has been constructed to the standard required by N.Z.S 1900, Chapter 2, Division 11.2 1985.

As this shed was constructed without a building consent being obtained from the local Authority (Hurunui District Council) it would be at their discretion should any action be taken with regards to non - consented items. I, therefore recommend that a copy of this report be forwarded to the Hurunui District Council requesting that consideration be given to hold this report on the property file of 8 O'Carrolls Road, Hawarden, for future reference.



**Patricia Blatchford**  
INZ Affiliate

ib@xtra.co.nz

.nationwidenz.co.nz

e 03 314 8831 Mob 027 438 0505



L.H. Miller (Ray)

8 O Carrolls Rd

Hawarden

3144322

Office 03 314 9081

Fax 03 314 8975

115c Carters Road

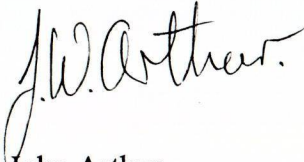
Amberley

**Nationwide**<sup>TM</sup>  
COATES TURNBULL REAL ESTATE LTD  
NATIONWIDE

I trust that this report meets your requirements. However, should you have any further queries, please do not hesitate to contact me.

Assuring you of my best attention at all times.

Yours sincerely

A handwritten signature in cursive script, appearing to read 'J.W. Arthur'.

John Arthur  
Building Consultant  
A.M.B.O.I.N.Z.

## North Canterbury Building Advisory Service

8 Willowside Place Amberley New Zealand

Phone 03 314 8624 Fax 03 314 8629 Mobile 025 243 9966

16<sup>th</sup> March 2005

SCANNED

To Mr R H Miller  
1 Seymour Street  
Hawarden

Re Report on Construction of Lean-to shed attached to rear wall of existing shed  
8 O'Carrolls Road  
Hawarden

### Disclaimer

This report is my opinion and my opinion only.

It is based upon a site visit, and what can physically be seen on the site visit, and not what may lie unseen beyond the surface.

No local authority records have been searched to make this report.

This report has been prepared by John Arthur who has 32 years experience in the building industry and is a member of B.O.I.N.Z (Building Officials Institute of New Zealand).

My report is based upon a site visit to the shed at 8 O'Carrolls Road, Hawarden on Wednesday, 16<sup>th</sup> March, 2005.

### Lean-to Shed Construction

Approx 12m wide x 6m deep (3 bays)

One end closed in

150 x 150 GT posts

200 x 50 end rafters spanning 3m

Double 200 x 50 rafter to centre bays spanning no greater than 3.6m

150 x 50 end wall girts

200 x 50 purlins x 900 c/s max and spanning 3.8m

Galvanized corrugated iron to end wall and roof

Fixings and bracing is good

This Lean-to shed has been constructed to the standard required by N.Z.S 1900, Chapter 2, Division 11.2 1985.

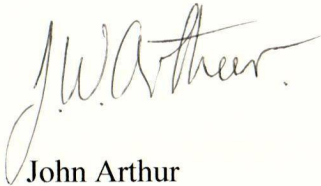
As this shed was constructed without a building consent being obtained from the local Authority (Hurunui District Council) it would be at their discretion should any action be taken with regards to non - consented items. I, therefore recommend that a copy of this report be forwarded to the Hurunui District Council requesting that consideration be given to hold this report on the property file of 8 O'Carrolls Road, Hawarden, for future reference.



I trust that this report meets your requirements. However, should you have any further queries, please do not hesitate to contact me.

Assuring you of my best attention at all times.

Yours sincerely

A handwritten signature in cursive script, appearing to read 'J. W. Arthur'.

John Arthur  
Building Consultant  
A.M.B.O.I.N.Z.

Mr R. H. Miller

1 Seymour St  
Hawarden

24TH Nov 99

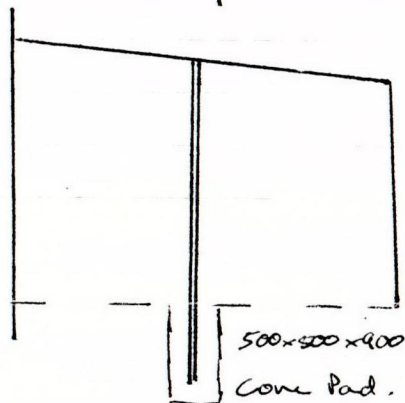
Ph 3144411

Fax 3144611

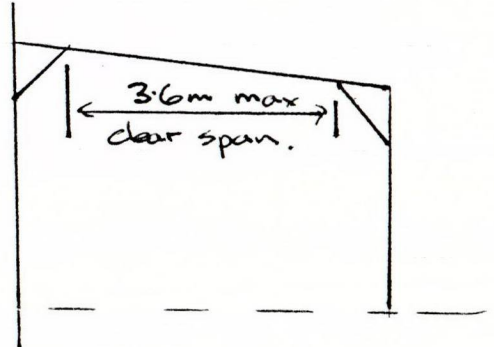
Report on The construction of a lean-to type shed attached to The back wall of an existing shed at 8 O'Carroll Road, Hawarden.

The following items need attention so as to bring the lean too shed up to The standard required for This type of building (N.Z.S. 1900 Chapter 11 Division 11.2 1985).

- ✓ 1 All connections must have 12mm dia Galvanised Bolts (10mm bolts used at present)
- ✓ 2 The end covered in wall needs solid blocking between ground level and The rafter (dwarags cut between The girts) so as The rafter span does not exceed 3m.
- ✓ 3 The other three double 200x50 Rafters also need supporting as Their span is too great (3.6m max span). This can be achieved by one of The following
  - a Pole in  $\phi$  of rafter or
  - b Knee braces.



Pole would need to be checked between The rafters and bolted with 2/12mm Galv Bolts. The bottom of The pole set in conc as above.



The knee braces can be either 100x75 or 150x50 timber attached between The rafter by 2/12mm Galv Bolts and attached to The post by 1/12mm Galv Bolt Through The meaty part of The Timber. Approx angle of braces is 45°. Ensure That max span distance does not exceed 3.6m.

Please inform me when the above tasks have been completed so as a further inspection can be made and the report written up.

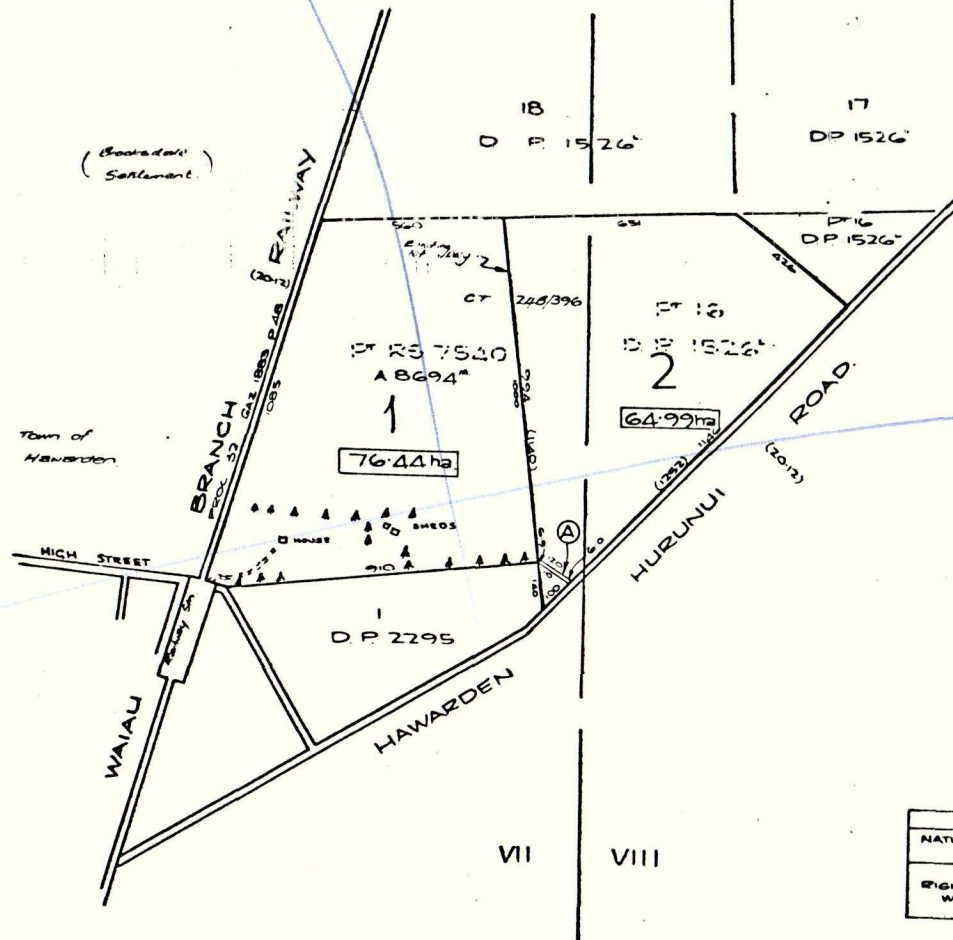
Yours sincerely  
JW Arthur.

Building Consultant.



Hee/168

BLKS VII & VIII WAIPARA SD  
HURUNUI COUNTY



Note: - All areas & dimensions are subject to survey.

MEMORANDUM OF EASEMENT			
NATURE	SERVIENT TENEMENT LOT	SHOWN	DOMINANT TENEMENT
RIGHT OF WAY	2	A	1

TOTAL AREA 141.4351 ha

No.	Date	Amendment	FB	LB
			Surveyed	
			Designed	
			Traced	
			Checked	

PROPOSED SUBDIVISION OF  
PT LOT 16 DP 1525 & PT RS. 7540  
(COMPRISED IN CT 248/396)  
Regd Owners: EG & SG Hume

**MCCLELLAND, BRANTHWAITE & ASSOCIATES**

Registered Surveyors & Civil Engineers  
2nd Floor, Shaw Savill Chambers  
Cor High & Cathedral Sts Christchurch  
P.O. Box 1061 Telephone 83 821

Date: OCT. 1984 Scale: 1:10000

Also at 113A High St  
DUNEDIN  
Telephone 8776

Sheet of Sheets  
REF. 6500

Copyright in this plan is held by McClelland, Branthwaite & Associates

7/12/84 Cr Barker

HCC/187

1. Ray Miller — Hawarden

landscape plan — drop note re: when plan is coming.



hand into Educ<sup>n</sup> Bd property — not on R.O.W.

Discuss with Cr Barker.

2/7/85.

Spoke to Mr. Miller

landscape plan being prepared by Andy Greenacre

Cr Little is aware of situation, will see Martin

August

93



Forrest  
HCC/187

30th July, 1984.

Dear Sir/Madam,

RE: APPLICATION FOR PLANNING CONSENT (HCC/187)  
NOTICE OF DECISION

APPLICANT: R.H. Miller

NATURE OF PROPOSAL: To erect a concrete block building to sell paint, glass and associated products, erect a corrugated iron building for the storage of sand and machinery and to carry out water blasting and sandblasting on the site.

LOCATION OF LAND: Horsley Down Road, Hawarden ("Old tennis courts" site).

AREA: 3035 m<sup>2</sup>

LEGAL DESCRIPTION: Pt. Lot 12 D.P. 3596 (C.T. 317/89).

ZONE: Residential

COUNCIL DECISION: As it is considered that neither the proposed water blasting or spray painting uses of the site, nor the retail sale of paint, glass and associated products, nor the proposed buildings are permitted uses in the Residential zone, the Council's Planning Committee considered the application in terms of the specified departure criteria (Section 74) of the Town and Country Planning Act 1977.

Having considered all the evidence submitted the Committee considers that it is a proper use of the specified departure procedure to create a "transition" from the industrial to the residential zone. The Committee considers that activities in or on the "transitional" site can be controlled as a non-conforming use and under conditions imposed in respect of this consent.



The Committee also took cognizance of the public benefit which would accrue from granting consent to the application and the fact that the applicant would be utilising an existing "hard standing" area (asphalt tennis courts) which would otherwise not be used. The Committee also considered the fact that work on the site would be on a limited basis. This fact, together with the setting of appropriate conditions, is considered as being sufficient to meet the concerns of objectors.

ACCORDINGLY, COUNCIL GRANTS ITS CONSENT TO THE APPLICATION (EXCLUDING SANDBLASTING) PURSUANT TO SECTIONS 67 AND 74 OF THE TOWN AND COUNTRY PLANNING ACT 1977, SUBJECT TO THE FOLLOWING CONDITIONS:

- (a) THAT THE APPLICANT PROVIDE ACCESS AND PARKING TO THE SATISFACTION OF THE COUNTY ENGINEER; AND
- (b) THAT ALL SURFACE WATER BE PROPERLY DISPOSED OF WITHIN THE SITE, OR REMOVED FROM THE SITE, TO THE SATISFACTION OF THE COUNTY ENGINEER; AND
- (c) THAT THE SITE BE SUITABLY LANDSCAPED WITHIN ONE YEAR OF NOTIFICATION OF THIS CONSENT, AND MAINTAINED THEREAFTER TO THE SATISFACTION OF THE COUNCIL; AND
- (d) THAT POSSIBLE NOISE EMISSIONS FROM THE SITE BE REDUCED AS FAR AS POSSIBLE BY BAFFLING ALL NOISE PRODUCING MACHINERY, AND LINING BUILDINGS, TO THE SATISFACTION OF THE COUNTY ENGINEER; AND
- (e) THAT HOURS OF OPERATION BE RESTRICTED TO 7 A.M. TO 7 P.M. MONDAY TO FRIDAY AND 7 A.M. TO NOON ON SATURDAYS BUT EXCLUDING SATURDAY P.M., SUNDAYS AND PUBLIC HOLIDAYS; AND
- (f) THAT PAINTING NOT BE UNDERTAKEN WHEN CONDITIONS RENDER IT IMPOSSIBLE TO CONTAIN ALL PAINT AND NOXIOUS VAPOURS WITHIN THE BOUNDARIES OF THE SITE; AND
- (g) THAT A SPRAY BOOTH BE CONSTRUCTED WITHIN TWO YEARS OF THE NOTIFICATION OF THIS CONSENT. ONCE ERECTED ALL PAINTING IS TO BE UNDERTAKEN WITHIN THE SPRAY BOOTH.

INFORMATION:

This notice is distributed in terms of Regulation 38 (4) of the Town and Country Planning Regulations 1978. The applicant and objectors are advised that they may appeal to the Planning Tribunal against the Council's decision or against any condition, restriction or prohibition imposed in respect of that decision, as provided for in Section 69 of the Town and Country Planning Act 1977. (Refer "Notes for Applicants and Objectors" enclosed).

Yours faithfully,  
A.J. McKendry,  
COUNTY CLERK.

per:



APPLICANT:

Mr R.H. Miller,  
c/- Helmore, Bowron and Scott,  
P.O. Box 44, (Registered A.R.)  
RANGIORA.

ATTENTION : Miss D. McLean

COPY TO: Mr R.H. Miller

OBJECTORS:

1. W.H. and E.M. Westlake,  
P.O. Box 101, (Registered A.R.)  
HAWARDEN.
2. Mrs K. Hyndman,  
165 Ensors Road, (Registered A.R.)  
CHRISTCHURCH, 2.

INTERESTED  
PARTIES:

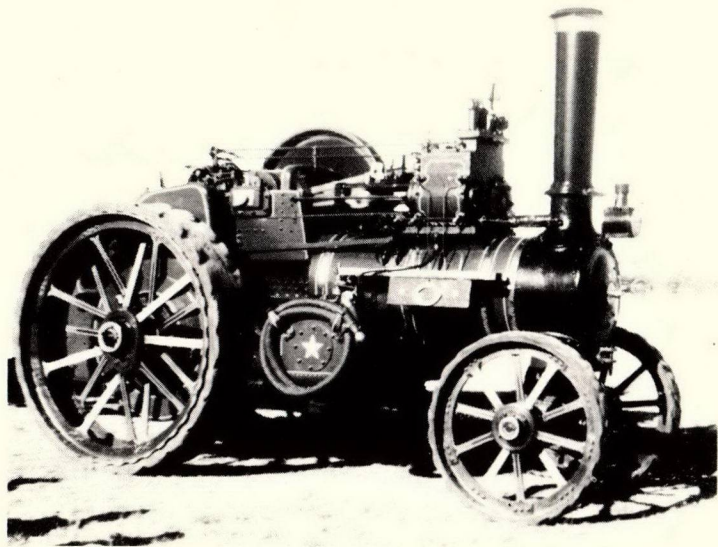
District Commissioner of Works,  
Ministry of Works and Development,  
P.O. Box 1479,  
CHRISTCHURCH.

Secretary,  
Canterbury United Council,  
P.O. Box 1997,  
CHRISTCHURCH.

Branch Manager,  
Valuation Department,  
P.O. Box 13-443,  
CHRISTCHURCH.

County Engineer

County Building Inspector



MARSHALL 1909  
NUMBER 52609  
HURUNUI VINTAGE MACHINERY CLUB

Prem Ne page 12 Jun  
84  
The County Planner

Mr D Forrest

Hurunui County Council

P O Box 13

Amberley



A.R.

ADVICE OF DELIVERY  
(INLAND ARTICLES ONLY)



Registered/Insured Article No. 562

Posted at Amberley

on 12.6.1984

addressed to District Council of Ashburton

Now to

By 1479

Check

Sender:

HURUNUI COUNTY COUNCIL

P.O. BOX 13

AMBERLEY

The undersigned acknowledges that the  
article mentioned hereon was duly received

on 14-6-1984

Signature of addressee or agent.

Signature of delivery officer.

Receipt No.

Book

18798/5/79-X8

HCC/187

No letter following  
Council Resolution ???



A.R.

ADVICE OF DELIVERY  
(INLAND ARTICLES ONLY)

Registered/Insured Article No. 543

Posted at Amberley

on 12.6 1984

addressed to Sec

CVC

Bx 1997

Chch

Sender:

HURUNUI COUNTY COUNCIL

P.O. BOX 13

AMBERLEY

The undersigned acknowledges that the article mentioned hereon was duly received

on 19 JUN 1984

Signature of addressee or agent.

Signature of delivery officer.

Receipt No. 60056 489

18798/5/79-X8

A.R.

ADVICE OF DELIVERY  
(INLAND ARTICLES ONLY)

Registered/Insured Article No. 544

Posted at Amberley

on 12 June 1984

addressed to Comm of Wks

Howard

Bx 12041

WGN N

Sender:

HURUNUI COUNTY COUNCIL

P.O. BOX 13

AMBERLEY

The undersigned acknowledges that the article mentioned hereon was duly received

on 14-6-84

Signature of addressee or agent.

Signature of delivery officer.

Receipt No. 32102.

18798/5/79-X8



HURUNUI COUNTY COUNCIL  
P.O. BOX 13  
AMBERLEY

MISCELLANEOUS RECEIPT

Cheque

Cash

\$ 125.00

Name R.H. Miles

Address P.O. Box 74, Hawarden

for Town Planning Application

No Receipt without register-printed figures will be recognised as valid.

f  
for County Clerk

4793 125.00  
000 16/07/84



FORREST  
HCC/187

14th January, 1985.

Mr R.H. Miller,  
P.O. Box 74,  
HAWARDEN.

Dear Sir,

re: Planning Consent - Landscaping Condition

You will recall that the Council's grant of planning consent dated 30th July 1984, contained several conditions, one of which stated:

"(c) that the site be suitably landscaped within one year of notification of this consent, and maintained thereafter to the satisfaction of the Council."

As the Council is obliged to assess the suitability of your landscaping would you please forward a copy of your 'landscape plan' or alternatively provide the Council with details of what you intend to plant, where you intend to plant, and when you intend to plant.

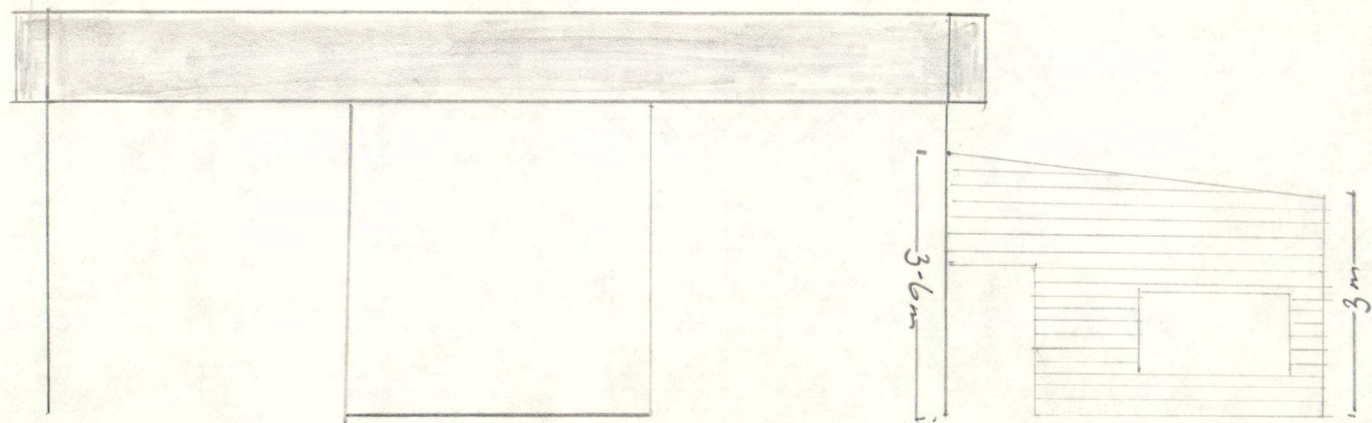
Should you require further information or clarification regarding this request, please do not hesitate to contact the writer.

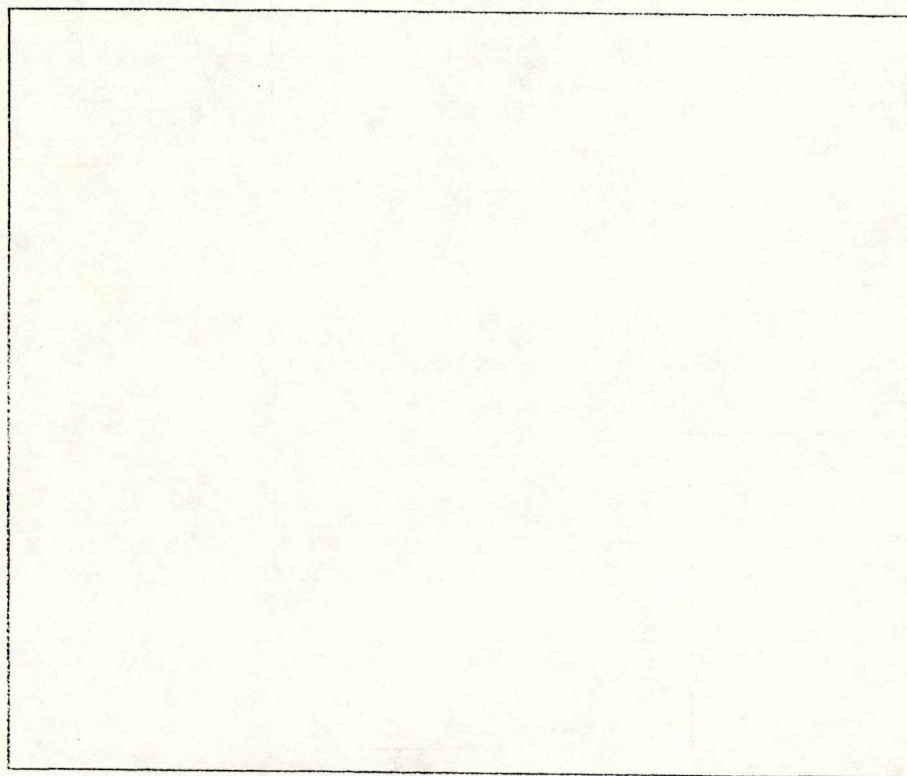
Yours faithfully,

A.J. McKendry,  
COUNTY CLERK.

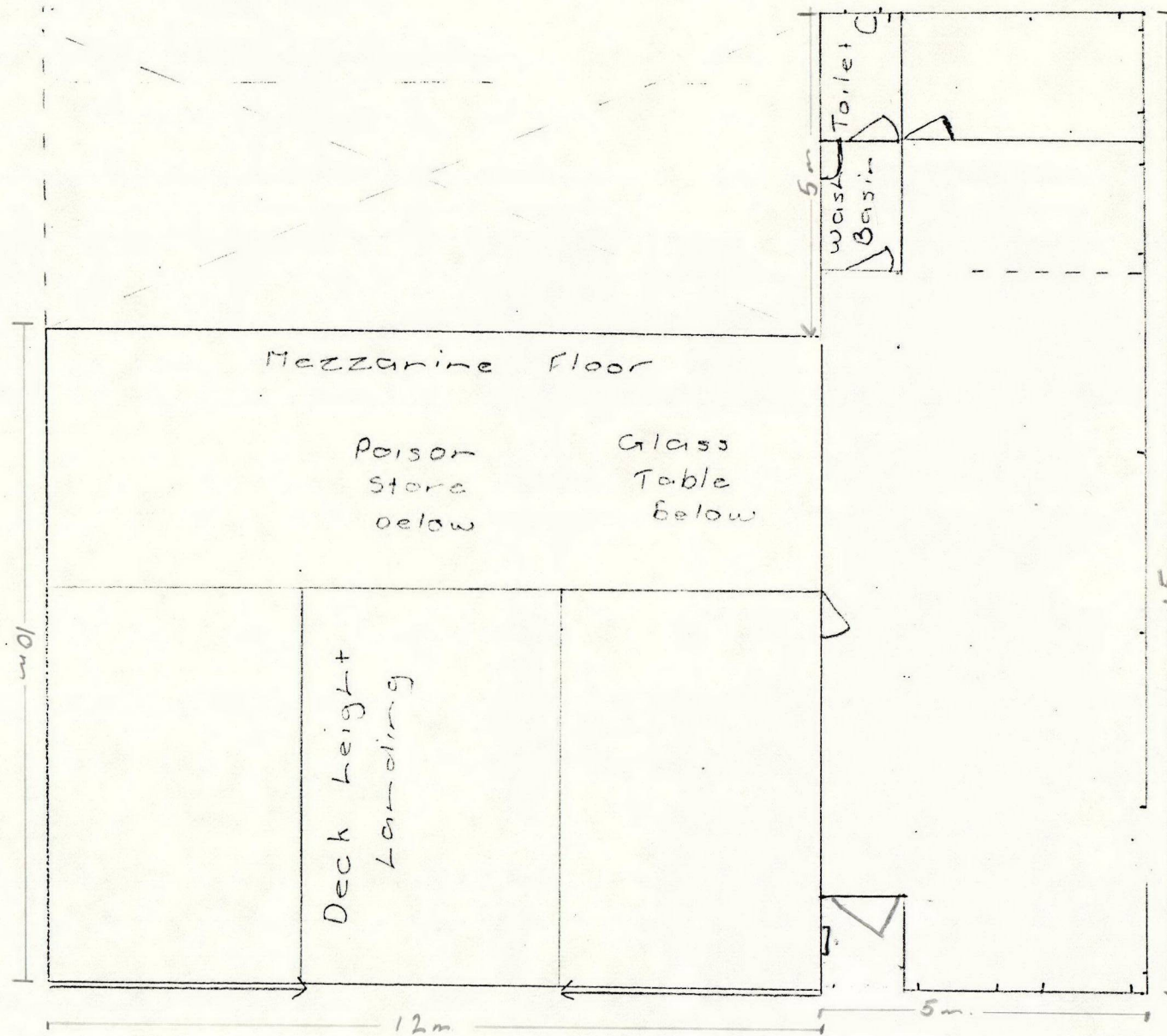
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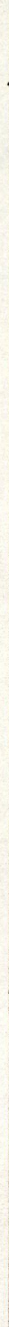
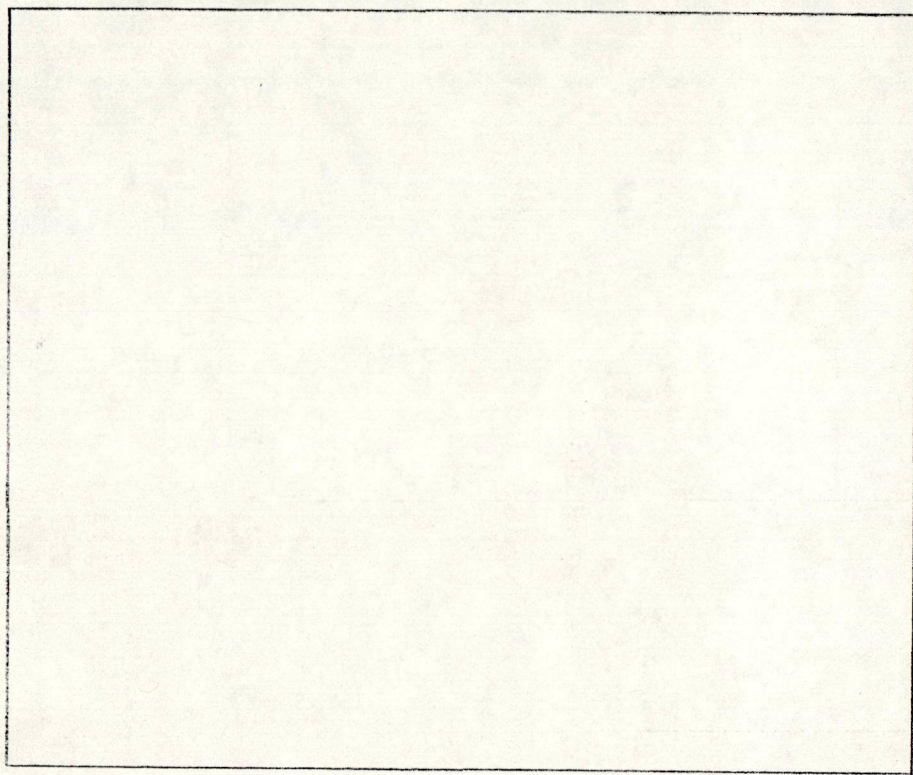














MINUTES OF A MEETING OF THE HURUNUI COUNTY COUNCIL'S PLANNING COMMITTEE  
(CONSTITUTED PURSUANT TO SECTION 169A OF THE TOWN AND COUNTRY PLANNING  
ACT 1977) HELD AT THE COUNCIL CHAMBERS, AMBERLEY, ON FRIDAY 16th AUGUST,  
1985 AT 9.15 a.m.

PRESENT: Crs S.J.S. Barker (Chairman), W.E. Basher, J.W. Gray, R.H.W. Hamilton, R.M. Mathers (Jnr), J.D. Shearer and T.A.W. Wyllie.

APOLOGIES: Crs F. Loe, H.N. Munro and C.N. Mackenzie

RESOLVED - THAT THE APOLOGIES BE SUSTAINED AND LEAVE OF  
ABSENCE GRANTED.

IN ATTENDANCE: Messrs B.W. Thompson (Planning Consultant) (to 1.30 p.m.),  
A.C. Feierabend (County Planner), R.G. Norris (County Health  
Inspector) (for hearing of L.B. France application), and Miss  
J.P. Bailey (Committee Clerk).

BUSINESS:

(1) CONFIRMATION OF MINUTES

THAT THE MINUTES OF THE COMMITTEE MEETING HELD ON THE 19th  
JULY 1985, BE CONFIRMED, SUBJECT TO THE FOLLOWING AMENDMENT:

- (a) Page 8 (3) DELETE "Approval was given in principle subject  
to receipt of a satisfactory management plan".

INSERT after 'AT WHICH TIME' - "The decision was deferred  
pending the submission of a management plan."

Shearer/Hamilton

CARRIED

(2) NOTIFIED PLANNING APPLICATIONS

APPLICANT: (HCC/245) L.B. FRANCE, Douglas Road, Amberley.

OBJECTORS: A.H.G. Taylor  
R.R. & J.A. McGregor

APPLICATION: To operate a business manufacturing 'Decoupage  
Pictures' and to erect a building to facilitate  
this activity.

Mr & Mrs L.B. France attended the hearing.

The application, objections and the Planning Consultant's  
Report (refer appendix HCC/245A) were taken as read.

Mr France detailed the manufacturing process and informed the  
meeting that having assessed the buildings presently on the  
property he no longer wished to apply for consent to erect a  
building to facilitate his business.

He advised that it was his intention to use the building marked  
on the plan submitted as part of the application as 'existing  
workshop'. This building is approximately .5 metre from the  
west boundary. Suggestions that this building could be  
relocated were made. However, Mr France indicated that he  
felt this would be too costly and this was one of the reasons  
for withdrawing the erection of the new building from the  
application. Mr France further said that his operation was  
small and would not be increased, if any change were likely  
it would be to decrease the scale of operation as they  
intended to divert their energies into the horticultural  
development of the remainder of the property.



Further Mr France presented two written testimonials in support of his application (refer appendix HCC/245B).

The County Health Inspector presented his written report (refer Appendix HCC/245C) and asked that consideration be given to using the building marked 'existing garage' on the plans, due to its central location away from the boundaries.

Mr France indicated that the building faced the objectors property and would mean that only when the wind blew in that direction would he be able to carry out some of his work, therefore it was his opinion that although closer, the 'existing workshop' would be more suitable.

The Hearing Committee were satisfied that the proposal could be categorised as a 'home occupation' as only those people living on the property were likely to be employed and that the scale of operation was small. Further the Committee felt if conditions were imposed that to grant consent would have little or no planning significance beyond the vicinity of the site, and there would be no adverse effects to neighbours. Granting consent was unlikely to set a precedent and further the provisions of the scheme could remain without change.

PURSUANT TO SECTIONS 67 AND 74 OF THE TOWN AND COUNTRY PLANNING ACT 1977 THAT THE COUNCIL GRANT CONSENT TO THE APPLICATION TO MANUFACTURE DECOUPAGE PICTURES AS DESCRIBED IN THE APPLICATION, USING THE BUILDING MARKED 'EXISTING WORKSHOP' ON THE PLAN SUBMITTED SUBJECT TO THE FOLLOWING CONDITIONS:

- (1) THE PROPOSED MANUFACTURING USE SHALL REMAIN SECONDARY TO THE RESIDENTIAL USE OF THE PROPERTY.
- (2) ONLY THOSE PERSONS RESIDING ON THE PROPERTY MAY BE EMPLOYED.
- (3) NO MACHINERY SHALL BE USED SO AS TO CAUSE OBJECTIONABLE NOISE OR VIBRATION ON THE NEIGHBOURING PROPERTY.
- (4) ADVERTISING SHALL BE CONFINED TO A SINGLE SIGN OF NO MORE THAN 0.2 M<sup>2</sup> LOCATED AT THE FRONTAGE OF THE PROPERTY.
- (5) NO GOODS SHALL BE DISPLAYED FOR SALE ON THE PROPERTY.
- (6) THE HOURS OF OPERATION OF THE PROPOSAL SHALL NOT BE BEFORE 0700 HOURS OR EXTEND LONGER THAN 1800 HOURS ON A DAILY BASIS. THAT EXCLUDES WORK ON SUNDAY.

Gray/Mathers (Jnr)

CARRIED

APPLICANT: (HCC/234) T.N. GILES (North Amberley Motors Ltd),  
Corner Courage and Main North Roads, Amberley.

OBJECTORS: J.D. Henshaw, C.V.E. Hoban and S.R. McEwan  
N.E. Almond  
L.G. and B.A. Smith  
K.A. and J.D. Butters  
Main Road Motors  
I.C. Stanley

APPLICATION: To install a seven tonne L.P.G. storage tank and associated pipework and automotive retail dispenser for motor vehicle retail sales in association with existing garage.

The following attended the hearing:

Mr T.N. Giles (the applicant)  
Ms S. Kelly (employee of the applicant)  
Mr A. Hearn (applicant's legal representative)  
Mr McLean (Mr Hearn's assistant)  
Mr Douglas (Shell Gas New Zealand)  
Mr Daikee (New Zealand Fire Service)



The application, New Zealand Fire Service Report (refer Appendix HCC/234A) and the Planning Consultant's Report (refer Appendix HCC/234B) were taken as read.

Mr Hearn presented a written submission for Mr Giles (refer Appendix HCC/234C). It was estimated that the tank would be 18 metres from the nearest residential property.

Ms Kelly read Mr Giles submission on his behalf (refer Appendix HCC/234D).

Mr Douglas as witness for the applicant presented a written statement of evidence (refer Appendix HCC/234E). Further, Mr Douglas made reference to section 4.1.3 of the New Zealand Fire Service report relating to the water spray system. In his opinion this system did not greatly assist the disposal of any vapour resulting from a spillage of L.P.G. Further, he considered the New Zealand Fire Service recommendations were inconsistent, in that in some instances a fixed water system had been requested for tanks over one tonne. The Dangerous Goods Act required that the bottle fill area should be no closer than 3 metres to the storage tank; in this instance it was considerably further from the tank. Galvanised iron poles and a mesh fence would be installed to protect the bottlefill area.

#### OBJECTORS

Mr K. Hineman appeared for Main Road Motors Ltd. It was his opinion that a seven tonne L.P.G. storage tank was too large for safety. Further he considered that adequate supplies were available at Amberley, Woodend and Waipara.

Mrs McEwan presented a written submission on behalf of Mrs Hoban, Mr Henshaw and herself (refer Appendix HCC/234F).

#### NEW ZEALAND FIRE SERVICE RECOMMENDATION

Mr Daikee pointed out that the immediate concern in the eventuality of a leak would be to stabilize the area to ensure the safety of the surrounding community. In recommending the water spray system he had to consider several factors including proximity to residential areas and safety of the volunteer brigade that would be likely to attend any leakage. Cost of such a water system was estimated to be \$10,000.

Further, the effectiveness of a manual hose reel is dependent on the skill of the operator. Also in coming to their recommendation they had considered that although leakages were not an everyday occurrence there has been a steady increase of leakage problems.

The applicant, his legal and engineering advisors answered questions from the Committee. The filling operation would be the most risky situation and it was considered that a larger tank would mean less frequent trips to the site to fill the storage tank.

Concern was expressed by the Committee regarding the access from Courage Road near the intersection with State Highway 1.

Mr Giles informed the Committee that since erecting a large sign this problem had been improved.

The Committee advised that planning consent was needed prior to erection of the sign. Mr McLean agreed to look into the problem of this particular access.



RIGHT OF REPLY

In considering the application Mr Hearn asked that the Committee take cognizance of the Planning Tribunal case B.P. Gas N.Z. Ltd v. Invercargill City which was a similar situation to the proposal in question here. The Tribunal in that case had over-ruled the Council decision which had declined the application on grounds of close proximity to residential properties and places of public congregation.

THAT THE DECISION BE DEFERRED.

Chairman/Gray

CARRIED

The meeting was adjourned to 1.15 p.m.

The Committee considered the various aspects of the application at length. Consideration was given to the applicants obligations to meet the requirements of the Dangerous Goods Act. To consent to the proposed L.P.G. storage tank would be in the public interest.

Following consideration of evidence given at the hearing the Committee were satisfied that the site was suitable if conditions were imposed.

The Committee took cognizance of the relatively recent introduction of L.P.G. in New Zealand and that the Operative (Ashley) District Scheme did not allow for such installations and further, to consent to such a proposal would not discredit the district scheme.

The requirement of the New Zealand Fire Service to install a water spray system was considered in depth. From evidence given at the hearing the Committee agreed that such a requirement was reasonable.

Access to and from the Courage Road entrance near the retail sales outlet was of concern to the Committee. Although not a condition of consent it was recommended that Mr Giles and Shell Oil N.Z. Ltd be asked to investigate this matter further in conjunction with the County Engineer.

THAT CONSENT BE GRANTED TO THE APPLICATION AS SUBMITTED PURSUANT TO SECTIONS 67 AND 74 OF THE TOWN AND COUNTRY PLANNING ACT 1977 SUBJECT TO THE FOLLOWING CONDITONS:

- (1) THAT THE SITING AND LAYOUT OF THE FACILITY BE IN ACCORDANCE WITH THE PLANS SUBMITTED WITH THE APPLICATION.
- (2) THAT POINTS OF ACCESS AND EGRESS ONTO COURAGE ROAD BE CLEARLY DEFINED, AND NO DELIVERY TANKER BE REQUIRED TO REVERSE FROM OR ONTO THE SITE.
- (3) THAT A 1.5 METRE WIDE VEGETATIVE SCREEN BE PLANTED AND MAINTAINED ALONG THOSE PARTS OF COURAGE ROAD FRONTAGE WHICH ARE NOT REQUIRED FOR VEHICLE ACCESSWAYS, TO THE SATISFACTION OF THE COUNTY ENGINEER. A PLAN TO BE PREPARED BY THE APPLICANT FOR THE APPROVAL OF THE ENGINEER BEFORE PLANTING IS COMMENCED.
- (4) THAT THE REQUIREMENTS OF THE N.Z. FIRE SERVICE AND DANGEROUS GOODS REGULATIONS BE MET.
- (5) THAT A MANUALLY OPERATED FIXED WATER SPRAY SYSTEM BE INSTALLED TO THE SATISFACTION OF THE N.Z. FIRE SERVICE.

Basher/Gray

CARRIED



(3) NON-NOTIFIED PLANNING APPLICATIONS

APPLICANT: (HCC/248) F.G.R. and H.A. TEMPLE, Loburn-Whiterock Road, Loburn.

APPLICATION: Permission is sought to erect a dwellinghouse accessory to a farming unit on land zoned Rural 1.

Mr and Mrs Temple and Mr A. Spiers (Farm Advisory Consultant) attended the hearing.

The application, Farm Advisory Report and County Planner's Report (refer Appendix HCC/248A) were taken as read.

The Chairman invited the applicants and their advisor to make further submissions.

Mr Spiers said that his report allowed for rotation of crops. Further the financial returns were based on Stock Agent current prices. His clients intended to continue to farm the property as it was at present.

The Committee considered that the present operation was using approximately 80 hectares with one dwellinghouse and operator.

From the evidence received it was proposed to continue the same farming operation but decrease the farmed area by three quarters and to require one further house. If this were agreed to then all 80 hectares could be subdivided and 3 new dwellinghouses requested, when in fact one dwellinghouse and operator is farming the total area under the same conditions as proposed.

No evidence was received that showed that the dwellinghouse was both 'necessary' and 'accessory' to the economic viability of an economic unit. Therefore the dwellinghouse could not be considered a predominant use as set out in 2.2 (c) of Ordinance 1 - Rural 1 zone of the Operative (Ashley) District Scheme.

THAT CONSENT BE REFUSED.

Hamilton/Wyllie

CARRIED

(4) SCHEME PLANS/SUBDIVISION MATTERS

APPLICANT: (HCC/187) R.W. WIGHTMAN, Lower Sefton Road, Sefton.

APPLICATION: The applicant's surveyor, Messrs McClelland, Branthwaite and Associates, submitted an application to subdivide R.S. 40427 resulting in two allotments being Lot 1 of 21.5 hectares and Lot 2 of 48 hectares.

COUNTY PLANNER'S REPORT

Mr Feierabend's report (refer Appendix HCC/187A) recorded that it was proposed to amalgamate Lot 1 with an adjacent property owned by Mr Matthews.

Further the Committee were satisfied from the evidence presented that the remaining allotment would be potentially capable of being operated as an independent economic unit.

THAT THE PLAN AS SUBMITTED BE APPROVED SUBJECT TO THE DISTRICT LAND REGISTRAR'S APPROVAL OF THE FOLLOWING AMALGAMATION CONDITION PURSUANT TO SECTIONS 279 (1) (b) AND 2 (a) OF THE LOCAL



GOVERNMENT ACT 1974:

THAT LOT 1 ON THE PLAN BE AMALGAMATED WITH RS 1918, 1953, 1958 BLOCKS IV AND VIII RANGIORA SURVEY DISTRICT C.T. 275/154 AND ONE CERTIFICATE OF TITLE BE ISSUED.

Shearer/Hamilton

CARRIED

(5)

GENERAL BUSINESS

(a) DISPENSATIONS CONSIDERED UNDER DELEGATED AUTHORITY

M.A.K. BAKER, 23 Courage Road, Amberley

Dispensation was requested and granted to reduce the front yard requirement from 4.5 metres to 3.0 metres.

THAT THE ACTION BE RATIFIED.

Basher/Mathers (Jnr)

CARRIED

(b) SIGNS

The County Planner reported that two signs had been displayed at different times outside the property of M.A. Martin, State Highway One, just south of Amberley. Planning Consent for the erection of these signs is required.

THAT A LETTER BE SENT TO M.A. MARTIN EXPLAINING PLANNING REQUIREMENTS AND REQUESTING AN APPLICATION TO ERECT SIGNS.

Chairman/Wyllie

CARRIED

(c) REVIEW/FOLLOW-UP OF PREVIOUS NOTIFIED PLANNING APPLICATIONS

It was proposed to check that conditions of consent have and/or are being complied with on a number of previous Notified Planning Applications (refer Appendix G.B. 1).

The Committee discussed the matter and it was requested that the following application be included on the list:

(HCC/153) D.A. & P.J. WOOD, Dixons Road, Ashley.

Consent was granted to erect a dwellinghouse and associated accessory buildings in conjunction with land to be converted to an orchard (as set out in the application).

(d) (HCC/187) R.H. MILLER, Hawarden/Waikari Road, Hawarden

A request had been received to locate the buildings in a slightly different position on the property to that approved in the original consent.

The County Planner informed that this is a minor change to the previous consent.

The Chairman reported that Cr Little and he had met with Mr Greenslade the landscape gardener employed by Mr Miller. It was considered a practical move to place all the proposed buildings together centrally on the section. Mr Miller had carried out considerable work already in removing tree stumps and establishing a limestone drive.

Cr Little and the Chairman recommended that the Committee accept the landscape plan as submitted with the buildings to be located as shown on these plans.

RESOLVED - THAT THE RECOMMENDATION BE ACCEPTED.



(e) DISTRICT SCHEME REVIEW

Typing of the draft was continuing. Mr D. Forrest (Davie, Lovell-Smith and Partners) had made a recent visit, leaving the following appendices: Designated Public Works, Reserves, Land subject to protection notices, Identified Community Uses, Places and Items of Special Value.

These require schedules to be made up and to be referenced on maps appropriately.

(f) SERVICE TRANSPORT, AMBERLEY

Concern was expressed at the recent increase in scale of the Transports operations on the block of land the Company owned between the County Office and the Main Trunk Railway Line. The site is zoned Service 2 and as such transport depots are a conditional use of the property. Intensity, scale and character of the operation has changed considerably recently.

THAT A LETTER BE SENT SETTING OUT THE PLANNING AND BUILDING REQUIREMENTS AND REQUESTING A NOTIFIED APPLICATION FOR PLANNING CONSENT AS A MATTER OF URGENCY.

Basher/Wyllie

CARRIED

(g) WEKA PASS RAILWAY, WAIPARA

A request had been received to allow a building to be moved to the Waipara end of the line to serve as a Railway Station.

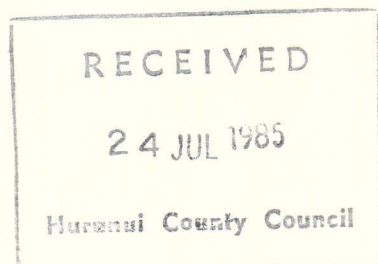
A report from Davie, Lovell-Smith and Partners informed that at present existing use rights would apply to designated railway land. However in a schedule received recently of designated areas of public works, the Ministry of Works showed that the old Waiau Trunk Line no longer required designation.

RESOLVED - THAT A NOTIFIED PLANNING APPLICATION BE REQUESTED IN RELATION TO ESTABLISHING THE RAILWAY STATION AT WAIPARA.

The meeting concluded at 2.50 p.m.

Confirmed .....  
Chairman

Date .....



P O Box 74,  
Hawarden.  
18th July 1985.

Hurunui County Council,  
P O Box 13,  
Amberley.

Dear Sir,

Re old Tennis Courts on Horsley Down Road.

In the original application for the above site I enclosed a plan for the layout of section which consisted of a shop on the North East corner of No 3 court and a storage shed on the North West corner of No 1 court.

This letter concerns the resiting of the storage shed to the North West corner of No 2 court.

Since receiving consent to use this land as requested I have hired a Landscaper (Mrs Sandy Greenslade). We have discussed the layout of the section, siting of sheds, Trees, Shrubs and drive to back of section. The resiting would compliment the forming of drive and the trees in the background. Also with having had loaders and dozers on the section to remove stumps and pushing them up into a pile to burn the travelling around on No 1 court has started to break it up. This was to be the floor of the shed. With the shed being forward it would give an area behind for parking of machinery on vehicles so it would not be obvious from the road in the meantime. In the longterm with planting on front, the shed and machinery will not be seen from road.

For any information on planting and landscaping contact Mrs S Greenslade. Enclosed is new proposed siting on section also plans for shed.

Yours faithfully,

*R H Miller*

R.H.Miller.

ACK	
ACTION	<i>C/P</i>
COPY	<i>Cons Bunker &amp; Little</i>

*B/E*

*24/7/85*  
*93*



REPORT TO: HURUNUI COUNTY COUNCIL'S PLANNING COMMITTEE

FROM: COUNTY PLANNER

SUBJECT: APPLICATION FOR PLANNING CONSENT (HCC/187) -  
R.H. MILLER, HORSLEY DOWN ROAD, HAWARDEN.

DATE: 18TH JULY, 1984.

1.0 INTRODUCTION

- 1.1 Mr Miller seeks Council's consent to erect a concrete block building to sell paint, glass and associated products, erect a corrugated iron building for storage of sand and machinery and carry out sand and water blasting and spraypainting on land zoned Residential.

In a letter received by the Council on the 13th July 1984, the applicant has now withdrawn that part of the application relating to sandblasting.

- 1.2 The site and general vicinity of this application have been inspected, all statutory requirements have been met, and two objections to this application have been received. Advisory letters have been received from the Ministry of Works and Development, the Canterbury United Council and the County's Health Inspector.

2.0 COMMENTS

- 2.1 The site (the "old tennis courts") are zoned Residential in the Operative (Waipara) District Scheme.

- 2.2 Neither the proposed water blasting or spray painting uses of the site, nor the retail sale of paint, glass and associated products are permitted uses in the Residential zone.

Likewise the proposed buildings are not permitted, either as predominant or conditional uses in the zone.

The Industrial B and C zones provide for water blasting and spray painting as either predominant or conditional uses depending on the nature and scale of the particular activity. The retail sale of paints, glass and associated products is a conditional use in the Commercial A zone and a predominant use in the Commercial B zone, as is any building from which the retailing is to be undertaken.

- 2.3 Accordingly if the Council is satisfied that the proposed uses are not permitted uses in the Residential zone, then this application must be considered as a specified departure pursuant to S74 of the Act. Three limitations must be satisfied before the Council may consent. These are:-



- (a) That the effect of the departure would not be contrary to the public interest; and
- (b) That it would have little town and country planning significance beyond the immediate vicinity of the site concerned; and
- (c) That the provisions of the scheme can remain without change.

#### 2.4 Public interest

In determining this aspect the primary matter of public interest is the "integrity" of the district scheme; that is that its general provisions are respected and given effect to. The applicant must establish that his case is a "true exception" which necessarily falls outside, but does not offend, the general provisions of the scheme.

#### 2.5 Planning significance

As to the second element the "significance" spoken of is planning importance or consequence. It can and should be measured in two ways -

- (a) in the actual effect of the proposal upon land uses (actual and prospective) in the immediate vicinity and beyond;
- (b) in its consequences in relation to the general provisions of the district scheme and the pattern of development laid down thereby.

The effect of the proposal in the immediate vicinity is likely to be related to three aspects of the proposal:-

- (a) Noise - from a 4 cylinder Wisconsin compressor and a petrol driven motor on a pump.
- (b) Spray drift - from the spray painting operation.
- (c) Visual impact - of buildings, stock crates and other machinery or plant awaiting or being painted.

Given the proximity of existing dwellinghouses (approximately 45.0, 15.0 and 20.0 metres respectively from the site boundaries) specific conditions would be necessary to prevent the proposal having any detrimental effect on the neighbourhood if the Council were to grant consent to the application.

As to the second form of measure, if a departure application is not based upon exceptional or abnormal circumstances, and the circumstances are no different from those applying to many other land owners, in the immediate vicinity and beyond, then the consequences of approving the application are great.



2.6

Scheme Remain Without Change:

As to 2.3 (c) above if a public need has been demonstrated for the proposed uses to become established on the site; and if it is not appropriate that any other of the uses permitted in the zone in which those uses are ordinarily to be found should become established on that site; and/or if it is desirable that the particular uses should remain under specific planning control as non-conforming uses, then it can be said that the district scheme can remain without change. Once such new uses are established, if there is then no reason why they should remain under specific planning control, or if there is then no reason why other uses permitted in the zone in which those uses are ordinarily to be found should not become established on that site, then the district scheme cannot remain without change - the zoning of the site must be changed so that the use of the site becomes a conforming use, and so that the district scheme can remain an honest document.

(Davies Properties v Auckland City (1972) 4 NZTPA 205-207)

2.7

Objections Received

2.7.1 Two objections have been lodged against this application. (Copies of the full objections are attached to this report.) A summary of their concerns is as follows:

(a) Overspray from the water blasting and spray painting.

(b) Noise.

(c) Zoning and location.

- Overspray or spray drift, as suggested by an objector, could be contained by a combination of screening along boundary fences with suitable trees and also containment of any spray painting, in particular, within a building.
- Noise, it is suggested, may be controlled by baffling machinery and by using noise reducing linings in any buildings. It may also be controlled by restricting hours of operation.
- Zoning and location relates to the integrity of the district scheme. Unless there are "exceptional circumstances" to the contrary a ratepayer or resident has the right to expect that the provisions of the scheme will be upheld and that the zoning maps remain 'honest documents'.

2.8

The main planning issue in this case is largely one of policy and the public credibility of the District Scheme, as specific provision is made in other zones for the various uses proposed.



In terms of location the only favourable aspect of the proposed site is that it adjoins an engineering workshop on land zoned Industrial B. It has been recognised that it is a proper use of the specified departure procedure to permit the "phasing out" of a zone or to create a "transition" from one zone to another (in this case "industrial" to "residential") where the circumstances of the case justify that course. Activities in or on the "transitional" property can be strictly controlled as a non-conforming use and under any conditions imposed on a grant of consent.

(C.R.P.A. v Paparua County (1970) 3 NZTPA 315)

### 3.0 CONCLUSIONS

The Planning Tribunal has ruled on many occasions that every applicant for a specified departure is required to show cause why their application should be granted. More facts may be presented at the hearing as to the public need for or benefit from this proposal. Private needs or convenience should not be allowed to override operative district scheme provisions. Mere convenience is not enough.

Points in favour of the proposal are:-

- (i) Some of the uses proposed may meet an established need in the wider community, although further evidence would need to be presented to show the nature and extent of this need and also that a public benefit would accrue from granting consent to the use.
- (ii) The work on site would be on a limited basis - 20% of the applicant's work according to the evidence submitted with the application. Unfortunately what period of time this 20% represents is not specified, as the total hours worked (on average) are not specified.
- (iii) The "old Tennis courts" provide hard standing areas which, it is understood, are most suitable for the proposed blasting and painting operations.
- (iv) The proposed site is adjacent to an existing engineering shop in an Industrial B zone.

5.2

If consent is to be granted in this case conditions should be imposed to ensure that:

- (a) a satisfactory access and parking layout is achieved *to CE's satisfaction*
- (b) that any surface water drainage from the site is properly disposed of within the site, *or removed from the site to the satisfaction of the CE.*



- (c) the property is <sup>to be landscaped within</sup> screened from neighbours ~~in order~~ to soften the visual impact of activities and buildings on the site and to reduce any possible spray drift;
- (d) possible noise emissions from the site, are reduced as far as possible by baffling noise producing machinery and lining buildings; <sup>to the satisfaction of</sup>
- (e) Hours of operation <sup>7am to 7pm - and 7am to</sup> are restricted to normal <sup>the County Eng.</sup> working hours, which excludes Saturday afternoons, Sundays and public holidays;
- (f) All spray painting work on site to be undertaken within a building.

D.J. Forrest,  
COUNTY PLANNER.

A spray booth is to be constructed within 2 years

or Kittle / CP to draft decision to be ratified at  
Council meeting on Monday.

Painting must not be undertaken when  
wind drift renders it impossible to contain  
paint spray within the site.

11 x 5 sq metreage to  
6 x 10 be the

July 84. 44322.  
By 3-00pm

Mr Miller Hawarden

Shed 6m x 6m tennis.  
application for stake 6 x 6.  
paint book

Proposed.

11 x 9m

N.P.A.  
Dispensation

Not submitted plans.

Sandy Greenslade.  
Landscaping  
Co Little



HCC/187

HOSTEL

NOT TO SCALE

W.D. Power property

40m approx

Service Transport  
DV's Res.

70m approx

PINE TREES  
rough grass

No 1 Tennis Court

6m

PROPOSED  
STORAGE SHED  
(Sand) machinery

10m

SANDBLASTING AREA.

Grass

No 2 Tennis Court

WATERBLASTING AREA.

No 3 Tennis Court

PROPOSED  
RETAIL OUTLET  
(Paint, glass  
hardware)

R.O.W to EDUC BD HOSTEL

ENGINEERING

APPLIED

HORSLEY DOWN ROAD

RECEIVED

24 JUL 1985

Hurunui County Council

P O Box 74,

Hawarden.

18th July 1985.

Hurunui County Council,

P O Box 13,

Amberley.

Dear Sir,

Re old Tennis Courts on Horsley Down Road.

In the original application for the above site I enclosed a plan for the layout of section which consisted of a shop on the North East corner of No 3 court and a storage shed on the North West corner of No 1 court.

This letter concerns the resiting of the storage shed to the North West corner of No 2 court.

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For any information on planting and landscaping contact Mrs S Greenslade. Enclosed is new proposed siting on section also plans for shed.

Yours faithfully,

*R H Miller*

R.H. Miller.

ACTION	CP
CCP	Coy Bunker & Little

B/E

24/7/85

93



AMBERLEY	AMBERLEY	AMBERLEY
No. 0	No. 649	No. 648
<p>RECEIVED FOR REGISTRATION</p> <p>PLANNING DEPARTMENT</p> <p>PLANNING SERVICE</p> <p>PLANNING SERVICE</p> <p>24</p> <p>AMBERLEY 2</p> <p>31 JUL 1984</p> <p>Itinerary etc.</p> <p>check</p>	<p>RECEIVED FOR REGISTRATION</p> <p>PLANNING DEPARTMENT</p> <p>PLANNING SERVICE</p> <p>PLANNING SERVICE</p> <p>24</p> <p>AMBERLEY 2</p> <p>31 JUL 1984</p> <p>Rgn. R.A. Miller</p> <p>Lawyers.</p>	<p>RECEIVED FOR REGISTRATION</p> <p>PLANNING DEPARTMENT</p> <p>PLANNING SERVICE</p> <p>PLANNING SERVICE</p> <p>24</p> <p>AMBERLEY 2</p> <p>31 JUL 1984</p> <p>Rgn. R.A. Miller</p> <p>Lawyers.</p>

Forrest  
HCC/187

Dear Sir/Madam,

RE: APPLICATION FOR PLANNING CONSENT (HCC/187)  
NOTICE OF DECISION

APPLICANT: R.H. Miller

NATURE OF PROPOSAL: To erect a concrete block building to sell paint, glass and associated products, erect a corrugated iron building for the storage of sand and machinery and to carry out water blasting and sandblasting on the site.

LOCATION OF LAND: Horsley Down Road, Hawarden ("Old tennis courts" site).

AREA: 3035 m<sup>2</sup>

LEGAL DESCRIPTION: Pt. Lot 12 D.P. 3596 (C.T. 317/89).

ZONE: Residential

COUNCIL DECISION: As it is considered that neither the proposed water blasting or spray painting uses of the site, nor the retail sale of paint, glass and associated products, nor the proposed buildings are permitted uses in the Residential zone, the Council's Planning Committee considered the application in terms of the specified departure criteria (Section 74) of the Town and Country Planning Act 1977.

Having considered all the evidence submitted the Committee considers that it is a proper use of the specified departure procedure to create a "transition" from the industrial to the residential zone. The Committee considers that activities in or on the "transitional" site can be controlled as a non-conforming use and under conditions imposed in respect of this consent.

The Committee also took cognizance of the public benefit which would accrue from granting consent to the application and the fact that the applicant would be utilising an existing "hard standing" area (asphalt tennis courts) which would otherwise not be used. The Committee also considered the fact that work on the site would be on a limited basis. This fact, together with the setting of appropriate conditions, is considered as being sufficient to meet the concerns of objectors.

ACCORDINGLY, COUNCIL GRANTS ITS CONSENT TO THE APPLICATION (EXCLUDING SANDBLASTING) PURSUANT TO SECTIONS 67 AND 74 OF THE TOWN AND COUNTRY PLANNING ACT 1977, SUBJECT TO THE FOLLOWING CONDITIONS:

- (a) THAT THE APPLICANT PROVIDE ACCESS AND PARKING TO THE SATISFACTION OF THE COUNTY ENGINEER; AND
- (b) THAT ALL SURFACE WATER BE PROPERLY DISPOSED OF WITHIN THE SITE, OR REMOVED FROM THE SITE, TO THE SATISFACTION OF THE COUNTY ENGINEER; AND
- (c) THAT THE SITE BE SUITABLY LANDSCAPED WITHIN ONE YEAR OF NOTIFICATION OF THIS CONSENT, AND MAINTAINED THEREAFTER TO THE SATISFACTION OF THE COUNCIL; AND
- (d) THAT POSSIBLE NOISE EMISSIONS FROM THE SITE BE REDUCED AS FAR AS POSSIBLE BY BAFFLING ALL NOISE PRODUCING MACHINERY, AND LINING BUILDINGS, TO THE SATISFACTION OF THE COUNTY ENGINEER; AND
- (e) THAT HOURS OF OPERATION BE RESTRICTED TO 7 A.M. TO 7 P.M. MONDAY TO FRIDAY AND 7 A.M. TO NOON ON SATURDAYS BUT EXCLUDING SATURDAY P.M., SUNDAYS AND PUBLIC HOLIDAYS; AND
- (f) THAT PAINTING NOT BE UNDERTAKEN WHEN CONDITIONS RENDER IT IMPOSSIBLE TO CONTAIN ALL PAINT AND NOXIOUS VAPOURS WITHIN THE BOUNDARIES OF THE SITE; AND
- (g) THAT A SPRAY BOOTH BE CONSTRUCTED WITHIN TWO YEARS OF THE NOTIFICATION OF THIS CONSENT. ONCE ERECTED ALL PAINTING IS TO BE UNDERTAKEN WITHIN THE SPRAY BOOTH.

INFORMATION:

This notice is distributed in terms of Regulation 38 (4) of the Town and Country Planning Regulations 1978. The applicant is advised that he may appeal to the Planning Tribunal against the Council's decision or against any condition, restriction or prohibition imposed in respect of that decision, as provided for in Section 69 of the Town and Country Planning Act 1977. (Refer "Notes for Applicants and Objectors" enclosed)

Yours faithfully,  
A.J. McKendry,  
COUNTY CLERK.

per:



HCC/187

HOSTEL

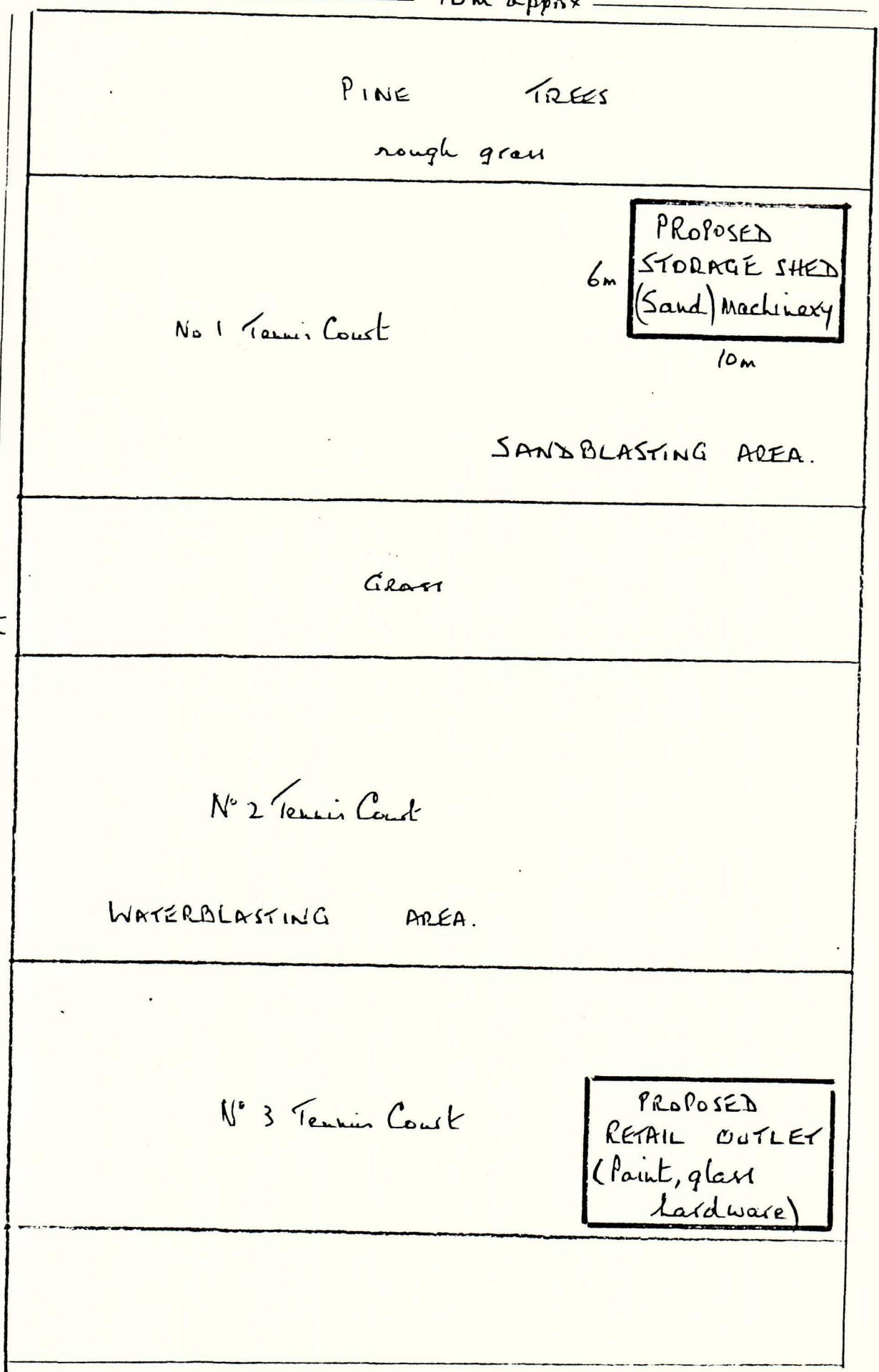
NOT TO SCALE

W.D. Power property

70m approx

40m approx

Service Transport  
Duns Res.



R.O.W to EDUC BD HOSTEL

ENGINEERING

APPLBY

HORSLEY DOWN ROAD

20/7/84

TOWN AND COUNTRY PLANNING : HURUNUI COUNTY DISTRICT SCHEME  
WAIPARA SECTION. APPLICATION HCC 187 RH MILLER SANDBLASTING

My name is Lewis Alexander Graham, and I am a Senior Inspector of Health with the Department of Health in Christchurch.

The concerns of the Department of Health in respect of this application are as follows.

1 NOISE

The sandblasting activity will produce substantial noise, essentially at the blasting nozzle and levels could be expected to create a noise nuisance to the neighbouring properties.

2 SANDBLASTING DUST

a Silica Dust from Sand

'Dry', and to a lesser extent 'wet' sandblasting with the commonly used South Island sands create substantial quantities of hazardous silica dust. Where these activities take place outdoors, prevailing winds will carry this material in hazardous concentration, up to 80 metres away at a wind speed of 4 metres per second.

b Lead Dust from Blasting of Lead Based Paints

Many of the paints used to protect metal surfaces from corrosion, contain or have contained lead. Removal of such paints by sandblasting results in the entire volume of paint being converted to comparatively small flakes or dust particles. These particles when blown from the blasting site may create a hazard to adjoining properties. The extent of the hazard will be dependent on such factors as the amount of lead paint material which is blasted, the weather/wind conditions



prevailing, the housekeeping on site, and the age and habits of the occupants of adjoining properties.

### 3 WATERBLASTING

Waterblasting of painted surfaces essentially remove paints in larger particles - there is no dust as such. However, if the paint removed is allowed to lie around on site and dry out there may be some risk of this material being wind blown off the site. Noise from waterblasting could also create a nuisance on adjoining properties.

### 4 SPRAY PAINTING

Where this activity takes place outdoors solvent vapour odours and overspray could leave the site and create nuisances to adjoining properties. The degree to which this will occur will depend on the siting of the structures to be painted and the weather conditions prevailing at the time painting is carried out.

I would now like to address these issues in more detail.

### 1 NOISE

Noise levels up to 115 dBA were measured 2 to 3 metres from the blasting gun. At 5 metres distance 110 dBA was obtained and at 40 metres 92 dBA.<sup>(1)</sup> A reduction of 6 dBA would be expected for each doubling of the distance from the noise source, ie at 80 metres 86 dBA would be expected.

The background noise levels to be expected during day time in A2 Residential Areas is 45 dBA.<sup>(2)</sup>

The estimate community response to noise levels in excess of these figures varies from sporadic complaints to be expected

if levels exceed the ambient by 5 dBA to vigorous community action if levels are exceeded by 20 dBA.<sup>(3)</sup>

In this instance 20 dBA increase would theoretically be expected up to 1 kilometre from the sandblasting operation. In practice the effect would be somewhat reduced through noise absorption by or reflection from surrounding buildings, trees etc. However, noise levels are clearly likely to be excessive and lead to complaints.

Noise reduction techniques have not been very successful at the blasting nozzle. Effective mufflers are usually damaged quite quickly by the blasting sand. The compressor however is likely to operate at noise levels in the 75 - 80 dBA range and as such is unlikely to be a problem.

## 2 SANDBLASTING DUST

- a Sands containing medium to high<sup>(4)</sup> levels of silica are attractive for sandblasting as the silica is present as hard sharp crystalline quartz. Such sands are effective abrasives and also survive blasting well, to enable subsequent cleaning and reuse. Commonly used South Island sands such as Birdlings Flat sand (36 - 40% quartz), and Waimakiriri sand (39 - 50% quartz) come within this category.

Silica in the sands, when inhaled, causes silicosis - an irreversible scarring of the tissues of the lung, with subsequent shortness of breath and increased susceptibility to other respiratory disease. The level of risk depends



three factors: the concentration of dust in the atmosphere, the percentage of free silica in the dust and the duration of exposure.

It is important to note that the respirable dust is that small enough to be taken down into the alveoli of the lungs when inhaled, and therefore damage the lungs, is invisible to the naked eye.<sup>(5)</sup> The larger particles of dust, which are visible, are not necessarily hazardous. The significance of this is that lack of visible contamination of adjoining properties is no guarantee of lack of hazard.

In outdoor dry sandblasting the hazards from sandblasting dust are dependent essentially on the amount of silica present and the wind conditions at the time of blasting. Trials carried out in New Zealand have shown that with medium quartz sands, hazardous silica concentrations occur at up to 30 metres from the blasting site. The hazard standard used in these trials was an occupational standard, and ideally a more restrictive standard would be appropriate to protect occupants of adjoining properties.

Where blasting was carried out some metres above ground level the hazard area would be correspondingly greater.<sup>(6)</sup>

'Wet' sandblasting, while reducing the risk by a factor of four or five, still releases hazardous silica dust into air.

a (i) Legislative Controls

I am advised by Mr D Postlethwaite, Assistant District Superintendent, Department of Labour, Christchurch, that the applicants proposed activities (sandblasting and spray painting) on the site would, on the information available, require registration as a factory under the Factories and Commercial Premises Act 1981.

Under the Abrasive Blasting Regulations the applicant would need to seek an exemption from the regulations to use sand containing silica. This exemption must be obtained from the Medical Officer of Health, and on the basis of the information I have included above, it is most unlikely that such an exemption would be granted for sandblasting outdoors.

b Lead Dust from Blasting of Lead Based Paints

As set out above. Similar hazards could also exist from other components in the paints such as zinc, chromium and cadmium salts. Sandblasting of galvanised metals will also produce zinc dust.

3 As above.

4 SPRAY PAINTING

As above

CONCLUSION

I am of the opinion that the proposed usage of the site is incompatible with its residential zoning primarily because of hazards and nuisances likely to be created by outdoor sandblasting but also to a lesser extent by spray painting.

July 1984



## REFERENCES

Occupational Hygiene Aspects of Outdoor Abrasive Blasting in New Zealand W/2/82 (copy attached).

- 1 Pages 18-19
- 2 Appendix A page 7
- 3 Table 2 page 6
- 4 Page 23
- 5 Page 23
- 6 Page 18  
New Zealand Standard NZS 6802:1977  
Assessment of Noise in the Environment

20/7/84

APPLICATION FOR PLANNING CONSENT HCC/187

ABRASIVE BLASTING OPERATION BY R H MILLER

STATEMENT BY DR T J BRADY  
DISTRICT AIR POLLUTION CONTROL OFFICER  
DEPARTMENT OF HEALTH  
CHRISTCHURCH

The Clean Air Act 1972 requires the occupier of any premises to adopt the Best Practical Means to minimise and render harmless and inoffensive any Air Pollutant emitted from those premises; S7 (1) (a) and (b). The best practical means procedures for abrasive blasting operations are set out in the Department of Health's publication BPM No. 3/82.

I understand that after my discussions with Mr Miller he has withdrawn his application for sandblasting on the proposed site

Other abrasive processes, eg waterblasting, while not likely to cause an immediate air pollution problem must be viewed with caution. The most significant problem arising from such an operation would be the transportation of dried paint particles onto neighbouring properties. These paint flakes are likely to contain lead and possibly arsenic and cadmium. If such a process were to be established, scrupulous housekeeping would be required, and thorough cleaning up after each job would be essential.

Spray painting on the proposed site is likely to give rise to a certain amount of overspray fall out on neighbouring properties if conducted in the open and should be enclosed in a booth equipped with filters. The operation would also give rise to solvent odour. While these two points would not pose a significant threat to health, they could well be regarded as a nuisance by people in the adjacent residential dwellings.

Conclusion

Sand blasting on the proposed site is unacceptable in terms of the provisions of the Clean Air Act 1972; and any other blasting operation would need to comply with strict conditions to prevent the transport of windborne debris. The proximity of residential dwellings nearby could cause the spray painting operation to become a nuisance. Finally, I believe that the blasting and spray painting operations could cause a significant noise nuisance, but could be overcome if a suitable enclosure was provided.

*Building*

T J Brady  
District Air Pollution Control Officer



20/7/84

APPLICATION FOR PLANNING CONSENT - HCC/187

EVIDENCE OF APPLICANT

APPLICANT

~~RAYMOND~~

ROBERT HENRY MILLER of Seymour Street, Hawarden, Painter. Mr Miller currently carries on his business of painting of farm machinery at the places where the machinery is sited. He accepts work from Amuri Transport, Rangiora Transport, and many other sources including individual farmers.

Land: 3035m<sup>2</sup> or thereabouts being part Lot 12 Deposited Plan 3596, part rural section 7540

Address of Land: Horsley Down Road, Hawarden

Zoning: Residential

Description: This land is presently laid out in tennis courts with a asphalt surface over a concrete base. To the north there is an unused right of way owned by the Education Board grassed with tree stumps situated on it. Beyond that, there is an engineering yard situated in an area zoned "Industrial B". To the south there is farm land zoned residential with the nearest house being 70 metres away owned by a Mr Westlake. To the rear of the property there is a hostel in land zoned residential, owned by the Education Board.

There is no shelter and the property is fenced on the southern and western sides. There is no boundary fence with the Education Board land. Along the road frontage, there is a drain but no fence. Directly across the road there is a residential zone on predominantly swampy land with sparse housing.

PROPOSALS

Mr Miller wishes to purchase the land described above and carry out water blasting and spray painting of farm machinery (includ-

ing stock crates). He envisages building a storage shed for equipment and possibly a retail outlet for paint and associated products.

He proposes fencing the unfenced boundary and refencing the road frontage. He intends to plant the three boundaries not on the road, with a fast growing Lucerne trees (which grow 12 feet in two years). These would be inside pine trees and would be removed once the pine trees had grown sufficiently to be an adequate wind break.

He envisages that his business will generate employment although at present, he is operating it alone.

#### Water Blasting:

The machinery and stock crates are cleaned prior to his beginning work on them. All manure and loose dirt will be removed before the piece of equipment is bought to his property.

There is no possibility of a hazard created by wind drift as all water and residue taken off surfaces will be exported by way of drain. He has spoken to Mr Philp and put in a tentative application for water. He will not be using 60,000 gallons per year and has been advised that he will be able to hook into the direct scheme. The water blasting equipment is run by a 20 horse power petrol motor. He has shown it to the neighbours who have expressed the view that it could be noisy on Sundays. He envisages working daylight hours, six days a week. The motor is one from a bailer with a silencer fitted and is the same as the one he uses for spray painting.

#### Spray painting

All paints used are of an oil and alkyd base. No lead base paints are used. There is no health hazard. Mr Miller is presently a quinea pig to a survey being done as to the long term effect of paint on health. He has monthly blood tests taken



and it is now evident that there are no detrimental effects with paint other than lead based paints.

The problem of wind drift is self evident with knowledge of the nor' westers in Hawarden. Mr Miller intends to minimise this by the planting of shelter. The same amount of noise will emanate from the motor running the spraying painting equipment as from that running the water blasting machine. As previously stated, this noise can be curtailed only by the limitation of working hours.

#### Storage Shed

Mr Miller has at present very little money with which to make capital improvements. A lockup storage shed will be a necessity however, he is unsure as to when this will be built.

#### Retail outlet

Mr Miller wishes to have a small retail outlet for paint glass and products associated with his business. Similarly, because of finance, he does not envisage doing this in the immediate future. He is aware of the need for parking and intends to reserve land to comply with parking requirements.

Although the property is bounded on three sides by land reserved for residential uses, the area is not heavily populated. The land directly across the road is marked out for sections however, as it is mainly swamp land, it has not as yet been built on. The Department of Statistic figures for 1976 and 1981 show that the population of Hawarden between the two census years has increased by 11 in the township and decreased by 11 in the immediate vicinity. Therefore, it appears that the population is static.

The tennis court section is attractive to <sup>him</sup> ~~me~~ as a proposition for his business as it has a hard base to it. This makes it un-

necessary for him to prepare a floor on which he can stand machinery whilst he paints it.

He has been in possession of the land since August of last year. He was formerly sandblasting (as well as waterblasting and painting). However he has stopped as he was informed of the health hazard. Since going into possession he has tidied up the land and improved the look of the property.



"Wishing Well"

Star Garter - encroachment  
agreement

---

heathfield Notices Motel/Hotel  
SIGNS

---

Alloways Apple stall

---

" CONTACT NEIL BRATSFORD  
READING SECTION MOWD  
HES DEALING WITH ABOVE  
MATTERS .

PIP MIDDLETON

Russell Crockett  
119W  
Basin AL  
prince W

transmission Chamber and Bridge

transmission FORMATION

CHAMBERLAIN PARK  
lot 11 / 1st W  
INFORMATION  
newly built then  
2nd 12

BROOKLYN C & S W M  
12/12 9/11A  
PUMPER  
PUMPER

CONTACT NEW BATTLE  
PIT MORTON

~~HEB BATTLE~~  
Swarms

MIDSTON -  
Pit Morton



20/7/84

LEGAL SUBMISSIONS

RAYMOND HENRY MILLER

This is an application requesting the Council to grant Planning Consent to a proposal, which would be a specific departure from the Waipara District Scheme.

It is my submission that the circumstances pertaining to Mr Miller's proposal are such that consent should be given. He has applied to conduct business in an industrial manner with a commercial outlet on a property presently zoned 'Residential'. To do this it is necessary that his proposal be within the provisions of Section 74(2) of the Town and Country Planning Act 1977.

I am aware that the Council is familiar with the provisions of Section 74(2). In short, I submit:

- (a) That the effect of the departure would not be contrary to the public interest and
- (b) That it would have little Town and Country Planning significance beyond the immediate vicinity of the site concerned and
- (c) That the provisions of the scheme can remain without change.

A PUBLIC INTEREST

It is in the public interest that the scheme be maintained and the general provisions adhered to. Hawarden is described in the scheme as a farming centre and as such it must service a farming district.

I refer you to page 4 of the District Scheme.

USE ZONING

Part 3 [2]: "Futurebuilding and other development in the District will be so directed as;

- (a) To avoid the indiscriminate mixture of

2.

incompatible uses.

✦ (c) To maintain the stability of individual property values

(d) To maintain and provide appropriate amenities."

Mr Miller intends to carry on his business adjacent to land zoned "Industrial B". Therefore, there will be no indiscriminate mixing of uses.

Other industrial land is unsuitable for his purpose as it does not have a hard base which is necessary for his painting business. The financial outlay of forming a hard base elsewhere makes his whole business project unrealistic.

The land in question has presently a covering of concrete and asphalt and therefore is unsuitable for residential purposes. He will be making use of land that could otherwise be unused.

The land is situated in an area of sparse population. There are three houses in the near vicinity. Residentially zoned land across the main road is swampy and no houses have been built for some time. The population appears to be static and therefore there is no likelihood that Mr Miller will find himself in the middle of a vast town.

I submit that there is going to be no affect on the value of surrounding land. The neighbouring residential properties will be protected to an extent by specific controls imposed by the Council on Mr Miller's business. His occupation of the land is going to be subject to more prohibitive controls than that say, of the neighbouring industrial B zone, and hence it will not only raise the value of the land in question, it should act as a Council controlled buffer zone next to residential property.



The business of painting of farm machinery cannot be described as other than appropriate in a town alleged to be servicing a farming district.

B PLANNING SIGNIFICANCE

- (i) The actual effect of the proposal upon land uses in the immediate vicinity and beyond.

Noise: Mr Miller has approached his neighbours as to the noise. The motors have silencers attached to them and would not be used on Saturday afternoons or Sundays. As previously stated the land is somewhat sparsely populated in the surrounding area at present.

Spray Drift: Mr Miller intends to minimize this by the planting of two rows of trees.

Visual Impact: This will be minimal once the trees have grown. It is relevant to point out here that the discussions with the residents in the hostel to the rear of the section have resulted in a request being made to Mr Miller for him to fell the remaining trees at the rear of the property. They are evidently shading the hostel and prevent sun from reaching it during the winter. Mr Miller has been in occupation of the land since August. He has taken considerable time and trouble to tidy up the section and has indeed received favourable comments as to the work he has done. I submit that the visual impact would probably improve with Mr Miller's occupation of the land rather than it being non-occupied and let run to rack and ruin.

- (ii) The consequences in relation to the general provisions of the District Scheme in the pattern of development laid down thereby. (I submit that the unique features of this application

will lead to little precedental effect in that other property owners will not expect to be able to change use accordingly. The business is integral to farming and its support services, and therefore it should not offend the overall ordinances of the scheme.)

#### C     SCHEME REMAIN WITHOUT CHANGE

I submit that there is a public need for a business such as Mr Miller's in Hawarden. His business as a painter has a gross turn over of over \$100,000. He estimates that business brought in from the painting of stock crates last year was in excess of \$16,000. His business is well established however, he now finds the need to provide a better service. This he can do if he can have a yard with a hard base on which to carry out his work. Spray painting takes at least 4 coats and possibly a 5th. Each coat must dry. The time spent on travelling and the extra time taken up while paint dries is unproductive time and expensive to the purchaser. These facts can also be confirmed by Mr Miller by way of evidence. We also submit that it is not appropriate that the normal residential use be established on the site because of its hard base. The scheme should be able to remain without change as Mr Miller's business will remain under specific planning control as a non-conforming use.

#### CONCLUSION

- 1) Mr Miller has a business which meets the established needs of a wider community. He will be able to provide a better service to the community should he obtain consent to carry out his business on this property.
- 2) At this stage he cannot envisage setting up in any other property as the cost would make it impossible.



3) Mr Miller only envisages working on the property one week out of four. The business of painting stock crates and farm machinery is not a full time business but proportionately he estimates that it will take him one or two days a week, probably one week in four.

4) The old tennis courts are unsuitable for residential purposes and suitable for the proposed blasting and painting operations.

5) The proposed site is adjacent to an existing engineering shop in an "Industrial B" zone.

I submit that to do otherwise than grant Mr Miller permission to use the land as outlined would be a prohibition of progress and detrimental to the district as a whole.

20/7/84  
Miller

## Objections

All objections to this project have been made by people or organisations that do not live in surrounding area. Due to my concern for the health and welfare of residence in the district and the district as a whole I have withdrawn my application for sandblasting. I have approached all immediate residences and long established residence and have only got praise for making use of and cleaning up of what was an eyesore.

## Stock crates and machinery

Have only had three crates on courts at any one time, two for three days the other for one extra day. Two sections further on down the road into Hawarden you see stock Trucks and Crates at Transport Depot. A drive to Amberley the first thing you see on arriving is Trucks and crates. A few stock crates or machinery on proposed site would certainly look better than wilderness on courts before I cleaned them up. I do not propose to prepare and paint all work on courts. Last year of the twenty-one crates only seven on courts. Where four or more crates are involved I would travel to them.

## Noise

Trucks coming into Hawarden all hours of day and night create a lot of noise rattling stock crates when empty, exhaust brakes when slowing down to turn into Transport yard, loaded Trucks heading out of Hawarden. Council staff members make more noise and pollution on weekends sawing up firewood on adjacent property than my proposal would ever make.

In the twelve I have lived in the township of Hawarden I have seen it decreasing in job opportunities, Transport 8 Permanents with as many casuals in Summer, Farmers 13 now 5, Warwicks Store 3 now 0, Post Office change 8 now 0, 2 Garages 5 now 0, plus a number of other small self employed businesses and cottage industries



HURUNUI COUNTY COUNCILAPPLICATION FOR PLANNING CONSENT

(Before completing this form, please read it through first, then provide all details relevant to your proposal.)

1. I apply to the HURUNUI COUNTY COUNCIL.

Details of Applicant, Owners and Occupiers:

2. My full name is... Raymond Henry Miller .....
3. I am the proposed purchaser ~~Owner/lessee~~ of the property. ....
4. The name and address of the Owner is Hurunui County Council .....
- .....
5. The name and address of the Occupier is Hurunui County Council .....
- .....

Details of Property Concerned:

6. Address: Hawarden/Waikari Road, Hawarden .....
7. Legal Description: 3035m<sup>2</sup> Lot 12 D.P. 3596 ..... Zoned RES
8. Certificate of title references: 317/89 ..... 1 .....

Details of Proposals:

9. I propose to erect buildings on the land one a concrete block unit .....
- for the sale of paint glass and associated products and the other .....
- a corrugated iron unit for the storage of sand and machinery. .....
- I propose also to carry out sand blasting on the land .....
- (refer attached) .....
- .....
- .....
- (continue on an additional sheet if necessary)

10. I enclose.....drawing(s) showing the following information:-

- (i) Car parks and access points.
- (ii) Selected ground heights.
- (iii) Present use of adjoining properties.
- (iv) Location of archaeological sites (if any) on the property.
- (v) Location of trees, significant groups of trees and details of proposed landscaping.
- (vi) Size, location, colour and design of advertising signs.
- (vii) Details of buildings. In most cases this will mean location, elevations and perspectives of proposed buildings together with plans showing the location of all existing buildings with reference to boundaries and their size and height.
- (viii) Areas and dimensions of property.
- (ix) Roads onto which the property has frontage.



11. I propose the following methods of:
- (i) Water supply ~~Town supply~~ ~~→ apply for tank and restrictor~~
  - (ii) Energy supply .....
  - (iii) Rubbish disposal .....
  - (iv) Stormwater disposal .....
  - (v) Sewage disposal .....  
(Continue on additional sheet if necessary)

12. Traffic - Regular movements in and out are likely to be at the rate of  
5 combined  
.....cars and .....trucks per day/week.

13. Offensive materials or elements likely to be used or created on the property. Please list e.g. chemicals/explosives/smoke/dust/noise/smell/bright or flashing lights.

Dust, noise from compressor motor.....  
.....  
.....

Dated at Rangiora this 12<sup>th</sup> day of May 1984

Address for Service HELMORE BOWRON & SCOTT Signature per: *[Signature]*  
Solicitor  
P.O. Box 44.....(to be signed by or on behalf of  
Rangiora..... the applicant.)

FOR OFFICE USE ONLY:

DATE RECEIVED: 21/5/84

TYPE OF APPLICATION: S74  
(e.g. dispensation, conditional use, specified departure.)

NOTIFIED / NON NOTIFIED

Information: Details and plans supplied satisfactory - YES (NO)

If no: Further information requested: - Date 22/5/84 Mr G Scott (Solicitor)  
Phone / Letter Discussed my miller 29/5/84 will forward info

Further information received: - Date 7/6/84

FEE: ..... Date received:.....

IF NOTIFIED:

Advertising details complete Date: 11/6/84

Advertised in Press Nth Cant Page on 12<sup>th</sup> 16/84  
(newspaper)

Objections close on 4/7/84  
(date)

Hearing/Meeting date: 20/7/84

Council Decision notified: .....



6th June 1984.

The County Planner,  
Mr Forrest,  
Hurunui County Council,  
P O Box 13,  
Amberley.

Dear Sir,

Proposed use of old tennis courts in Hawarden.

This land is situated on the Horsley Down Road. Surrounding occupants are: Appleby Engineering on the North, Service Transport Driver Residence on Northwest, Hawarden Area School Hostel on West, (Row of trees between) Farm paddock of W D Power's on South and Road Frontage on East.

The proposed use of this land is for waterblasting, sandblasting and airless spray painting of stockcrates and farm machinery. Marked on map are positions on courts where work is to be carried out. Sandblaster: noise of this is from the Atlas Copco Compressor (Silentair) and the hiss of air from nozzle tip. Dust as you see this would not travel off section. What is more I want sand back for recycling so I would not be blasting in a gale of a Norwester.

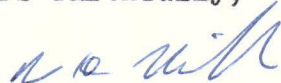
I have spoken with the owners or residents of surrounding properties and they have no objections to my proposals.

At present 80% of my work is carried out on clients property and work that does come into my yard has been previously cleaned by arrangement.

Waterblasting: Noise is from a petrol motor driving a pump only.

Building as shown on plan. These are not in the immediate future but as finance permits.

Yours faithfully,



R.H. Miller.

HCC/187

HOSTEL

NOT TO SCALE

Service Transport  
DVA's Res.

W.D. Power property

70m approx

40m approx

PINE TREES

rough grass

No 1 Tennis Court

6m

PROPOSED  
STORAGE SHED  
(Sand) machinery

10m

SANDBLASTING AREA.

Grass

No 2 Tennis Court

WATERBLASTING AREA.

No 3 Tennis Court

PROPOSED  
RETAIL OUTLET  
(Paint, glass  
hardware)

R.O.W to EDUC BD HOSTEL

ENGINEERING

APPLBY

HORSLEY DOWN ROAD



Hcc/187

P O Box 74  
Hawarden.



Hurunui County Council ,  
P O Box 13,  
Amberley.  
Dear Sir,

Re application of planning consent No HCC187, R H Miller,  
Horsley Down Road, Hawarden.

In the original application I applied for Sandblasting,  
Waterblasting and Spray painting to be carried out on the old  
Tennis Courts.

Due to information having come to hand through discussions  
with Mr Brady of the Health Department, Christchurch, I am now  
withdrawing my application for Sandblasting on the above sight.

Had I been made aware of the Health Hazzard occuring from  
Sandblasting earlier, I would not have considered sandblasting  
on this sight.

My application for all other activities on this section  
(old tennis courts) still apply.

Yours faithfully,

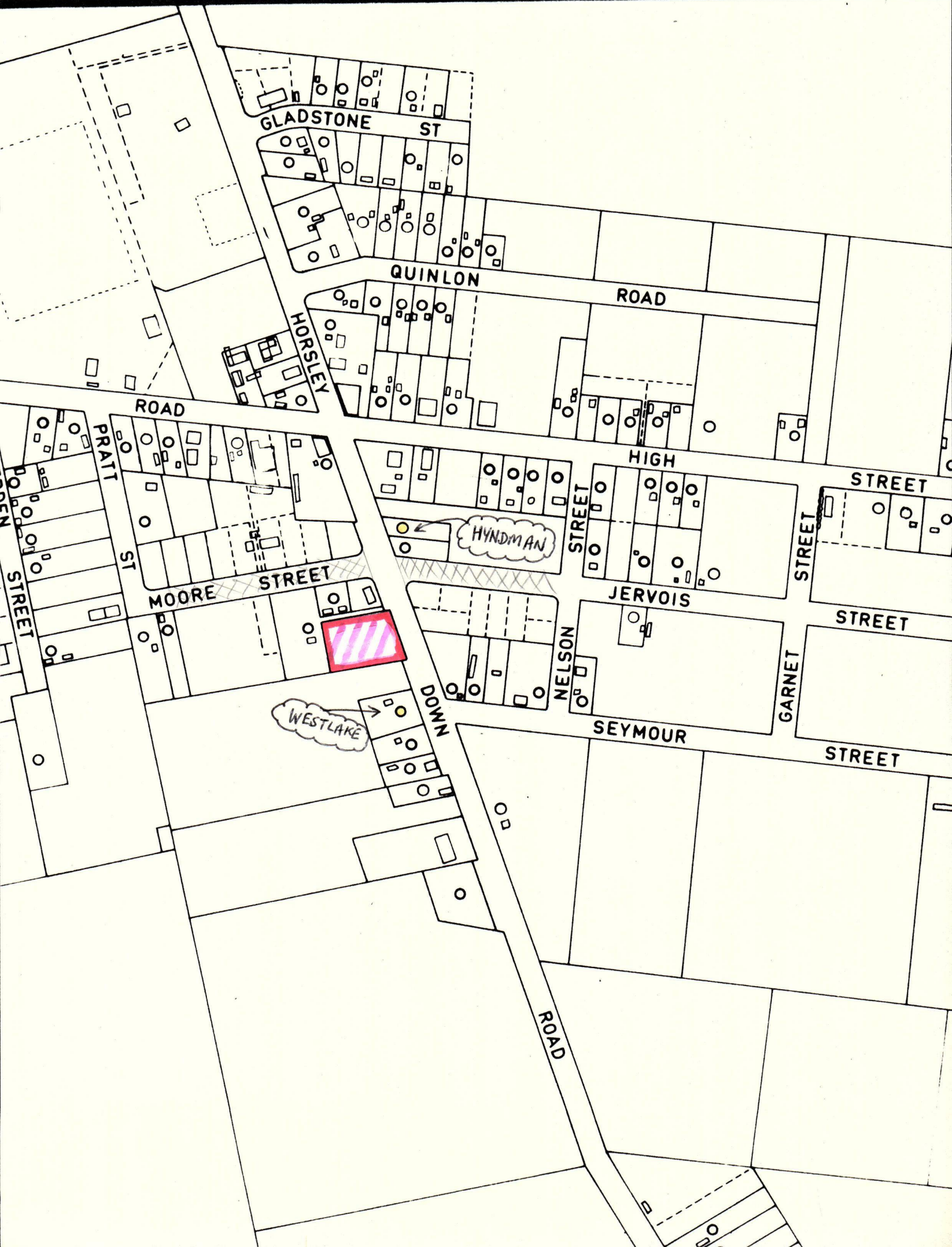
A handwritten signature in blue ink, appearing to read "R H Miller".

R.H.MILLER.

mailed to  
how wgn  
SCW  
CVC  
CHT  
Mrs Hyndman  
Mr. & Mrs. Westlake

17/7/84

ACK	
ACTION	CP ✓
COPY	







# HURON COUNTY COUNCIL

IF CALLING ASK FOR MR. NORRIS....  
REFERENCE .....

26th June, 1984.

The County Clerk,  
Huron County Council,  
P.O. Box 13,  
AMBERLEY

COUNTY PLANNER:

**COPY FOR YOUR  
INFORMATION**

Dear Sir,

Re: Planning Consent Applications

1. HCC/187 - R.H. Miller

This proposal for a sandblasting business is a subject, that over the last 3 years has had extensive investigation and experimental works undertaken by the industry, D.S.I.R., Canterbury University and the Medical Officer of Health.

The end result being that the law was amended last year to prohibit the practise of sandblasting as a right, and now this practise can only be undertaken by a license under Part B schedule of the Clean Air Act 1972.

To bring this into perspective, it is now contrary to the law to undertake the practise of sandblasting with dry silica in any area close to residential communities. The reasons are that most of the items sandblasted are treated with lead based coatings, and there is substantial evidence available which shows that children should in no way be subjected to any raised levels of silica or lead based materials, as they can be affected in a number of ways. These include major genetic problems, lung and brain damage.

I have contacted Mr Miller and asked him to contact the Medical Officer of Health's technical officers with regards to the technical aspects, and I understand that this has occurred.

As to why school aged persons are more greatly affected than adults is not completely understood, but it is based on the rate of growth and development. In many of the practical tests children were measured for attenuation of the materials causing problems and their increase of these chemicals were many more times than for adults.

.... /2





15 Copies  
Hous

OBJECTIONS 19/7

---

Hcc / 187  
Miller.

(2 copies of  
each please)

①

Westlake

②

K. Hyndman ↓

984 m<sup>2</sup>

Lot 7 DP. 7103  
Hard Turp

Drilling

1

## THE TOWN AND COUNTRY PLANNING ACT, 1977

## NOTICE OF OBJECTION

REF HCC/187

To the Hurunui County Council.

Name (State full name) *William Henry & Edna May Westlake*Address *Hawarden / Waiharu Road, Hawarden*I object to the application of *Raymond Henry Miller* to

(State name of applicant)

*erect buildings etc for sand - water blasting & spray painting.*

(State proposal of applicant)

The particular parts of the application I oppose are *the sand & water**blasting & spray painting.*The reasons for my objection are *the overspray from all the above**work is liable to damage property & gardens. The**noise could be quite troublesome especially at weekends.*My objection would be met by *a fence line of trees (which Mr Miller**plans to put in.) This would help keep the drift of overspray*  
*down to a certain extent. All work should be carried out*  
*inside a building. Work should not be done at weekends especially*  
*Sundays.*

(State action desired)

I do/~~do not~~ desire to be heard in support of my objection.Date: *3.7.84*Signature: *E. M. Westlake*

(To be signed by or on behalf of objector)

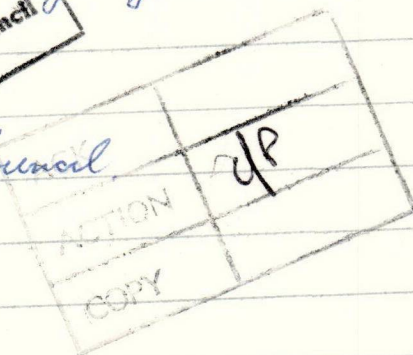
Address for Service: *P.O. Box 101**HAWARDEN*



RECEIVED  
4 JUL 1984  
Mr. Forrester  
County Planner  
Haverham County Council  
P.O. Box 13.  
Amberley.

165 Ensors Road,  
Churstchurch.  
July 3, 1984.

(2)



Dear Sir,

Thank you for your letter dated June 2, 1984, regarding an application by Mr. Miller for the purchase of land for industrial purposes in Horsley Downs Road, Haverham.

Many people are concerned about this project, and we think it would create a health hazard. There would be pollution of the environment through dust, noise, and increased lead levels in the atmosphere.

We believe a long-term



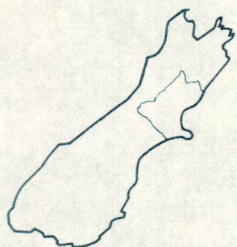
plan is important in any building scheme which affects people.

The population of Hawarden will increase in the future, and this residential area should be reserved and preserved solely for this purpose. Since the area is zoned residential, its use for industry would negate the whole zoning system. Thanking you,

yours faithfully,

K. Hyndman.





# Canterbury United Council

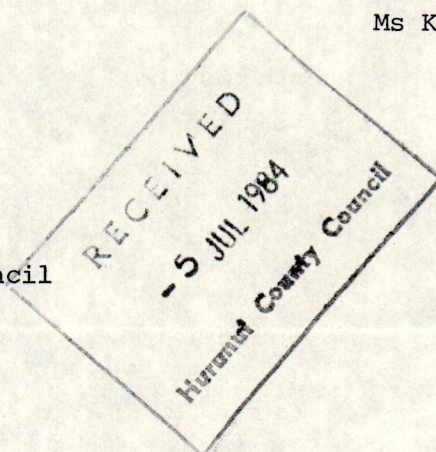
P.O. Box 1997, Christchurch, New Zealand  
Telephone (STD03) 62359

Our Ref. A4814

If calling please ask for  
Ms K Cronin ext. 859

4 July 1984

County Clerk  
Hurunui County Council  
PO Box 13  
AMBERLEY



Dear Sir

APPLICATION: R H MILLER, HORSELY DOWNS ROAD, HAWARDEN

The above application has been considered by the United Council and while no objection is necessary the following comments may help your Council in determining the matter.

The proposed operation involves waterblasting, sandblasting and airless spray-painting. The applicant wishes to site his business in a residential zone, adjacent to a school hostel, a private residence and a farm.

Apart from noise and dust arising from the operation, there may also be a public health risk in relation to the sandblasting activity. We would draw to your attention the policy of the Christchurch City Council which no longer provides permits for the domestic sandblasting of lead paint. The Waimairi District Council has a similar policy and would require noise controls under its district scheme where an activity would be likely to have a detrimental effect on the adjacent residential area.

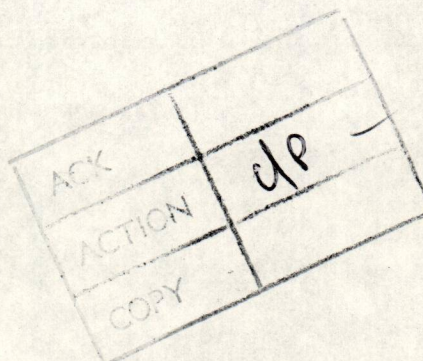
For these reasons, the United Council considers that it would be undesirable to consent to an activity of this nature in a residential area.

Yours faithfully

*G C Miller*

G C Miller  
DIRECTOR OF REGIONAL PLANNING

KC:IAK







# HURUNUI COUNTY COUNCIL

28 JUN 1984

Hurunui County Council

IF CALLING ASK FOR MR. NORRIS....  
REFERENCE .....

26th June, 1984.

The County Clerk  
Hurunui County Council,  
P.O. Box 13,  
AMBERLEY

Dear Sir,

Re: Planning Consent Applications

1. HCC/187 - R.H. Miller

This proposal for a sandblasting business is a subject, that over the last 3 years has had extensive investigation and experimental works undertaken by the industry, D.S.I.R., Canterbury University and the Medical Officer of Health.

The end result being that the law was amended last year to prohibit the practise of sandblasting as a right, and now this practise can only be undertaken by a license under Part B schedule of the Clean Air Act 1972.

To bring this into perspective, it is now contrary to the law to undertake the practise of sandblasting with dry silica in any area close to residential communities. The reasons are that most of the items sandblasted are treated with lead based coatings, and there is substantial evidence available which shows that children should in no way be subjected to any raised levels of silica or lead based materials, as they can be affected in a number of ways. These include major genetic problems, lung and brain damage.

I have contacted Mr Miller and asked him to contact the Medical Officer of Health's technical officers with regards to the technical aspects, and I understand that this has occurred.

As to why school aged persons are more greatly affected than adults is not completely understood, but it is based on the rate of growth and development. In many of the practical tests children were measured for attenuation of the materials causing problems and their increase of these chemicals were many more times than for adults.

ACK	
ACTION	cf P.. /2
COPY	



Summary

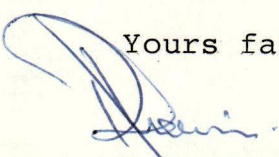
If this application proceeds, the applicant would be required to obtain the required licence under the Clean Air Act 1972. Such a licence would be issued conditional that the practice of dry sandblasting would be prohibited, and Best Practicable Means of Compliance with the Clean Air Act 1972 (BPM No 3/82) would be enforced.

2. HCC/188 - Davis Family

I have interviewed the applicant and have perused the proposals. The major aspect of the proposals are that little investigation has been undertaken as to means of handling the wastes from the proposed pig units. I have advised the applicant to undertake investigations and evaluate a number of proposals which could be applicable.

Comment

That no formal objection can be made at this stage in time as it is more than possible for compliance to be able to be attained with the law.

Yours faithfully,

R.G. Norris,  
SENIOR COUNTY HEALTH INSPECTOR

Copy to: County Planner





# Ministry of Works and Development

District Office

Government Bldg., Worcester St.

Box 1479, Christchurch

Telephone 530 099 Telex NZ 4910

Our ref TP/D4601 (250/84)

Your ref

Inquiries to Mr P J Lovell

Date 12 July 1984

RECEIVED

16 JUL 1984

Hurunui County Council

County Clerk  
Hurunui County Council  
P O Box 13  
AMBERLEY

Dear Sir

TOWN AND COUNTRY PLANNING  
HURUNUI COUNTY DISTRICT SCHEME  
WAIPARA SECTION : APPLICATION  
R H MILLER : SANDBLASTING

The application by R H Miller for consent to carry out sandblasting operations as part of a mixed commercial/industrial development on a property fronting Horsley Down Road in Hawarden has been examined. I would like to draw the council's attention to the concern of the Department of Health.

The Medical Officer of Health, Christchurch is concerned that sandblasting of machinery, particularly those containing lead based paint, in or close to a residential area is inappropriate since the activity will have a detrimental impact on the health and welfare of people occupying adjoining properties.

The Department of Health, Christchurch has recently completed an extensive study into the health problems caused by sandblasting operations and the findings support the need to ensure that such operations are not undertaken in proximity to residential areas.

I trust that these comments will be of some assistance to the council when it considers the application. If the council wishes I can arrange for an officer from the Department of Health to attend the hearing and to explain the findings of the recent sandblasting investigation report.

Yours faithfully

G D Christie  
for District Commissioner of Works

ACK	
ACTION	plp ✓
COPY	

*Revised applie  
Sent 17.7.84*



Forrest  
HCC/187

30th July, 1984.

Dear Sir/Madam,

RE: APPLICATION FOR PLANNING CONSENT (HCC/187)  
NOTICE OF DECISION

APPLICANT: R.H. Miller

NATURE OF PROPOSAL: To erect a concrete block building to sell paint, glass and associated products, erect a corrugated iron building for the storage of sand and machinery and to carry out water blasting and sandblasting on the site.

LOCATION OF LAND: Horsley Down Road, Hawarden ("Old tennis courts" site).

AREA: 3035 m<sup>2</sup>

LEGAL DESCRIPTION: Pt. Lot 12 D.P. 3596 (C.T. 317/89).

ZONE: Residential

COUNCIL DECISION: As it is considered that neither the proposed water blasting or spray painting uses of the site, nor the retail sale of paint, glass and associated products, nor the proposed buildings are permitted uses in the Residential zone, the Council's Planning Committee considered the application in terms of the specified departure criteria (Section 74) of the Town and Country Planning Act 1977.

Having considered all the evidence submitted the Committee considers that it is a proper use of the specified departure procedure to create a "transition" from the industrial to the residential zone. The Committee considers that activities in or on the "transitional" site can be controlled as a non-conforming use and under conditions imposed in respect of this consent.



The Committee also took cognizance of the public benefit which would accrue from granting consent to the application and the fact that the applicant would be utilising an existing "hard standing" area (asphalt tennis courts) which would otherwise not be used. The Committee also considered the fact that work on the site would be on a limited basis. This fact, together with the setting of appropriate conditions, is considered as being sufficient to meet the concerns of objectors.

ACCORDINGLY, COUNCIL GRANTS ITS CONSENT TO THE APPLICATION (EXCLUDING SANDBLASTING) PURSUANT TO SECTIONS 67 AND 74 OF THE TOWN AND COUNTRY PLANNING ACT 1977, SUBJECT TO THE FOLLOWING CONDITIONS:

- (a) THAT THE APPLICANT PROVIDE ACCESS AND PARKING TO THE SATISFACTION OF THE COUNTY ENGINEER; AND
- (b) THAT ALL SURFACE WATER BE PROPERLY DISPOSED OF WITHIN THE SITE, OR REMOVED FROM THE SITE, TO THE SATISFACTION OF THE COUNTY ENGINEER; AND
- (c) THAT THE SITE BE SUITABLY LANDSCAPED WITHIN ONE YEAR OF NOTIFICATION OF THIS CONSENT, AND MAINTAINED THEREAFTER TO THE SATISFACTION OF THE COUNCIL; AND
- (d) THAT POSSIBLE NOISE EMISSIONS FROM THE SITE BE REDUCED AS FAR AS POSSIBLE BY BAFFLING ALL NOISE PRODUCING MACHINERY, AND LINING BUILDINGS, TO THE SATISFACTION OF THE COUNTY ENGINEER; AND
- (e) THAT HOURS OF OPERATION BE RESTRICTED TO 7 A.M. TO 7 P.M. MONDAY TO FRIDAY AND 7 A.M. TO NOON ON SATURDAYS BUT EXCLUDING SATURDAY P.M., SUNDAYS AND PUBLIC HOLIDAYS; AND
- (f) THAT PAINTING NOT BE UNDERTAKEN WHEN CONDITIONS RENDER IT IMPOSSIBLE TO CONTAIN ALL PAINT AND NOXIOUS VAPOURS WITHIN THE BOUNDARIES OF THE SITE; AND
- (g) THAT A SPRAY BOOTH BE CONSTRUCTED WITHIN TWO YEARS OF THE NOTIFICATION OF THIS CONSENT. ONCE ERECTED ALL PAINTING IS TO BE UNDERTAKEN WITHIN THE SPRAY BOOTH.

INFORMATION:

This notice is distributed in terms of Regulation 38 (4) of the Town and Country Planning Regulations 1978. The applicant is advised that he may appeal to the Planning Tribunal against the Council's decision or against any condition, restriction or prohibition imposed in respect of that decision, as provided for in Section 69 of the Town and Country Planning Act 1977. (Refer "Notes for Applicants and Objectors" enclosed)

Yours faithfully,  
A.J. McKendry,  
COUNTY CLERK.

per:



APPLICANT:

Mr R.H. Miller,  
c/- Helmore, Bowron and Scott,  
P.O. Box 44, (Registered A.R.)  
RANGIORA.

ATTENTION : Miss D. McLean

COPY TO: Mr R.H. Miller

OBJECTORS:

1. W.H. and E.M. Westlake,  
P.O. Box 101, (Registered A.R.)  
HAWARDEN.
2. Mrs K. Hyndman,  
165 Ensors Road, (Registered A.R.)  
CHRISTCHURCH, 2.

INTERESTED  
PARTIES:

District Commissioner of Works,  
Ministry of Works and Development,  
P.O. Box 1479,  
CHRISTCHURCH.

Secretary,  
Canterbury United Council,  
P.O. Box 1997,  
CHRISTCHURCH.

Branch Manager,  
Valuation Department,  
P.O. Box 13-443,  
CHRISTCHURCH.

County Engineer

County Building Inspector



**AMBERLEY**  
R No. 650

RECEIPT FOR REGISTERED MAIL  
MAXIMUM COMPENSATION

INLAND SERVICE \$10  
OVERSEAS SERVICE ~~\$18~~ 24

This receipt must accompany any inquiry.

..... Initials  
of Accepting Officer.

Date Stamp

 **AMBERLEY 2**  
31 JUL 1984  
Westlake.  
Hawarden.

**AMBERLEY**  
R No. 649

RECEIPT FOR REGISTERED MAIL  
MAXIMUM COMPENSATION

INLAND SERVICE \$10  
OVERSEAS SERVICE ~~\$18~~ 24

This receipt must accompany any inquiry.

..... Initials  
of Accepting Officer.

Date Stamp

 **AMBERLEY 2**  
31 JUL 1984  
Hyndman. K.  
Chesh.

**AMBERLEY**  
R No. 648


RECEIPT FOR REGISTERED MAIL  
MAXIMUM COMPENSATION

INLAND SERVICE \$10  
OVERSEAS SERVICE ~~\$18~~ 24

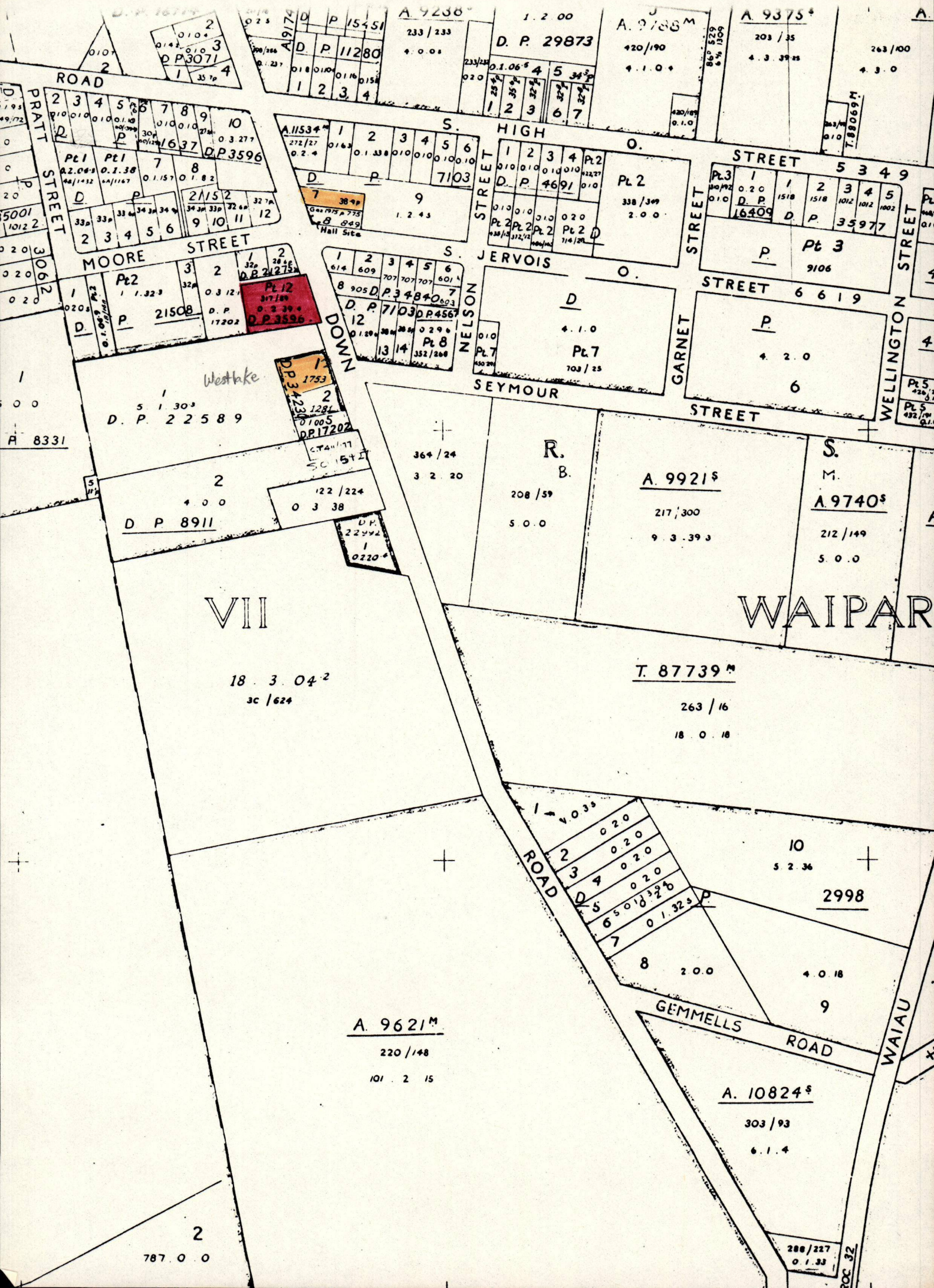
This receipt must accompany any inquiry.

..... Initials  
of Accepting Officer.

Date Stamp

 **AMBERLEY 2**  
31 JUL 1984  
Rga. R.A. Miller  
Lawyers.







THE TOWN AND COUNTRY PLANNING ACT 1977

NOTICE OF APPLICATION FOR PLANNING CONSENT

To: \_\_\_\_\_

*County Engineer*

*CP  
No objections  
BY*

The attached application for planning consent (HCC/ 187 )  
has been received by the Hurunui County Council.

Additional plans or other information are held in the  
Council's office and may be inspected there during normal  
office hours.

The application is being advertised and objections will be  
received by the Council until 4p.m. on 4 July 84

Any objection shall be in writing on form J ~~prescribed~~ in  
the First Schedule to the Town and Country Planning Regulations  
1978 or to the like effect and should be addressed to the  
Hurunui County Council, P. O. Box 13, Amberley.

A copy of every objection must also be sent to the  
applicant as soon as possible.

Date: \_\_\_\_\_

*12.6.84*

\_\_\_\_\_  
*185*  
For the Hurunui County Council





**Ministry of Works  
and Development**

Head Office, Vogel Bldg., Aitken Street

Box 12 041, Wellington North

Telephone 729 929. Telex NZ 3844

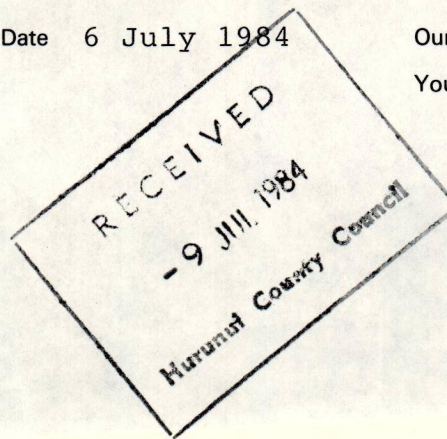
Inquiries to C B Batchelar

Date 6 July 1984

Our ref TP 149/273

Your ref

County Clerk  
Hurunui County Council  
P O Box 13  
AMBERLY



Dear Sir

I refer to the application by R H Miller to carry out sand blasting operations as part of a mixed commercial/industrial development on a property fronting Horsley Down Road in Hawarden.

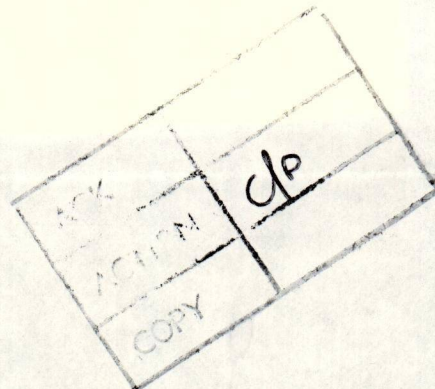
... I enclose, pursuant to section 66 of the Town and Country Planning Act 1977, a statement of objection to this application. The district commissioner of works, Christchurch will arrange representation at the hearing of the application and you should advise him in due course of the date of the hearing.

Yours faithfully

*CB Batchelar*

C B Batchelar  
for Commissioner of Works

Encl.



OUT OF  
TIME.  
                    

Objns closed

4pm Wed

July 4<sup>th</sup>

Discussed Howell (mwd) 9/7/84 (m)  
will send advisory letter on same  
basis



TOWN AND COUNTRY PLANNING ACT 1977

HURUNUI COUNTY DISTRICT SCHEME (WAIPARA SECTION)

STATEMENT OF OBJECTION BY THE MINISTER OF WORKS AND DEVELOPMENT

Pursuant to section 66 of the Town and Country Planning Act 1977, the Minister of Works and Development hereby objects to the application by R H Miller for consent to carry out sandblasting operations as part of a mixed industrial/commercial development.

The grounds for this objection are that the proposed sandblasting operation is contrary to sound town and country planning practice, in that

- i           it will have a detrimental impact on the health and welfare of people occupying adjoining properties
- ii           it is contrary to provisions of the Residential zone contained in the operative district scheme.

This objection would be met by the council declining to grant consent to the sandblasting operation part of the application.

Dated at Wellington this -6 JUL 1984

Assistant Commissioner of Works

Pursuant to authority delegated  
by the Minister of Works and  
Development

To the Hurunui County Council

O. H. M. S.



• PAR AVION



County Clerk  
Hurunui County Council  
P.O. Box 13  
AMBERLY



HURUNUI COUNTY COUNCIL

P.O. Box 13,  
AMBERLEY.

Mr R H Miller

12-6-84

Hawarden

C. Helene Brown & Scott

Box 44 Rangiora

Hce/187

Dear Sir/Madam,

Notice of Acknowledgement - Application for Planning Consent

Pursuant to Regulation 37(3) of the Town and Country Planning Regulations 1978  
I hereby acknowledge that application for planning consent was received at this  
Office on 22.5.84

Copies of the application have been served on the following:-

Commissioner of Works,  
Ministry of Works & Development,  
P.O. Box 12041,  
WELLINGTON.

District Commissioner of Works,  
Ministry of Works & Development,  
P.O. Box 1479,  
CHRISTCHURCH.

The Secretary,  
Canterbury United Council,  
P.O. Box 1997,  
CHRISTCHURCH.

County Planner  
County Engineer  
County Health Inspector  
County Building Inspector

\* J S Appleby Haw

\* Service Transport Main North Rd

+ Canterbury Education Board PB Chch

\* WD Power Tenderer Towns  
Haw

mailed 12/6/84

\* MA Cattermole L. Summer Rd Haw

\* IF Jamieson Haw

Yours faithfully,

\* Mrs RD Calder Mt Whitmore Haw Rd

\* Mr & Mrs B Hatherrell of NZPO Rotherham

\* Mrs BE Street Haw

~~A. J. McKendry~~ Haw

A. J. McKendry

A.J. McKendry,  
COUNTY CLERK.

Mr & Mrs Westlake bought in  
May 84

~~Haw Garage & Transport Co Haw~~

\* Mrs K Hyndman 165 Evans Rd Chch 2

145 \* Lang & Ew of Fraser Vannoy : Cresser Bx 46 Rga  
Naitaki NZ Refrigerating Ltd  
Bx 1472 Chch

AMBERLEY  
R No. 544

RECEIPT FOR REGISTERED MAIL  
MAXIMUM COMPENSATION

INLAND SERVICE \$10  
OVERSEAS SERVICE ~~\$10~~  
24

This receipt must accompany any inquiry.

..... Initials  
of Accepting Officer

Date Stamp

AMBERLEY 2  
1 2 JUN 1984

how  
wgn

AMBERLEY  
R No. 543

RECEIPT FOR REGISTERED MAIL  
MAXIMUM COMPENSATION

INLAND SERVICE \$10  
OVERSEAS SERVICE ~~\$10~~  
24

This receipt must accompany any inquiry.

..... Initials  
of Accepting Officer

Date Stamp

AMBERLEY 2  
1 2 JUN 1984

CVC

AMBERLEY  
R No. 542

RECEIPT FOR REGISTERED MAIL  
MAXIMUM COMPENSATION

INLAND SERVICE \$10  
OVERSEAS SERVICE ~~\$10~~  
24

This receipt must accompany any inquiry.

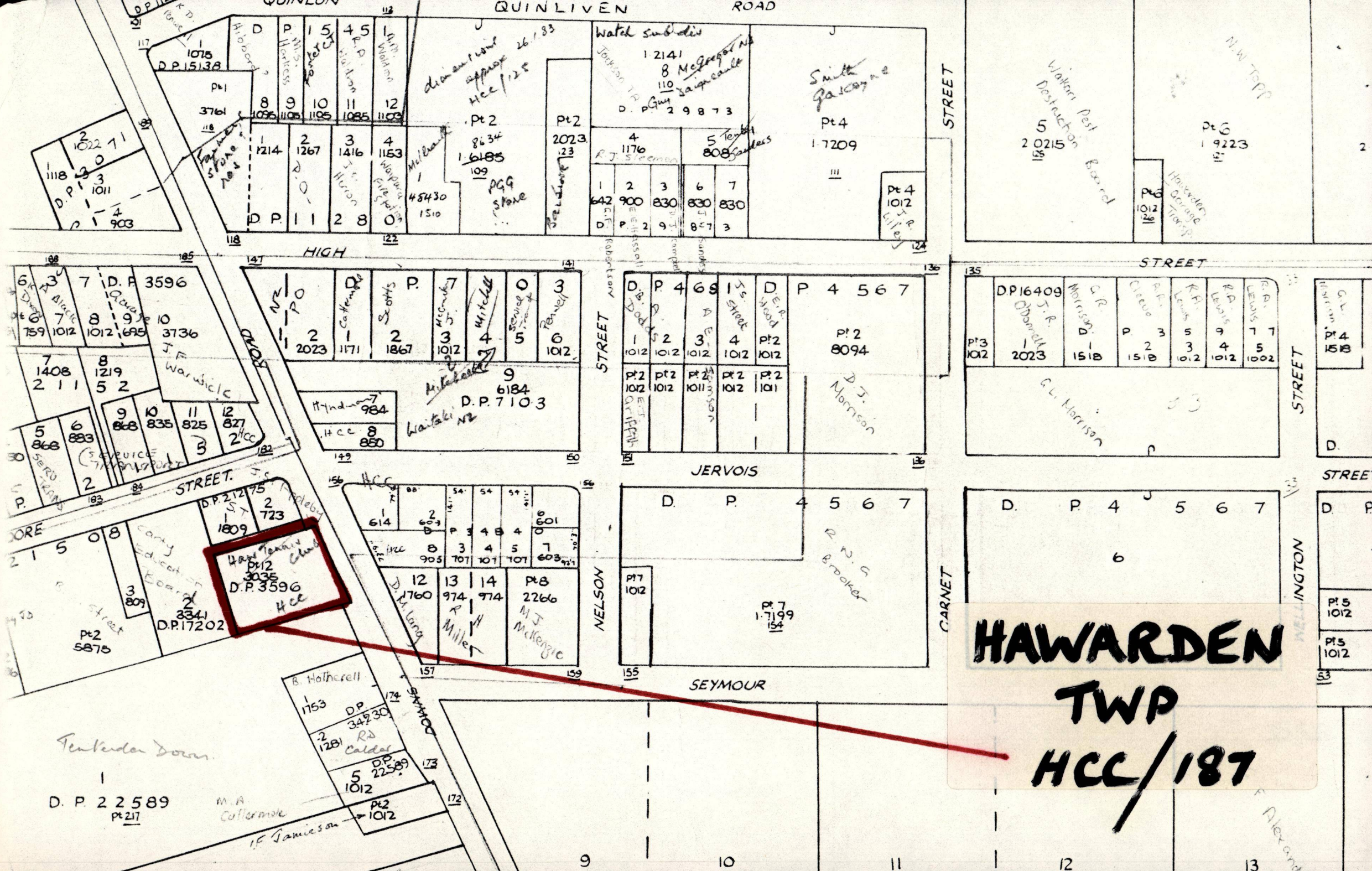
..... Initials  
of Accepting Officer

Date Stamp

AMBERLEY 2  
1 2 JUN 1984

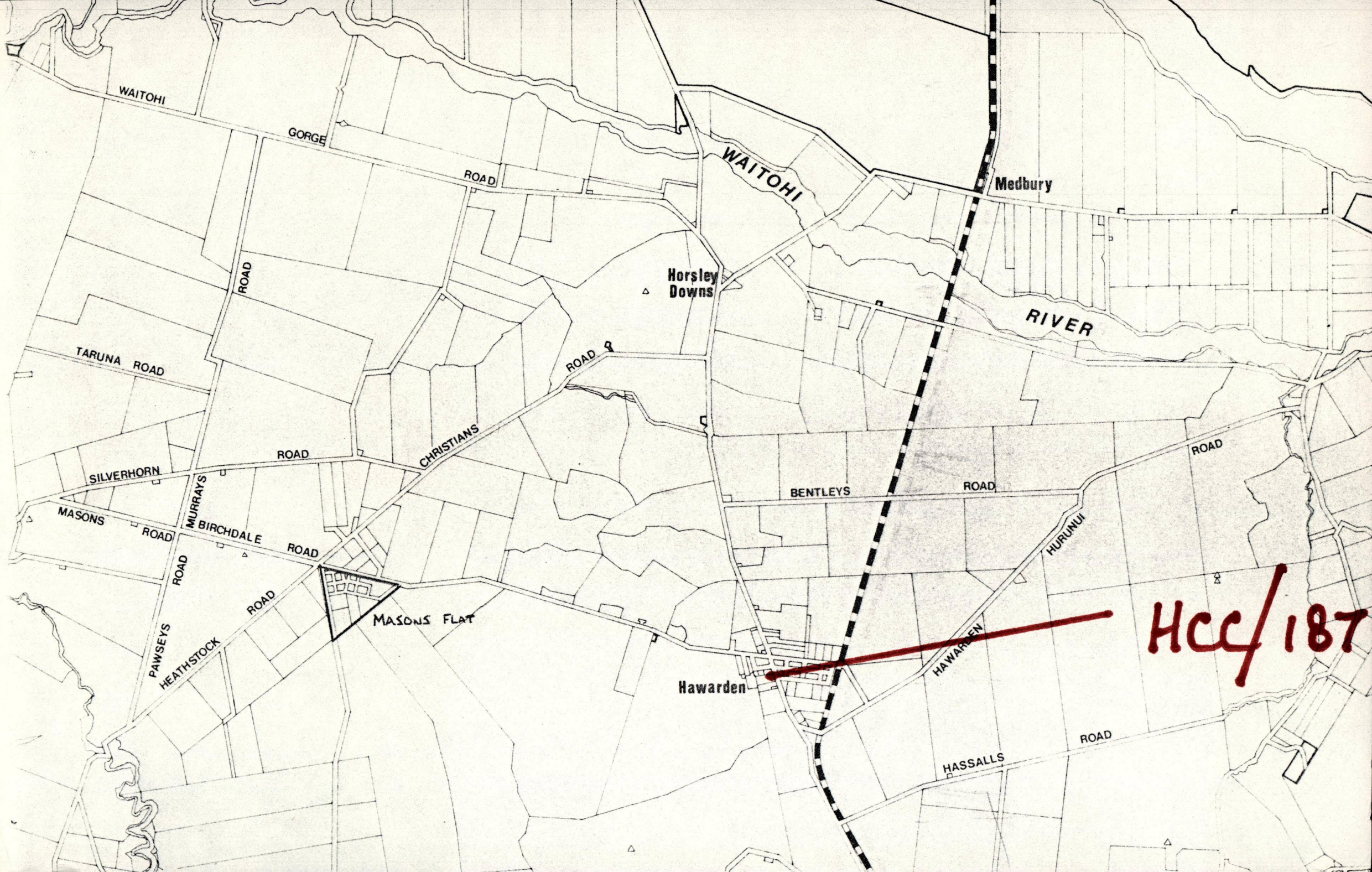
how  
chck





**HAWARDEN**  
**TWP**  
**HCC/187**







**HELMORE, BOWRON & SCOTT**  
**BARRISTERS & SOLICITORS**  
**RANGIORA**

RICHARD HUGO BOWRON, LL.B.  
GEORGE THOMAS SCOTT, LL.B.  
LINDSAY RICHARD MARTIN, LL.B. (HONS.)  
KEITH GEORGE HALES, LL.B.

P.O. BOX 44  
RANGIORA  
9 GOOD STREET

TELEPHONES:  
8313 & 8312

*Our Reference* Mr Scott

18th May 1984

The County Clerk,  
Hurunui County Council,  
P.O. Box 13,  
AMBERLEY

Dear Sir,

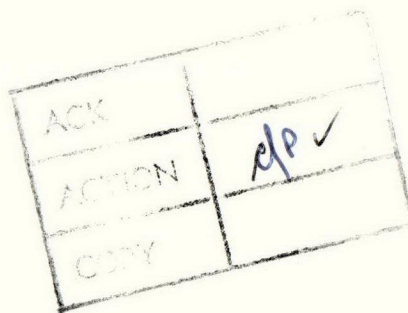
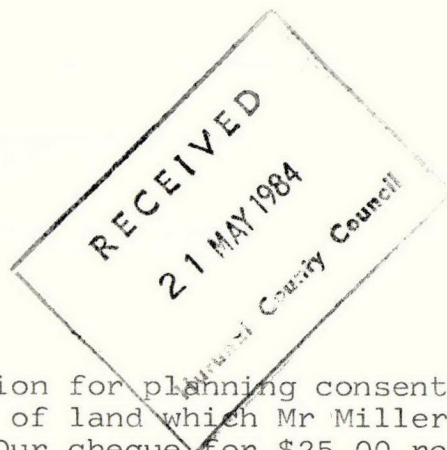
re: Raymond H, Miller

We enclose herewith application for planning consent on behalf of Mr Miller in respect of a block of land which Mr Miller is proposing to exchange with your Council. Our cheque for \$25.00 representing your application fee is enclosed.

Yours faithfully  
HELMORE BOWRON & SCOTT

per:

*[Signature]*



*cheque not enclosed.*

*[Signature]*

APPLICATION FOR PLANNING CONSENT - CHECKLIST

APPLICANT:

Address:

Phone No.:

PROPOSED SITE

1. Area, dimensions, location, access
2. Legal description, encumbrances  
owner
3. Zoning
4. Services available and  
capacity  
roading  
pub. transport  
water etc.
5. Land potential for food production  
(if rural)
6. Land potential for erosion, flooding,  
earthquake etc.
7. Improvements (bldgs, fences etc.)  
std. of maintenance, age.
8. Proximity to other uses
9. Trees, archaeological and historic  
sites worthy of preservation
10. Previous uses of site, any  
visible evidence



## PROPOSED USE

1. Purpose of use, objectives  
policies, long-term plans.
2. Raw materials type (especially  
noxious), delivery.
3. Products type (especially  
noxious), delivery and disposal.
4. Staff : total number  
residential location  
mode of travel  
age structure
5. Customers : number per day  
location origin  
mode of travel
6. Services : - personnel  
(tradesmen etc.)  
number per day  
location origin  
mode of travel  
  
- Waste type and  
volume per day  
(gas, solid, liquid)  
- power type elec, gas  
- water requirements  
- other services reqd.
7. Related uses (e.g. Doctor and  
Chemist, shops and banks).
8. Building requirements, floor area,  
coverage, visual character
9. Site requirements, area,  
dimensions, location, access.
10. Parking space requirements
11. Noise level
12. Signs required
13. Hours of operation



STOPFORD

10th July, 1984.

Medical Officer of Health,  
Department of Health,  
P.O. Box 1475,  
CHRISTCHURCH.

ATTENTION: Air Pollution Officer.

Dear Sir,

Application for Planning Consent - HCC/187 R.H. Miller

Objection by Medical Officer of Health

I refer to recent correspondence on this matter and advise that the Council's Planning Committee will meet on Friday 20th July, 1984 to hear this and other applications.

Accordingly would you please arrange to attend the Miller application as an expert witness. This application will be heard at 9.30 a.m. at the Council Chambers, Amberley.

Yours faithfully,  
D.J. Forrest,  
COUNTY PLANNER.

Per: 

HCC/187  
R.H. Miller,  
Hawarden/Waikari Road,  
Hawarden.  
Sandblasting and  
Waterblasting operation.

Copy To: County Health Inspector.





# HURUNUI COUNTY COUNCIL

IF CALLING ASK FOR MR. FORREST  
REFERENCE

The Advertising Manager,  
Christchurch Press Co. Ltd,  
P.O. Box 1005,  
CHRISTCHURCH.

11. 6. 84

Dear Sir,

Please insert the undermentioned advertisement in your issue of the  
"Press" on Tuesday, 12th June, 1984 under the classification  
"North Canterbury Advertisements" on the North Canterbury Page.

Yours faithfully,

A.J. McKendry,  
COUNTY CLERK.



(Town & Country Planning Act 1977)  
HURUNUI COUNTY COUNCIL  
DISTRICT PLANNING SCHEME

## Public Notification of Applications for Planning Consent

Details of the applications for planning consent listed below may be examined in the office of the Hurunui County Council during normal office hours. Objections can be made by notice in writing in form J prescribed in the First Schedule to the Town and Country Planning Regulations 1978 or to the like effect and should be addressed to the Hurunui County Council, P.O. Box 13, Amberley. Objections will be received by the Council until 4 p.m. on Wednesday, 4th July, 1984.

A copy of any objection must also be sent to the applicant. Objection forms are available from the Council.

### Address

### Applicant

### For Consent To:

"Old tennis court site" R.H. Miller  
Horsley Down Road,  
Hawarden.

Erect concrete block building to sell paint, glass and associated products, erect a corrugated iron building for storage of sand and machinery and carry out sand and water blasting on land zoned Residential.

*Del'd to Press 11.6.84*

County Office,  
AMBERLEY.

A.J. McKendry,  
COUNTY CLERK.

.....12. 6. 84.....



P.O. Box 74  
Hawarden.

The County Planner,  
Hurunui County Council,  
P.O. Box 13,  
Amberley.  
Dear Sir,

RECEIVED

15 DEC 1983

Hurunui County Council

Re discussions with Mrs Little concerning  
vacant tennis courts on Hawarden-Waikari Road, Hawarden.

I am operating a waterblasting, sandblasting and painting business in Hawarden and surrounding districts. Approx 80% of work is done on clients property, the balance is brought to me.

After discussion with two councillors I have been using these vacant tennis courts for the purpose of preparing and painting of stock crates etc. In two months six stock crates and one tank and at the moment no more expected to end of January.

All stock crates are cleaned by clients prior to their arrival, on instruction by myself. There is minimal sheep and cattle manure, only small particles of flaking paint removed.

For the use of the property I would be prepared to remove stumps on north end, clean up branches etc on courts, remove gorse and then fence property. Then arrange grazing to keep growth & fire danger down.

These courts are surrounded by a Light Engineering Workshop on North, Road Frontage on East, Vacant Farm land on South and House occupied by school teachers on West, with a row of trees between, with a hundred yards between work area and trees.

Yours faithfully.

R. H. Miller

R. H. Miller.

20/12/83 CC, CP discussed matter with Mr Miller. Suggested he have his Solicitor (Mr George Scott) discuss the matter with CC and/or CP as N.P.A. required for use. Consent to use must first be obtained before an exchange may be contemplated. No lease.



Dec/187

Miller App<sup>l</sup>

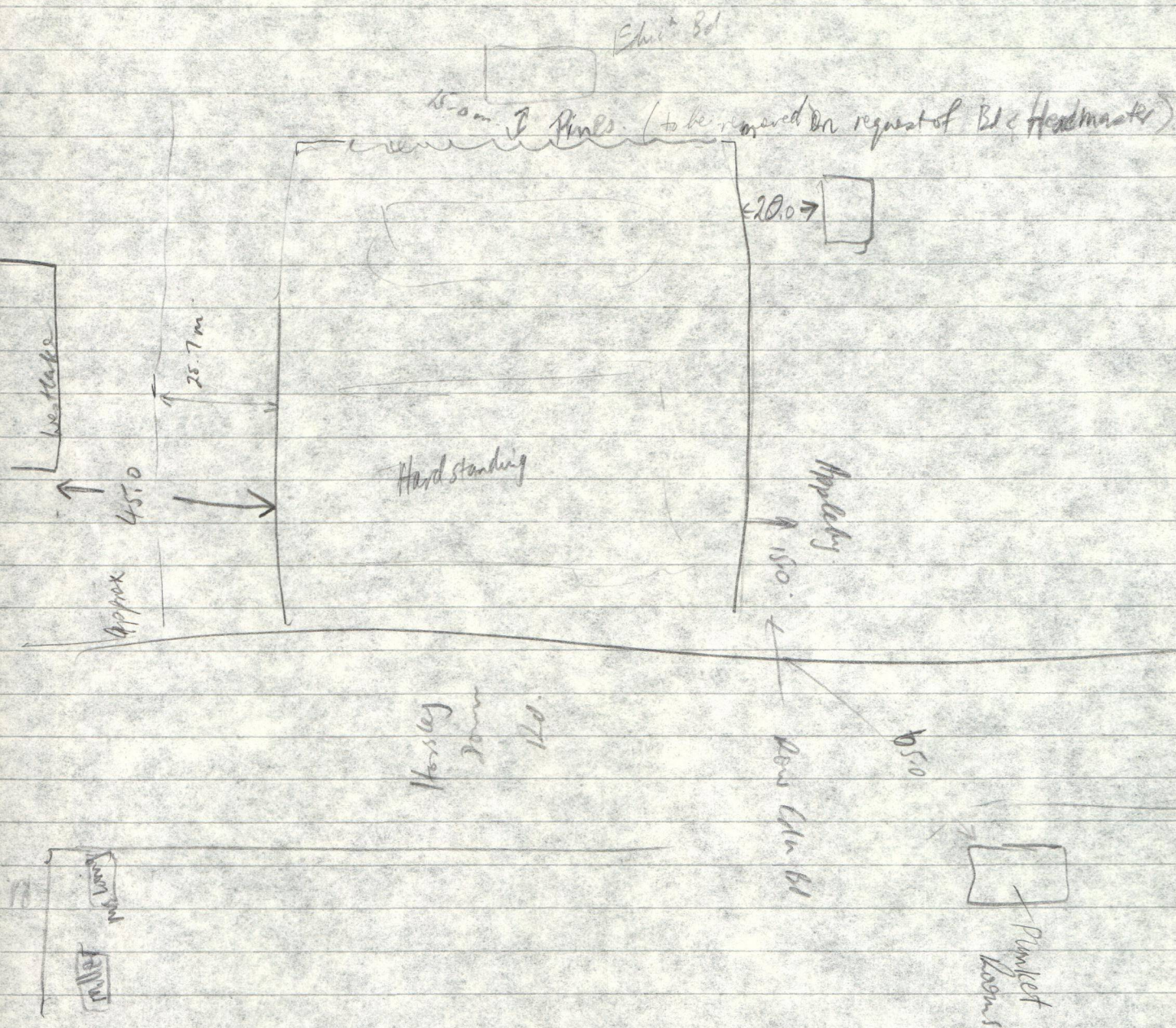
- On site Inspection

Mr Miller, Mr & Mrs Westlake, et

Withdrawing  
Water blasting  
Compressor

sandblasting part of appl<sup>l</sup>

4 cylinder Wisconsin





Canterbury Education  
Bd Hostel.

45-4m

Pine Trees to fill this space

Scrubs 1 Row

48m

Limestone Drive

Pine Trees. 2 rows  
Scrubs 1 row  
Railway sleepers as border

66-2m

Proposed  
Storage  
Shed.

10m

6m

26-5m

76-2m

Decorative Trees and shrubs.

Horsley Down Rd.

Canterbury Education Bd  
not used right of way to Hostel.

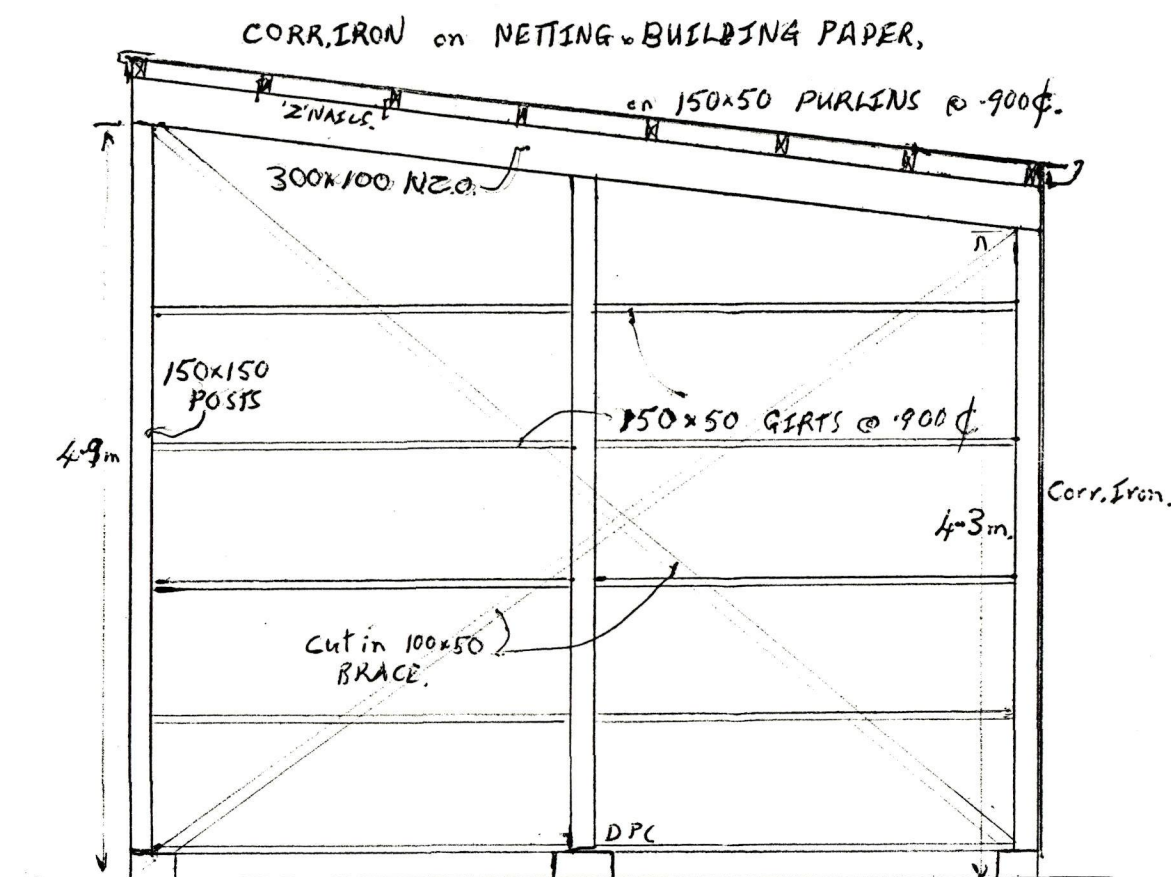
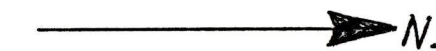
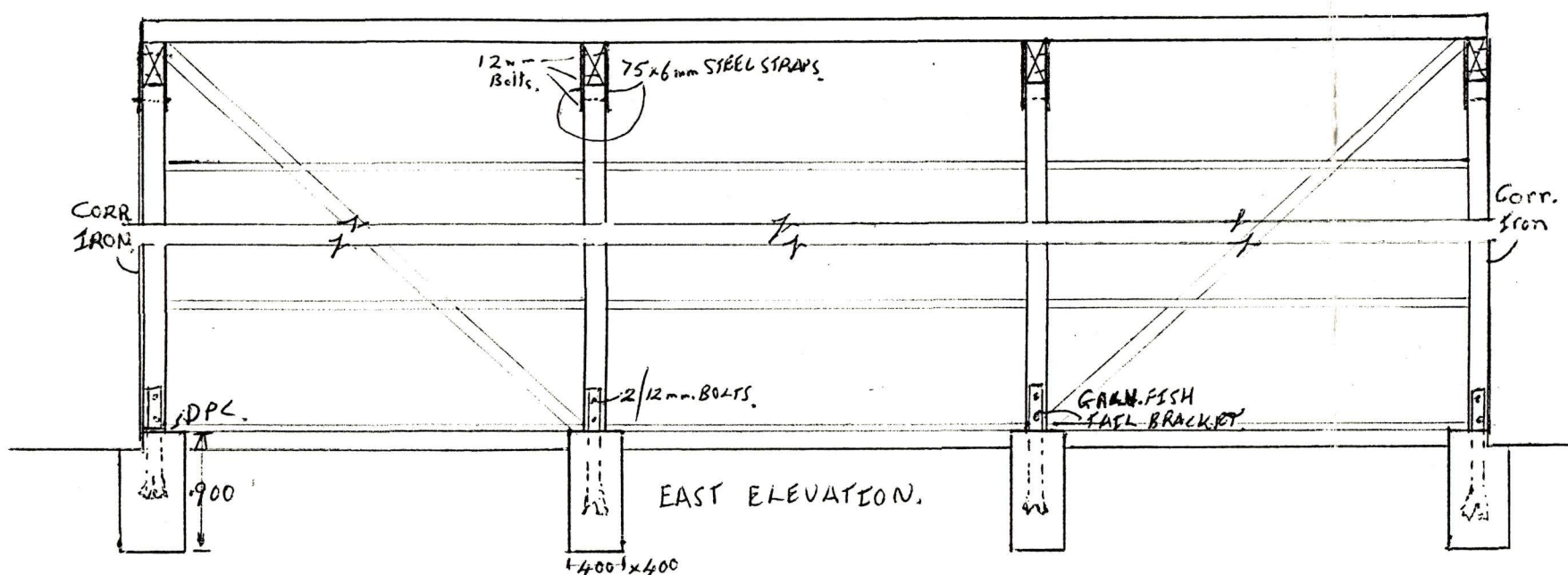
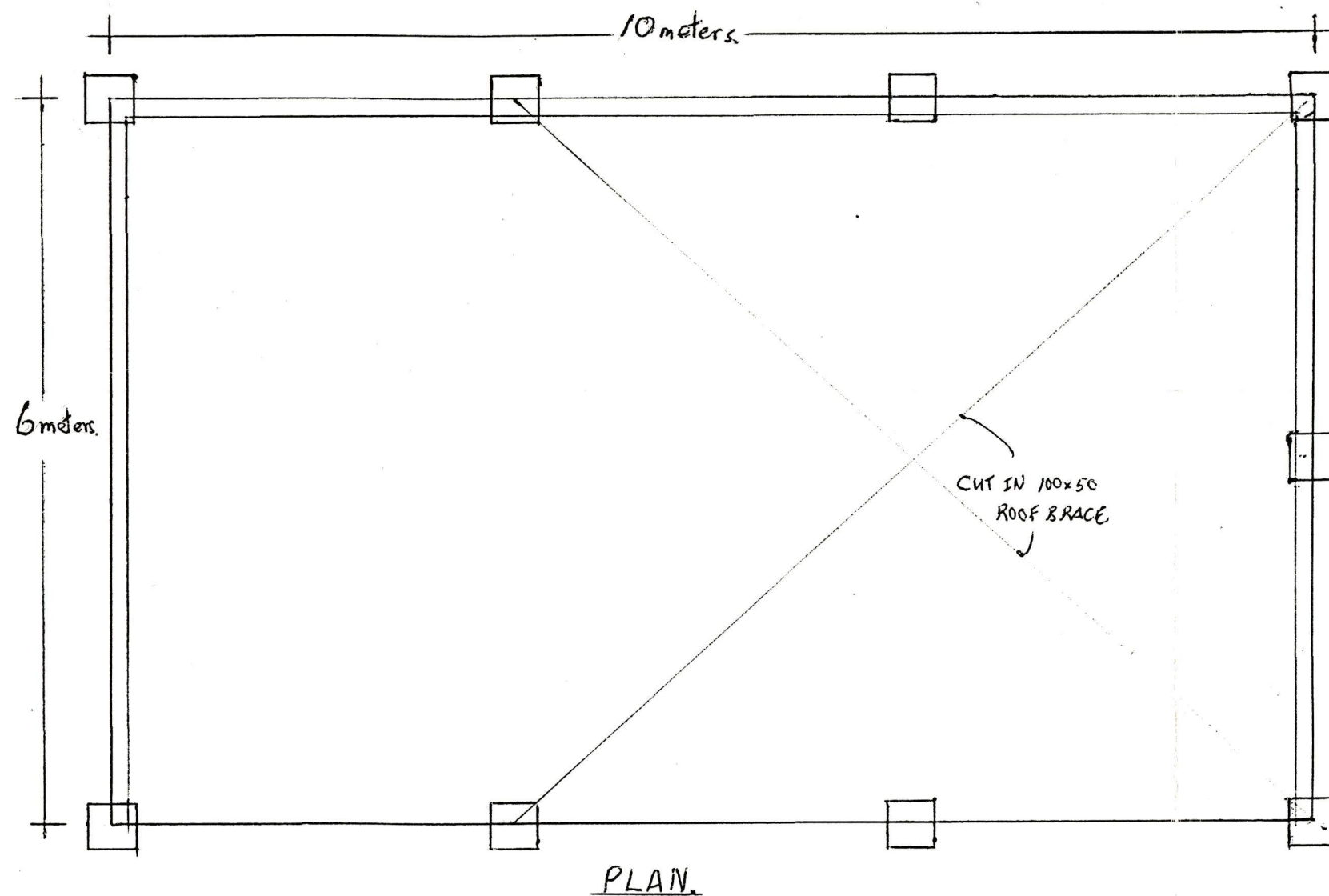
Service  
Transport  
Drivers  
Residence

Appleby  
Engineering

(Paddock)

Power





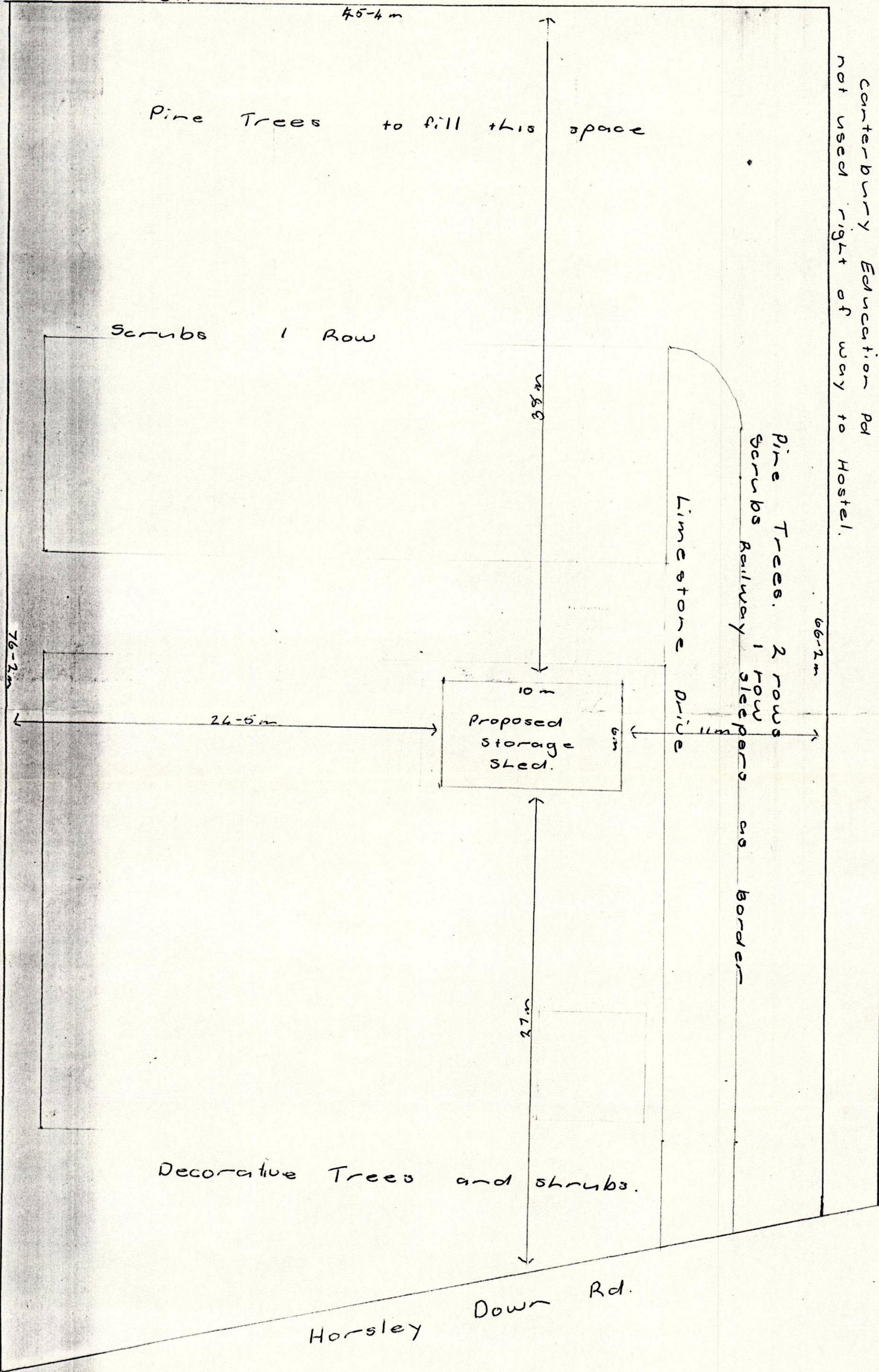
NORTH ELEVATION

R.H. MILLER,  
PO BOX 74  
HAWARDEN.

PROPOSED NEW STORAGE SHED FOR MR R H MILLER.

SCALE 1:50





Service  
Transport  
Drivers  
Residence

Appleby  
Engineering



Canterbury Education  
Bd Hostel.

45-4m

Pine Trees to fill this space

shrubs 1 Row

Canterbury Education Bd  
not used right of way to Hostel.

Service  
Transport  
Drivers  
Residence

Pine Trees 2 rows  
shrubs 1 row  
Railway sleepers as border

Limestone Drive

66-2m

24-5m

12 meters

Proposed  
Storage  
shed.

10 meters  
Sliding  
Door

APPROVED  
SUBJECT TO BY-LAWS  
HURUMUI COUNTY COUNCIL

Per K.A. Roberts

THESE PLANS WITH SPECIFICATIONS  
TO REMAIN ON SITE UNTIL BUILDING  
COMPLETED.

Sliding  
Door

NOTE: ALL SIGNS/ADVERTISING  
ON BUILDINGS AND ON SITE  
REQUIRE COUNCIL APPROVAL.

Decorative Trees and shrubs.

Appleby  
Engineer

Horsley Down Rd.



40 metres App.

Row Pine Trees  
Grass (Rough).

10 metres  
Proposed  
Storage  
Shed  
(sand) Machinery  
6 metres

Tennis Court  
No 1

Sandblasting  
Area

Grass.

Tennis Court  
No 2

Water Blasting  
Area

Tennis Court  
No 3.

Proposed  
Retail  
Outlet  
(Paint, Glass  
Hardware etc).

Service Transport  
Drivers  
Residence

Education Bd Right of way to Hostel.

Appleby Engineering

North  
↓

Horsley Down Rd.

W D Power Farm Land.

70 metre. App



# Teacher Hostel

HCC/187

proposed use of  
Section in Hawarden.

Sand Blasting

Iron Shed

9m.

Proposed  
Shed  
Storage of  
Sand and  
Machinery

6m

(Canterbury Education - Bd)

Road

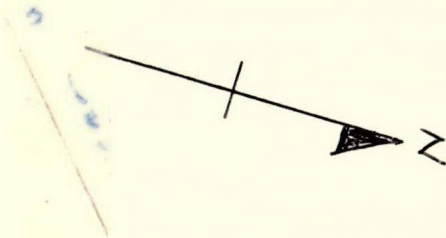
Paper

Block Building

Proposed  
Shop for  
Sale of Paints  
and Glass  
etc.

Hawarden Waikari Road.

North  
Corner



R.H. MILLER, HAWARDEN.

- use of vacant tennis courts.

---

- ① Zone - Residential.
- ② Waterblasting / sandblasting / painting business, neither a pred. nor cond. use so. ratified planning application for specified departure.



Valuation Reference <b>21490 136</b>		Computer Codes extns. <b>0</b> change <b>L</b> indic. <b>11100</b>		Date of Revision <b>1/10/79</b>	Date form printed <b>12/12/79</b>
VI LV CV	Special Values <b>91500</b> <b>193000</b> <b>284500</b> <b>&amp; TREES = 500</b>	Nature of Improvements <b>2 DWGS 08 01 FG</b>		Occupier (within the meaning of the Rating Act) <b>STEWART JOHN DONALD</b>	
				<b>NORTH LOBURN R D</b> <b>RANGIORA</b>	
HECTARES <b>331.8535</b>		Address of Property/Situation <b>LOBURN RD</b>		Name of District <b>HURUNUI COUNTY</b>	
<p>The sequence of data here is: Owner (if other than Occupier), Special Rating Area information (if any), Description of Property.</p> <p><b>RS 32442 PT RS 32688 34135 34532 BLKS IX X XIII GREY SD</b></p>					







REC SPORTS  
& DOMAIN

PUBL  
HALL

Quirion  
Rd

PUBL  
FIRE

PUBL  
WAR MEM.

COM B

Atlandale

PUBL  
P & S  
SCH.

RES.

IND B

PUBL  
RQ.

RES.

High

St

St

Jervais

St

RES.

IND. B

Nelson  
St

Garnet St

Not Dedicated

St

Not

Wellington

Down

Samuel

St

RES.

PUBL.  
PLAY CENTRE

RUR.



Valuation Reference 21370 175		Computer Codes extns. 0 change FHD indic. 14100		Date of Revision 1/10/79	Date form printed 15/ 4/83					
VI LV CV	6500	Special Values	Nature of Improvements C/BS 0/1	Occupier (within the meaning of the Rating Act) HURUNUI COUNTY COUNCIL						
	3000									
	9500		PO BOX 13 AMBERLEY	39						
SQ METRES 3035		Address of Property/Situation HORSLEY DOWNS RD		Name of District HURUNUI COUNTY						
The sequence of data here is: Owner (if other than Occupier), Special Rating Area information (if any), Description of Property.										
CODE	SCHEME	NAME	CLASS	AREA	CV	LV	SPEC	CV	SPEC	LV
767	WAIKARI	FEST RD-WERA								
PT LOT 12 OF 3596 BLK VII WAIPARA SD										





HURUNUI COUNTY COUNCIL

APPLICATION FOR BUILDING PERMIT

PERMIT NO. C075141  
VALUATION ROLL NO. 2137/175

ADDRESS OF PROPERTY (No, Street/Road): Horsled Downe Road  
RIDING: Hawarden  
LEGAL DESCRIPTION: Lot 12 D.P. 3596 being Pt section  
BLOCK VII S.D. Waipara AREA hectares/square metres  
NAME OF PROPERTY OWNER: R. H. MILLER ADDRESS: P.O. Box 74 Hawarden  
NAME OF BUILDER: ADDRESS:  
NAME OF PLUMBER: ADDRESS:  
NAME OF DRAINLAYER: ADDRESS:

SCOPE OF APPLICATION:

Complete Project: ☒  
Partial Project: ☐  
If partial e.g. foundations, specify

DESCRIPTION OF PROPOSED WORK:

New Building ☒  
Addition ☐  
Demolition ☐  
Alteration ☐  
Resiting ☐

ESTIMATED VALUE:

1. Building \$  
2. Plumbing \$  
3. Drainage \$  
TOTAL \$ 8000.00

BUILDING PARTICULARS:

1. MATERIALS:  
Foundations Concrete Piles  
Walls Iron  
Roof Iron  
2. No. of Floors:  
3. Floor Area of Proposed Work:  
4. New Total Floor Area: 120m<sup>2</sup>  
5. Proposed Use of Building: Storage  
Storage  
6. Nature of Ground: CLAY SILT GRAVEL ROCK

DOCUMENTS attached as part of this application are:

Drawings (2 sets) ☐  
Specifications (2 sets) ☐  
Form No. 2 - Structural Design  
Features Summary (for buildings not within scope of Chapters 6.1, 6.2, 11.2 and relevant codes of Practice e.g. N.Z.S. 3604) ☐

OFFICE USE ONLY

Fees Payable		Receipt No
Buildings	\$ 37.00	0153.26/38
Plumbing	\$	
Drainage	\$	
Building Research Levy	\$	
Sewer Connection	\$	
Water Connection	\$	
Footpath Damage Deposit	\$	
Vehicle Crossing	\$	
TOTAL	\$	

APPLICATION APPROVED

K. B. Roberts  
BUILDING INSPECTOR  
DATE: 7/4/86

NAME OF APPLICANT: R. H. MILLER DATE: 20-3-86  
ADDRESS: Beynour St (P.O. Box 74) Hawarden  
SIGNATURE: R. H. Miller TELEPHONE NUMBER: 44-322  
ACTING IN CAPACITY: (e.g. owner, builder, principal consultant)



BUILDING ASSESSMENT FEE

Estimated value of work excluding any amount upon which drainage and plumbing fees are payable

				Fees	
				\$	\$
\$	0	and	not exceeding	\$	\$
801	"	"	"	800	10.00
1,201	"	"	"	1,200	12.00
1,601	"	"	"	1,600	14.00
2,001	"	"	"	2,000	18.00
3,001	"	"	"	3,000	22.00
4,001	"	"	"	4,000	26.00
5,001	"	"	"	5,000	28.00
6,001	"	"	"	6,000	32.00
7,001	"	"	"	7,000	34.00
8,001	"	"	"	8,000	37.00
9,001	"	"	"	9,000	40.00
10,001	"	"	"	10,000	45.00
12,001	"	"	"	12,000	50.00
15,001	"	"	"	15,000	55.00
18,001	"	"	"	18,000	60.00
20,001	"	"	"	20,000	70.00
25,001	"	"	"	25,000	80.00
30,001	"	"	"	30,000	90.00
35,001	"	"	"	35,000	100.00
40,001	"	"	"	40,000	112.00
50,001	"	"	"	50,000	124.00
60,001	"	"	"	60,000	136.00
70,001	"	"	"	70,000	148.00
80,001	"	"	"	80,000	160.00
90,001	"	"	"	90,000	180.00
100,001	"	"	"	100,000	200.00
125,001	"	"	"	125,000	215.00
150,001	"	"	"	150,000	230.00
175,001	"	"	"	175,000	245.00
				200,000	260.00

For every \$50,000 or part thereof in excess of \$200,000 an additional fee of \$30.00 will be charged.

NOTE: Fire Installation Permit Fees - \$14.00

BUILDING RESEARCH LEVY:

- (a) Any building valued at less than \$10,000 is wholly exempted from payment of the levy.
- (b) Every building valued at \$10,000 or more incurs a liability for the levy payment of \$1.00 in each \$1,000 (or part thereof) of the whole value e.g. building valued at \$21,000\* incurs a levy of \$21.00.

The value is that stated in the Building Permit (or permits) issued by the local authority. If separate permits are issued for building and plumbing/drainage work then the value on which the levy due is calculated, is on the total of all the permits

	000	1,000	2,000	3,000	4,000	5,000	6,000	7,000	8,000	9,000
000	\$	\$	\$	\$	\$	\$	\$	\$	\$	\$
10,000	10.00	11.00	12.00	13.00	14.00	15.00	16.00	17.00	18.00	19.00
20,000	20.00	21.00*	22.00	23.00	24.00	25.00	26.00	27.00	28.00	29.00
30,000	30.00	31.00	32.00	33.00	34.00	35.00	36.00	37.00	38.00	39.00
40,000	40.00	41.00	42.00	43.00	44.00	45.00	46.00	47.00	48.00	49.00
50,000	50.00	51.00	52.00	53.00	54.00	55.00	56.00	57.00	58.00	59.00

PLUMBING AND DRAINAGE FEES

If cost of Labour is less than \$100	\$ 5.00
If cost of Labour is \$100 or less than \$200	\$10.00
If cost of Labour is \$200 or less than \$400	\$15.00
If cost of Labour is \$400 or less than \$600	\$20.00
If cost of Labour is \$600 or less than \$1,000	\$25.00
Plus \$2 for every \$1,000 or part thereof in excess of \$1,000	

- INSULATION MATERIALS AND METHODS OF FIXING MUST BE CLEARLY SHOWN -
- ALL PERMIT FEES TO BE PAID WITH APPLICATION -



## HURUNUI COUNTY COUNCIL

## APPLICATION FOR PLANNING CONSENT

(Before completing this form, please read it through first, then provide all details relevant to your proposal.)

1. I apply to the HURUNUI COUNTY COUNCIL.

Details of Applicant, Owners and Occupiers:

2. My full name is... Raymond Henry Miller
3. I am the proposed purchaser ~~Owner/Essee~~ of the property.
4. The name and address of the Owner is ... Hurunui County Council
5. The name and address of the Occupier is Hurunui County Council

Details of Property Concerned:

6. Address: ... Hawarden/Waikari Road, Hawarden
7. Legal Description: ... 3035m<sup>2</sup> Lot 12 D.P. 3596 Zoned RES
8. Certificate of title references: ... 317/89 1

Details of Proposals:

9. I propose to erect buildings on the land one a concrete block unit for the sale of paint glass and associated products and the other a corrugated iron unit for the storage of sand and machinery.
- I propose also to carry out sand blasting on the land
11. I propose the following methods of:
- (i) Water supply Town supply - apply for tank and restrictor
  - (ii) Energy supply .....
  - (iii) Rubbish disposal .....
  - (iv) Stormwater disposal .....
  - (v) Sewage disposal .....  
(Continue on additional sheet if necessary)

12. Traffic - Regular movements in and out are likely to be at the rate of 5 combined cars and ..... trucks per day/week.

13. Offensive materials or elements likely to be used or created on the property. Please list e.g. chemicals/explosives/smoke/dust/noise/smell/bright or flashing lights.
- Dust, noise from compressor motor

Dated at Rangiora this 12th day of May 1984

Address for Service HELMORE BOWRON & SCOTT Signature... per: [Signature]

P.O. Box 44 ..... (to be signed by or on behalf of the applicant.)  
Rangiora .....



# HURUNU COUNTY COUNCIL

IF CALLING ASK FOR MR. Forrest.....  
REFERENCE ... HCC/187.....

30th July, 1984.

County Building Inspector ✓

Dear Sir/Madam,

RE: APPLICATION FOR PLANNING CONSENT (HCC/187)  
NOTICE OF DECISION

APPLICANT: R.H. Miller

NATURE OF PROPOSAL: To erect a concrete block building to sell paint, glass and associated products, erect a corrugated iron building for the storage of sand and machinery and to carry out water blasting and sandblasting on the site.

LOCATION OF LAND: Horsley Down Road, Hawarden ("Old tennis courts" site).

AREA: 3035 m<sup>2</sup>

LEGAL DESCRIPTION: Pt. Lot 12 D.P. 3596 (C.T. 317/89).

ZONE: Residential

COUNCIL DECISION: As it is considered that neither the proposed water blasting or spray painting uses of the site, nor the retail sale of paint, glass and associated products, nor the proposed buildings are permitted uses in the Residential zone, the Council's Planning Committee considered the application in terms of the specified departure criteria (Section 74) of the Town and Country Planning Act 1977.

Having considered all the evidence submitted the Committee considers that it is a proper use of the specified departure procedure to create a "transition" from the industrial to the residential zone. The Committee considers that activities in or on the "transitional" site can be controlled as a non-conforming use and under conditions imposed in respect of this consent.



The Committee also took cognizance of the public benefit which would accrue from granting consent to the application and the fact that the applicant would be utilising an existing "hard standing" area (asphalt tennis courts) which would otherwise not be used. The Committee also considered the fact that work on the site would be on a limited basis. This fact, together with the setting of appropriate conditions, is considered as being sufficient to meet the concerns of objectors.

ACCORDINGLY, COUNCIL GRANTS ITS CONSENT TO THE APPLICATION (EXCLUDING SANDBLASTING) PURSUANT TO SECTIONS 67 AND 74 OF THE TOWN AND COUNTRY PLANNING ACT 1977, SUBJECT TO THE FOLLOWING CONDITIONS:

- (a) THAT THE APPLICANT PROVIDE ACCESS AND PARKING TO THE SATISFACTION OF THE COUNTY ENGINEER; AND
- (b) THAT ALL SURFACE WATER BE PROPERLY DISPOSED OF WITHIN THE SITE, OR REMOVED FROM THE SITE, TO THE SATISFACTION OF THE COUNTY ENGINEER; AND
- (c) THAT THE SITE BE SUITABLY LANDSCAPED WITHIN ONE YEAR OF NOTIFICATION OF THIS CONSENT, AND MAINTAINED THEREAFTER TO THE SATISFACTION OF THE COUNCIL; AND
- (d) THAT POSSIBLE NOISE EMISSIONS FROM THE SITE BE REDUCED AS FAR AS POSSIBLE BY BAFFLING ALL NOISE PRODUCING MACHINERY, AND LINING BUILDINGS, TO THE SATISFACTION OF THE COUNTY ENGINEER; AND
- (e) THAT HOURS OF OPERATION BE RESTRICTED TO 7 A.M. TO 7 P.M. MONDAY TO FRIDAY AND 7 A.M. TO NOON ON SATURDAYS BUT EXCLUDING SATURDAY P.M., SUNDAYS AND PUBLIC HOLIDAYS; AND
- (f) THAT PAINTING NOT BE UNDERTAKEN WHEN CONDITIONS RENDER IT IMPOSSIBLE TO CONTAIN ALL PAINT AND NOXIOUS VAPOURS WITHIN THE BOUNDARIES OF THE SITE; AND
- (g) THAT A SPRAY BOOTH BE CONSTRUCTED WITHIN TWO YEARS OF THE NOTIFICATION OF THIS CONSENT. ONCE ERECTED ALL PAINTING IS TO BE UNDERTAKEN WITHIN THE SPRAY BOOTH.

INFORMATION:

This notice is distributed in terms of Regulation 38 (4) of the Town and Country Planning Regulations 1978. The applicant and objectors are advised that they may appeal to the Planning Tribunal against the Council's decision or against any condition, restriction or prohibition imposed in respect of that decision, as provided for in Section 69 of the Town and Country Planning Act 1977. (Refer "Notes for Applicants and Objectors" enclosed).

Yours faithfully,  
A.J. McKendry,  
COUNTY CLERK.

per:

*D. Forrest*

6th June 1984.

The County Planner,  
Mr Forrest,  
Hurunui County Council,  
P O Box 13,  
Amberley.

Dear Sir,

Proposed use of old tennis courts in Hawarden.

This land is situated on the Horsley Down Road. Surrounding occupants are: Appleby Engineering on the North, Service Transport Driver Residence on Northwest, Hawarden Area School Hostel on West, (Row of trees between) Farm paddock of W D Power's on South and Road Frontage on East.

The proposed use of this land is for waterblasting, sandblasting and airless spray painting of stockcrates and farm machinery. Marked on map are positions on courts where work is to be carried out. Sandblaster: noise of this is from the Atlas Copco Compressor (Silentair) and the hiss of air from nozzle tip. Dust as you see this would not travel off section. What is more I want sand back for recycling so I would not be blasting in a gale of a Norwester.

I have spoken with the owners or residents of surrounding properties and they have no objections to my proposals.

At present 80% of my work is carried out on clients property and work that does come into my yard has been previously cleaned by arrangement.

Waterblasting: Noise is from a petrol motor driving a pump only.

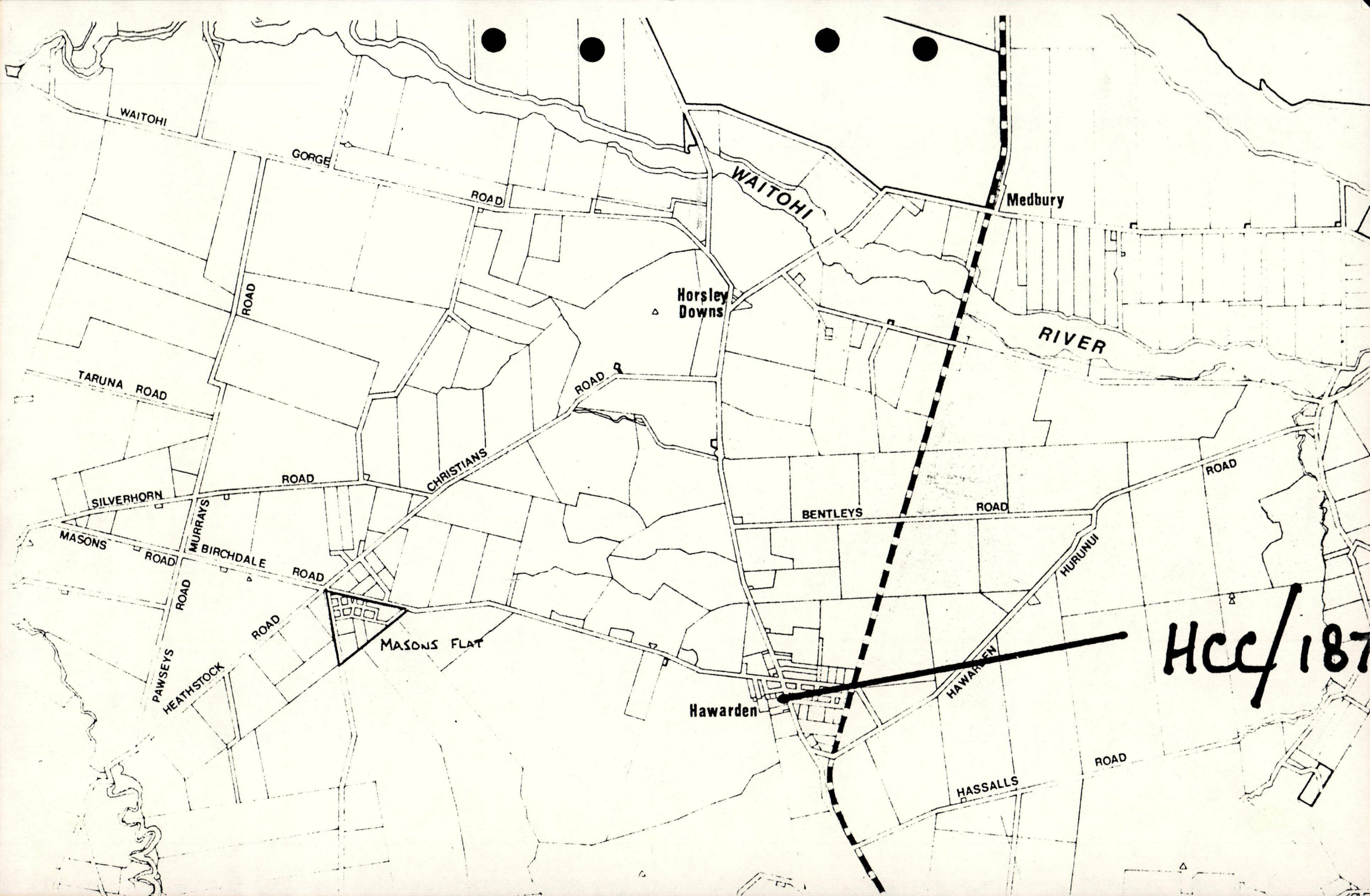
Building as shown on plan. These are not in the immediate future but as finance permits.

Yours faithfully,



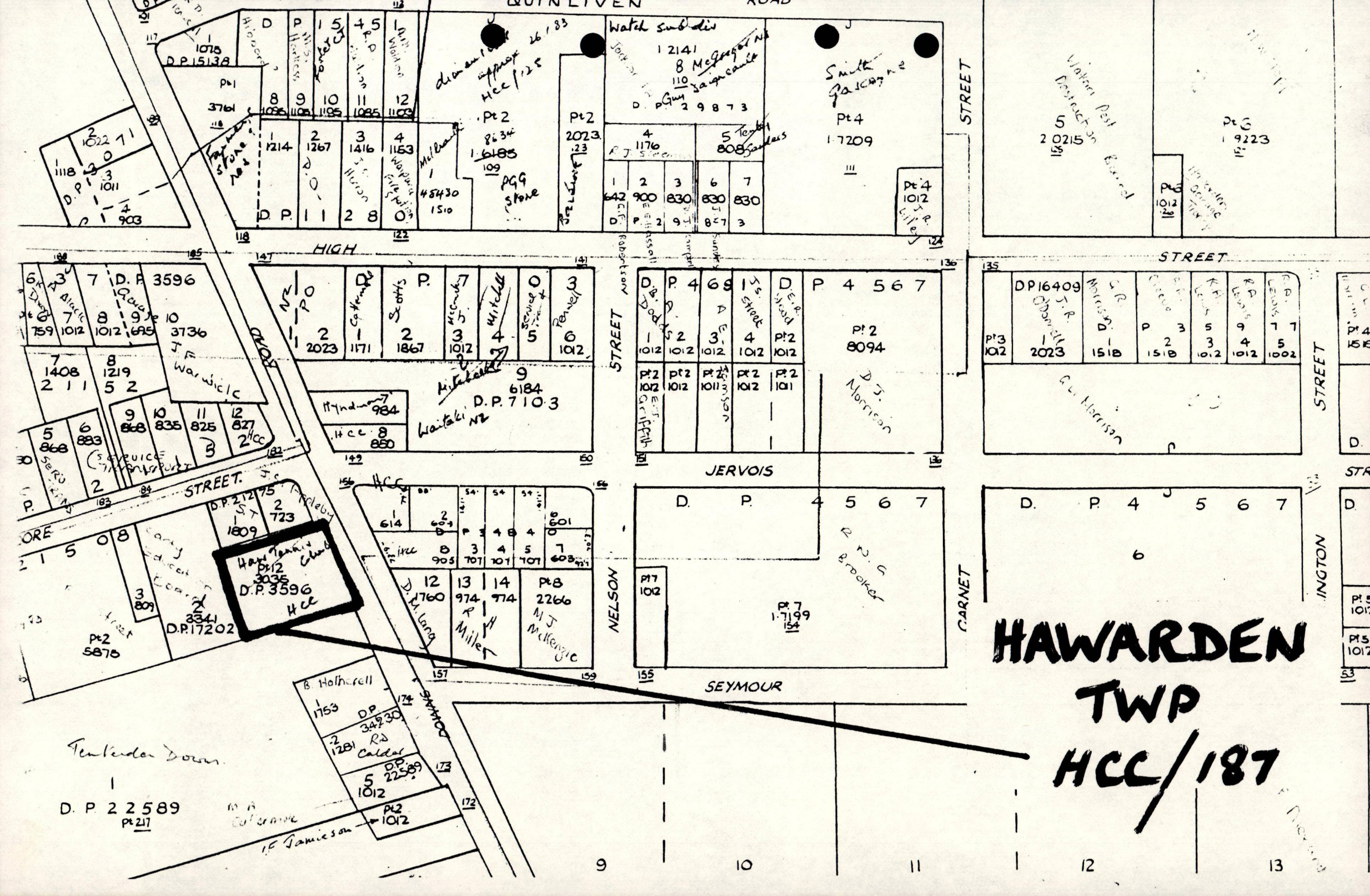
R.H. Miller.





HCC/187





# HAWARDEN TWP HCC/187

D. P. 22589  
Pt 217

M. A. Calverne

I. F. Gamieson

9

10

11

12

13



HOSTEL

property

Power

70m approx

40m approx

PINE TREES

rough grass

No 1 Tennis Court

6m

PROPOSED  
STORAGE SHED  
(Sand) machinery

10m

SANDBLASTING AREA.

Grass

No 2 Tennis Court

WATERBLASTING AREA.

No 3 Tennis Court

PROPOSED  
RETAIL OUTLET  
(Paint, glass  
hardware)

Service Transport  
DUNS Res.

ENGINEERING

APPLBY

R.O.W to EDUC BD HOSTEL

HORSLEY DOWN ROAD

RECEIVED

24 JUL 1985

Hurunui County Council

P O Box 74,

Hawarden.

18th July 1985.

Hurunui County Council,

P O Box 13,

Amberley.

Dear Sir,

Re old Tennis Courts on Horsley Down Road.

In the original application for the above site I enclosed a plan for the layout of section which consisted of a shop on the North East corner of No 3 court and a storage shed on the North West corner of No 1 court.

This letter concerns the resiting of the storage shed to the North West corner of No 2 court.

Since receiving consent to use this land as requested I have hired a Landscaper (Mrs Sandy Greenslade). We have discussed the layout of the section, siting of sheds, Trees, Shrubs and drive to back of section. The resiting would compliment the forming of drive and the trees in the background. Also with having had loaders and dozers on the section to remove stumps and pushing them up into a pile to burn the travelling around on No 1 court has started to break it up. This was to be the floor of the shed. With the shed being forward it would give an area behind for parking of machinery on vehicles so it would not be obvious from the road in the meantime. In the longterm with planting on front, the shed and machinery will not be seen from road.

For any information on planting and landscaping contact Mrs S Greenslade. Enclosed is new proposed siting on section also plans for shed.

Yours faithfully,

*R H Miller*

R.H. Miller.

	CP
	Cons/Booker & Little

B/E ✓



HURUNUI COUNTY COUNCIL  
DRAINAGE OR PLUMBING APPLICATION FORM

The County Engineer,  
P.O. Box 13,  
AMBERLEY.

Val. Roll No.: .....  
Permit No.: .....  
Receipt No.: .....

I hereby apply for a permit to carry out the following work as per plan attached hereto.

TYPE OF WORK .....

SITUATION OF WORK ..... ROAD ..... DISTRICT

OWNER .....

ADDRESS .....

BUILDER .....

ADDRESS .....

LICENCED DRAINLAYER ..... Signature .....

ADDRESS ..... Licence No. ....

CRAFTSMAN PLUMBER ..... Signature .....

ADDRESS ..... Licence No. ....

Drainage applications MUST be accompanied by two site plans drawn to scale of 1 to 100 metric showing building outline, sewer and stormwater lines with grades and sizes. THESE ARE TO BE SEPARATE FROM BUILDING PLANS.

Plumbing applications-two plans showing layout of sanitary and soil fittings and use of adjoining rooms, wastes, soil pipes, ducts etc. Elevations showing soil and waste stacks, vents and windows, roof lines etc. THESE MAY BE INCORPORATED IN BUILDING PLANS.

One copy will be retained for Council records and one copy will be returned as working drawing and no deviation will be allowed without the prior approval of the Engineer.

NOTE: Permits are NOT transferable unless a new application is forwarded.

SIGNATURE OWNER/AGENT .....

Dated this ..... day of ..... 19....

SCHEDULE OF FEES

If cost of labour is less than \$100	\$5
If cost of labour is \$100 or less than \$200	\$10
If cost of labour is \$200 or less than \$400	\$15
If cost of labour is \$400 or less than \$600	\$20
If cost of labour is \$600 or less than \$1,000	\$25
Plus \$2 for every \$1,000 or part thereof in excess of \$1,000	

Estimated value of:	LABOUR	MATERIALS	TOTAL
(a) Plumbing	.....	.....	\$..... Fee .....
(b) Drainage	.....	.....	\$..... Fee .....
			Total fees .....
			based on \$ .....
			labour content .....
			only

FOR OFFICE USE

APPROVED: ..... Inspector Date: .....

CONDITIONS: .....

.....  
.....



Inspector: M

File No.

Receipt No. 0163

Date Permit Issued 7/4/86

**OWNER**

Name R.H. Miller,

Mailing Address P.O. Box 74,  
Hawarden.

**BUILDER**

Name Owner.

Mailing Address \_\_\_\_\_

PROPERTY ON WHICH BUILDING IS TO BE ERECTED/DEMOLISHED

**SITE**

Street No. \_\_\_\_\_

Street Name Horsley Downs Rd,

Town/District Hawarden.

Riding Hawarden.

**LEGAL DESCRIPTION**

Valuation Roll No. 2137/175.

Lot A 12 D.P. 3596

Section \_\_\_\_\_ Block VII

Survey District Waipara

DESCRIPTION OF PROPOSED WORK AND MAIN PURPOSE OF USE

Works storage shed.

**FLOOR AREA** Whole Sq. Metres 120

**DWELLING UNITS** Number Erected -

**ESTIMATED VALUES**

Building	8000	00
Plumbing		
Drainage		
<b>TOTAL</b>	<b>8000</b>	<b>00</b>

**NATURE OF PERMIT (TICK BOX)**

☒ **NEW BUILDING**  
- exclude domestic garages and domestic outbuildings

☐ **FOUNDATIONS ONLY**

☐ **ALTERED, REPAIRED, EXTENDED**  
- include conversions and resited buildings

☐ **NEW CONSTRUCTION OTHER THAN BUILDINGS** - include demolitions

☐ **DOMESTIC GARAGES AND DOMESTIC OUTBUILDINGS**

FEES APPLICABLE

Building Permit .....	\$ 37.00	Water Connection .....	\$ -.-
Street Damage Deposit ..	\$ -.-	Vehicle Crossing Levy ...	\$ -.-
Building Research Levy ..	\$ -.-	M.S. Plumbing .....	\$ -.-
Plumbing .....	\$ -.-		\$ -.-
Drainage .....	\$ -.-		\$ -.-
Sewer Connection .....	\$ -.-		\$ -.-
<b>TOTAL:</b>			\$ 37.00

Receipt No. 0163

Date of Payment 26/3/86

Authorised Officer K.F. Roberts

Special Conditions: \_\_\_\_\_

Date Inspected

REMARKS (e.g. stage reached with work)

3/7/86 Siting in keeping with plan provided. Post footings 500 x 500 x 900 deep and into hard firm clay. Metal brackets fish tailed. ready for placing in concrete footings. Okay to pour.



[illegible]

COMPLETED (Signature) \_\_\_\_\_ Date \_\_\_\_\_ / \_\_\_\_\_ / \_\_\_\_\_

APPLICANT:

Mr R.H. Miller,  
c/- Helmore, Bowron and Scott,  
P.O. Box 44, (Registered A.R.)  
RANGIORA.

ATTENTION : Miss D. McLean

COPY TO: Mr R.H. Miller

OBJECTORS:

1. W.H. and E.M. Westlake,  
P.O. Box 101, (Registered A.R.)  
HAWARDEN.
2. Mrs K. Hyndman,  
165 Ensors Road, (Registered A.R.)  
CHRISTCHURCH, 2.

INTERESTED  
PARTIES:

District Commissioner of Works,  
Ministry of Works and Development,  
P.O. Box 1479,  
CHRISTCHURCH.

Secretary,  
Canterbury United Council,  
P.O. Box 1997,  
CHRISTCHURCH.

Branch Manager,  
Valuation Department,  
P.O. Box 13-443,  
CHRISTCHURCH.

County Engineer

County Building Inspector



Canterbury Education  
Bd Hostel.

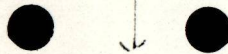
45-4m

Pine Trees to fill this space

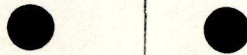
Scrubs 1 Row

Pine Trees. 2 rows  
Scrubs 1 row  
Railway sleepers as border

Limestone Drive



Proposed  
Storage  
Sled.



Decorative Trees and shrubs.

Rd.  
Down  
Horsley

Canterbury Education Pd  
not used right of way to Hostel.

66-2m

11m

6m

10m

27m

24-6m

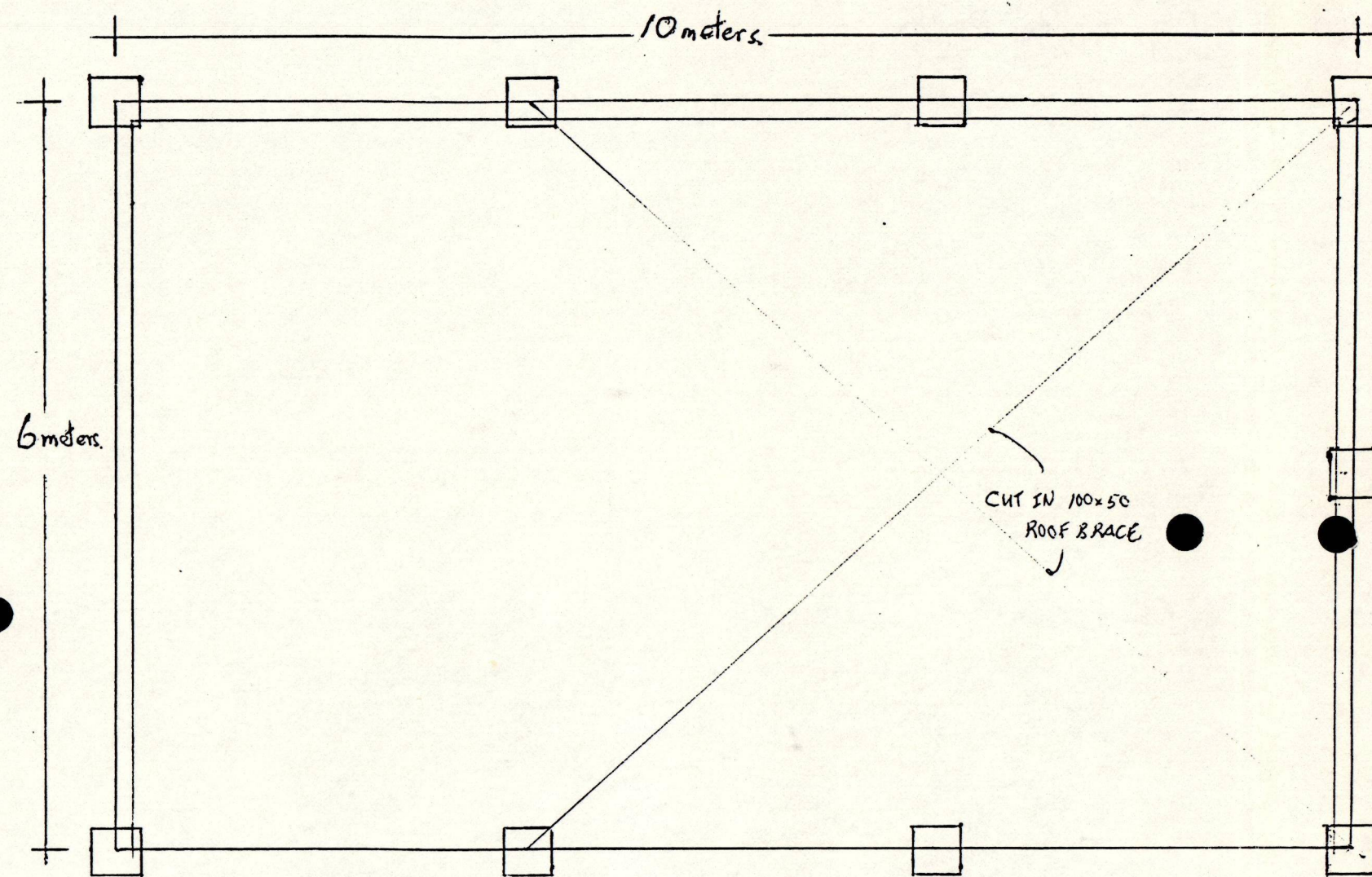
76-2m

Service  
Transport  
Drivers  
Residence

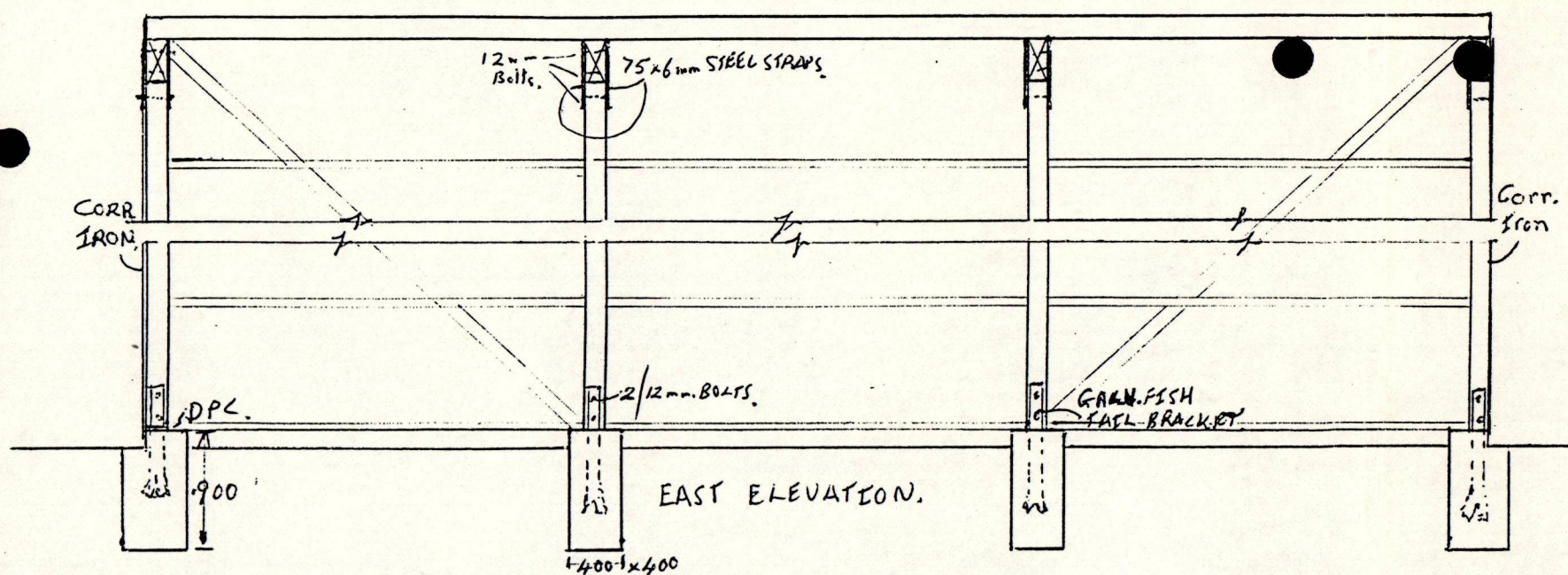
Appleby  
Engineering

w o Power (Paddock).

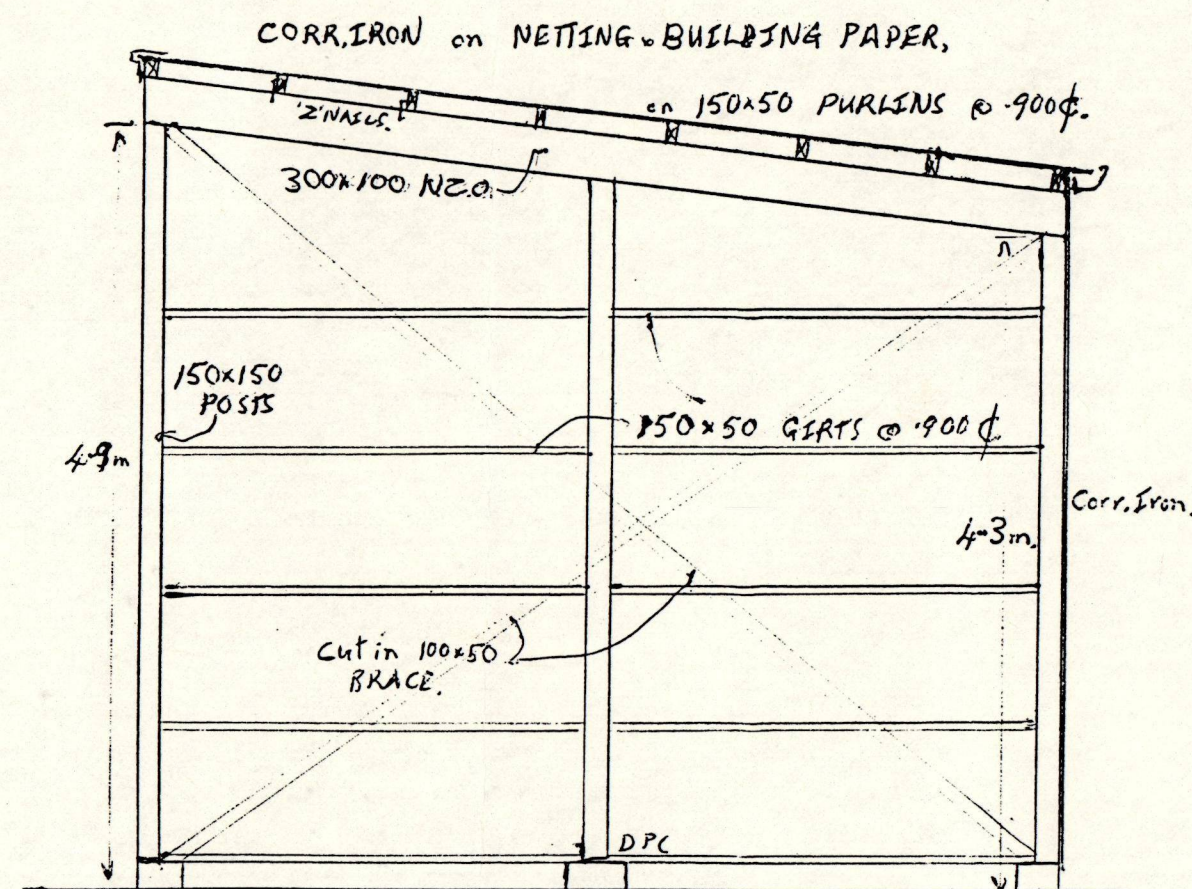
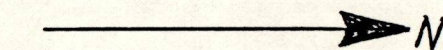




PLAN.



EAST ELEVATION.



NORTH ELEVATION



45-4 m

Pine Trees to fill this space

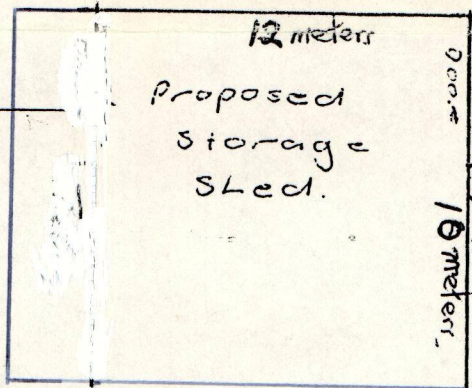
shrubs 1 Row

Canterbury Education Rd  
not used right of way to Hostel.

Service  
Transport  
Drivers  
Residence

Pine Trees. 2 rows  
shrubs Railway 1 row  
sloped as border

Limestone Drive



24-6 m

76-2 m

APPROVED  
SUBJECT TO BY-LAWS  
HURUKUI COUNTY COUNCIL  
Per K.A. Roberts  
THESE PLANS WITH SPECIFICATIONS  
TO REMAIN ON SITE UNTIL BUILDING  
COMPLETED.

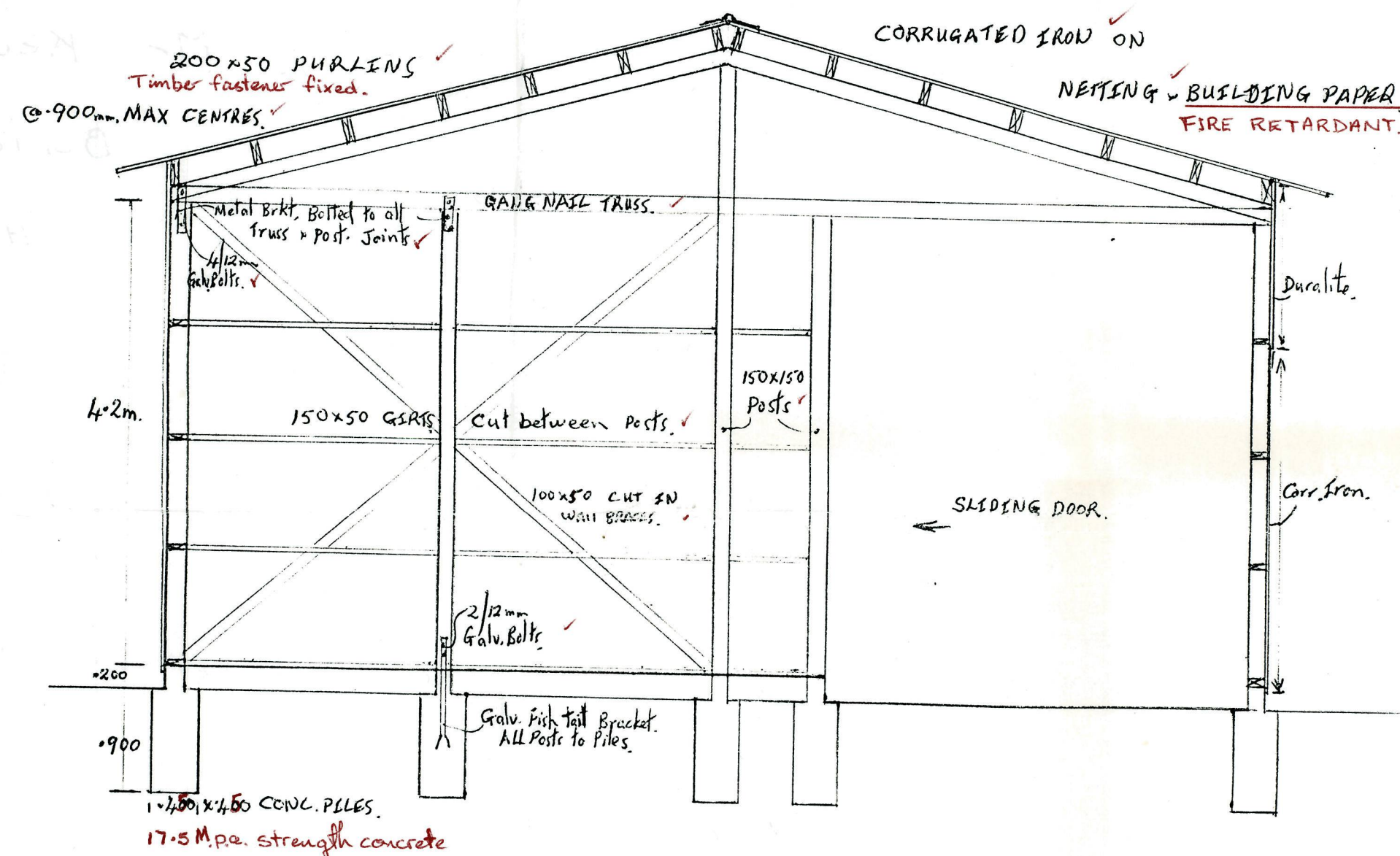
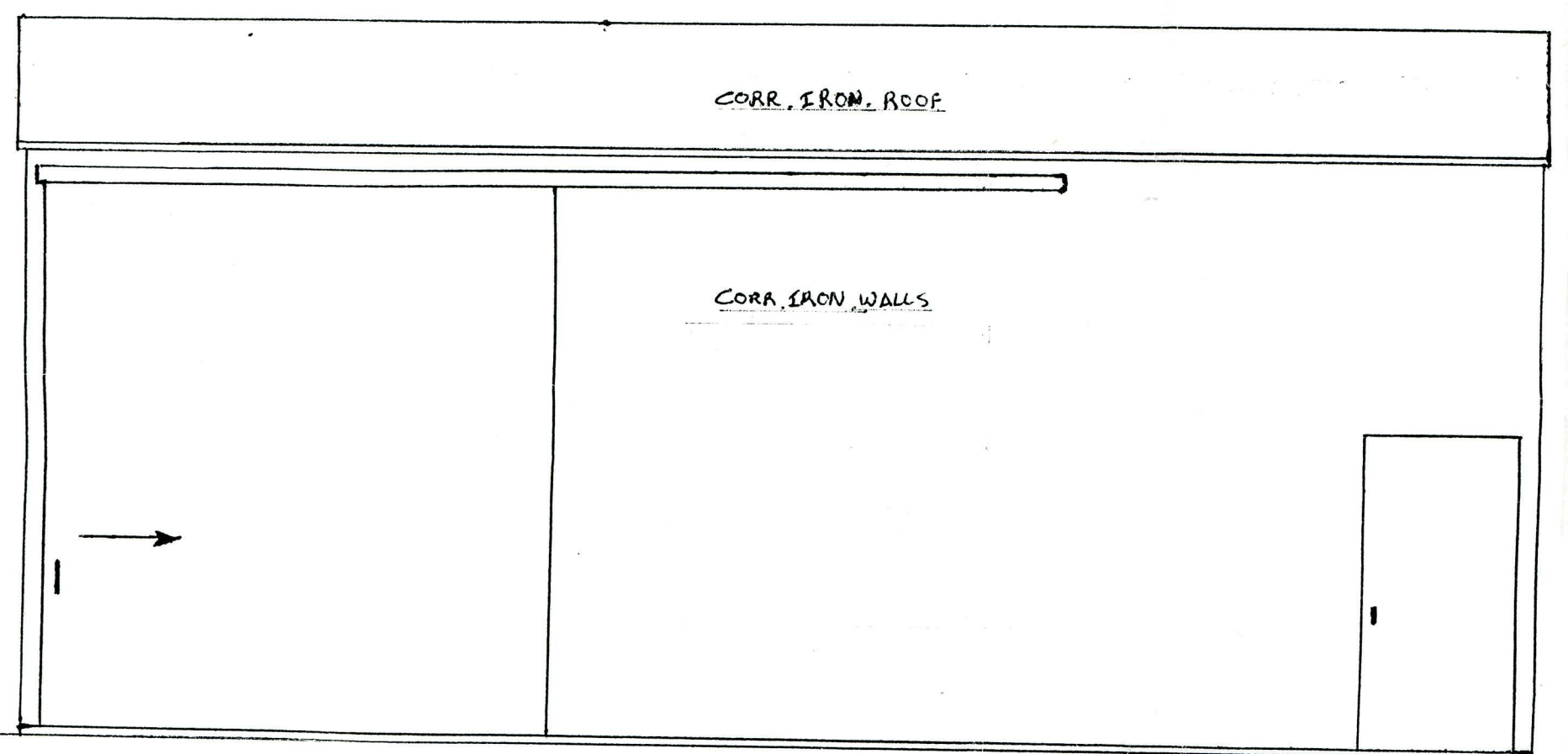
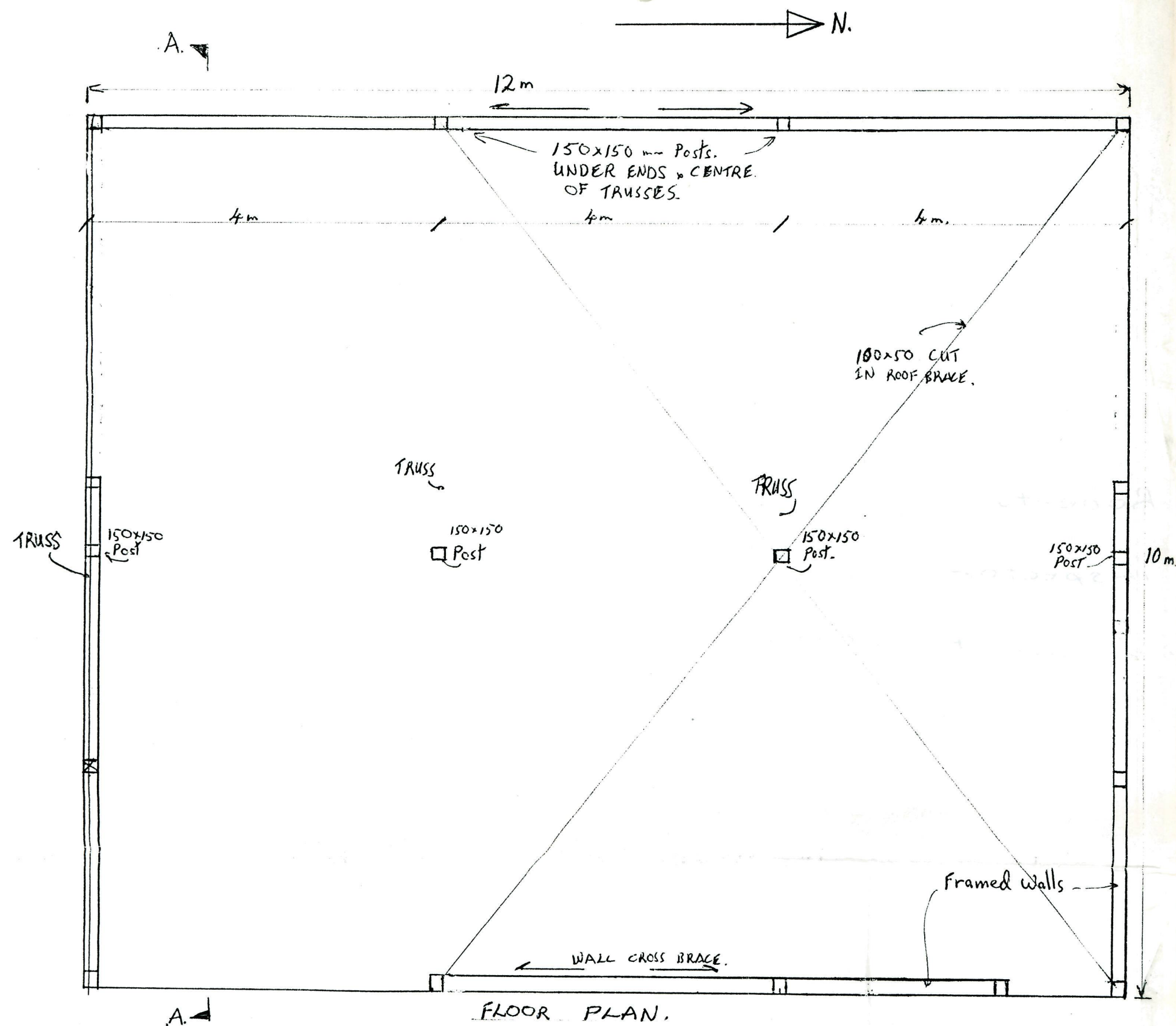
NOTE: ALL SIGNS/ADVERTISING  
ON BUILDINGS AND ON SITE  
REQUIRE COUNCIL APPROVAL.

Decorative Trees and shrubs.

Horsley Down Rd.

Appleby  
Engineering





APPROVED  
SUBJECT TO BY-LAWS  
HURUNUI COUNTY COUNCIL

Per *K.A. Roberts*  
THESE PLANS WITH SPECIFICATIONS  
TO REMAIN ON SITE UNTIL BUILDING  
COMPLETED.

**NOTE**  
On completion of building  
please notify the  
HURUNUI COUNTY OFFICE  
P.O. Box 13 Amberley  
Ph. 48.816 Ph. Sef. 885

COUNTY COUNCIL OFFICE  
AMBERLEY PH. 48.816

24 HOURS NOTICE MUST BE GIVEN  
PRIOR TO FOUNDATION POUR

*K.A. Roberts*  
BUILDING INSPECTOR

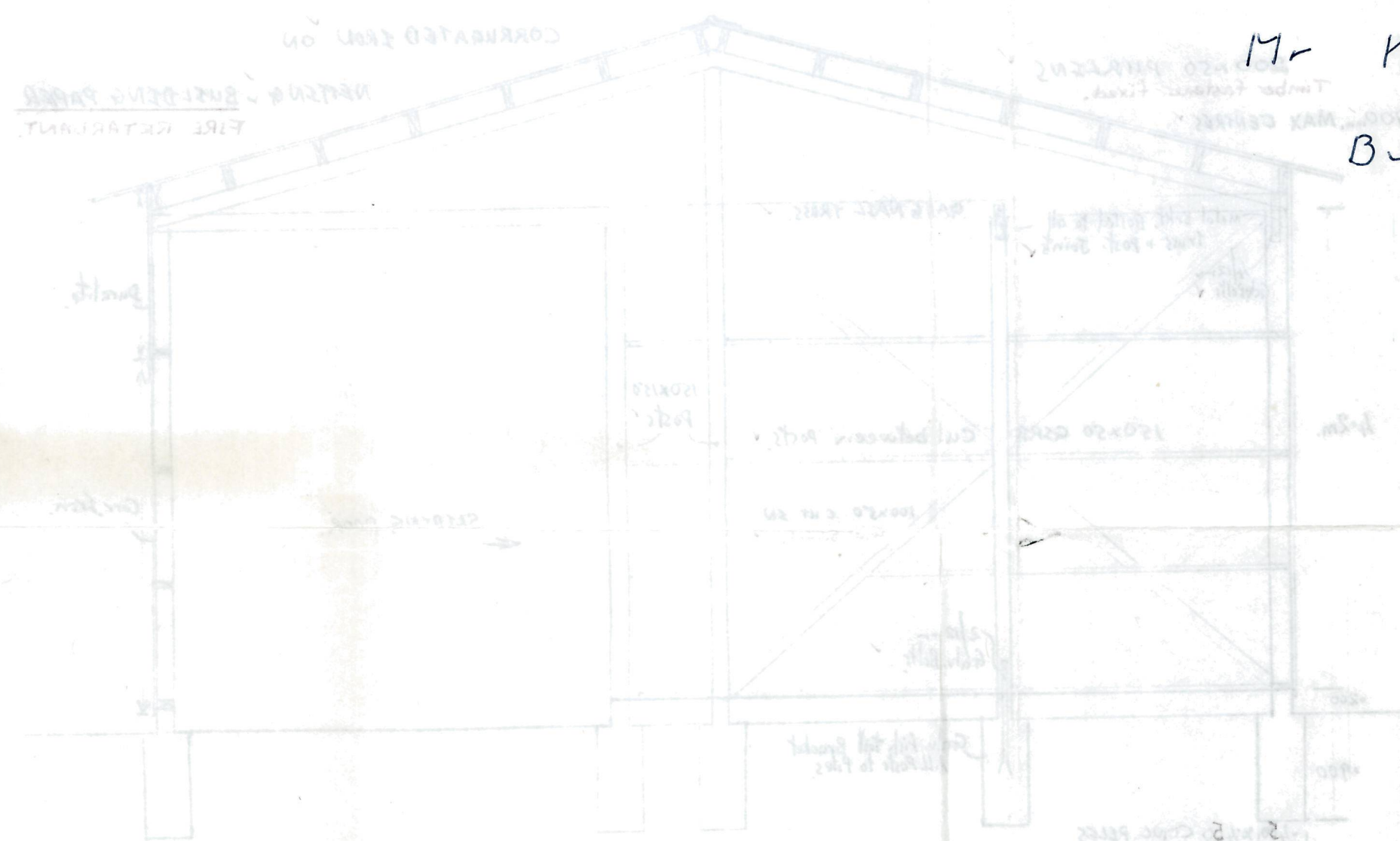
R.H. MILLER  
P.O. BOX 74  
HAWARDEN

PROPOSED NEW STORAGE SHED FOR

R.H. MILLER HAWARDEN

SCALE 1:50



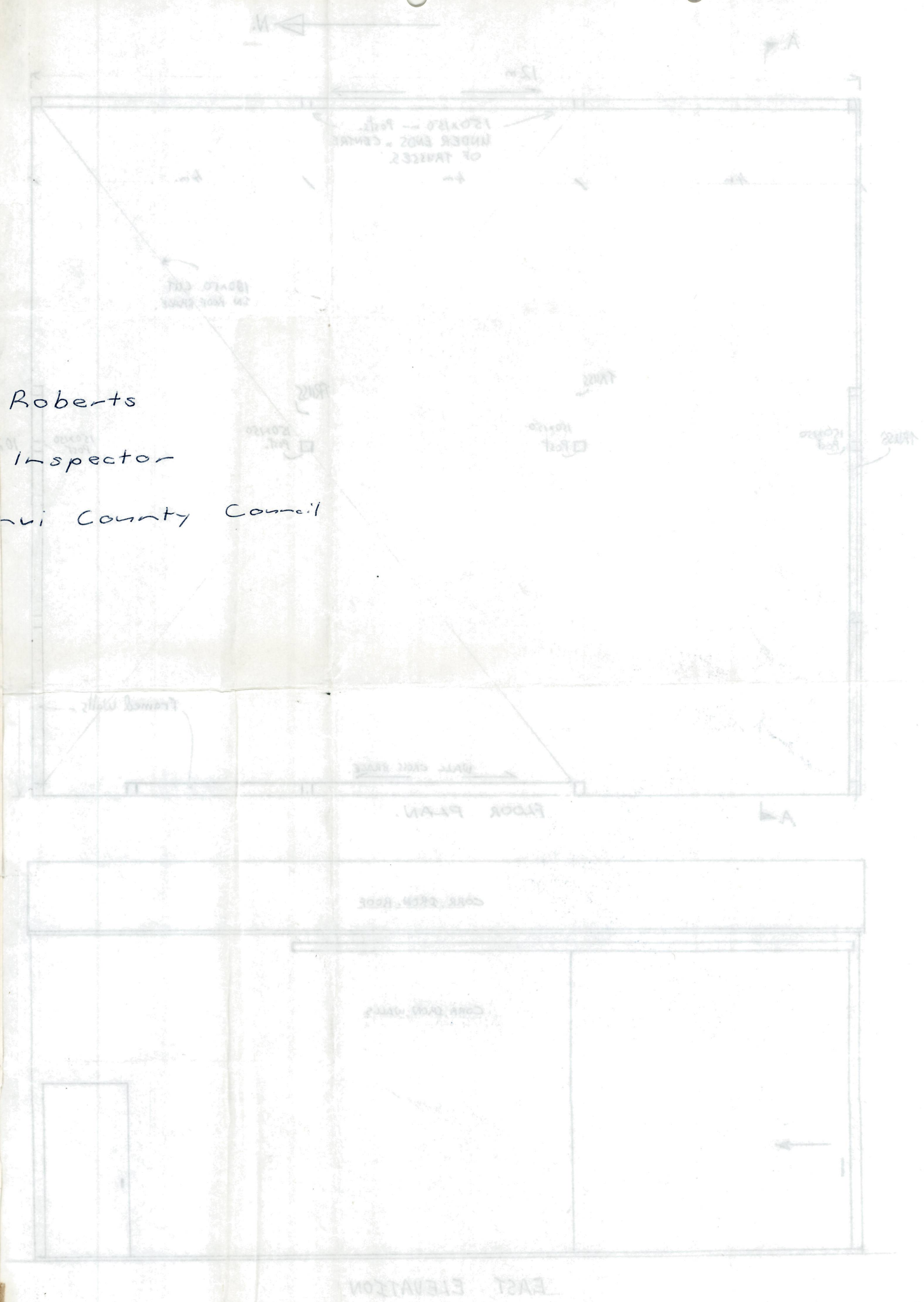


COUNTY COUNCIL OFFICE  
 AMBERLEY, W. 18.816  
 24 HOURS PRIOR TO BE GIVEN  
 BUILDING INSPECTOR  
*Mr. Roberts*

APPROVED  
 SUBJECT TO BY-LAWS  
 HURUNUI COUNTY COUNCIL  
*Mr. Roberts*  
 THIS PLAN WITH SPECIFICATIONS  
 TO REMAIN ON SITE UNTIL BUILDING  
 COMPLETED

NOTE  
 On completion of building,  
 please notify the  
 HURUNUI COUNTY COUNCIL  
 P.O. Box 13 Amberley  
 Mr. 18.816, Tel. 822

Mr Kevin Roberts  
 Building Inspector  
 Hurunui County Council





8/1255

HURUNUI COUNTY COUNCIL

HIGH PRESSURE WATER SUPPLY

APPLICATION FOR CONNECTION

The County Clerk,  
Hurunui County Council,  
P.O. Box 13,  
AMBERLEY.

I B.H. Miller of Hawarden

hereby made application for connection to the ..... High  
Pressure Water Supply.

Address of Property: Horsley Down Rd

Valuation Roll No. 21370.175 5-175-008 Lot No. 12 D.P. 3596

I submit herewith the connection fee of \$75.00.

Dated at 6th this 6th day of July  
19 86.

Signature of Applicant: B.H. Miller

For Office Use:

Connection made

Date: .....

Connection fee

Invoice No.: ..... Receipt No.: 5201 Date: 10/7/86



Meter reading  
029133

HURUNUI COUNTY COUNCIL

HIGH PRESSURE WATER SUPPLY

APPLICATION FOR CONNECTION

2137/175

8/1255  
The County Clerk,  
Hurunui County Council,  
P.O. Box 13,  
AMBERLEY.

I B. H. Miller of Hawarden

hereby made application for connection to the ..... High  
Pressure Water Supply.

Address of Property: Horsley Down Rd

Valuation Roll No. 21370.175 Lot No. 12 D P 3596  
5-175-008

I submit herewith the connection fee of \$75.00.

Dated at 6th this 6th day of July  
19 86.

Signature of Applicant: B. H. Miller

For Office Use:

Connection made

Date: 14/7/86

Connection fee

Invoice No.: ..... Receipt No.: 5201 Date: 10/7/86

1-4-86 - 13-7-86 = 104 Days @ \$16 pa.	=	4.56.	
14-7-86 - 31-3-87 = 261 - @ \$20 -	=	14.30	
G.S.T. from 1-10-86 -	=	1.00	
			19.86
Water on Rates.	\$16.80	less Rates charged	16.80
	\$1.80		\$3.06
	<del>\$4.20</del>		To charge.

HURUNUI COUNTY COUNCIL  
P.O. BOX 13  
AMBERLEY

MISCELLANEOUS RECEIPT

Cheque  
Cash


Name ..... R. H. Miller .....

\$ 75.00

Address .....

for ..... Howarden / Waikeri H/P. W.S. .....

No Receipt without register-printed figures will be recognised as valid.

  
.....  
for County Clerk

LEDGER	CODE	AMOUNT
		\$
		\$
		\$
		\$

35201

75.00 CASH

\*000 10/07/86 \*



~~12558~~  
17188

Hopman

30th June, 1986.

Mr R.H. Miller,  
P.O. Box 74,  
HAWARDEN.

Dear Sir,

Thankyou for your letter of 22nd June 1986. I have considered your explanation and still require you to complete a connection form. The line you uncovered was probably the old line to the Tennis Pavilion and was never approved by Council.

We would like to disconnect you from this line, which is not even in front of your boundary. We will then connect to you to the main line opposite your frontage, with your own toby box and gate valve. Your connection fee will cover this cost.

I am surprised this matter was not tidied up earlier as I understand you approached our waterworks foreman who told you a connection would be required before you even purchased the section. At that time a connection form was given to you in anticipation of your purchase.

I would therefore appreciate if you complete the connection form sent to you in my last letter and forward to us as soon as possible.

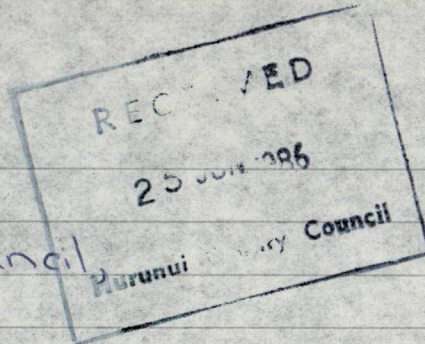
Yours faithfully,  
B.M. Yates,  
COUNTY ENGINEER.

per:

*He say back. 4/7/86.  
Happy to pay  
Can we connect by his drive + he  
will pay extra if required*



R. H. MILLER  
P.O. Box 74  
HAWARDEN  
PHONE 44-322  
22.6.86.



The County Clerk,  
Hurunui County Council,  
PO Box 13  
Amberley,

ACK	
ACTION	26/6 dE
COPY	Chairman or Little & Barker etc.

Dear Sir,

Re Pt Lot 12 D.P. 3596 concerning the  
supposed supply of water from neighbouring property.

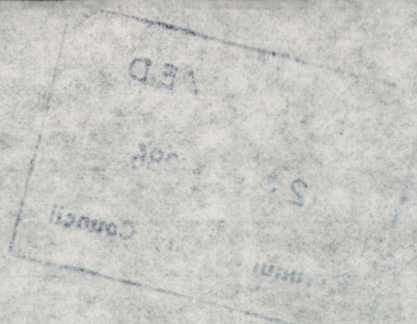
I purchased this land from the Hurunui County  
Council and applied for and was granted town planning  
zoning with restrictions.

To abide by Town Planning Conditions I set about  
landscaping the section. This meant the hire of a dozer  
from M Taylor. On rooting around the area of the  
old Tennis pavilion we found alkathene pipe with the  
end bent over and tied up. Having damaged the pipe  
and with water going everywhere I spent a lot of time  
digging up pipe and following it back to its source at  
the main so as I could turn it off. Having dug up pipe  
I decided to renew the pipe supplying water to the  
section at my own expense. Due to the old pipe going  
through the corner of the paddock occupied by Mrs H Jackson  
I asked her if she would mind if I relayed new pipe  
through the same channel. She agreed and asked if  
it would be possible for her to have water to a  
trough for her horse. As I had no objections I fitted a  
T section in the new line. I was unaware I had  
committed any offence and did not realize I had to  
apply for water to be put onto a section that water  
was already on. Use of water on section is only  
for watering shrubs and trees on landscaped area  
on front of section. (Including council land on ditch  
frontage)

I therefore consider it unnecessary for me to apply  
for water connection but if any further communications  
are required do not hesitate to contact me.

Yours faithfully,  
R.H. MILLER.





Reason for correction of Power's Boundary  
was probably because there were a lot of  
old pine trees + the growth there. There  
has always been a connection to the Kings  
courts so correction Re would have been  
paid.



HOFMAN

10th June, 1986.

Mr R.H. Miller,  
Seymour Street,  
HAWARDEN.

Dear Sir,

re: Pt Lot 12 D.P. 3596.

It has recently come to my attention that you are drawing water from a neighbouring water connection and not your own.

Council does not approve of this arrangement and I would request that you fill in the enclosed form enabling you to have your own point of supply connected by Council Staff. The connection fee is \$75.00 and there will be no alteration to the existing section supply charge except for annual adjustments.

Yours faithfully,

B.M. Yates,  
COUNTY ENGINEER.

Per:





## Form 7

# Code Compliance Certificate

Section 95, Building Act 2004

### The building:

Street address of building: 8 O'Carrolls Road, Hawarden

Legal description of land where building is located: PT LOT 12 DP 3596 BLK VII WAIPARA SD

Building name:

Location of building within site/block number:

Level/unit number:

Current, lawful established, use: Detached Dwelling

Year first constructed: 2022

### The owner:

Name of owner: Grindrod Bruce Michael

Contact person:

Mailing address: PO Box 31, Hawarden 7348

Street address/registered office:

Phone number:

Daytime:

Mobile: 0272018042

Landline:

Fax number:

Email:

Website:

First point of contact for communications with the council/building consent authority:

Full Name: Kings Mowers and Heating Ltd

Mailing Address: 360 Flaxton Road, Rangiora 7400

Phones: 033135563: 0211368573

Email: [office@kingsmowersheating.co.nz](mailto:office@kingsmowersheating.co.nz)

### Building work:

Building consent number: 220205

Project: Woodburner - Metro Wee Rad Legs

Issued by: Hurunui District Council

### Code Compliance:

The building consent authority named below is satisfied, on reasonable grounds, that –

(a) The building work complies with the building consent.

Signature:

Position: Building Support Officer

On behalf of: Hurunui District Council

Date: 30/06/22



Consent No: 220205

Inspection: Heating Unit - Solid Fuel

Description: installers cert

Taken By: Mark Milnes on Wednesday 15 Jun 2022 at 04:33pm

**HURUNUI DISTRICT COUNCIL**  
P.O. Box 13 | Amberley | 7441 | 66 Carters Road | Amberley | 7410  
Phone 03 314-8816 | Fax 03 314-9181 | Email info@hurunui.govt.nz  
Web hurunui.govt.nz | facebook.com/HurunuiDistrictCouncil  
Skype hdc\_customer\_services | twitter.com/hurunuidc

**Solid/Liquid/Fuel Heater Installer's Installation Certificate**

Building Consent Number: 220205 Site Address: 8 O'Connors Road

Make: metro Model: Wee rad Log Clean Air Registration Number 092977

☒ Solid Fuel Heater ☐ Liquid Fuel Heater ☒ Free Standing ☐ Inbuilt

	Yes	No	N/A
The existing chimney has been cleaned prior to installation	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Is the fireplace surround/chimney face junction sealed up with heat resistant material	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
The flue pipe is constructed of austenitic stainless steel	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Seismic restraint has been fitted	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
The flue sections are secured together with stainless steel rivets	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
The flue is secured to the appliance	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
The chimney void has been vented at the top	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Is the Solid Fuel Burner and Flue as per the building consent	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Flue joints sealed in accordance with manufactures instructions	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Fire safety valve connected and working correctly (diesel burners)	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Flue and appliance clearances have been achieved in terms of the manufacturer's instructions (NZS 7421 or AS/NZS 2918:2001)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
The flue height meets the minimum specified in the manufacturer's instructions, NZS7421, and Regional Council rules	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
The application has been installed and commissioned in accordance with the manufacture's installation and operating instructions (Liquid fuel only)	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
The liquid fuel storage tank and feed system has been installed in accordance with AS1691, or equivalent, and with the requirements of the Council's Hazardous Substances Officer	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Smoke detectors as detailed on the building consent documents are installed	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

If response to any of the items is 'no' please comment: Smoke alarms by owner

Water heater - model and part number: Paul Ross

(name) certify that the above specified installation has been carried out as described and in accordance with the manufacturers installation instructions and the current approved building code requirements

Installers Signature: Paul Ross (Installer) Date: 7/6/22

**RESOURCE MANAGEMENT ACT MATTERS - LIQUID FUEL HEATER**

Does the fuel storage tank have secondary containment in accordance with the District Plan (NB: Audit monitoring will be carried out)

If response is 'no' please comment why:

Yes ☐ No ☐

Ref: SLFB Installers Cert Version: 3 Date: 7 April 2017 Page: 1



Consent No: 220205

Inspection: Heating Unit - Solid Fuel

Description: ccc application

Taken By: Mark Milnes on Wednesday 15 Jun 2022 at 04:35pm

Phone 03 314-8816 | Fax 03 314-9181 | Email info@hurunui.govt.nz  
Web hurunui.govt.nz | facebook.com/HurunuiDistrictCouncil  
Skype hdc\_customer\_services | twitter.com/hurunuidc

**FORM 6**  
**CODE COMPLIANCE CERTIFICATE APPLICATION**  
Section 92, Building Act 2004

**APPLICATION**

Building Consent No: 22 0205 Consent issued by Hurunui District Council

THE OWNER		AGENT - APPLICANT	
Owner's Name	<u>Mr B Grindrod</u>	Agent's Name	<u>King, Mowse &amp; Healy</u>
Contact Person (if owner is not, as first value)		Contact Person	<u>Andrew Walker</u>
Mailing Address	<u>PO Box 51</u> <u>Hawarden</u>	Mailing or Billing Address	<u>360 Florence Rd</u> <u>Rangiora</u>
Postcode	<u>7348</u>	Postcode	<u>7420</u>
Street Address or Registered Office	<u>8 O'Carroll Rd</u> <u>Hawarden</u>	Street Address or Registered Office	
Postcode	<u>7348</u>	Postcode	
Mobile Phone	<u>0211368573</u>	Mobile Phone	<u>0211368573</u>
Phone		Phone	<u>713 5573</u>
After Hours Phone		After Hours Phone	
Landline number		Landline number	
Daytime phone		Daytime phone	
Fax number		Fax number	
E-mail Address		E-mail Address	<u>office@kingmowsehealy.co.nz</u>
Website		Website	

Note - The Agent (if appointed) will be the first point of contact for communications with the Council / Building Consent Authority regarding this application / building work and will receive all correspondence including all invoices

The Code Compliance certificate should be sent to: ☐ Owner ☒ Agent

All building work carried out under the above Building Consent was completed on - Date: 7/6/22

The following evidence of ownership is attached to this application: ☐ Certificate of Title ☐ Sale and Purchase Agreement (only if new purchase)

**SIGNATURE**

I request that the Hurunui District Council Building Consent Authority issue a Code Compliance Certificate for this work (under section 95 of the Building Act 2004)

Signature of owner / or agent on behalf of and with the authority of the owner: [Signature]

☐ Owner ☒ Agent Date: 7/6/22

Note: If acting "for and on behalf", please read the following declaration before signing:

**"I hereby declare that I am authorised to act as Agent of the Owner"**

Doc: Quality Manual HDC Ref: Form 6 Issue: 5 Date: 7 April 2017 PAGE 1 of 3





Hurunui District Council  
66 Carters Road  
PO Box 13  
Amberley 7441  
Phone (03) 314 8816

## SITE NOTICE

Consent No: **220205**  
Applicant: **Kings Mowers and Heating Ltd**  
Site Address: **8 O'Carrolls Road, Hawarden**  
Work Type: **Woodburner - Metro Wee Rad Legs**  
Building Category:

Inspection Type: **Heating Unit - Solid Fuel**  
Inspection Outcome: **Pass**  
Inspected By: **Mark Milnes**  
Inspection Date: **15 June 2022**

### Passed Items

#### General

Inspection carried out	
Approved plans reviewed	<b>Yes - Approved documents onsite checked</b>
Warnings and Bans	
Inspection Photos	

#### Installation

Correct fire model	
Clearances to combustibles	<b>As per the manufacturer's instructions.</b>
Seismic Restraints	<b>2 x M8 Dyna bolts</b>
Flue secured to unit	<b>Installed as per specs</b>
Smoke Alarms	<b>2 x in place as required - tested OK</b>
Roof Flashings	<b>Boot flashing @ 45° on pan soaker</b>
Number of Shields (above ceiling - flue and shield)	
Number of Shields	<b>Flue + two</b>
Flue top above roof clearance	
Flue Shield Height	<b>1/2 Height</b>
Flue/outer shield clearance to combustibles	

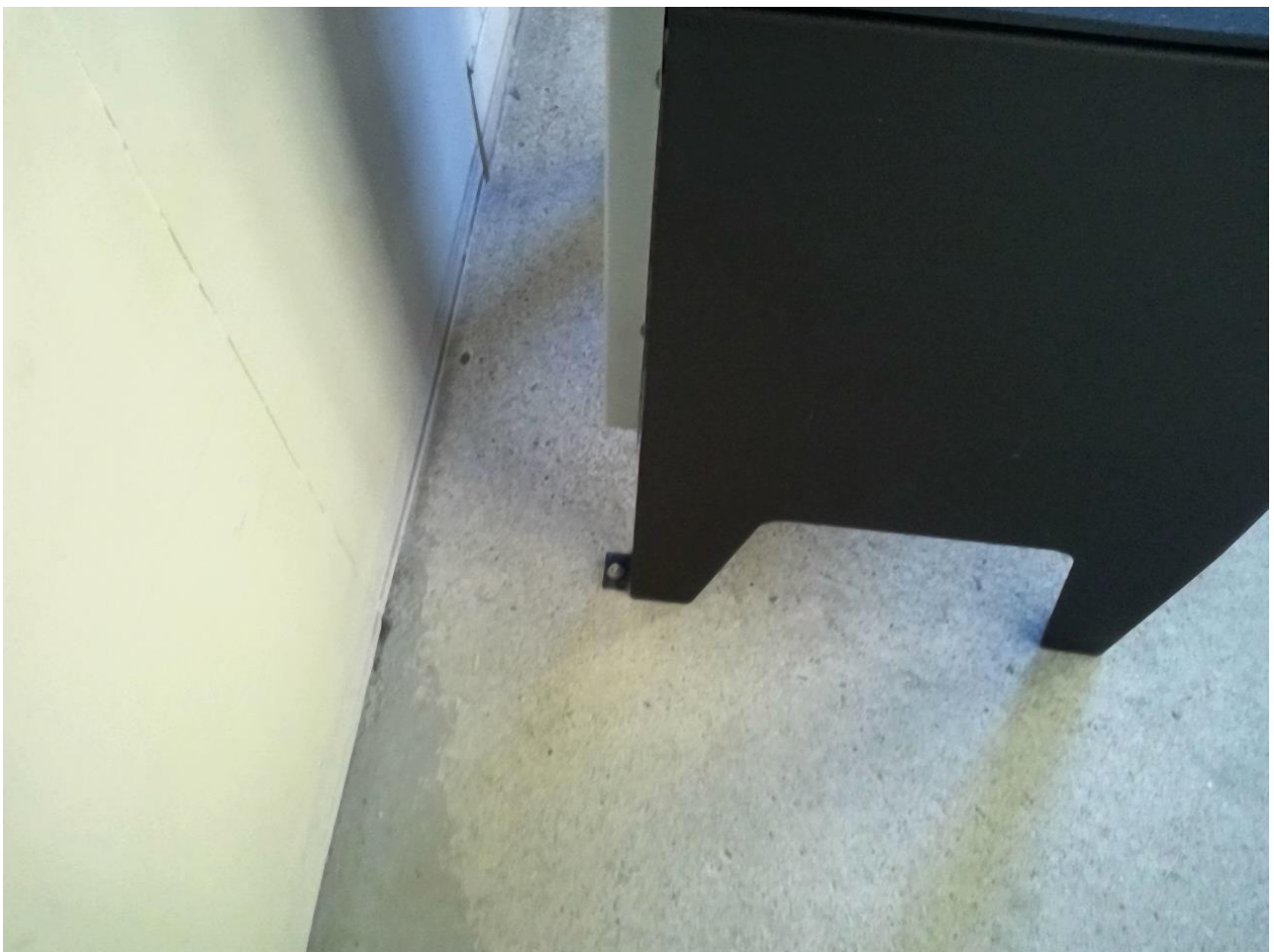
### Support Documentation

	<b>Status</b>
Application for CCC	Accepted
Woodburner installers certificate	Accepted





**pan flashing ok**  
Taken at 4:17 PM on Wednesday 15/06/2022



Taken at 4:19 PM on Wednesday 15/06/2022





Taken at 4:19 PM on Wednesday 15/06/2022



**Wee Rad leg**

Taken at 4:21 PM on Wednesday 15/06/2022





**square hole clearance ok**  
Taken at 4:27 PM on Wednesday 15/06/2022



**clearance ok triple flue**  
Taken at 4:28 PM on Wednesday 15/06/2022



**HURUMU DISTRICT COUNCIL**  
P.O. Box 13 | Amberley | 7441 | 66 Carrers Road | Amberley | 7410  
Phone 03 314 4816 | Fax 03 314 5181 | Email info@hurumui.govt.nz  
Web hurumui.govt.nz | Facebook.com/HurumuiDistrictCouncil  
Skype hdc\_customer\_services | Twitter.com/hurumuidc

**Solid/Liquid/Fuel Heater Installer's Installation Certificate**

Building Consent Number: 220205 Site Address: 8 O'Connell's Road  
Clean Air Registration Number 092977

Make: metra Model: wee not leg  
☒ Solid Fuel Heater ☐ Liquid Fuel Heater ☐ Free Standing ☐ Inbuilt

The existing chimney has been cleaned prior to installation  
Is the fireplace surround/chimney face junction sealed up with heat resistant material ☒ Yes ☐ No ☐ N/A  
The flue pipe is constructed of austenitic stainless steel ☒ Yes ☐ No ☐ N/A  
Seismic restraint has been fitted ☒ Yes ☐ No ☐ N/A  
The flue sections are secured together with stainless steel rivets ☒ Yes ☐ No ☐ N/A  
The flue is secured to the appliance ☒ Yes ☐ No ☐ N/A  
The chimney void has been vented at the top ☒ Yes ☐ No ☐ N/A  
Is the Solid Fuel Burner and Flue as per the building consent ☒ Yes ☐ No ☐ N/A  
Flue joints sealed in accordance with manufacturer's instructions ☒ Yes ☐ No ☐ N/A  
Fire safety valve connected and working correctly (diesel burners) ☒ Yes ☐ No ☐ N/A  
Flue and appliance clearances have been achieved in terms of the manufacturer's instructions (NZS 7421 or AS/NZS 2918:2001) ☒ Yes ☐ No ☐ N/A  
The flue height meets the minimum specified in the manufacturer's instructions, NZS 7421, and Regional Council rules ☒ Yes ☐ No ☐ N/A  
The application has been installed and commissioned in accordance with the manufacturer's installation and operating instructions (Liquid fuel only) ☒ Yes ☐ No ☐ N/A  
The liquid fuel storage tank and feed system has been installed in accordance with AS1691, or equivalent, and with the requirements of the Council's Hazardous Substances Officer ☒ Yes ☐ No ☐ N/A  
Smoke detectors as detailed on the building consent documents are installed ☒ Yes ☐ No ☐ N/A  
If response to any of the items is 'no' please comment: Smoke alarm by owner  
Water heater - model and part number: Paul Ross (name) certify that the above specified installation has been carried out as described and in accordance with the manufacturers installation instructions and the current approved building code requirements  
Installer Signature: Paul Ross (Installer) Date: 7/6/22  
Yes ☐ No ☐

**RESOURCE MANAGEMENT ACT MATTERS - LIQUID FUEL HEATER**

Does the fuel storage tank have secondary containment in accordance with the District Plan (NB: Audit monitoring will be carried out)  
If response is 'no' please comment why:

Ref: SL/FB Installers Cert Version: 3 Date: 7 April 2017 Page: 1

### installers cert

Taken at 4:33 PM on Wednesday 15/06/2022

**HURUMU DISTRICT COUNCIL**  
P.O. Box 13 | Amberley | 7441 | 66 Carrers Road | Amberley | 7410  
Phone 03 314 4816 | Fax 03 314 5181 | Email info@hurumui.govt.nz  
Web hurumui.govt.nz | Facebook.com/HurumuiDistrictCouncil  
Skype hdc\_customer\_services | Twitter.com/hurumuidc

**FORM 6  
CODE COMPLIANCE CERTIFICATE APPLICATION**  
Section 82, Building Act 2004

Building Consent No: 22 0205 Consent issued by Hurumui District Council

**THE OWNER**  
Owner's Name: Mr B Grindrod AGENT - APPLICANT N/A (leave section blank)  
Contact Person: Katy Howes  
Mailing Address: 10 Box 51 Agent's Name: Andrew Walton  
8 O'Connell's Rd Mailing or Billing Address: 380 Florence Rd  
7348 Postcode: 7420  
Street Address or Registered Office: 8 O'Connell's Rd  
Amberley Postcode: 7348  
Mobile Phone: 02113 685 73 Postcode: 7348  
Phone: 02113 685 73 Mobile Phone: 02113 685 73  
After Hours Phone: 713 5773 Phone: 713 5773  
Landline number: 713 5773 After Hours Phone: 713 5773  
Daytime phone: 713 5773 Landline number: 713 5773  
Fax number: 713 5773 Daytime phone: 713 5773  
E-mail Address: info@grindrod.co.nz Fax number: 713 5773  
Website: www.grindrod.co.nz

Note - The Agent (if appointed) will be the first point of contact for communications with the Council / Building Consent Authority regarding this application / building work and will receive all correspondence including all invoices

The Code Compliance certificate should be sent to: ☐ Owner ☒ Agent

All building work carried out under the above Building Consent was completed on - Date: 7/6/22

The following evidence of ownership is attached to this application: ☐ Certificate of Title ☐ Sale and Purchase Agreement (only if new purchase)

**SIGNATURE**  
I request that the Hurumui District Council Building Consent Authority issue a Code Compliance Certificate for this work (under section 95 of the Building Act 2004)  
Signature of owner / or agent on behalf of and with the authority of the owner: Andrew Walton  
Date: 7/6/22  
Note: If acting 'for and on behalf' please read the following declaration before signing:  
"I hereby declare that I am authorised to act as Agent of the Owner"

Ref: Form 6 Issue: 5 Date: 7 April 2017 Page: 1 of 3

### ccc application

Taken at 4:35 PM on Wednesday 15/06/2022



## GoGet Inspection Audit Report

Consent No: **220205**  
Applicant: **Kings Mowers and Heating Ltd**  
Site Address: **8 O'Carrolls Road, Hawarden**  
Work Type: **Woodburner - Metro Wee Rad Legs**

Inspection Type: **Heating Unit - Solid Fuel**  
Inspection Outcome: **Pass**  
Inspected By: **Mark Milnes**  
Inspection Date: **15 June 2022 4:31 p.m.**  
Duration: **45 minutes**

Inspection Element	Status
General	Pass
Inspection carried out	Pass
Approved plans reviewed	Pass
<b>Yes - Approved documents onsite checked</b>	
Warnings and Bans	Pass
Inspection Photos	Pass
Installation	Pass
Correct fire model	Pass
Clearances to combustibles	Pass
<b>As per the manufacturer's instructions.</b>	
Clean Air approval	N/A
Seismic Restraints	Pass
<b>2 x M8 Dyna bolts</b>	
Flue secured to unit	Pass
<b>Installed as per specs</b>	
Chimney cavity ventilation provided	N/A
Insulation Kit	N/A
Wall Shield	N/A
Wetback system	N/A
Tempering Valve	N/A
Wet Back open vented	N/A
Cylinder Restraint	N/A
Smoke Alarms	Pass
<b>2 x in place as required - tested OK</b>	
Roof Flashings	Pass
<b>Boot flashing @ 45° on pan soaker</b>	
Number of Shields (above ceiling - flue and shield)	Pass
Number of Shields	Pass
<b>Flue + two</b>	
Flue top above roof clearance	Pass
Flue Shield Height	Pass
<b>1/2 Height</b>	
Flue/outer shield clearance to combustibles	Pass
General Condition	N/A

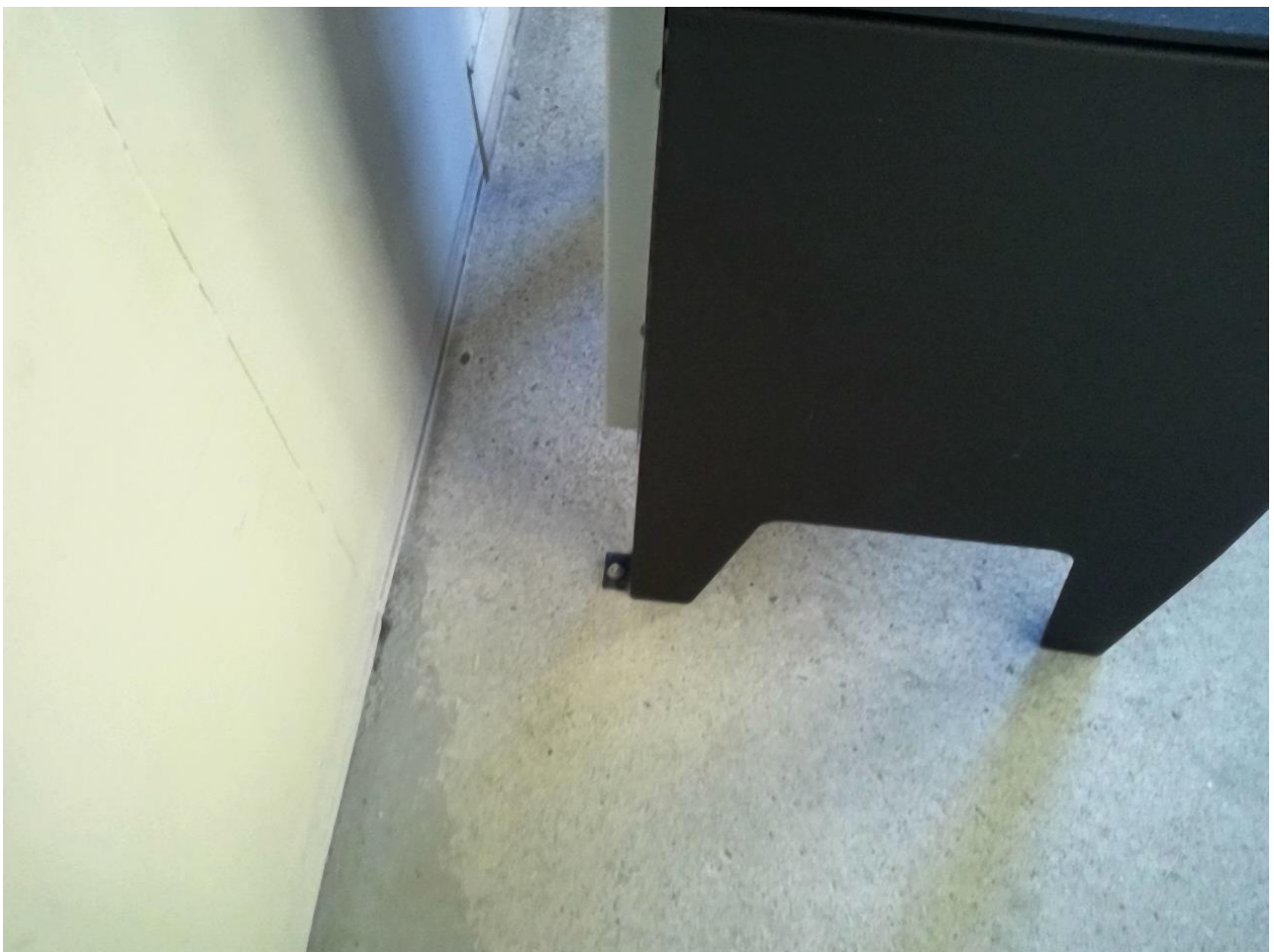
### Support Documentation

Amendment required	Clear
Application for CCC	Accepted
Woodburner installers certificate	Accepted





**pan flashing ok**  
Taken at 4:17 PM on Wednesday 15/06/2022



Taken at 4:19 PM on Wednesday 15/06/2022





Taken at 4:19 PM on Wednesday 15/06/2022



**Wee Rad leg**

Taken at 4:21 PM on Wednesday 15/06/2022



**square hole clearance ok**  
Taken at 4:27 PM on Wednesday 15/06/2022



**clearance ok triple flue**  
Taken at 4:28 PM on Wednesday 15/06/2022



**HURUMU DISTRICT COUNCIL**  
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Web hurumui.govt.nz | Facebook.com/HurumuiDistrictCouncil  
Skype hdc\_customer\_services | Twitter.com/hurumuidc

**Solid/Liquid/Fuel Heater Installer's Installation Certificate**

Building Consent Number: **220205** Site Address: **8 O'Connell's Road**

Make: **metra** Model: **wee not leg** Clean Air Registration Number: **092977**

☒ Solid Fuel Heater ☐ Liquid Fuel Heater ☐ Free Standing ☐ Inbuilt ☐ N/A

The existing chimney has been cleaned prior to installation  
Is the fireplace surround/chimney face junction sealed up with heat resistant material ☐ Yes ☐ No ☐ N/A

The flue pipe is constructed of austenitic stainless steel ☐ Yes ☐ No ☐ N/A

Seismic restraint has been fitted ☐ Yes ☐ No ☐ N/A

The flue sections are secured together with stainless steel rivets ☐ Yes ☐ No ☐ N/A

The flue is secured to the appliance ☐ Yes ☐ No ☐ N/A

The chimney void has been vented at the top ☐ Yes ☐ No ☐ N/A

Is the Solid Fuel Burner and Flue as per the building consent ☐ Yes ☐ No ☐ N/A

Flue joints sealed in accordance with manufacturer's instructions ☐ Yes ☐ No ☐ N/A

Fire safety valve connected and working correctly (diesel burners) ☐ Yes ☐ No ☐ N/A

Flue and appliance clearances have been achieved in terms of the manufacturer's instructions (NZS 7421 or AS/NZS 2918:2001) ☐ Yes ☐ No ☐ N/A

The flue height meets the minimum specified in the manufacturer's instructions, NZS 7421, and Regional Council rules ☐ Yes ☐ No ☐ N/A

The application has been installed and commissioned in accordance with the manufacturer's installation and operating instructions (Liquid fuel only) ☐ Yes ☐ No ☐ N/A

The liquid fuel storage tank and feed system has been installed in accordance with AS1691, or equivalent, and with the requirements of the Council's Hazardous Substances Officer ☐ Yes ☐ No ☐ N/A

Smoke detectors as detailed on the building consent documents are installed ☐ Yes ☐ No ☐ N/A

If response to any of the items is 'no' please comment: **Smoke alarm by owner**

Water heater - model and part number: **Paul Ross** (name) certify that the above specified installation has been carried out as described and in accordance with the manufacturers installation instructions and the current approved building code requirements

Installer Signature: **Paul Ross** (Installer) Date: **7/6/22**

**RESOURCE MANAGEMENT ACT MATTERS - LIQUID FUEL HEATER**

Does the fuel storage tank have secondary containment in accordance with the District Plan (NB: Audit monitoring will be carried out) ☐ Yes ☐ No

If response is 'no' please comment why:

Ref: SLPB Installers Cert Version: 3 Date: 7 April 2017 Page: 1

### installers cert

Taken at 4:33 PM on Wednesday 15/06/2022

**FORM 6**  
**CODE COMPLIANCE CERTIFICATE APPLICATION**  
Section 82, Building Act 2004

Building Consent No: **22 0205** Consent issued by Hurumui District Council

**THE OWNER**

Owner's Name: **Mr B Brundish** AGENT - APPLICANT **N/A** (leave section blank)

Contact Person: **Katy Howes**

Mailing Address: **10130x St** Agent's Name: **Andrew Walton**

**7348** Billing Address: **380 Florence Rd**

**7420** Postcode: **Angie**

Street Address or Registered Office: **8 O'Connell's Rd**

**7348** Postcode: **7420**

Mobile Phone: **02113 685 73** Postcode: **7420**

Phone: **02113 685 73**

After Hours Phone: **713 5773**

Landline number: **713 5773**

Daytime phone: **713 5773**

Fax number: **713 5773**

E-mail Address: **8 O'Connell's Rd**

Website: **www.hurumui.govt.nz**

Note - The Agent (if appointed) will be the first point of contact for communications with the Council / Building Consent Authority regarding this application / building work and will receive all correspondence including all invoices

The Code Compliance certificate should be sent to: ☐ Owner ☒ Agent

All building work carried out under the above Building Consent was completed on - Date: **7/6/22**

The following evidence of ownership is attached to this application: ☐ Certificate of Title ☐ Sale and Purchase Agreement (only if new purchase)

**SIGNATURE**

I request that the Hurumui District Council Building Consent Authority issue a Code Compliance Certificate for this work (under section 95 of the Building Act 2004)

Signature of owner / or agent on behalf of and with the authority of the owner **Andrew Walton** Date: **7/6/22**

☐ Owner ☒ Agent

Note: If acting 'for and on behalf' please read the following declaration before signing:  
"I hereby declare that I am authorised to act as Agent of the Owner"

Ref: Form 6 Issue: 5 Date: 7 April 2017 PAGE 1 of 3

### ccc application

Taken at 4:35 PM on Wednesday 15/06/2022

# HURUNUI DISTRICT COUNCIL

P.O. Box 13 | Amberley | 7441 | 66 Carters Road | Amberley | 7410  
Phone 03 314-8816 | Fax 03 314-9181 | Email [info@hurunui.govt.nz](mailto:info@hurunui.govt.nz)  
Web [hurunui.govt.nz](http://hurunui.govt.nz) | [facebook.com/HurunuiDistrictCouncil](https://facebook.com/HurunuiDistrictCouncil)  
Skype [hdc\\_customer\\_services](https://skype.hdc_customer_services) | [twitter.com/hurunuidc](https://twitter.com/hurunuidc)



## Form 5

# Building Consent 220205

*Section 51, Building Act 2004*

### The building

Street address of building: 8 O'Carrolls Road, Hawarden

Legal description of land where building is located: PT LOT 12 DP 3596 BLK VII WAIPARA SD

Building Name:

Location of building within site/block number:

Level/unit number:

### The owner

Name of owner: Mr B M Grindrod

Contact person:

Mailing address: PO Box 31, Hawarden 7348

Street address/registered office:

Phone number:

Daytime:

Mobile: 0272018042

Landline:

Fax number:

Email:

Website:

First point of contact for communications with the council/building consent authority:

Full Name: Kings Mowers and Heating Ltd

Mailing Address: 360 Flaxton Road, Rangiora 7400

Phones:: 033135563: 0211368573

Email: [office@kingsmowersheating.co.nz](mailto:office@kingsmowersheating.co.nz)

### Building work

The following building work is authorised by this building consent:

Project: Woodburner - Metro Wee Rad Legs

Current, lawfully established, use: Detached Dwelling

This building consent is issued under section 51 of the Building Act 2004. This building consent does not relieve the owner of the building (or proposed building) of any duty or responsibility under any other Act relating to or affecting the building (or proposed building).

This building consent also does not permit the construction, alteration, demolition, or removal of the building (or proposed building) if that construction, alteration, demolition, or removal would be in breach of any other Act.



## CONDITIONS OF BUILDING CONSENT

### Section 90 – Inspections by building consent authorities

This building consent is issued subjected to the condition that agents authorised by the BCA for the purposes of this section are entitled, at all times during normal working hours or while building work is being done, to inspect –

- a) Land on which building work is being or is proposed to be carried out; and
- b) Building work that has been or is being carried out on or off the building site; and
- c) Any building

This building consent is issued subject to the following conditions:

1. A minimum of 24 hrs notice must be given to the Building Officer prior to any inspections.
2. Construction, fixings and materials are to be in accordance with the approved consent documents authorised under the Building Act 2004, any variance may require an application for an amendment
3. It is recommended that a copy of the approved plans and specifications are kept on site at all times for building contractors
4. Under section 52 of the Building Act 2004 a building consent will lapse in 12 months from date of issue if the building works concerned have not been commenced

### Compliance schedule

A compliance schedule is not required for the building.

### Attachments

Copies of the following documents are attached to this building consent:

- 
- Required Items Letter (*refer to this for inspection and CCC documentation requirements*)

Signature:



Position: Building Support Officer

On behalf of: Hurunui District Council

Date: 13/05/22



Address: PO Box 13, Amberley  
Telephone: (03) 314 8816  
Facsimile: (03) 314 9181

Kings Mowers and Heating Ltd  
360 Flaxton Road  
Rangiora 7400

**Customer No** BC220205  
**Date** 13/05/22  
**GST Reg No** 53-915-477

## Tax Invoice 57366

220205 : 8 O'Carrolls Road, Hawarden  
Woodburner - Metro Wee Rad Legs  
Owner: Mr B M Grindrod

Set Fee	445.00	*
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(\* Incl GST \$58.04)

<b>Sub Total</b>	<b>\$445.00</b>
<b>Cash Received</b>	445.00CR

**Total incl GST**

**\$0.00**

Council's bank account 03-0802-0946666-00

Kings Mowers and Heating Ltd

**Customer No** BC220205  
**Date** 13/05/22  
**Invoice No** 57366  
**Total Due** \$0.00